

Barrett Powley Architect

10608 Amblerwood Way
Las Vegas, NV 89144
Telephone (702) 379-0035
www.barrettpowley@gmail.com

PLAYGROUND AREA
CENTENNIAL BUS. PARK DAYCARE
for
6690 GRAND MONTECITO PARKWAY
SUITE 120
LAS VEGAS, NV 89148



SHEET PROJECT NO. 10100
DRAWN BY: J.E.W. CHECKED BY: B.P.

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

RECEIVED
SITE PLAN
JUL 12 2010

JULY 1, 2010

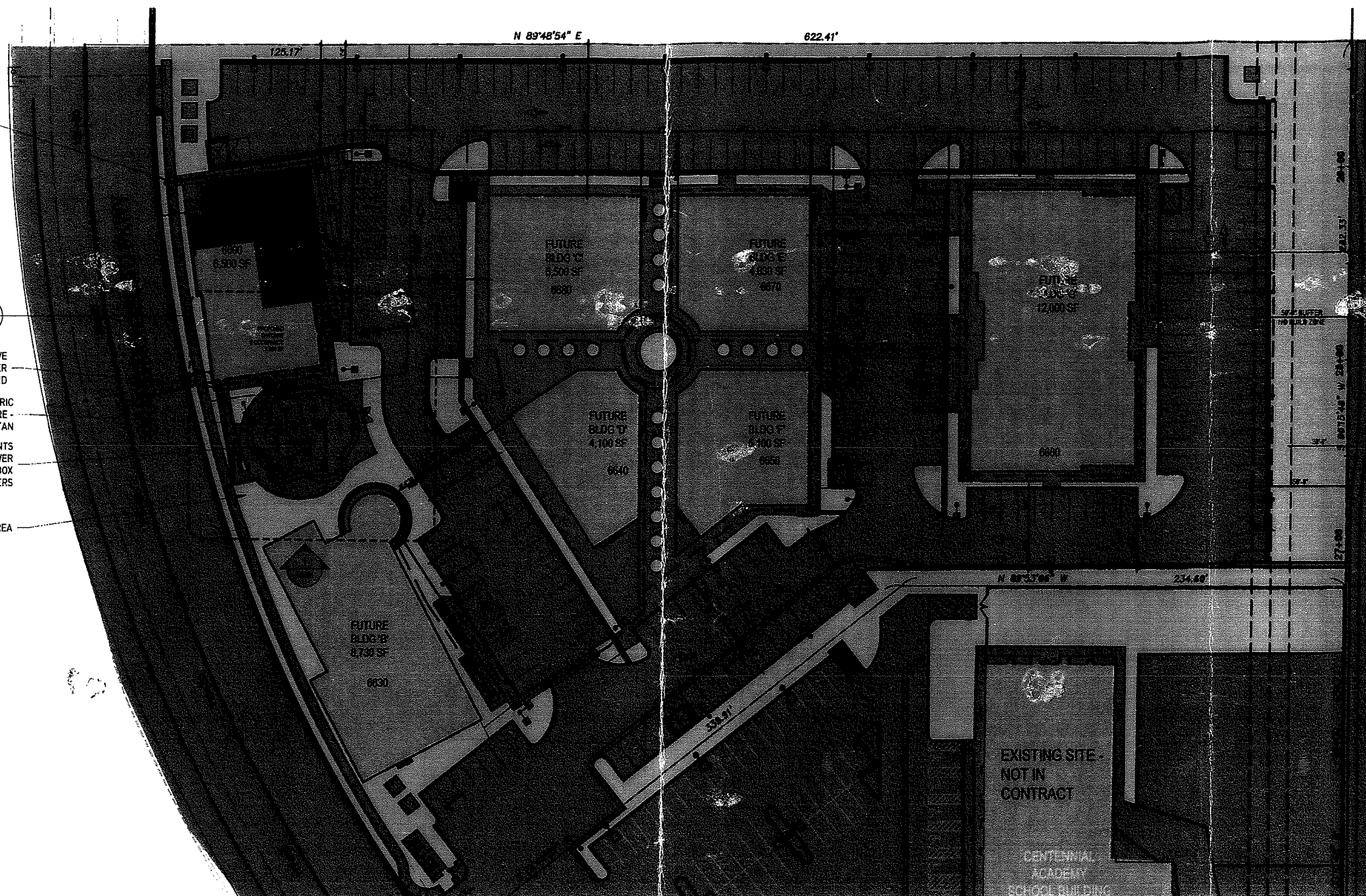
SHEET NUMBER

AS101

EGRESS PATH TO PUBLIC WAY
SHOWN DASHED. PER PREVIOUS
APPROVED SITE PLAN

WROUGHT IRON DECORATIVE
FENCING AT PERIMETER
OF PLAYGROUND
NEW TENSIONED FABRIC
SHADE STRUCTURE -
COLOR- DESERT TAN
NEW PLAYGROUND ELEMENTS
SLIDE AND TOWER
SANDBOX
GROUND SEESAW RIDERS

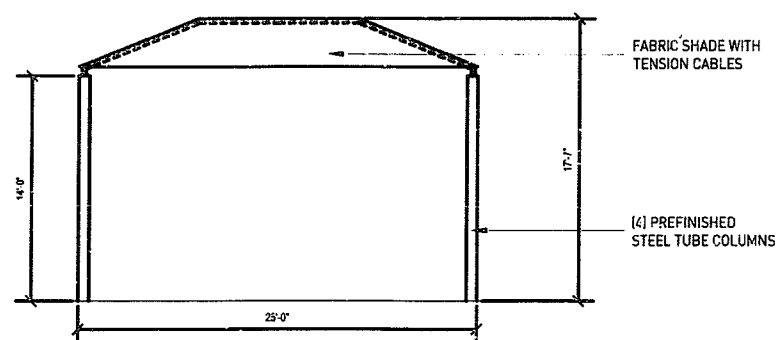
LANDSCAPE PLANTING AREA



SITE PLAN

SCALE: 1" = 30'-0"

NORTH



PLAYGROUND SHADE STRUCTURE ELEVATION

SCALE 3/16"=1'-0"

EXISTING SITE DATA

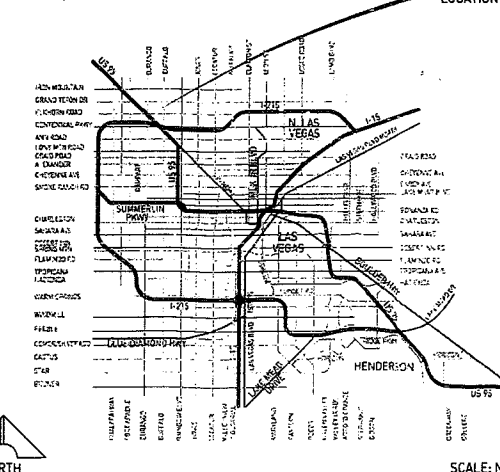
PARKING CALCULATION:

RETAIL	15,320 @ 1:1.5 SF =	88
OFFICE	9,930 @ 1:300 SF =	34
MEDICAL OFFICE PARKING	21,600 @ 1:175 SF =	124
TOTAL REQUIRED =		246
PARKING PROVIDED =		250

PROPERTY INFORMATION:

APN: 125-20-711-003	
LAND AREA	201,527 SF NET
ACRES	5.2 (GROSS)
TOTAL BUILDING AREA	46,760 SF
FLOOR AREA RATIO (F.A.R.)	(21%)
TOTAL LANDSCAPED AREA	63,926 SF (22%)

VICINITY MAP

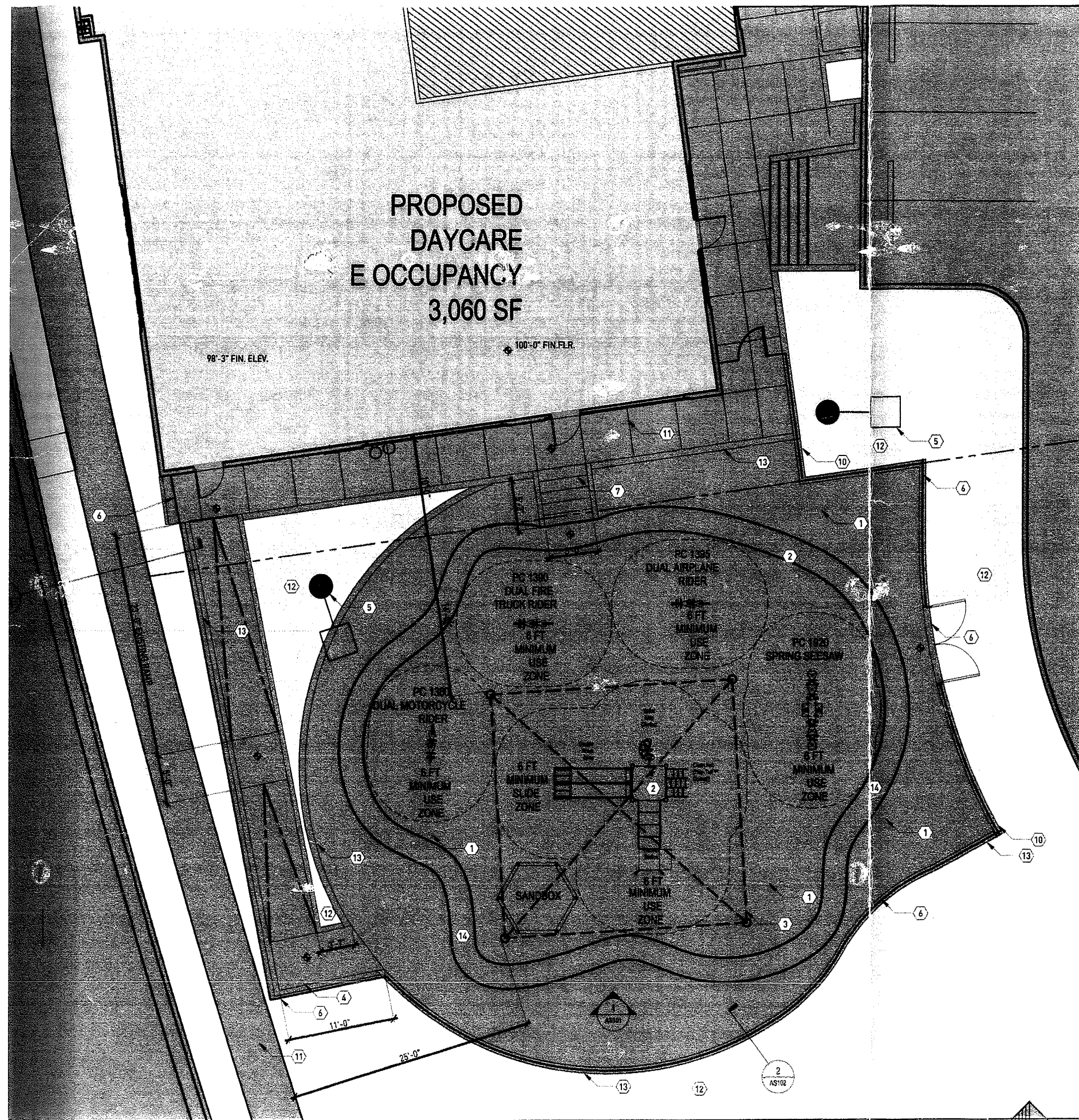


PROJECT LOCATION

SDR-38833
08/26/10 PC

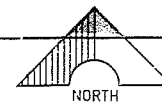


SCALE: NONE



ENLARGED PLAYGROUND SITE PLAN

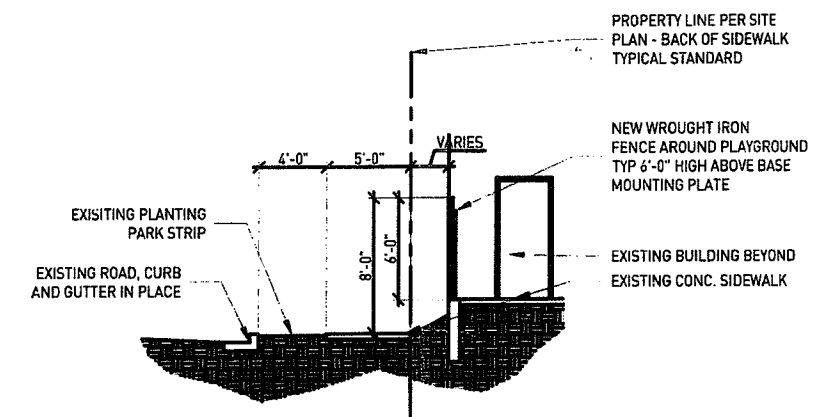
SCALE 3/16" = 1'-0"



KEYNOTES

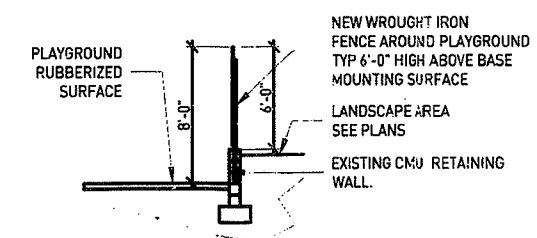
- 1 PLAYGROUND AREA- RECYCLED POURED RUBBER SURFACING
- 2 PLAYGROUND STRUCTURE PER ADAAG CONFORMANCE FOR ADA ACCESSIBILITY GUIDELINE ASTM 1487-07A E1 REQUIREMENTS FOR ACCESS
- 3 SHOWN FOR REFERENCE - FABRIC AND CABLE TENSIONED SHADE CANOPY STRUCTURE 625 SF PROVIDED 107 CLASSROOM OCCUPANTS x 5 SQ.FT./OCC. = 535 SF REQUIRED SHADING FOR PLAYGROUND AREA - UNDER SEPARATE PERMIT APPLICATION
- 4 MODIFY EXISTING HANDICAP ACCESSIBLE RAMP TO PLAYGROUND NEW LANDING AND FLATWORK AT LOCATION SHOWN
- 5 EXISTING SITE LIGHTING
- 6 SECURE 6' HIGH FENCING WITH SECURE AND LOCKABLE ACCESS GATES AT PERIMETER OF PLAYGROUND AREA. SLATS 3.5" O.C. CONTINUOUS.
- 7 (6) C.I.P. CONC. STEPS TO PLAYGROUND 14" TREADS 7" RISES - 42" TOTAL RISE
- 8 CONC. CURB AND GUTTER PER APPROVED CIVIL DRAWINGS
- 9 DRINKING FOUNTAINS
- 10 NEW CMU LOW CURB TO MATCH EXISTING IN PLACE
- 11 EXISTING CONCRETE SIDEWALK TO REMAIN
- 12 PLANTING AND LANDSCAPE AREA SEE LANDSCAPE PLANS
- 13 EXISTING CMU RETAINING WALL

- 14 30' WIDE CONC 4" THICK SIDEWALK - TOT TRACK



DETAIL AT PLAYGROUND FENCE SECTION

SCALE 3/8" = 1'-0"



DETAIL AT PLAYGROUND FENCE SECTION

SCALE 3/8" = 1'-0"

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PLAYGROUND AREA
CENTENNIAL BUS. PARK DAYCARE
6690 GRAND MONTECITO PARKWAY
SUITE 120



BY PROJECT NO.		10120
DESIGNED BY	J.P.W.	CHECKED BY B.P.
ISSUED		
NO.	DATE	DESCRIPTION
REVISIONS		
NO.	DATE	DESCRIPTION
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ENLARGED
PLAYGROUND
SITE PLAN

JULY 1, 2010
SHEET NUMBER

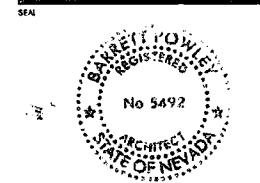
AS102

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SDR-38833 JUL 12 2010 JUL 12 2010
08/26/10 PC

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6690 GRAND MONTECITO PARKWAY
SUITE 120
LAS VEGAS, NV 89148



PROJECT NO. 10120
DRAWN BY: J.C.W. CHECKED BY: B.H.

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

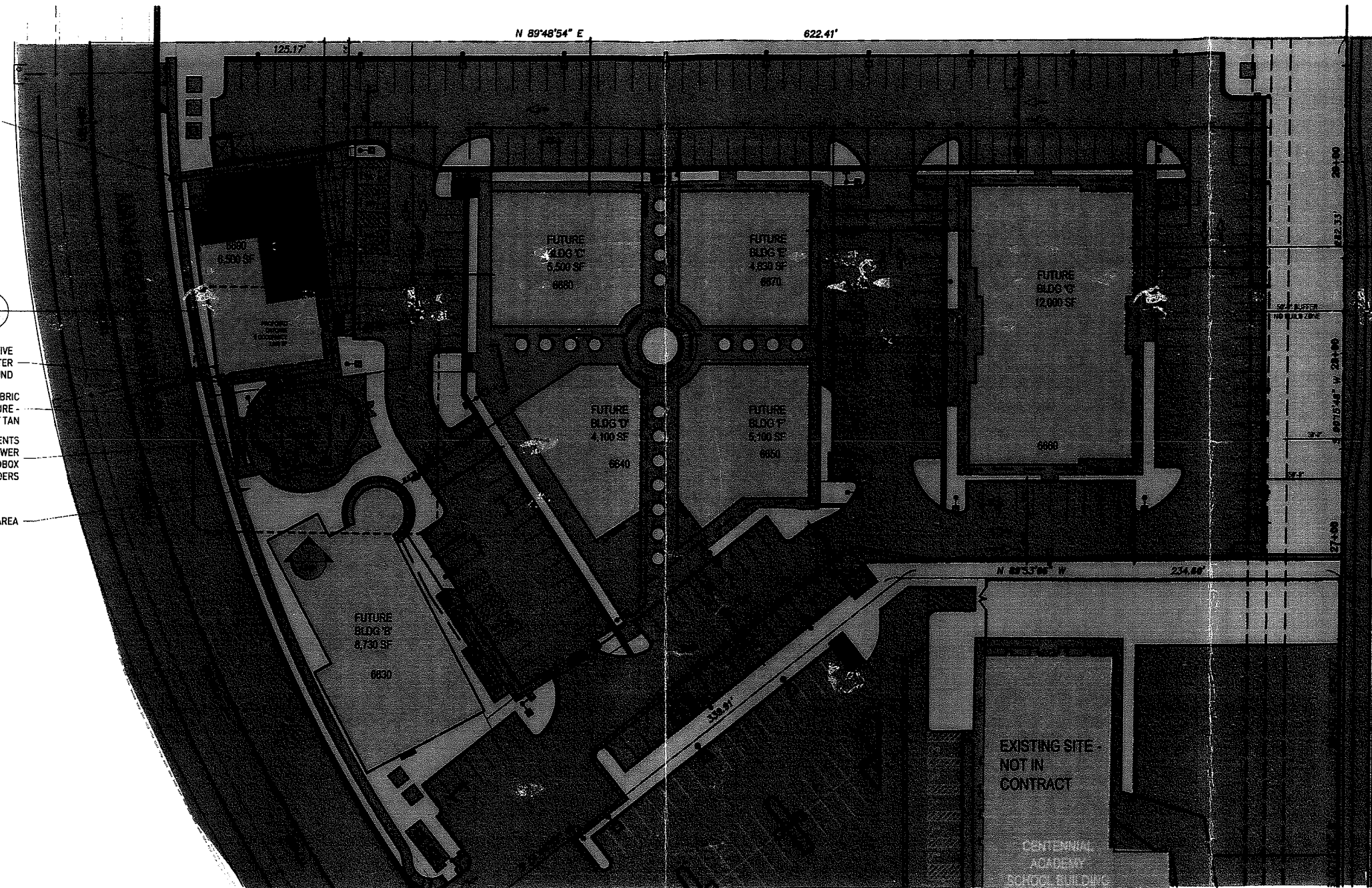
SITE RECEIVED
PLAN

JUL 12 2010

SDR-38833
08/26/10 ABC01

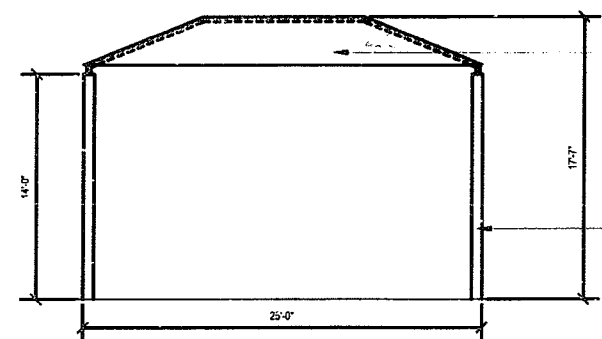
EGRESS PATH TO PUBLIC WAY
SHOWN DASHED. PER PREVIOUS
APPROVED SITE PLAN

- 1 AS102
- WROUGHT IRON DECORATIVE
FENCING AT PERIMETER
OF PLAYGROUND
- NEW TENSIONED FABRIC
SHADE STRUCTURE -
COLOR- DESERT TAN
- NEW PLAYGROUND ELEMENTS
SLIDE AND TOWER
SANDBOX
GROUND SEESAW RIDERS
- LANDSCAPE PLANTING AREA



