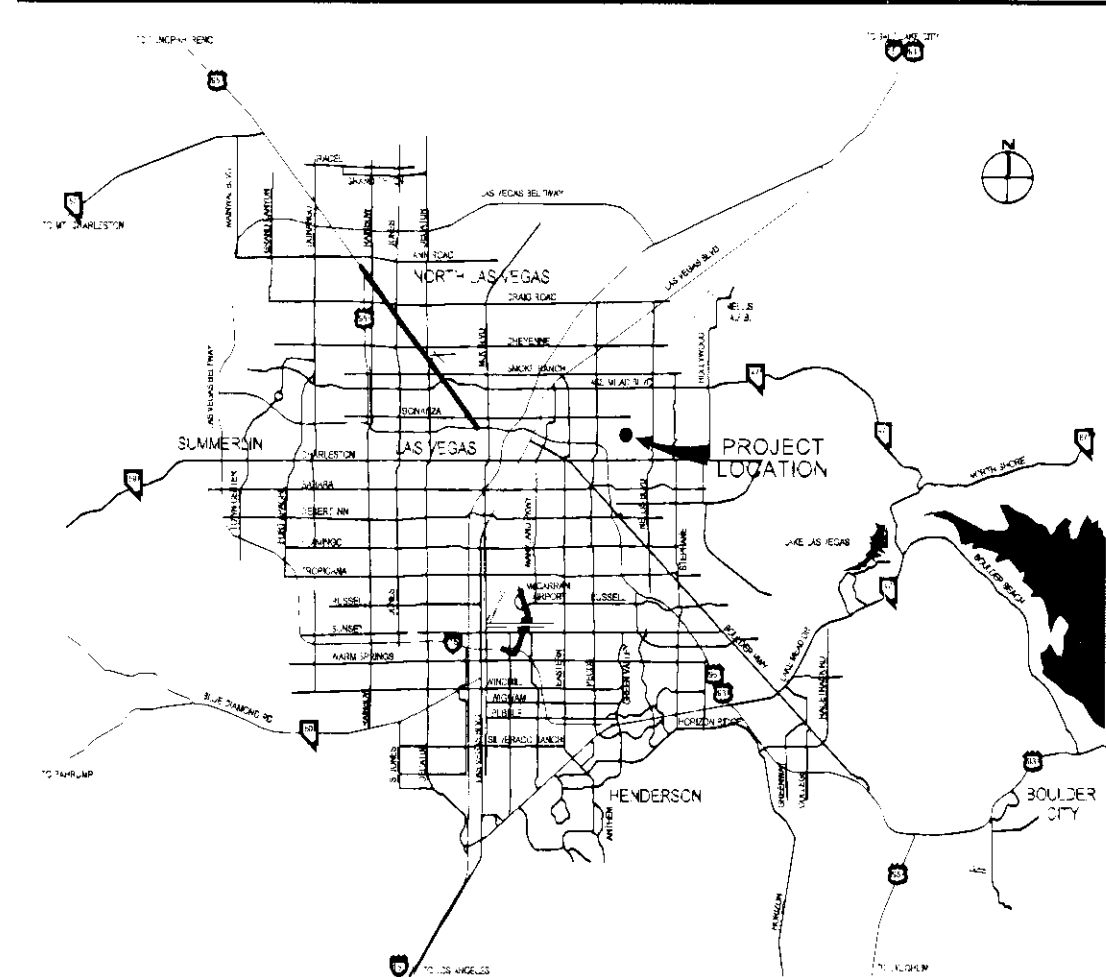


VICINITY MAP



DATA

SITE

APN: 140-32-501-001 &
140-32-501-002
SIZE: 4.17 ACRES
JURISDICTION: CITY OF LAS VEGAS
ZONING: R-E
USE: RELIGIOUS FACILITY

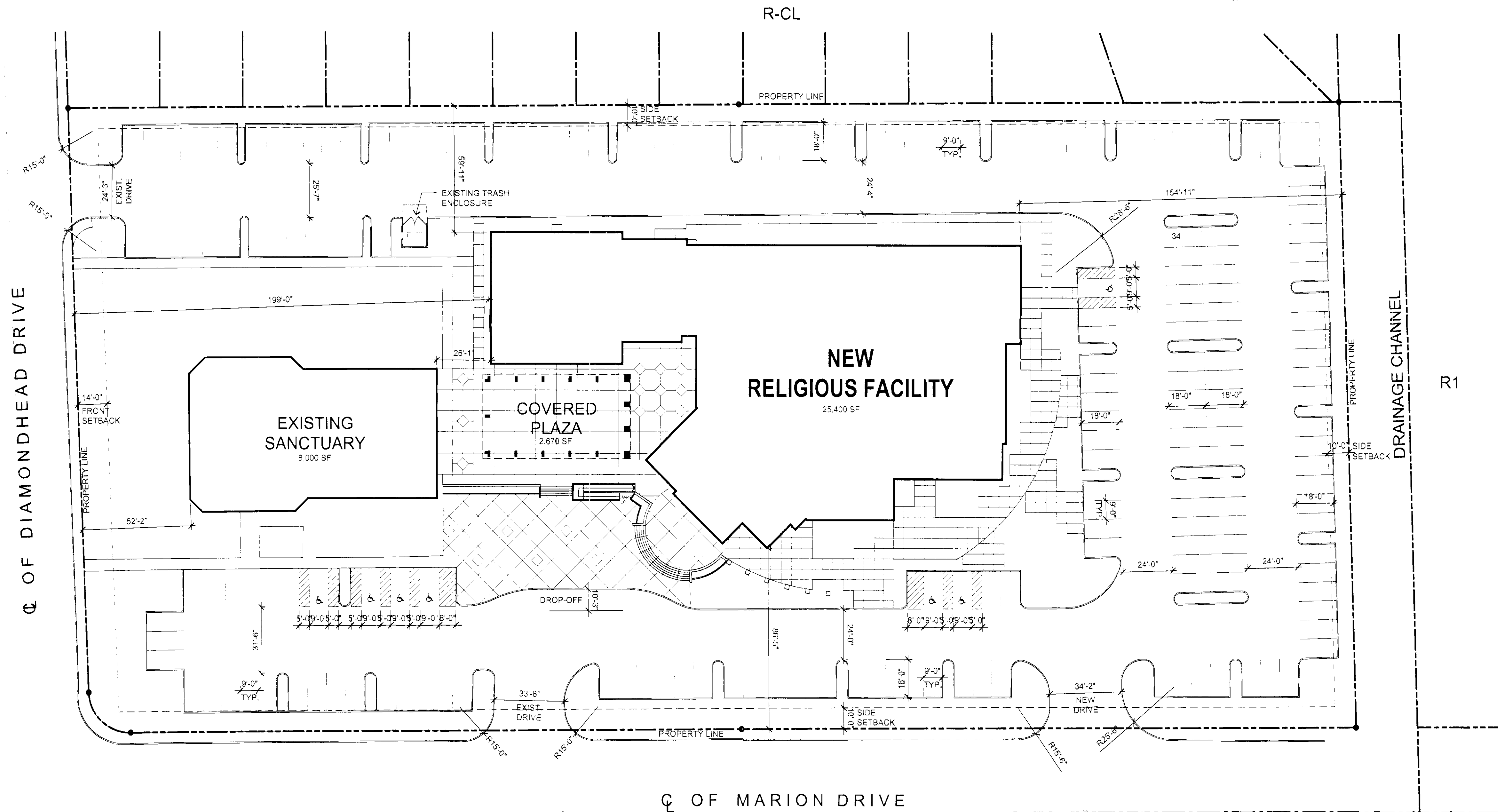
EXISTING BUILDING: 8,000 SF
NEW BUILDING: 25,400 SF
COVERED COURTYARD AREA: 2,670 SF

PARKING ANALYSIS

PER CLV TITLE 19 = LINEAL INCHES
OF PEW / 20" PER SEAT = 13,180' / 20 = 659

PARKING REQUIRED: 1 SPACE / 4 SEATS = 165 PARKING SPACES
PARKING PROVIDED: 193 REGULAR SPACES + 7 HANDICAP
SPACES = 200 TOTAL

