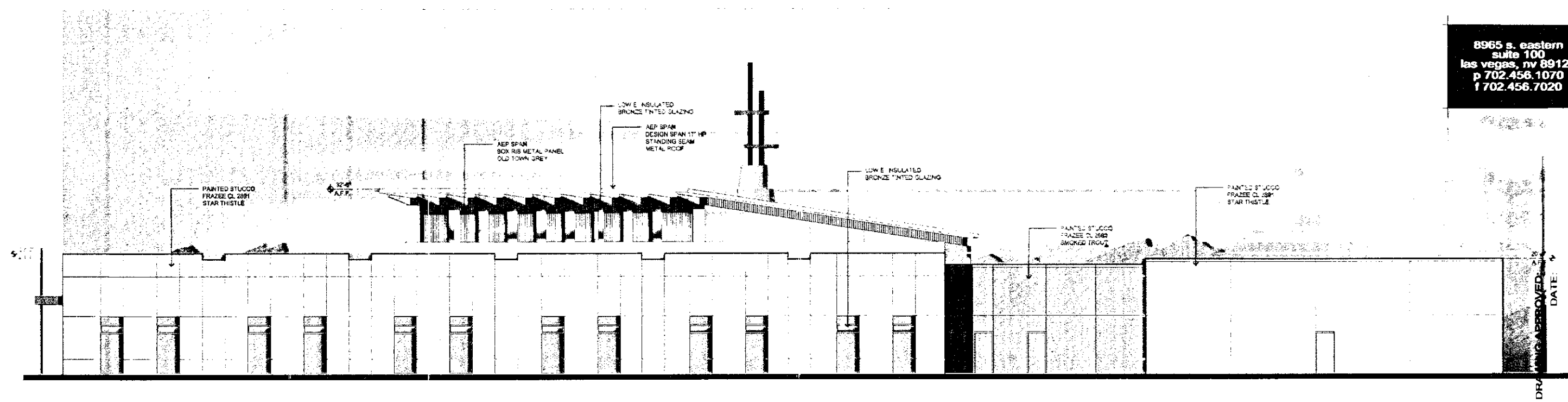
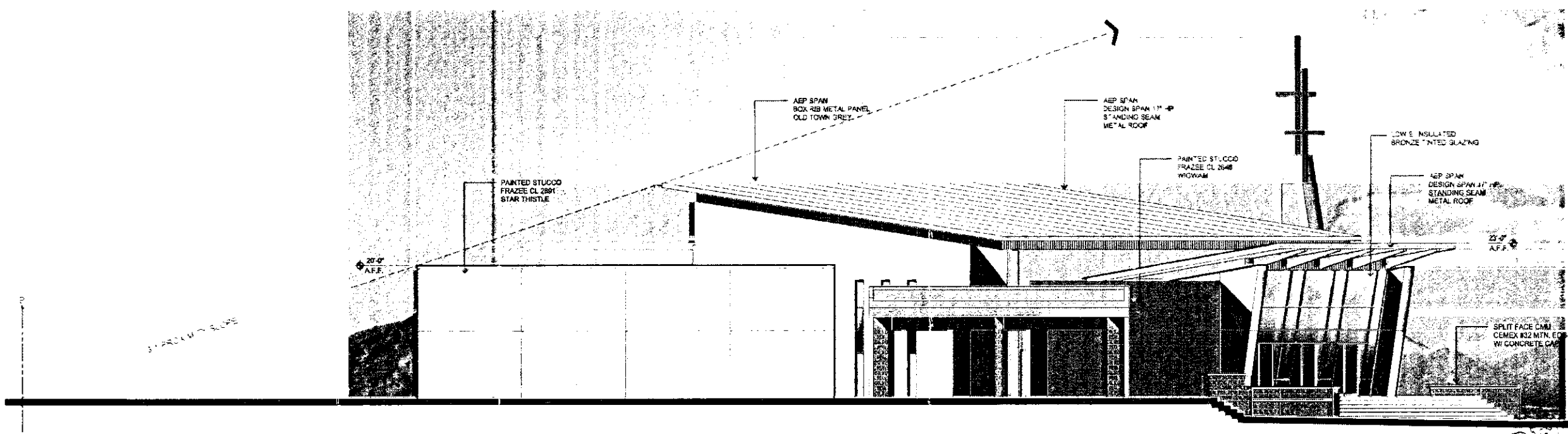