SITE PLAN

SCALE: 1" = 30'-0"



FABRIC SHADE WITH
TENSION CABLES

(4) PREFINISHED
STEEL TUBE COLUMNS

PLAYGROUND SHADE STRUCTURE ELEVATION

SCALE 3/16"=1'-0"

EXISTING SITE DATA

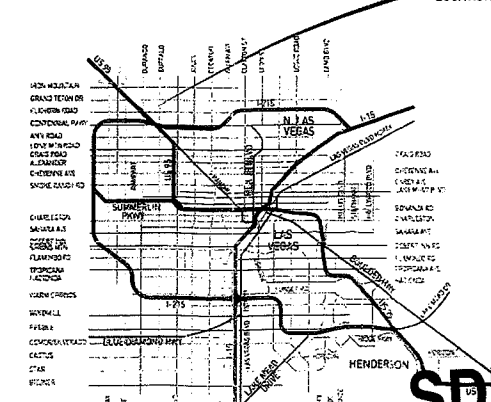
PARKING CALCULATION:

RETAIL	15,320 @ 1:175 SF =	88
OFFICE	9,230 @ 1:300 SF =	34
MEDICAL OFFICE PARKS	21,600 @ 1:175 SF =	124
TOTAL REQUIRED =		246
PARKING PROVIDED =		250

PROPERTY INFORMATION:

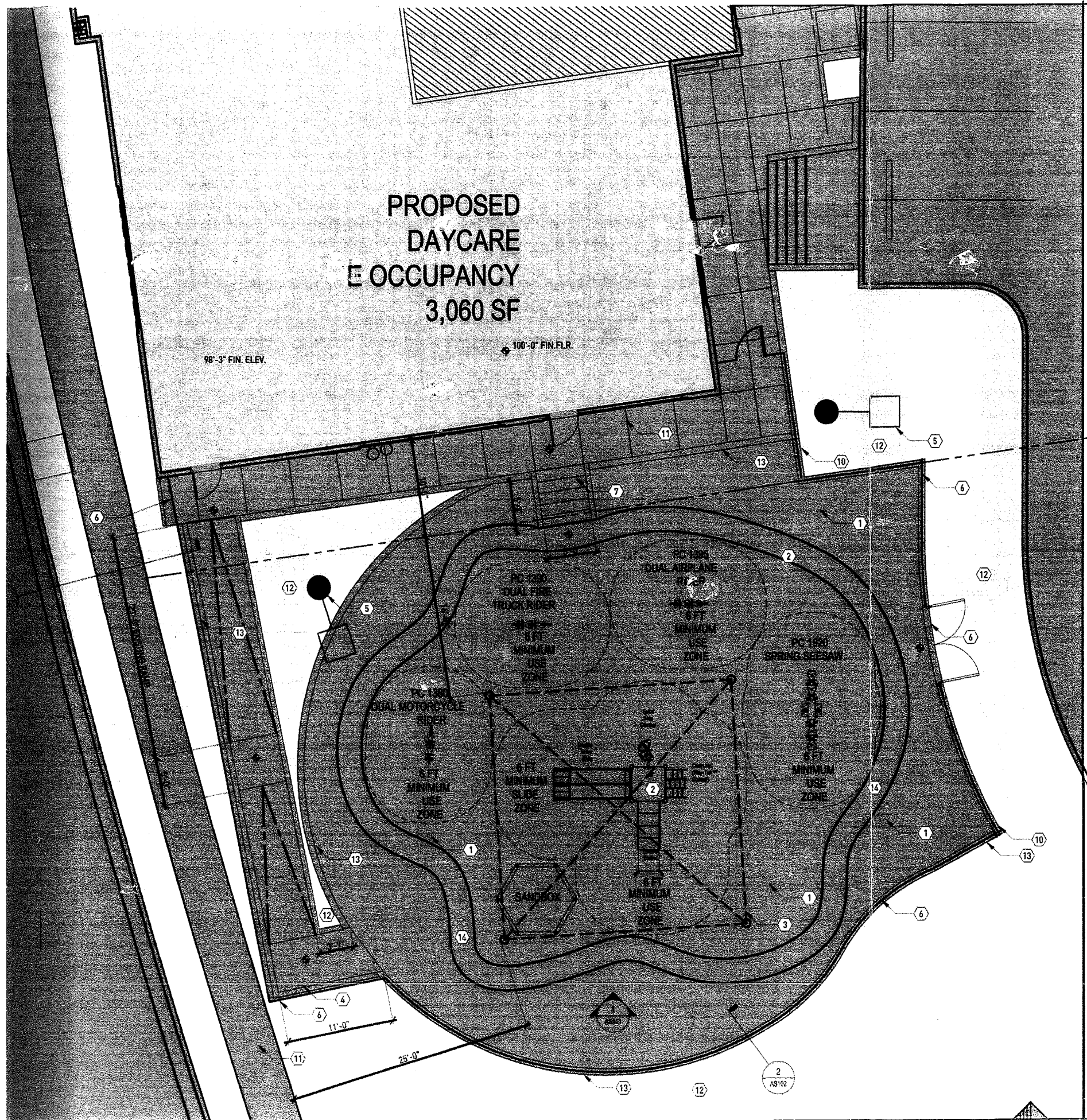
APR: 125-20-711-003	201,527 SF NET
LAND AREA	5.2 (GROSS)
TOTAL BUILDING AREA	46,760 SF
FLOOR AREA RATIO (F.A.R.)	(21%)
TOTAL LANDSCAPED AREA	63,926 SF (22%)

VICINITY MAP



PROJECT
LOCATION





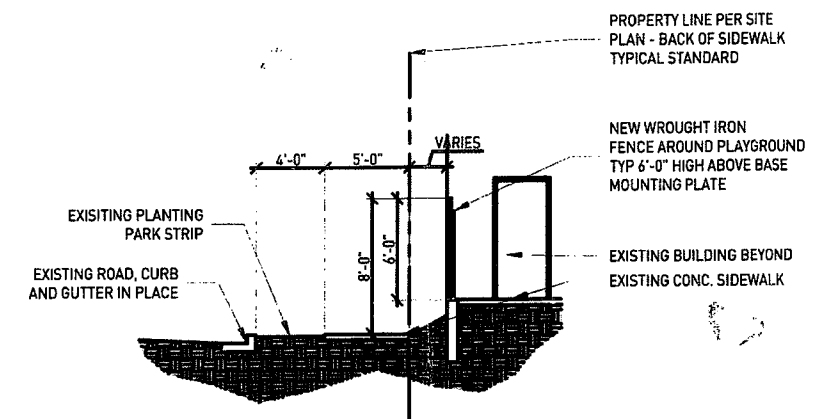
ENLARGED PLAYGROUND SITE PLAN

SCALE 3/16" = 1'-0"

KEYNOTES

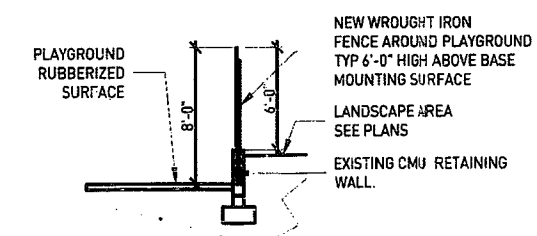
- 1 PLAYGROUND AREA- RECYCLED POURED RUBBER SURFACING
- 2 PLAYGROUND STRUCTURE PER ADAAG CONFORMANCE FOR ADA ACCESSIBILITY GUIDELINE ASTM 1487-07A E1 REQUIREMENTS FOR ACCESS
- 3 SHOWN FOR REFERENCE - FABRIC AND CABLE TENSIONED SHADE CANOPY STRUCTURE 625 SF PROVIDED 107 CLASSROOM OCCUPANTS x 5 SQ.FT. OCC. = 535 SF REQUIRED SHADING FOR PLAYGROUND AREA - UNDER SEPARATE PERMIT APPLICATION
- 4 MODIFY EXISTING HANDICAP ACCESSIBLE RAMP TO PLAYGROUND. NEW LANDNG AND FLATWORK AT LOCATION SHOWN.
- 5 EXISTING SITE LIGHTING
- 6 SECURE 6" HIGH FENCING WITH SECURE AND LOCKABLE ACCESS GATES AT PERIMETER OF PLAYGROUND AREA. SLATS 3/5" O.C. CONTINUOUS.
- 7 (6) C1 P. CONC. STEPS TO PLAYGROUND 14" TREADS 7" R. SERS - 42" TOTAL RISE
- 8 CONC. CURB AND GUTTER PER APPROVED CIVL DRAWINGS
- 9 DRINKING FOUNTAINS
- 10 NEW CMU LOW CURB TO MATCH EXISTING IN PLACE
- 11 EXISTING CONCRETE SIDEWALK TO REMAIN
- 12 PLANTING AND LANDSCAPE AREA SEE LANDSCAPE PLANS
- 13 EXISTING CMU RETAINING WALL

- 14 30" WIDE CONC 4" THICK SIDEWALK - "TOT TRACK"



1 DETAIL AT PLAYGROUND FENCE SECTION

SCALE 1/4" = 1'-0"



2 DETAIL AT PLAYGROUND FENCE SECTION

SCALE 1/4" = 1'-0"

RECEIVED

JUL 12 2010

ENLARGED
PLAYGROUND
SITE PLAN

JULY 1, 2010

SHEET NUMBER

AS102

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PLAYGROUND AREA
CENTENNIAL BUS. PARK DAYCARE
for
6680 GRAND MONTECITO PARKWAY
SUITE 120



BNA PROJECT NO		10129	
DRAWN BY J E D		CHECKED BY B P	
REVISIONS			
NO.	DATE	DESCRIPTION	

PROPOSED
DAYCARE
E OCCUPANCY
3,060 SF

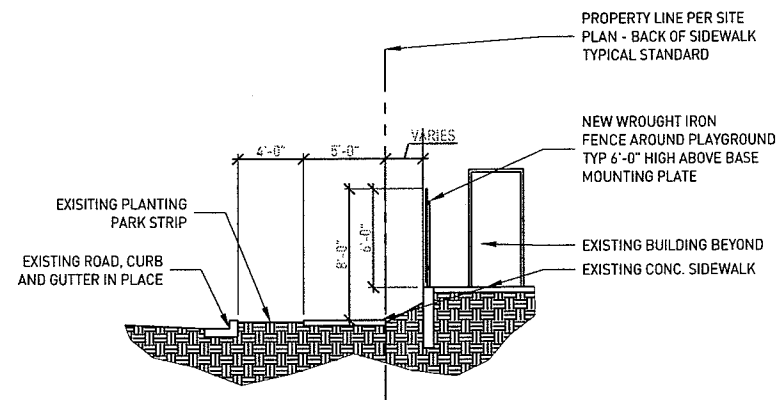
98'-3" FIN. ELEV.

100'-0" FIN. FLR.

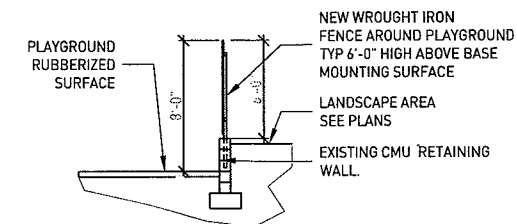
KEYNOTES

- 1 PLAYGROUND AREA- RECYCLED POURED RUBBER SURFACING
- 2 PLAYGROUND STRUCTURE PER ADAAG CONFORMANCE FOR ADA ACCESSIBILITY GUIDELINE ASTM 1487-07A E1 REQUIREMENTS FOR ACCESS
- 3 SHOWN FOR REFERENCE - FABRIC AND CABLE TENSIONED SHADE CANOPY STRUCTURE 625 SF PROVIDED 10' CLASSROOM OCCUPANTS x 5 SQ.FT./OCC. = 535 SF REQUIRED SHADING FOR PLAYGROUND AREA - UNDER SEPARATE PERMIT APPLICATION
- 4 MODIFY EXISTING HANDICAP ACCESSIBLE RAMP TO PLAYGROUND. NEW LANDING AND FLATWORK AT LOCATION SHOWN.
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- 6 SECURE 6' HIGH FENCING WITH SECURE AND LOCKABLE ACCESS GATES AT PERIMETER OF PLAYGROUND AREA. SLATS 3.5" O.C. CONTINUOUS.
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1 AS102 DETAIL AT PLAYGROUND FENCE SECTION SCALE 3/8" = 1'-0"



2 AS102 DETAIL AT PLAYGROUND FENCE SECTION SCALE 3/8" = 1'-0"

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SUITE 120
LAS VEGAS, NV 89148



RFA PROJECT NO.		10120
DRAWN BY: J.E.W.		CHECKED BY: R.P.
ISSUED:		
NO.	DATE	DESCRIPTION

REVISIONS:		
NO.	DATE	DESCRIPTION
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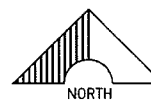
ENLARGED
PLAYGROUND
SITE PLAN

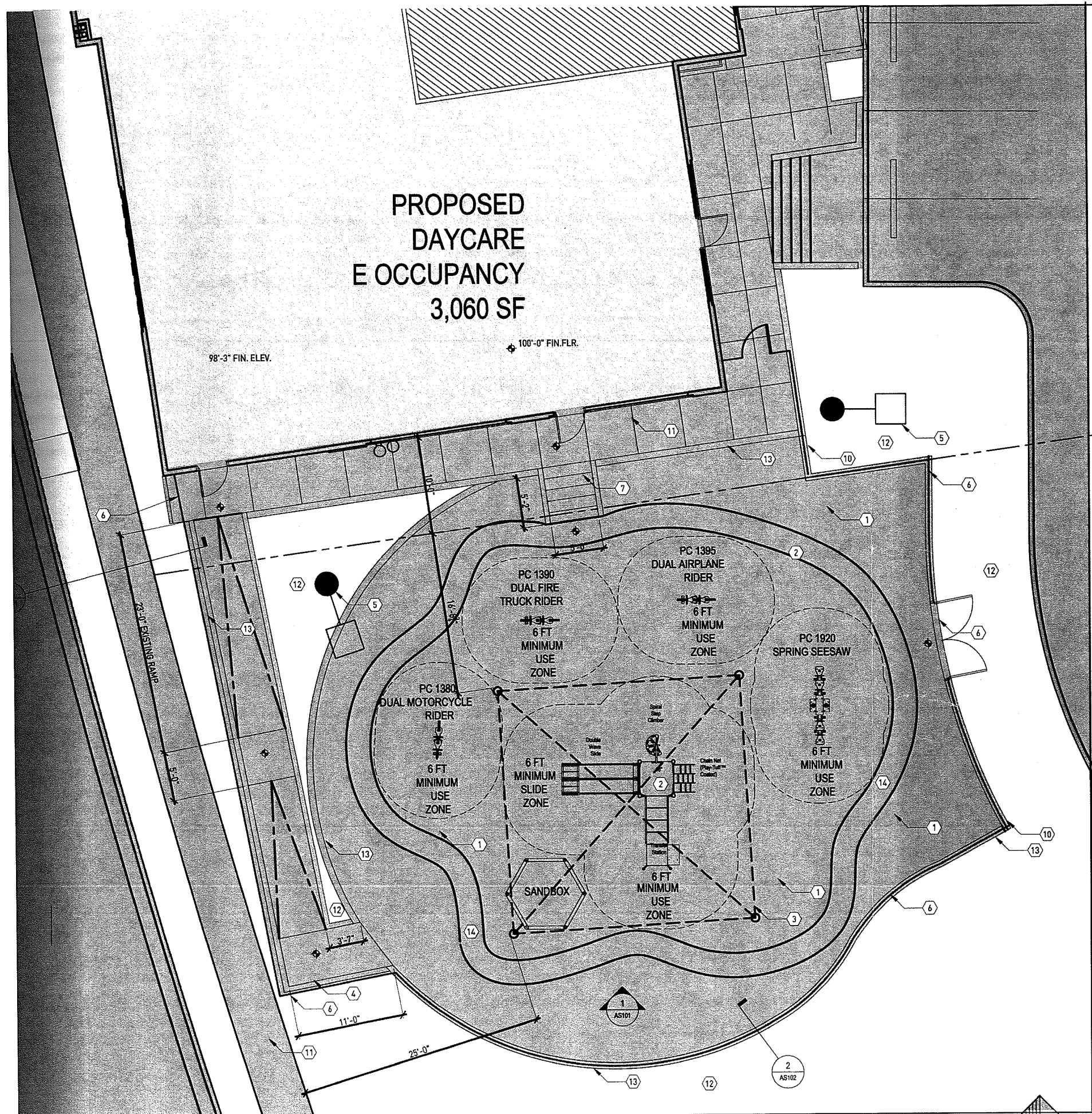
JUL 12 2010
JUL 11 2010

SDR-38833
AS102

ENLARGED PLAYGROUND SITE PLAN

SCALE: 3/16" = 1'-0"





ENLARGED PLAYGROUND SITE PLAN

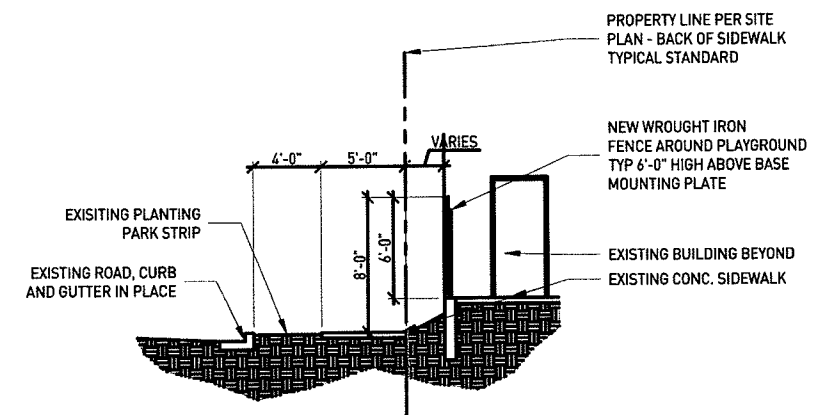
SCALE: 3/16" = 1'-0"



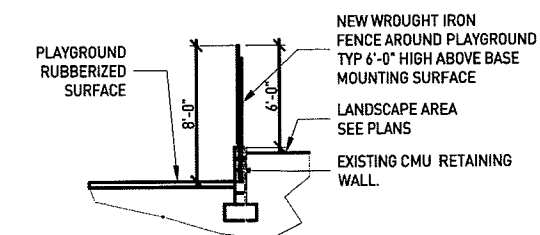
KEYNOTES

- 1 PLAYGROUND AREA- RECYCLED POURED RUBBER SURFACING
- 2 PLAYGROUND STRUCTURE PER ADAAG CONFORMANCE FOR ADA ACCESSIBILITY GUIDELINE ASTM 1487-07A E1 REQUIREMENTS FOR ACCESS
- 3 SHOWN FOR REFERENCE - FABRIC AND CABLE TENSIONED SHADE CANOPY STRUCTURE 825 SF PROVIDED 107 CLASSROOM OCCUPANTS x 5 SQ.FT.OCC. = 535 SF REQUIRED SHADING FOR PLAYGROUND AREA - UNDER SEPARATE PERMIT APPLICATION
- 4 MODIFY EXISTING HANDICAP ACCESSIBLE RAMP TO PLAYGROUND, NEW LANDING AND FLATWORK AT LOCATION SHOWN.
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- 6 SECURE 6" HIGH FENCING WITH SECURE AND LOCKABLE ACCESS GATES AT PERIMETER OF PLAYGROUND AREA, SLATS 3.5" O.C. CONTINUOUS.
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14 30" WIDE CONC 4" THICK SIDEWALK - "TOT TRACK"



1 DETAIL AT PLAYGROUND FENCE SECTION SCALE: 1/4" = 1'-0"

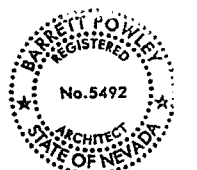


2 DETAIL AT PLAYGROUND FENCE SECTION SCALE: 1/4" = 1'-0"

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for 6690 GRAND MONTECITO PARKWAY
SUITE 120



