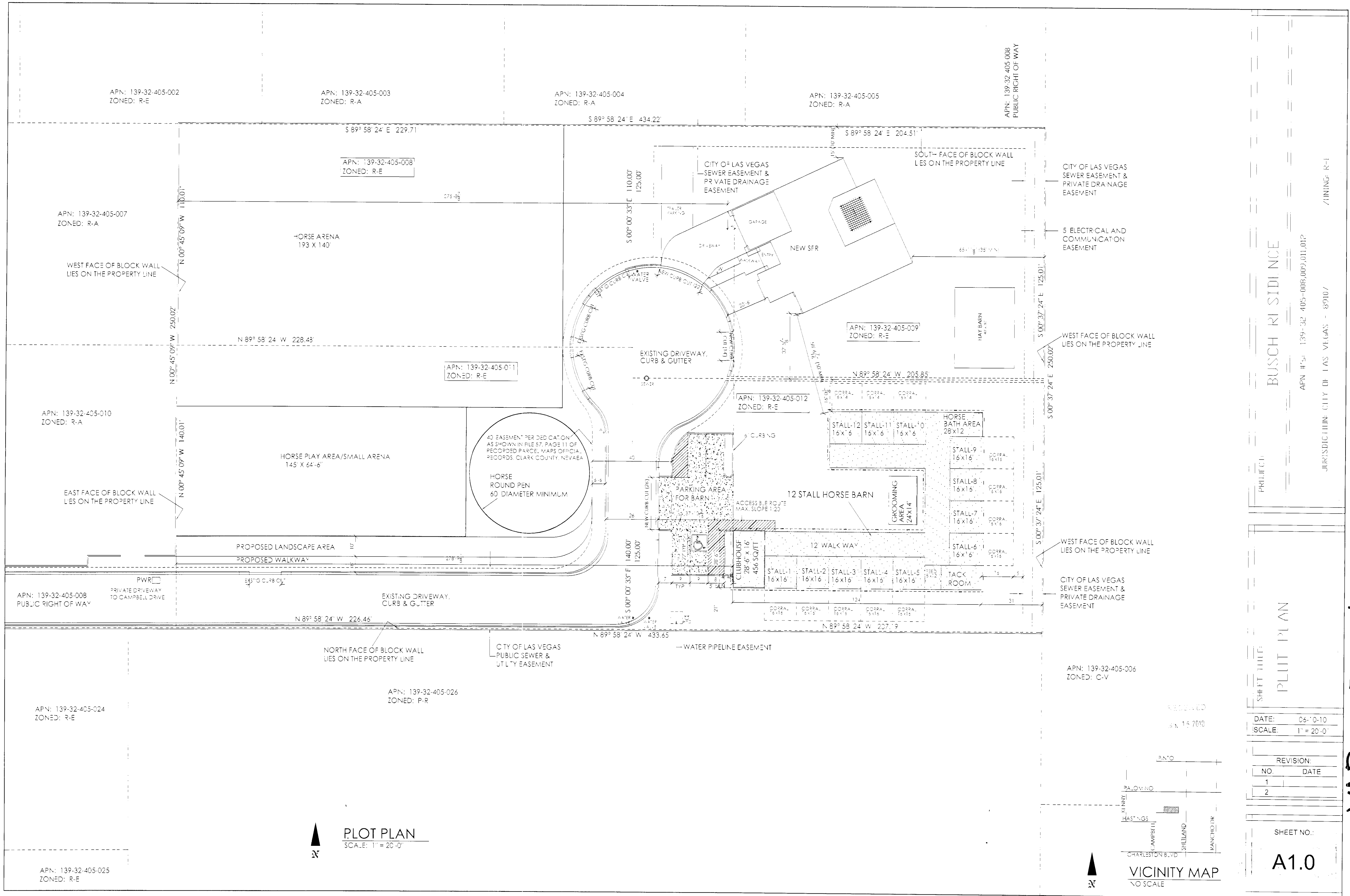




BUSCH RESIDENCE

PLOT PLAN

DATE: 06-10-10
SCALE: 1" = 20'-0"

REVISION:	
NO.	DATE
1	
2	

SHEET NO.:
A1.0

JURISDICTION: CITY OF LAS VEGAS - 8910/
ZONING: R-E
APN #5: 139-32-405-008,009,011,012

VAR-38582 & SUP-38573 7/29/10 PC



23100 BAXTER RD, WILDOWAR, CA 92595
PH: (951) 678-4571 FAX: (951) 678-7366

FLOOR PLAN

NED & ANN BUSH
CAMPBELL DR.
APN#: 139 -32 405-012
LAS VEGAS, NEVADA
SHEDROW BARN

06-01-10

UJR

3/32" = 1'-0"

B10036

00000-00

S1.1

2

7

VAR-38582

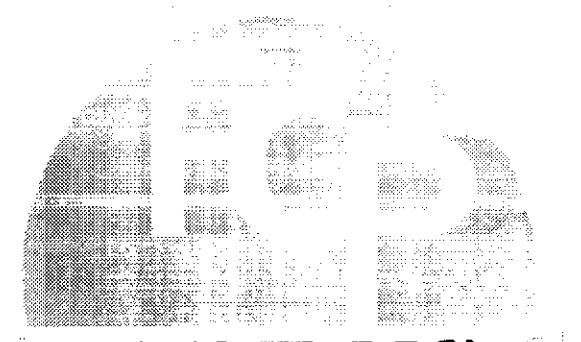
WALL SCHEDULE				
SYMBOL	SIZE	EXTERIOR FINISH	INTERIOR FINISH	NOTE
W1	12' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W2	8' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W3	8' x 8' SOLID WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W4	8' x 8' SOLID WALL PANEL	EMBOSSED STEEL	ZNC	NONE
W5	12' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE
W6	8' x 8' WALL PANEL	T&G	ZNC	NONE
W7	8' x 8' WALL PANEL	T&G	ZNC	NONE
W8	8' x 8' SOLID WALL PANEL	ZNC	ZNC	NONE
W9	3'-10" x 8' SOLID WALL PANEL	EMBOSSED STEEL	ZNC	NONE
W10	4' x 8' SOLID WALL PANEL	T&G	ZNC	NONE
W11	8' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE
W12	8' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W13	4' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE
W14	12' x 8' SOLID WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W15	12' x 8' WALL PANEL	T&G	ZNC	NONE
W16	4' x 8' WALL PANEL	T&G	ZNC	NONE
W17	4' x 8' WALL PANEL	EMBOSSED STEEL	ZNC	NONE
W18	12' x 8' SOLID WALL PANEL	ZNC	EMBOSSED STEEL	NONE

OPENING SCHEDULE					
SYMBOL	OPENING TYPE	GLASS	SAFETY GLASS	TRACK & ROLLER	NOTES
A	4080 OPENING	N	N	Y	4080 STALL FRONT SLIDING DOOR W/ (5) 1 7/8" HORIZONTAL RAIL
B	4080 OPENING	N	N	Y	4080 SOLID SLIDING DOOR
C	37 3/4" x 82" OPENING	N	N	N	3068 HAND DOOR
D	8040 OPENING	N	N	N	8040 OPENING W/ (5) 1 7/8" HORIZONTAL RAIL
E	4080 OPENING	N	N	N	4080 OPENING W/ (5) 1 7/8" HORIZONTAL RAIL
F	3030 OPENING	Y	Y	N	3030 TEMPERED WINDOW W/O GRIPS
G	8080 OPENING	N	N	N	8080 OPENING ONLY

BP1 - BRACNG POST: 3"x3"x13 GA. - 14
PC1 - PORCH COLUMN: 4"x4"x13 GA. - 12

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**BARN
AND BUILDINGS**

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PH: (951) 678-4571 FAX: (951) 678-7366

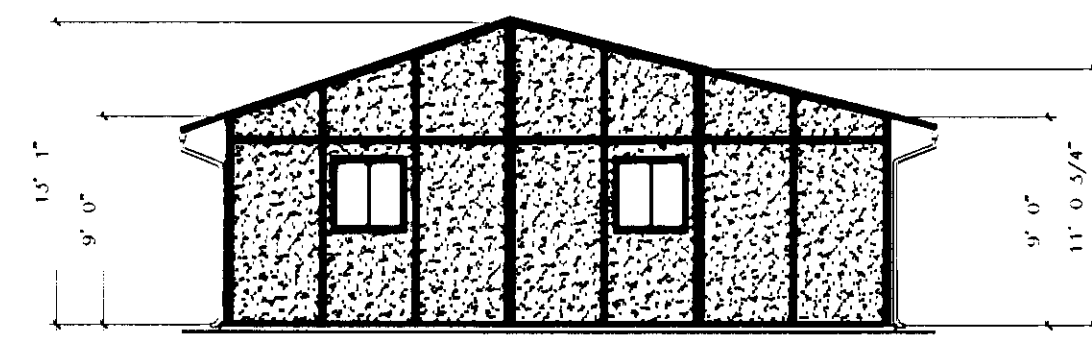
SECTION/ELEVATIONS

NED & ANN BUSII
CAMPBELL DR.
APN#: 139-32 405-012
LAS VEGAS, NEVADA
SHEDROW BARN

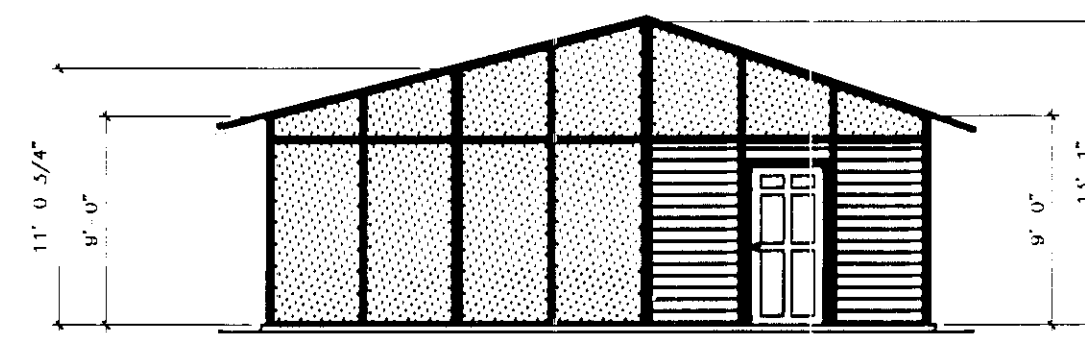
06-01-10
UJR
3/32" = 1'-0"
B10036
00000-00

S3.1

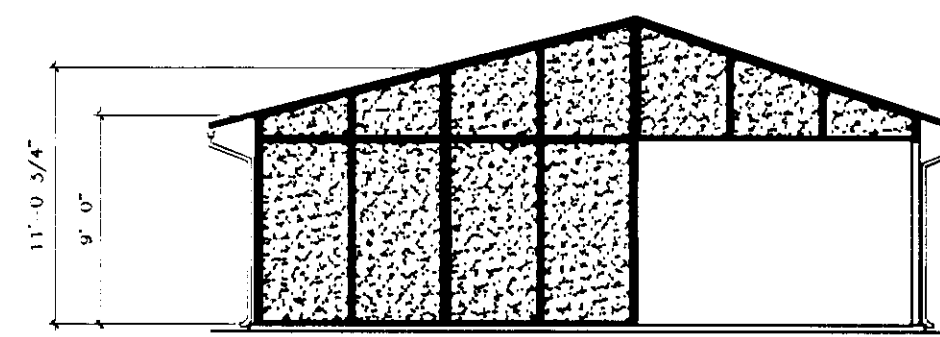
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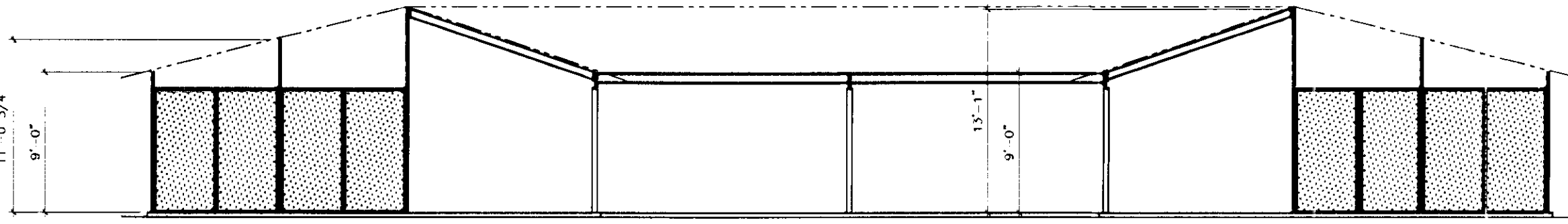
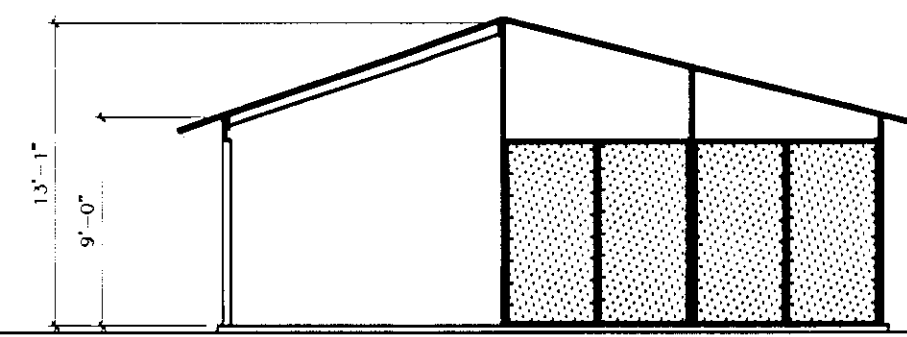
ELEVATION AT LINE A



