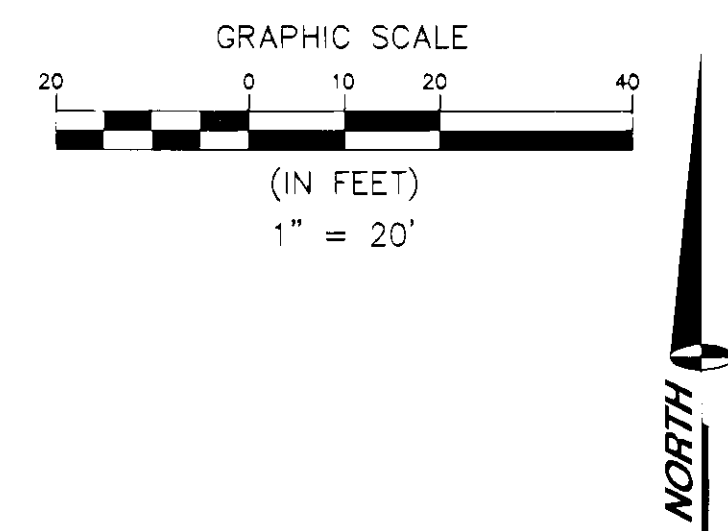
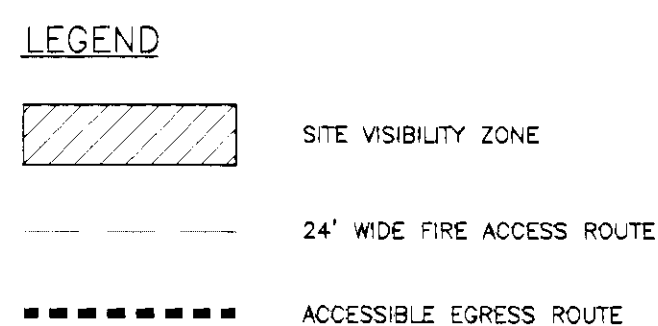
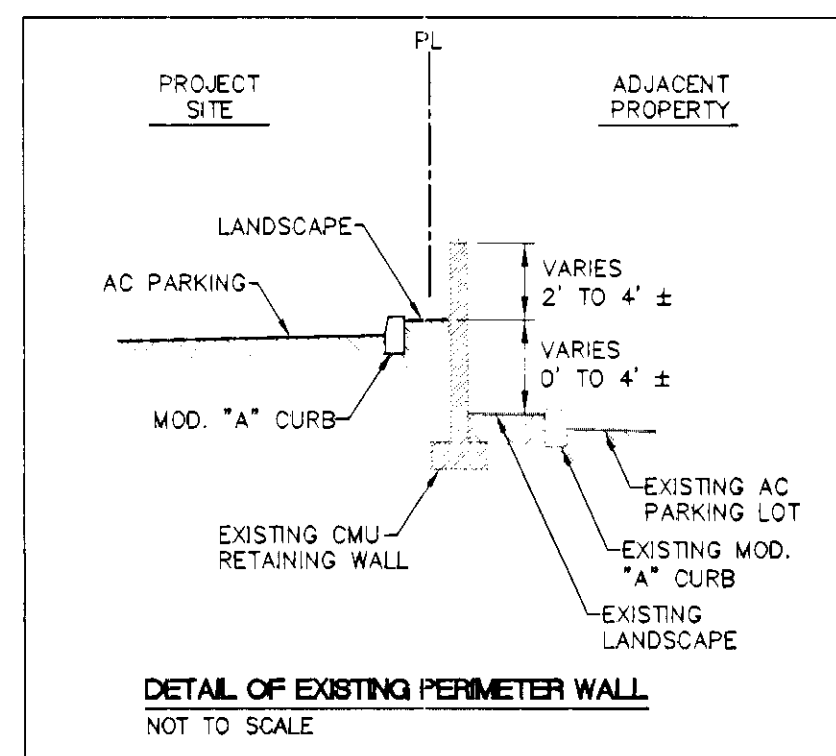




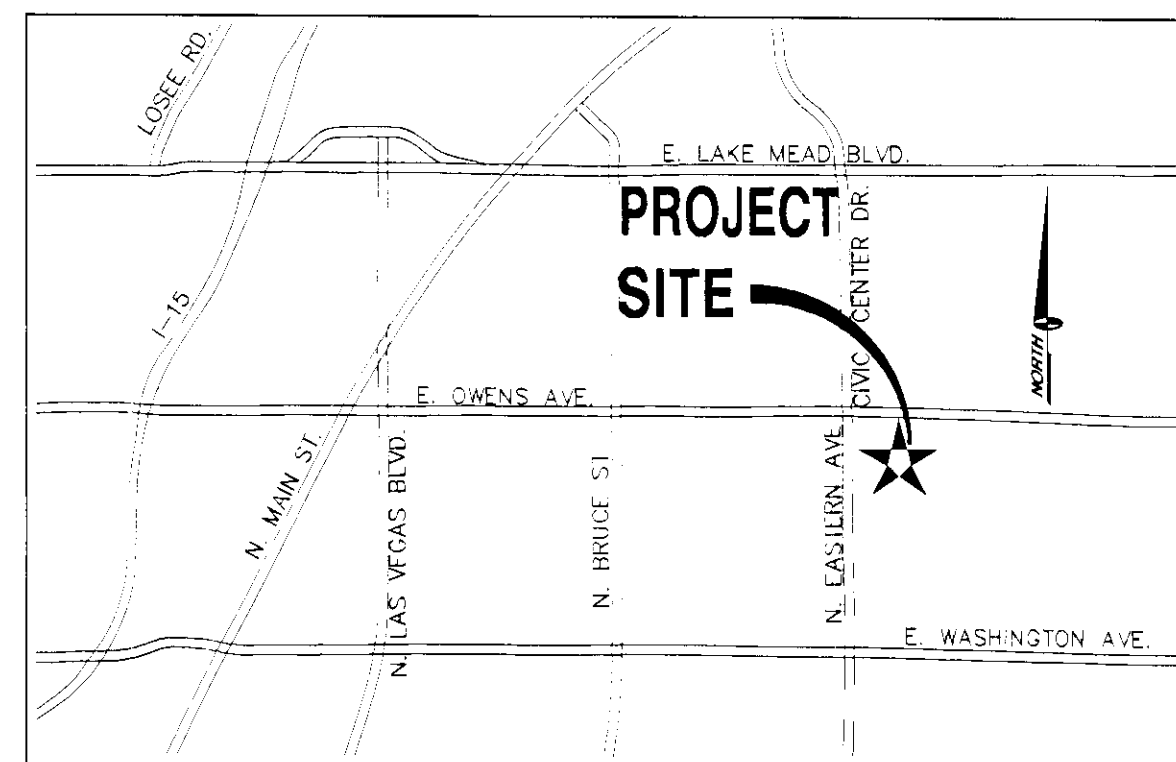
COMMERCIAL DEVELOPMENT - EASTERN & OWENS

REQUIRED PARKING	
RESTAURANT W/ PLAY PLACE	
1/100 X 3,823 =	38.2 SPACES REQUIRED
1/100 X 480 =	4.8 SPACES REQUIRED
1/100 X 300 =	3.0 SPACES REQUIRED
TOTAL PARKING REQUIRED:	46.0 SPACES REQUIRED
PARKING PROVIDED	
H.C. PARKING REQUIRED:	3 SPACES PROVIDED (1 VAN ACCESSIBLE)
REGULAR PARKING SPACES:	37 SPACES PROVIDED
TOTAL PARKING:	40 SPACES PROVIDED
ADDITIONAL LOADING ZONE:	1 15' X 25' PROVIDED

SITE INFORMATION:	
OWNER:	FRANCHISE REALTY INTERSTATE CORPORATION
ADDRESS:	2513/2599 E. OWENS AVENUE LAS VEGAS, NEVADA 89101
JURISDICTION:	CITY OF LAS VEGAS/ CITY OF NORTH LAS VEGAS ADJ. JURISDICTION
APN:	139-25-101-002, 139-25-101-003, 139-25-101-004
ZONING:	GENERAL COMMERCIAL DISTRICT (C-2)
APPROX. ACREAGE:	0.89 ACRES (Approx. 38,768 sq. ft.)
SETBACKS:	
FRONT:	20'
INTERIOR SIDE:	10'
SIDE STREET (CORNER):	15'
REAR:	20'
BUILDING:	
FRONT:	20'
INTERIOR SIDE:	10'
SIDE STREET (CORNER):	15'
REAR:	20'
LANDSCAPING:	
FRONT:	15'
INTERIOR SIDE:	8'
SIDE STREET (CORNER):	8'
REAR:	8'
NOTE:	
EASTERN & OWENS ARE SECTION LINE STREETS	

BUILDING INFORMATION:	
4587 SQ. FT. + SEATING + 850 SQ. FT. P.P.	
2009 STD. BLDG.	
5,153 SF. GROSS	
F.A.R. (FLOOR AREA TO LOT AREA RATIO) = 0.13	

KEY NOTES:	
1 EXISTING FREE STANDING McDONALD'S SIGN TO REMAIN	14 PROPOSED BOLLARD
2 ACCESSIBLE EGRESS ROUTE	15 RADIUS WALL SCENCE MOUNTED AT HEIGHT OF TRELLIS, TYP.
3 STREET LIGHT RELOCATION	16 DIRECTIONAL (ILLUMINATED) 40" X 40" MINI-MONUMENT SIGNS
4 TRASH ENCLOSURE	17 WELCOME POINT CANOPY
5 HANDRAIL	18 DRIVE-THRU TWIN POLE CANOPY
6 SITE VISIBILITY ZONE	19 MODULAR OUTDOOR MENU BOARD
7 RELOCATED BUS SHELTER PAD	20 FLAG POLES
8 CURB	21 NOT USED
9 AREA LIGHT AND FOUNDATION	22 LANDSCAPE AREA
10 NOT USED	23 MODIFIED COMMERCIAL DRIVEWAY (OPTION B) PER USD NO. 228.2 TRANSITIONING INTO A DEPRESSED ALLEY CURB/RAMP PER USD NO. 227.
11 REMOVE EXISTING MEDIAN ISLAND	24 SIDEWALK
12 EXISTING TRANSFORMER	
13 PROPOSED COMMERCIAL DRIVEWAY (OPTION B), USD NO. 225 WITH CURB RETURN RADIUS DEVIATION.	



1 SITE PLAN W/ SIGNAGE & LIGHTING City of Las Vegas
S1.0 1" = 20'-0"

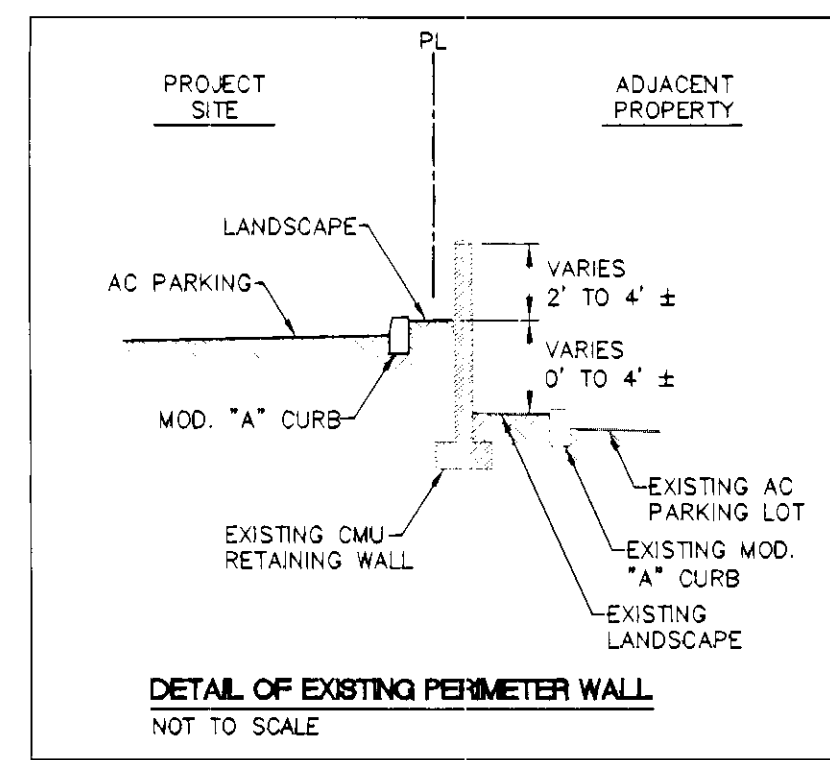
VAR-38586
VAR-38587
SDR-38585

SPECTRUM
SURVEYING & ENGINEERING
8905 W POST ROAD, SUITE 100
LAS VEGAS, NEVADA 89148
OFFICE: (702) 367-7705
FAX: (702) 367-8733

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McDonald's USA, LLC
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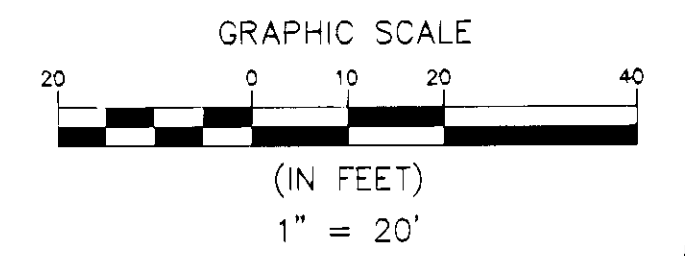
TITLE	DATE	BY	CHKD
2009 STANDARD BUILDING	MAY 2010	RS	RS
4587-WOOD/WOOD + SEATING + PP			
DESCRIPTION	DATE	BY	CHKD
WOOD BEARING WALLS			
WOOD ROOF TRUSS FRAMING			
STUCCO EXTERIOR FINISH/ENTRY			
SHEET NO.	SHEET NO.	SHEET NO.	SHEET NO.
000-0000	2513/2599 E. OWENS AVENUE, LAS VEGAS, NEVADA 89101		

S1.0
SITE PLAN



LEGEND

- SITE VISIBILITY ZONE
- 24' WIDE FIRE ACCESS ROUTE
- ACCESSIBLE EGRESS ROUTE



NORTH

COMMERICAL DEVELOPMENT - EASTERN & OWENS

REQUIRED PARKING

RESTAURANT W/ PLAY PLACE	
1/100 X 3,823 =	38.2 SPACES REQUIRED
1/100 X 480 =	4.8 SPACES REQUIRED
1/100 X 300 =	3.0 SPACES REQUIRED
TOTAL PARKING REQUIRED:	46.0 SPACES REQUIRED

PARKING PROVIDED

H.C. PARKING REQUIRED:	3 SPACES PROVIDED (1 VAN ACCESSIBLE)
REGULAR PARKING SPACES:	37 SPACES PROVIDED
TOTAL PARKING:	40 SPACES PROVIDED
ADDITIONAL LOADING ZONE:	1 15' X 25' PROVIDED

SITE INFORMATION:

OWNER:	FRANCHISE REALTY INTERSTATE CORPORATION
ADDRESS:	2513/2599 E. OWENS AVENUE LAS VEGAS, NEVADA 89101
JURISDICTION:	CITY OF LAS VEGAS/ CITY OF NORTH LAS VEGAS ADJ. JURISDICTION
APN:	139-25-101-002, 139-25-101-003, 139-25-101-004
ZONING:	GENERAL COMMERCIAL DISTRICT (C-2)
APPROX. ACREAGE:	0.99 ACRES (Approx. 38,768 sq. ft.)