PROJECT NO. 10120		CHECKED BY: B.P.
DRAWN BY: J.E.W.		ISSUED:
NO.	DATE	DESCRIPTION

ENLARGED
PLAYGROUND
SITE PLAN

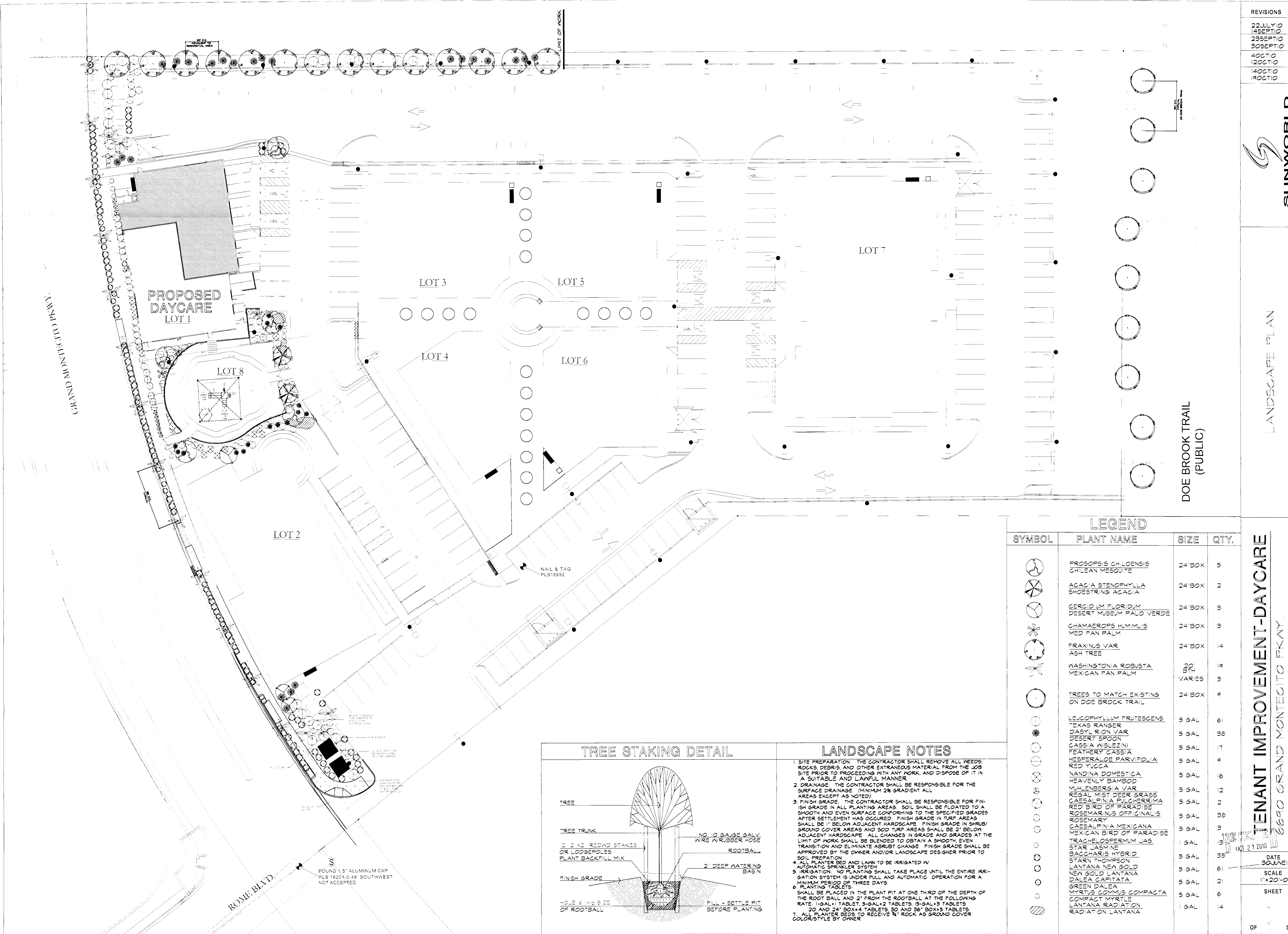
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JUL 12 2010

SDR-38833

JULY 1, 2010

AS102



REVISIONS

22 JULY 10

14 SEP 10

23 SEP 10

30 SEP 10

4 OCT 10

12 OCT 10

14 OCT 10

19 OCT 10

B

SUNWORLD

LANDSCAPE PLAN

TENANT IMPROVEMENT-DAYCARE

6690 GRAND MONTECITO PKAY.

LAS VEGAS, NEVADA

DATE 2.1.2010

SCALE 1"=20'-0"

SHEET

OF

SDR-38833

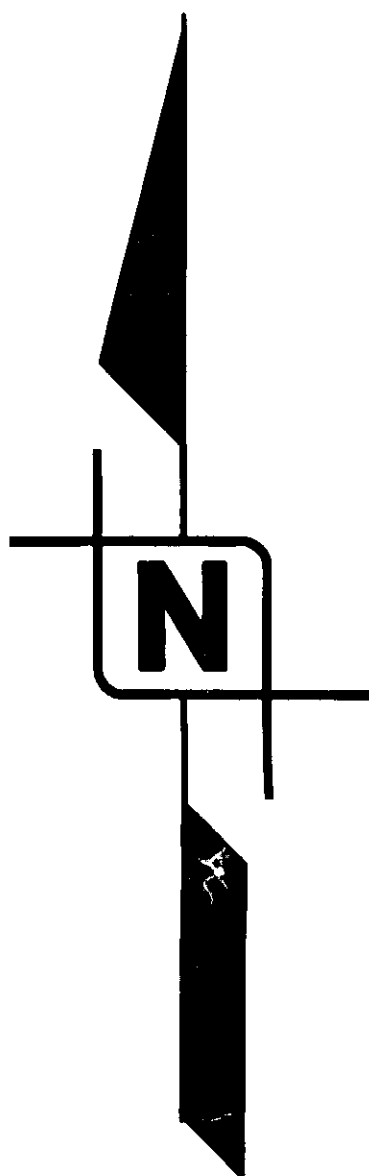
REVISED

SH

GRAND MONTECITO PARKWAY

ROME BOULEVARD

SEE SHEET 2 FOR
ENLARGED VIEW



NTS

PLAYGROUND

EXHIBIT "A"

CENTENNIAL BUSINESS PARK

WRIGHT
engineers

7425 PEAK DRIVE LAS VEGAS, NEVADA 89128
p 702.933.7000 f 702.933.7001 800.933.7611
WRIGHTENGINEERS.COM

JOB NUMBER: CN100774

DRAWN BY:

DATED: 9-10-10

PAGE 1 OF 4

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10 OCT 14 2010

SDR-38833
REVISED

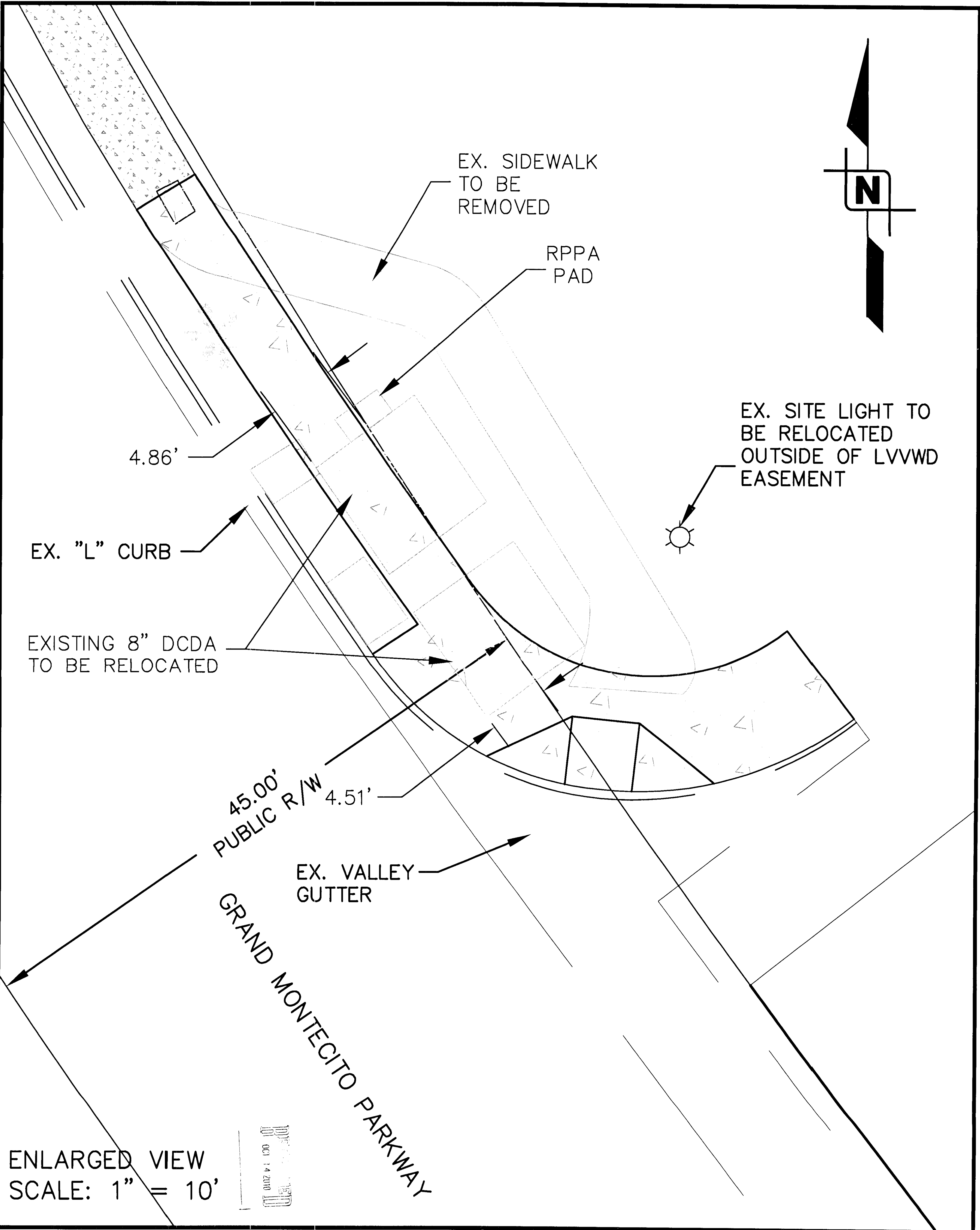


EXHIBIT "A"

CENTENNIAL BUSINESS PARK
EXISTING CONDITIONS

WRIGHT
engineers

7425 PEAK DRIVE LAS VEGAS, NEVADA 89128
p 702.933.7000 f 702.933.7001 800.933.7611
WRIGHTENGINEERS.COM

JOB NUMBER: CN100774

DRAWN BY:

DATED: 9-10-10

PAGE 2 OF 3

K:\2010\100774\DWG\Civil\Improvements\EXHIBIT.dwg 10/14/2010 8:58am ron

SDR-38833
REVISED

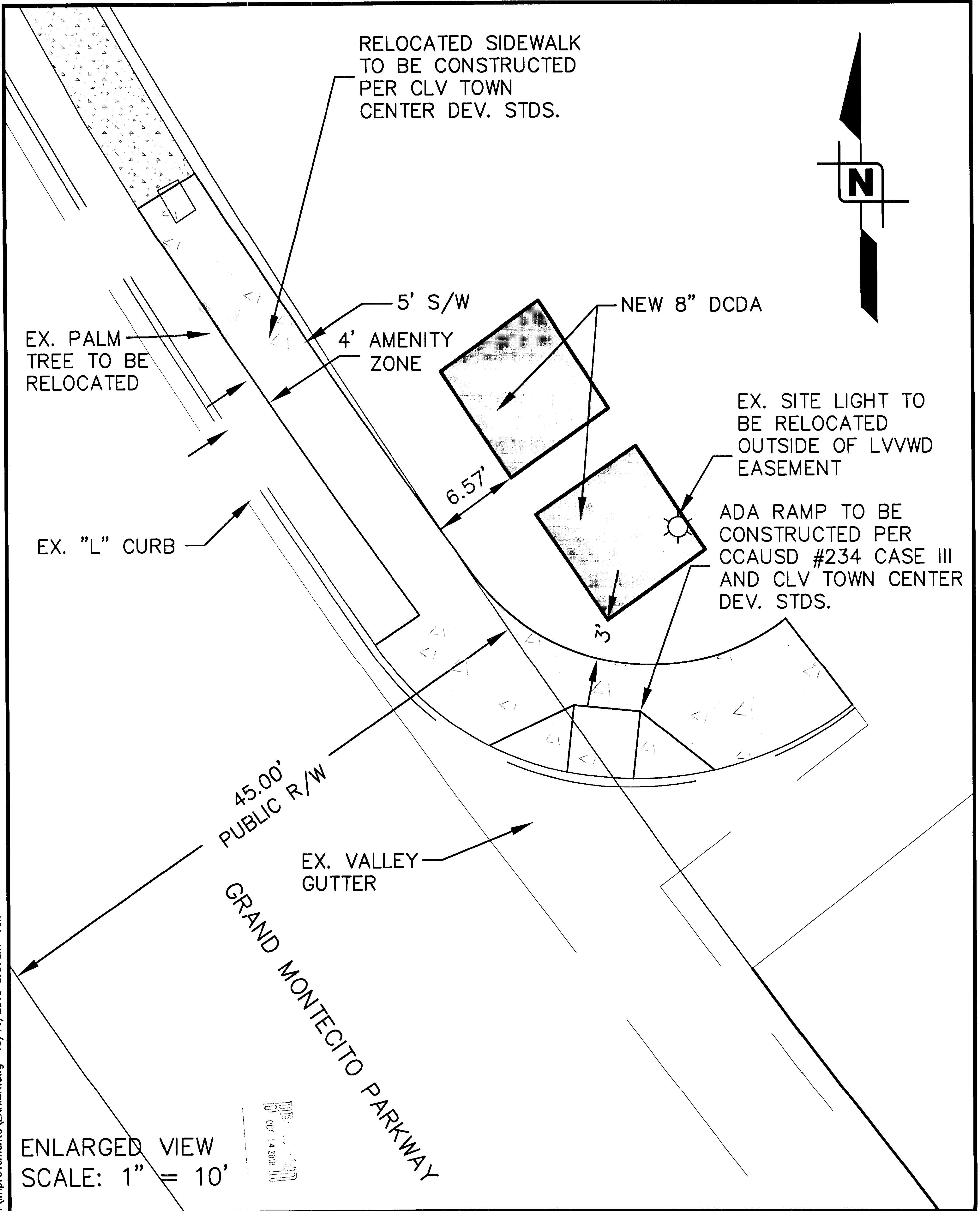


EXHIBIT "A"
CENTENNIAL BUSINESS PARK
PROPOSED IMPROVEMENTS

WRIGHT
engineers

7425 PEAK DRIVE LAS VEGAS, NEVADA 89128
p 702.933.7000 f 702.933.7001 800.933.7611
WRIGHTENGINEERS.COM

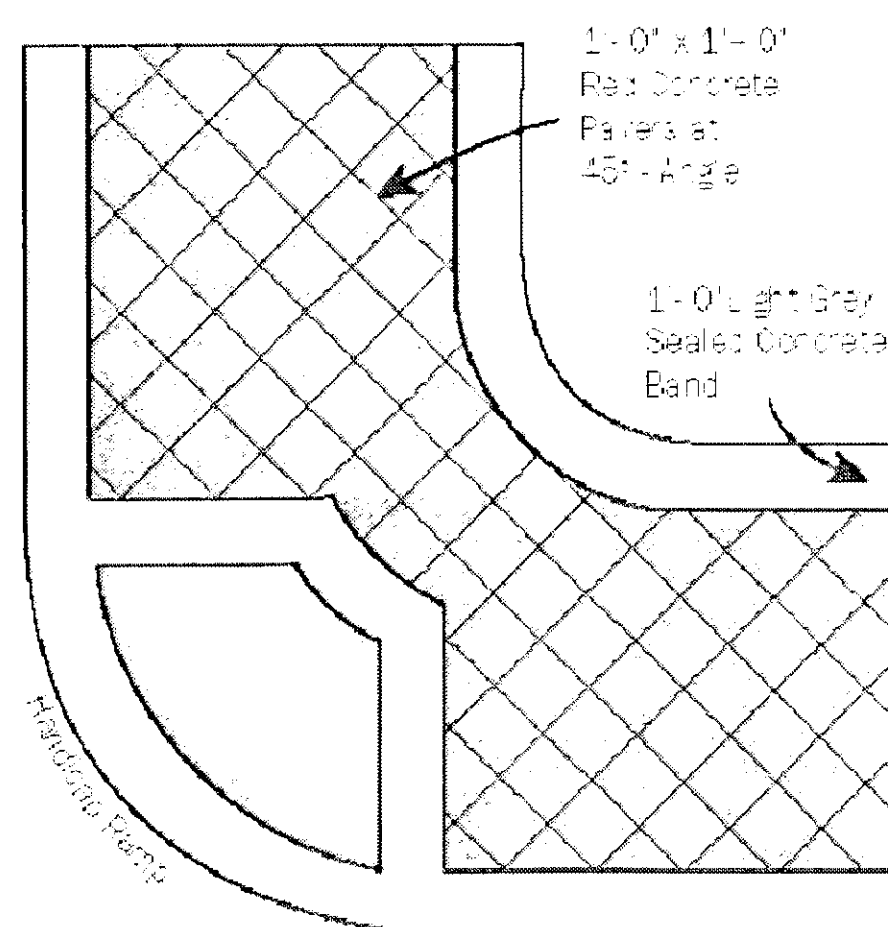
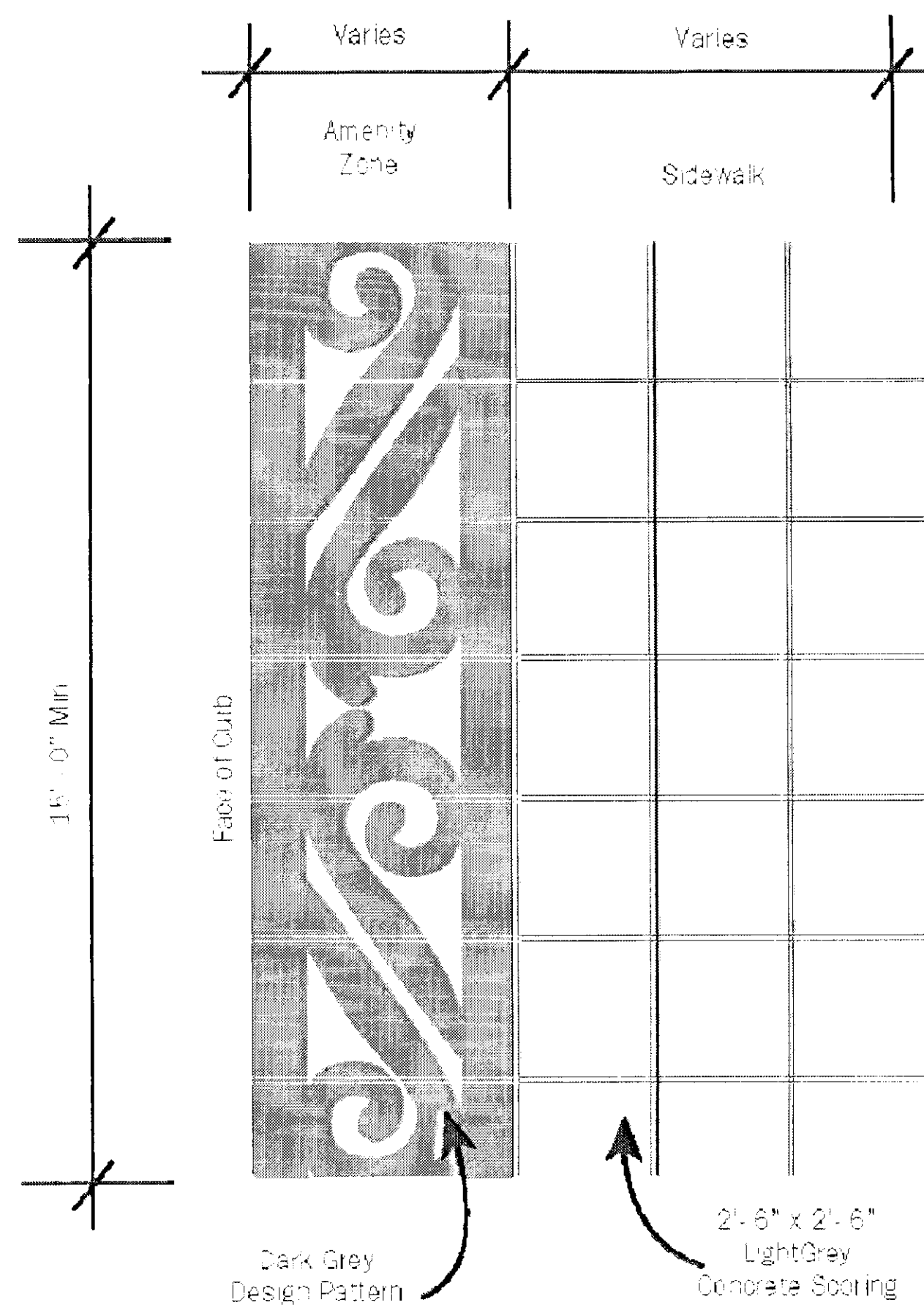
JOB NUMBER: CN100774

DRAWN BY:

DATED: 9-10-10

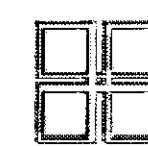
PAGE 3 OF 4

Amenity Zone and Sidewalk Treatment



Note
Building corner design shall comply with City of Las Vegas SVRE requirements