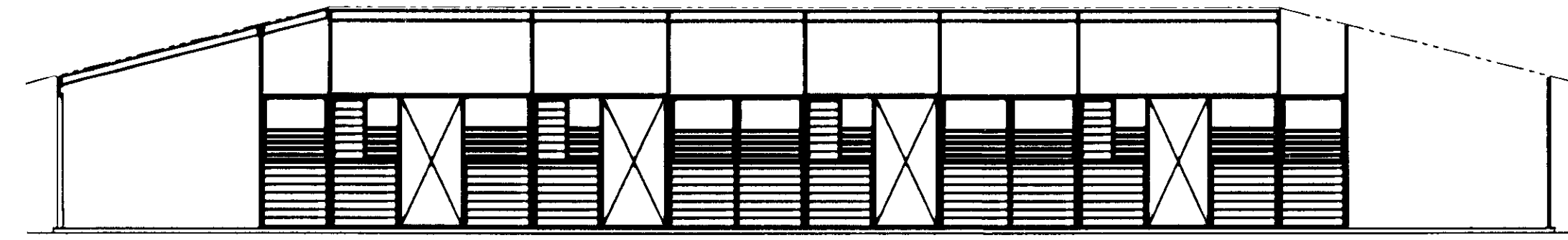
ELEVATION AT LINE C



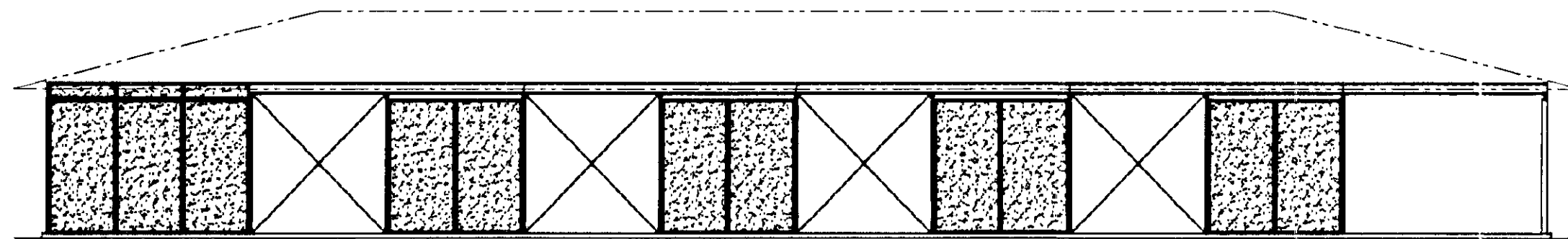
ELEVATION AT LINE G



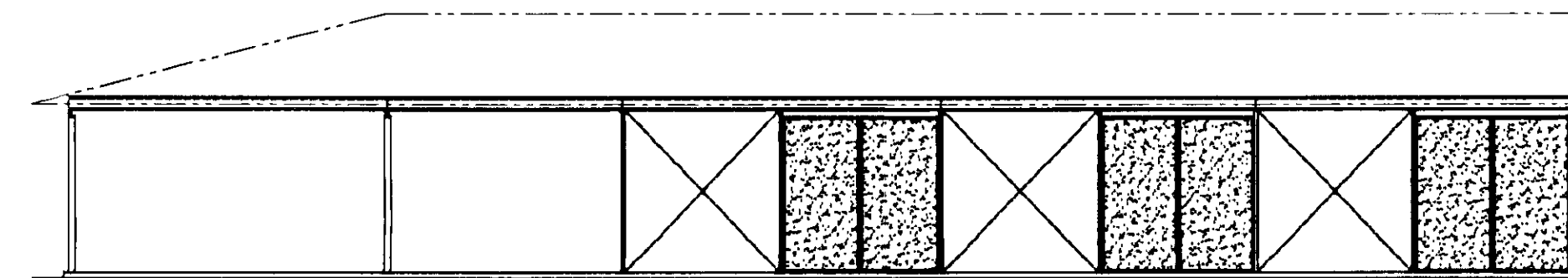
ELEVATION AT LINE N



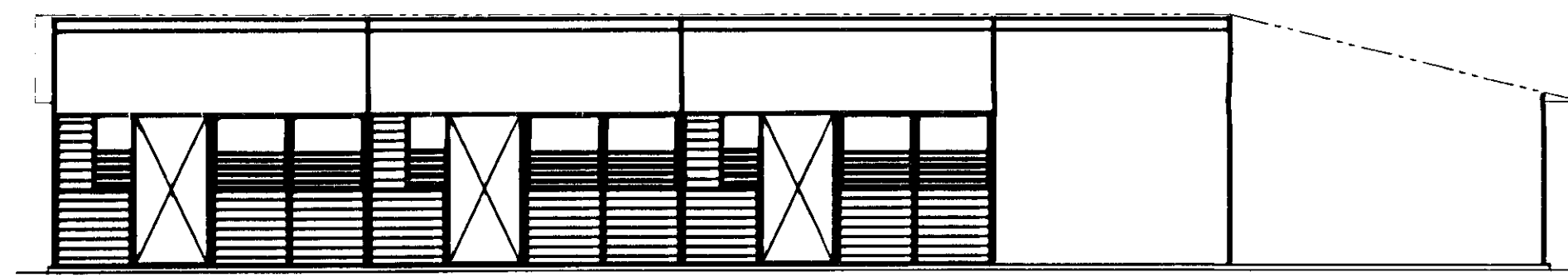
ELEVATION AT LINE Q



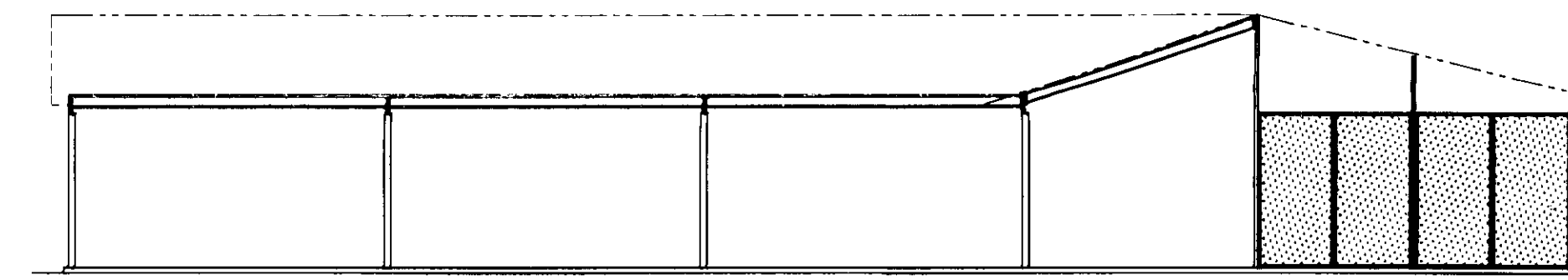
ELEVATION AT LINE S



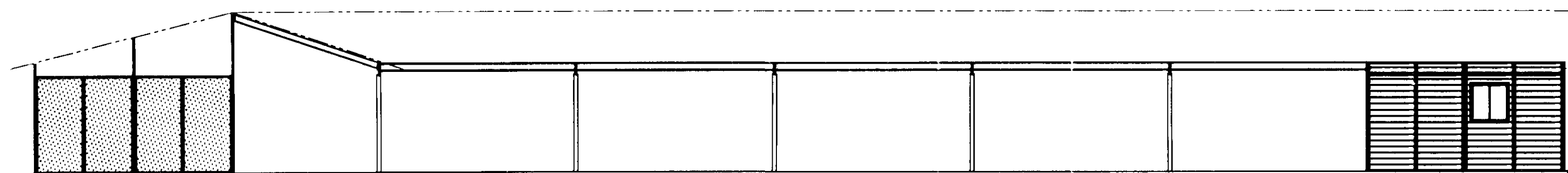
ELEVATION AT LINE 1



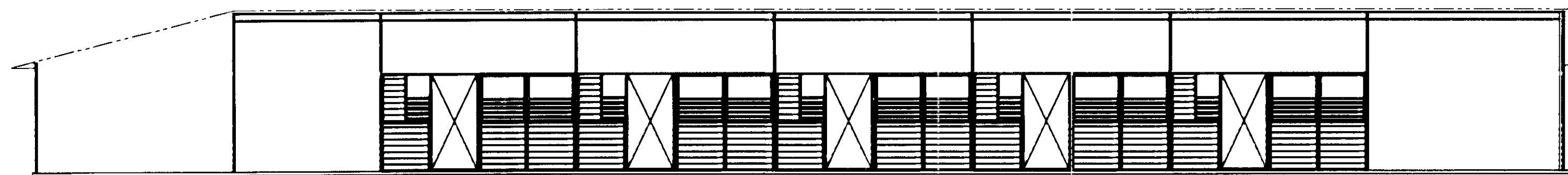
ELEVATION AT LINE 4



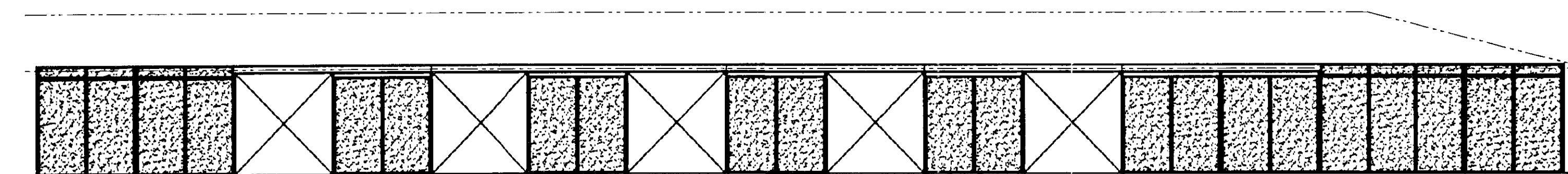
ELEVATION AT LINE 6



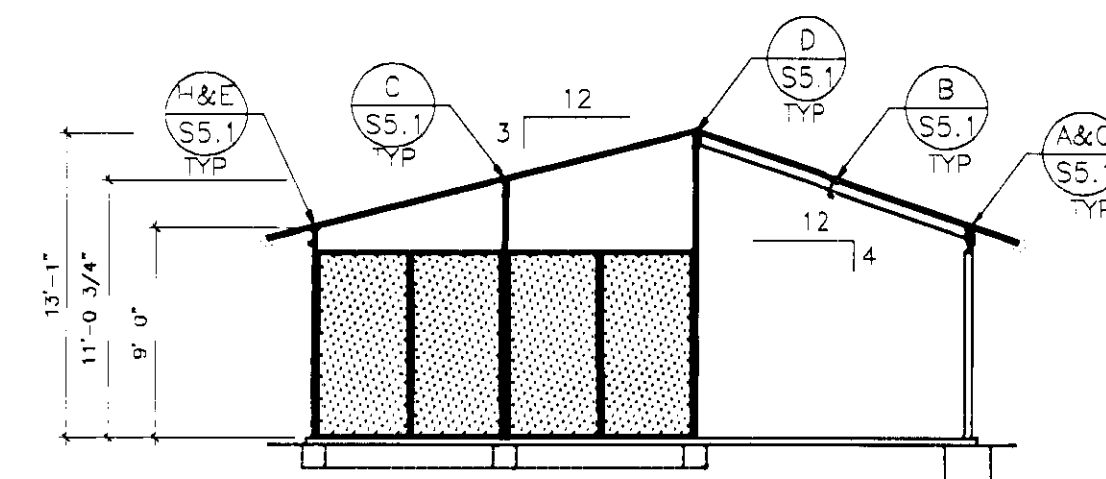
ELEVATION AT LINE 10



ELEVATION AT LINE 12



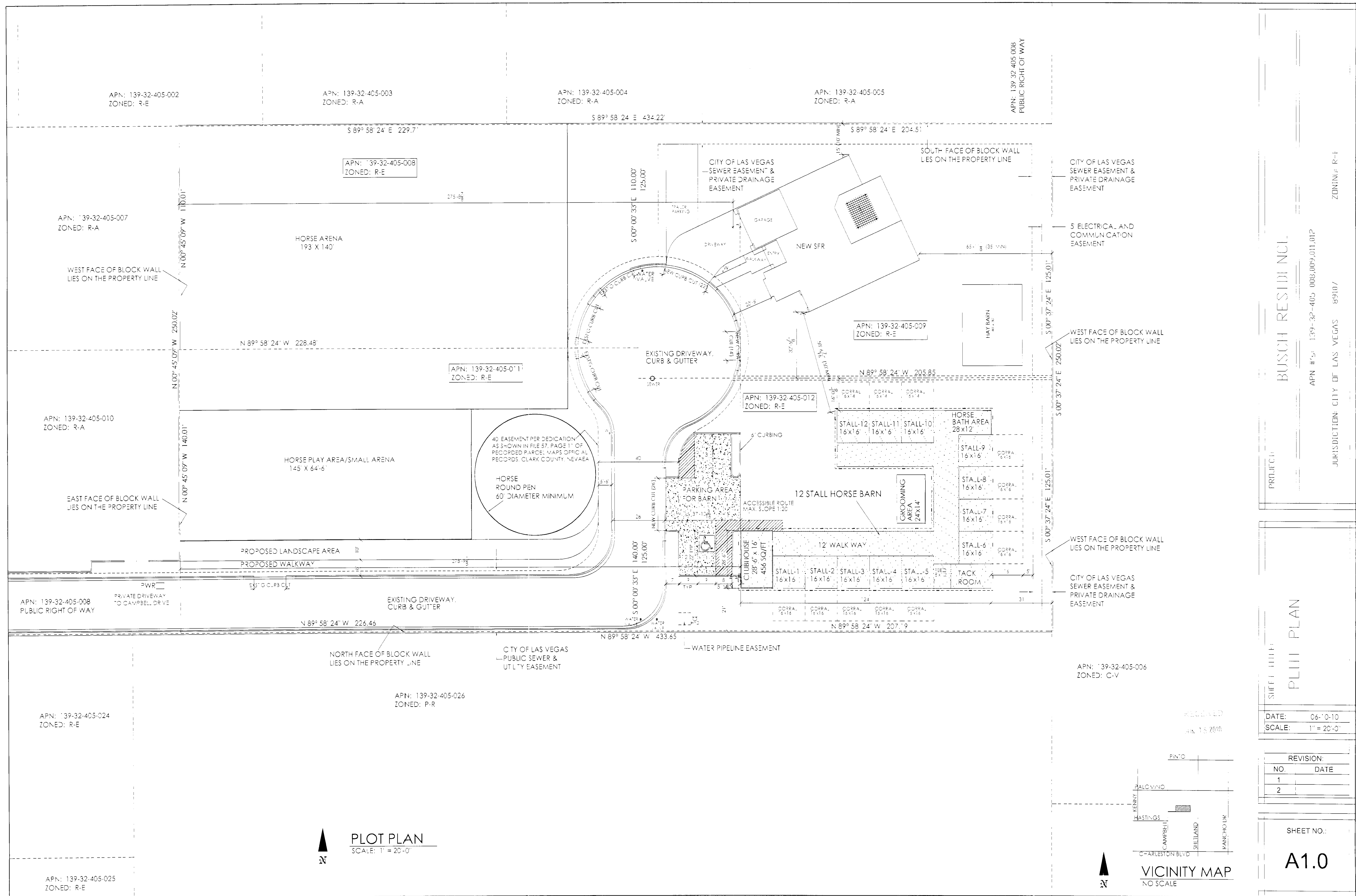
ELEVATION AT LINE 15



CROSS SECTION

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VAR-38582



PROJECT: BUSCH RESIDENCE

APN #'S: 139-32-405 008,009,011,012

JURISDICTION: CITY OF LAS VEGAS 89107

ZONING: R-E

PLAT PLAN

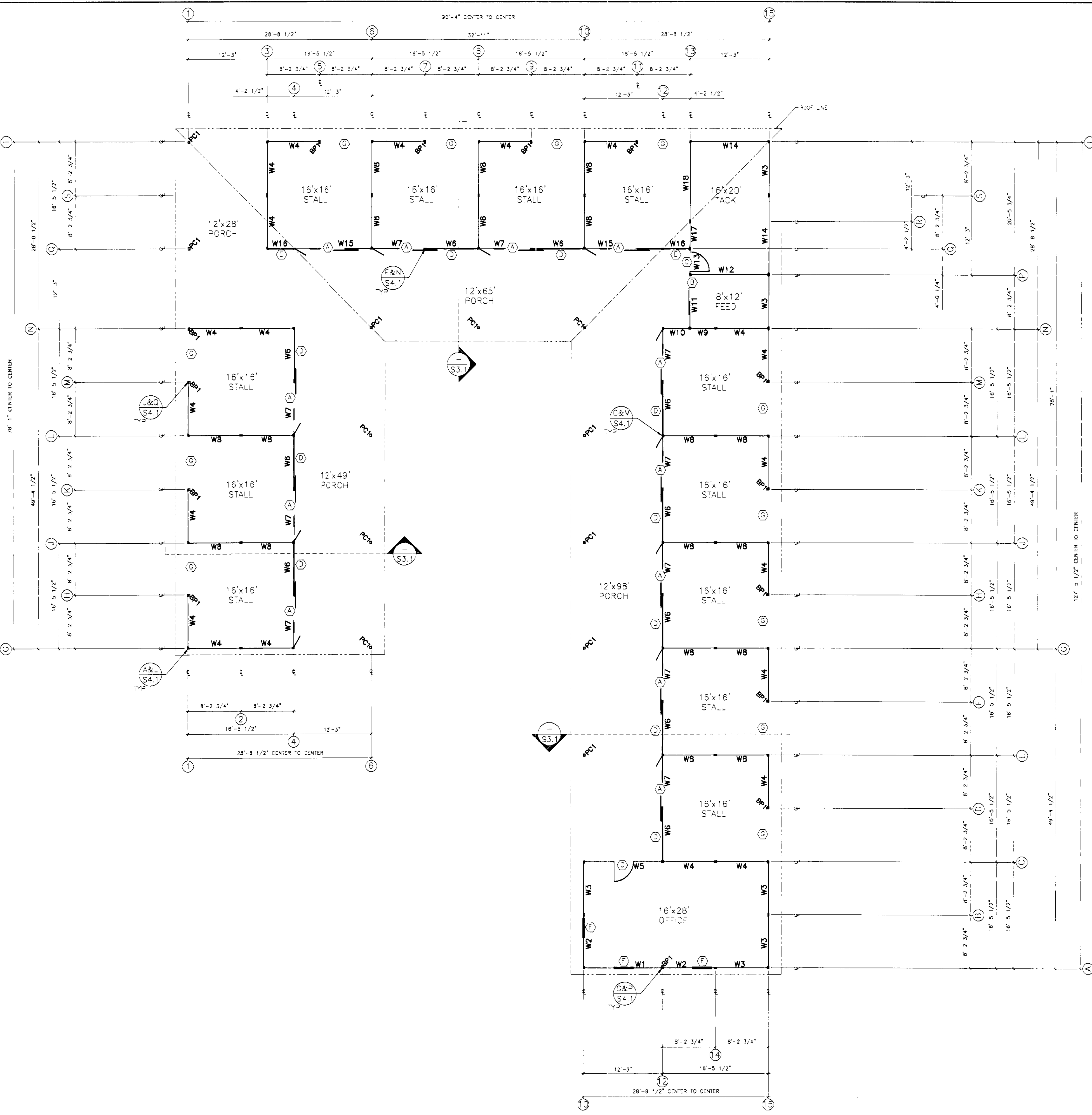
DATE: 06-10-10
SCALE: 1" = 20'-0"

REVISION:
NO. DATE
1
2

SHEET NO.:

A1.0

VAR-38582



WALL SCHEDULE					
SYMBOL	SIZE	EXTERIOR FINISH	INTERIOR FINISH	NOTE	QUANTITY
W1	12' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE	1
W2	8' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE	2
W3	8' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE	6
W4	SOLID WALL PANEL	EMBOSSED STEEL	ZINC	NONE	21
W5	12' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE	1
W6	8' x 8' WALL PANEL	T&G	ZINC	NONE	10
W7	8' x 8' STALL FRONT	T&G	ZINC	NONE	10
W8	8' x 8' WALL PANEL	ZINC	ZINC	NONE	18
W9	3'-10" x 8' SOLID WALL PANEL	EMBOSSED STEEL	ZINC	NONE	1
W10	SOLID WALL PANEL	T&G	ZINC	NONE	1
W11	8' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE	1
W12	8' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE	1
W13	4' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE	1
W14	12' x 8' SOLID WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE	2
W15	12' x 8' STALL FRONT	T&G	ZINC	NONE	2
W16	4' x 8' WALL PANEL	T&G	ZINC	NONE	2
W17	4' x 8' WALL PANEL	EMBOSSED STEEL	ZINC	NONE	1
W18	12' x 8' SOLID WALL PANEL	ZINC	EMBOSSED STEEL	NONE	1

OPENING SCHEDULE					
SYMBOL	OPENING TYPE	GLASS	SAFETY GLASS	TRACK & ROLLER	NOTES
A	4080 OPENING	N	N	Y	4080 STALL FRONT SLIDING DOOR W/(S) 1 7/8" HORIZONTAL RAIL
B	4080 OPENING	N	N	Y	4080 SOLID SLIDING DOOR
C	37 3/4" x 82" OPENING	N	N	N	3068 MANDOR
D	8040 OPENING	N	N	N	8040 OPENING W/(S) 1 7/8" HORIZONTAL RAIL
E	4080 OPENING	N	N	N	4080 OPENING W/(S) 1 7/8" HORIZONTAL RAIL
F	3030 OPENING	Y	Y	N	3030 TEMPERED WINDOW W/O GRID
G	8080 OPENING	N	N	N	8080 OPENING ONLY