SETBACKS:	BUILDING:	LANDSCAPING:	NOTE:
FRONT:	22'	15'	EASTERN & OWENS ARE SECTION LINE STREETS
INTERIOR SIDE:	10'	8'	
SIDE STREET (CORNER):	15'	8'	
REAR:	20'	8'	

BUILDING INFORMATION:

4587 SQ. FT. - SEATING - 850 SQ. FT. P.P.
2009 STD. BLDG.
5,153 SF - GROSS
F.A.R. (FLOOR AREA TO LOT AREA RATIO) = 0.13

KEY NOTES:

- EXISTING FREE STANDING McDONALD'S SIGN TO REMAIN
- ACCESSIBLE EGRESS ROUTE
- STREET LIGHT RELOCATION
- TRASH ENCLOSURE
- HANDRAIL
- SITE VISIBILITY ZONE
- RELOCATED BUS SHELTER PAD
- CURB
- AREA LIGHT AND FOUNDATION
- NOT USED
- REMOVE EXISTING MEDIAN ISLAND
- EXISTING TRANSFORMER
- PROPOSED COMMERCIAL DRIVEWAY (OPTION B); USD NO. 225 WITH CURB RETURN RADIUS DEVIATION.
- PROPOSED BOLLARD
- RADIUS WALL SCONCE MOUNTED AT HEIGHT OF TRELIS, TYP.
- DIRECTIONAL (ILLUMINATED) 40" X 40" MINI-MONUMENT SIGNS
- WELCOME POINT CANOPY
- DRIVE-THRU TWIN POLE CANOPY
- MODULAR OUTDOOR MENU BOARD
- FLAG POLES
- NOT USED
- LANDSCAPE AREA
- MODIFIED COMMERCIAL DRIVEWAY (OPTION B) PER USD NO. 226.2 TRANSITIONING INTO A DEPRESSED ALLEY CURB/RAMP PER USD NO. 227.
- SIDEWALK



VICINITY MAP
NOT TO SCALE

RECEIVED
JUN 15 2010
City of Las Vegas

1 SITE PLAN W/ SIGNAGE & LIGHTING
S1.0 1" = 20'-0"

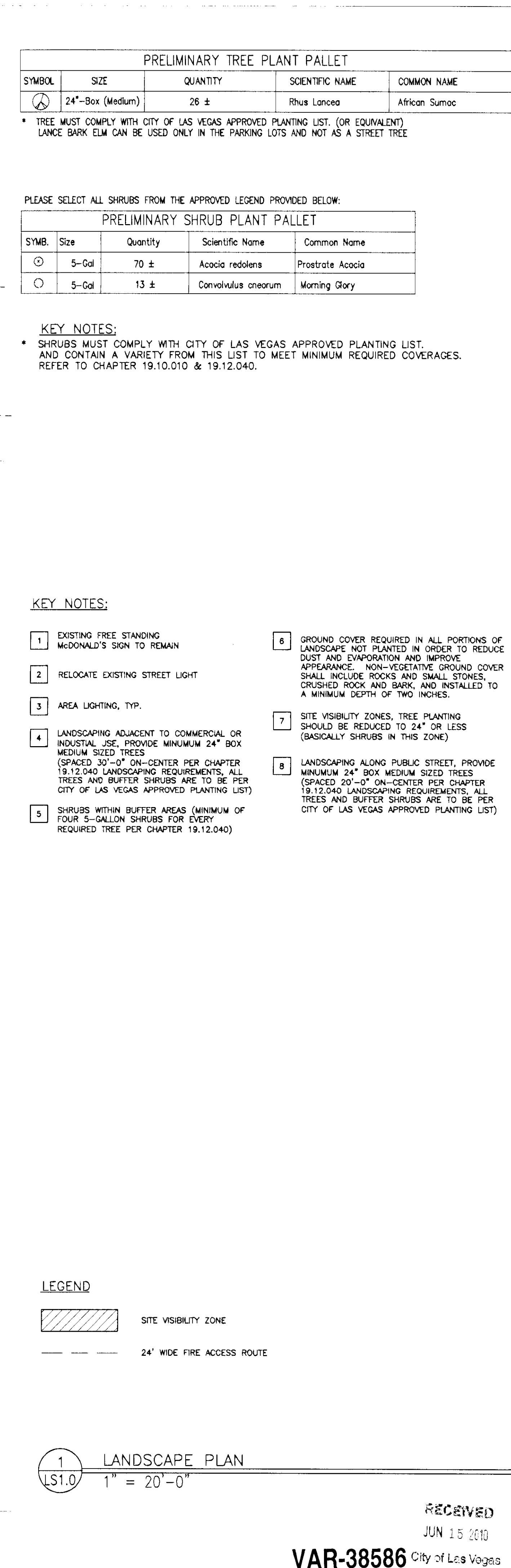
VAR-38586
07/29/10 PC

SPECTRUM
SURVEYING & ENGINEERING
8905 W POST ROAD, SUITE 100
LAS VEGAS, NEVADA 89148
OFFICE: (702) 367-7705
FAX: (702) 367-8733

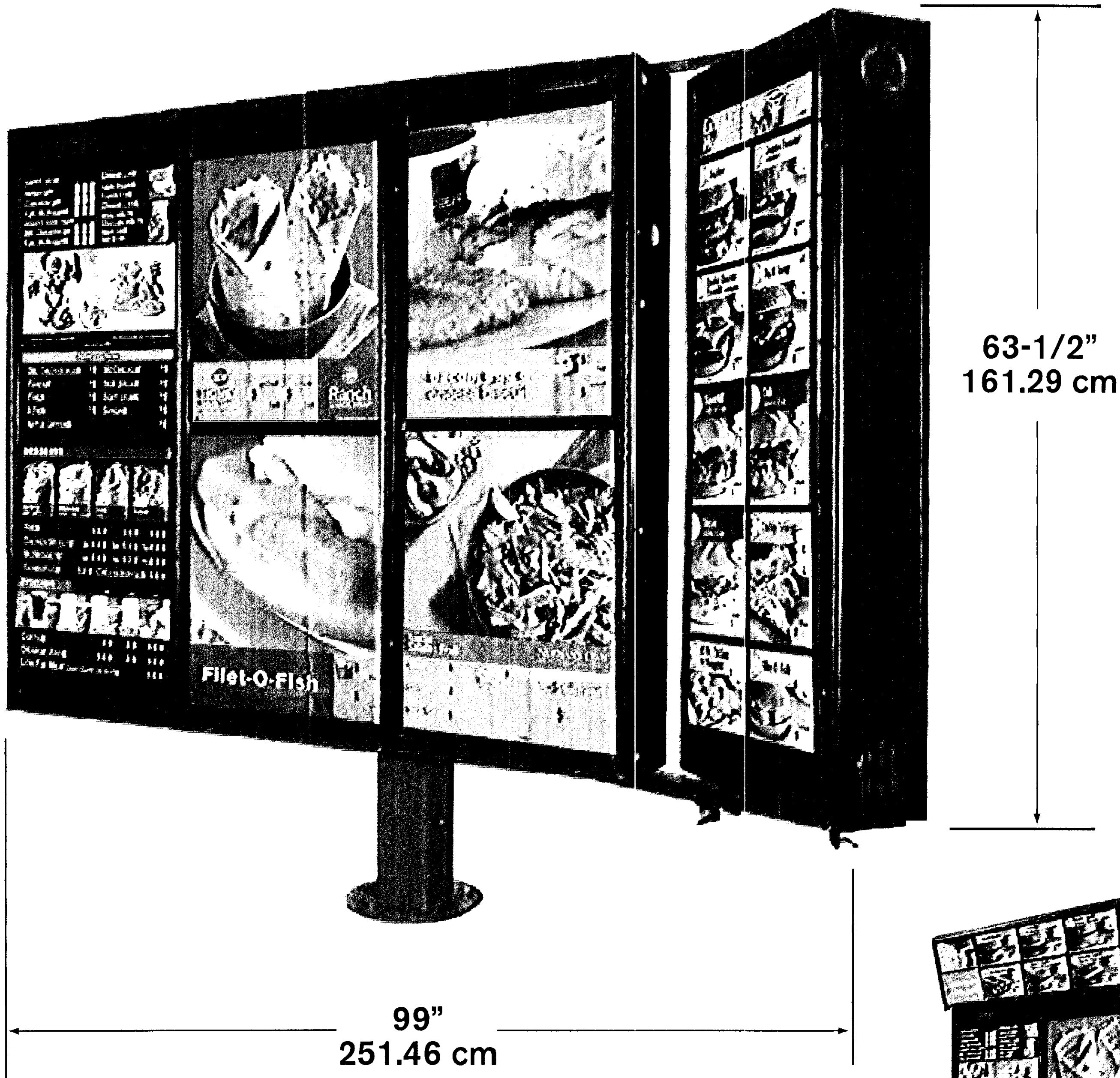
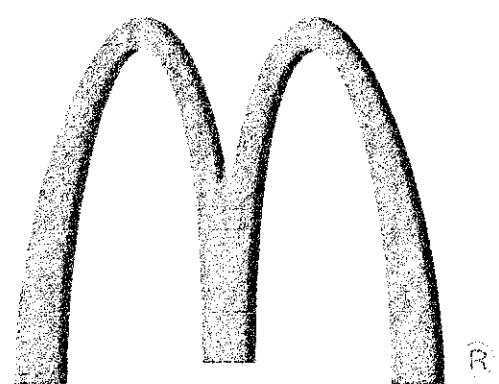
PREPARED FOR:
M. McDonald's USA, LLC
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DRAWN BY	STD ISSUE DATE	REVIEWED BY	DATE ISSUED
2009 STANDARD BUILDING	MAY 2010	PP	MAP 2010
DESCRIPTION	WOOD ROOF TRUSS FRAMING	WOOD ROOF TRUSS FRAMING	WOOD ROOF TRUSS FRAMING
SHEET NO.	000-0000	SITE ADDRESS	2513/2599 E. OWENS AVENUE, LAS VEGAS, NV 89101

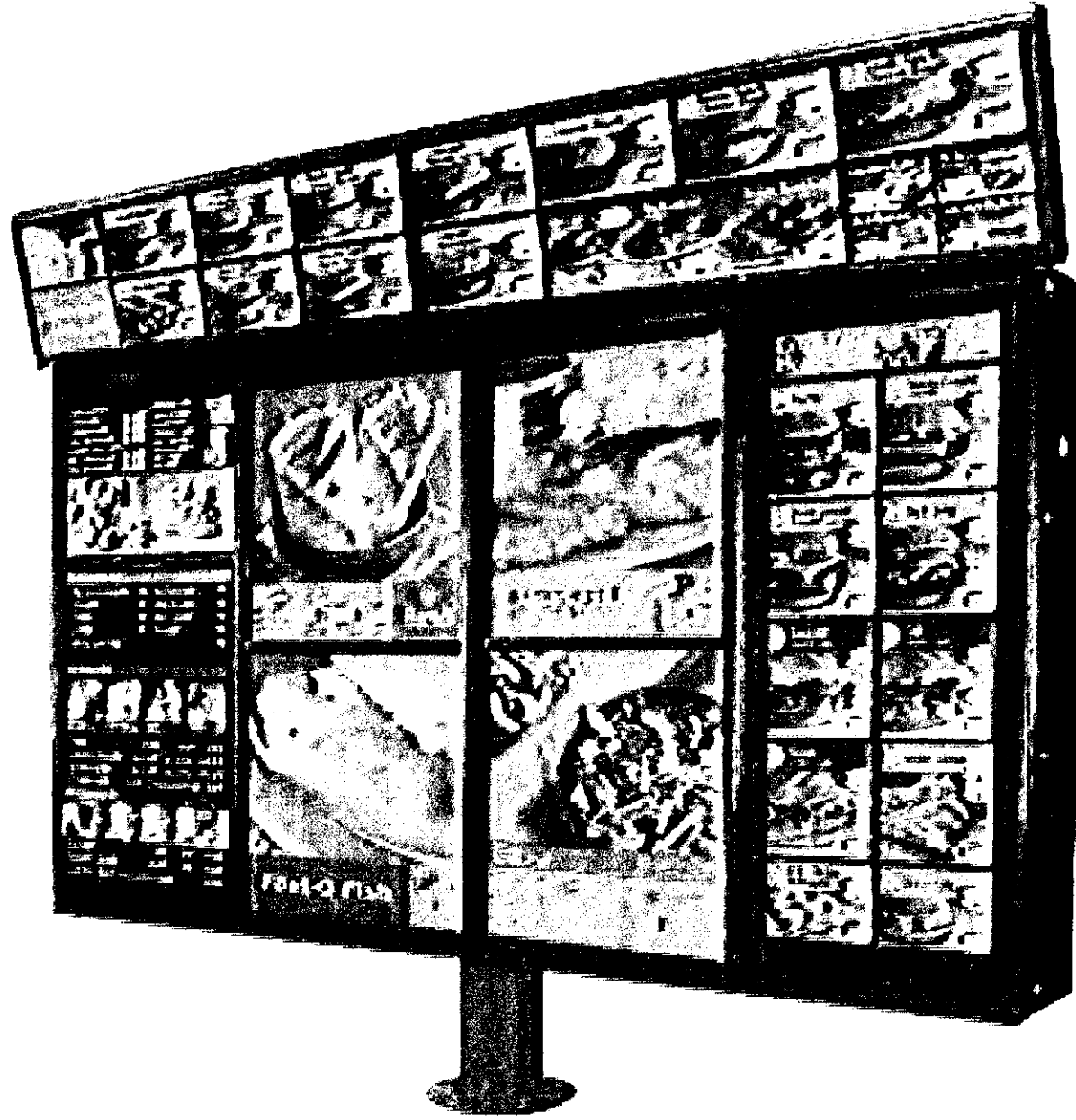
S1.0
SITE PLAN



FP-43 Modular Outdoor Menu Board



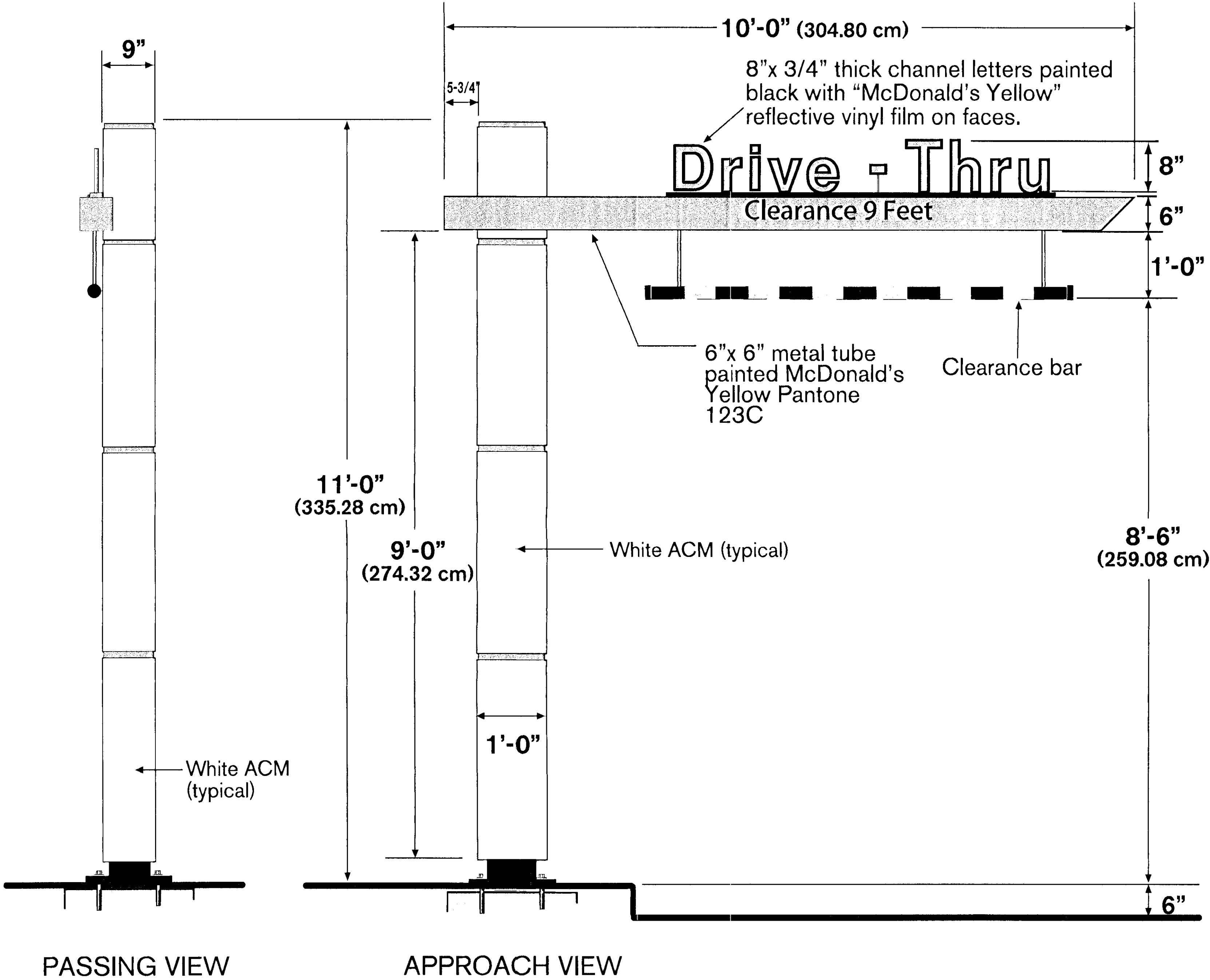
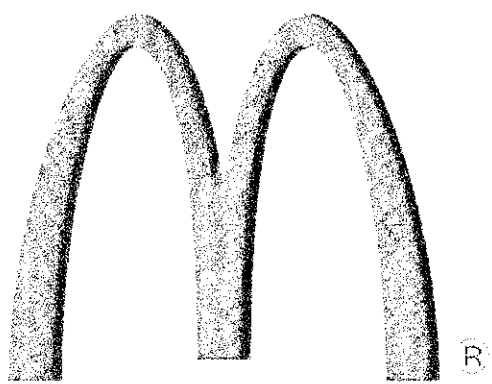
FP-43 Outdoor Menu Board w/ Flip Adder