Figure 14

 119

NTS

Town Center Development Standards May 21, 2008

EXHIBIT "A" CENTENNIAL BUSINESS PARK

WRIGHT
engineers

7425 PEAK DRIVE LAS VEGAS, NEVADA 89128
p 702.933.7000 f 702.933.7001 800.933.7611
WRIGHTENGINEERS.COM

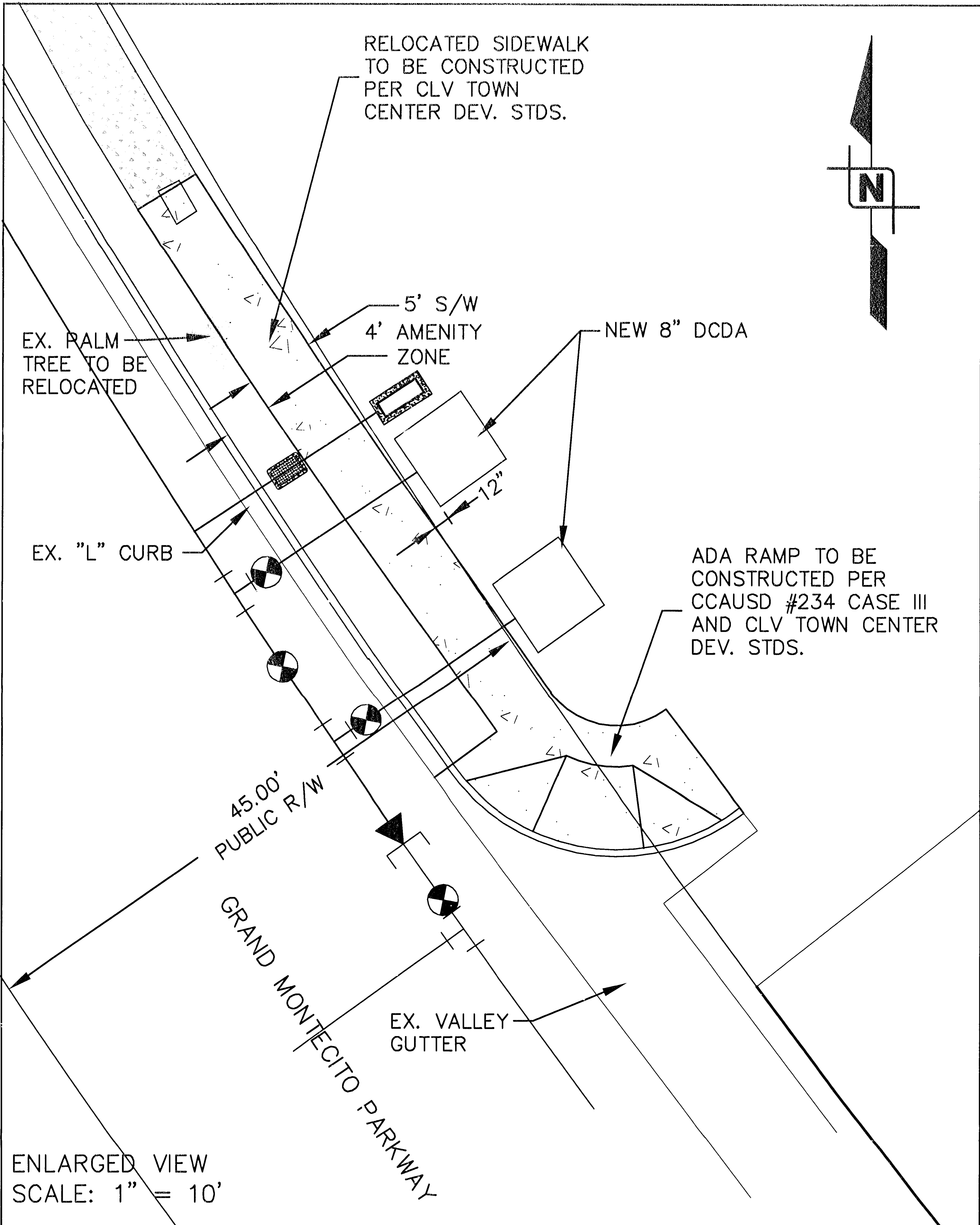
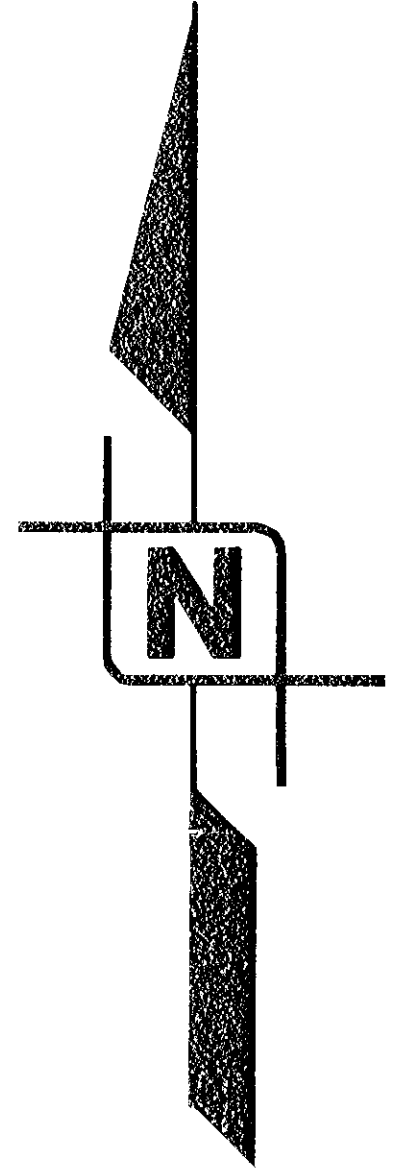
JOB NUMBER: CN100774
DRAWN BY:

DATED: 9-10-10

PAGE 4 OF 4

SDR-38833
REVISED

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ENLARGED VIEW
SCALE: 1" = 10'

EXHIBIT "A"

**CENTENNIAL BUSINESS PARK
PROPOSED IMPROVEMENTS**

WRIGHT
engineers

7425 PEAK DRIVE LAS VEGAS, NEVADA 89128
p 702.933.7000 f 702.933.7001 800.933.7611
WRIGHTENGINEERS.COM

JOB NUMBER: CN100774
DRAWN BY: DATED: 9-10-10

13 JAN 2011

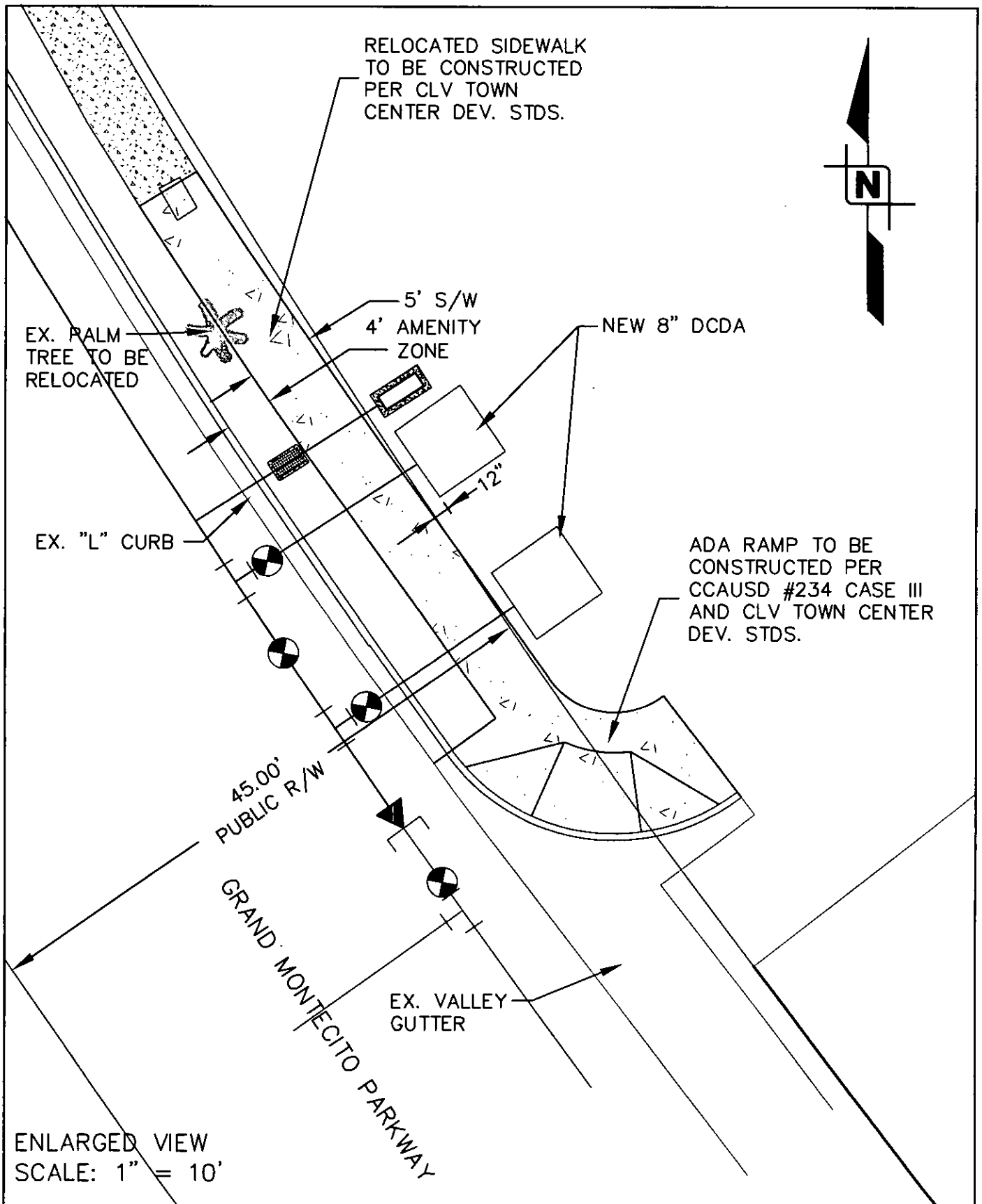


EXHIBIT "A"
CENTENNIAL BUSINESS PARK
PROPOSED IMPROVEMENTS

JOB NUMBER: CN100774
DRAWN BY:

DATED: 9-10-10

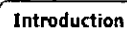
PAGE 3 OF 4

WRIGHT
engineers

LAS VEGAS • IRVINE • PHOENIX • SACRAMENTO

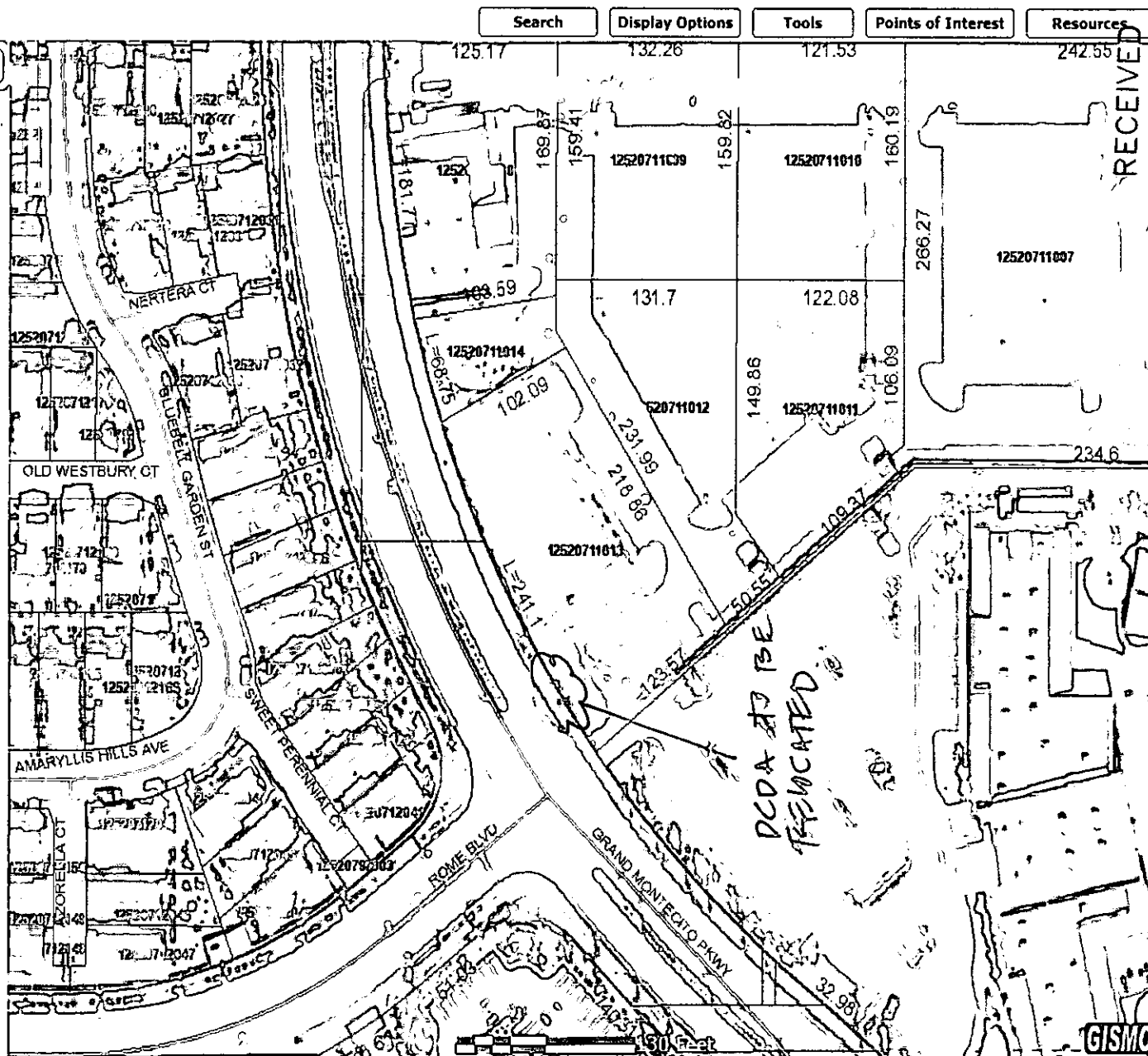
7425 PEAK DRIVE LAS VEGAS, NEVADA 89121
p 702.933.7000 f 702.933.7001 800.933.7411
WRIGHTENGINEERS.COM

DECEIVED
JAN 13 2011



Information

Current Tool: Select Property
Coordinates in State Plane ft
X: 745035 **Y:** 25604653
Flight Date: Most Current Flight
Current View: Assessor Map



GISMO

JUL 12 2010

NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11x17 ORIGINAL

ASSESSOR'S PARCELS - CLARK CO., NV.

M. W. Schofield, Assessor

AVERAGE DA VALUE	45
MAP LEGEND	— PARCEL BOUNDARY — SUBD BOUNDARY - - - ROAD EASEMENT - - - PM/LD BOUNDARY - - - NON-PARCEL LOT LINE - - - WATCH LINE / LEADER LINE — ROAD ID NUMBER

PARCEL NUMBER	881	PARCEL SUB/SED NUMBER	202
ACREAGE	1.88	PLAT RECORDING NUMBER	202-12
BLOCK NUMBER	5	LOT NUMBER	5
GOV. LOT NUMBER	CL5		

T19S R60E

R59E	R60E	R61E
99	100	101
125	125	124
137	138	139

Scale: 1"=200'

20

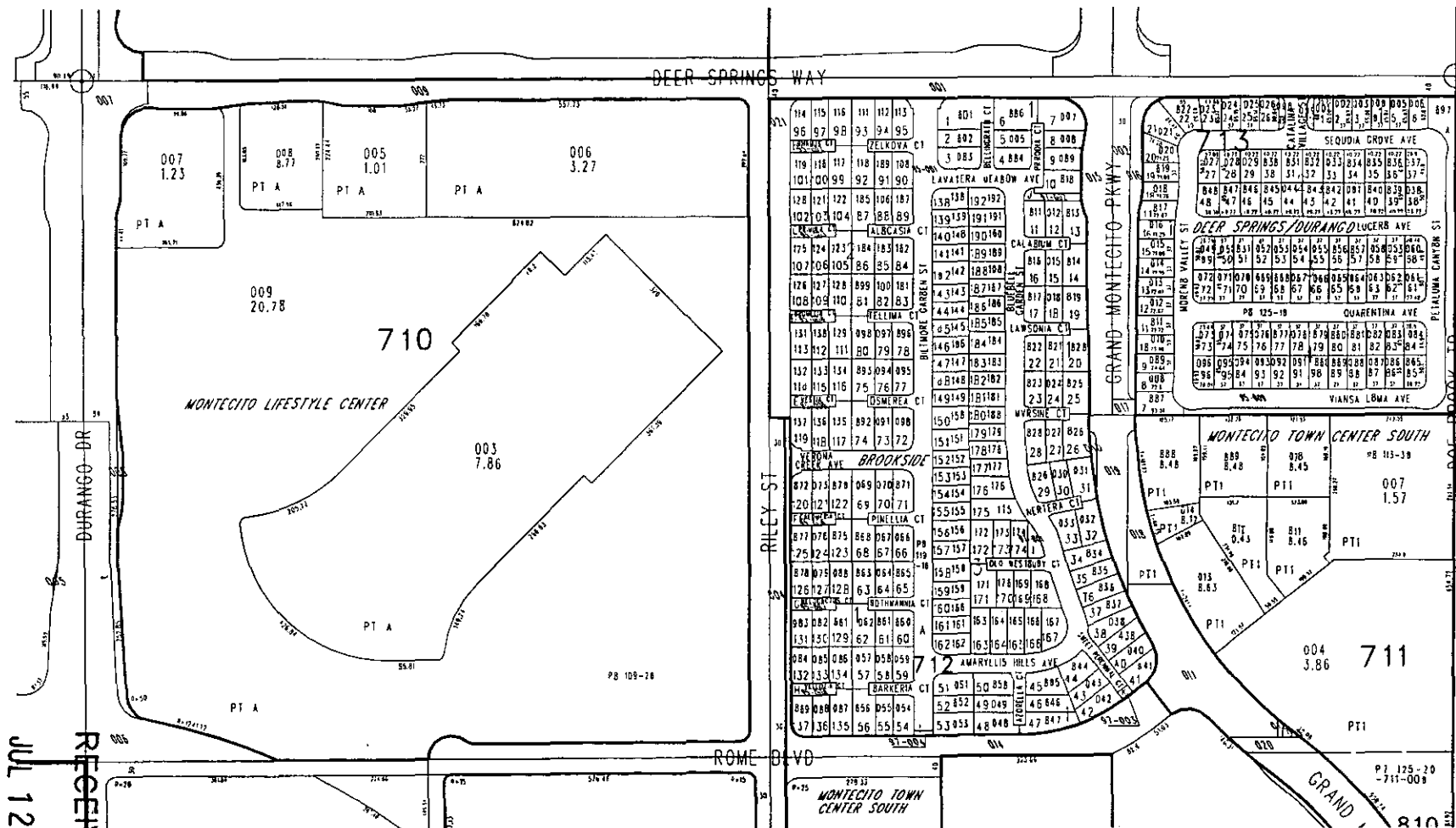
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7	6	5	4	3	2
8	7	6	5	4	3
9	8	7	6	5	4
10	9	8	7	6	5
11	10	9	8	7	6
12	11	10	9	8	7

Rev: 01/06/09

N 2 SE 4

8	4	8	4
5	1	5	1
6	2	6	2
7	3	7	3
8	4	8	4
5	1	5	1

125-20-7



PLAYGROUND AREA
CENTENNIAL BUS. PARK DAYCARE
6690 GRAND MONTECITO PARKWAY
SUITE 120



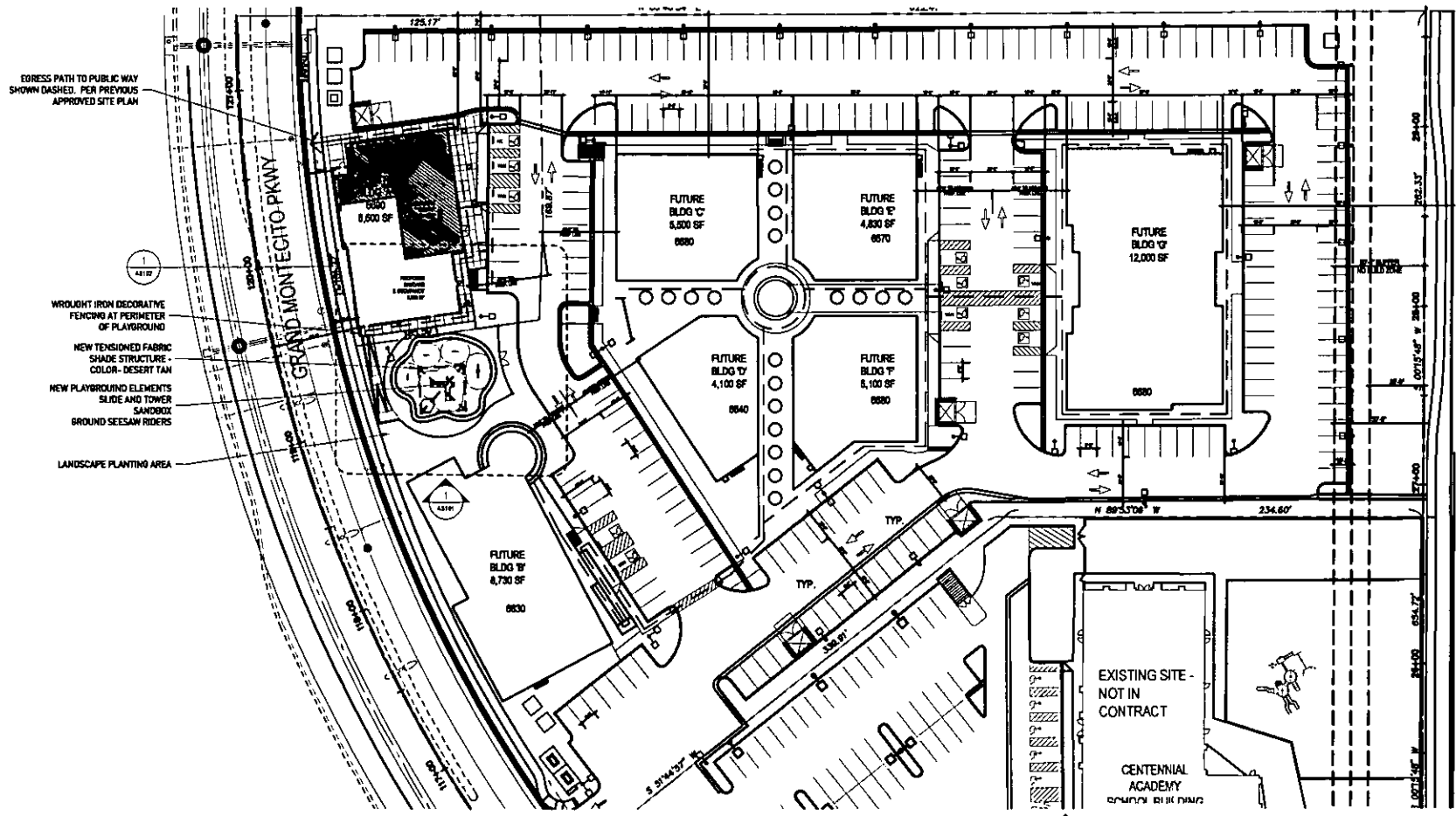
PROJECT NO. 1010
DRAWN BY: J.A.P. CHECKED BY: B.P.