BP1 - BRACING POST: 3"x3"x13 GA. - 14
PC1 - PORCH COLUMN: 4"x4"x13 GA. - 12

BARNs AND BUILDINGS
23100 BAXTER RD, WILDOMAR, CA 92595
P: (951) 878-4571 FAX: (951) 878-7366

FLOOR PLAN

NED & ANN BUSH
CAMPBELL DR.
APN#: 139 32-405-012
LAS VEGAS, NEVADA
SHEDROW BARN

06-01-10
UJR
3/32" = 1'-0"
B10036
00000-00

S1.1

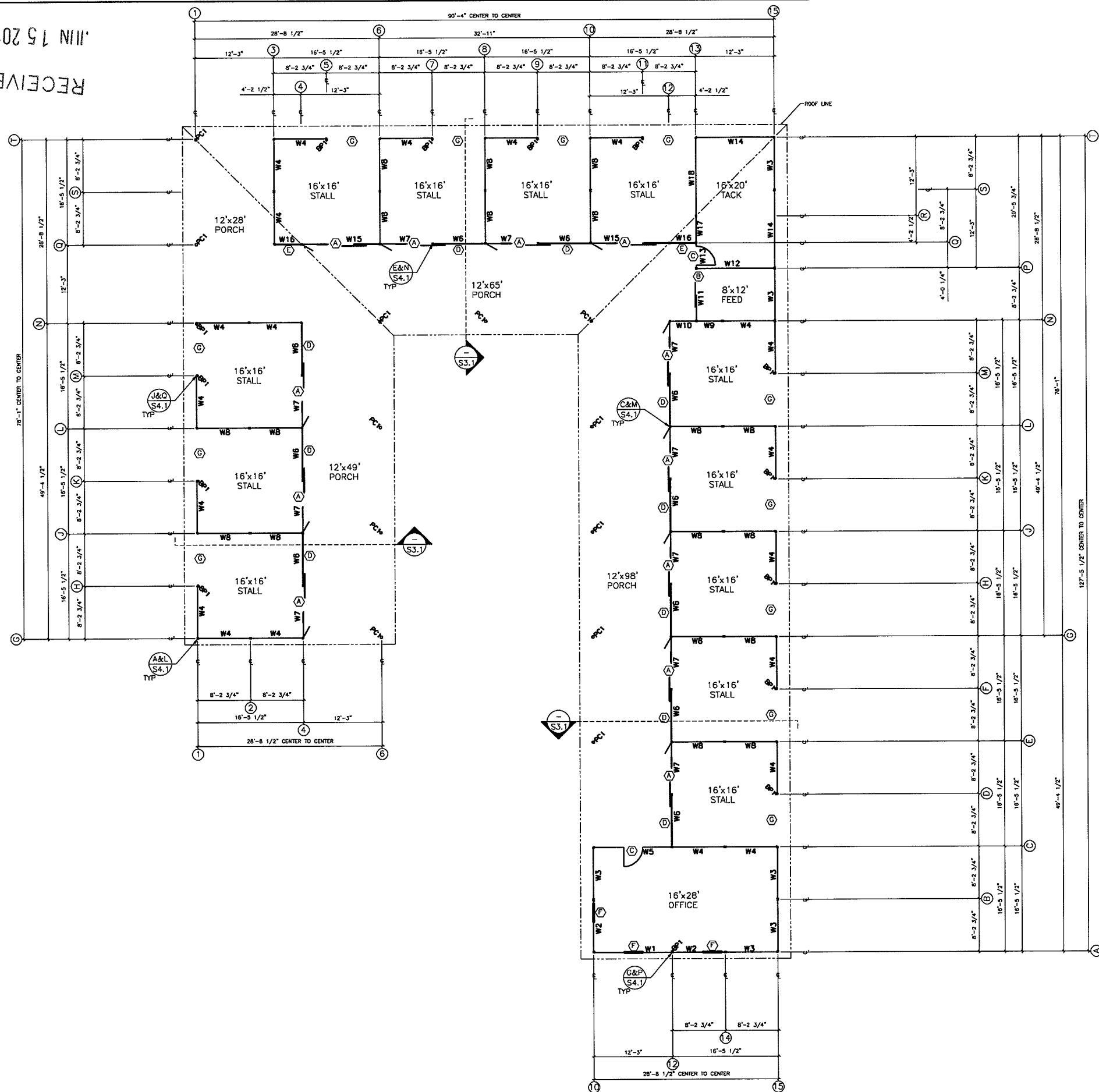
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VAR-38582 & SUP-38573 7/29/10 PC

VAR-38582
SUP-38573
07/29/10 PC

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JUN 15 2010

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JUN 15 2010



WALL SCHEDULE				
SYMBOL	SIZE	EXTERIOR FINISH	INTERIOR FINISH	NOTE
W1	12' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W2	8' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W3	8' x 8' SOLID WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W4	8' x 8' SOLID WALL PANEL	EMBOSSED STEEL	ZINC	NONE
W5	12' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE
W6	8' x 8' WALL PANEL	T&G	ZINC	NONE
W7	8' x 8' STALL FRONT	T&G	ZINC	NONE
W8	8' x 8' SOLID WALL PANEL	ZINC	ZINC	NONE
W9	3' x 10' x 8' SOLID WALL PANEL	EMBOSSED STEEL	ZINC	NONE
W10	4' x 8' SOLID WALL PANEL	T&G	ZINC	NONE
W11	8' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE
W12	8' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W13	4' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE
W14	12' x 8' SOLID WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W15	12' x 8' STALL FRONT	T&G	ZINC	NONE
W16	4' x 8' WALL PANEL	T&G	ZINC	NONE
W17	4' x 8' WALL PANEL	EMBOSSED STEEL	ZINC	NONE
W18	12' x 8' SOLID WALL PANEL	ZINC	EMBOSSED STEEL	NONE

OPENING SCHEDULE					
SYMBOL	OPENING TYPE	GLASS	SAFETY GLASS	TRACK & ROLLER	NOTES
A	4080 OPENING	N	N	Y	4080 STALL FRONT SLIDING DOOR W/ (5) 1 7/8" HORIZONTAL RAIL
B	4080 OPENING	N	N	Y	4080 SOLID SLIDING DOOR
C	37 3/4" x 82" OPENING	N	N	N	3068 MANDOOK
D	8040 OPENING	N	N	N	8040 OPENING W/ (5) 1 7/8" HORIZONTAL RAIL
E	4080 OPENING	N	N	N	4080 OPENING W/ (5) 1 7/8" HORIZONTAL RAIL
F	3030 OPENING	Y	Y	N	3030 TEMPERED WINDOW W/O CROS
G	8080 OPENING	N	N	N	8080 OPENING ONLY

BP1 - BRACING POST: 3"x3"x13 GA. - 14
PC1 - PORCH COLUMN: 4"x4"x13 GA. - 12



BARNs AND BUILDINGS

23100 BAXTER RD, WILDOMAR, CA 92595
PH: (951) 678-4571 FAX: (951) 678-7366

FLOOR PLAN

NED & ANN BUSH
CAMPBELL DR.
APN#: 139-32-405-012
LAS VEGAS, NEVADA

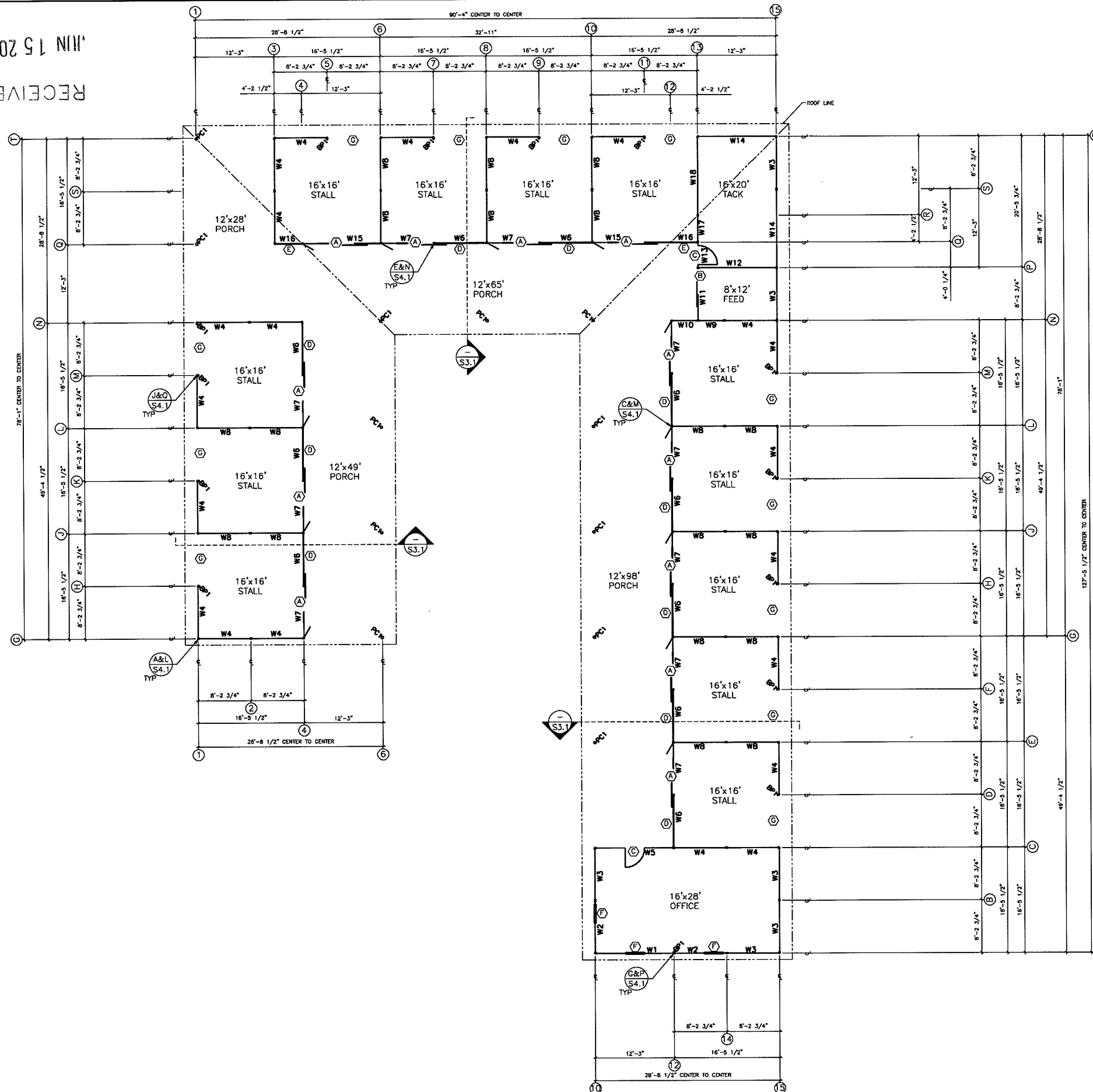
SHEDROW BARN

NO.	REVISION/ISSUE	DATE

DATE: 06-01-10
DRAWN BY: UJR
SCALE: 3/32" = 1'-0"
DRAWING NUMBER: B10036
ZUS NUMBER: 00000-00

SHEET NUMBER:
S1.1
SHEET 2 OF 7

RECEIVED
JUN 15 2010



WALL SCHEDULE				
SYMBOL	SIZE	EXTERIOR FINISH	INTERIOR FINISH	NOTE
W1	12' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W2	8' x 8' PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W3	8' x 8' SOLID WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W4	8' x 8' SOLID WALL PANEL	EMBOSSED STEEL	ZINC	NONE
W5	12' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE
W6	8' x 8' WALL PANEL	T&G	ZINC	NONE
W7	8' x 8' STALL FRONT	T&G	ZINC	NONE
W8	8' x 8' WALL PANEL	ZINC	ZINC	NONE
W9	5'-10" x 8' SOLID WALL PANEL	EMBOSSED STEEL	ZINC	NONE
W10	4' x 8' SOLID WALL PANEL	T&G	ZINC	NONE
W11	8' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE
W12	8' x 8' WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W13	4' x 8' WALL PANEL	T&G	EMBOSSED STEEL	NONE
W14	12' x 8' SOLID WALL PANEL	EMBOSSED STEEL	EMBOSSED STEEL	NONE
W15	12' x 8' STALL FRONT	T&G	ZINC	NONE
W16	4' x 8' WALL PANEL	T&G	ZINC	NONE
W17	4' x 8' WALL PANEL	EMBOSSED STEEL	ZINC	NONE
W18	12' x 8' SOLID WALL PANEL	ZINC	EMBOSSED STEEL	NONE

OPENING SCHEDULE					
SYMBOL	OPENING TYPE	GLASS	SAFETY GLASS	TRACK & ROLLER	NOTES
A	4080 OPENING	N	N	Y	4080 STALL FRONT SLIDING DOOR W/ (8) 1 7/8" HORIZONTAL RAIL
B	4080 OPENING	N	N	Y	4080 SOLID SLIDING DOOR
C	37 3/4" x 82" OPENING	N	N	N	3068 MANDOR
D	8040 OPENING	N	N	N	8040 OPENING W/ (5) 1 7/8" HORIZONTAL RAIL
E	4080 OPENING	N	N	N	4080 OPENING W/ (5) 1 7/8" HORIZONTAL RAIL
F	3030 OPENING	Y	Y	N	3030 TEMPERED WINDOW W/O GRDS
G	8080 OPENING	N	N	N	8080 OPENING ONLY

BP1 - BRACING POST: 3"x3"x13 GA. - 14
PC1 - PORCH COLUMN: 4"x4"x13 GA. - 12

VAR-38582
SUP-38573



FLOOR PLAN

NED & ANN BUSH
CAMPBELL DR.
APN#: 139-32-405-012
LAS VEGAS, NEVADA
SHEDROW BARN

NO.	REVISION/ISSUE	DATE

DATE: 06-01-10
DRAWN BY: UJR
SCALE: 3/32" = 1'-0"
DRAWING NUMBER: B10036
ZJS NUMBER: 00000-00

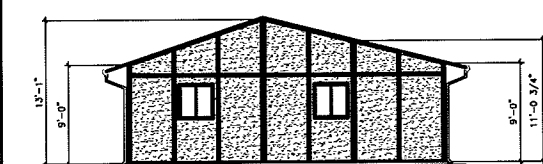
SHEET NUMBER:
S1.1
SHEET 2 OF 7

67'-6"

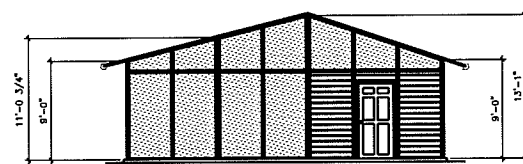


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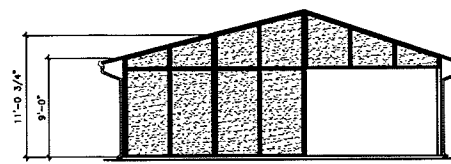
City of Las Vegas



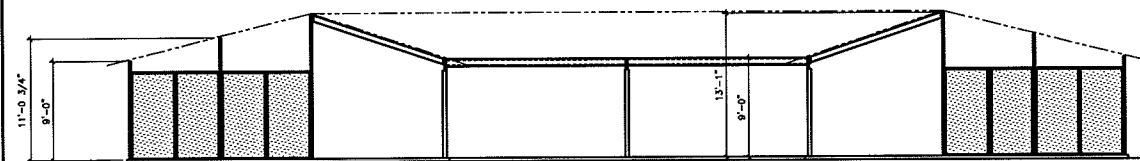
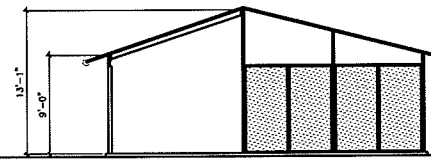
ELEVATION AT LINE A