OPTIONAL:
FP-43 Outdoor Menu Board w/ Topper

- Illumination:** 4 - F60T12 CW/HO
2 - F36T12 CW/HO
2 - F24T12 CW/HO
2 - F60T12 CW/HO
- Electrical:** 4.9 Amps / 1.6 Amps (flipboard)
120V 60Hz
- Ballast:** Advance #RC-4560-TP
Power Lighting #V234L8-16
Power Lighting #V12L4-12
- Ship Weight:** 197 lbs.
- Other:**
- Modular design for increased flexibility
 - Adjustable channels for easy menu modification
 - Optional kit to accept Customer Order Display and/or speaker
 - Flipboard panel can rotate 180 degrees to display two dayparts
 - Please call Flordia Plastics for strips and grids
 - Topper only allowed with 4th column static board. Cannot have flip adder and topper.

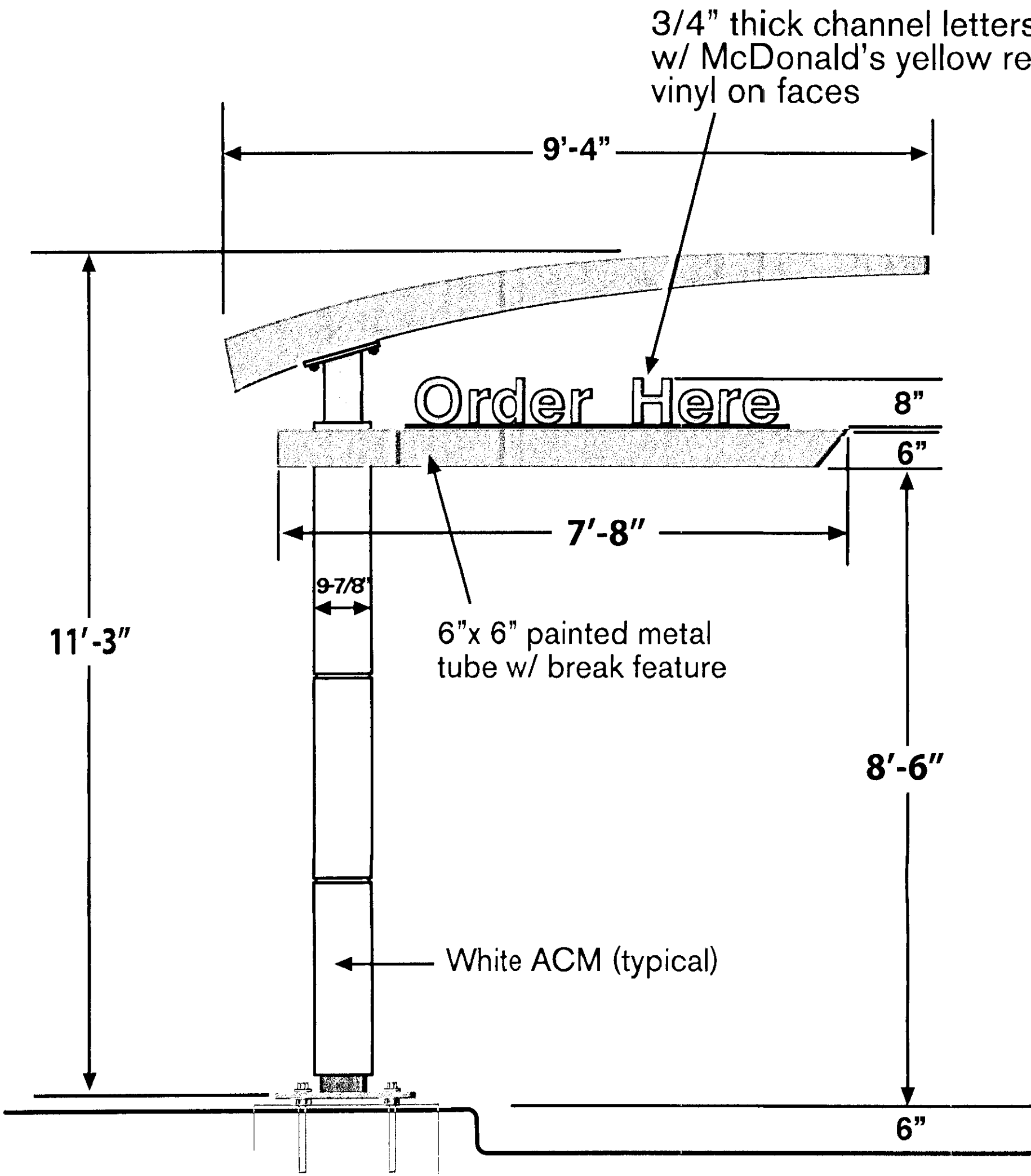
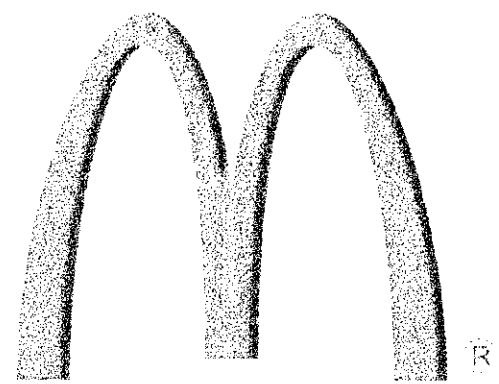
Welcome Point Gateway



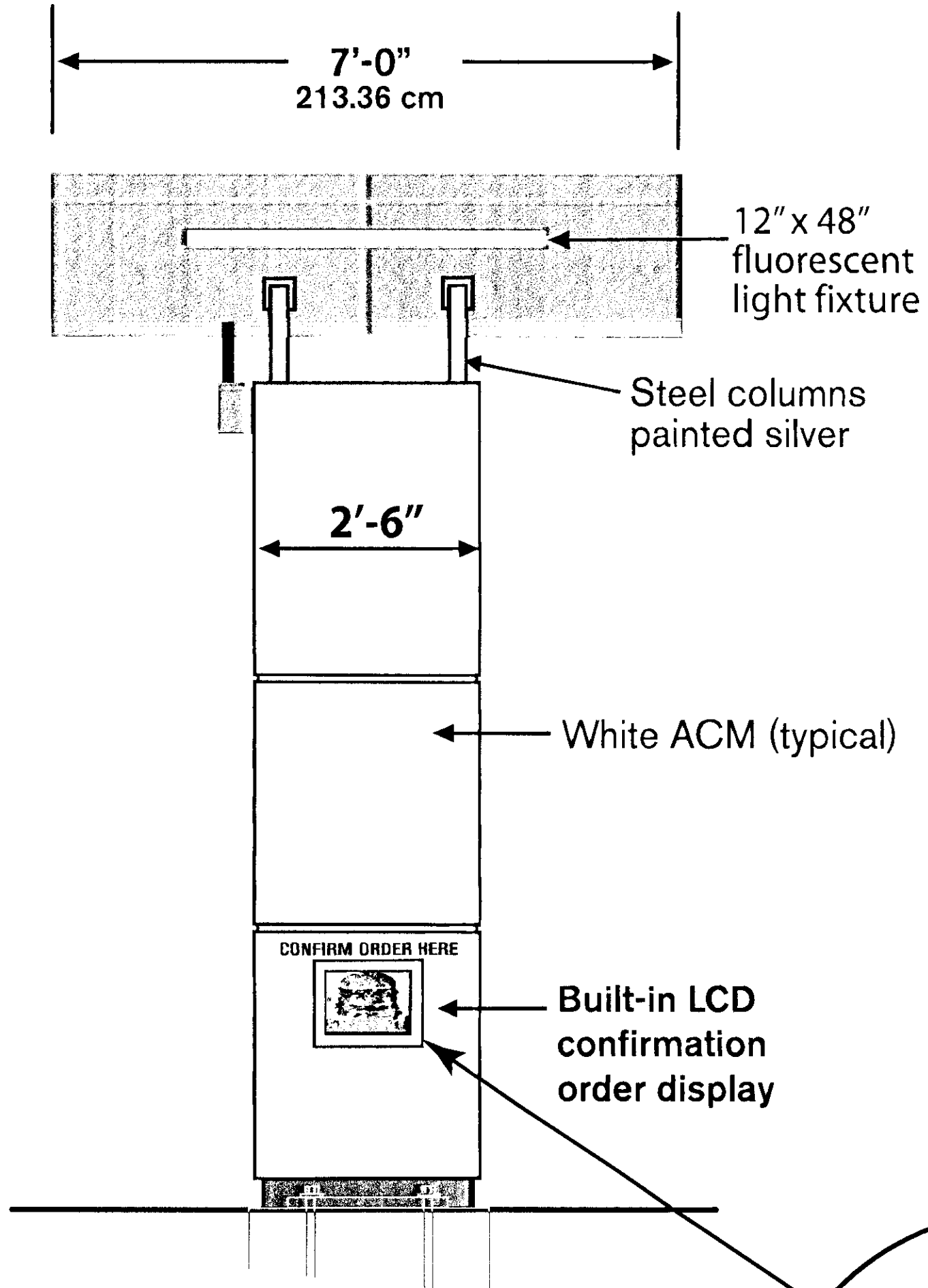
- Illumination:** N/A
- Ship Weight:** 790 lbs.
- Other:**
- Non-illuminated clearance sign with spring loaded break away clearance arm.
 - Adjustable bang bar.

Drive-Thru Twin Pole Canopy w/ Built-In COD (Preferred)

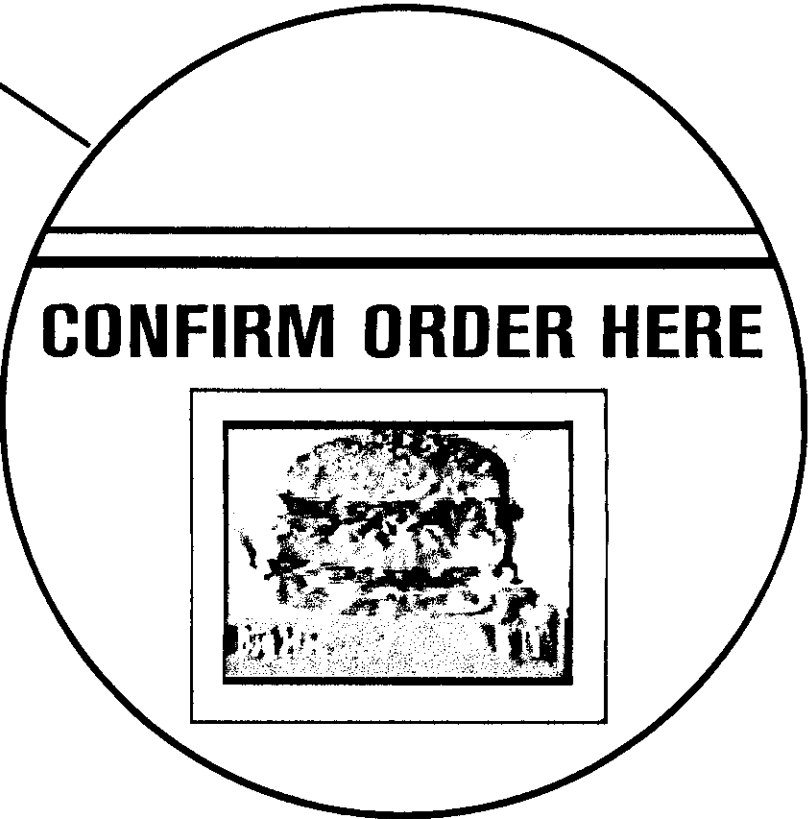
LCD Confirmation Order Display



APPROACH VIEW



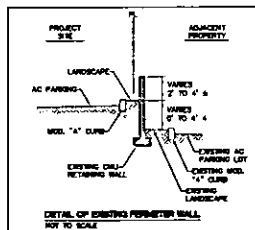
PASSING VIEW



Built-in LCD Confirmation Order Display

- Illumination:** 4 - F72T12 CW/HO
- Electrical:** 15 Amp 120 Volt
- Ballast:** Fulham Workhorse 7
- Ship Weight:** 1300 lbs.
- Other:**
 - Available with LED or LCD COD.
 - Spring loaded swing away 9' clearance arm
 - Illuminated awning provides a customer safe environment at night and protection from inclement weather

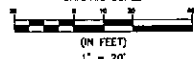
RECEIVED



LEGEND



GRAPHIC SCALE



NORTH

COMMERICAL DEVELOPMENT - EASTERN & OWENS

REQUIRED PARKING

RESTAURANT 12/ PLAZA PLACE	
1/200 X 3,853 =	38.3 SPACES REQUIRED
1/200 X 480 =	4.8 SPACES REQUIRED
1/200 X 388 =	3.0 SPACES REQUIRED
TOTAL PARKING REQUIRED:	46.0 SPACES REQUIRED

PARKING PROVIDED

R.C. PARKING RECLUSE	3 SPACES PROVIDED (1 VAN ACCESSIBLE)
REGULAR PARKING SPACES	32 SPACES PROVIDED
TOTAL PARKING	35 SPACES PROVIDED
ADDITIONAL LOADING ZONE	1 15' X 30' PROVIDED

SITE INFORMATION:

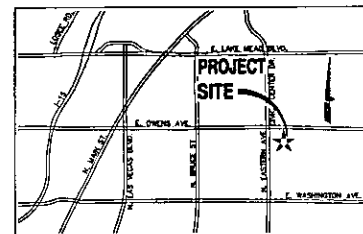
CORPORATE ADDRESS	FRANCHISE REALTY INTERNATIONAL CORPORATION 25157500 E. OWENS AVE LAS VEGAS, NEVADA 89101		
ASSIGNMENT APN	CITY OF LAS VEGAS OFFICE OF NORTH LAS VEGAS ADJ. JURISDICTION 139-25-141-000 - 139-25-10-000, 139-25-191-004		
ZONING APPROX. ACRES	GENERAL COMMERCIAL DISTRICT (C-2) 0.80 ACRES (Approx. 38,768 SQ FT)		
RETRACTS	<u>PULCHRO</u>	<u>LANDSCAPING</u>	<u>NOTE</u>
FRONT:	20	15	EAST/PH & OWENS ARE
INTERIOR SIDE	15	8	SECTION LINE STREETS
BACK STREET (CORNER)	15	8	
REAR	20	8	