F.A.R. = 18.39%



DRAWING APPROVED: _____
DATE: _____



SITE PLAN

UNITY BAPTIST CHURCH
545 MARION DRIVE

RECEIVED
JUN 22 2010

SITE PLAN

SCALE : 1"=30'-0"

0 15 30 60
06-21-10

SHT A1.1

SUP-38649

8965 s. eastern
suite 100
las vegas, nv 89123
p 702.456.1070
f 702.456.7020

DRAWING APPROVED: _____
DATE: _____



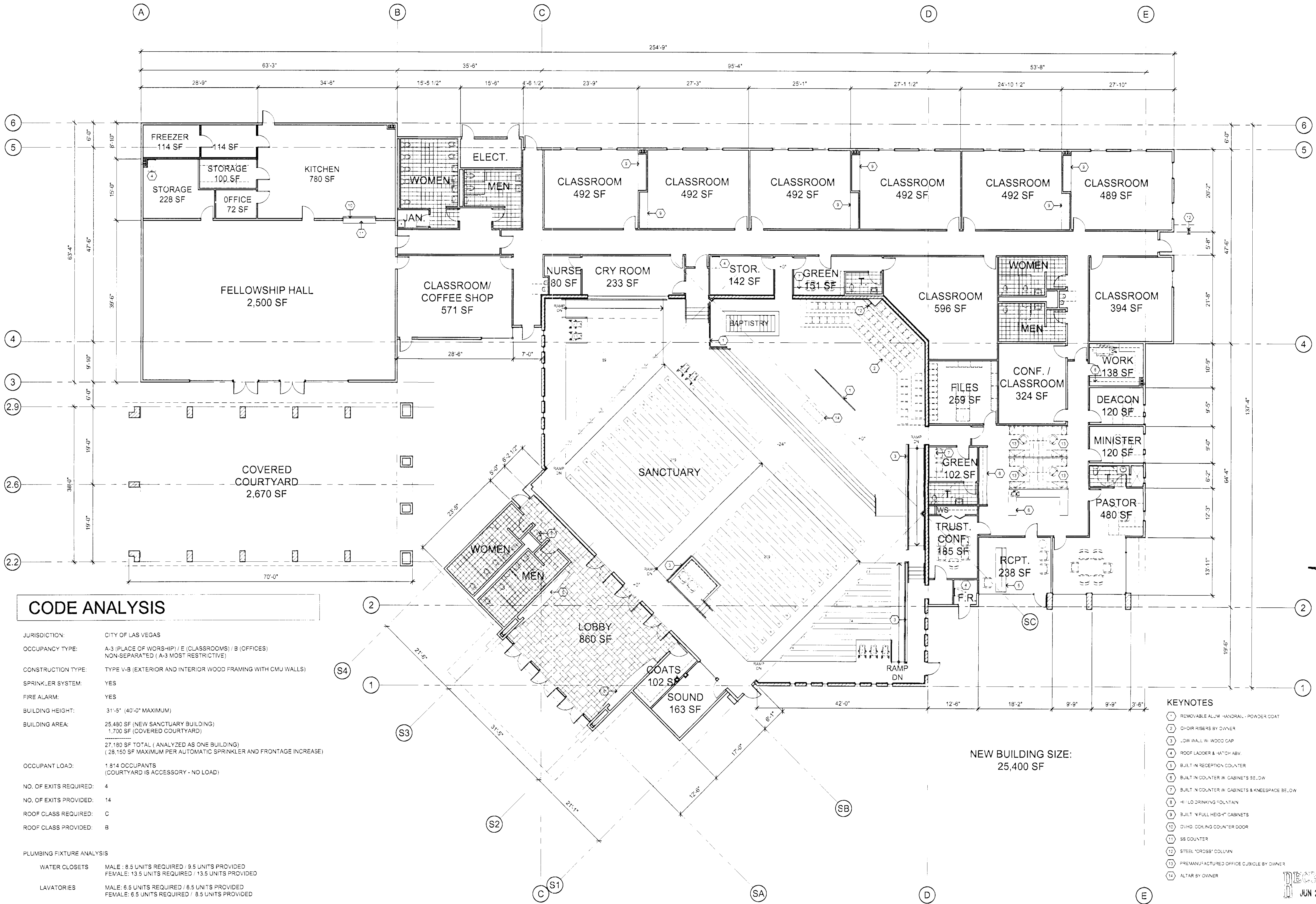
UNITY BAPTIST CHURCH
545 MARION DRIVE

FLOOR PLAN

RECEIVED
JUN 22 2010

SHT A2.1

SUP-38649



CODE ANALYSIS

JURISDICTION: CITY OF LAS VEGAS
OCCUPANCY TYPE: A-3 (PLACE OF WORSHIP) / E (CLASSROOMS) / B (OFFICES)
NON-SEPARATED (A-3 MOST RESTRICTIVE)
CONSTRUCTION TYPE: TYPE V-B (EXTERIOR AND INTERIOR WOOD FRAMING WITH CMU WALLS)
SPRINKLER SYSTEM: YES
FIRE ALARM: YES
BUILDING HEIGHT: 31'-5" (40'-0" MAXIMUM)
BUILDING AREA: 25,480 SF (NEW SANCTUARY BUILDING)
1,700 SF (COVERED COURTYARD)
27,180 SF TOTAL (ANALYZED AS ONE BUILDING)
(28,150 SF MAXIMUM PER AUTOMATIC SPRINKLER AND FRONTAGE INCREASE)
OCCUPANT LOAD: 1,814 OCCUPANTS
(COURTYARD IS ACCESSORY - NO LOAD)
NO. OF EXITS REQUIRED: 4
NO. OF EXITS PROVIDED: 14
ROOF CLASS REQUIRED: C
ROOF CLASS PROVIDED: B
PLUMBING FIXTURE ANALYSIS
WATER CLOSETS: MALE: 8.5 UNITS REQUIRED / 9.5 UNITS PROVIDED
FEMALE: 13.5 UNITS REQUIRED / 13.5 UNITS PROVIDED
LAVATORIES: MALE: 6.5 UNITS REQUIRED / 6.5 UNITS PROVIDED
FEMALE: 6.5 UNITS REQUIRED / 6.5 UNITS PROVIDED
DRINKING FOUNTAIN: 5 UNITS REQUIRED / 6 UNITS PROVIDED

KEYNOTES

1. REMOVABLE ALUM. HANDRAIL - POWDER COAT
2. CHAIR RISERS BY OWNER
3. LOW WALL W/ WOOD CAP
4. ROOF LADDER & WATCH ABV.
5. BUILT-IN RECEPTION COUNTER
6. BUILT-IN COUNTER W/ CABINETS BELOW
7. BUILT-IN COUNTER W/ CABINETS & KNEESPACE BELOW
8. 4" LO DRINKING FOUNTAIN
9. BUILT-IN FULL HEIGHT CABINETS
10. Q/HD. COOLING COUNTER DOOR
11. SS COUNTER
12. STEEL "CROSS" COLUMN
13. PREMANUFACTURED OFFICE CUBICLE BY OWNER
14. ALTAR BY OWNER

NEW BUILDING SIZE:
25,400 SF

FLOOR PLAN

SCALE : 3/32"=1'-0"