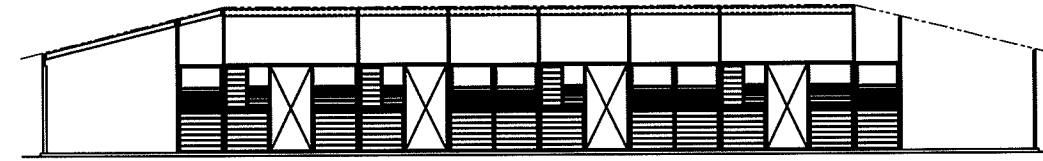
ELEVATION AT LINE C



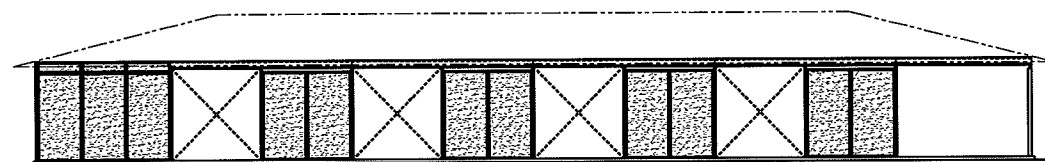
ELEVATION AT LINE G



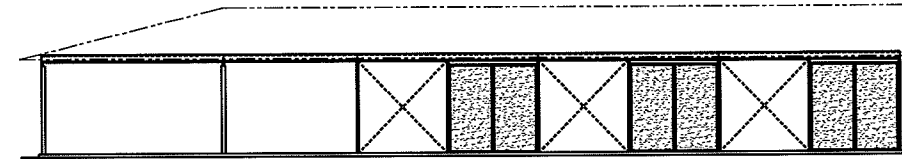
ELEVATION AT LINE N



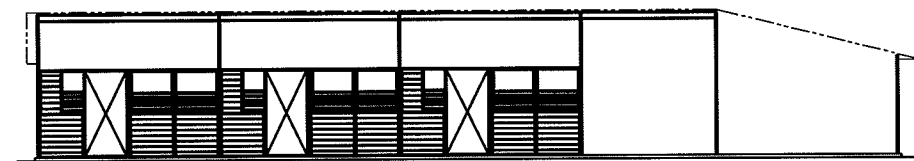
ELEVATION AT LINE O



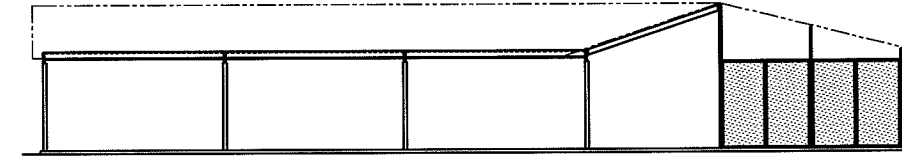
ELEVATION AT LINE S



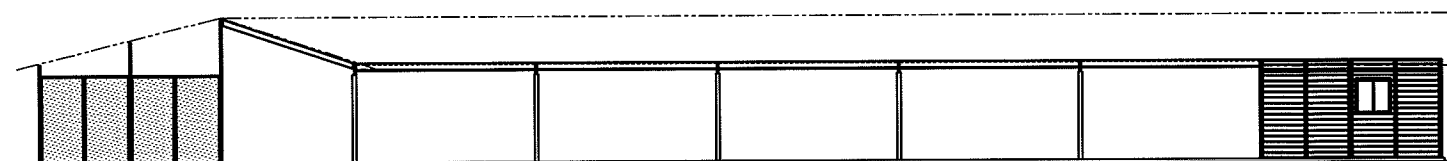
ELEVATION AT LINE 1



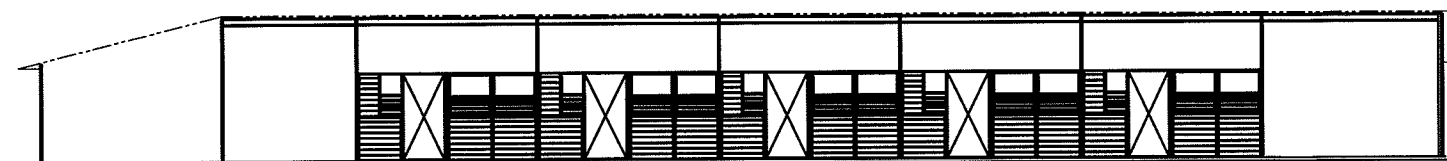
ELEVATION AT LINE 4



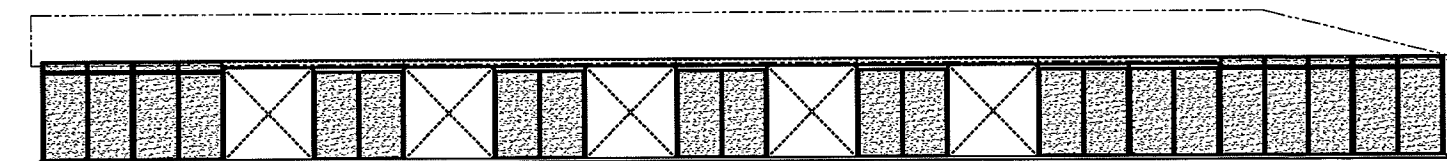
ELEVATION AT LINE 6



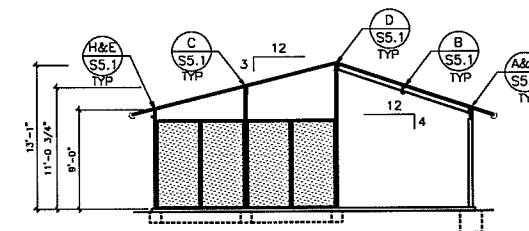
ELEVATION AT LINE 10



ELEVATION AT LINE 12



ELEVATION AT LINE 15



CROSS SECTION



23100 BAXTER RD, WILDOMAR, CA 92595
PH: (951) 678-4571 FAX: (951) 678-7366

SECTION/ELEVATIONS

NED & ANN BUSH
CAMPBELL DR.
APN#: 139-32-405-012
LAS VEGAS, NEVADA
SHEDROW BARN

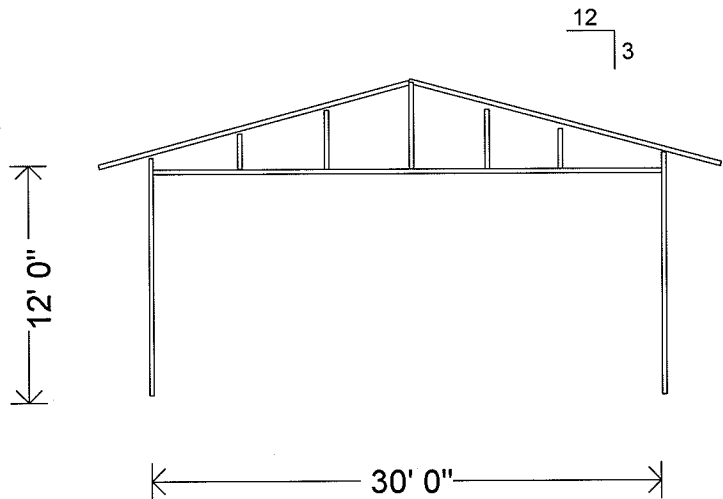
NO.	REVISION/ISSUE	DATE

DATE: 06-01-10
DRAWN BY: UJR
SCALE: 3/32" = 1'-0"
DRAWING NUMBER: B10036
ZJS NUMBER: 00000-00

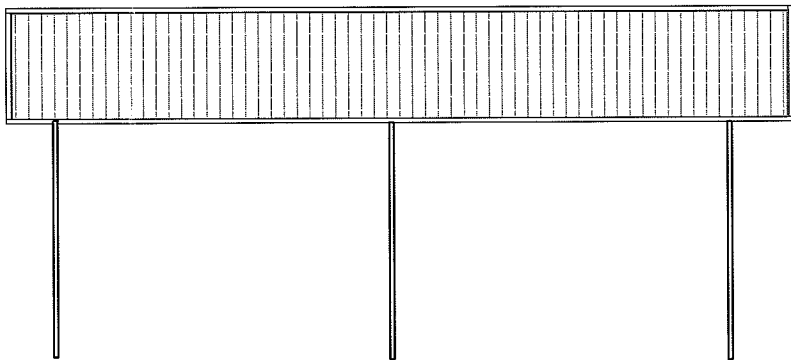
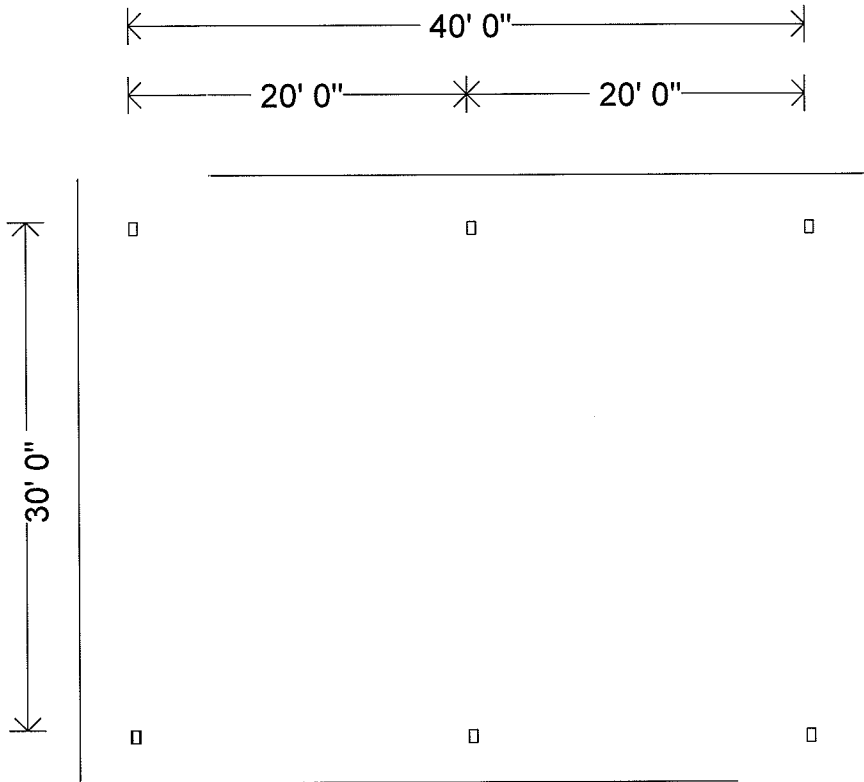
SHEET NUMBER:
S3.1
SHEET 5 OF 7

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JUN 15 2010
VAR-38582
SUP-38573

Hay Shelter Plans



END ELAVATION



FRONT ELAVATION

EXHIBIT B

NOTES:

DESIGN LAYOUT FOR
INFORMATIONAL PURPOSES ONLY.

DESIGN LAYOUT MAY DIFFER

FROM ENGINEERED PLANS.

DIMENSIONS NOMINAL

NOT FOR CONSTRUCTION USE.

GUTTERS, DOWNSPOUTS & ROOF TRIM
NOT RECOMMENDED IN SNOW LOAD AREAS.
FCP ASSUMES NO LIABILITY FOR DAMAGE TO
THESE COMPONENTS CAUSED BY SNOW.

JUL 07 2010

CHANGE
ORDER
N/A

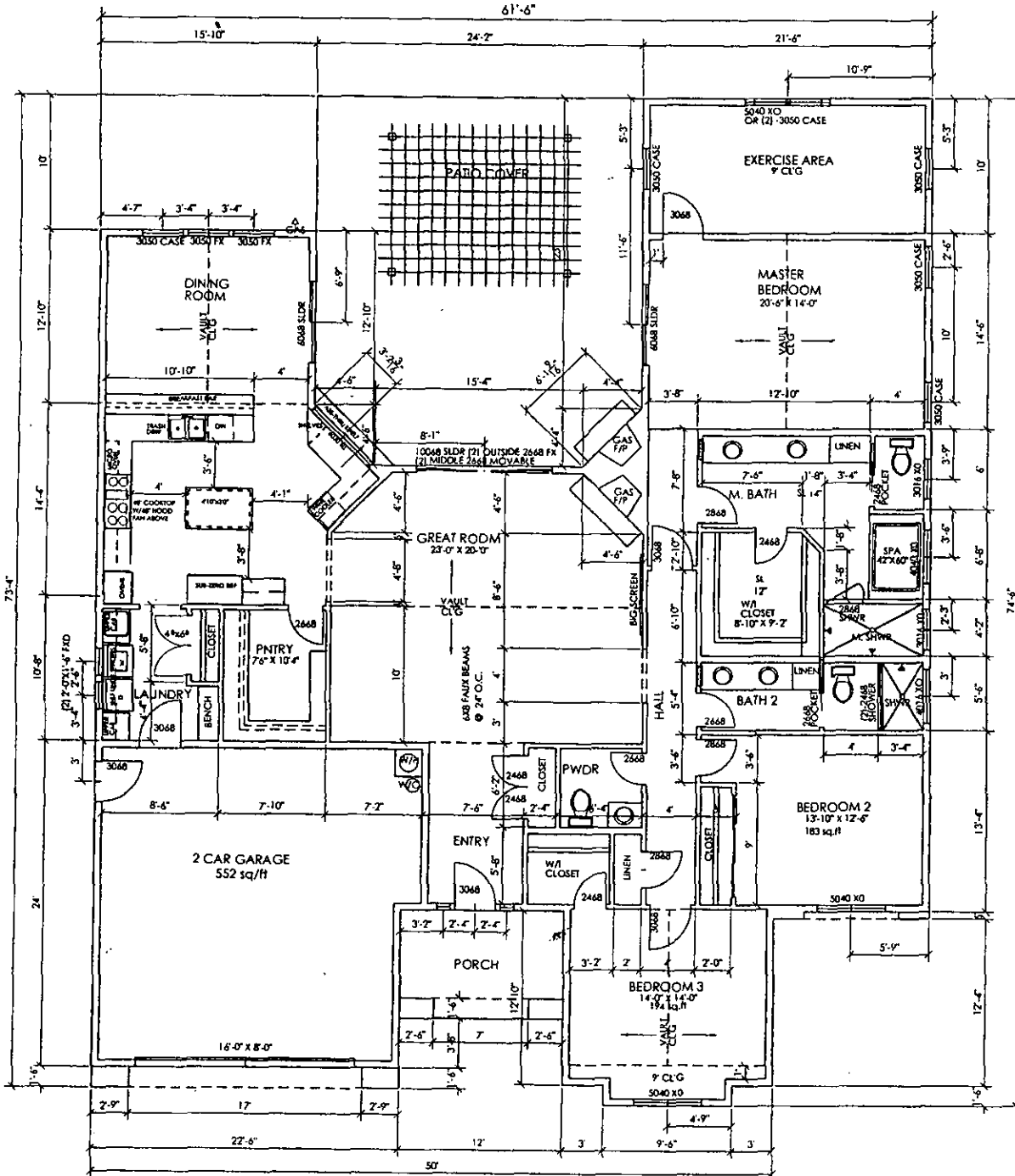
CUSTOMER NAME: Ned & Ann Bush
ADDRESS: Las Vegas , Nv.
PHONE: 702-497-1087 FAX:

CUSTOMER AUTHORIZATION:
SALES REP: Kyle Carter
DESIGN/LAYOUT SHEET TO BE INCLUDED WITH CUSTOMER CONTRACT.

DATE:

VAR-38582

Primary Dwelling Floorplan



RECEIVED

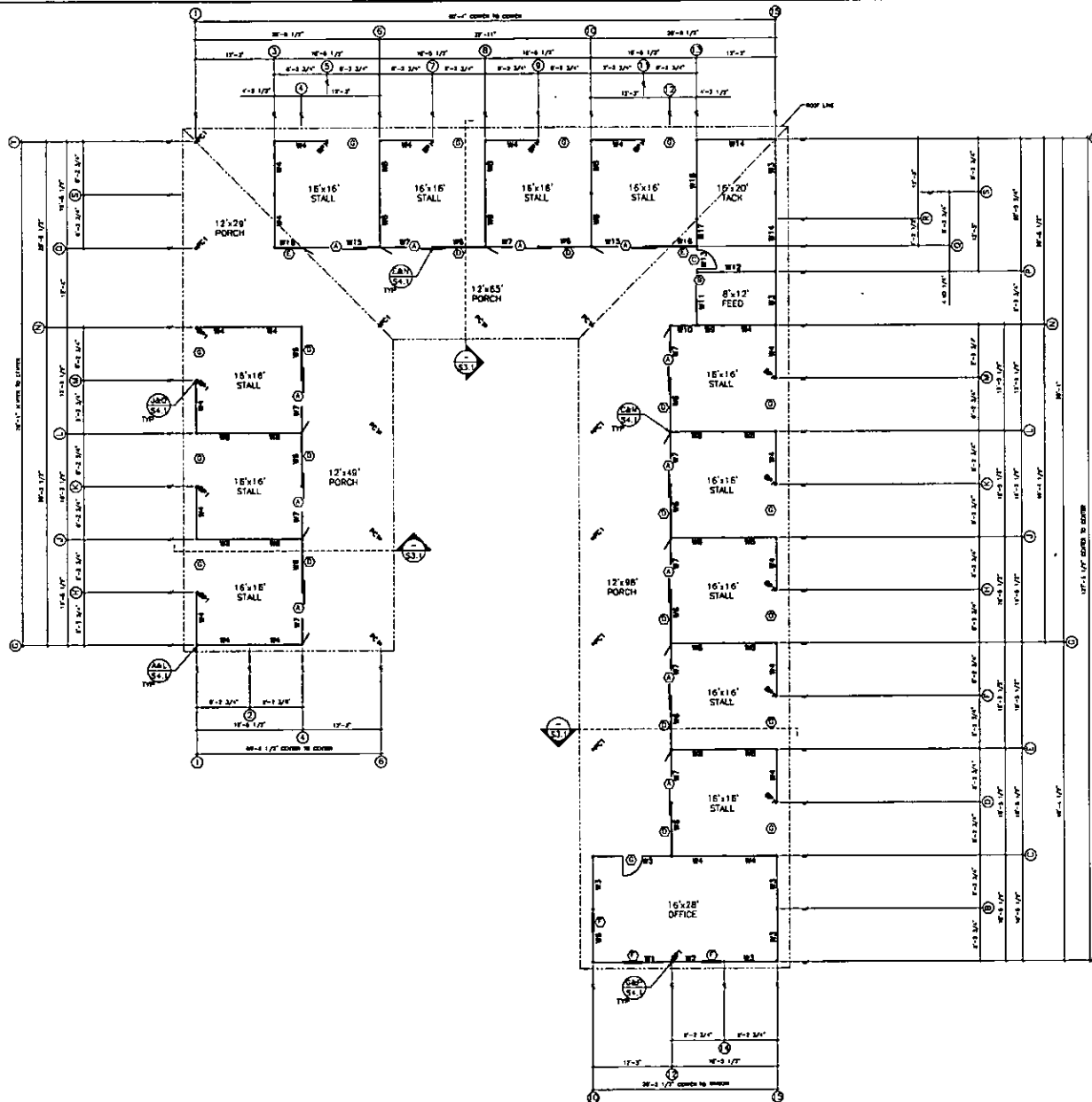
JUN 29 2010

VAR-38582

SUP-38573

REVISED

RECEIVED
JUN 15 2010



WALL SCHEDULE					
WALL	NO.	EXTERIOR FINISH	INTERIOR FINISH	NOTE	QTY
W1	17'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	1
W2	12'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	2
W3	12'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	2
W4	12'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	21
W5	12'-0" x 12'-0"	T&B	CHARCOAL STYL.	NONE	1
W6	12'-0" x 12'-0"	T&B	CHARCOAL STYL.	NONE	10
W7	12'-0" x 12'-0"	T&B	CHARCOAL STYL.	NONE	10
W8	12'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	10
W9	12'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	2
W10	12'-0" x 12'-0"	T&B	CHARCOAL STYL.	NONE	1
W11	12'-0" x 12'-0"	T&B	CHARCOAL STYL.	NONE	2
W12	12'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	1
W13	12'-0" x 12'-0"	T&B	CHARCOAL STYL.	NONE	1
W14	12'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	2
W15	12'-0" x 12'-0"	T&B	CHARCOAL STYL.	NONE	2
W16	12'-0" x 12'-0"	T&B	CHARCOAL STYL.	NONE	2
W17	12'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	1
W18	12'-0" x 12'-0"	CHARCOAL STYL.	CHARCOAL STYL.	NONE	1