BUILDING INFORMATION:

2000 STD BLDG
6183 SF-GROSS
FAR (FLOOR AREA TO LOT AREA RATIO) = 0.12

KEY NOTES:

- | | | | |
|----|--|----|--|
| 1 | EXISTING PRICE STANDING
MCDONALD'S SIGN TO REMAIN | 14 | PROPOSED BOLLARDS |
| 2 | ACCESSIBLE CROSSWALK ROUTE | 15 | PEDESTAL WALL SIGNS, MOUNTED AT HEIGHT OF PEDESTAL TOP. |
| 3 | STREET LIGHT RELOCATION | 16 | DIRECTIONAL (ILLUMINATED) 4" X 4" HO-NO-PARKING SIGNS |
| 4 | TRASH ENCLOSURE | 17 | RELOCATE POLE CANNOPY |
| 5 | WALKWAY | 18 | DRIVE-WHILE TRUCK POLE CANNOPY |
| 6 | SEE VISIBILITY ZONE | 19 | MODULAR OUTDOOR MEDIA BOARD |
| 7 | RELOCATED BUS STOP/NEAR PAD | 20 | FLAG POLES |
| 8 | CURB | 21 | NOT USED |
| 9 | AREA LIGHT AND FLOODLIGHT | 22 | LANDSCAPE AREA |
| 10 | NOT USED | 23 | PROPOSED COMMERCIAL GROUNDWAY (OPTION 6) PER USE
CLASS 2 FLOW/TRANSITION INTO A PROTECTED ALLEY
CURB/PAVEMENT PER USE NO. 227. |
| 11 | RELOCATE EXISTING MEDIAN ISLAND | 24 | SIDEWALK |
| 12 | EXISTING TRANSFORMER | | |
| 13 | PROPOSED COMMERCIAL GROUNDWAY (OPTION 6) PER USE NO. 227 WITH
CURB/PAVEMENT/PAVEMENT TRANSITION | | |



VICINITY MAP
NOT TO SCALE

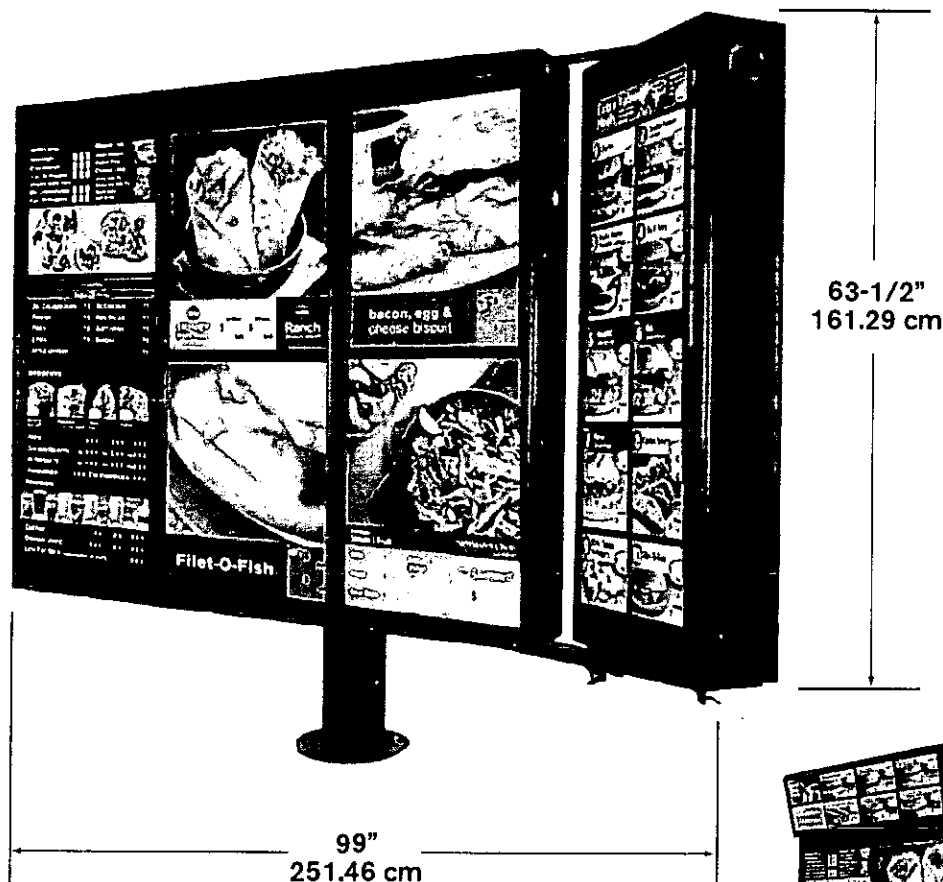
1 SITE PLAN W/ SIGNAGE & LIGHTING
\$1.0 1" = 20'-0" VAD 29

VAR-38586

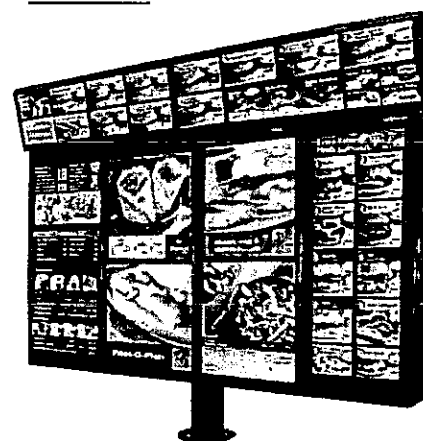
VAR-38587
SDR-38585

[illegible]

FP-43 Modular Outdoor Menu Board



FP-43 Outdoor Menu Board w/ Flip Adder



OPTIONAL:
FP-43 Outdoor Menu Board w/ Topper

- Illumination:** 4 - F60T12 CW/HO
2 - F36T12 CW/HO
2 - F24T12 CW/HO
2 - F60T12 CW/HO
- Electrical:** 4.9 Amps / 1.6 Amps (flipboard)
120V 60Hz
- Ballast:** Advance #RC-4560-TP
Power Lighting #V234L8-16
Power Lighting #V12L4-12
- Ship Weight:** 197 lbs.
- Other:**
- Modular design for increased flexibility
 - Adjustable channels for easy menu modification
 - Optional kit to accept Customer Order Display and/or speaker
 - Flipboard panel can rotate 180 degrees to display two dayparts
 - Please call Florida Plastics for strips and grids
 - Topper only allowed with 4th circuit. If the board does not have flip adder and topper.

VAR-38586
VAR-38587

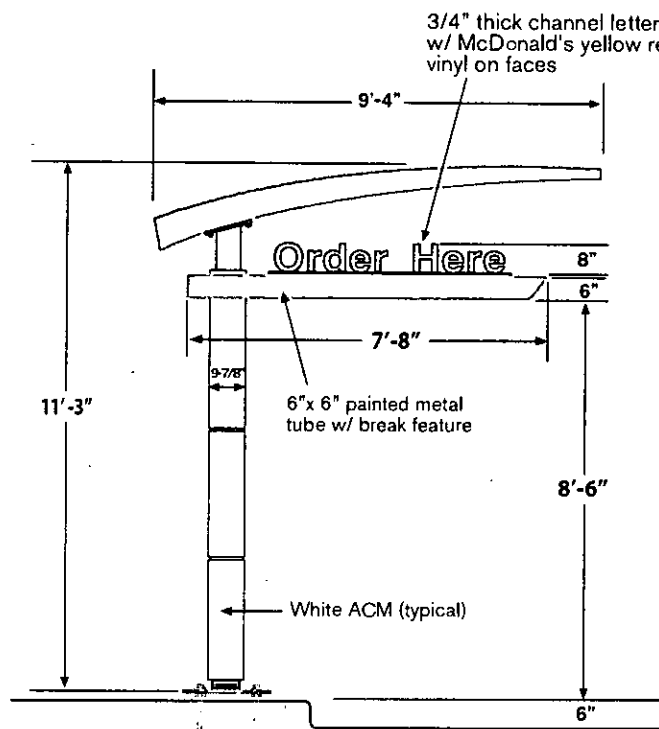
SDR-38585

RECEIVED

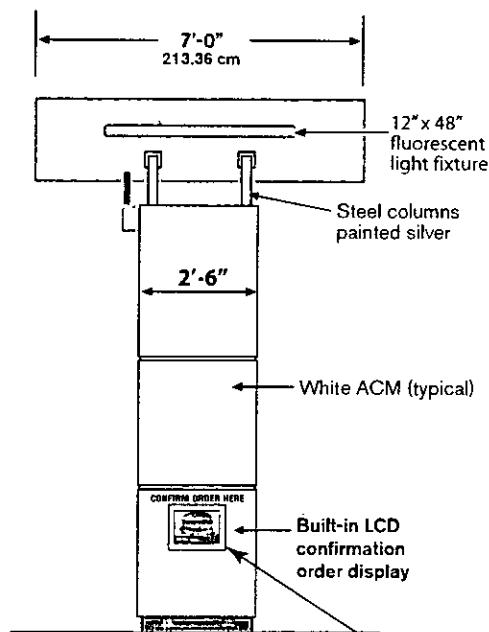
JUN 15 2010

City of Las Vegas

Drive-Thru Twin Pole Canopy w/ Built-In COD (Preferred)
LCD Confirmation Order Display



APPROACH VIEW



PASSING VIEW

Illumination:

4 - F72T12 CW/HO

Electrical:

15 Amp 120 Volt

Ballast:

Fulham Workhorse 7

Ship Weight:

1300 lbs.

Other:

- Available with LED or LCD COD.
- Spring loaded swing away 9' clearance arm
- Illuminated awning provides a customer safe environment at night and protection from inclement weather



Built-in LCD Confirmation Order Display

RECEIVED

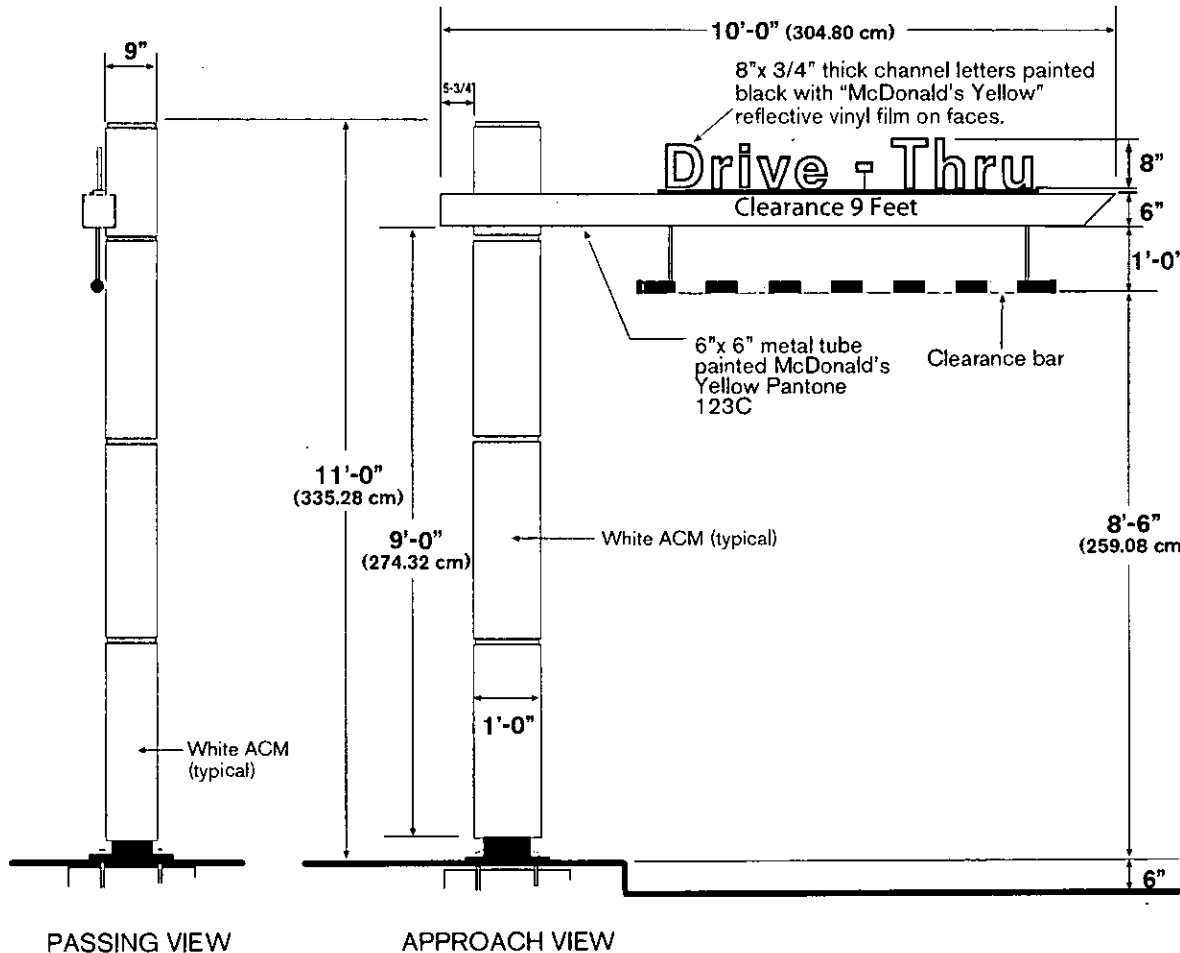
JUN 15 2010

SDR-38585

VAR-38586

VAR-38587

Welcome Point Gateway



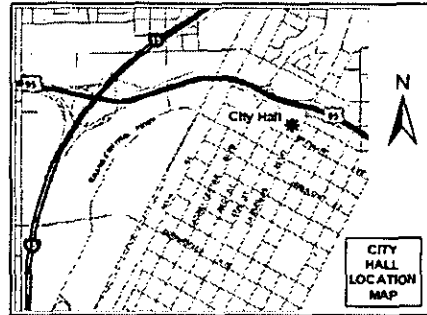
- Illumination:** N/A
- Ship Weight:** 790 lbs.
- Other:**
- Non-illuminated clearance sign with spring loaded break away clearance arm.
 - Adjustable bang bar.

SDR-38585
VAR-38586
VAR-38587

RECEIVED
JUN 15 2010
City of Las Vegas

City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
 this Request

☒

I OPPOSE
 this Request

Please use available blank space on card for your comments.