NO.	DATE	DESCRIPTION

SITE PLAN

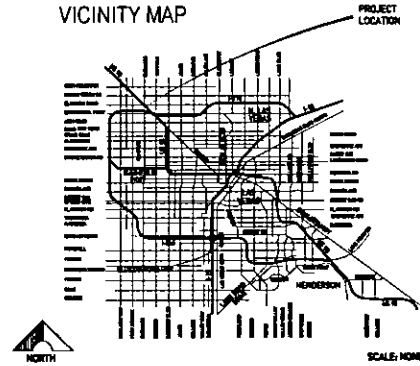
JULY 1, 2010

AS101



SITE PLAN

VICINITY MAP



SDR-38833

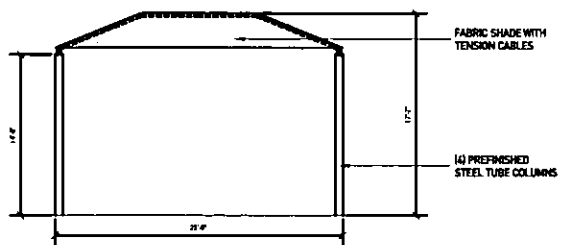
EXISTING SITE DATA

PARKING CALCULATION:

RETAIL	15,300 @ 1.175 SF =	180
OFFICE	9,500 @ 1.030 SF =	74
TOTAL OFFICE/RETAIL	21,800 @ 1.175 SF =	124
TOTAL REQUIRED *		246
PARTYER PROVIDED *		229

PROPERTY INFORMATION:

APR. 12-20-01 120	
LAND AREA	294,527 SF NET
ACRES	6.720000
TOTAL BUILDING AREA	46,700 SF
FLOOR AREA RATIO (F.A.R.)	(21%)
TOTAL LANDSCAPED AREA	63,800 SF (22%)



PLAYGROUND SHADE STRUCTURE ELEVATION

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JUL 12 2010

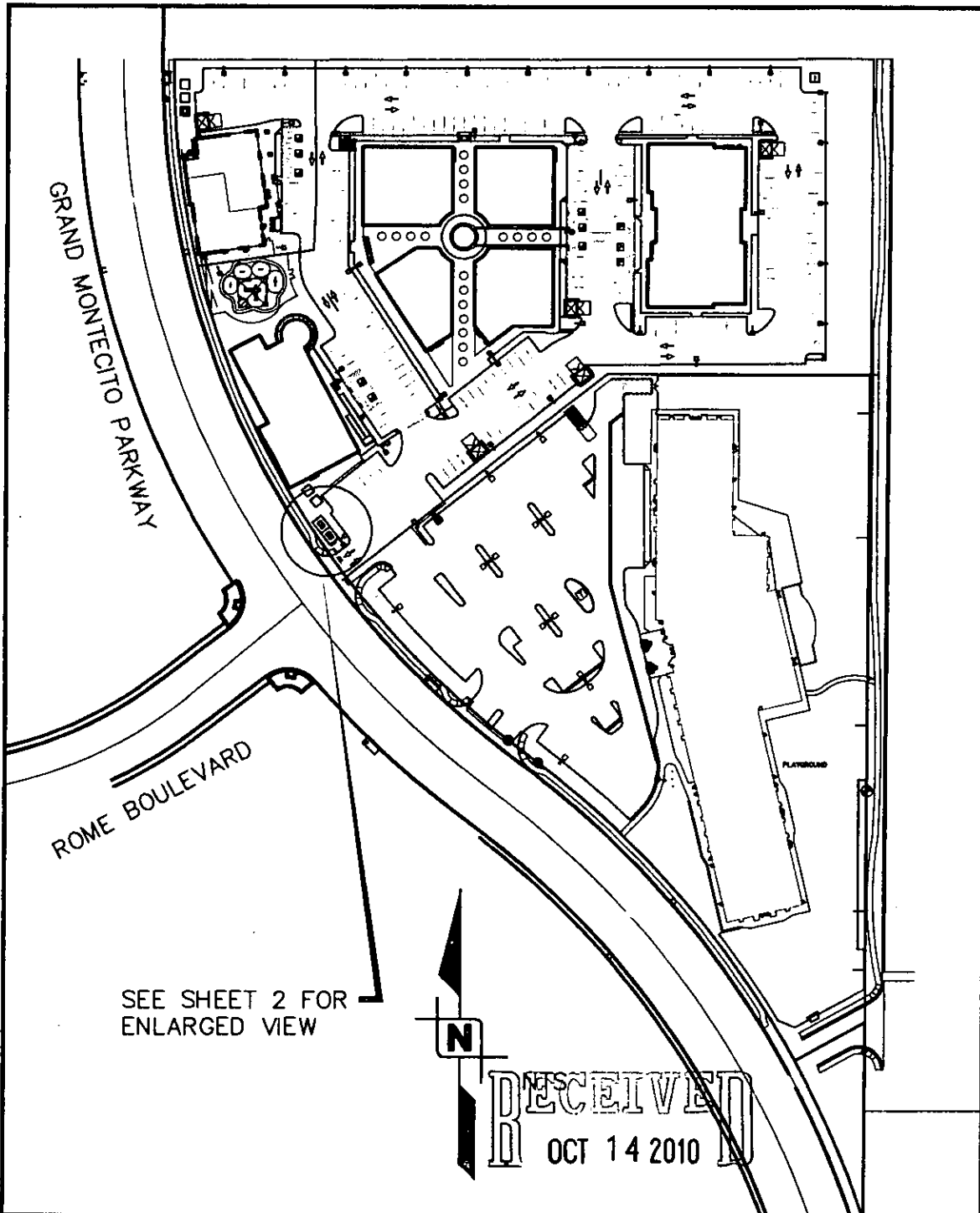


EXHIBIT "A"
CENTENNIAL BUSINESS PARK

WRIGHT
engineers

7425 PEAK DRIVE LAS VEGAS, NEVADA 89128
p 702.933.7000 f 702.933.7001 800.933.7611
WRIGHTENGINEERS.COM

JOB NUMBER: CH100774
DRAWN BY:

DATED: 9-18-10

PAGE 1 OF 4

K:\2010\100774\DWG\CH100774\Improvements\EXHIBIT.dwg 10/14/2010 8:58am .rvt

SDR-38833
REVISED

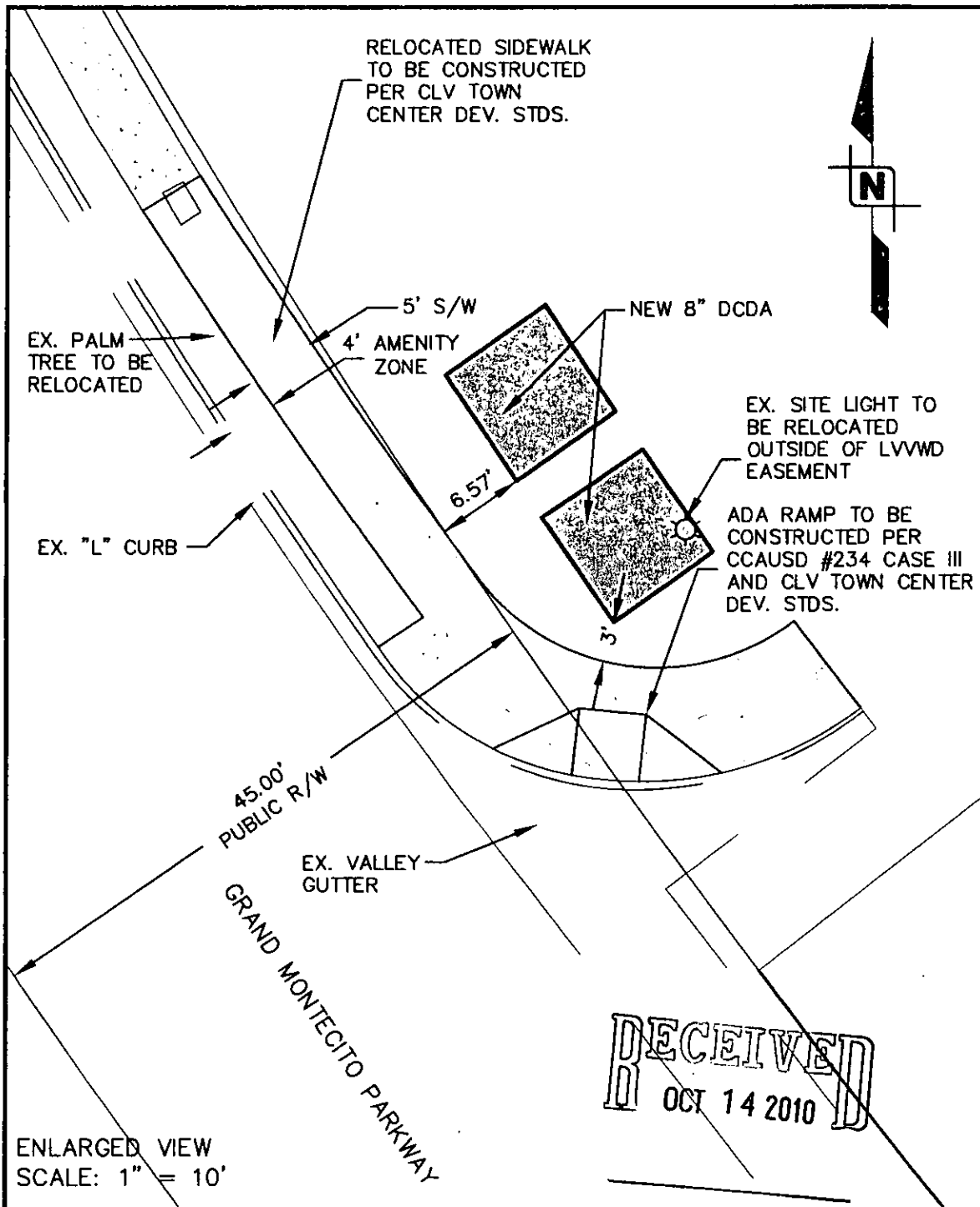


EXHIBIT "A"
CENTENNIAL BUSINESS PARK
PROPOSED IMPROVEMENTS

WRIGHT
engineers

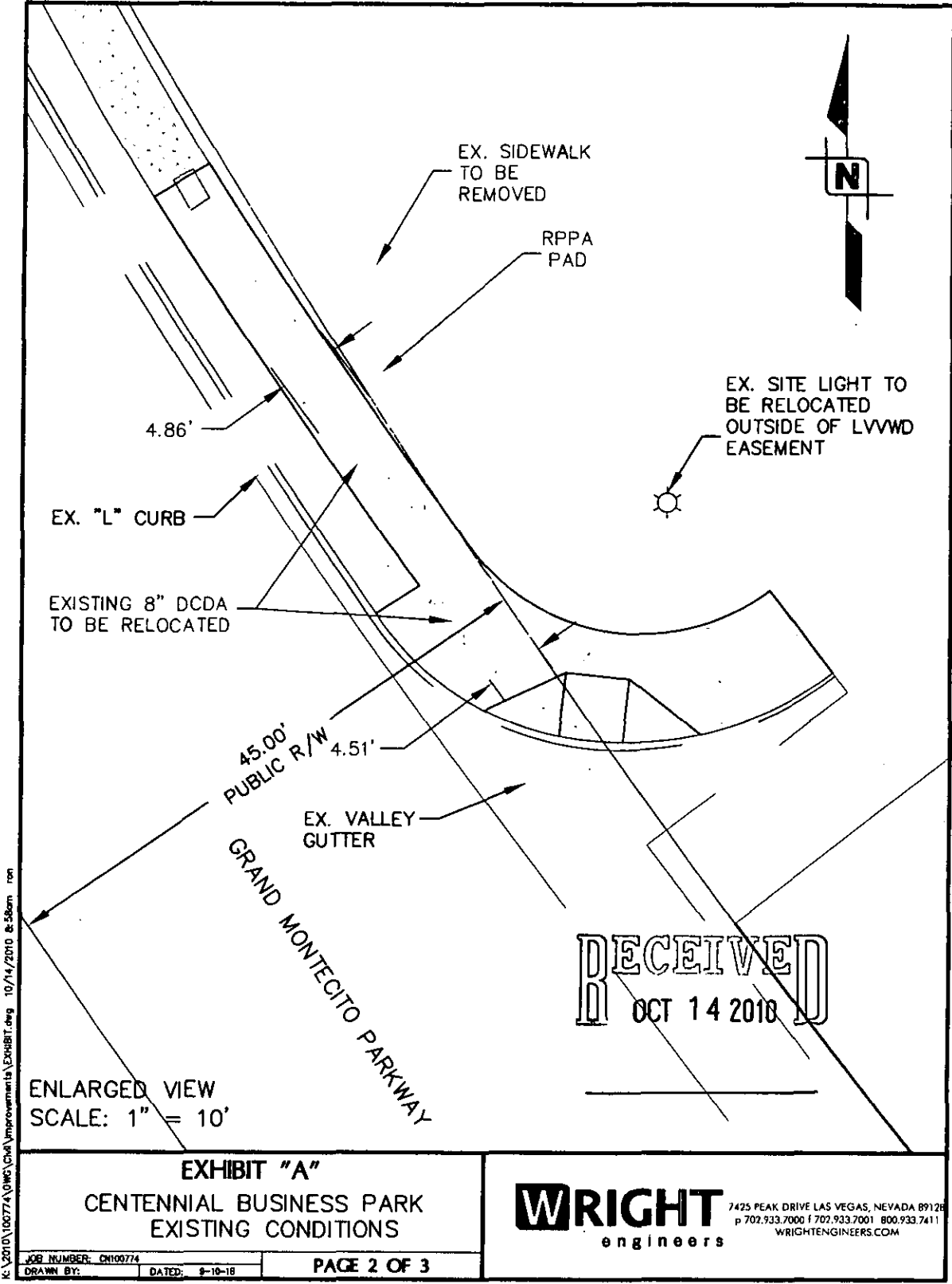
7425 PEAK DRIVE LAS VEGAS, NEVADA 89128
p 702.933.7000 f 702.933.7001 800.933.7411
WRIGHTENGINEERS.COM

JOB NUMBER: CH100774
DRAWN BY:

DATED: 8-10-10

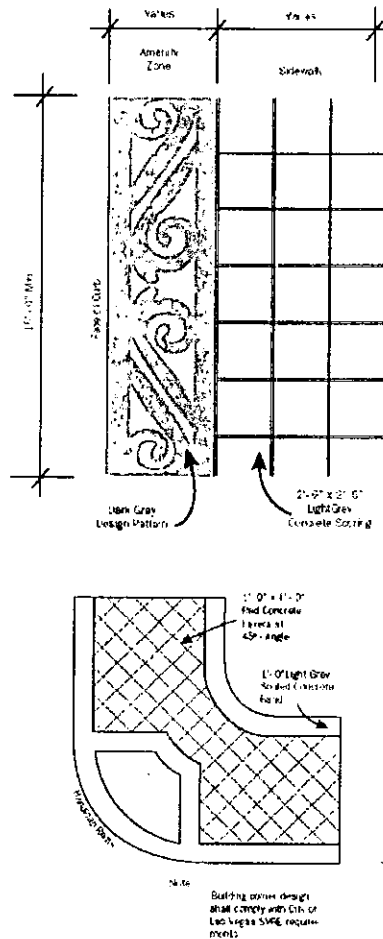
PAGE 3 OF 4

SDR-38833
REVISED



SDR-38833
REVISED

Amenity Zone and Sidewalk Treatment



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OCT 14 2010

Figure 14

NTS

Town Center Development Standards May 21, 2008

 119

EXHIBIT "A" CENTENNIAL BUSINESS PARK

WRIGHT
engineers

7425 PEAK DRIVE LAS VEGAS, NEVADA 89128
p 702.933.7000 / 702.933.7001 800.933.7611
WRIGHTENGINEERS.COM

ADD NUMBER: 0100774
DRAWN BY:

DATED: 9-10-10

PAGE 4 OF 4

SDR-38833
REVISED



Search

Display Options

Tools

Points of Interest

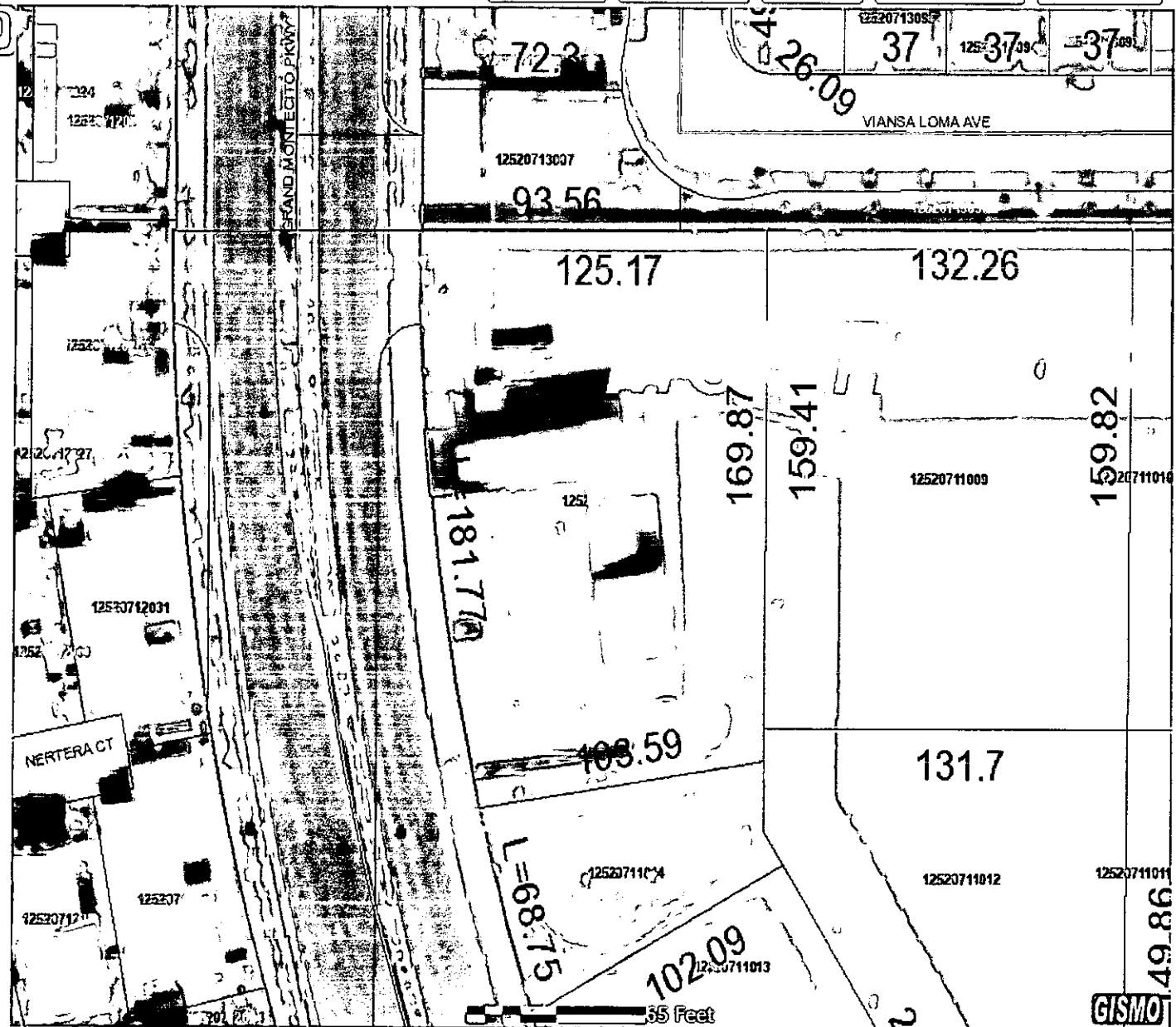
Resources

Display Options

Assessor Map☒ Show Aerial PhotoMost Current Flight (County) ▼☐ Show Right-of-Way☒ Show Map Information

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JUL 12 2010

Information
Current Tool: Select Property
Coordinates in State Plane ft
X: 745158 **Y:** 26804713
Flight Date: Most Current Flight
Current View: Assessor Map



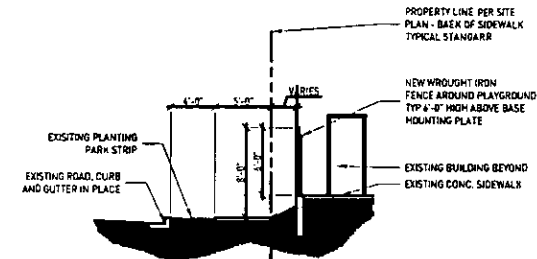
PROPOSED
DAYCARE
E OCCUPANCY
3,060 SF

98'-3" FIN ELEV.