OPENING SCHEDULE						
ITEM	OPENING TYPE	CLASS	SAFETY CLASS	TRUCK ACCESS	NOTES	QTY
(A)	WIDE OPENING	N	N	Y	WIDE SHALL MEET EXISTING CONC. W/ 2" x 1/4" REINFORCING BAR.	1
(B)	WIDE OPENING	N	N	Y	600# BOLD 2" DIA. CONC.	1
(C)	27" x 41", 18" DEPTH	N	N	N	200# WEIGHT	2
(D)	WIDE OPENING	N	N	N	ONE OPENING 24" x 1/4" REINFORCING BAR.	1
(E)	WIDE OPENING	N	N	N	ONE OPENING 24" x 1/4" REINFORCING BAR.	2
(F)	200# WEIGHT	Y	N	N	200# WEIGHT WEIGHT 1/4" CONC.	2
(G)	WIDE OPENING	N	N	N	ONE OPENING 24" x 1/4" REINFORCING BAR.	1

BP1 - BRACING POST: 3"x3"x13 GA. - 14
PC1 - PORCH COLUMN: 4"x4"x13 GA. - 12



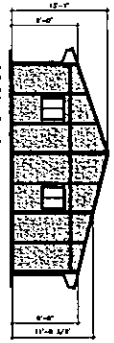
FLOOR PLAN
NED & ANN BUSH
CAMPBELL DR.
APN#: 139-32-405-012
LAS VEGAS, NEVADA
SHEDROW BARN

NO.	REVISION/ISSUE	DATE

DATE: 06-01-10
DRAWN BY: UJR
SCALE: 3/32" = 1'-0"
DRAWING NUMBER: B10036
ZJS NUMBER: 00000-00

SHEET NUMBER:
S1.1
SHEET 2 OF 7

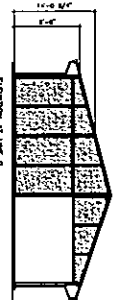
VAR-38582
SUP-38573



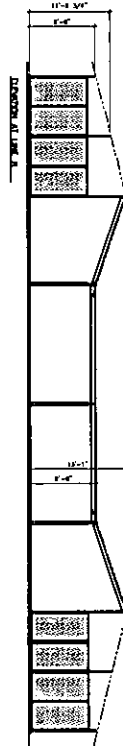
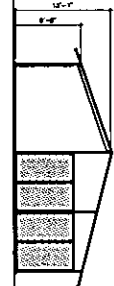
ELEVATION AT LINE A



ELEVATION AT LINE C



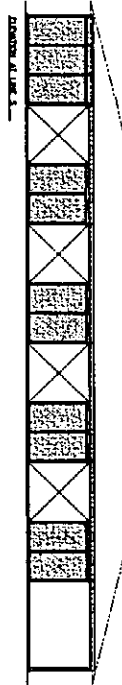
ELEVATION AT LINE D



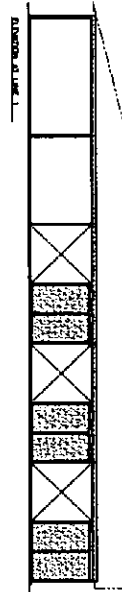
ELEVATION AT LINE B



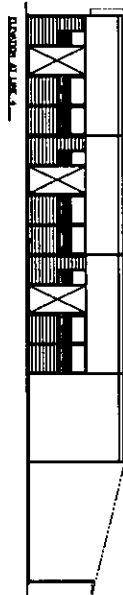
ELEVATION AT LINE E



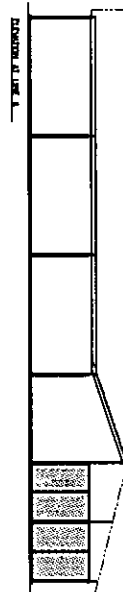
ELEVATION AT LINE F



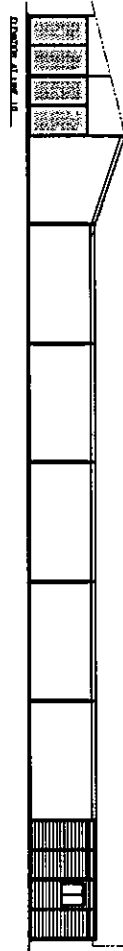
ELEVATION AT LINE G



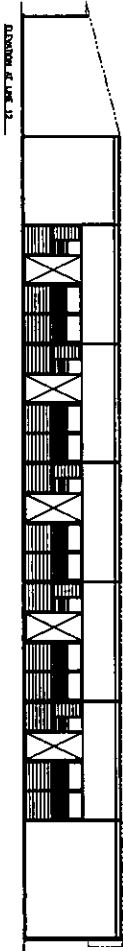
ELEVATION AT LINE H



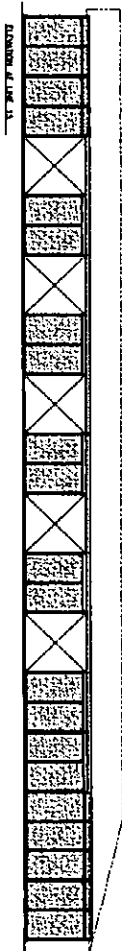
ELEVATION AT LINE I



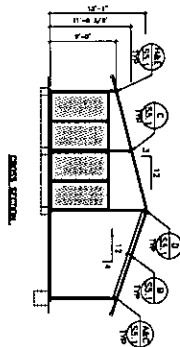
ELEVATION AT LINE J



ELEVATION AT LINE K



ELEVATION AT LINE L



SECTION

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JUN 15 2010
VAR-38582

SUP-38573

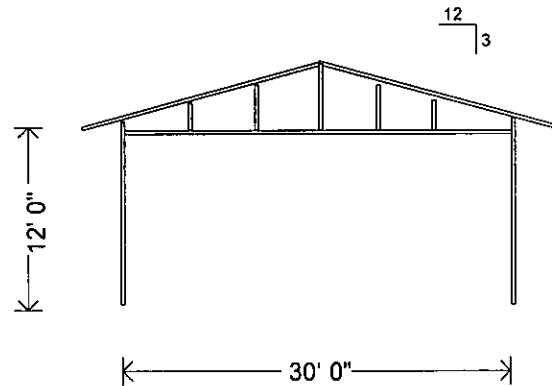
SECTION/ELEVATIONS

NED & ANN BUSH
CAMPBELL DR.
APN#: 139-32-405-012
LAS VEGAS, NEVADA
SHEDROW BARN

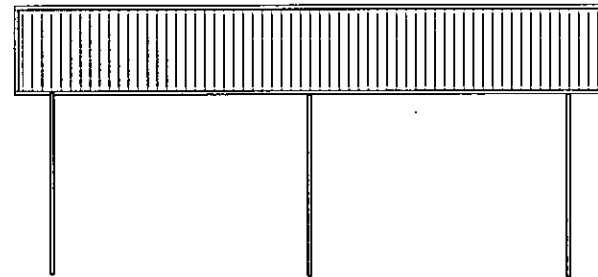
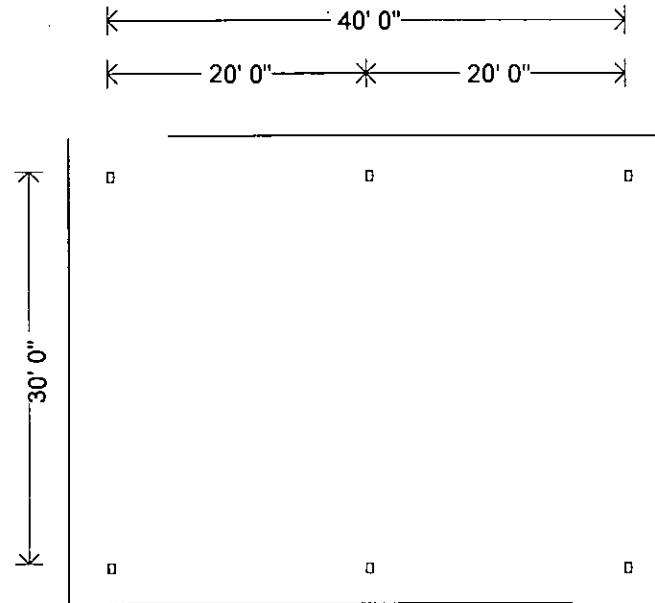


NO.	REVISION/ISSUE	DATE
1	DATE: 06-01-10	
2	DRAWN BY: LDR	
3	SCALE: 3/32" = 1'-0"	
4	DRAWING NUMBER: B1000B	
5	CUS NUMBER: 00000-00	
6	SHEET NUMBER:	
7	S3.1	
8	SHEET 5 OF 7	

Hay Shelter Plans



END ELAVATION



FRONT ELAVATION

EXHIBIT B

NOTES:

DESIGN LAYOUT FOR
INFORMATIONAL PURPOSES ONLY.

DESIGN LAYOUT MAY DIFFER

FROM ENGINEERED PLANS.

DIMENSIONS NOMINAL
NOT FOR CONSTRUCTION USE.

GUTTERS, DOWNSPOUTS & ROOF TRIM
NOT RECOMMENDED IN SNOW LOAD AREAS.
FCP ASSUMES NO LIABILITY FOR DAMAGE TO
THESE COMPONENTS CAUSED BY SNOW.

JUL 07 2010

VAR-38582

CHANGE
ORDER

N/A

CUSTOMER NAME: Ned & Ann Bush
ADDRESS: Las Vegas, Nv.
PHONE: 702-497-1087 FAX: _____

CUSTOMER AUTHORIZATION: _____
SALES REP: Kyle Carter
DESIGN LAYOUT SHEET YS BE INCLUDED WITH CUSTOMER CONTRACT.

DATE: _____

FAX**FENNEMORE CRAIG, P.C.**

Suite 1400 Bank of America Plaza, 300 South Fourth Street
Las Vegas, Nevada 89101

The pages that follow may contain sensitive, privileged or confidential information intended solely for the addressee named below. If you receive this message and are not the agent or employee of the addressee, this facsimile communication has been sent in error. Please do not disseminate or copy any of the attached and notify the sender immediately by telephone. Please also return the attached sheet(s) to the sender by mail.

Date:	July 28, 2010	Fax No Later Than:	
To:	Planning and Development Department	From:	Mark Hawkins
Firm:	City of Las Vegas / Development Service Center	Fax No.:	(702) 692-8072
Fax No.:	474-7463	Bus. No.:	(702) 692-8012
Bus. No.:		Pages (including cover):	4

To: Councilwoman Dr. Lois Tarkanian
Firm:
Fax No.: 382-8558
Bus. No.:

Please telephone (702) 692-8012 if all pages are not received.

Originals will follow by Regular Mail.

Comments:

Please see the attached. Thank you.

Law Offices:

Phoenix
3003 North Central Avenue
Suite 2600
Phoenix, AZ 85012

Tucson
One South Church Avenue
Suite 1000
Tucson, AZ 85701

Nogales
420 West Mariposa Road
Suite 200
Nogales, AZ 85621

Las Vegas
Suite 1400 Bank of America Plaza
300 South Fourth Street
Las Vegas, Nevada 89101

Denver
1700 Lincoln Street
Suite 2900
Denver, Colorado 80203

Submitted after final agenda

Date

Item

34-
3p

10/4

FENNEMORE CRAIG, P.C.

Suite 1400 Bank of America Plaza
300 South Fourth Street
Las Vegas, Nevada 89101
(702) 692-8000

Mark Hawkins
Direct Phone: (702) 692-8012
Direct Fax: (702) 692-8072
mhawkins@fcslaw.com

Law Offices
Phoenix (602) 916-5000
Tucson (520) 879-6800
Nogales (520) 281-3480
Las Vegas (702) 692-8000
Denver (303) 291-3200

July 28, 2010

VIA FACSIMILE AND MAIL

City of Las Vegas
Planning and Development Department
Development Service Center
731 S. Fourth Street
Las Vegas, NV 89101-2986

Re: VAR-38582 & SUP-38573
Private Horse Corral or Stable and Hay Barn

Dear Planning Commission:

Our office represents the property owners of that certain property located 3010-3016 West Charleston Blvd., Las Vegas, Nevada. With respect to the abovementioned special use permit and variance request, our client adamantly objects to the construction of a horse corral or stable and hay barn next to their commercial office complex, known as Westbay Office Park (the "Office Park"). This letter supplements the objection card that our client previously submitted. The Office Park is located directly south of the subject property. As you can imagine, we have serious concerns with the proposed construction of a horse corral or stable and hay barn.

First, if approved, the horse corral or stable will undoubtedly produce an unpleasant odor that will: (i) negatively affect leasing opportunities of our client's facility; and (ii) create an ongoing potential health hazard to the Office Park's tenants and their visitors by introducing objectionable and unhealthy odors into their suites via the roof top mounted heating, ventilation and air conditioning systems.

Second, after reviewing the application and staff recommendation, our client denies that the applicant ever discussed obtaining our support for their proposal. The applicant states in

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FENNEMORE CRAIG, P.C.

City of Las Vegas

Planning and Development Department

July 28, 2010

Page 2

their justification letter that they have spoken to "all directly adjacent parties who are all excited" about the proposed use and generally support this variance. This is incorrect. Our client has never been approached and they do not support this proposed use or the requested variance. Further it remains unclear whether the adjacent school or School Board was ever notified or if they support the proposal.

We emphasize the fact that Planning Staff recommended that "the applicant hold a neighborhood meeting since the deviation in the Code was *so great*." Instead, the applicant chose to gather consents from neighboring residents without holding a meeting. Since our client (the adjacent southern neighbor) was never contacted, we contend that the applicant hand-picked only a few residential neighbors to the north and perhaps to the west of the subject property to obtain their consent and rely on those consents despite Staff's recommendation. Upon analyzing the location of the consenting parties, it is apparent that the consenting parties, which are very few in number, are residential neighbors that generally reside on the north side of the subject property, their residences generally face Palomino Lane (which is away from the proposed stable location), and each of their backyards provide somewhat of a buffer area between the horse stables and their residences. We believe the Office Park is the property that stands to be most impacted by the applicant's proposed plan. The applicant plans to construct the substantial horse stable on the southernmost portion of the applicant's property, which directly abuts the Office Park's property line with what appears to be as minimal of a set-back as possible. In addition, as proposed, there is no adequate buffer area between two of our commercial buildings and the commercial-grade horse stable. Despite all of this, the applicant failed to approach (except by way of the City's notice) the party that the proposed use detrimentally affects the most.

Third, in light of the contemplated residence, we fail to see how the applicable zoning would allow the building of a 6,783 square foot commercial-grade horse stable, equipped with room for 12 horses and a clubhouse, plus a 1,300 square foot hay barn. The proposed residence is approximately 2,600 square feet. If we understand correctly, accessory structures (including, without limitation, horse corrals or stables, barns and clubhouses) in an R-E zoned area are limited to one-half of the square footage of the home (in this case approximately 2,600 square feet). Alone, the hay barn equals the maximum size for accessory structures allowed by applicable regulation. Further, we understand that the zoning regulations and ordinances require that the stable be used for private use only and for the keeping of horses. Pursuant to their site plan, the applicant intends to have a clubhouse, commercial grade parking for four (including a handicap space), a horse round pen directly west of the stable and two horse arenas on the remainder of the property. Hence, we fail to see how a massive stable and barn, a clubhouse, two arenas and commercial-style parking for four, as proposed, is intended to be for "the keeping of horses" and is intended for private use only. Instead, all points seem to indicate that the applicant intends to house more horses than people on the subject property, which we cannot

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FENNEMORE CRAIG, P.C.

City of Las Vegas
Planning and Development Department
July 28, 2010
Page 3

imagine was the intent behind the regulations placed on this zoning classification. We can appreciate the applicants' love for horses and for their barrel racing competitions, but believe that this property, which abuts a school playground to the east and a commercial business park to the south and southeast, is not the appropriate place to have commercial-grade stables, barns, clubhouses, horse round pens or horse arenas.

Finally, considering the current economic climate in the Las Vegas region and the severe competition amongst other competing landlords, securing new tenants continues to be an ongoing challenge. At the same time, retaining the existing tenants at the Office Park is critical to its survival as a commercial office complex. Approval of this request will result in a long term financial loss to our investors, could open the door to future health liabilities, and will cause the loss of significant income to our tenants.

We urge you to make the right decision by denying both the SUP and VAR requests. We demand that if you do not deny their requests, then the Planning Department should, at a minimum, require the applicant to hold a neighborhood meeting to discuss this matter before any decision is rendered.

Sincerely,

FENNEMORE CRAIG, P.C.