VAR-38586 & VAR-38587

Planning Commission Meeting of 7/29/2010

PRESORTED
 FIRST CLASS



02 1M \$00.41⁴
 0004279218 JUL 16 2010
 MAILED FROM ZIP CODE 89101

RECEIVED
 JUL 23 2010

13924414002 Case: VAR-38586
 PARKER VERNON MOSS & MARY
 P.O. BOX 3783
 STATELINE NV 89449-3783

ENCLOSURE



Submitted after final agenda
Date
Item 30-51
2

Telephone Protest/ Approval Log

Meeting Date: 7/29 PC

Case Number: VAR-38586
VAR-38587

Date: 07/21/10
Name: Edna Morgan
Address: 3383 Mendocino Forest
Las Vegas NV 89122
Phone: 642-1704
☐ PROTEST ☒ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

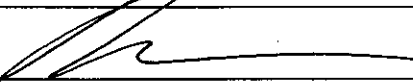
Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Submitted after final agenda
36-37
A

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
Item Required					
YES	NO				
APPLICATION PACKET					
☒	☐	Application signed and notarized by all property owners or authorized agent(s)		NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." --> "Apply for -> Planning Applications")	
☒	☐	Grant deed and legal description			
☒	☐	Detailed justification letter			
☒	☐	Correct fee(s): \$ 300.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 830.00 Total			
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)			
☒	☐	Assessor's Parcel Map			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance (PRS)			
☒	☐	Color & Materials Board per Site Development Plan Review Submittal Requirements			
☒	☐	Copy of Business Licenses: (Owner: ☒ Applicant: ☒ Representative: ☒)			
SITE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size		Folded Plans:	5
☒	☐	North arrow, scale, and vicinity map		Colored, Rolled Plans:	1
☒	☐	All property lines and present dimensions labeled		Reduced Copy (8-1/2x11 BW):	1
☒	☐	All building setbacks labeled		NOTES:	
☒	☐	All adjacent existing land uses and street names labeled			
☒	☐	All points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized:			
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total			
☒	☐	All free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN					
☐	☒	11" x 17" min. to 24" x 36" max. page size		Folded Plans:	0
☐	☒	North arrow, scale, and vicinity map		Colored, Rolled Plans:	0
☐	☒	All property lines and present dimensions labeled		Reduced Copy (8-1/2x11 BW):	0
☐	☒	All required perimeter landscape planters shown		NOTES:	
☐	☒	All required parking lot fingers/islands shown			
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
☐	☒	11" x 17" min. to 24" x 36" max. page size		Folded Plans:	0
☐	☒	Scale and building dimensions labeled		Colored, Rolled Plans:	0
☐	☒	North, south, east, and west elevations of all buildings		Reduced Copy (8-1/2x11 BW):	0
☐	☒	All building materials and colors noted		NOTES:	
☐	☒	8" x 10" photo of original color and material board			
☐	☒	All wall sign locations shown and sizes noted			
FLOOR PLANS					
☐	☒	11" x 17" min. to 24" x 36" max. page size		Folded Plans:	0
☐	☒	Scale and building dimensions labeled		Colored, Rolled Plans:	0
☐	☒	All building entrances/exits shown		Reduced Copy (8-1/2x11 BW):	0
☐	☒	Use of all rooms noted/labeled		NOTES:	
☐	☒	Maximum Occupancy (per I.B.C.)			
☐	☒	Seating Capacity (where applicable)			
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.					
Owner / Applicant:	FRANCHISE REALTY INTERSTATE CORP %MCDONALDS CORP (27-0025)		Application Type:	Variance	
Representative:	Samantha Johnston		Application Purpose:	Parking	
APN:	139-25-101-002 #17-004		Site Location:	2513 East Owens Avenue	
Planner's Signature:			Pre-App. Meeting Date:	04/29/10	
Planner:	John Grider, Planner I - 229-6711 Steve Gebeke, Planning Supervisor - 229-5410		Earliest Submittal Deadline:	05/11/2010 no later than 2:00 pm	
			Earliest PC / CC Meeting Dates:	06/24/10 PC	07/21/10 CC



CITY OF LAS VEGAS

☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 04/29/10
Time: 9:00 a.m.

Project Name: McDonald's -2513 E. Owens

Conversation between CLV P&D Representative: John Grider, Planner I (229-6711 Office / 385-7268 Fax / jgrider@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. John Grider	Planning & Development	229-6711		
2. Steve Gebeke	Planning & Development	229-5410		
3. Samantha Johnston		367-7705 x 253		
4.				
5. <i>Bart Anderson</i>				
6. <i>Victor B.</i>				
7. <i>Roger Bailey</i>	CLV - PW - Dev Co	229-6578	474-7599	
8. <i>Rick Schroder</i>	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11. <i>Ozzie M.</i>	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
Please refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: N/A

Meeting Notes:

1. Non-owner applicants must be a lessee, contract purchaser or optionee of the property. This is consistent with the requirements of Title 19.18 Applications and Procedures. Architectural, engineering and legal firms (among others) that do not fall within these categories may act as the representative only, not as the applicant.
- ✓ 2. A Variance will be required for parking and the total gross square footage needs to be used for calculations. This will be a separate application. ~~The play area is applied as public waiting/coating area.~~
- ✓ 3. The 13 parking spaces along the east property line can't be counted toward the onsite parking total. They are not completely on the subject property. Need cross-access agreement for these spaces.
- ✓ 4. The 2 parking spaces along the north, next to the exit aisle can't be counted toward the onsite parking total. All parking spaces must be unimpeded.
5. Revise the Justification letter to request the Parking Variance.
6. Is the 8" DCDA new? If so, 3 feet of landscaping separates the utility structure from the public street right-of-way or sidewalk if it exceeds 27 cubic feet.
7. The perimeter landscaping reduction would require waivers.
8. The parking lot landscape reduction requires an exception.
9. Remapping is required to combine lots.
10. The flags and poles must comply with Title 19.14.040 for the height and number of flags.

11. Sprinklers

12. Need CNLV Traffic Impact

13. Shorting Median Issue. M. Issue w/ drive on Eastern. 15. Bus Turn Out Area.

17. RFR extend and improve
Eastern & Dyer
10. Meet w/ Flood Control
Dedication

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

****Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions****

28/2.

Parcels 250
Labels 237.

C

Report of All Selected Parcels**Case Number:** VAR-38586
VAR-38587, SDR-38585**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
1703 CIVIC CENTER DRIVE L L C	%I & M GREENBERG 1420 DAVIES DR BEVERLY HILLS CA	13923811002
2500 EAST OWENS L L C	5243 W CHARLESTON BLVD #8 LAS VEGAS NV	13924414039
ABRISHAMI ENAYAT & NAIMA	1801 AVE OF THE STARS #935 LOS ANGELES CA	13925101001
ACEVEDO CARMELA	2604 E WEBB AVE NO LAS VEGAS NV	13924414012
ACEVEDO JAVIER & CARMELA	4723 MOUNTAIN SNOW ND LAS VEGAS NV	13924412029
ACOSTA MARIA JESUS	2203 E WEBB AVE NO LAS VEGAS NV	13923815063
ACOSTA SAMUEL & ANGELINA	2533 STANLEY AVE NO LAS VEGAS NV	13924412073
AGUAYO HUMBERTO & ESTELA	2528 E WEBB AVE NO LAS VEGAS NV	13924414008
ALCALA CARLOS	2536 STANLEY AVE NO LAS VEGAS NV	13924412059
ALTAMIRAND WALTER DAMIAN	2536 REYNOLDS AVE NO LAS VEGAS NV	13924412010
APARICIO SANTIAGO & MARIA R	5416 S ST ANDREWS PL LOS ANGELES CA	13923815050
APARICIO-GASPAR ESMERALDA	2529 REYNOLDS AVE NO LAS VEGAS NV	13924412042
ARMAS NORMA & JUAN I	2600 STANLEY AVE NO LAS VEGAS NV	13924412060
ARNESEN EVELYN E	2617 E WEBB AVE NO LAS VEGAS NV	13924414025
ARRBOLA-MEZA FELIPE	2200 & 2202 E OWENS NO LAS VEGAS NV	13923815084
ASTUDILLO TOMAS & ESTHER	2620 STANLEY AVE NO LAS VEGAS NV	13924412065
ATHARI FAMILY INVEST L L C ETAL	6235 S PECOS RD #108/109 LAS VEGAS NV	13923803008
ATHARI FAMILY INVEST L L C ETAL	6235 S PECOS RD #108/109 LAS VEGAS NV	13923803006
ATHARI FAMILY INVEST L L C ETAL	6235 S PECOS RD #108/109 LAS VEGAS NV	13923803007
AUTOZONE INC	%DEPT 8700 P O BOX 2198 MEMPHIS TN	13926508015
AYALA MIGUEL & JULIANA	2304 E WEBB AVE NO LAS VEGAS NV	13923815053
BALIGAD EMMANUEL S & BENNIE T	2517 REYNOLDS AVE NO LAS VEGAS NV	13924412045
BANK U S NATIONAL ASSN TRS	%REO DEPT 888 E WALNUT ST PASADENA CA	13924414044
BARAHONA BLANCA	2522 E OWENS AVE NO LAS VEGAS NV	13924414043
BARRIOS SAUL & ROSALVA	2520 E WEBB AVE NO LAS VEGAS NV	13924414006
BARRON ISAAC ELOY	2604 STANLEY AVE NO LAS VEGAS NV	13924412061
BELTRAN DANIEL	2517 STANLEY AVE NO LAS VEGAS NV	13924412077
BINNEY CHRIS	8832 BLUE WOLF LAS VEGAS NV	13924414057
BLANCO JOSE I & ARMIDA R	5044 CHAVLO DR LAS VEGAS NV	13923815066
BLANCO JOSE I & ARMIDA R	5044 CHAVLO DR LAS VEGAS NV	13923815046
BOGHOSSIAN HAIG & SANDRA	2204 E WEBB AVE NO LAS VEGAS NV	13923815049
BORROEL NOEMI	5785 COMMONWEALTH DR LAS VEGAS NV	13924414041

Report of All Selected Parcels**Case Number:** VAR-38586**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
BUDDE FAMILY TRUST	2600 E OWENS AVE NO LAS VEGAS NV	13924414047
BUYERS SYNDICATE	%WOODBURY CORP 2733 E PARLEYS WY #300 SALT LAKE CITY UT	13926508006
CAMACHO FELIX	2512 E WEBB AVE NO LAS VEGAS NV	13924414005
CAMACHO FELIX	2512 E WEBB AVE NO LAS VEGAS NV	13924414004
CARRENO JOSE S PENA	2209 E WEBB AVE NO LAS VEGAS NV	13923815061
CASTELLANOS JAQUELINE	1617 PATRICIA ST NO LAS VEGAS NV	13924414018
CASTRO MARIA V & JORGE	2504 STANLEY AVE NO LAS VEGAS NV	13924412051
CAZARES JESUS ANGEL	1621 PATRICIA ST LAS VEGAS NV	13924412028
CHASE HOME FINANCE L L C	10790 RANCHO BERNARDO DR SAN DIEGO CA	13924412054
CHOPRA P KUMAR	116 SERRAMONTE HENDERSON NV	13923815103
CHURCH L D S PRESIDING BISHOP	%TAX DIVISION #504-1988 50 E NORTH TEMPLE ST 22ND FLOOR SALT LAKE CITY UT	13923811003
CIRCLE K STORES INC	%PPTY TAX DEPT - DC17 P O BOX 52085 PHOENIX AZ	13926508012
CISNEROS GONZALO	2524 STANLEY AVE NO LAS VEGAS NV	13924412056
CISNEROS LOIS M REVOCABLE TRUST	P O BOX 365133 NO LAS VEGAS NV	13924412080
CISNEROS LOIS M TRUST	P O BOX 365133 NO LAS VEGAS NV	13924412076
CLASHA L P	%C BOTT 1240 HINSON ST LAS VEGAS NV	13926508008
CONNELL LARRY C & DOROTHY	2044 N WALNUT RD LAS VEGAS NV	13924414013
CONRADY LINDA J ETAL	2609 REYNOLDS AVE NO LAS VEGAS NV	13924412037
CORDON MIGUEL A & ALMA G	2616 STANLEY AVE NO LAS VEGAS NV	13924412064
CRUZ MICAELA	4815 N RILEY LAS VEGAS NV	13923815060
DEERFIELD COMPANY	%RALEYS P O BOX 15618 SACRAMENTO CA	13925101005
DELACRUZ FRANCISCO JAVIER	2525 TAYLOR AVE NO LAS VEGAS NV	13924410027
DEOCHOA ALICIA MARTINEZ	139 WESTIN LN HENDERSON NV	13924414020
DESERT SKY INVESTMENTS L L C	%E RANES 284 E LAKE MEAD PKWY #272 HENDERSON NV	13926508018
DIAZ YOLANDA & JDSE E	4543 LITTLE WREN LN LAS VEGAS NV	13923815080
DOMINGUEZ ODILON	2533 E WEBB AVE NO LAS VEGAS NV	13924414031
DUARTE RAYMUNDO M & PATRICIA	4601 ALTA DR LAS VEGAS NV	13923815027
DYE DONALD JOY & MARTHA J	2624 E OWENS AVE NO LAS VEGAS NV	13924414053
EATON LIVING TRUST	50847 N STEINWAY DR WICKENBURG AZ	13924414028
ECHEVERRIA JOSE PORFIRIO	2613 E WEBB AVE NO LAS VEGAS NV	13924414026
ENYEDY IRR SPENDTHRIFT TR AGMT	P O BOX 72516 LAS VEGAS NV	13924412031
ESCALANTE NABOR	2633 WEBB AVE NO LAS VEGAS NV	13924414021

Report of All Selected Parcels**Case Number:** VAR-38586**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
ESCALERA FRANCISCO R PRADO	2517 TAYLOR AVE NO LAS VEGAS NV	13924410025
ESCAMILLA-DIAZ RDBERTO	2200 E WEBB AVE NO LAS VEGAS NV	13923815048
ESPINOZA MARGARITA	1516 COBB LN #2 LAS VEGAS NV	13926510006
FALLA JORGE & NOEMI	4449 MOUNT PENTELI NO LAS VEGAS NV	13925110003
FARIAS JESUS	1006 HARP WY NO LAS VEGAS NV	13923815064
FAVELA OLGA E	5781 SPOON CIR LAS VEGAS NV	13924412005
FAVELA-CANO FAMILY TRUST	6580 W PATRICK LN LAS VEGAS NV	13925101016
FEDERAL HOME LOAN MORTGAGE CORP	1000 TECHNOLOGY DR MS-314 O'FALLON MO	13924412066
FEDERAL HOME LOAN MORTGAGE CORP	888 E WALNUT AVE PASADENA CA	13923815087
FELIX ATALO	2021 STANLEY AVE NO LAS VEGAS NV	13923815022
FELIX OLGA	1616 PATRICIA ST NO LAS VEGAS NV	13924412027
FERNANDEZ RODOLFO & OFELIA	2208 E OWENS AVE NO LAS VEGAS NV	13923815086
FLORES DAVID & RAQUEL	5871 COMMODORE COVE DR LAS VEGAS NV	13924414040
FOLLMER SHIRLEY ANN ETAL	2628 W MENDOZA CIR MESA AZ	13926505006
FRAGOSO JOSE J	4851 SANTA BARBARA ST LAS VEGAS NV	13926503001
FRANCHISE REALTY INTERSTATE CORP	%MCDONALDS CORP (27-0025) P O BOX 182571 COLUMBUS OH	13925101003
FRANCHISE REALTY INTERSTATE CORP	%MCDONALDS CORP (27-0025) P O BOX 182571 COMLUMBUS OH	13925101002
FRANCHISE REALTY INTERSTATE CORP	%MCDONALDS CORP (27-0025) P O BOX 182571 COLUMBUS OH	13925101004
FRAYRE-CHAVARRIA GLORIA	2205 STANLEY AVE NO LAS VEGAS NV	13923815026
GAGNE JAMES L & DARLENE F	2528 E STANLEY AVE NO LAS VEGAS NV	13924412057
GALO JOE	3569 KATMAI DR LAS VEGAS NV	13924412062
GARCIA CEASAR M	2613 STANLEY AVE NO LAS VEGAS NV	13924412068
GARCIA INEZ	2508 STANLEY AVE NO LAS VEGAS NV	13924412052
GARCIA LUIS A	4512 SHERRILL AVE LAS VEGAS NV	13923815067
GARCIA MARIA	2520 REYNOLDS AVE NO LAS VEGAS NV	13924412006
GARZONA JOSE R & ANA E	2609 E WEBB AVE NO LAS VEGAS NV	13924414027
GASTELUM OFELIA	2520 STANLEY AVE NO LAS VEGAS NV	13924412055
GENDALL ALEXANDER & LILY TRUST	8955 PAMONA CT LAS VEGAS NV	13925101017
GOMEZ CESAREO & RUTH	2508 E WEBB AVE NO LAS VEGAS NV	13924414003
GREYMOUTH L L C	2261 ROSANA LAS VEGAS NV	13926508016
GRIJALVA PEDRO	1808 LINDEN AVE LAS VEGAS NV	13924414048
GROFT ARCHIE D & NAOMI REV TR	2184 CHRISTY LN LAS VEGAS NV	13926505002