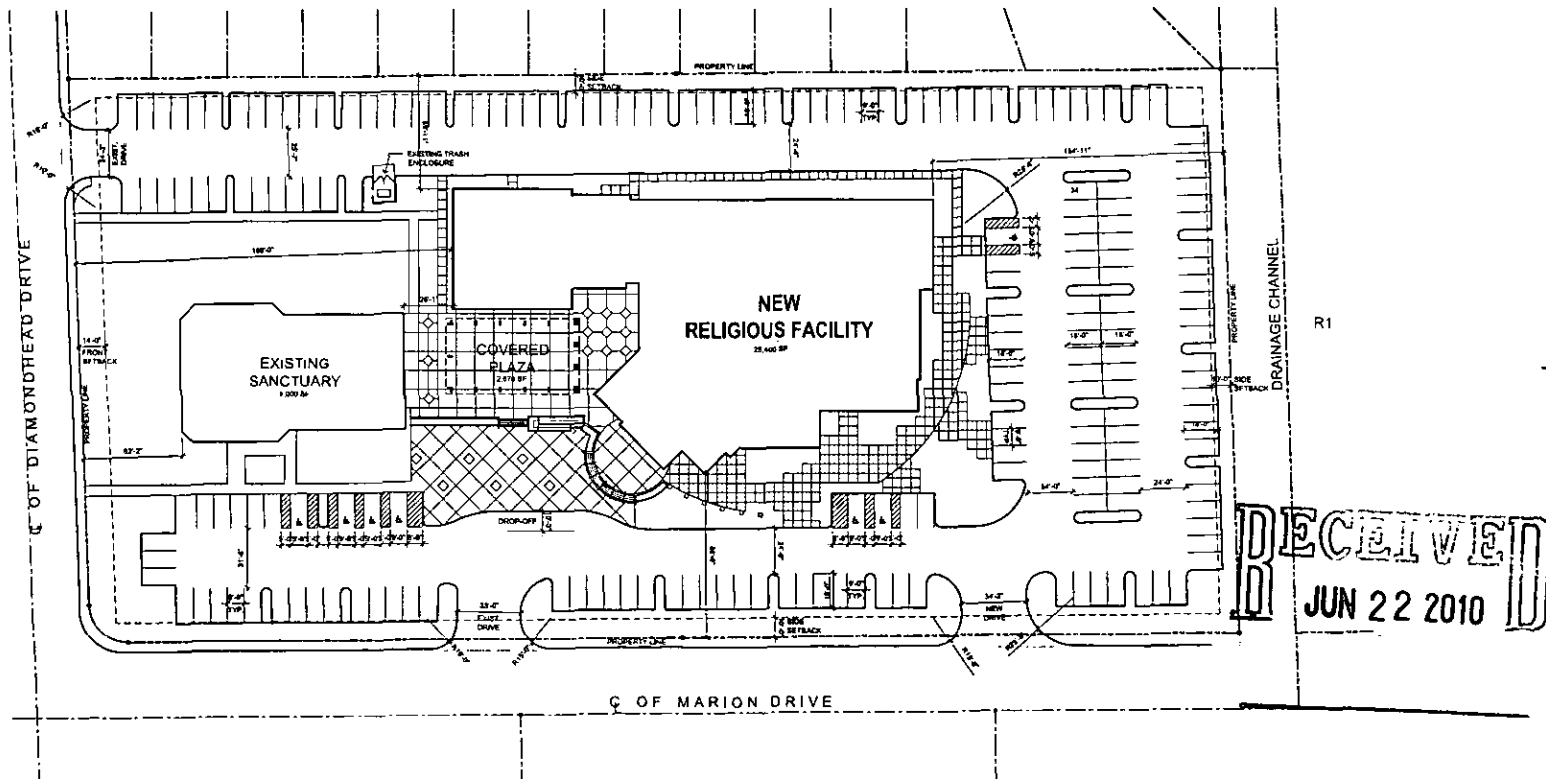
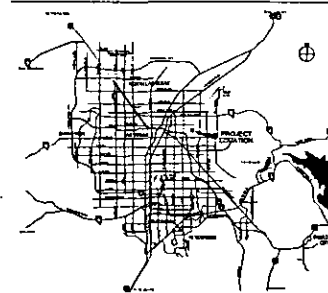
0 4 8 16

06-21-10

DATA

SITE		PARKING ANALYSIS	
APN:	140-32-501-001 & 140-32-501-002	PER CLV TITLE (R) = LINEAL INCHES OF PEW / 20' PER SEAT = 13,187' x 20' = 263,750	
SIZE:	4.17 ACRES	PARKING REQUIRED:	1 SPACE / 4 SEATS = 165 PARKING SPACES
JURISDICTION:	CITY OF LAS VEGAS	PARKING PROVIDED:	183 REGULAR SPACES + 7 HANDICAP SPACES = 250 TOTAL
ZONING:	R-6		
USE:	RELIGIOUS FACILITY		
EXISTING BUILDING:	9,088 SF	F.A.R. = 18.38%	
NEW BUILDING:	25,400 SF		
COVERED COURTYARD AREA:	9,870 SF		

VICINITY MAP



8965 s. eastern
suite 100
las vegas, nv 89123
p 702.456.1070
f 702.456.7020

DRAWING APPROVED: _____
DATE: _____



SITE PLAN

UNITY BAPTIST CHURCH
545 MARION DRIVE

SITE PLAN

SCALE : 1"=30'-0"

0 15 30 60 06-21-10 north

SUP-38649

SHT A1.1

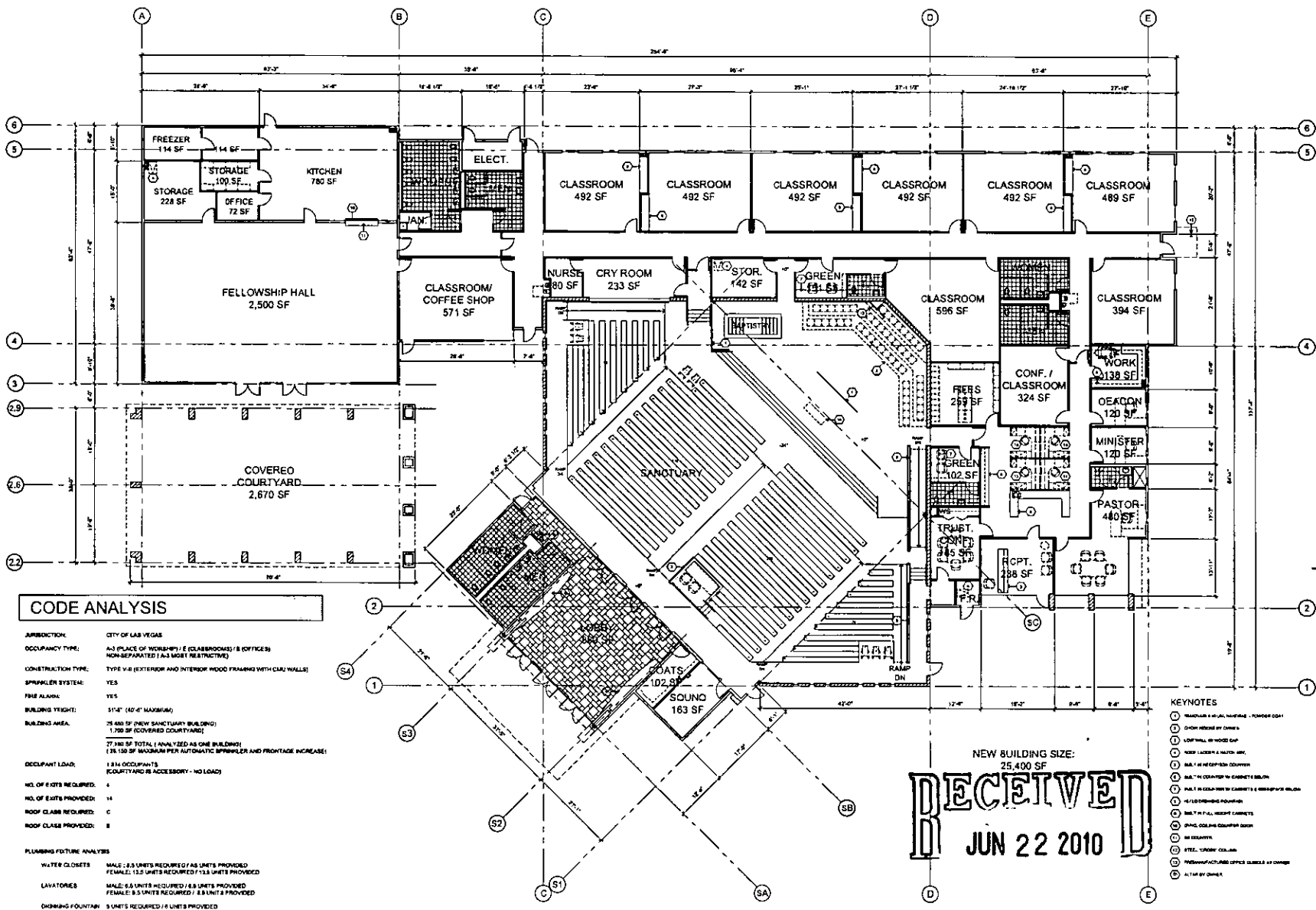
8965 S. Eastern
Suite 100
Las Vegas, NV 89123
p 702.456.1070
f 702.456.7020