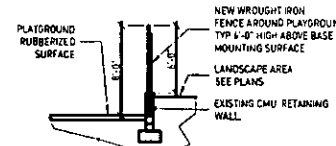
100'-0" FIN FLR

KEYNOTES

- 1 PLAYGROUND AREA: RECYCLED POLYMER RUBBER SURFACING
- 2 PLAYGROUND STRUCTURE PER ADA/IGS CONFORMANCE FOR ADA ACCESSIBILITY (WHEELCHAIR ACCESS) PER ADA/IGS REQUIREMENTS FOR ACCESS
- 3 SHOWN FOR NEW ENCLAVE - FABRIC AND CABLE TETHERED SHARP CANOPY STRUCTURE FOR PROVIDING VISUAL OBSCURITY TO PLAYERS. 6'0" HIGHER THAN REQUIRED SURFACING FOR PLAYGROUND AREA. UNDER SEPARATE PERMIT APPLICATION
- 4 EXISTING LANTERN/POLE ACCESSIBLE RAMP TO PLAYGROUND NEW LANTERN AND PLATFORM AT LOCATION SHOWN
- 5 EXISTING SIDE LIGHTING
- 6 REMOVE 9" HIGH FENCING WITH BOLLARD AND ACCESSIBLE GATES AT PERIMETER OF PLAYGROUND AREA. BLADES 2' 0" CONTINUOUS
- 7 1/2" DIA. CONE STEPS TO PLAYGROUND 1/4" TREADS 7'0" RISE 1/4" AT TOTAL RISE
- 8 CONE: CONE AND BUTTER PER APPROVED CAD DRAWINGS
- 9 OPENING/PLANTING
- 10 NEW CHALK/LOW CURB TO MATCH EXISTING IN PLACE
- 11 EXISTING CONCRETE SIDEWALK TO REMAIN
- 12 PLANTING AND LANDSCAPE AREA SEE LANDSCAPE PLANS
- 13 EXISTING ONLY RETAINING WALL
- 14 1/2" DIA. CONE 1/4" TREADS 7'0" RISE 1/4" AT TOTAL RISE



1
1/4" = 1'-0"
DETAIL AT PLAYGROUND FENCE SECTION



2
1/4" = 1'-0"
DETAIL AT PLAYGROUND FENCE SECTION

ENLARGED PLAYGROUND SITE PLAN

SCALE: 1/4" = 1'-0"



SDR-38833

RECEIVED
JUL 12 2010

Barrett Powley
Architect

10608 Ashbriewood Way
Las Vegas, NV 89144
Telephone (702) 379-0035
www.barrettpowley@gmail.com

PLAYGROUND AREA
CENTENNIAL BUS. PARK DAYCARE
6650 GRAND MONTECITO PARKWAY
SUITE 120
LAS VEGAS, NV 89148



NO.	DATE	DESCRIPTION
1	7/12/10	ISSUED FOR PERMIT
2	7/12/10	ISSUED FOR PERMIT
3	7/12/10	ISSUED FOR PERMIT
4	7/12/10	ISSUED FOR PERMIT
5	7/12/10	ISSUED FOR PERMIT
6	7/12/10	ISSUED FOR PERMIT
7	7/12/10	ISSUED FOR PERMIT
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97	7/12/10	ISSUED FOR PERMIT
98	7/12/10	ISSUED FOR PERMIT
99	7/12/10	ISSUED FOR PERMIT
100	7/12/10	ISSUED FOR PERMIT

ENLARGED
PLAYGROUND
SITE PLAN

JULY 1, 2010

AS102



CITY OF LAS VEGAS

Linda Hartman-Maynard, Planner II

Planning & Development Department

731 South Fourth Street, Las Vegas, NV 89101

Voice – (702) 229-6899

Fax – (702) 385-7268

Email – lhartman-maynard@lasvegasnevada.gov

Date:	01/12/2011	To:	Ron Cox
Fax Number:	922-9001	Company:	Wright Engineering
Voice Number:			
CLV Project Number:	L-Civil 40268		
Description:	Centennial Business Park – Grand Montecito Parkway		
Number of Pages (including cover):	2		

Ron,

As per our conversation this afternoon regarding the Double Check Assembly (DCDA) utility boxes located on the south side of the entrance for the Centennial Business Park. The utility boxes were moved by the Las Vegas Valley Water District to one-foot in back of the sidewalk where three feet is required to allow for screening with plant material.

In order to update the entitlements for the project please submit the following:

1. A revised site plan indicating the location of the boxes one-foot behind the sidewalk.
2. A revised landscape plan calling out the type of plant material to be installed in the one-foot area between the back of the sidewalk and the utility boxes.
3. Submit a revision of the approved civil plan.
4. Revise other building plans.

If you have any questions, please call me at the number above.

Thank you,
Linda Hartman-Maynard

MEMORANDUM

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER
731 S. Fourth Street
Las Vegas, NV 89101
702-229-6301

To: Land Development
From: Linda Hartman-Maynard
Phone: (702) 229-6899 Fax: (702) 385-7268
CC: Land Development Civil Plan Ref. # 40268
Date: 12/6/10 2nd Review
Re: Centennial Business Park

STATUS:

☒ Cond. Appr.

☐ Denied

Day Care Playground for 66909 Grand Montecito Parkway

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. The applicant has resolved the issues from the previous review.
2. Civil Plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits, including civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

MEMORANDUM



To: Land Development
From: Linda Hartman-Maynard
Phone: (702) 229-6899 Fax: (702) 385-0352
CC: Land Development Civil Plan Ref. # 40268
Date: 11/23/10 1st Review

STATUS:

Cond. Appr.

☒ Denied

Re: Centennial Business Park – Day Care Playground for 6690 Grand
Montecito Parkway

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. As per the Site Development Review (SDR-38833) two Double Check Detector Assembly (DCDA) utility boxes at the entrance to the south at the intersection of Rome Boulevard and Grand Montecito Parkway are to be relocated three feet behind the sidewalk, with landscaping provided in front of the utility boxes for screening. Relocation of the DCDA utility boxes are to be shown on the civil plan.
2. Please depict the replacement of the segment of sidewalk and the amenity zone along Grand Montecito Parkway that will be affected by the installation of the playground. This area must maintain the required Town Center amenity zone, sidewalk treatment and landscape to ensure consistency with the approved land use entitlements.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits, including civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

Pre-Application Conference Item Required <table style="width:100%;"> <tr> <td style="width:50%; text-align: center;">YES</td> <td style="width:50%; text-align: center;">NO</td> </tr> </table>		YES	NO	CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
YES	NO						
APPLICATION PACKET							
		☒ Application signed and notarized by all property owners or authorized agent(s) ☒ Grant deed and legal description ☒ Detailed justification letter ☒ Original meeting notes and checklist(s) signed by planner ☒ Correct fee(s): \$ 500.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 1030.00 Total ☒ Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s) ☒ Assessor's Parcel Map ☐ Development Impact Notice and Assessment (DINA) ☐ Project of Regional Significance (PRS) ☒ Color & Materials Board per Site Development Plan Review Submittal Requirements ☒ Copy of Business Licenses: (Owner: ☒ Applicant: ☐ Representative: ☐)		NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." --> "Apply for -> Planning Applications")			
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)							
SITE PLAN							
		☒ 11" x 17" min. to 24" x 36" max. page size ☒ North arrow, scale, and vicinity map ☒ All property lines and present dimensions labeled ☒ All building setbacks labeled ☒ All adjacent existing land uses and street names labeled ☒ All points of ingress and egress shown ☒ ADA accessibility requirements shown/labeled ☒ Parking standard(s) utilized: ☒ Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total ☐ All free-standing sign locations shown and heights and sizes noted		Folded Plans: 6 Colored, Rolled Plans: 1 Reduced Copy (8-1/2x11 BW): 1 NOTES:			
LANDSCAPE PLAN							
		☒ 11" x 17" min. to 24" x 36" max. page size ☒ North arrow, scale, and vicinity map ☒ All property lines and present dimensions labeled ☒ All required perimeter landscape planters shown ☒ All required parking lot fingers/islands shown ☒ Quantity, size, species/variety of all trees, shrubs, and ground cover		Folded Plans: 1 Colored, Rolled Plans: 1 Reduced Copy (8-1/2x11 BW): 1 NOTES:			
BUILDING ELEVATIONS							
		☒ 11" x 17" min. to 24" x 36" max. page size ☒ Scale and building dimensions labeled ☒ North, south, east, and west elevations of all buildings ☒ All building materials and colors noted ☒ 8" x 10" photo of original color and material board ☒ All wall sign locations shown and sizes noted		Folded Plans: 1 Colored, Rolled Plans: 1 Reduced Copy (8-1/2x11 BW): 1 NOTES:			
FLOOR PLANS							
		☒ 11" x 17" min. to 24" x 36" max. page size ☒ Scale and building dimensions labeled ☒ All building entrances/exits shown ☒ Use of all rooms noted/labeled ☒ Maximum Occupancy (per I.B.C.) ☒ Seating Capacity (where applicable)		Folded Plans: 0 Rolled Plans: 0 Reduced Copy (8-1/2x11 BW): 0 NOTES: RECEIVED			
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App Date							
Owner / Applicant: SPINNAKER HOMES VII L L C Representative: Ben Young APN: 125-20-711-014 Planner's Signature: <i>John Grider</i> 6/28/10 Planner: John Grider, Planner I - 229-6711tt		Application Type: Site Development Plan Review Application Purpose: Playground Site Location: 6690 Grand Montecito Parkway Pre-App. Meeting Date: 06/28/10 Submittal Deadline: 07/13/10 - no later than 2:00 pm Earliest PC / CC Meeting Dates: 08/26/10 PC - 10/06/10 CC - Cycle 6					



CITY OF LAS VEGAS

- ☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 06/28/10
Time: 2:00 p.m.

Project Name: Centennial Business Park Day Care Playground

Conversation between CLV P&D Representative: John Grider, Planner I (229-6711 Office / 385-7268 Fax / jgrider@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. John Grider	Planning & Development	229-6711		
2. Steve Swanton	Planning & Development	229-4714		
3. Ben Young	Royal Construction Company	873-7773		
4. <i>Luca P.</i>				
5. <i>Victor Bolonago</i>				
6.	CLV - Finance (Business License)	229-6321	383-0769	
7.	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10. <i>Ozzie M.</i>	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
If yes, please address how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered by the City of Las Vegas.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: Town Center

Meeting Notes:

1. Non-owner applicants must be a lessee, contract purchaser or optionee of the property. This is consistent with the requirements of Title 19.18 Applications and Procedures. Architectural, engineering and legal firms (among others) that do not fall within these categories may act as the representative only, not as the applicant.
2. Provide block wall and screening fence elevations, per the Town Center Development Standards; screen walls shall be composed of 100 percent decorative material in accordance with the standards of the city of Las Vegas and shall include 20 percent contrasting material and color. Neither contrasting texture of the same material nor light to dark variations of the same color are permitted.
3. All drawings shall be to scale.
4. From the back of sidewalk to the wall, provide landscape plan which indicates what type of landscaping is being proposed.
5. Include setback dimensions to shade structure.
6. *Bond Release in Process*
7. *Sept 1 Deadline for Grading*
8. *Finish Grade 8 to 10 feet from Residential*
9. *Update to Flood Study can be 1 page addendum*
10. *Relocate DCDA or Restrict Median w/ L&T Turns Out.*
11. *Hand Changes can be done Civils*
12. *Wrought Iron*
13. *Max Retaining Height + from grade Height*

RECEIVED

JUL 12 2010

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

November 8, 2010

Mr. Ben Young
Spinnaker Homes VII, LLC
4511 West Cheyenne Avenue, Suite #105
North Las Vegas, Nevada 89032

**RE: SDR-38833 - MINOR SITE DEVELOPMENT PLAN REVIEW
ADMINISTRATIVE CYCLE - NOVEMBER 2010**

Dear Mr. Young:

Your request for a Minor Site Development Plan Review FOR A DAY CARE PLAYGROUND on 0.12 acres at 6690 Grand Montecito Parkway (APN 125-20-711-014), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department staff has administratively **APPROVED** your request subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Site Development Plan Review (SDR-3271) shall be required, except as amended herein.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the new construction on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan date stamped 07/12/10 and 10/14/10, landscape plan date stamped 10/21/10, and building elevations date stamped 07/12/10, except as amended by conditions herein.
4. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lois Torkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell

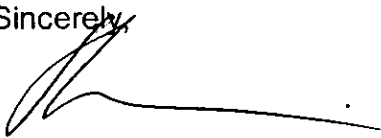


Mr. Ben Young
SDR-38833 - Page Two
November 8, 2010

6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
8. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

This action by the Planning and Development Department staff on November 8, 2010 is final unless a written appeal is filed with the Director of Planning and Development Department within ten days of the date of this letter.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

City of Las Vegas

AGENDA MEMO

ADMINISTRATIVE MINOR REVIEW MEETING DATE: NOVEMBER 2010

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: APPLICANT: S.B.A. DEVELOPMENT, INC. - OWNER:
SPINNAKER HOMES VII, LLC

** STAFF RECOMMENDATION(S) **

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
SDR-38833	Staff recommends APPROVAL, subject to conditions:	N/A

** CONDITIONS **

SDR-38833 CONDITIONS

Planning and Development

1. Conformance to the Conditions of Approval for Site Development Plan Review (SDR-3271) shall be required, except as amended herein.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the new construction on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan date stamped 07/12/10 and 10/14/10, landscape plan date stamped 10/21/10, and building elevations date stamped 07/12/10, except as amended by conditions herein.
4. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

Conditions Page Two**November 2010 - Administrative Minor Review**

6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
8. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

**** STAFF REPORT ******PROJECT DESCRIPTION**

This is a request for a Minor Amendment of a previously approved Site Development Plan (SDR-3271). The request is to add a playground in connection with a proposed Day Care Center located at 6690 Grand Montecito Parkway, Suite #120. The proposed playground is compatible with adjacent development and development in the area; therefore, staff is administratively approving this request with conditions.

ISSUES

- Streetscape improvements meeting the requirements for a Town Center Loop Road will be completed along Grand Montecito Parkway as part of this request.

BACKGROUND INFORMATION

<i>Related/Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
11/07/01	The City Council approved the Town Center Development Standards (TCDS) Manual through Bill No. 2001-100. The TCDS details the uses permitted within Town Center and the development standards that will accomplish the vision of Town Center.
03/06/02	The City Council approved the Montecito Town Center Development Agreement (DA-0002-01). One of the key elements of the approval was the assurance that the standards of the agreement would meet or even exceed the Town Center Development Standards.
07/16/03	The City Council approved a Modification (MOD-2315) of the Montecito Town Center Development Agreement to add 10.8 acres to the plan and increase the permitted residential density of developments in Montecito Town Center. The Planning Commission recommended approval.
01/21/04	The City Council approved a Site Development Plan Review (SDR-3271) for a 46,760 square-foot office and retail complex and a waiver of the Town Center Development Standards to allow a minimum build-to setback line of 47 percent where 70 percent is the minimum required. The Planning Commission and staff recommended approval.
06/07/06	The City Council approved a request for a Site Development Plan Review (SDR-12661) for a 900 square-foot coffee kiosk on 4.62 acres at 6690 Grand Montecito Parkway. The Planning Commission and staff recommended approval. The Site Development Plan Review was expired on 06/07/08.

Staff Report Page Two

November 2010 - Administrative Minor Review

06/07/06	The City Council approved a request for a Special Use Permit (SUP-12662) for a restaurant with drive through (coffee kiosk) on 4.62 acres at 6690 Grand Montecito Parkway. The Planning Commission and staff recommended approval. The Special Use Permit was expired on 06/07/08.
----------	--

<i>Most Recent Change of Ownership</i>	
12/29/08	A deed was recorded for a change in ownership.

<i>Related Building Permits/Business Licenses</i>	
10/07/09	A building permit (#141468) was issued for a new building at 6690 Grand Montecito Parkway. The project was completed on 08/18/10.
06/07/10	A building permit (#164564) was processed for a Playground for the proposed Day Care Center at 6690 Grand Montecito Parkway. The plan check review was denied by Planning and Development pending approval of a Site Development Plan Review.
06/15/10	A building permit (#164563) was issued for Tenant Improvement for a Day Care Center at 6690 Grand Montecito Parkway, Suite #120. The project is not yet completed.

<i>Pre-Application Meeting</i>	
06/28/10	A pre-application meeting was held with the applicant where elements of submitting a Site Development Plan Review for a proposed Day Care Playground were discussed. The topic included: The Double Check Detector Assembly (DCDA) utility box relocation shall be indicated on the site plan.

<i>Neighborhood Meeting</i>	
A neighborhood meeting was not required, nor was one held.	

<i>Field Check</i>	
10/15/10	The subject site contains only one building where the proposed Day Care Center is to be located. The playground area is undeveloped. The streetscaping next to the site currently have the five-foot sidewalk and the four-foot amenity zone with an existing palm trees, but without shrubs in between the palm trees.

Staff Report Page Three

November 2010 - Administrative Minor Review

Details of Application Request	
Site Area	
Gross Acres	0.12 acres portion

Surrounding Property	Existing Land Use Per Title 19:04	Planned or Special Land Use Designation	Existing Zoning District
Subject Property	Commercial	Mixed-Use Commercial (Montecito Town Center)	T-C (Town Center)
North	Single Family Development	Mixed-Use Commercial (Montecito Town Center)	T-C (Town Center)
South	Private School, Primary	Mixed-Use Commercial (Montecito Town Center)	T-C (Town Center)
East	Single Family Development	L-TC (Low Density Residential – Town Center)	T-C (Town Center)
West	Single Family Development	Mixed-Use Commercial (Montecito Town Center)	T-C (Town Center)

Master Plan Areas	Yes	No	Compliance
Master Plan Area			
Town Center Master Plan	X		Y
Montecito Town Center	X		Y
Special Purpose and Overlay Districts	Yes	No	Compliance
Special Purpose and Overlay Districts			
T-C (Town Center) District	X		Y
Trails	X		Y
Rural Preservation Overlay District		X	N/A
Las Vegas Redevelopment Plan Area		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

Staff Report Page Four

November 2010 - Administrative Minor Review

DEVELOPMENT STANDARDS

<i>Street Name</i>	<i>Functional Classification of Street(s)</i>	<i>Governing Document</i>	<i>Street Width (Feet)</i>	<i>Compliance with Street Section</i>
Grand Montecito Parkway	Town Center Loop	Town Center Development Standards Manual	90	Y

<i>Streetscape Standards</i>	<i>Required</i>	<i>Provided</i>	<i>Compliance</i>
Palm trees every 35 feet on center.	13	13	Y
Sidewalk	5	5	Y
Amenity Zone	4	4	Y

ANALYSIS

This is a request for a Minor Amendment to previously approved Site Development Plan (SDR-3271) to add a playground in conjunction with the proposed Day Care Center within the Centennial Business Park located at 6690 Grand Montecito Parkway, Suite #120. The building is currently under construction and the proposed playground will be located on the south side. The site falls within the Centennial Hills Town Center boundaries, and the site is within the area covered by the Montecito Town Center Development Agreement.