Report of All Selected Parcels**Case Number:** VAR-38586**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
GROFITS SEARCHLIGHT ADVERTISING	2184 CHRISTY LN LAS VEGAS NV	13926505001
GUMERMAN FAMILY TRUST	%R GUMERMAN 29 COLONIAL IRVINE CA	13926507003
GUTIERREZ JAIME & SILVIA G	5026 RIDGE MESA CT NO LAS VEGAS NV	13926510001
GUZMAN SOTERO & MARIA E	1901 MELINDA AVE LAS VEGAS NV	13926510007
GUZMAN SOTERO & MARIA E	1501 COBB LN LAS VEGAS NV	13926504010
HARTLEY JOYCE MARGARET	2537 REYNOLDS AVE NO LAS VEGAS NV	13924412040
HAYES DALE L & MARY	2516 E OWENS AVE NO LAS VEGAS NV	13924414042
HENRIQUEZ GRICELDA	2512 STANLEY ST NO LAS VEGAS NV	13924412053
HERNANDEZ ANGEL PARRA	2305 E WEBB AVE NO LAS VEGAS NV	13923815058
HERNANDEZ ARTURO	2604 REYNOLDS AVE NO LAS VEGAS NV	13924412012
HERNANDEZ CARLOS FLORES	2532 STANLEY AVE NO LAS VEGAS NV	13924412058
HERNANDEZ CLEMENTE ALCALA	2538 E OWENS AVE NO LAS VEGAS NV	13924414046
HERNANDEZ FAMILY TRUST	4565 W 168TH ST LAWDALE CA	13923815051
HERNANDEZ JORGE A	510 E CYPRESS AVE #F BURBANK CA	13924410023
HERRERA J REFUGIO & DAVID	415 W BONANZA RD LAS VEGAS NV	13924414050
HERRERA JOSE LUIS & ELSY	2608 REYNOLDS AVE NO LAS VEGAS NV	13924412013
HERRERA JUAN M	2400 E WEBB AVE NO LAS VEGAS NV	13923815096
HICKMAN WILLIAM MARK	2400 & 2402 STANLEY AVE NO LAS VEGAS NV	13923815019
HOGAN L L C	%C TERRY ROBERTSON 3160 W SAHARA AVE #A22 LAS VEGAS NV	13924412074
HOPKINS TIMOTHY JR	930 COLORADO BLVD #3 LOS ANGELES CA	13924414019
HOWARD DANIEL F	2537 E WEBB ST NO LAS VEGAS NV	13924414030
HUERTA ARTURO	2314 E WEBB AVE NO LAS VEGAS NV	13923815097
JACKSON LARRY L & MARGARET C	2629 E HICKEY NO LAS VEGAS NV	13923815090
K E C J L L C	3430 BUNKERHILL DR LAS VEGAS NV	13924414032
LANDEROS-MONTALVO BEATRIZ	2213 STANLEY AVE NO LAS VEGAS NV	13923815024
LANNING NICOLE	2525 E WEBB AVE NO LAS VEGAS NV	13924414033
LARIOS FILEMON & TERESA	1100 GREENWAY DR NO LAS VEGAS NV	13923815012
LARIOS FILEMON E & TERESA J	1100 GREENWAY DR LAS VEGAS NV	13923815011
LEON JOSE ANTONIO & CORALIA	2525 REYNOLDS AVE NO LAS VEGAS NV	13924412043
LERMA APOLONIO	1209 WINDY FERRELL NO LAS VEGAS NV	13923815025
LICEA TERESA	2609 STANLEY AVE NO LAS VEGAS NV	13924412069
LOPEZ JESUS L	2601 STANLEY NO LAS VEGAS NV	13924412071

Report of All Selected Parcels**Case Number:** VAR-38586**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
LOPEZ JOSE G RAMOS	2513 STANLEY AVE NO LAS VEGAS NV	13924412078
LOPEZ MARIA D	2216 E OWENS AVE NO LAS VEGAS NV	13923815088
LOPEZ ROSENDO & GABRIEL	6333 ALTA DR LAS VEGAS NV	13926510009
LOPEZ SERGIO M	2532 REYNOLDS AVE NO LAS VEGAS NV	13924412009
LOPEZ-ANGULO RAMON A	2600 REYNOLDS AVE NO LAS VEGAS NV	13924412011
M B G GONZALEZ FAMILY TRUST	15057 ARARAT LOS ANGELES CA	13926503002
MADRID PAUL R & LAURA I	2501 REYNOLDS AVE NO LAS VEGAS NV	13924412049
MANGE CAROLINA	5324 LYTTON AVE LAS VEGAS NV	13924412002
MARTINEZ DARICIO	1616 ZELMA ST NO LAS VEGAS NV	13924414015
MARTINEZ FELISER	2521 E WEBB AVE NO LAS VEGAS NV	13924414034
MARTINEZ FRANCISCO & JOSEFINA	2205 E WEBB AVE NO LAS VEGAS NV	13923815062
MARTINEZ ISIDRO	2524 E WEBB AVE NO LAS VEGAS NV	13924414007
MATEOS LAURA	2521 REYNOLDS AVE NO LAS VEGAS NV	13924412044
MCCLAIN LESA	2612 WEBB ST NO LAS VEGAS NV	13924414014
MCELHOSE TRUST	2511 GREENCASTLE CT OXNARD CA	13926505004
MEDINA ELICIEL GALVEZ	4045 WOODLAWN AVE LYNWOOD CA	13926504004
MEJIA NAPOLEON	1613 PATRICIA ST NO LAS VEGAS NV	13924414017
MERAZ BLANCA MARISA	2628 E OWENS AVE NORTH LAS VEGAS NV	13924414055
MIGUEL FAMILY TRUST 1993 ETAL	%SIGNA REALTY GROUP 601 S RANCHO DR # A-5 LAS VEGAS NV	13925101020
MIRANDA CONRRADINO A & LORENZA	1533 ARTHUR AVE LAS VEGAS NV	13925110001
MOCTEZUMA ARTURO	2601 REYNOLDS AVE NO LAS VEGAS NV	13924412039
MONTANEZ FERNANDO	5239 E MONROE AVE LAS VEGAS NV	13923815021
MONTOYA FELIPE & MARIA DEL R	1520 COBB LN LAS VEGAS NV	13926510005
MORENO ELIZABETH	2500 STANLEY AVE NO LAS VEGAS NV	13924412050
MORENO JUAN RAMON	2505 REYNOLDS AVE NO LAS VEGAS NV	13924412048
MORFIN ROSARIO	2300 E WEBB AVE NO LAS VEGAS NV	13923815052
MORGAN EDNA F	3383 MENDOCINO FOREST ST LAS VEGAS NV	13923815018
MORSE ROBERT B & CARMEN	758 PANHANDLE DR HENDERSON NV	13923815082
MOTA ROSA	2308 STANLEY AVE NO LAS VEGAS NV	13923815017
NIETO FRANCISCO & GLORIA	2537 STANLEY AVE NO LAS VEGAS NV	13924412072
NORTH FAMILY TRUST	2505 TAYLOR AVE NO LAS VEGAS NV	13924410022
OCEGUEDA MARICELA	963 CAREY HALL ST LAS VEGAS NV	13926510002

Report of All Selected Parcels**Case Number:** VAR-38586**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
OJEDA FRANCISCO CANO	2513 TAYLOR AVE NO LAS VEGAS NV	13924410024
OLMEDO MARIA DEL REFUGIO	2512 REYNOLDS AVE NO LAS VEGAS NV	13924412004
ORDAZ ARTURO HUERTA	2309 E WEBB AVE NO LAS VEGAS NV	13923815057
OROZCO GENARO & CRESCENCIO	1515 N EASTERN AVE LAS VEGAS NV	13926505005
ORTIZ MIGUEL	2501 STANLEY AVE NO LAS VEGAS NV	13924412081
ORTIZ VIANEY I	1616 CIVIC CENTER DR NO LAS VEGAS NV	13924414001
PADILLA LOURDES & JOSE M	2629 E WEBB AVE NO LAS VEGAS NV	13924414022
PALOMINO CLAUDIA LIZETTE	2308 E WEBB AVE NO LAS VEGAS NV	13923815054
PARKER FAMILY TRUST	77840 MOUNTAIN VIEW AVE PALM DESERT CA	13924414010
PARKER VERNON MOSS & MARY	P O BOX 3783 STATELINE NV	13924414002
PERALTA PETRA	2204 E OWENS AVE NO LAS VEGAS NV	13923815085
PERDOMO SANTOS DIAZ ETAL	1513 COBB LN LAS VEGAS NV	13926504007
PEREZ NIVARDO	2533 REYNOLDS AVE NO LAS VEGAS NV	13924412041
PEREZ RAYDEL	5709 RUGOSA ALBA CT NO LAS VEGAS NV	13924412001
PEREZ-ORNELAS CRISPIN	2601 E WEBB AVE NO LAS VEGAS NV	13924414029
PETERS ALLINE	1629 PATRICIA ST NO LAS VEGAS NV	13924412030
POBLANO FRANCISCO & BERTHA	2112/2114 E WEBB AVE NO LAS VEGAS NV	13923815047
PONCE FELIX LEAL	2613 REYNOLDS AVE NO LAS VEGAS NV	13924412036
PULIDO GUSTAVO MACIAS	2212 STANLEY AVE NO LAS VEGAS NV	13923815102
RAMEY MARION L & K K REV LIV TR	2528 REYNOLDS AVE NO LAS VEGAS NV	13924412008
RAMIREZ ARCELIA & ALVARO	1201 E 96TH ST LOS ANGELES CA	13924414037
REYES ANTONIO	3724 CRESCENT CANYON ST LAS VEGAS NV	13924410026
REYES CARLOS & MICAELA	2313 STANLEY AVE NO LAS VEGAS NV	13923815095
REYES SERGIO & MAYRA M	2403 STANLEY AVE NO LAS VEGAS NV	13923815094
REYES-LERENA PERLA	2608 E OWENS AVE NO LAS VEGAS NV	13924414049
REYNOSO TERESA	2612 STANLEY AVE NO LAS VEGAS NV	13924412063
RIOS JUAN A	2534 E OWENS AVE NO LAS VEGAS NV	13924414045
RITZ SHIRLEY TRUST AGREEMENT	3510 KATMAI DR LAS VEGAS NV	13924412007
ROBLEDO DOLORES R FAMILY TRUST	533 LA COSTA AVE ENCINITAS CA	13926508003
ROBLEDO DOLORES R FAMILY TRUST	533 LA COSTA AVE ENCINITAS CA	13926508002
ROBLES MARIA ISABEL LUNA TRUST	1524 COBB LN #4 LAS VEGAS NV	13926510004
RODRIGUEZ ANTONIO & DINA	1508 COBB LN LAS VEGAS NV	13926510008

Report of All Selected Parcels**Case Number:** VAR-38586**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
RODRIGUEZ CARLOS F	5516 SNUGLERS CT LAS VEGAS NV	13923815059
RODRIGUEZ MARIA ELENA	2104 E OWENS AVE NO LAS VEGAS NV	13923815081
RODRIGUEZ RAFAEL	2220 E OWENS AVE NO LAS VEGAS NV	13923815089
ROJAS PETER V	1791 N LAMONT ST LAS VEGAS NV	13925101018
RUBIO CECILIO	2304 STANLEY AVE NO LAS VEGAS NV	13923815016
RUBIO JORGE	1881 LA BRISA AVE LAS VEGAS NV	13924412075
RUBIO-REGALDO SIMON	2509 REYNOLDS AVE NO LAS VEGAS NV	13924412047
RUBIO-URENA CANDELARIO	806 SUN SHIMMER PL LAS VEGAS NV	13923815099
RUIZ MIGUEL A	2617 REYNOLDS AVE NO LAS VEGAS NV	13924412035
SAENZ ARMANDO	2513 REYNOLDS AVE NO LAS VEGAS NV	13924412046
SANCHEZ LISA	2605 REYNOLDS AVE NO LAS VEGAS NV	13924412038
SANCHEZ RAUL SOSA	5677 DANCING ORCHID CT LAS VEGAS NV	13924414036
SANCHEZ RAUL SOSA	5677 DANCING ORCHID CT LAS VEGAS NV	13924414035
SANCHEZ ULISES	2109 E WEBB AVE NO LAS VEGAS NV	13923815065
SARABIA MARTHA E	2508 REYNOLDS AVE NO LAS VEGAS NV	13924412003
SIENNA REALTY L L C	%K THAN 6392 CANTELOPE CT LAS VEGAS NV	13926503007
SIENNA REALTY L L C	%K THAN 6392 CANTELOPE CT LAS VEGAS NV	13926503006
SILVA JOSE I	1529 N ARTHUR AVE LAS VEGAS NV	13925110002
SO NV REGIONAL HOUSING AUTHORITY	%C ROWE 340 N 11TH ST #170 LAS VEGAS NV	13925101022
SO NV REGIONAL HOUSING AUTHORITY	%C ROWE 340 N 11TH ST #170 LAS VEGAS NV	13925101023
SOLORZANO ANTONIO & ADILIA	8722 ORCHID AVE LOS ANGELES CA	13924414009
STEWART GORDON ERVIN	900 MEYER LN REDONDO BEACH CA	13926508001
STEWART GORDON ERVIN	900 MEYER LN REDONDO BEACH CA	13926508004
SUSTAITA JEFFREY	812 GRAND AVE LONG BEACH CA	13924412067
SUSTAITA JEFFREY J	812 GRAND AVE LONG BEACH CA	13923811006
TACOS MEXICO INC	P O BOX 7038 LOS ANGELES CA	13924414038
TADEO ROBERTO MURGUIA	1612 ZELMA ST NO LAS VEGAS NV	13924414016
TANGAMANGA	%M CALVILLO 4616 W SAHARA AVE #189 LAS VEGAS NV	13926508019
THOMAS 1991 TRUST	2616 E OWENS AVE NO LAS VEGAS NV	13924414051
TIERNO FAMILY LIMITED PTNRSHIP	%G TIERNO 209 KOKOPELLI CT HENDERSON NV	13923815091
TIRO-DOMINGUEZ MARGARITA	2621 REYNOLDS LAS VEGAS NV	13924412034
TOBAR MARIA & JOSE	1521 ARTHUR AVE LAS VEGAS NV	13925110004

Report of All Selected Parcels**Case Number:** VAR-38586**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
TORRES FRANCISCO	1500 COBB LN LAS VEGAS NV	13926510010
TRAIVAI NEVADA & SOMSAKE	615 LACY LN LAS VEGAS NV	13925101012
TRILLO LUIS O	1521 COBB LN #1 LAS VEGAS NV	13926504005
TRUSTEE CLARK COUNTY TREASURER	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13926505003
TYME PLAZA INC	%S JHAWAR P O BOX 7014 RIVERSIDE CA	13925101019
URENA CANDELARIO R	806 SUN SHIMMER PL LAS VEGAS NV	13923815098
URIOSTEGUI GERMAN E GASPAR	2600 E WEBB AVE NO LAS VEGAS NV	13924414011
VARGAS BLANCA R	2628 E OWENS AVE NO LAS VEGAS NV	13924414054
VERA-CEBALLOS EUCARIO	2509 STANLEY AVE NO LAS VEGAS NV	13924412079
VEYNA GERARDO	2208 STANLEY ST NO LAS VEGAS NV	13923815013
VICARIO ANTONIO JR	2113/2115 STANLEY AVE NO LAS VEGAS NV	13923815028
VILLALOBOS ALBERTINA	9309 GILCREASE #1238 LAS VEGAS NV	13924412070
WARD JOSEPH FRANK & RAQUEL	1601 PATRICIA ST NO LAS VEGAS NV	13924414056
WASH J C JR & CAROLYN	231 BARLETTA AVE LAS VEGAS NV	13924414024
WHEELOCK FRANCISCO & JULIE	2200 NOROICA CT LAS VEGAS NV	13923815023
WILLIAMS STEVE & DEBBIE	12734 W CHARTER OAK RD EL MIRAGE AZ	13926504006
WOMENS DEVELOPMENT CENTER	4020 PECOS MCLEOD LAS VEGAS NV	13926504002
WOMENS DEVELOPMENT CENTER	4020 PECOS MCLEOD LAS VEGAS NV	13926510003
WOMENS DEVELOPMENT CENTER	4020 PECOS MCLEOD LAS VEGAS NV	13926504001
WOMEN'S DEVELOPMENT CENTER	4020 PECOS MCLEOD LAS VEGAS NV	13926504009
WOMEN'S DEVELOPMENT CENTER INC	4020 PECOS MCLEOD LAS VEGAS NV	13926504008
WOODRIDGE VILLAS INC	1837 N ALEXANDRIA AVE #102 LOS ANGELES CA	13925101007
WOODRUFF HAZEL L	2625 E WEBB AVE NO LAS VEGAS NV	13924414023
YANEZ ARMANDO L	1529 COBB LN #2 LAS VEGAS NV	13926504003
ZAMORA JUAN M	2112 E OWENS AVE NO LAS VEGAS NV	13923815083
ZAPATA CARLOS M	2620 E OWENS AVE NO LAS VEGAS NV	13924414052