8965 s. eastern
suite 100
las vegas, nv 89123
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f 702.456.7020



EAST ELEVATION



NORTH ELEVATION



ELEVATIONS
UNITY BAPTIST CHURCH
545 MARION DRIVE

RECEIVED
JUL 12 2010

EXTERIOR ELEVATIONS

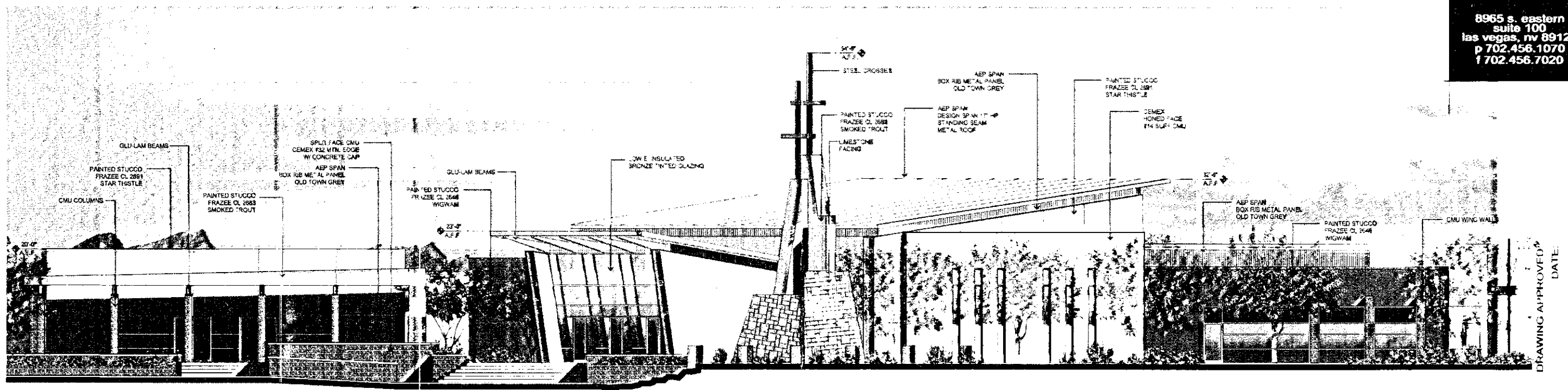
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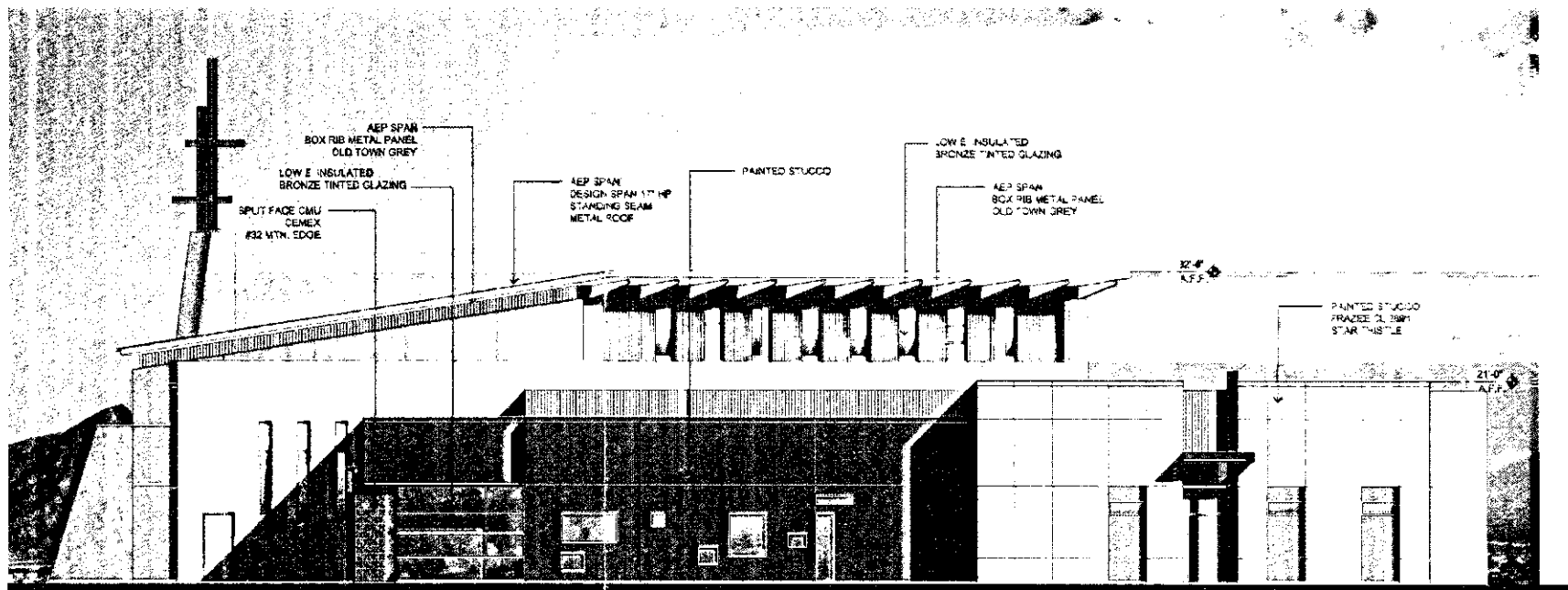
06-21-10