A previous Site Development Plan Review (SDR-3271) was approved with a driveway at the area of the proposed playground. A subsequent Site Development Plan Review (SDR-12661) approved a proposed coffee kiosk with a drive through at this location with no driveway. An approved Civil Improvement Plan (#14672) shows an internal circular drive for access to the proposed coffee kiosk. The proposed coffee kiosk was not built and the proposed playground will replace it.

The proposed playground will contain a shade structure and several playground structures. The height of the proposed shade structure is approximately 18 feet, consisting of a fabric shade and four prefabricated steel tube columns. The proposed playground will be surrounded by a six-foot high wrought iron fence.

Staff Report Page Five
November 2010 - Administrative Minor Review

There is landscaping provided within and around the proposed playground consisting of trees and various types of shrubs. The proposed playground will affect the segment of the sidewalk and the amenity zone along Grand Montecito Parkway in proximity to the proposed playground. An approved technical landscape plan, which was part of the building permit review date stamped on 12/29/04, showed a driveway on the south side of the existing building. The proposed landscape plan depicts the required Town Center amenity zone and sidewalk to be contiguous along Grand Montecito Parkway. The Palm trees are provided within the amenity zone at 35 feet on center with shrubs in between. In addition to the proposed playground, two Double Check Detector Assembly (DCDA) utility boxes at the entrance to the south at the intersection of Rome Boulevard and Grand Montecito Parkway will be relocated three feet behind the sidewalk, with landscaping provided in front of the utility boxes for screening. A 24-inch box tree has also been added within the landscape island located northeast of the subject building.

There are no changes to the remaining landscaping within the development, except for the affected areas mentioned above. Therefore, the remaining landscaping within the development shall be in conformance with the approved technical landscape plan dated on 12/29/04.

The playground as proposed is aesthetically pleasing and represents an attractive addition to the development. This project is compatible and harmonious with the existing surrounding development and meets all Town Center requirements; therefore, staff is administratively approving this request with conditions.

FINDINGS (SDR-38833)

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed playground is compatible with the surrounding development and development in the area.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed playground is consistent with Town Center Development Standards.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Staff Report Page Six
November 2010 - Administrative Minor Review

The project has access to Grand Montecito Parkway. The capacity of the loop road will be sufficient for the traffic flow need of the proposed development.

4. Building and landscape materials are appropriate for the area and for the City;

The building materials proposed meet the design guidelines of the Montecito Town center Development Standards.

5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;

The playground as proposed is aesthetically pleasing and represents an attractive development. This project is compatible and harmonious with development that can be developed under the Montecito Town Center Mixed Use Commercial designation of the Development Agreement.

6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

The proposed playground on site will be subject to building permit review and inspection, thereby protecting the public's health, safety and general welfare.

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0

City of Las Vegas
NSEN CLAIM FOR REFUND FORM

Date prepared _____

Invoice # : _____
(Invoice # assigned by Finance)

DARLINE REEDER, OSII
Preparer's name

Service Address: _____

Refund Amount: 530.00

SBA DEVELOPMENT, INC.
Payee Name
GENERAL OPERATING ACCOUNT
Attention to:
4511 W. CHEYENNE AVEVUE SUITE 105
Address
NORTH LAS VEGAS, NV 89032
City, State, Zip Code

Return of Cash Bond?
(click below for "Yes" "No" options)
No

For the following : SDR-38833
(Application Number and Template Type)

Reason for Refund:

THIS CASE IS NOW A MINOR REVIEW; NO PUBLIC NOTIFICATION NEEDED

Claimant Signature

Phone Number

Original Forms must be submitted - no fax copies will be accepted.

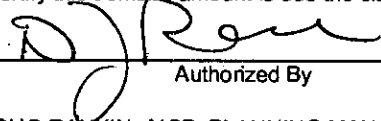
BELOW FOR DEPARTMENT USE ONLY:

(Refund of a Cash Bond requires two signature approvals)

I certify this demand amount is due the claimant:

I certify this demand amount is due the claimant:

Authorized By



Authorized By
DOUG RANKIN, AICP, PLANNING MANAGER
Title
27 OCTOBER, 2010
Date

Title

Date

Itemized Amounts for Refund:

Item	Fee Amt	% Refund	Refund Amt	Fund/Org	Account	Project	Task	Option
Processing Fee		100%	0.00	007301	261100	EE4100	000	000
Recording of Notice of Zoning	30.00	100%	30.00	007301	261100	EE4100	000	000
Notification & Advertising Fee (PH)	500.00	100%	500.00	007301	261100	EE4100	000	000
Notification & Advertising Fee (NM)			0.00	007301	261100	EE4100	000	000
Mailing Labels Fee			0.00	007301	261100	EE4100	000	000
			0.00					
			0.00					
			0.00					

Total Amount to be Refunded: 530.00

SDR 38833

SBA Development, Inc.

CITBL

City of Las Vegas

DATE	INVOICE NO	DESCRIPTION	INVOICE AMOUNT	
7-12-10	071210-CBP	SDR Approval-A Step	1030.00	1030.00 .00
CHECK DATE	7-13-10	CHECK NUMBER	1389	TOTAL > 1030.00 1030.00 .0

PLEASE DETACH AND RETAIN FOR YOUR RECORDS

SBA Development, Inc.

General Operating Account

4511 W. Cheyenne Ave

Suite 105

N Las Vegas, NV 89032

Bank of North Las Vegas
6385 Simmons St.
N Las Vegas, NV 89031

DATE
July 13, 2010

CHECK NO.
1389

AMOUNT
\$*****1,030.00

Pay: *****One thousand thirty dollars and no cents

PAY
TO THE
ORDER OF

City of Las Vegas

Rochelle Aizberg

⑈000001389⑈ ⑆122402243⑆170005326⑈

SDR-38833

CLV Employee LAM
ext. 6899

CITBL		City of Las Vegas
PRICE AMOUNT		
1030.00	1030.00	.00
1030.00	1030.00	.00

Darline Reeder

From: Ben Young [byoung@spinnakerhomes.com]
Sent: Wednesday, October 27, 2010 1:44 PM
To: Darline Reeder
Subject: RE: (partial) refund for VAC-36478
Attachments: SDR 38833 CHECK.pdf

10-27-10

DARLINE,

THANKS FOR THE EMAIL.

I HAVE ATTACHED A COPY OF THE CHECK AND ORIGINAL CLV RECEIPT. YOU WILL FIND ALL OF THE REQUESTED INFORMATION UPON THE CHECK.

IF YOU HAVE ANY QUESTIONS PLEASE DO NOT HESITATE TO CONTACT ME.

THANKS

BEN

BEN YOUNG

CONSTRUCTION ADMINISTRATOR

S.B.A. DEVELOPMENT, INC., dba

ROYAL CONSTRUCTION COMPANY

4511 W. CHEYENNE AVE. SUITE 105

NO. LAS VEGAS, NEVADA 89032

702-873-7773 OFFICE

702-873-7776 FAX

702-768-7035 CELLULAR

BYOUNG@SPINNAKERHOMES.COM

From: Darline Reeder [mailto:dreeder@LasVegasNevada.GOV]

Sent: Wednesday, October 27, 2010 11:37 AM

To: Ben Young

Subject: (partial) refund for ~~VAC-36478~~ **SDR-38833**

I have been given the go ahead for starting the refund process for your application ~~VAC-36478~~ **SDR-38833**, which is now a Minor Review and is no longer a Public Hearing case. The Notification/Advertising fee of \$500. and the Recordation fee of \$30. can be refunded; I just need some pertinent information from you.

Please advise me of your request for the refund of \$530.00, the company from which the original fee was paid, the check number (copy of same if available), and also the current address & to whom the refund is to be sent.

You can either email me at address below, or fax the Department, 385-7268.

Please let me hear from you soon. Thank-you.

Darline Reeder, OSII

City of Las Vegas

Planning & Development

702.229.4605

Darline Reeder

From: Steve Gebeke
Sent: Thursday, October 21, 2010 9:59 AM
To: Darline Reeder
Cc: Carman Burney
Subject: FW: SDR-38833

Please refund the notification and recordation fees only. Thanks.

Steve Gebeke, AICP

Planning Supervisor
Department of Planning and Development
City of Las Vegas
Office (702) 229-5410
Fax (702) 385-7268
sgebeke@lasvegasnevada.gov

From: Romeo Gumarang
Sent: Monday, October 18, 2010 10:22 AM
To: Steve Gebeke
Subject: SDR-38833

Steve,
The above case is now a minor review. It will need a refund of the notification and recordation fees.

Romeo

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

October 15, 2010

Mr. Ben Young
Spinnaker Homes VII, LLC
4511 West Cheyenne Avenue, Suite #105
North Las Vegas, Nevada 89032

**RE: SDR-38833 - MINOR SITE DEVELOPMENT PLAN REVIEW
ADMINISTRATIVE CYCLE - NOVEMBER 2010**

Dear Mr. Young:

Your request for a Minor Site Development Plan Review FOR A DAY CARE PLAYGROUND on 0.12 acres at 6690 Grand Montecito Parkway (APN 125-20-711-014), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross), will be considered administratively by the Planning and Development Department staff.

Staff will determine within thirty (30) days of the date of this letter whether or not your request will be approved as submitted. We will notify you in writing as to our determination after we have reviewed the details of the request.

If you have any questions or need additional information please do not hesitate to contact me at (702) 229-6301.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lais Tarkanian
Steven D. Rass
Ricki Y. Barlow
Stavros S. Anthany
City Manager
Elizabeth N. Fretwell



CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-38833

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEUMUS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RONEUMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RONEUMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR
07/12/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-38833 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: S.B.A. DEVELOPMENT, INC. - OWNER: SPINNAKER HOMES VII, LLC - Request for a Site Development Plan Review FOR A DAY CARE PLAYGROUND on 0.12 acres at 6690 Grand Montecito Parkway (APN 125-20-711-014), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

PLANNING COMMISSION: *AUGUST 26, 2010*

CITY COUNCIL: *OCTOBER 6, 2010*

PLANNING SUPERVISOR: *STEVE GEBEKE*



PUBLIC HEARING

Comments Due: *JULY 27, 2010*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Report Date 07/12/2010 05:05 PM

Submitted By

Page 1

A/P # 38833 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	07/12/2010 10:55	970634	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0
Dept of Commerce	# Plans	0
Priority	☒ Auto Reviews	Bill Group

Valuation

Declared Valuation	0.00
Calculated Valuation	0.00
Actual Valuation	0.00

Description of Work

SDR-38833 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: S.B.A. DEVELOPMENT INC - OWNER: SPINNAKER HOMES VII LLC - Request for a Site Development Plan Review FOR A DAY CARE PLAYGROUND at 6690 Grand Montecito Parkway (APN 125-20-711-014), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

Parent A/P #

Project #	38833	Project/Phase Name	CENTENNIAL BUSINESS PARK DAY C	Phase #	
Size/Area	0.12 ACRE	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 12520711014

Location

Owner/Tenant

Contact ID	AC1609827	Name	SPINNAKER HOMES VII L L C	Organization	% S AIZENBERG
Mailing Address	4511 W CHEYENNE AVE #105			State/Province	NV
City	NO LAS VEGAS			Country	☐ Foreign
ZIP/PC	89032-2439			Evening Phone	
Day Phone				Mobile #	
Fax					

A/P Linked Addresses

No Addresses are linked to this Application
6690 GRAND MONTECITO PKWY

Linked Addresses

No Addresses are linked to this Application

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

12520711014

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 07/12/2010 05:05 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity APPL Contact ID AC1797544 ☐ Foreign
Effective Expire
Name SBA DEVELOPMENT INC
Day Phone (702)873-7773 x215 Eve Phone Organization
Pager PIN # Position
Fax Mobile (702)873-7776 Profession
E-Mail
Address 4511 W CHEYENNE AVE
SUITE 105
LAS VEGAS, NV 89032
Seasonal Addr
Valid From To
Comments No Comments

Primary N Capacity APPL Contact ID BEN YOUNG ☐ Foreign
Effective Expire
Name BEN SBA ROYAL MANAGING MEMBER
Day Phone (702)833-7773 x 215 Eve Phone Organization
Pager PIN # Position
Fax Mobile (702)873-7776 Profession
E-Mail
Address 4511 W CHEYENNE AVE
SUITE 105
NLV, NV 89032
Seasonal Addr
Valid From To
Comments No Comments

Primary Y Capacity OWNER Contact ID AC1609827 ☐ Foreign
Effective Expire
Name SPINNAKER HOMES VII L L C
Day Phone Eve Phone Organization % S AIZENBERG
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 4511 W CHEYENNE AVE #105
NO LAS VEGAS, NV 89032-2439
Seasonal Addr
Valid From To
Comments No Comments

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	U		500.00
RECORDING OF NOTICE OF ZONING ACTION	U		30.00
PROCESSING FEE	U		500.00
Total Unpaid	1030.00	Total Paid	0.00

Report Date 07/12/2010 05:05 PM

Submitted By

Page 3

Inspections

There are no Inspections for this Report

Review Activities

Review #	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
----------	-------------	---	--------	--------	--------	---------	-----------	---------

Activity/Review Details

Detail	SUBMITTAL CHECKLIST (SDR)	Modified By	LMAYNARD	Modified Date/Time	07/12/2010 10:55
Comments	No Comments				

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y	Pre-Application Conference Checklist	Y	Site Plans (19 Folded Blue Lines, 1 Rolled Color)
Y	Application/Petition Form	Y	Landscape Plan
Y	Deed and Legal Description	Y	Building Elevations (2 Folded, 1 Rolled Color)
Y	Justification Letter	N	Floor Plan (1 Folded, 1 Rolled)
N	Color and Material Board	Y	Laser Print Site Plan
Y	DINA (Not Always Required)	N	Laser Print Floor Plan
Y	Statement of Financial Interest	Y	Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions

Condition	Approval Supervisor Required	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
-----------	------------------------------	----------------------	---------------	------------	--------------	----------

Z-LEGAL				970634	07/12/2010 10:55	
N						

Project #	AP Type	Status	Stage	Relation
-----------	---------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

Report Date 07/12/2010 05:05 PM

Submitted By

Page 4

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

Y Parent Project link required?

Y Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

Public, Non-Public, AdminPUBLC

If yes, when does it need to be reviewed?

Staff Recommendation

Meeting Information

Meeting Info
Meeting Date
Comments
Added By

Meeting Type

Add Date

Meeting Status

Modified By

Modified Date

YES Votes

NO Votes

ABSTENTIONS

08/26/2010

PC

SCHEDULED

0

0

0

LMAYNARD

07/12/2010

Template Type/AP #

AP Type

Status

Stage

No children exist for this project

Employee
Employee ID

Last

First

MI

Comments

No Employee Entries

Log
Action
Comments

Description

Entered By

Start

Stop

Hours

No Log Entries

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: ROYAL CONSTRUCTION COMPANY
 Project Address (Location) 6690 GRAND MONTEGATO PARKWAY
 Project Name CENTENNIAL BUSINESS PARK DAY CARE Proposed Use _____
 Assessor's Parcel #(s) 125-20-711-014 Ward # C
 General Plan: existing TC proposed _____ Zoning: existing TC proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 0.12 Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER SPINNAKER HOMES VII LLC Contact BEN YOUNG
 Address 4511 W. CHEYENNE AVE. SUITE 105 Phone: 873-7773 Fax: 873-7776
 City N. LAS VEGAS State NV Zip 89032
 E-mail Address BYOUNG@SPINNAKERHOMES.COM

APPLICANT S.B.A. DEVELOPMENT INC. DBA Contact BEN YOUNG
ROYAL CONSTRUCTION CO. MANAGING MEMBER
 Address 4511 W. CHEYENNE AVE. SUITE 105 Phone: 873-7773 Fax: 873-7776
 City N. LAS VEGAS State NV Zip 89032
 E-mail Address BYOUNG@SPINNAKERHOMES.COM

REPRESENTATIVE SBA/ROYAL MANAGING MEMBER Contact BEN YOUNG
 Address 4511 W. CHEYENNE AVE SUITE 105 Phone: 873-7773 Fax: 873-7776
 City N. LAS VEGAS State NV Zip 89032
 E-mail Address BYOUNG@SPINNAKERHOMES.COM

Property Owner Signature*

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name BEN YOUNG

Subscribed and sworn before me

This 30th day of JUNE, 2010

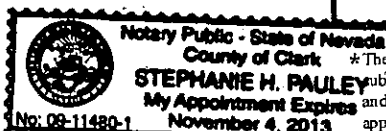
Stephanie H. Pauley

Notary Public in and for said County and State

FOR DEPARTMENT USE ONLY

Case #	<u>SDR-38833</u>
Meeting Date:	<u>8/26/10</u>
Total Fee:	<u>1030.00</u>
Date Received:*	<u>7/12/10</u>
Received By:	<u>LMH</u>

RECEIVED



*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-38833** APN: 125-20-711-014

Name of Property Owner: SPINNAKEN HOMES VII LLC

Name of Applicant: S.B.A. DEVELOPMENT, INC DBA ROYAL CONST. CO, MANAGING MEMBER

Name of Representative: BEN YOUNG

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

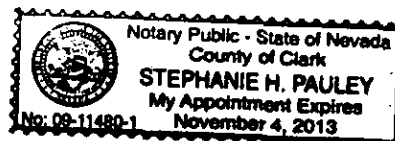
Signature of Property Owner: _____

Print Name: BEN YOUNG

Subscribed and sworn before me

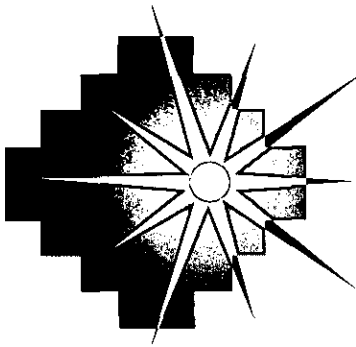
This 30th day of June, 2010

Notary Public in and for said County and State



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JUL 12 2010



ROYAL CONSTRUCTION COMPANY

Contractor's License #35409

6-15-2010

BEN STICKA, PLANNER II

CITY OF LAS VEGAS PLANNING AND DEVELOPMENT DEPARTMENT

731 S. FOURTH ST.

LAS VEGAS, NV. 89128

REGARDING: CENTENNIAL BUSINESS PARK, DAY CARE PLAYGROUND, PROJECT NO. 38473-C-10.

DEAR MR. STICKA,

S.B.A. DEVELOPMENT, INC., dba ROYAL CONSTRUCTION COMPANY AS MANAGING MEMBER OF SPINNAKER HOMES VII, LLC. IS REQUESTING A SITE DEVELOPMENT PLAN REVIEW FOR THE PURPOSE OF INSTALLING A PLAYGROUND AREA ON APN 125-20-711-014 ADJACENT TO THE BUILDING "A" TENNANT IMPROVEMENT FOR A DAY CARE FACILITY. DAY CARE PERMIT NUMBER 164564.

THE PLAYGROUND FACILITY WILL CONSIST OF: PLAY AREA, PLAY EQUIPMENT, PERIMETER FENCING, SHADE STRUCTURE AND LANDSCAPING.

SPINNAKER HOMES VII, LLC 'S JUSTIFICATION FOR APPROVAL IS REQUESTED TO FACILITATE STATE REQUIREMENTS.

SHOULD YOU HAVE ANY QUESTIONS OR COMMENTS REGARDING THIS REQUEST, PLEASE DO NOT HESITATE TO CONTACT ME.

BEST REGARDS,

S.B.A. DEVELOPMENT, INC., dba

ROYAL CONSTRUCTION COMPANY

BEN YOUNG

CONSTRUCTION ADMINISTRATOR

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JUL 12 2010

SDR-38833



**LAS VEGAS VALLEY
WATER DISTRICT**

1001 South Valley View Boulevard
Las Vegas, NV 89153
(702) 870-2011 • lvwd.com

July 12, 2010

S.B.A. Development, Inc.
4511 W. Cheyenne Avenue, Suite 150
North Las Vegas, NV 89032-2439

Attention: Ben Young

SUBJECT: GRAND MONTECITO PARKWAY 6690 – 2 SERVICE ADJUSTMENTS

As previously arranged with the Engineering Services Division, the District will adjust the two 8" DCDA's (sp #760123 & #760124) located on Grand Montecito Parkway @ Rome Boulevard, for the Montecito Town Center South Commercial Subdivision aka Centennial Business Park. The District has established a cost of \$7,900 to complete the work. The enclosed application must be signed and returned with the applicable fees to the Development Services Office.

If you have any questions, please contact Debbie Sommerfeld at 258-3291.

Sincerely,

for Debbie Sommerfeld
Robert D. Baggs, Jr.