DRAWING APPROVED: _____
DATE: _____



FLOOR PLAN

UNITY BAPTIST CHURCH
545 MARION DRIVE



CODE ANALYSIS

JURISDICTION: CITY OF LAS VEGAS
 OCCUPANCY TYPE: A-3 (PLACE OF WORSHIP) / E (CLASSROOMS) / B (OFFICES)
 CONSTRUCTION TYPE: TYPE V-B (EXTERIOR AND INTERIOR WOOD FRAMING WITH CMU WALLS)
 SPRINKLER SYSTEM: YES
 FIRE ALARM: YES
 BUILDING HEIGHT: 31'4" (40'4" MAXIMUM)
 BUILDING AREA: 25,400 SF (NEW SANCTUARY BUILDING)
 1,700 SF (COVERED COURTYARD)
 27,100 SF TOTAL (ANALYZED AS ONE BUILDING)
 136,150 SF MAXIMUM PER AUTOMATIC SPRINKLER AND PRO-RATE INCREASE
 OCCUPANT LOAD: 1.334 OCCUPANTS / SQUARE FOOT (NO LOADING)
 NO. OF EGRESS REQUIRED: 4
 NO. OF EGRESS PROVIDED: 14
 ROOF CLASS REQUIRED: C
 ROOF CLASS PROVIDED: B
 PLANNING FUTURE ANALYSIS
 WATER CLOSETS: MALE: 2.5 UNITS REQUIRED / 14 UNITS PROVIDED
 FEMALE: 13.5 UNITS REQUIRED / 13.5 UNITS PROVIDED
 LAVATORIES: MALE: 6.5 UNITS REQUIRED / 6.5 UNITS PROVIDED
 FEMALE: 8.5 UNITS REQUIRED / 8.5 UNITS PROVIDED
 DRINKING FOUNTAIN: 5 UNITS REQUIRED / 4 UNITS PROVIDED

NEW BUILDING SIZE:
25,400 SF
RECEIVED
JUN 22 2010

- KEYNOTES
- 1. SANCTUARY & CHANCEL FLOORING - REMOVED COAT
 - 2. CHANCEL FLOORING BY OTHERS
 - 3. LAMP WALLS - NO WOOD GUT
 - 4. NEW LAMINATE & MASONRY
 - 5. BUILDING IN RE-DEVELOPMENT COURTYARD
 - 6. BUILDING IN RE-DEVELOPMENT COURTYARD
 - 7. BUILDING IN RE-DEVELOPMENT COURTYARD
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 - 99. BUILDING IN RE-DEVELOPMENT COURTYARD
 - 100. BUILDING IN RE-DEVELOPMENT COURTYARD

FLOOR PLAN

SCALE: 3/32" = 1'-0"

0 4 8 16 06-21-10

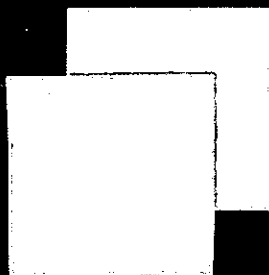
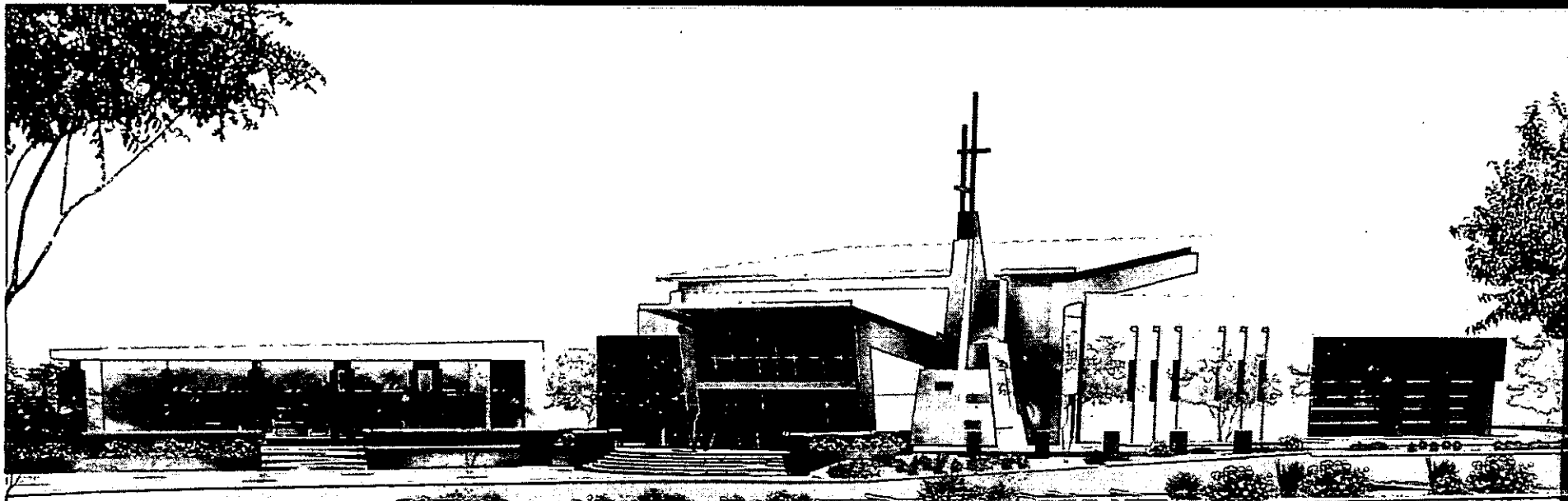
SHT A2.1

SUP-38649



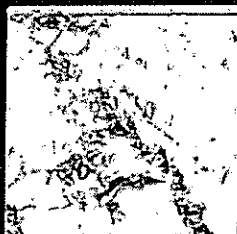
UNITY BAPTIST CHURCH

EXTERIOR COLORS AND MATERIALS

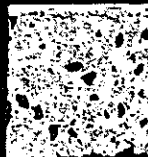


Paint Colors

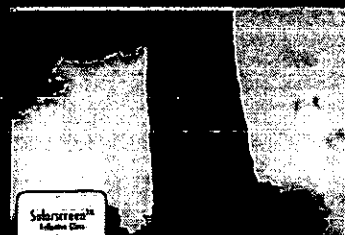
Limestone



Sanctuary CMU



SITE-WALLS
CMU



Bronze Glazing



Mullions

METAL
ROOF



METAL
PANEL

RECEIVED
JUN 22 2010

SUP-38649

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST 
Item Required		
YES	NO	

APPLICATION PACKET

☒	☐	Application signed and notarized by all property owners or authorized agent(s)	NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")
☒	☐	Grant deed and legal description	
☒	☐	Detailed justification letter	
☒	☐	Original meeting notes and checklist(s) signed by planner	
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 0.00 (Notification) + \$ 0.00 (Recordation) = \$ 500.00 Total	
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)	
☒	☐	Assessor's Parcel Map	
☐	☒	Development Impact Notice and Assessment (DINA)	
☐	☒	Project of Regional Significance (PRS)	
☒	☐	Color & Materials Board per Site Development Plan Review Submittal Requirements	
☒	☐	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☒)	

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)**SITE PLAN**

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	1
☒	☐	North arrow, scale, and vicinity map	Colored, Rolled Plans:	1
☒	☐	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 B/W):	1
☒	☐	All building setbacks labeled	NOTES:	
☒	☐	All adjacent existing land uses and street names labeled		
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized:		
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		

LANDSCAPE PLAN

☐	☒	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	0
☐	☒	North arrow, scale, and vicinity map	Colored, Rolled Plans:	0
☐	☒	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 B/W):	0
☐	☒	All required perimeter landscape planters shown	NOTES:	
☐	☒	All required parking lot fingers/islands shown		
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover		