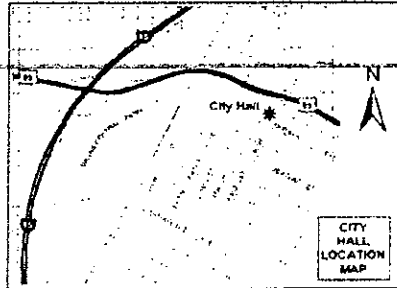
Mark Hawkins

MHAW

cc: Councilwoman Dr. Lois Tarkanian (by facsimile)
Ms. Elizabeth Grossman (by email)
Mr. Robert Harris (by email)

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐ I SUPPORT
this Request

☒ I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-38582 & SUP-38573

Planning Commission Meeting of 7/29/2010

RECEIVED
JUL 20 2010

Case: VAR-38582
13932405026
N N N WESTBAY OFFICE PARK ETAL
%THOMSON REUTERS INC
2235 FARADAY AVE #0
CARLSBAD CA 92008-7215

Submitted after final agenda
Date <i>34-36</i>
Item <i>P</i>

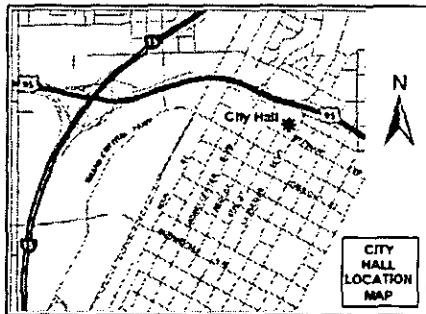
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JUN 27 2010

07/26/2010 12:45

13932405026

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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Official Notice of Public Hearing



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☐

I SUPPORT
this Request

☒

I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-38582 & SUP-38573

Planning Commission Meeting of 7/29/2010

*We feel the proposed structures
will be too close to the church,
school and homes. The structures are not
suitable for this area.*

ENCLOSURE 89107



PRESORTED
FIRST CLASS



02 1M
0004279218 JUL 16 2010
MAILED FROM ZIP CODE 89101

\$ 00.41⁴

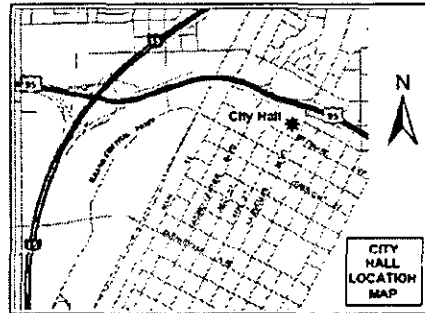
RECEIVED
JUL 23 2010

Case: VAR-38582
13032404004
GUARRELLA ROSALIA M & JOSEPH
704 CAMPBELL DR
LAS VEGAS NV 89107-4408

Submitted after final agenda
Date
Item

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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I SUPPORT
this Request



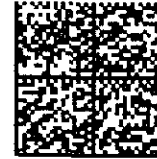
I OPPOSE
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VAR-38582 & SUP-38573

Planning Commission Meeting of 7/29/2010

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UNITED STATES POSTAGE
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0004279218
JUL 16 2010
MAILED FROM ZIP CODE 89101
\$ 00.414
PITNEY BOWES

RECEIVED
JUL 18 2010
KAMER ZUCKER ABBOT
ATTORNEYS AT LAW

RECEIVED
JUL 26 2010

CCV P&D

13932405019 Case: VAR-38582
ETHAN MICHAEL INVEST LLC ETAL
%G KAMER
3000 W CHARLESTON BLVD #3
LAS VEGAS NV 89102-1990

ENCLOSURE



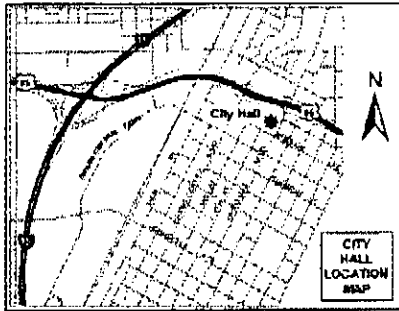
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JUN 27 2010

Submitted after final agenda
Date Item
7/27/10
A

City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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I SUPPORT
 this Request



I OPPOSE
 this Request

Please use available blank space on card for your comments.

VAR-38582 & SUP-38573

Planning Commission Meeting of 7/29/2010

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 FIRST CLASS



UNITED STATES POSTAGE
 PITNEY BOWES
 02 1M \$ 00.41⁴
 0004279218 JUL 16 2010
 MAILED FROM ZIP CODE 89101

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Case: VAR-38582
 16205510002
 TOM ENTERPRISES
 %CORNERSTONE CO
 9901 COVINGTON CROSS DR #170
 LAS VEGAS NV 89144-6595

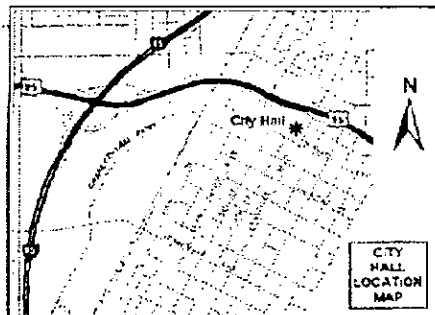
ENCLOSURE



Submitted after final agenda	
Date	Item 34 35

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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Official Notice of Public Hearing



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I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-38582 & SUP-38573

Planning Commission Meeting of 7/29/2010

*Horse flies and other insects
Rodents & Skunk W. down right by the property!
Do Not want*

ENCLOSURE

|||||

13932405025

Case: VAR-38582

MCAFEE CLARK & KATHLEEN PAMTOK
823 CAMPBELL DR
LAS VEGAS NV 89107-4407

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JUN 19 2010

34-35
35-36
P

July 13, 2010

We, Ann & Ned Busch, respectfully request your support in our upcoming City of Las Vegas Planning Commission hearing in regards to a variance and accompanying special use permit for a horse barn on our recently purchased property. The property is located on the east side of Campbell Drive, just north of Charleston Blvd. (APN 139-32-405-008, 009, 011, 012).

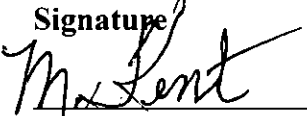
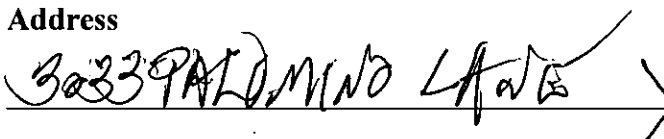
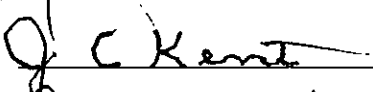
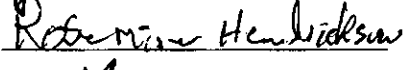
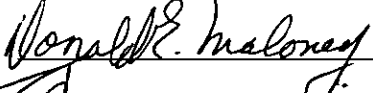
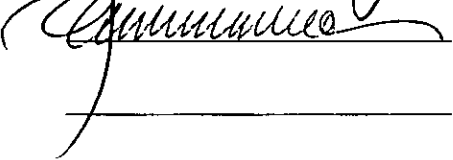
The planning and building of our approximately 2,600 square foot home on the 2.5 acre property is underway. We personally own 12 horses used both for competition and recreation that we plan on keeping on the property. The property is going to be beautifully built and meticulously maintained. There will be systems in-place for both dust and insect control; the neighborhood will not notice a difference in these aspects.

The current zoning allows for more horses than we intend to have on our property, but the building code does not allow for a barn (an "accessory structure") to be built large enough to properly house them, hence the need for this variance and special use permit. Current building code does not allow for an accessory structure of more than 50% of the size of the home. In our case, the barn and hay shelter are approximately 8,000 sq ft (inclusive of ALL area under a roof, be it patio, enclosed room, exterior walkway, etc). We are asking for a variance to allow us to build a barn with more square footage than is allowed by code. The special use permit is needed as we don't meet all building design standards for accessory structures because of the 50% square footage limit.

If you support our request to the City of Las Vegas, please sign the petition below. We also welcome you to attend the Planning Commission meeting on Thursday, July 29th at 6pm at City Hall (Northeast corner of 4th St. & Stewart Ave.). And if you strongly support our request, we highly encourage you to write a short letter in support.

Thank you for your consideration,


Ann & Ned Busch

Signature	Address
	
	3033 Palomino Lane
	3037 Palomino Lane
 BLANK	3041 PALOMINO LANE
	3029 Palomino Lane
	501 Campbell Drive

RECEIVED
10 JUL 19 8
PLANNING
DEVELOPMENT

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		
Item Required				
YES	NO			

APPLICATION PACKET

☒	☐	Application signed and notarized by all property owners or authorized agent(s)	NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." -> "Apply for -> Planning Applications")
☒	☐	Grant deed and legal description	
☒	☐	Detailed justification letter	
☒	☐	Original meeting notes and checklist(s) signed by planner	
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 830.00 Total	
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)	
☒	☐	Assessor's Parcel Map	
☐	☒	Development Impact Notice and Assessment (DINA)	
☐	☒	Project of Regional Significance (PRS)	
☐	☒	Color & Materials Board per Site Development Plan Review Submittal Requirements	
☒	☐	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☒)	

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)

SITE PLAN

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	710 GK
☒	☐	North arrow, scale, and vicinity map	Colored, Rolled Plans:	1
☒	☐	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 BW):	1
☒	☐	All building setbacks labeled	NOTES:	
☒	☐	All adjacent existing land uses and street names labeled		
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized:		
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		

LANDSCAPE PLAN

☐	☒	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	0
☐	☒	North arrow, scale, and vicinity map	Colored, Rolled Plans:	0
☐	☒	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 BW):	0
☐	☒	All required perimeter landscape planters shown	NOTES:	
☐	☒	All required parking lot fingers/islands shown		
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover		

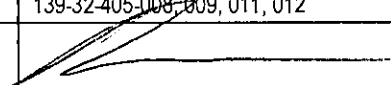
BUILDING ELEVATIONS

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	2
☒	☐	Scale and building dimensions labeled	Colored, Rolled Plans:	1
☒	☐	North, south, east, and west elevations of all buildings	Reduced Copy (8-1/2x11 BW):	1
☒	☐	All building materials and colors noted	NOTES:	
☒	☐	8" x 10" photo of original color and material board		
☒	☐	All wall sign locations shown and sizes noted		

FLOOR PLANS

☐	☒	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	0
☐	☒	Scale and building dimensions labeled	Rolled Plans:	0
☐	☒	All building entrances/exits shown	Reduced Copy (8-1/2x11 BW):	0
☐	☒	Use of all rooms noted/labeled	NOTES:	
☐	☒	Maximum Occupancy (per I.B.C.)		
☐	☒	Seating Capacity (where applicable)		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant:	Busch Ned M & Ann F	Application Type:	Variance
Representative:	Brian Barson	Application Purpose:	
APN:	139-32-405-008, 009, 011, 012	Site Location:	250 Feet east of Campbell Dr, south of Palomino Ln
Planner's Signature:		Pre-App. Meeting Date:	06/03/10
Planner:	Greg Kapovich, Planner I - 229-6137 Steve Gebeke, Planning Supervisor	Submittal Deadline:	06/15/10 - no later than 2:00 pm
		Earliest PC / CC Meeting Dates:	07/29/10 PC - 09/01/10 CC - Cycle 5

JUN 15 2010



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

September 3, 2010

Mr. and Mrs. Ned Busch
208 Campbell Drive
Las Vegas, Nevada 89107

RE: VAR-38582 – VARIANCE
CITY COUNCIL MEETING OF SEPTEMBER 1, 2010
RELATED TO SUP-38573

Dear Mr. and Mrs. Busch:

The City Council at a regular meeting held September 1, 2010, APPROVED the request for a Variance TO ALLOW TWO ACCESSORY STRUCTURES (CLASS II) (PRIVATE HORSE STABLE AND HAY BARN) FOR A TOTAL OF 7,983 SQUARE-FEET WHERE 1,308 SQUARE FEET IS THE MAXIMUM FLOOR AREA ALLOWED on 2.48 acres approximately 200 feet east of Campbell Drive and approximately 700 feet north of Charleston Boulevard (APNs 139-32-405-008, 009, 011, and 012), R-E (Residence Estates) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on September 2, 2010. This approval is subject to:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Special Use Permit (SUP-38573) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for new construction. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
5. The primary residence shall be completed prior to the completion of the accessory structures.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

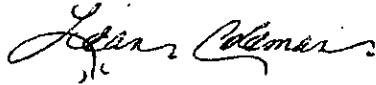
VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

FM-0044-08-09

Mr. and Mrs. Ned Busch
VAR-38582 – Page Two
September 3, 2010

6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,

A handwritten signature in cursive script, appearing to read "Lean Coleman".

Lean Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Brian Barson
9901 Covington Cross Drive, Suite #170
Las Vegas, Nevada 89144

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

July 30, 2010

Mr. and Mrs. Ned Busch
208 Campbell Drive
Las Vegas, Nevada 89107

**RE: VAR-38582 - VARIANCE RELATED TO SUP-38573
PLANNING COMMISSION MEETING OF JULY 29, 2010**

Dear Mr. and Mrs. Busch:

Your request for a Variance TO ALLOW TWO ACCESSORY STRUCTURES (CLASS II) (PRIVATE HORSE STABLE AND HAY BARN) FOR A TOTAL OF 7,983 SQUARE-FEET WHERE 1,308 SQUARE FEET IS THE MAXIMUM FLOOR AREA ALLOWED on 2.48 acres approximately 200 feet east of Campbell Drive and approximately 700 feet north of Charleston Boulevard (APNs 139-32-405-008, 009, 011, and 012), R-E (Residence Estates) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on July 29, 2010.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Special Use Permit (SUP-38573) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for new construction. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



Mr. and Mrs. Ned Busch
VAR-38582 - Page Two
July 30, 2010

5. The primary residence shall be completed prior to the completion of the accessory structures.
6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

This item will be considered by the City Council on September 1, 2010, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Brian Barson
9901 Covington Cross Drive, Suite #170
Las Vegas, Nevada 89144

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

July 16, 2010

Mr. and Mrs. Ned Busch
208 Campbell Drive
Las Vegas, Nevada 89107

**RE: VAR-38582 - VARIANCE RELATED TO SUP-38573
PLANNING COMMISSION MEETING OF JULY 29, 2010**

Dear Mr. and Mrs. Busch:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **July 29, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, July 23, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Brian Barson
9901 Covington Cross Drive, Suite #170
Las Vegas, Nevada 89144

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

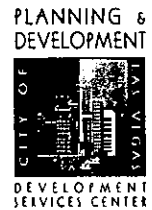
Steve Wolfson
Luis Tarkanian
Steven D. Rass
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell





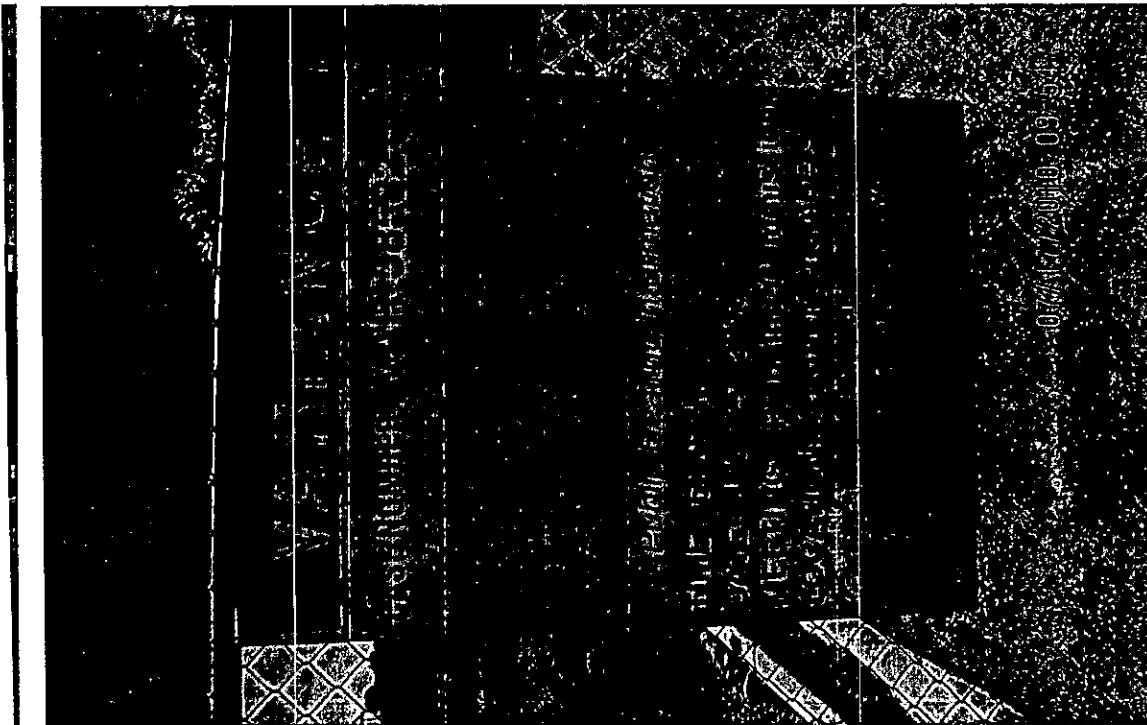
CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

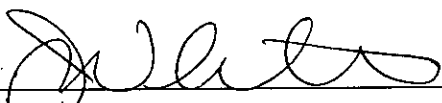


CASE NUMBER: VAR-38582

MEETING DATE: 07/29/10 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.




Signature

7-18-10
Date

INSTALLED 7-17-10 JWD

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



CAS

ME

Sign
Code,
sched



HASTINGS

Signature

7-18-10
Date

INSTALLED 7-17-10 JWD

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

Application Information

VAR-38582 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: ANN AND NED BUSCH - Request for a Variance TO ALLOW TWO ACCESSORY STRUCTURES (CLASS II) (PRIVATE HORSE STABLE AND HAY BARN) FOR A TOTAL OF 7,983 SQUARE-FEET WHERE 1,308 SQUARE FEET IS THE MAXIMUM FLOOR AREA ALLOWED on 2.48 acres approximately 200 feet east of Campbell Drive and approximately 700 feet north of Charleston Boulevard (APNs 139-32-405-008, 009, 011, and 012), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).

SUP-38573 - SPECIAL USE PERMIT RELATED TO VAR-38582 - PUBLIC HEARING - APPLICANT/OWNER: ANN AND NED BUSCH - Request for a Special Use Permit FOR A PROPOSED HORSE CORRAL OR STABLE (PRIVATE) located approximately 200 feet east of Campbell Drive and approximately 700 feet north of Charleston Boulevard (APNs 139-32-405-008, 009, 011, and 012), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

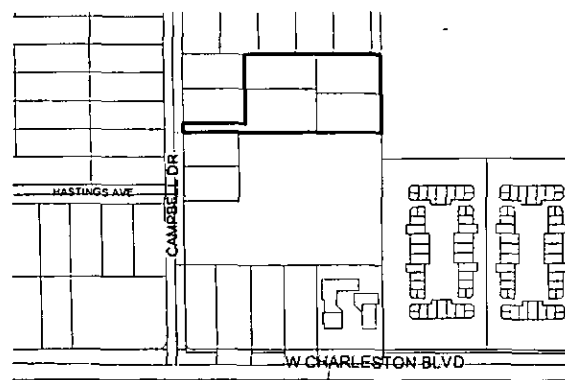
Application Information

VAR-38582 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: ANN AND NED BUSCH - Request for a Variance TO ALLOW TWO ACCESSORY STRUCTURES (CLASS II) (PRIVATE HORSE STABLE AND HAY BARN) FOR A TOTAL OF 7,983 SQUARE-FEET WHERE 1,308 SQUARE FEET IS THE MAXIMUM FLOOR AREA ALLOWED on 2.48 acres approximately 200 feet east of Campbell Drive and approximately 700 feet north of Charleston Boulevard (APNs 139-32-405-008, 009, 011, and 012), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).