SHT A5.2

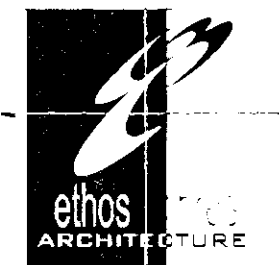
8965 s. eastern
 suite 100
 las vegas, nv 89123
 p 702.456.1070
 f 702.456.7020



WEST ELEVATION



SOUTH ELEVATION



ELEVATIONS

UNITY BAPTIST CHURCH
 545 MARION DRIVE

RECEIVED
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EXTERIOR ELEVATIONS

SCALE : 1/8"=1'-0"

0 4 8 16 06-21-10

SHT A5.1



SHOWCASE
CONTRACTING, LLC

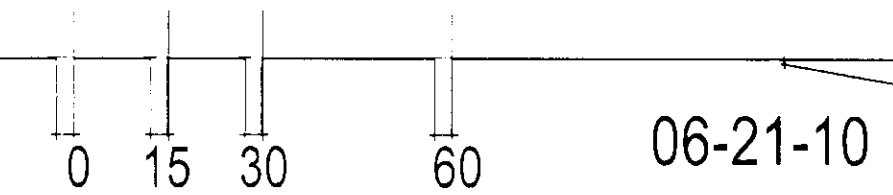
UNITY BAPTIST CHURCH
545 MARION DRIVE

SDR-38648 SHT A1.1
7/2010 ADMIN

SITE		PARKING ANALYSIS	
APN:	140-32-501-001 & 140-32-501-002	PER CLV TITLE 19 = LINEAL INCHES OF PEW / 20" PER SEAT = 13,180" / 20 = 659	
SIZE:	4.17 ACRES		
JURISDICTION:	CITY OF LAS VEGAS	PARKING REQUIRED:	1 SPACE / 4 SEATS = 165 PARKING SPACES
ZONING:	R-E	PARKING PROVIDED:	193 REGULAR SPACES + 7 HANDICAP SPACES = 200 TOTAL
USE:	RELIGIOUS FACILITY		
EXISTING BUILDING:	8,000 SF	F.A.R = 18.39%	
NEW BUILDING:	25,400 SF		
COVERED COURTYARD AREA:	2,670 SF		