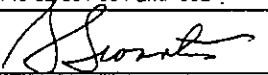
BUILDING ELEVATIONS

☐	☒	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	0
☐	☒	Scale and building dimensions labeled	Colored, Rolled Plans:	0
☐	☒	North, south, east, and west elevations of all buildings	Reduced Copy (8-1/2x11 B/W):	0
☐	☒	All building materials and colors noted	NOTES:	
☐	☒	8" x 10" photo of original color and material board		
☐	☒	All wall sign locations shown and sizes noted		

FLOOR PLANS

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	1
☒	☐	Scale and building dimensions labeled	Rolled Plans:	1
☒	☐	All building entrances/exits shown	Reduced Copy (8-1/2x11 B/W):	1
☒	☐	Use of all rooms noted/labeled	NOTES:	
☒	☐	Maximum Occupancy (per I.B.C.)		
☒	☐	Seating Capacity (where applicable)		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant:	Unity Baptist Church	Application Type:	Special Use Permit
Representative:	Ethos Three Architecture	Application Purpose:	Minor Amendment to an approved Church/House of Worship
APN:	140-32-501-001 and -002	Site Location:	545 Marion Dr
Planner's Signature:	 6/15/10	Pre-App. Meeting Date:	06/11/10
Planner:	Romeo Gumarang, Planner I - 229-4604 Steve Swanton, Senior Planner - 229-4714	Submittal Deadline:	07/13/10 - no later than 2:00 pm
		Earliest PC / CC Meeting Dates:	08/26/10 PC - 10/06/10 CC - Cycle 6

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

July 22, 2010

Unity Baptist Church
545 Marion Drive
Las Vegas, Nevada 89110

**RE: SUP-38649 - ADMINISTRATIVE SPECIAL USE PERMIT
MINOR REVIEW CYCLE - JULY 2010**

Dear Applicant:

Your request for a Minor Amendment to a previously approved Special Use Permit (SUP-36136) TO REDUCE THE FLOOR AREA FOR A PROPOSED ADDITION TO AN EXISTING CHURCH/HOUSE OF WORSHIP BY 48 PERCENT (FROM 48,816 TO 25,400 SQUARE FEET) at 545 Marion Drive (APNs 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department staff has administratively **APPROVED** your request subject to the following:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for a Church/House of Worship use.
2. Conformance to the Conditions of Approval for Site Development Plan Review (SDR-36124 and SDR-38648) shall be required.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal structure on site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



Unity Baptist Church
SUP-38649 - Page Two
July 22, 2010

This action by the Planning and Development Department staff on July 22, 2010 is final unless a written appeal is filed with the Director of Planning and Development Department within ten days of the date of this letter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Steve Gebeke', with a long horizontal line extending to the right.

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. John Lopeman
Ethos Three Architecture
8965 South Eastern Avenue, Suite #100
Las Vegas, Nevada 89123

City of Las Vegas

AGENDA MEMO

ADMINISTRATIVE REVIEW DATE: JULY 2010

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: APPLICANT/OWNER: UNITY BAPTIST CHURCH

**** STAFF RECOMMENDATION(S) ****

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
SUP-38649	Staff recommends APPROVAL, subject to conditions:	SDR-38648
SDR-38648	Staff recommends APPROVAL, subject to conditions:	SUP-38649

**** CONDITIONS ****

SUP-38649 CONDITIONS

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for a Church/House of Worship use.
2. Conformance to the Conditions of Approval for Site Development Plan Review (SDR-36124 and SDR-38648) shall be required.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal structure on site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SDR-38648 CONDITIONS

Planning and Development

1. Conformance to the Conditions of Approval for Special Use Permit (SUP-38649) and Site Development Plan Review (SDR-36124) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and floor plan date stamped 6/22/10, and building elevations, date stamped 07/12/10/, except as amended herein.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
5. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits.
6. These Conditions of Approval accompanied with the Conditions of Approval of Site Development Plan Review (SDR-36124) shall be affixed to the cover sheet of any plan set submitted for building permit.
7. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

8. Site development to comply with all applicable conditions of approval for SDR-36124 and all other site-related actions.

Staff Report Page One
July 2010 - Administrative Review

**** STAFF REPORT ****

PROJECT DESCRIPTION

This request is to amend a previously approved Special Use Permit (SUP-36136) and a Site Development Plan Review (SDR-36124) for a 48,816 square-foot expansion to an existing 8,000 square-foot Church/House of Worship with a waiver of the perimeter landscape buffer requirements to allow a 10-foot landscape buffer along a portion of the west perimeter where 15 feet is required. The proposed changes include a reduction in floor area from 48,816 to 25,400 square feet; reduction in the overall height of the structure with the steeple from 100 feet to 54.6 feet with the actual building height decreasing from 35 to 34 feet; a slight reconfiguration of the site layout and floor plan to reflect the changes in building size; and an increase in the seating capacity of the main Sanctuary from 600 seats to 659 seats. As the proposed changes do not increase the intensity of the use and meet Title 19.18 requirements for Minor Amendments, the Planning and Development Department is administratively approving these requests for Special Use Permit and Site Development Plan Review.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
02/15/06	The City Council approved a request for a Site Development Plan Review (SDR-10460) for a proposed 54 space parking lot and waivers of the perimeter and parking lot landscaping requirements at 545 Marion Drive.
12/02/09	The City Council approved a request for a Special Use Permit (SUP-36136) for a proposed Church/House of Worship at 545 Marion Drive. The Planning Commission recommended approval on 11/05/09.
	The City Council approved a related request for a Site Development Plan Review (SDR-36124) for a proposed 48,816 square-foot addition to an existing 8,000 square-foot Church/House of Worship with a waiver of the perimeter landscape buffet requirements to allow a 10-foot landscape buffer along a portion of the west perimeter where 15 feet is required.
06/03/10	The Planning and Development Department accepted plans for a Parcel Map (PMP-38435) review for a Reversion to Acreage of approximately 4.17 acres at the southeast corner of Diamond Head Drive and Marion Drive. The Mylar was accepted for processing on 07/06/10.

<i>Related Building Permits/Business Licenses</i>
No building permits or business licenses have been issued for the proposed project.

Staff Report Page Two
July 2010 - Administrative Review

<i>Pre-Application Meeting</i>	
06/11/10	A pre-application meeting was held to discuss the requested changes to the previously approved project that consist of reducing the total square footage of the church expansion from 48,816 square feet to 25,400 square feet, a reduction in the overall height (with steeple) from 100 feet to 54.6 feet, and slight reconfigurations to the site layout and floor plan to reflect the changes in the building size.

<i>Neighborhood Meeting</i>
A neighborhood meeting was not required, nor was one held.

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	4.17

<i>Surrounding Property</i>	<i>Existing Land Use Per Title 19.04</i>	<i>Planned or Special Land Use Designation</i>	<i>Existing Zoning District</i>
Subject Property	Church	ML (Medium-Low Density Residential)	R-E (Residence Estates)
North	Single Family Dwellings	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot District)
South	Single Family Dwellings	L (Low Density Residential)	R-1 (Single Family Residential)
East	Single Family Dwellings	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot District)
West	Single Family Dwellings	L (Low Density Residential)	R-1 (Single Family Residential)

<i>Master Plan Areas</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Master Plan Area		X	N/A
<i>Special Purpose and Overlay Districts</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Las Vegas Redevelopment Plan Area		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

Staff Report Page Three
July 2010 - Administrative Review

DEVELOPMENT STANDARDS

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Approved (SDR-36124)</i>	<i>Provided (SDR-38648)</i>	<i>Compliance</i>
Min. Lot Size	20,000 SF	4.17 acres	4.17 acres	Y
Min. Lot Width	100 Feet	295 Feet	295 Feet	Y
Min. Setbacks				
• Front (north property line)	50 Feet	183 Feet	199 Feet	Y
• Side (east property line)	10 Feet	56 Feet	59 Feet	Y
• Corner (west property line)	15 Feet	84 Feet	86 Feet	Y
• Rear (south property line)	35 Feet	141 Feet	154 Feet	Y
Max. Lot Coverage	N/A	31%	18%	Y
Max. Building Height	2 Stories or 35 Feet	35 feet	34 Feet	Y
Trash Enclosure	Screened, Gated, w/ a Roof or Trellis	Screened by Condition	Screened by Condition	Y
Mech. Equipment	Screened	Screened by Condition	Screened by Condition	Y