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Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Location

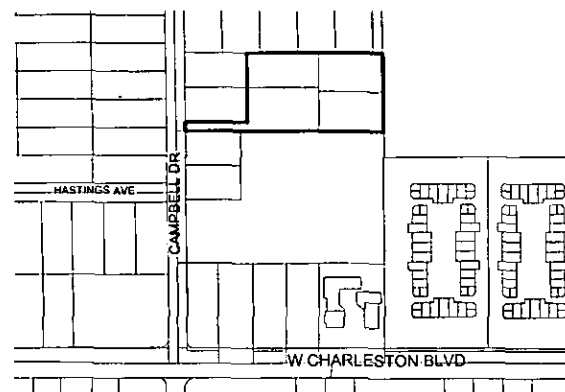


The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: July 29, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Application Location



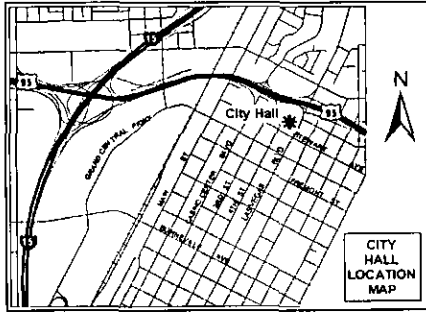
The proposed project may not pertain to the entire highlighted project site.

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Meeting: Planning Commission
Date: July 29, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

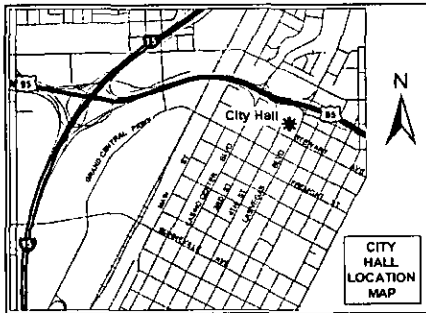
Please use available blank space on card for your comments.

VAR-38582 & SUP-38573

Planning Commission Meeting of 7/29/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-38582 & SUP-38573

Planning Commission Meeting of 7/29/2010

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: June 30, 2010
Re: **VAR-38582** Ann and Ned Busch Near the NEC of Charleston Blvd. & Campbell Dr.
Request for a Variance to allow a 5,064 square-foot accessory structure

COMMENTS:

We have no comments on the request for a Variance to allow a 5,064 square-foot accessory structure (Class II) private horse corral or stable where 1,308 square feet is the maximum floor area allowed on 2.48 acres approximately 200 feet east of Campbell Drive and approximately 700 feet north of Charleston Boulevard.

Development Notification

PC Meeting: JULY 29, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

VAR-38582

Artesian Heights NA

Glen Heather Estates NA

McNeil Estates NA

Meadows Neighborhood Preservation NA

Palomino Area Preservation Association (PAPA)

Pinto Palomino Residents NA

Rancho Bel Air NA

Rancho Bonito Estates HOA

Rancho Bonito NA

Rancho Circle HOA

Rancho Manor NA

Rancho Nevada Estates HOA

Rancho Oakley NA

Rancho Sereno NA

Rancho Springs NA

Saratoga Meadows NA

Scotch Eighty Organization

Spanish Oaks HOA

Sundown HOA

Village Pasco HOA

Westcleigh NA

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

VAR-38582

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	3104 BONANZA ROAD
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

VAR-38582 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: ANN AND NED BUSCH -
Request for a Variance TO ALLOW A 5,064 SQUARE-FOOT ACCESSORY STRUCTURE (CLASS II)
(PRIVATE HORSE CORRAL OR STABLE) WHERE 1,308 SQUARE FEET IS THE MAXIMUM FLOOR AREA
ALLOWED on 2.48 acres approximately 200 feet east of Campbell Drive and approximately 700 feet north of
Charleston Boulevard (APNs 139-32-405-008, 009, 010, 011, and 012), R-E (Residence Estates) Zone, Ward 1
(Tarkanian).

PLANNING COMMISSION: *JULY 29, 2010*
CITY COUNCIL: *SEPTEMBER 1, 2010*

PLANNING SUPERVISOR: *STEVE GEBEKE*



PUBLIC HEARING

Comments Due: *JUNE 29, 2010*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Report Date 06/16/2010 11:11 AM

Submitted By

Page 1

A/P # 38582 VARIANCE

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	06/15/2010 12:10	984757	Temp COO		
Approved			COO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

VAR-38573 - VARIANCE RELATED TO SUP-38582 - PUBLIC HEARING - APPLICANT/OWNER: ANN AND NED BUSCH - Request for a Variance TO ALLOW AN ACCESSORY STRUCTURE (CLASS I) (PRIVATE HORSE CORRAL) TO EXCEED THE MAXIMUM FLOOR AREA REQUIREMENTS on 2.48 acres located approximately 200 feet east of Campbell Drive and approximately 700 feet north of the intersection of Charleston Boulevard and Campbell Drive (APN 139-32-405-008; 009; 010; 011; AND 012), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).

Parent A/P #

Project # 38582 Project/Phase Name BUSCH PRIVATE HORSE CORRAL Phase #
Size/Area 2.50 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13932405008

Location

Owner/Tenant

Contact ID AC1786438 Name ANN & NED BUSCH
Mailing Address 208 CAMPBELL DR. Organization
City LAS VEGAS State/Province NV
ZIP/PC 89107 Country ☐ Foreign
Day Phone (702)497-1087 x Evening Phone
Fax (702)870-4513 Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

No Addresses are linked to this Application

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13932405008
13932405009
13932405011
13932405012

Report Date 06/16/2010 11:11 AM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1786438 ☐ Foreign
Effective Expire
Name ANN & NED BUSCH
Day Phone (702)497-1087 x Eve Phone Organization
Pager PIN # Position
Fax (702)870-4513 Mobile Profession
E-Mail
Address 208 CAMPBELL DR.
LAS VEGAS, NV 89107
Seasonal Addr
Valid From To
Comments No Comments

Primary N Capacity OTHER Contact ID AC1786439 ☐ Foreign
Effective Expire
Name BRIAN BARSON
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 9901 COVINGTON CROSS DR. #170
LAS VEGAS, NV 89144
Seasonal Addr
Valid From To
Comments No Comments

Primary Y Capacity APPL Contact ID AC1786438 ☐ Foreign
Effective Expire
Name ANN & NED BUSCH
Day Phone (702)497-1087 x Eve Phone Organization
Pager PIN # Position
Fax (702)870-4513 Mobile Profession
E-Mail
Address 208 CAMPBELL DR.
LAS VEGAS, NV 89107
Seasonal Addr
Valid From To
Comments No Comments

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	06/15/2010 12:22	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	06/15/2010 12:22	30.00
PROCESSING FEE	P	06/15/2010 12:22	300.00
Total Unpaid	0.00	Total Paid	830.00

Review/Activities	Review #	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
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Activity Review Details

Report Date 06/16/2010 11:11 AM

Submitted By

Page 3

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plan (18 Folded Blue Lines, 1 Rolled Color)
Y Application/Petition Form	Y Building Elevations (2 Folded, 1 Rolled Color)
Y Deed and Legal Description	Y Floor Plan (1 Folded, 1 Rolled)
Y Justification Letter	Y Laser Print Site Plan
Y Assessors Parcel Map	Y Laser Print Floor Plan
Y Statement of Financial Interest	Y Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions Condition Supervisor Required	Approval Comments	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
--	----------------------	-------------------------	---------------	------------	--------------	----------

Z-LEGAL				984757	06/15/2010 12:10	
N						

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

VARIANCE

Parent Project link required? Final City Council letter received

Will this go to the City Council? Annotated minutes received

Is there a condition of approval for a Required Review?

If yes, when does it need to be reviewed?

Staff Recommendation

Meeting information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
---	--------------------------	-------------------------------	---------------	-----------	----------	-------------

07/29/2010	PC	SCHEDULED		0	0	0
JBOYLES	06/15/2010					

Report Date 06/16/2010 11:11 AM

Submitted By

Page 4

Meeting Information	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Meeting Date	Add Date	Modified By	Modified Date		
Comments					
Added By					

Template Type/AP #	AP Type	Status	Stage
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No children exist for this project

Employee	Last	First	MI	Comments
Employee ID				

No Employee Entries

Log	Description	Entered By	Start	Stop	Hours
Action					
Comments					

PAYMNT	CO NAME WHO PICKED UP CONTACT#	890381	06/15/2010 12:23		0.00
	BRIAN BARSON; REP FOR NED BUSCH; CK#445; 702-575-0504;				

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Variance for Accessory Structure
 Project Address (Location) N of NEC of Charleston & Campbell
 Project Name Private Residence Proposed Use R-E
 Assessor's Parcel #(s) APN# 139-32-405-008, 009, 011, 012 Ward # 1
 General Plan: existing DR proposed No change Zoning: existing R-E proposed No change
~~Residential~~
~~Commercial~~ Square Footage +/- 2,616 Sq Ft Floor Area Ratio _____
 Gross Acres +/- 2.5 Acres Lots/Units 4 Density _____
 Additional Information Variance & SUP needed where accessory structure floor area exceeds 50% of the floor area of the primary dwelling allowed by code.

PROPERTY OWNER Ann & Ned Busch Contact _____
 Address 208 Campbell Dr. Phone: 497-1087 Fax: 870-4513
 City Las Vegas State NV Zip 89107
 E-mail Address ksl213@aol.com

APPLICANT Ann & Ned Busch Contact _____
 Address 208 Campbell Dr. Phone: 497-1087 Fax: 870-4513
 City Las Vegas State NV Zip 89107
 E-mail Address ksl213@aol.com

REPRESENTATIVE Brian Barson Contact _____
 Address 9901 Covington Cross Dr. #170 Phone: 575-0504 Fax: 383-8576
 City Las Vegas State NV Zip 89144
 E-mail Address bbarson@cornerstonecompany.com

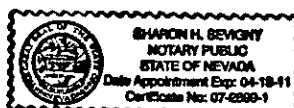
Property Owner Signature [Signature]
 * An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name Ann F. Busch

Subscribed and sworn before me
 This 15th day of June, 20 10
[Signature]
Sharon H. Sevigny
 Notary Public in and for said County and State

FOR DEPARTMENT USE ONLY

Case #	<u>VAR - 38582</u>
Meeting Date:	<u>07/29/10</u>
Total Fee:	<u>830.00</u>
Date Received:	<u>06/15/10</u>
Received By:	<u>Jonathan B.</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-38582** APN: 139-32-405-008, 009, 011, 012

Name of Property Owner: Ned & Ann Busch

Name of Applicant: Ned & Ann Busch

Name of Representative: Brian Barson

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: Ann F Busch

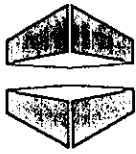
Subscribed and sworn before me

This 16th day of June, 2010

Notary Public in and for said County and State

Sharon H. Seigny





Cornerstone Company

Commercial Real Estate Services

June 28, 2010

City of Las Vegas
Planning and Development
731 South 4th Street
Las Vegas, NV 89101

RE: Justification Letter –Variance & Accompanying Special Use Permit
APN: 139-32-405-008, 009, 011, 012

Dear Planning and Development Department,

Enclosed is an application for a Variance & Special Use Permit for an Accessory Structure for that property generally located north of the northeast corner of Charleston Blvd. & Campbell Drive, more specifically described as APN's: 139-32-405-008, 139-32-405-009, 139-32-405-011, & 139-32-405-012 (specific street address not yet assigned). This Variance & Special Use Permit will be contingent upon these four parcels being consolidated into a single parcel. Construction of the primary dwelling will commence before that of the accessory structures.

The property consists of approximately 2.5 acres of land zoned R-E (Residence Estates). The Accessory Structures are going to be +/- 6,783 sq ft for a "shed-row" horse barn and +/- 1,200 sq ft for a hay shelter. The primary dwelling, of which these structures are to be accessory to, is to be +/- 2,616 sq ft. The floor area ratio of primary dwelling to accessory structures is +/- 32.77%.

The Variance is needed because our planned Accessory Structure's ratio of square footage to primary dwelling square footage exceeds that allowed by code. The Special Use Permit is needed because the Variance does not meet the Conditional use requirements; specifically Conditional Use Regulation #3 under the Horse Corral or Stable (Private) use in the Land Use Table of Chapter 19.04, "Barns and other structures shall conform to the standards for accessory buildings".

The property owner/applicant has spoken to all directly adjacent property owners who are all excited that the land is finally being developed, glad that it is going to be the proposed use (single family residence with horses), and are in general support of this variance for accessory structure.

The property owner/applicant is passionate about horses. She competes in barrel racing competitions and spends most hours of the day loving and caring for her horses. The

VAR-38582 REVISED JUN 29 2010
SUP-38573 City of Las Vegas
9901 Covington Cross Drive, Suite 170 Las Vegas, NV 89144 Phone: 702-383-3033 Fax: 702-383-8578

property owner owns and personally maintains all of the horses that will reside on the subject property. We ask for approval so that she may build a barn and accompanying hay shelter appropriate for the proper care and shelter for these beautiful animals.

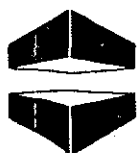
Thank you,

A handwritten signature in black ink, appearing to be 'Brian Barson', with a stylized, sweeping flourish extending to the right.

Brian Barson (Representative of Owners)
Cornerstone Company

Ann & Ned Busch
Property Owners

VAR-38582
SUP-38573
REVISED



Cornerstone Company

Commercial Real Estate Services

June 9, 2010

City of Las Vegas
Planning and Development
731 South 4th Street
Las Vegas, NV 89101

RE: Justification Letter --Variance & Accompanying Special Use Permit
APN: 139-32-405-008, 009, 011, 012

Dear Planning and Development Department,

Enclosed is an application for a Variance & Special Use Permit for an Accessory Structure for that property generally located north of the northeast corner of Charleston Blvd. & Campbell Drive, more specifically described as APN's: 139-32-405-008, 139-32-405-009, 139-32-405-011, & 139-32-405-012 (specific street address not yet assigned). This Variance & Special Use Permit will be contingent upon these four parcels being consolidated into a single parcel. Construction of the primary dwelling will commence before that of the accessory structures.

The property consists of approximately 2.5 acres of land zoned R-E (Residence Estates). The Accessory Structures are going to be +/- 3,864 sq ft for a "shed-row" horse barn and +/- 1,200 sq ft for a hay shelter. The primary dwelling, of which these structures are to be accessory to, is to be +/- 2,616 sq ft. The floor area ratio of primary dwelling to accessory structures is +/- 51.66%.

The Variance is needed because our planned Accessory Structure's ratio of square footage to primary dwelling square footage exceeds that allowed by code. The Special Use Permit is needed because the Variance does not meet the Conditional use requirements; specifically Conditional Use Regulation #3 under the Horse Corral or Stable (Private) use in the Land Use Table of Chapter 19.04, "Barns and other structures shall conform to the standards for accessory buildings".

The property owner/applicant has spoken to all directly adjacent property owners who are all excited that the land is finally being developed; glad that it is going to be the proposed use (single family residence with horses), and are in general support of this variance for accessory structure.

The property owner/applicant is passionate about horses. She competes in barrel racing competitions and spends most hours of the day loving and caring for her horses. The

RECEIVED
JUN 15 2010

VAR-38582
SUP-38573

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Thank you,



Brian Barson (Representative of Owners)
Cornerstone Company



Ann & Ned Busch
Property Owners

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JUN 15 2010

VAR-38582

SUP-38573

BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: Q01-00102-5-050700

DATE ISSUED: 03/28/07

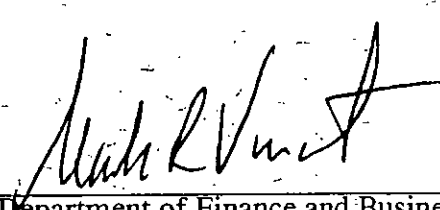
TYPE OF LICENSE: REAL ESTATE BROKER
RICHARD W TRUESDELL
8 PROS

BUSINESS LOCATION: 9901 COVINGTON CROSS DR-170

ISSUE TO:

CORNERSTONE COMPANY
9901 COVINGTON CROSS DR 170
LAS VEGAS NV 89107-3107

PRINCIPAL(S)
TRUESDELL, RICHARD, PRES 100%


Director, Department of Finance and Business Services

Post in a conspicuous place.



RECORDING REQUESTED BY:

Vernon Escrow
Escrow No. 16439AC
Title Order No. FT01-FT100023224

When Recorded Mail Document
and Tax Statement To:

Ned M. Busch
Ann F. Busch
208 Campbell Drive
Las Vegas, NV 89107

Inst #: 201005140003938

Fees: \$14.00 N/C Fee: \$25.00

RPTT: \$2805.00 Ex: #

05/14/2010 04:56:38 PM

Receipt #: 352488

Requestor:

FIDELITY NATIONAL TITLE

Recorded By: ARO Pgs: 2

DEBBIE CONWAY

CLARK COUNTY RECORDER

APN: 139 32 405 008;009;011;& 012

GRANT DEED

The undersigned grantor(s) declare(s) Documentary transfer tax is \$ 2,805.00

[X] computed on full value of property conveyed, or

[] computed on full value less value of liens or encumbrances remaining at time of sale,

[X] Unincorporated Area

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

XTREME ENTERTAINMENT II, CORP, a Nevada Corporation

hereby GRANT(S) to

NED M. BUSCH and ANN F. BUSCH, husband and wife as joint tenants

the following described real property in the unincorporated area of Clark County, State of Nevada:

Assessor's Parcel No.: 139 32 405 008, 009; and 139 32 405 011 and 012

Lots One (1) through Four (4) as shown by map thereof on file in File 57 of Parcel
Maps, Page 11 in the office of the County Recorder of Clark County, Nevada

DATED: March 29, 2010

STATE OF CALIFORNIA

COUNTY OF

ON April 16, 2010 before me,
A. J. Crump a notary public,
personally appeared

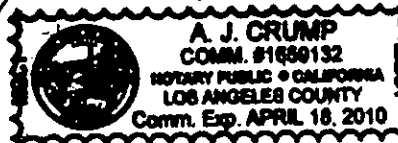
Lisa Carr King
who proved to me on the basis of satisfactory evidence
to be the person(s) whose name(s) is/are subscribed to
the within instrument and acknowledged to me that
he/she/they executed the same in his/her/their
authorized capacity(ies), and that by his/her/their
signature(s) on the instrument the person(s), or the
entity upon behalf of which the person(s) acted,
executed the instrument. I certify under PENALTY OF
PERJURY under the laws of the State of California that
the foregoing paragraph is true and correct.