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301

Fax: 702-474-0352

TTY: 702-386-9108

www.lasvegasnevada.gov

July 30, 2010

McDonald's Corporation
Franchise Realty Interstate
PO Box 182571
Columbus, Ohio 43218

**RE: VAR-38586 - VARIANCE RELATED TO VAR-38587 AND SDR-38585
PLANNING COMMISSION MEETING OF JULY 29, 2010**

Dear Applicant:

Your request for a Variance TO ALLOW 40 PARKING SPACES WHERE 52 SPACES ARE REQUIRED FOR A PROPOSED 5,153 SQUARE-FOOT RESTAURANT at 2513 East Owens Avenue (APNs 139-25-101-002, 003 and 004), C-2 (General Commercial) Zone, Ward 3 (Reese), was considered by the Planning Commission on July 29, 2010.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Variance (VAR-38587) and Site Development Plan Review (SDR-38585) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for new construction. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Torkonian
Steven D. Ross
Ricki Y. Borlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



McDonald's Corporation
VAR-38586 - Page Two
July 30, 2010

5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

This action by the Planning Commission on **July 29, 2010** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **August 9, 2010**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Kevin McAuley
McDonald's USA, LLC
17750 Perimeter Drive, Suite #400
Scottsdale, Arizona 85255

Ms. Samantha Johnston
Spectrum Surveying & Engineering
8905 West Post Road, Suite #200
Las Vegas, Nevada 89148

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

July 16, 2010

McDonald's Corporation
Franchise Realty Interstate
PO Box 182571
Columbus, Ohio 43218

**RE: VAR-38586 - VARIANCE RELATED TO VAR-38587 AND SDR-38585
PLANNING COMMISSION MEETING OF JULY 29, 2010**

Dear Applicant:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **July 29, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, July 23, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Kevin McAuley
McDonald's USA, LLC
17750 Perimeter Drive, Suite #400
Scottsdale, Arizona 85255

Ms. Samantha Johnston
Spectrum Surveying & Engineering
8905 West Post Road, Suite #200
Las Vegas, Nevada 89148

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lais Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell





CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

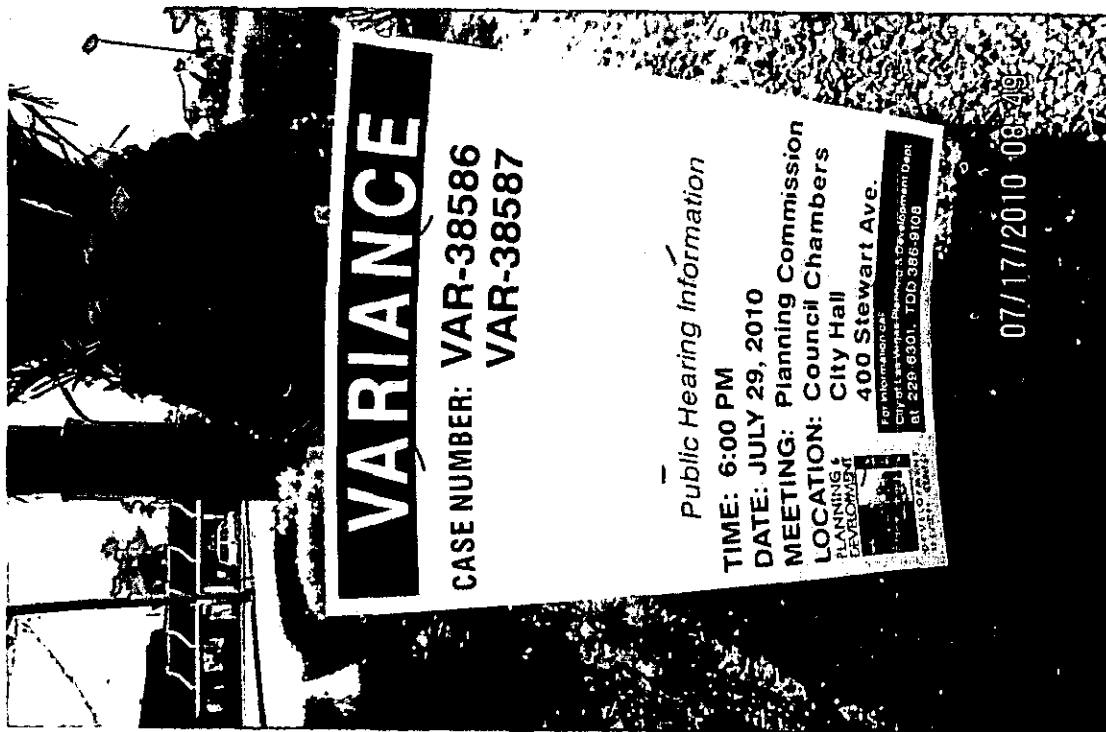


CASE NUMBER: VAR-38586

MEETING DATE: 07/29/10 PC

1 of 2

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



Signature [Handwritten Signature]

Date 7-18-10
INSTALLED 7-17-10 JAW

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



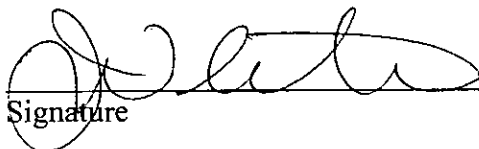
CASE NUMBER: VAR-38586

MEETING DATE: 07/29/10 PC

2 of 2

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Signature

7-18-10
Date

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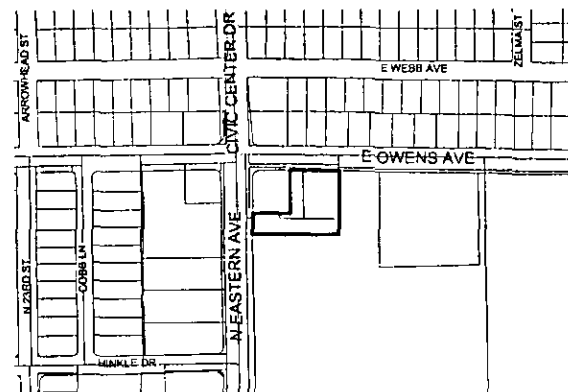
Application Information

VAR-38586 - VARIANCE - PUBLIC HEARING - APPLICANT: McDONALDS USA, LLC - OWNER: FRANCHISE REALTY INTERSTATE CORP. - A request for a Variance TO ALLOW 40 PARKING SPACES WHERE 52 SPACES ARE REQUIRED FOR A PROPOSED 5,153 SQUARE-FOOT RESTAURANT at 2513 East Owens Avenue (APNs 139-25-101-002, 003 and 005), C-2 (General Commercial) Zone, Ward 3 (Reese).

VAR-38587 - VARIANCE RELATED TO VAR-38586 - PUBLIC HEARING - APPLICANT: McDONALDS USA, LLC - OWNER: FRANCHISE REALTY INTERSTATE CORP. - Request for a Variance TO ALLOW AN EIGHT-FOOT TALL MENU BOARD WHERE SEVEN FEET IS THE MAXIMUM HEIGHT ALLOWED, TWO 12-FOOT TALL INCIDENTAL SIGNS (CLEARANCE ARMS) WHERE SEVEN FEET IS THE MAXIMUM HEIGHT ALLOWED AND EXTERNAL ILLUMINATION OF ONE OF THE INCIDENTAL SIGNS (CLEARANCE ARMS) WHERE INTERNAL ILLUMINATION ONLY IS ALLOWED at 2513 East Owens Avenue (APNs 139-25-101-002, 003 and 005), C-2 (General Commercial) Zone, Ward 3 (Reese).

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: July 29, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

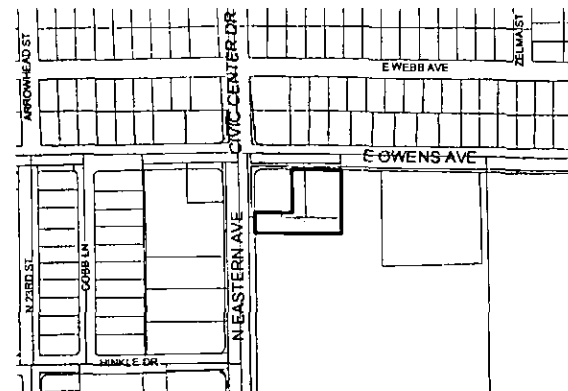
Application Information

VAR-38586 - VARIANCE - PUBLIC HEARING - APPLICANT: McDONALDS USA, LLC - OWNER: FRANCHISE REALTY INTERSTATE CORP. - A request for a Variance TO ALLOW 40 PARKING SPACES WHERE 52 SPACES ARE REQUIRED FOR A PROPOSED 5,153 SQUARE-FOOT RESTAURANT at 2513 East Owens Avenue (APNs 139-25-101-002, 003 and 005), C-2 (General Commercial) Zone, Ward 3 (Reese).

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Application Location



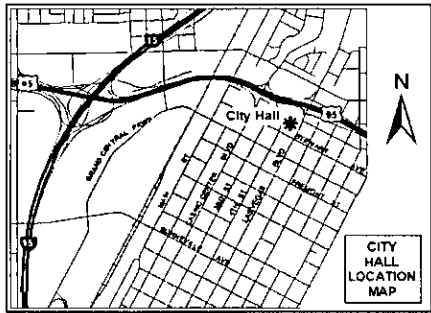
The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: July 29, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

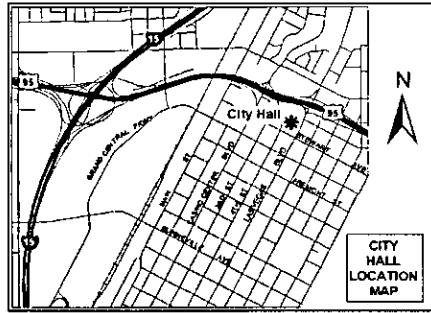
I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-38586 & VAR-38587
Planning Commission Meeting of 7/29/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-38586 & VAR-38587
Planning Commission Meeting of 7/29/2010

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: June 30, 2010
Re: **VAR-38586** McDonalds USA, LLC 2513 E. Owens Ave.
Request for a Variance to allow 40 parking spaces where 46 spaces are required

COMMENTS:

We support present City Code parking requirements, therefore we cannot support the variance request to allow 40 parking spaces where 46 spaces are the minimum allowed for a proposed 5,153 square-foot restaurant at 2513 East Owens Avenue.

Development Notification

PC Meeting: JULY 29, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

VAR-38586

Archie C. Grant Park Resident Council

Arthur McCants Resident Council

Bonanza Gardens Apartments

Boulder Dam Homesites

Bracken NA

College Park NA

Cultural Corridor Coalition NCG

Downtown Business Operators Council

Mirabella Apartments

Vera Johnson Manor A Resident Council

Washington Square NA

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

VAR-38586

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	*BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	3104 BONANZA ROAD
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

VAR-38586 - VARIANCE - PUBLIC HEARING - APPLICANT: McDONALDS USA, LLC - OWNER: FRANCHISE REALTY INTERSTATE CORP. - A request for a Variance TO ALLOW 40 PARKING SPACES WHERE 46 SPACES ARE REQUIRED FOR A PROPOSED 5,153 SQUARE-FOOT RESTAURANT at 2513 East Owens Avenue (APNs 139-25-101-002, 003 and 005), C-2 (General Commercial) Zone, Ward 3 (Reese).

PLANNING COMMISSION: JULY 29, 2010

CITY COUNCIL: SEPTEMBER 1, 2010

PLANNING SUPERVISOR: STEVE GEBEKE



PUBLIC HEARING

Comments Due: JUNE 29, 2010

*Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.*

LIST COMMENTS BELOW:

7/29/10 PH RG

Report Date 06/15/2010 03:14 PM

Submitted By

Page 1

A/P # 38586 VARIANCE

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	06/15/2010 12:39	983052	Temp COO		
Approved			COO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0
Dept of Commerce	# Plans	0
Priority	☒ Auto Reviews	Bill Group

Valuation

Declared Valuation	0.00
Calculated Valuation	0.00
Actual Valuation	0.00

Description of Work

VAR-38586 - VARIANCE - PUBLIC HEARING - APPLICANT: MCDONALDS USA, LLC - OWNER: FRANCHISE REALTY INTERSTATE CORP. - A request for a Variance TO ALLOW 40 PARKING SPACES WHERE 46 SPACES ARE REQUIRED FOR A PROPOSED 5,153 SQUARE-FOOT RESTAURANT at 2513 East Owens Avenue (APNs 139-25-101-002, 003 and 005), C-2 (General Commercial) Zone, Ward 3 Reese.