<i>Residential Adjacency Standards</i>	<i>Required/ Allowed</i>	<i>Approved (SDR-36124)</i>	<i>Provided (SDR-38648)</i>	<i>Compliance</i>
3:1 proximity slope	105 Feet	128 Feet	105 feet	Y
Adjacent development matching setback	10 Feet	57 Feet	59 Feet	Y
Trash Enclosure	50 Feet	57 Feet	57 feet	Y

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Church/House of Worship	36,070 SF (includes existing church and covered courtyard area)	One space for each four fixed seats (659 seats total)	165		200		
TOTAL (With Handicapped)			159	6	193	7	Y

Staff Report Page Four
July 2010 - Administrative Review

ANALYSIS

The proposed changes to the previously approved plans include a reduction in the size of the floor area for the expansion of the Church/House of Worship from 48,816 square feet to 25,400 square feet (less than 50% reduction), a reduction in the overall height of the structure (with steeple) from 100 feet to 54.6 feet with the actual building height decreasing from 35 to 32.6 feet, a slight reconfiguration of the site layout and floor plan to reflect the changes in building size, and an increase in the seating capacity of the main Sanctuary from 600 seats to 659. Pursuant to Title 19.18.050 and 060, these reductions in the size and scope of the project are within the parameters of adjustments qualifying for Minor Amendments to the existing Special Use Permit (SUP-36136) and Site Development Plan Review (SDR-36124)

As the proposed changes constitute Minor Amendments to previously approved entitlements, do not increase the intensity of use and will be compatible with the surrounding adjacent land uses, the Planning and Development Department is administratively approving this request.

FINDINGS (SUP-38649)

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

- 1. The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan.**

The proposed use is a reduction in the previously approved expansion of the Church/House of Worship. The reduction in the size and scope of the project is compatible with the surrounding land uses.

- 2. The subject site is physically suitable for the type and intensity of land use proposed.**

The subject site remains suitable for the type and intensity of land use proposed for the site.

- 3. Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.**

Two separate roadways will provide access to the property: Diamondhead Drive is a 60-foot Local Street and Marion Drive is an 80-foot Secondary Collector, both capable of providing adequate access/egress from the subject site.

Staff Report Page Five
July 2010 - Administrative Review

4. **Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.**

Approval of this Minor Amendment to the previously approved Special Use Permit (SUP-36136) does not compromise the public health, safety, general welfare or overall objectives of the General Plan.

5. **The use meets all of the applicable conditions per Title 19.04.**

The Minor Amendment for the Church/House of Worship complies with the applicable conditions per Title 19.04.

FINDINGS (SDR-38648)

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **The proposed development is compatible with adjacent development and development in the area;**

The proposed plans for the addition to an existing Church/House of Worship are in compliance with residential adjacency requirements. Adequate landscaping is provided to for buffering; therefore, the proposed development is compatible with adjacent development and development in the surrounding areas.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development is consistent with the General Plan. Though the development fails to meet all perimeter landscape buffer requirements, a waiver was previously approved with Site Development Plan Review (SDR-36124) that is minimal in nature, with the remaining onsite landscaping meeting or exceeds minimum requirements.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The proposed amended expansion to the existing Church/House of Worship is still accessed from Diamondhead Drive and Marion Drive, both providing adequate access to the site.

Staff Report Page Six
July 2010 - Administrative Review

4. **Building and landscape materials are appropriate for the area and for the City;**

Building and landscape materials remain as previously approved.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

The building elevations and architectural features are not unsightly, are compatible with development in the area and substantially conform to the previous approvals.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare;**

The proposed development is subject to permit review and inspections; therefore, appropriate measures will be taken to protect public health, safety and general welfare.

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301

Fax: 702-474-0352

TTY: 702-386-9108

www.lasvegasnevada.gov

July 6, 2010

Unity Baptist Church
545 Marion Drive
Las Vegas, Nevada 89110

**RE: SUP-38649 - ADMINISTRATIVE SPECIAL USE PERMIT
MINOR REVIEW CYCLE - JULY 2010**

Dear Applicant:

Your request for a Minor Amendment to a previously approved Special Use Permit (SUP-36136) TO REDUCE THE FLOOR AREA FOR A PROPOSED ADDITION TO AN EXISTING CHURCH/HOUSE OF WORSHIP BY 48 PERCENT (FROM 48,816 TO 25,400 SQUARE FEET) at 545 Marion Drive (APNs 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese), will be considered administratively by the Planning and Development Department staff.

Staff will determine within thirty (30) days of the date of this letter whether or not your request will be approved as submitted. We will notify you in writing as to our determination after we have reviewed the details of the request.

If you have any questions or need additional information please do not hesitate to contact me at (702) 229-6301.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. John Lopeman
Ethos Three Architecture
8965 South Eastern Avenue, Suite #100
Las Vegas, Nevada 89123

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Walfsan
Lois Torkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: July 7, 2010
Re: **SUP-38649** Unity Baptist Church 545 Marion Dr.
Request for a Special Use Permit for a Minor Amendment to a previously approved Special Use Permit (SUP-36136)

COMMENTS:

We have no comment on the Request for a Minor Amendment to a previously approved Special Use Permit (SUP-36136) for a proposed church/house of worship at 545 Marion Drive.

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

SUP-38649

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC

SENT VIA COURIER/ INTER-OFFICE MAIL/ OR US MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SUP
06/22/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SUP-38649 - SPECIAL USE PERMIT - MINOR REVIEW - APPLICANT/OWNER: UNITY BAPTIST CHURCH - Request for a Minor Amendment to the previously approved Special Use Permit (SUP-36136) FOR A PROPOSED CHURCH/HOUSE OF WORSHIP at 545 Marion Drive (APNs 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese).

PLANNING COMMISSION: **JULY 29, 2010**

PLANNING SUPERVISOR: **STEVE GEBEKE**



ADMINISTRATIVE

Comments Due: **JUNE 29, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

THIS ITEM WILL BE CONSIDERED
ADMINISTRATIVE AND WILL NOT
APPEAR ON A PLANNING COMMISSION
AGENDA

Admin *Romer*

Report Date 06/24/2010 07:50 AM

Submitted By

Page 1

A/P # 38649 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	06/22/2010 11:23	983028	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SUP-38649 - SPECIAL USE PERMIT - MINOR REVIEW - APPLICANT/OWNER: UNITY BAPTIST CHURCH - Request for a Minor Amendment to the previously approved Special Use Permit (SUP-36136) FOR A PROPOSED CHURCH/HOUSE OF WORSHIP at 545 Marion Drive (APN 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese).

Parent A/P # 36136
Project # 38649 Project/Phase Name UNITY BAPTIST CHURCH Phase #
Size/Area 0.00 Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 14032501001

Location

Owner/Tenant

Contact ID AC186209 Name CHURCH BAPTIST UNITY
Mailing Address 545 MARION DR Organization
City LAS VEGAS State/Province NV
ZIP/PC 89110-3413 Country ☐ Foreign
Day Phone Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