Witness my hand and official seal.

Signature

Xtreme Entertainment II, Corp

by Lisa Carr King
Lisa Carr King



Comm. 1659132

RECEIVED

JUN 15 2010

MAIL TAX STATEMENTS AS DIRECTED ABOVE

STATE OF NEVADA
DECLARATION OF VALUE FORM

1. Assessor Parcel Number(s)

- a. 139-32-405-008;
b. 139-32-405-009
c. 139-32-405-011
d. 139-32-405-012

2. Type of Property:

- a. ☒ Vacant Land b. ☐ Single Fam. Res.
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg f. ☐ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
i. ☐ Other

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. a. Total Value/Sales Price of Property \$ 550,000.00
b. Deed in Lieu of Foreclosure Only (value of property) ()
c. Transfer Tax Value: \$ 550,000.00
d. Real Property Transfer Tax Due: \$ 2805.00

4. If Exemption Claimed:

- a. Transfer Tax Exemption per NRS 375.090, Section _____
b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature [Signature] Capacity Grantor

Signature _____ Capacity Grantee

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: K. Thome Entertainment Inc
Address: 7705 Mountain Dr
City: Las Vegas
State: NV Zip: 89107

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: Ned and Ann Busch
Address: 208 Campbell Drive
City: Las Vegas
State: NV Zip: 89107

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Fidelity National Title Escrow #: FT100023224
Address: 3100 W. Sahara Ave #115
City: Las Vegas State: NV Zip: 89102

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

RECEIVED

JUN 15 2010

9/3

Parcels 218
Labels 123**Report of All Selected Parcels**Case Number: VAR-38582Printed On: Thu: June 24, 2010

SUP-38573

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
3040 W CHARLESTON L L C	9713 AMBER PEAK CT LAS VEGAS NV	13932497001
810 SHETLAND L L C	3004 CAMPBELL CIR LAS VEGAS NV	13932497002
A-1 BUILDING L L C	3101 ASHBY AVE LAS VEGAS NV	13932405015
ABRONSON WILLIAM H & ELLEN GAY	5850 CANOGA AVE #428 WOODLAND HILLS CA	13932801013
ABRONSON WILLIAM H & ELLEN GAY	5850 CANOGA AVE #428 WOODLAND HILLS CA	16205112007
ACCESSIBLE SPACE INC	2550 UNIVERSTIY AVE W 330 N ST PAUL MN	16205112004
AGUILERA LILIA MARCELA HOLGIN	425 CAMINO REAL AVE EL PASO TX	16205112005
AGUILERA LILIA MARCELA HOLGIN	425 CAMINO REAL AVE EL PASO TX	13932403003
ALDON	3202 W CHARLESTON BLVD LAS VEGAS NV	13932306023
ALKON FRIDA	815 S KENNY WY LAS VEGAS NV	13932306022
ALVAREZ BONITA R	905 CASHMAN DR LAS VEGAS NV	13932403012
BABIN REX A	3111 HASTINGS AVE LAS VEGAS NV	13932404005
BALLE CENTER L L C	2801 W CHARLESTON BLVD #100 LAS VEGAS NV	13932403001
BANANA SPLIT SPENDTHRIFT TRUST	%D RAWSON 901 A ST SAN RAFAEL CA	13932403006
BARBERINI BONNIE B	2951 PINTO LN LAS VEGAS NV	16205510006
BAUGHN DAVID W	814 S KENNY WY LAS VEGAS NV	13932306001
BENDICION ISAIAS A & MARIA T	P O BOX 26103 LAS VEGAS NV	13932306026
BERMAN ANDREW G	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932410014
BUSCH NED M & ANN F	208 CAMPBELL DR LAS VEGAS NV	13932404014
BUSCH NED M & ANN F	208 CAMPBELL DR LAS VEGAS NV	13932412011
BUSCH NED M & ANN F	208 CAMPBELL DR LAS VEGAS NV	13932405009
BUSCH NED M & ANN F	208 CAMPBELL DR LAS VEGAS NV	13932405012
CALDERON BENITO D REV LIV TR	616 CAMPBELL DR LAS VEGAS NV	13932405011
CARMENA NEIL TRUST	2825 PINTO LN LAS VEGAS NV	13932405008
CASHPA SUSANA	1109 CAMPBELL DR LAS VEGAS NV	13932303002
CASON JACK E & MAXINE FAMILY TR	2200 S HIGHLAND DR LAS VEGAS NV	13932306004
CASON PATRICK J TRUST	700 SHETLAND RD LAS VEGAS NV	16205115002
CHAN ROSALIE Y REVOCABLE TRUST	1662 MAGNOLIA LN SAN LEANDRO CA	13932801012
CHAPMAN ROSE FAMILY TRUST	3226 WEBER CT LAS VEGAS NV	13932801011

Report of All Selected Parcels**Case Number:** VAR-38582**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
CHARLESTON PARK MANAGEMENT L L C	3415 W LAKE MEAD BLVD #110 LAS VEGAS NV	16205510003
CHARLESTON/CAMPBELL PLAZA L L C	P O BOX 28910 LAS VEGAS NV	16205115001
CHARNETSKY VICTOR C & L L FAM TR	15905 CALUMET CT RIVERSIDE CA	13932801008
CLARK BRIAN J & HEIDI J	3121 HASTINGS AVE LAS VEGAS NV	13932403005
CROMER GEORGE E	612 S 3RD ST LAS VEGAS NV	13932404011
CROMER JAMES	6561 CAMINO DEL PARQUE CARLSBAD CA	13932404010
CRUEY NED F & KAREN L	721 CAMPBELL DR LAS VEGAS NV	13932405007
D C D D 2005 FAMILY TRUST	3025 PALOMINO LN LAS VEGAS NV	13932405005
DEEP SEA GEORGE HOLDINGS L L C	3011 PINTO LN LAS VEGAS NV	13932305001
DELPHI FAMILY L P	2809 W CHARLESTON BLVD #109 LAS VEGAS NV	16205510004
DELPHI L P	2809 W CHARLESTON BLVD #109 LAS VEGAS NV	16205510005
DIXON JEWEL L LIVING TRUST	612 CAMPBELL DR LAS VEGAS NV	13932303001
DUBOIS GERTRUDE	6210 W BROOKS AVE LAS VEGAS NV	13932405013
DWORAK-ROWLAND AMANDA	827 S KENNY WY LAS VEGAS NV	13932404009
EPHESIANS 3:20 L L C	%B LAWSON 10420 DESIGNATA AVE LAS VEGAS NV	16205112008
ESTEY DEVELOPMENT L L C	%R ESTEY 3051 ARABIAN RD LAS VEGAS NV	13932306019
ETHAN MICHAEL INVEST LLC ETAL	%G KAMER 3000 W CHARLESTON BLVD #3 LAS VEGAS NV	13932405019
FAYLONA INVESTMENTS L L C	1827 INDIAN BEND DR HENDERSON NV	13932801010
FEDERAL NATIONAL MORTGAGE ASSN	135 N LOS ROBLES AVE PASADENA CA	13932403007
FIALKIEWICZ DEREK E	909 CAHSMAN DR LAS VEGAS NV	13932403008
FRANCIS MILES A & JENNIFER R	801 S KENNY WY LAS VEGAS NV	13932404001
GEORGE 1994 TRUST	1108 CAMPBELL DR LAS VEGAS NV	16205112009
GOMEZ J ARNALDO & VIVIAN A	813 CAMPBELL DR LAS VEGAS NV	13932405024
GOMEZ ROSE	5893 SHINNING MOON CIR LAS VEGAS NV	13932311012
GREMM KATHY	817 LACY LN LAS VEGAS NV	13932410003
GUARRELLA ROSALIA M & JOSEPH	704 CAMPBELL DR LAS VEGAS NV	13932404004
HANSON DENNIS R & CLAUDINE L	1610 HARDROCK ST LAS VEGAS NV	13932404003
HEJMANOWSKI P & C TRUST	708 CAMPBELL DR LAS VEGAS NV	13932404006
HEJMANOWSKI P & C TRUST	708 CAMPBELL DR LAS VEGAS NV	13932404008
HENDRICKSON ROSE MARIE TRUST	3037 PALOMINO LN LAS VEGAS NV	13932405002
HIGHER GROUND L L C	P O BOX 98378 LAS VEGAS NV	13932404012
HINDELANG PAUL E JR	296 LAS ENTRADAS DR SANTA BARBARA CA	13932703008

Report of All Selected Parcels**Case Number:** VAR-38582**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
HOOPER ROBERT S	825 LACY LN LAS VEGAS NV	13932410005
HULL JAY FRANK	829 LACY LN LAS VEGAS NV	13932410006
IGLESIAS ANER TRUST 1997	166 CIRCLE DR BRADBURY CA	13932703013
ISABELLA PROPERTY MANAGEMENT LLC	3009 W CHARLESTON BLVD LAS VEGAS NV	16205115003
JARRELL JAMES H & LAURA E	725 S KENNY WY LAS VEGAS NV	13932311009
JENKINS NORMAN L FAMILY TRUST	3071 ARABIAN RD LAS VEGAS NV	13932306010
JEWELL ROBERTA J	717 S KENNY WY LAS VEGAS NV	13932311008
KASS JOHN G & VIRGINIA A LIV TR	818 SHETLAND RD LAS VEGAS NV	13932801007
KENT JAMES C & MARZELLE E FAM TR	3033 PALOMINO LN LAS VEGAS NV	13932405003
KINDT ALANA G	809 LACY LN LAS VEGAS NV	13932410002
KIRCH MARLENE REV SEP PPTY TR	826 KENNY WY LAS VEGAS NV	13932410012
KNAPP PHILIP G & JO ELLEN JACOB	713 KENNY WY LAS VEGAS NV	13932311007
KOPECKY EDWARD L & MAUREEN M	604 CAMPBELL DR LAS VEGAS NV	13932311013
KOTCHKA-SMITH FAMILY TRUST	804 SHETLAND RD LAS VEGAS NV	13932801003
LAGSTEIN ZEV & RIVKA TRS	1013 CHAMPIONSHIP CT LAS VEGAS NV	16205510001
LANIAK RUSSELL	3041 PALOMINO LN LAS VEGAS NV	13932405001
LIMBOCKER DAVID	906 CASHMAN DR LAS VEGAS NV	13932402005
LONG RICHARD E	P O BOX 60763 LAS VEGAS NV	13932303003
M H L FAMILY L P ETAL	%M LEAVITT 6704 W COSTA BRAVA RD LAS VEGAS NV	13932405016
M Z R 2	19681 DA VINCI FOOTHILL RANCH CA	13932410011
MAGBUAL DANNY & TESS	801 LACY LN LAS VEGAS NV	13932410001
MALONEY DONALD E & BETTYE LOU	3029 PALOMINO LN LAS VEGAS NV	13932405004
MCAFEE CLARK & KATHLEEN FAM TR	823 CAMPBELL DR LAS VEGAS NV	13932405025
MCDONALD RANDALL L & TONI	808 SHETLAND RD LAS VEGAS NV	13932801004
MENNINGER CAROL A	3210 W CHARLESTON BLVD #1 LAS VEGAS NV	13932403011
MICHAEL ETHAN INVESTMENT L L C	3000 W CHARLESTON BLVD #3 LAS VEGAS NV	13932405020
MICHAEL ETHAN INVESTMENTS L L C	3000 W CHARLESTON #3 LAS VEGAS NV	13932405023
MILLER JACQUELINE F REV LIV TR	3314 PALOMINO LN LAS VEGAS NV	13932310015
MOGBEL SHAHIN	813 LACY LN LAS VEGAS NV	13932410007
MOLASKY ANDREW REVOCABLE FAM TR	3030 PALOMINO LN LAS VEGAS NV	13932306011
MOLASKY ANDREW REVOCABLE FAM TR	3030 PALOMINO LN LAS VEGAS NV	13932306012
MOLLER-BURKEY TRUST	801 CAMPBELL DR LAS VEGAS NV	13932405010

Report of All Selected Parcels**Case Number:** VAR-38582**Printed On:** Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
N N N WESTBAY OFFICE PARK ETAL	%THOMSON REUTERS INC 2235 FARADAY AVE #O CARLSBAD CA	13932405026
N N N WESTBAY OFFICE PARK ETAL	%THOMSON REUTERS INC 2235 FARADAY AVE #O CARLSBAD CA	13932405017
N N N WESTBAY OFFICE PARK ETAL	%THOMSON REUTERS INC 2235 FARADAY AVE #O CARLSBAD CA	13932405018
NEEDHAM HOWARD J & CHRISTINE S	3216 W CHARLESTON BLVD #D LAS VEGAS NV	13932403010
NGUYEN ANGIE	14482 BEACH BLVD #Y WESTMINSTER CA	13932801009
O'REILLY JOHN F & RENE E	3013 PINTO LN LAS VEGAS NV	13932305002
O'REILLY JOHN F & RENE E	3013 PINTO LN LAS VEGAS NV	13932305003
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411004
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412007
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411001
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411003
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412016
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412014
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411020
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411019
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412018
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412032
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411032
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411018
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412017
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412033
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411030

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411017
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412030
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411002
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411034
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412006
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412035
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412015
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411035
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411015
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411036
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412036
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411033
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411029
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412022
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412028
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411022
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411028
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412021
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412023
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412029

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412027
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411021
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411031
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411027
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411016
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412026
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412025
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412024
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411024
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411025
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCRDW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411026
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412020
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412019
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412031
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411023
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412008
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412040
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411040
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412041
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412009

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411014
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411009
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412034
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411010
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411041
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412042
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412010
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411042
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412001
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412002
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412003
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411007
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411006
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411005
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412004
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412005
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411008
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412038
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411013
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412013

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QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411011
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411037
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411039
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412039
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411012
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932411038
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412012
QUAIL PARK IV L L C	%ORIX REAL EST CAPITAL MARKETS %ESCROW ADMIN 1717 MAIN ST 12TH FLOOR TX1-2495 DALLAS TX	13932412037
R & J PROPERTY MANAGEMENT L L C	%R & J NOWINS 3380 S EASTERN AVE LAS VEGAS NV	13932410010
RANDO FAMILY TRUST	600 S CAMPBELL DR LAS VEGAS NV	13932311014
REPUBLICA MUSICANA L L C	2717 PINTO LN LAS VEGAS NV	13932703001
REPUBLICA MUSICANA L L C	2717 PINTO LN LAS VEGAS NV	13932306020
ROCKY MTN PLANNED PARENTHOOD INC	1537 ALTON ST AURORA CO	13932403009
RODRIGUEZ BENJAMIN J	3000 W CHARLESTON BLVD #I LAS VEGAS NV	13932405022
ROGERS PERRY C TRUST	3000 ARABIAN RD LAS VEGAS NV	13932305004
RUBIN FAMILY TRUST	711 CAMPBELL DR LAS VEGAS NV	13932306009
RUBIN FAMILY TRUST	700 CAMPBELL DR LAS VEGAS NV	13932404002
RUYMANN ANNE L	6890 BARRED DOVE LN NO LAS VEGAS NV	13932310016
SALVATION ARMY	P O BOX 28369 LAS VEGAS NV	13932306013
SAMUEL COLEMAN SIEGEL	26885 VIA LINDA MALIBU CA	13932404007
SANCHEZ AFRICA A	846 S KENNY WY LAS VEGAS NV	13932410009
SCHOOL BOARD OF TRUSTEES	2832 E FLAMINGO RD LAS VEGAS NV	13932405006
SCHWARTZ JASON & SHARI	733 S KENNY WY LAS VEGAS NV	13932311010
SHADWICK FAMILY 1999 TRUST	3300 HASTINGS AVE LAS VEGAS NV	13932410008
SHELTON GARY ANTHONY & SHELLY M	845 KENNY WY LAS VEGAS NV	13932404015
SHETLAND MUTUAL WATER ASSN	701 SHETLAND DR LAS VEGAS NV	13932801002
SLADE KAREN C	821 LACY LN LAS VEGAS NV	13932410004

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<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
SPINNAKER CAPITAL II L L C	5810 ARBORETUM DR LOS ALTOS CA	13932403014
STILES GREGORY WAYNE & MELISSA D	820 S KENNY WY LAS VEGAS NV	13932410013
STUHFF PAUL	724 S KENNY WY LAS VEGAS NV	13932310017
SWEET MARILYN WEEKS	848 N RAINBOW #2408 LAS VEGAS NV	13932403004
TOM ENTERPRISES	%CORNERSTONE CO 9901 COVINGTON CROSS DR #170 LAS VEGAS NV	16205510002
VAC L L C	500 S RANCHO #12 LAS VEGAS NV	13932403013
VASAS HEIDI E	3000 W CHARLESTON BLVD #5 LAS VEGAS NV	13932405021
VELA ANTHONY	818 CAMPBELL DR LAS VEGAS NV	13932404016
VENGER SALLY LIVING TRUST	841 KENNY WY LAS VEGAS NV	13932404013
WILLIAMS BOBBY K & KAREN D	2905 PINTO LN LAS VEGAS NV	13932306024
WINN VERNE FAMILY SURVIVORS TR	3259 HASTINGS AVE LAS VEGAS NV	13932403002
WUMOSY L L C	9712 VERLAINE CT LAS VEGAS NV	16205112003
YAKAITIS STEPHEN A & BASIA P	800 S KENNY WY LAS VEGAS NV	13932410016
ZEHENDER G W DECLARATION TRUST	6231 EMBARCADERO DR STOCKTON CA	13932311011