Parent A/P #

Project #	38586	Project/Phase Name	MCDONALD'S
Size/Area	0.59 ACRE	Size Description	
Proposed Start		Proposed Stop	
% Complete Formula			

Phase #	
Subdivision Code	
% Completed	0.00

Property/Site Information

Parcel 13925101003
Location

Owner/Tenant

Contact ID AC1287041	Name	FRANCHISE REALTY INTERSTATE CORP
Mailing Address P O BOX 182571	Organization	% MCDONALDS CORP (27-0025)
City COMLUMBUS	State/Province	OH
ZIP/PC 43218-2571	Country	☐ Foreign
Day Phone	Evening Phone	
Fax	Mobile #	

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

2513 E OWENS AVE
LAS VEGAS, 89101-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13925101002
13925101003
13925101005

Report Date 06/15/2010 03:14 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity DWNER Contact ID AC1287041 ☐ Foreign
Effective Expire
Name FRANCHISE REALTY INTERSTATE CDRP
Day Phone Eve Phone Organization % MCDONALDS CDRP (27-0025)
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address P D BDX 182571
CDMLUMBUS, DH 43218-2571
Seasonal Addr
Valid From To
Comments kevin mcauley - 543-2733

Primary N Capacity APPL Contact ID AC1786441 ☐ Foreign
Effective Expire
Name MCDONALDS USA
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 17750 PERIMETER DR STE 400
LAS VEGAS, NV 89101
Seasonal Addr
Valid From To
Comments kevin mcauley - 858-342-3536

Primary Y Capacity OTHER Other REP Contact ID AC553265 ☐ Foreign
Effective Expire
Name SPECTRUM SURVEYING & ENGINEERING
Day Phone (702)985-1964 x Eve Phone Organization
Pager PIN # Position
Fax (702)367-8733 Mobile Profession
E-Mail
Address 8905 WEST POST RDAD, SUITE 100
LAS VEGAS, NV 89148
Seasonal Addr
Valid From To
Comments samantha johnson - 367-7705

Contractors

No Contractors

Item Description

Item Status

Check Fees	Fees Successful
NOTIFICATION & ADVERTISING FEE (\$500.00)	Paid
PROCESSING FEE (\$300.00)	Paid
RECORDING OF NOTICE OF ZONING ACTION (\$30.00)	Paid
Check Inspections	Inspections Successful
Check Reviews	Reviews Failed

Report Date 06/15/2010 03:14 PM

Submitted By

Page 3

Item Description	Item Status
------------------	-------------

396248 B&S PLAN #1 (BUILDING&SAFETY PLAN REVIEW)	Incomplete
396246 DEVCO #1 (DEVELOPMENT COORDINATION)	Incomplete
396257 FIRE ENG #1 (FIRE PROTECTION ENGINEERING)	Incomplete
396250 FLOOD #1 (FLOOD CONTROL)	Incomplete
396249 LAND DEV #1 (LAND DEVELOPMENT)	Incomplete
396247 NEIGH P&S #1 (NEIGHBORHOOD PLAN & SUPPORT)	Incomplete
396256 ROW #1 (RIGHT-OF-WAY)	Incomplete
396251 SEWER #1 (COLLECTION SYSTEMS PLANNING)	Incomplete
396255 SID #1 (SPECIAL IMPROVEMENT DISTRICT)	Incomplete
396253 SURVEY #1 (SURVEY)	Incomplete
396254 TEFO #1 (TRAFFIC ENG FIELD OPERATIONS)	Incomplete
396252 TRAFFIC #1 (TRAFFIC ENGINEERING)	Incomplete
Check Conditions	Conditions Successful
Z-LEGAL (LEGAL DONE?)	No affect on stage
Check Alert Conditions	Alert Conditions Failed
(PT-ENTER THE # OF LABELS)	
(ASSIGN CASE TO A PLANNER)	
(AT-COMplete DRT PROCESS)	
(PT-NOTIFICATION MAP DATE)	
(AT-ROUTE PLANS FOR REVIEW)	
(AT-SEND PUB HEARING NOTICE)	
(AT-SEND TO REVIEW JOURNAL)	
(PT-SIZE OF NOTIFICATION AREA)	
(SIGNPRO-MEMO SENT TO POST DT)	
(SIGNPRO-SIGN POSTED DATE)	
(STAFF RECOMMENDATION)	
Check Licenses	Not Checked
Check Children Status	Children Successful
Check Open Cases	0

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	06/15/2010 13:14	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	06/15/2010 13:14	30.00
PROCESSING FEE	P	06/15/2010 13:14	300.00
Total Unpaid		0.00	Total Paid 830.00

Inspections

There are no Inspections for this Report

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Startet	Completed	Comp By
396246	DEVCO	1	Incomplete	☐	06/15/2010 15:11			
396247	NEIGH P&S	1	Incomplete	☐	06/15/2010 15:11			
396248	B&S PLAN	1	Incomplete	☐	06/15/2010 15:11			
396249	LAND DEV	1	Incomplete	☐	06/15/2010 15:11			

Report Date 06/15/2010 03:14 PM

Submitted By

Page 4

Review Activities
Review #
Comments

Review Type

#

Status

Waived

Issued

Started

Completed

Comp By

396250	FLOOD	1	Incomplete	☐	06/15/2010 15:11			
396251	SEWER	1	Incomplete	☐	06/15/2010 15:11			
396252	TRAFFIC	1	Incomplete	☐	06/15/2010 15:11			
396253	SURVEY	1	Incomplete	☐	06/15/2010 15:11			
396254	TEFO	1	Incomplete	☐	06/15/2010 15:11			
396255	SID	1	Incomplete	☐	06/15/2010 15:11			
396256	ROW	1	Incomplete	☐	06/15/2010 15:11			
396257	FIRE ENG	1	Incomplete	☐	06/15/2010 15:11			

Activity/Review Details

Detail SUBMITTAL CHECKLIST (VAR)

Modified By FSOLIS

Modified Date/Time 06/15/2010 12:39

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y	Pre-Application Conference Checklist	Y	Site Plan (18 Folded Blue Lines, 1 Rolled Color)
Y	Application/Petition Form	N	Building Elevations (2 Folded, 1 Rolled Color)
Y	Deed and Legal Description	N	Floor Plan (1 Folded, 1 Rolled)
Y	Justification Letter	Y	Laser Print Site Plan
Y	Assessors Parcel Map	N	Laser Print Floor Plan
Y	Statement of Financial Interest	N	Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions
Condition
Supervisor Required

Approval

Approved By
Comments

Approved Date

Applied By

Applied Date

Assigned

Z-LEGAL				983052	06/15/2010 12:39
N					

Project# **AP Type** **Status** **Stage** **Relation**

No children exist for this project

Planning Condition **Description** **Effective** **Expire** **Comments**

There is no planning condition for this project.

Report Date 06/15/2010 03:14 PM

Submitted By

Page 5

VARIANCE

N Parent Project link required?

Final City Council letter received

N Will this go to the City Council?

Annotated minutes received

Is there a condition of approval for a Required Review?

If yes, when does it need to be reviewed?

Staff Recommendation

Meeting Information

Meeting Information
Meeting Date
Comments
Added By

Meeting Type

Meeting Status

Add Date

Modified By

Modified Date

YES Votes

NO Votes

ABSTENTIONS

07/29/2010

PC

SCHEDULED

0

0

0

FSOLIS

06/15/2010

Template Type/AP #

AP Type

Status

Stage

No children exist for this project

Employee
Employee ID

Last

First

MI

Comments

No Employee Entries

Log
Action
Comments

Description

Entered By

Start

Stop

Hours

PAYMNT CO NAME WHO PICKED UP CONTACT# 970040 06/15/2010 13:18

0.00

SAMANTHA JOHNSTON, 702.367.7705, SPECTRUM SURVEYING & ENGR INC CK 47825

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Variance - PARKING
 Project Address (Location) 2513 E Owens Avenue
 Project Name McDonalds at Eastern & Owens Proposed Use Commercial
 Assessor's Parcel #(s) 139-25-101-002, 003 & 005 Ward # 3
 General Plan: existing X proposed Zoning: existing X proposed
 Commercial Square Footage Floor Area Ratio
 Gross Acres Lots/Units Density
 Additional Information

PROPERTY OWNER Franchise Realty Interstate Contact C/O McDonalds Corporation
 Address P.O. Box 182571 Phone: (858) 342-3536 Fax: (702) 543-2733
 City Columbus State OH Zip 43218
 E-mail Address keyin.mcauley@mcd.us.com

APPLICANT McDonalds USA LLC Contact Kevin McAuley
 Address 17750 Perimeter Dr. Ste 400 Phone: (858) 342-3536 Fax: (702) 543-2733
 City Scottsdale State AZ Zip 85255
 E-mail Address kevin.mcauley@mcd.com

REPRESENTATIVE Spectrum Surveying & Engineering Contact Samantha Johnston
 Address 8905 W. Post Road Suite 100 Phone: (702) 367-7705 Fax: (702) 367-8733
 City Las Vegas State NV Zip 89148
 E-mail Address samanthajohnston@cox.net

Property Owner Signature* Kevin T. McAuley

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

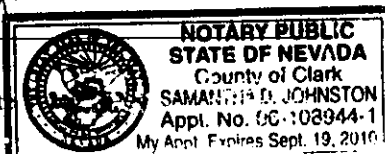
Print Name KEVIN T. MCAULEY

Subscribed and sworn before me

This 30 day of May, 20 10

Samantha D. Johnston

Notary Public in and for said County and State



RECEIVED

Revised 10/27/08

JUN 15 2010

City of Las Vegas

FOR DEPARTMENT USE ONLY

Case #	<u>VAR-38586</u>
Meeting Date:	<u>7-29-10</u>
Total Fee:	<u>\$30.00</u>
Date Received:	<u>6-15-10</u>
Received By:	<u>F.S</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



8905 W. Post Road, Suite 100
Las Vegas, NV 89148
Phone: 702.367.7705
Fax: 702.367.8733

June 15, 2010

City of Las Vegas
Attn: John Grider
Development Services Center
731 South Fourth Street
Las Vegas, NV 89101
Tel. (702) 229-6301

Subject parcel: Parking Variance Request for
APN: 139-25-101-002, 139-25-101-003, 139-25-101-004
(At the Corner of Eastern Ave and Owens Ave.)
0.89 Gross Acres

Mr. Grider:

This serves as a justification letter for the above mentioned parcels for the proposed McDonalds restaurant. We are proposing to demolish the existing McDonalds building to replace with a 5,153 sq.ft. McDonald's restaurant located on the same parcels as mentioned above. In addition to the Site Development Review application that is being submitted concurrently with this application, we are requesting a variance to the parking requirements set forth in Title 19.10.

In addition to the Site Development Review application being submitted concurrently with this request, we are requesting the approval of a variance to the parking requirements set forth in Title 19.10. Per the requirements set forth in Title 19.10, the number of required parking is forty-six parking spaces and since we are proposing forty parking spaces this development does not meet the required number of parking per Title 19.10. Please see parking calculations below:

Restaurant:	$1/100 \times 3,823 = 38.2$
Add. Seating:	$1 /100 \times 480 = 4.8$
Playplace:	$1/100 \times 300 = 3.0$

Total: = 46.0 Required

Total: = 40.0 Provided

We have provided a minimal square footage within the Play Place for the above parking calculations to reflect a minimal amount of seating that will be within the Play Place area.

Since the majority of McDonald's business is drive-thru and not a dine in restaurant, we are suggesting that a reduction in the number of parking spaces required be approved to meet the number of parking spaces that we are proposing for this project.

VAR-38586

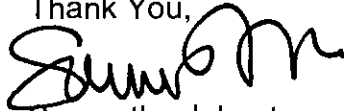
RECEIVED

JUN 15 2010

City of Las Vegas

If you have any further questions pertaining to this project, please give me a call.

Thank You,

A handwritten signature in black ink, appearing to read 'Samantha Johnston', written over the printed name.

Samantha Johnston
Project Coordinator

VAR-38586



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-38586** APN: 139-25-101-002, 003 & 005

Name of Property Owner: Franchise Realty Interstate C/O McDonalds Corporation

Name of Applicant: McDonalds USA LLC

Name of Representative: Spectrum Surveying & Engineering C/O Samantha Johnston

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

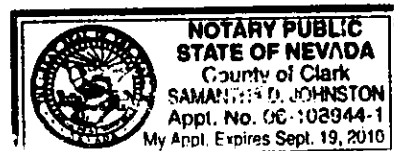
Signature of Property Owner: *Kevin T. McAuley*

Print Name: KEVIN T. McAULEY

Subscribed and sworn before me

This 3rd day of May, 2010

Samantha D. Johnston
Notary Public in and for said County and State



ATTN: FRED SOLIS



McDonald's USA LLC
One McDonald's Plaza
Oak Brook, IL 60523
Direct Dial Number: (630) 623-3778
Fax: (630) 623-8154

March 17, 2010

RE: Limited Authority for Permit and Approval
Applications for Nevada

To Whom It May Concern:

This will confirm that James Carras and, Catherine A. Griffin each of whom is an officer of McDonald's USA LLC, Cody Teets, Vice President, General Manager; John Burroughs, Development Director; Johnny Adkins, Real Estate Manager; Mike Crawley, Regional Construction Manager; Asa Mayo, Area Construction Manager, and Kevin McAuley, Area Construction Manager are jointly and severally authorized to execute and deliver, for and on behalf of McDonald's USA LLC, for so long as they are employees in good standing with McDonald's USA LLC, building permit applications, special or conditional use permit applications, zoning applications, Design Review Board applications, Planning Commission applications, City Council applications and any other applications for governmental permits and approvals in connection with the development, rebuild, remodel, or alteration of any McDonald's restaurant located in the above-mentioned states. The aforementioned Limited Authority shall expire March 17, 2011.

Sincerely,

McDONALD'S USA, LLC

Catherine A. Griffin
U.S. Vice President and Secretary

Document #: 791037-v4

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JUN 15 2010

VAR-38586

City of Las Vegas

BOOK-905

A.R.P.T.T.S. 60.50

864274

4-1

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That RAY LONG and HELEN LONG, husband and wife; HAROLD
PEYTON LAUGHINGHOUSE, a married man and AVIS M. TAYLOR, a married woman

FOR A VALUABLE CONSIDERATION, the receipt of which is hereby acknowledged, do hereby Grant, Bargain,
 Sell and Convey to FRANCHISE REALTY INTERSTATE CORPORATION, an Illinois corporation

all that real property situated in the _____ County of Clark

State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF.

- SUBJECT TO:
- (1) Taxes for the fiscal year 1977-78.
 - (2) Rights, rights of way, reservations, restrictions, conditions and easements now of record.
 - (3) Special Assessment levied by the City of Las Vegas.



Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness our hands this 31st day of March, 1978

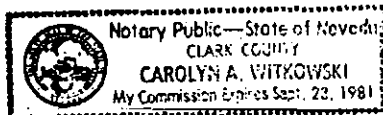
STATE OF NEVADA
 COUNTY OF CLARK } SS.

On April 28, 1978
 personally appeared before me, a Notary Public,
Ray Long, Helen Long, Harold Peyton Laughinghouse
and Avis M. Taylor

who acknowledged that they executed the above instrument.

Signature Carolyn A. Witkowski
 (Notary Public)

(Notarial Seal)



ESCROW NO.) 78-9803-CW
 ORDER NO.)
 WHEN RECORDED MAIL TO: Franchise Realty Interstate
 Corporation, McDonalds Plaza, Oak Brook,
 Ill. 60521

RECEIVED

JUN 15 2010

City of Las Vegas

EXHIBIT "A"

That portion of the Northwest Quarter (NW 1/4) of Section 25, Township 20 South, Range 61 East, M.D.B.&M., in the County of Clark, State of Nevada, more particularly described as follows:

BEGINNING at the Northwest corner of the Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4) of said Section 25; thence East along the North line of said Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4), 215 feet to the TRUE POINT OF BEGINNING; thence continuing East along said North line 115 feet to a point; thence South 200 feet to a point; thence West 115 feet parallel to said North line to a point; thence North 200 feet to the TRUE POINT OF BEGINNING.

EXCEPT the North 30 feet as conveyed to the County of Clark for road purposes.

BOOK 905

864274

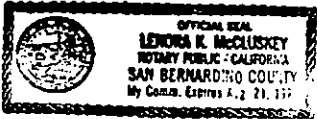
4-3

STATE OF California
COUNTY OF San Bernardino } SS.

ON April 28, 19 78
before me, the undersigned, a Notary Public in and for said State, personally appeared
Avia M. Taylor
known to me,
to be the person whose name is subscribed to the within instrument,
and acknowledged to me that he executed the same.

WITNESS my hand and official seal.

Lena R. McCluskey
Notary Public in and for said State.

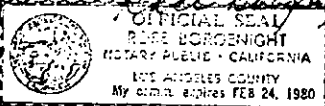


ACKNOWLEDGMENT—General—Walcott Form 231—Rev. 3-64

State of California
County of Los Angeles } SS.

On this the 3rd day of May, 19 78, before me,
the undersigned Notary Public, personally appeared
Harold Peyton Laughinghouse
known to me to be the person(s) whose name(s) is subscribed
to the within instrument and acknowledged that he
executed the same for the purposes therein contained.
IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Rose Borgenicht
OFFICIAL SEAL
ROSE BORNENIGHT
NOTARY PUBLIC - CALIFORNIA
LOS ANGELES COUNTY
My Comm. Expires FEB 24, 1980



GENERAL ACKNOWLEDGEMENT FORM

BOOK 905

864274

4-4

INST. NO. 864274
OFFICIAL RECORD BOOK NO. 905
RECORDED AT REQUEST OF
WESTERN TITLE CO.

JUN 22 8 50 PM '72

CLARK COUNTY NEVADA
JOAN L. SMITH RECORDER

FEE 6.00 DEPUTY MA

864274