543 MARION DR
LAS VEGAS, 89110-

545 MARION DR
LAS VEGAS, 89110-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

Review #	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
1	Annual	1	Completed			1/1/2020	1/1/2020	John Doe
2	Annual	1	Completed			2/1/2020	2/1/2020	John Doe
3	Annual	1	Completed			3/1/2020	3/1/2020	John Doe
4	Annual	1	Completed			4/1/2020	4/1/2020	John Doe
5	Annual	1	Completed			5/1/2020	5/1/2020	John Doe
6	Annual	1	Completed			6/1/2020	6/1/2020	John Doe
7	Annual	1	Completed			7/1/2020	7/1/2020	John Doe
8	Annual	1	Completed			8/1/2020	8/1/2020	John Doe
9	Annual	1	Completed			9/1/2020	9/1/2020	John Doe
10	Annual	1	Completed			10/1/2020	10/1/2020	John Doe
11	Annual	1	Completed			11/1/2020	11/1/2020	John Doe
12	Annual	1	Completed			12/1/2020	12/1/2020	John Doe
13	Annual	1	Completed			1/1/2021	1/1/2021	John Doe
14	Annual	1	Completed			2/1/2021	2/1/2021	John Doe
15	Annual	1	Completed			3/1/2021	3/1/2021	John Doe
16	Annual	1	Completed			4/1/2021	4/1/2021	John Doe
17	Annual	1	Completed			5/1/2021	5/1/2021	John Doe
18	Annual	1	Completed			6/1/2021	6/1/2021	John Doe
19	Annual	1	Completed			7/1/2021	7/1/2021	John Doe
20	Annual	1	Completed			8/1/2021	8/1/2021	John Doe
21	Annual	1	Completed			9/1/2021	9/1/2021	John Doe
22	Annual	1	Completed			10/1/2021	10/1/2021	John Doe
23	Annual	1	Completed			11/1/2021	11/1/2021	John Doe
24	Annual	1	Completed			12/1/2021	12/1/2021	John Doe
25	Annual	1	Completed			1/1/2022	1/1/2022	John Doe
26	Annual	1	Completed			2/1/2022	2/1/2022	John Doe
27	Annual	1	Completed			3/1/2022	3/1/2022	John Doe
28	Annual	1	Completed			4/1/2022	4/1/2022	John Doe
29	Annual	1	Completed			5/1/2022	5/1/2022	John Doe
30	Annual	1	Completed			6/1/2022	6/1/2022	John Doe
31	Annual	1	Completed			7/1/2022	7/1/2022	John Doe
32	Annual	1	Completed			8/1/2022	8/1/2022	John Doe
33	Annual	1	Completed			9/1/2022	9/1/2022	John Doe
34	Annual	1	Completed			10/1/2022	10/1/2022	John Doe
35	Annual	1	Completed			11/1/2022	11/1/2022	John Doe
36	Annual	1	Completed			12/1/2022	12/1/2022	John Doe
37	Annual	1	Completed			1/1/2023	1/1/2023	John Doe
38	Annual	1	Completed			2/1/2023	2/1/2023	John Doe
39	Annual	1	Completed			3/1/2023	3/1/2023	John Doe
40	Annual	1	Completed			4/1/2023	4/1/2023	John Doe
41	Annual	1	Completed			5/1/2023	5/1/2023	John Doe
42	Annual	1	Completed			6/1/2023	6/1/2023	John Doe
43	Annual	1	Completed			7/1/2023	7/1/2023	John Doe
44	Annual	1	Completed			8/1/2023	8/1/2023	John Doe
45	Annual	1	Completed			9/1/2023	9/1/2023	John Doe
46	Annual	1	Completed			10/1/2023	10/1/2023	John Doe
47	Annual	1	Completed			11/1/2023	11/1/2023	John Doe
48	Annual	1	Completed			12/1/2023	12/1/2023	John Doe
49	Annual	1	Completed			1/1/2024		

Report Date 06/24/2010 07:50 AM

Submitted By

Page 3

Review Activities
Review #
Comments

Review Type # Status Waived Issued Started Completed Comp By

397840	DEVCO	1	Incomplete	☐	06/24/2010 07:50		
397841	NEIGH P&S	1	Incomplete	☐	06/24/2010 07:50		
397842	B&S PLAN	1	Incomplete	☐	06/24/2010 07:50		
397843	FLOOD	1	Incomplete	☐	06/24/2010 07:50		
397844	TRAFFIC	1	Incomplete	☐	06/24/2010 07:50		
397845	TEFO	1	Incomplete	☐	06/24/2010 07:50		
397846	SURVEY	1	Incomplete	☐	06/24/2010 07:50		
397847	SID	1	Incomplete	☐	06/24/2010 07:50		
397848	SEWER	1	Incomplete	☐	06/24/2010 07:50		
397849	ROW	1	Incomplete	☐	06/24/2010 07:50		
397850	LAND DEV	1	Incomplete	☐	06/24/2010 07:50		
397851	FIRE ENG	1	Incomplete	☐	06/24/2010 07:50		

Activity Review Details

Detail SUBMITTAL CHECKLIST (SUP)

Modified By FSOLIS

Modified Date/Time 06/22/2010 11:12

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plan (19 Folded Blue Lines, 1 Rolled Colored)
Y Application/Petition Form	Y Floor Plan, If Applicable (1 Folded, 1 Rolled)
Y Deed and Legal Description	Y Laser Print Site Plan
Y Justification Letter	Y Laser Print Floor Plan
Y Assessors Parcel Map	Y Statement of Financial Interest
Y DINA (Not Always Required)	

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions
Condition
Supervisor Required

Approval

Approved By
Comments

Approved Date

Applied By

Applied Date

Assigned

Z-LEGAL

983028

06/22/2010 11:23

N

Report Date 06/24/2010 07:50 AM

Submitted By

Page 4

Check Conditions	Approval	Approved By	Approved Date	Applied By	Applied Date	Assigned
Condition	Supervisor Required	Comments				

Project #	A/P Type	Status	Stage	Relation
-----------	----------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SPECIAL USE PERMIT

N DINA Required? N Will this go to the City Council? Hearing Type
Public or Admin? ADMIN
N Project of Regional Significance?
Y Parent Project link required? Is there a condition of approval for a Required Review?
If yes, when does it need to be reviewed?
Type of Use
CHURCH/HOUSE OF WORSHIP
N Is this an Alcohol related Use? Staff Recommendation

Meeting Information

Meeting Information	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Meeting Date	Add Date	Modified By	Modified Date		
Comments	Added By				
07/29/2010	ADMIN	SCHEDULED	0	0	0
FSOLIS	06/22/2010	RCARLSEN	06/22/2010		

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee	Last	First	MI	Comments
Employee ID				

No Employee Entries

Log	Description	Entered By	Start	Stop	Hours
Action	Comments				
PAYMNT	CO NAME WHO PICKED UP CONTACT# JOHN LOPEMAN; UNITY BAPTIST CHURCH; CK#4185; 702-456-1070;	890381	06/22/2010 11:38		0.00
FEE	FEE This is an Admin SUP so fee notification and recordation fee removed	983028	06/22/2010 11:24		0.00

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Special Use Permit

Project Address (Location) 545 Marion

Project Name Unity Baptist Church Proposed Use Religious Facility

Assessor's Parcel #(s) 140-32-501-001, 140-32-501-002 Ward # 3

General Plan: existing ML proposed ML Zoning: existing R-E proposed R-E

Commercial Square Footage 25,400 sf new, 8,000 sf Floor Area Ratio 18.39%

Gross Acres 4.17 Lots/Units _____ Density _____

Additional Information commercial square footage does not include 2,670 sf courtyard cover
25,400 + 2,670 + 8,000 = 36,070 sf total

PROPERTY OWNER Unity Baptist Church Contact _____
Address 545 Marion Drive Phone: _____ Fax: _____
City Las Vegas State NV Zip 89110
E-mail Address _____

APPLICANT Unity Baptist Church Contact _____
Address 545 Marion Drive Phone: _____ Fax: _____
City Las Vegas State NV Zip 89110
E-mail Address _____

REPRESENTATIVE ethos three ARCHITECTURE Contact John Lopeman, AIA
Address 8965 S. Eastern Ave., Suite 100 Phone: (702) 456-1070 Fax: (702) 456-7020
City Las Vegas State NV Zip 89123
E-mail Address jclopeman@ethosthree.com

Property Owner Signature* Raymond L. Giddens Jr.

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name RAYMOND L. GIDDENS JR.

Subscribed and sworn before me

This 20th day of June, 20 10

Alice J. Woodard

Notary Public in and for said County and State

FOR DEPARTMENT USE ONLY

Case #	<u>SUP - 38649</u>
Meeting Date:	<u>Admin</u>
Total Fee:	<u>\$500</u>
Date Received:*	<u>6/22/10</u>
Received By:	<u>Roneo</u>





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-38649** APN: 140-32-501-001-, 140-32-501-002

Name of Property Owner: Unity Baptist Church

Name of Applicant: Unity Baptist Church

Name of Representative: Ethos Three Architecture

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: N/A

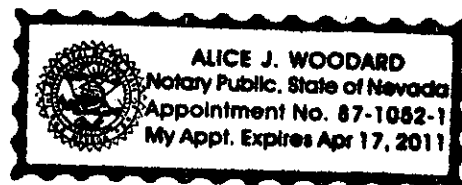
Partner(s): _____

APN: _____

Signature of Property Owner: Raymond L. Giddens Sr.
Print Name: RAYMOND L. GIDDENS SR.