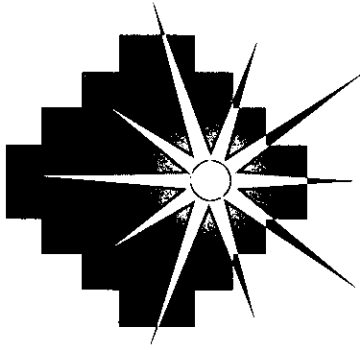
Development Services Administrator

RDB/DJS

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JUL 12 2010

SDR-38833



ROYAL CONSTRUCTION COMPANY

Contractor's License #35409

July 1, 2010

City of Las Vegas

Planning & Development Services

731 South Fourth Street

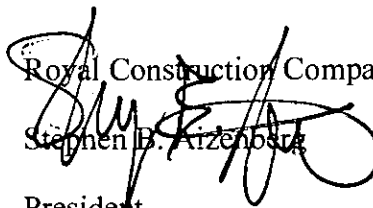
Las Vegas, NV 89101

Attn: Steve Swanton, AICP, Senior Planner

John Grider, Planner I

To Whom It May Concern:

Construction Administrator, Ben Young is authorized to act on behalf of S.B.A. Development, Inc. for all City of Las Vegas business pertaining to A Step Ahead Early Childhood Learning Academy.

Royal Construction Company

Stephen B. Arizberg
President

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JUL 12 2010

SDR-38833

BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

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FEB 20 2004

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: C12-04351-B-060955

DATE ISSUED: 02/18/04

TYPE OF LICENSE: CONTRACTOR

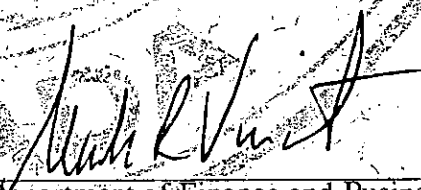
BUSINESS LOCATION: 4511 W CHEYENNE AV 105

ISSUE TO:

ROYAL CONSTRUCTION COMPANY
4511 W CHEYENNE AV STE 105
NORTH LAS VEGAS NV 89032

PRINCIPAL(S)

AIZENBERG, STEPHEN B. PRES 100%
MALIN, DAVID E. TREAS


Director, Department of Finance and Business Services

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Post in a conspicuous place.

JUL 12 2010





20081229-0002322

Fee: \$17.00 RPTT: EX#003

N/C Fee: \$25.00

12/29/2008 13:19:41

T20080323644

Requestor:

NEVADA TITLE LAS VEGAS

Debbie Conway KXC

Clark County Recorder Pgs: 5

A.P. N.: 125-20-711-006 (a portion of)
Exempt#: 3.

Accommodation

Mail tax bill to and
When recorded mail to:
Spinnaker Homes VII, LLC
Attn: Stephen B. Aizenberg
4511 W Cheyenne Ave. #105
North Las Vegas, NV 89032

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH, That **Spinnaker Homes VII, LLC**, a Nevada **limited liability company**, for a valuable consideration, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and Convey to **Spinnaker Homes VII, LLC**, a Nevada **limited liability company**, all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

**SEE LEGAL DESCRIPTION ATTACHED HERETO
AND MADE A PART HEREOF AS EXHIBIT "A".**

SUBJECT TO:

1. Taxes for the current fiscal year, not delinquent, including personal property taxes of any former owner, if any;
2. Restrictions, conditions, reservations, rights, rights of way and easements now of record, if any, or any that actually exist on the property.

TOGETHER WITH all singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

RECEIVED

JUL 12 2010

IN WITNESS WHEREOF, this instrument has been executed this 22nd day of December, 2008

Spinnaker Homes VII, LLC, a
Nevada limited liability company

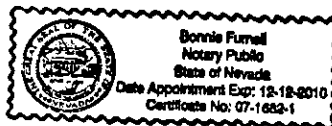
By: S.B.A. Development, Inc. a
Nevada corporation

By: [Signature]
Stephen B. Aizenberg, President

State of NEVADA }
County of Clark } ss:

This instrument was acknowledged before me on December 22nd, 2008
by Stephen B. Aizenberg as President of S.B.A. Development, Managing Member
of Spinnaker Homes VII LLC, a Nevada limited liability company

Bonnie Funnell
NOTARY PUBLIC
My Commission Expires: December 12th, 2010



Bonnie Funnell
12-12-2010

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JUL 12 2010



7425 Peak Drive
Las Vegas, Nevada 89128
(702) 933-7000
Fax (702) 256-0151

JOB NO: CN080922
DATE: OCTOBER 21, 2008
BY: TKB
PR BY: TKB
PAGE 1 OF 1

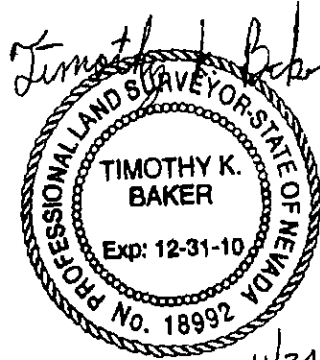


EXHIBIT "A"

EXPLANATION:

THIS LEGAL DESCRIBES A PARCEL OF LAND GENERALLY LOCATED SOUTHEASTERLY OF DEER SPRINGS WAY AND GRAND MONTECITO PARKWAY.

LEGAL DESCRIPTION

BEING A PORTION OF LOT 1 OF MONTECITO TOWN CENTER SOUTH AS SHOWN ON THAT CERTAIN PLAT MAP RECORDED AS BOOK 113, PAGE 38 OF PLATS, CLARK COUNTY OFFICIAL RECORDS. SITUATED WITHIN THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 20, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 1, SAME BEING ON THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SAID SECTION 20; THENCE NORTH 89°55'09" WEST DEPARTING SAID EAST LINE AND ALONG THE NORTHERLY BOUNDARY LINE OF SAID LOT 1 A DISTANCE OF 496.34 FEET; THENCE SOUTH 00°31'44" WEST DEPARTING SAID NORTHERLY BOUNDARY LINE, 169.87 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 00°31'44" WEST, 22.15 FEET; THENCE SOUTH 32°54'37" EAST, 13.13 FEET; THENCE SOUTH 62°20'28" WEST, 102.09 FEET TO THE EASTERLY RIGHT-OF-WAY OF GRAND MONTECITO PARKWAY AND THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 760.00 FEET A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 71°17'56" WEST; THENCE NORTHWESTERLY, 68.75 FEET ALONG SAID CURVE AND EASTERLY RIGHT-OF-WAY THROUGH A CENTRAL ANGLE OF 05°11'00"; THENCE NORTH 81°56'06" DEPARTING SAID EASTERLY RIGHT-OF-WAY, 103.59 FEET TO THE POINT OF BEGINNING;

CONTAINING 5,144 SQUARE FEET (0.12 ACRES), MORE OR LESS AS DETERMINED BY COMPUTER METHODS.

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JUL 12 2010

ATTACHMENT TO DEED

ACCOMMODATION RECORDING INSTRUCTIONS,
NOTICE AND WAIVER PURSUANT TO N.R.S. 692A.210
AND INDEMNITY AGREEMENT

TO: NEVADA TITLE COMPANY DATE: ESCROW/ORDER # Accommodation

FROM: Spinnaker Homes VII, LLC, a Nevada limited liability company

The documents listed below are for recording in the Recorder's Office as an accommodation only. You are to make no demand or inquiry in connection therewith. The undersigned understand that Nevada Title Company ("NTC") is not searching the public records in connection with any property affected thereby, and makes no assurances that the parties have any interest in any property described therein. Further, NTC has not examined the document(s), and makes no assurances as to their validity or effect on title. These documents are being delivered to the Recorder's Office only as a courtesy to the undersigned.

The undersigned also acknowledge that NTC will not now, nor will it in the future, receive any benefit, whether business or otherwise, as a result of the recordation of said document(s). The undersigned further acknowledge that NTC is unwilling to carry out the herein provided instructions without, and in the normal course of business would not do so without an Indemnity Agreement from the undersigned.

NOW THEREFORE, the undersigned do herein and hereby agree that, in consideration of NTC recording said documents, the undersigned will fully and forever protect, defend save harmless and otherwise indemnify NTC from and against any and all liabilities, responsibilities, loss, costs, damages, expenses, charges and fees including but not by way of limitation attorney's fees which it may suffer, expend or incur, directly or indirectly, under by way of, arising out of, or as a consequence of its fulfillment of these instructions and/or the recordation of the herein below described document.

THE UNDERSIGNED are responsible for the Clark County Recorder's Office documentation requirements, including (but not limited to) attaching a Declaration of Value form to any document recorded to transfer real property (or any right, title or interest therein).

The undersigned shall pay applicable Recording Fees and Transfer Tax (check payable to the "Clark County Recorder" to cover the charges concerning: i) the Recorder's Fee of \$14.00 for the first page, and \$1.00 for each additional page, of a document; ii) an additional fee of \$3.00 for any single-page document that is considered a "double-index" document; iii) real property transfer tax of \$5.10 per \$1,000.00 of equitable value in the property).

<u>DOCUMENT</u>	<u>1ST PARTY</u>	<u>2ND PARTY</u>	<u>TRANSFER TAX</u>	<u>RECORDING FEE</u>
Grant Deed	Spinnaker Homes VII	Spinnaker Homes VII	EXEMPT 3	45.50

FURTHERMORE, if a Lender's policy of title insurance is being issued but no Owner's title policy is being issued, then: notice is hereby given, as required in NRS 692A.210 that a mortgagee's title insurance policy is to be issued to your mortgage lender. The policy does not afford title insurance protection to you in the event of a defect or claim of defect in title to the real estate you own or are acquiring. An owner's title insurance policy affording protection to you in the amount of your purchase price, or for the amount of your purchase price plus the cost of any improvements, which you anticipate making, may be purchased by you. NRS 692A.210 requires that you sign the statement printed below if you do not wish to purchase an owner's title insurance policy.

WE HAVE RECEIVED THE FOREGOING NOTICE, AND WAIVE OUR RIGHT TO PURCHASE AN OWNER'S TITLE INSURANCE POLICY FOR OUR PROTECTION.

INDEMNITOR

Stephen B. Aizenberg

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JUL 12 2010

**State of Nevada
Declaration of Value**

1. Assessor Parcel Number(s)

- a) 125-20-711-006 (a portion of)
b) _____
c) _____
d) _____

2. Type of Property:

- ☐ a) Vacant Land ☐ b) Sgl. Fam. Residence
☐ c) Condo/Twnhse ☐ d) 2-4 Plex
☐ e) Apt. Bldg. ☒ f) Comm'l/Ind'l
☐ g) Agricultural ☐ h) Mobile Home
☐ i) Other _____

**FOR RECORDER'S OPTIONAL USE
ONLY**

Document/Instrument #: _____
Book: _____ Page: _____
Date of Recording: _____
Notes: ok Per C Ritter

3. Total Value/Sales Price of Property

\$0.00

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

\$0.00

Real Property Transfer Tax Due

\$0.00

4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090,
Section: _____

- b. Explain Reason for
Exemption: _____

TRANSFER TO SHOW NEW LEGAL DESCRIPTION

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____ Capacity: GRANTOR/SELLER

Signature: _____ Capacity: GRANTEE/BUYER

**SELLER (GRANTOR) INFORMATION
(REQUIRED)**

**BUYER (GRANTEE) INFORMATION
(REQUIRED)**

Print Name: Spinnaker Homes VII, LLC, a
Nevada limited liability company
Address: 4511 W Cheyenne Ave. #105
City/State/Zip: North Las Vegas, NV 89032

Print Name: Spinnaker Homes VII LLC, a
Nevada limited liability company
Address: 4511 W Cheyenne Ave. #105
City/State/Zip: North Las Vegas, NV 89032

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company Esc. #: Accommodation
Address: 2500 N Buffalo, Suite 150
City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

RECEIVED
JUL 12 2010



M.W. Schofield, Assessor

REAL PROPERTY PARCEL RECORD

[Click Here for a Print Friendly Version](#)

[Assessor Map](#)
[Aerial View](#)
[Building Sketch](#)
[Ownership History](#)
[Neighborhood Sales](#)
[New Search](#)

GENERAL INFORMATION	
PARCEL NO.	125-20-711-014
OWNER AND MAILING ADDRESS	SPINNAKER HOMES VII L L C %S AIZENBERG 4511 W CHEYENNE AVE #105 NO LAS VEGAS NV 89032-2439
LOCATION ADDRESS CITY/UNINCORPORATED TOWN	LAS VEGAS
ASSESSOR DESCRIPTION	MONTECITO TOWN CENTER SOUTH PLAT BOOK 113 PAGE 38 PT LOT 1 SEC 20 TWP 19 RNG 60
RECORDED DOCUMENT NO.	* 20081229:02322
RECORDED DATE	12/29/2008
VESTING	NO STATUS
COMMENTS	SF 176-65

*Note: Only documents from September 15, 1999 through present are available for viewing.

ASSESSMENT INFORMATION AND SUPPLEMENTAL VALUE	
TAX DISTRICT	200
APPRAISAL YEAR	2009
FISCAL YEAR	10-11
SUPPLEMENTAL IMPROVEMENT VALUE	0
SUPPLEMENTAL IMPROVEMENT ACCOUNT NUMBER	N/A

REAL PROPERTY ASSESSED VALUE			
FISCAL YEAR	2009-10	2010-11	
LAND	42077	21039	RECEIVED
IMPROVEMENTS	645	3053	
PERSONAL PROPERTY	0	0	JUL 12 2010

EXEMPT	0	0
GROSS ASSESSED (SUBTOTAL)	42722	24092
TAXABLE LAND+IMP (SUBTOTAL)	122063	68834
COMMON ELEMENT ALLOCATION ASSD	0	0
TOTAL ASSESSED VALUE	42722	24092
TOTAL TAXABLE VALUE	122063	68834

[Click here for Treasurer Information regarding real property taxes.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION	
ESTIMATED SIZE	0.12 Acres
ORIGINAL CONST. YEAR	2007
LAST SALE PRICE MONTH/YEAR	0
LAND USE	7-30 MINOR IMPROVEMENTS COMMERCIAL
DWELLING UNITS	0

NO RESIDENTIAL APPRAISAL RECORD FOR THIS PARCEL

ASSESSORMAP VIEWING GUIDELINES	
MAP	125207
	In order to view the Assessor map you must have Adobe Reader installed on your computer system. If you do not have the Reader it can be downloaded from the Adobe site by clicking the following button. Once you have downloaded and installed the Reader from the Adobe site, it is not necessary to perform the download a second time to access the maps. 

NOTE: THIS RECORD IS FOR ASSESSMENT USE ONLY. NO LIABILITY IS ASSUMED
AS TO THE ACCURACY OF THE DATA DELINEATED HEREON.



Government Center, 500 South Grand Central Parkway, Las Vegas, Nevada 89155-1101

702-455-3882 (INFORMATION)

JUL 12 2010

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Search...

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Center](#)[Election
Center](#)[Business
Center](#)[Licensing
Center](#)[Securities
Center](#)[Online
Services](#)
[My Data Reports](#) | [Business Entity Search](#) | [Login \(File Annual Lists\)](#) | [Login \(Data Reports\)](#)
SPINNAKER HOMES VII, LLC[New Search](#)[Printer Friendly](#)[Calculate List Fees](#)**Business Entity Information**

Status:	Active	File Date:	10/23/2002
Type:	Domestic Limited-Liability Company	Entity Number:	LLC13088-2002
Qualifying State:	NV	List of Officers Due:	10/31/2010
Managed By:	Managers	Expiration Date:	10/23/2502
NV Business ID:	NV20021132526	Business License Exp:	12/31/2010

Registered Agent Information

Name:	ROCHELLE WILSON, ESQ,	Address 1:	4511 W CHEYENNE AVE STE 105
Address 2:		City:	N LAS VEGAS
State:	NV	Zip Code:	89032
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Noncommercial Registered Agent		

[View all business entities under this registered agent](#)**Financial Information**

No Par Share Count:	0	Capital Amount:	\$ 0
----------------------------	---	------------------------	------

No stock records found for this company

Officers☐ Include Inactive Officers**Managing Member - S.B.A. DEVELOPMENT INC**

Address 1:	4511 W CHEYENNE AVE	Address 2:	STE 105
City:	NORTH LAS VEGAS	State:	NV
Zip Code:	89032	Country:	
Status:	Active	Email:	

Actions\Amendments[Click here to view 13 actions/amendments associated with this company](#)

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JUL 12 2010

**Las Vegas Valley Water District
APPLICATION FOR CONNECTION
AND REQUEST FOR SERVICE**

AGREEMENT NO. _____ SERVICE POINT # _____
BY: Linda P. 7/12/2010
CHECKED BY: [Signature]
JOB ORDER # 18603-1524 F/A# _____ DATE _____

Project Name: _____
Service Location(s): Grand Montecito Parkway - 6600 Block
Service Address: _____
Developer: SBA Development, Inc. (1437)
Social Security or Tax I.D. No.: 88-0292066
Billing Address: 4511 W. Cheyenne Avenue, Suite 105
North Las Vegas, NV 89032-2439
Telephone No. () 873-7773
Property Owner: Spinnaker Homes VII, LLC

FEES, CHARGES AND DEPOSITS

SERVICE CONNECTION INSTALLATION

COMPLETE SERVICE / SERVICE EXCLUDING METER (27301)

SIZE: _____ \$ _____

METERS ONLY (25700)

_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____

AUTOMATED METER READING DEVICE (AMR) (27301 R-7723)

_____ @ \$ _____ / ea. \$ _____

SERVICES > 2" INSTALLED BY PRIVATE CONTRACTOR

_____ * TYPE: _____ \$ **- 0 -**
_____ * TYPE: _____ \$ **- 0 -**

BACKFLOW PREVENTION (27301) (BY PRIVATE CONTRACTOR)

_____ * TYPE: _____ \$ _____
_____ * TYPE: _____ \$ _____

**Adjust+
INSTALLATIONS/REMOVALS ON ACTUAL COST BASIS - DEPOSIT (25703)**

SIZE: 2 * TYPE: 8" DCDA \$ 7,900

FACILITIES CONNECTION CHARGE (27312)

_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____

FRONTAGE CONNECTION CHARGE*

_____ LF @ \$ _____ / ea. \$ _____
_____ LF @ \$ _____ / ea. \$ _____
_____ LF @ \$ _____ / ea. \$ _____

OVERSIZING CHARGE (27313)

_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____

APPLICATION FEE (41300)

_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____

INSPECTION FEE (41301)

_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____
_____ * @ \$ _____ / ea. \$ _____

OTHER CHARGES / CREDITS:

_____ \$ _____

SUBTOTAL:

REGIONAL CONNECTION CHARGE (30601) ADD ONE:

BY _____ \$ _____
BY _____ \$ _____
BY _____ \$ _____

TOTAL: \$ 7,900.00

ACKNOWLEDGEMENT

Developer and Property Owner understand and agree:

1. Water service will be provided in accordance with the Las Vegas Valley Water District Service Rules.
2. All water delivered through a service connection will be metered and billed to the Developer until the Developer requests that the service be shut off. The use of idlers is prohibited. Meters must be installed by the Developers' contractor before any water is drawn through the service connection.
3. In the event of abandonment or cessation of construction, prepaid installation and connection charges may be used by the District to pursue completion of all or part of the project.
4. Location and elevation of service connections to be installed by the District must be identified (staked) by owner prior to installation. The cost of adjustment to location or elevation after installation will be borne by owner.
5. Service connection(s) identified on this application to be installed or removed on an actual cost basis are subject to audit of final cost. If final costs exceed the deposit amount, the property owner promises to pay the difference within 30 days after receipt of notice.
6. Failure to pay any charges when due will subject the property to a lien and/or discontinuance of water service.
7. If box is marked, see attached form for special pressure advisement. ☐

Developer: [Signature]
Signature: _____
Print or Type Name and Title: Ben Young, Construction Administrator
Property Owner: [Signature]
Signature: _____
Print or Type Name and Title: Ben Young, Construction Administrator

General Comments:

Adjust 2-8": DCDA SP# 760123 & 760124
SEE ENGINEERING SVC MEMO
SET COST TO ADJUST SVCS
APN: 125-20-711-007 thru 014

OFFICE USE

Fees Paid By: Dev CK #1390
Customer Will Stake By: _____ M/R # _____
Cross Street: @ Rome Boulevard
Cross Street: _____
Side of Street: East P.Z.: 2745
Q.S.: 125-20-SE Land Use: 20-335
Main Size / Type / Loc / DWG _____
Service Removal Requested For:
Service No. _____ Meter Size: _____
Service No. _____ Meter Size: _____
Service No. _____ Meter Size: _____

STATUS COMMENTS:
Installed w/ #110518-2008

***FRONTAGE CONNECTION CHARGE DISTRIBUTION**

23113	\$ _____	Refundable
27306	\$ _____	Retainable SRM NO. _____
24111	\$ _____	
24111	\$ _____	
24111	\$ _____	
27309	\$ _____	District

CASHIER'S VALIDATION

PAID LUNARD PM 3:25

RECEIVED
JUL 28 2010
Development Services-LVWD

RECEIVED
JUL 29 2010