Subscribed and sworn before me

This 20th day of June, 20 10
Alice J. Woodard
Notary Public in and for said County and State





June 21, 2010

City of Las Vegas
Development Services Center
731 South Fourth Street
Las Vegas, Nevada 89101

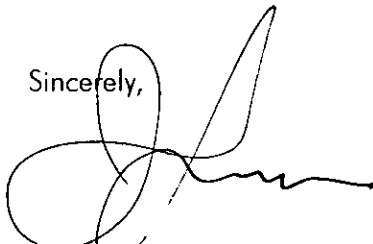
RE: Justification Letter – Unity Baptist Church Expansion

Dear Planning Dept.,

We are requesting Minor Amendments to previous applications approved on this site: SUP 36136 and SDR 36124. The requests are made to accommodate revisions to the design including reduction in floor area (from 48,816 sf to 25,400 sf – less than 50%), reduction in height (from 100' to 54' – less than 50%), and slight reconfigurations to the site layout, floor plan, and elevations to reflect the changes in building size. The seating capacity of the main Sanctuary has been increased to 659, therefore, the required parking space count is 165 and the parking space quantity provided is now 200.

The uses of the facility have not changed from the previous approved requests.

Sincerely,

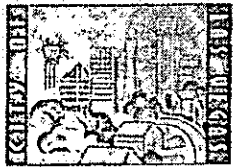


John Lepeman, AIA

RECEIVED
JUN 22 2010

SUP-38649

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

November 6, 2009

Unity Baptist Church
545 Marion Drive
Las Vegas, Nevada 89110

RE: SUP-36136 - SPECIAL USE PERMIT

Dear Applicant:

Your request for a Special Use Permit FOR A PROPOSED CHURCH/HOUSE OF WORSHIP at 545 Marion Drive (APN 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese), was considered by the Planning Commission on November 5, 2009.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for a Church/House of Worship use.
2. Approval of and conformance to the Conditions of Approval for Site Development Plan Review (SDR-36124) shall be required.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

This item will be considered by the City Council on **December 2, 2009**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:nl

RECEIVED
JUN 22 2010

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Borlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



FM-0073-09-09 MD 32531

SUP-38649

Unity Baptist Church
SUP-36136 – Page Two
November 6, 2009

cc: Mr. John Lopeman, AIA
Ethos Three Architecture
8965 South Eastern Avenue
Las Vegas, Nevada 89123

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JUN 22 2010

SUP-38649

CLARK COUNTY BUSINESS LICENSE

LICENSE NUMBER: 2000100-055

NAICS CODE: 541310.1

LICENSE PERIOD BEGINS: 12/01/2009

LICENSE EXPIRATION DATE: 11/30/2010

POST IN A CONSPICUOUS PLACE AT THE BUSINESS LOCATION

ISSUED TO:

Ethos Three Architecture
8965 S Eastern Ave Ste 100
Las Vegas, NV 89123

BUSINESS LOCATION ADDRESS:

8965 S Eastern Ave Ste 100
Las Vegas, NV 89123

TYPE OF LICENSE: Architectural Firm

LAND USE: U

Current Planning Comments:

Zoned C-2, approved for an Architects office.

DISCLAIMER

ISSUANCE OF A BUSINESS LICENSE IS NOT AN ENDORSEMENT OF THE BUSINESS PRACTICE OF THE LICENSEE

Please See Reverse Side For Additional Information

Jacqueline R. Holloway

JACQUELINE R. HOLLOWAY
Director of Business License

DEPARTMENT OF BUSINESS LICENSE

500 S Grand Central Pky
Box 551810

Las Vegas NV 89155-1810
Phone: (702) 455-4252

RECEIVED
JUN 22 2010

AM & P.T.T. 247.50

3 6 0 5 0 7 0 0 1 3 8

4

GRANT, BARGAIN, SALE DEED

RE-RECORDED

THIS INDENTURE WITNESSETH: That DEL B. CRAM and MARY P. CRAM, husband and wife

In consideration of \$ 10.00 the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to
UNITY BAPTIST CHURCH

all that real property situate in the _____ County of Clark

State of Nevada, bounded and described as follows:

Legal Description As Per Rider Attached Hereto, Marked:
Exhibit "A" And Made A Part Hereof.

This document is re-recorded to correct the legal description of the
property intended to be conveyed.

Tax Parcel No. 060-320-007

SUBJECT TO: 1. Taxes for the fiscal year 85-86
2. Rights of way, reservations, restrictions, easements and conditions
of record.

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Witness Their hand us this 26 day of December 19 85
Del B. Cram Mary P. Cram

STATE OF Nevada
County of Clark } ss.
On this 5th day of May 19 86
personally appeared before me, a Notary Public in and for said
County and State
Del B. Cram and Mary P. Cram
Cram

I, _____, do hereby certify that the persons described in and who executed
the foregoing instrument, who acknowledged to me that _____
executed the same freely and voluntarily and for the uses and
purposes therein mentioned.

[Signature]
Notary Public in and for said County and State

ESCROW NO. E-118237-DM

WHEN RECORDED MAIL TO: Unity Baptist Church
P. O. Box 30183, North Las Vegas, NV 89030

E-14

3,60075-0.7-00012398

Exhibit "A"

Situate in the County of Clark, State of Nevada, described as follows:

The West Half (W 1/2) of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of Section 32, Township 20 South, Range 62 East, M.D.M. of the Northeast Quarter (NE 1/4)

EXCEPTING that portion of the West Half (W 1/2) of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section 32, Township 20 South, Range 62 East, M.D.M., City of Las Vegas, Clark County, Nevada described as follows:

COMMENCING at the Northwest Corner (NW C) of the Northeast Quarter (NE 1/4) of said Section 32;

thence South 00°20'39" East, along the West line thereof, 669.11 feet to the Northwest Corner (NW C) of a parcel described by a Quitclaim Deed recorded October 12, 1977, as Document No. 757847, Official Records, Book 748, Clark County, Nevada Records, said corner being the TRUE POINT OF BEGINNING;

thence North 87°56'57" East, along the North line thereof, 337.95 feet to the Northeast Corner (NE C) of said parcel;

thence South 00°22'58" East, along the West line thereof, 30.01 feet;

thence South 87°56'57" West, 278.54 feet to the beginning of a tangent curve, concave Southeasterly and having a radius of 20.00 feet;

thence Southwesterly along said curve through a central angle of 88°17'36", an arc length of 30.82 feet;

thence South 89°59'21" West, along a radial line, 40.00 feet to a point on the aforementioned west line of said Northeast Quarter (NE 1/4);

thence North 00°20'39" West, along said west line, 48.24 feet to the TRUE POINT OF BEGINNING.



Clark
County

JOAN L. SWIFT
COUNTY RECORDER

SOUTH THIRD STREET BUILDING
308 S. THIRD STREET
LAS VEGAS, NEVADA 89155

RECORDED DOCUMENT ENDORSEMENT

This endorsement is an official document of the Clark County Recorder's Office
and is part of the filmed record of the instrument attached hereto.

CLARK COUNTY, NEVADA
JOAN L. SWIFT, RECORDER
RECORDED AT REQUEST OF
LAWYERS TITLE OF LAS VEGAS, INC.
MAY 7 8 00 AM '00
FEE 6- DEPUTY VS
OFFICIAL RECORDS
BOOK INSTRUMENT

860507

00138

2 Pages
6- Fee
247.50 RPTT
CL Deputy
055

8607080029

RE-RECORDED

CLARK COUNTY NEVADA
JOAN L. SWIFT, RECORDER
RECORDED AT REQUEST OF

LAWYERS TITLE OF LAS VEGAS, INC.

JUL 8 8 00 AM '86

FEE 8- DEPUTY VC
OFFICE, CLERK
BOOK INSTRUMENT

860708

00029

Handwritten signature