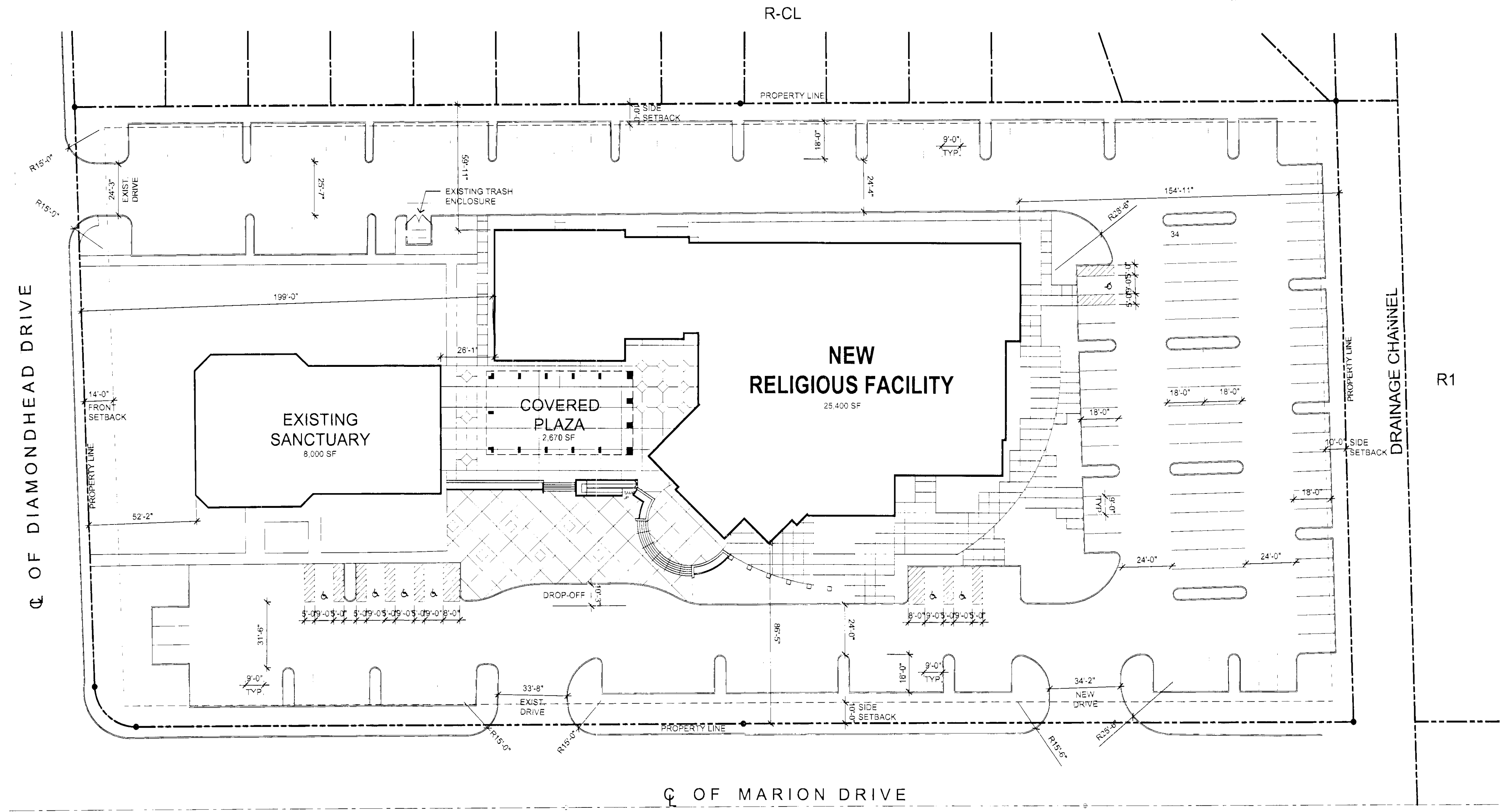
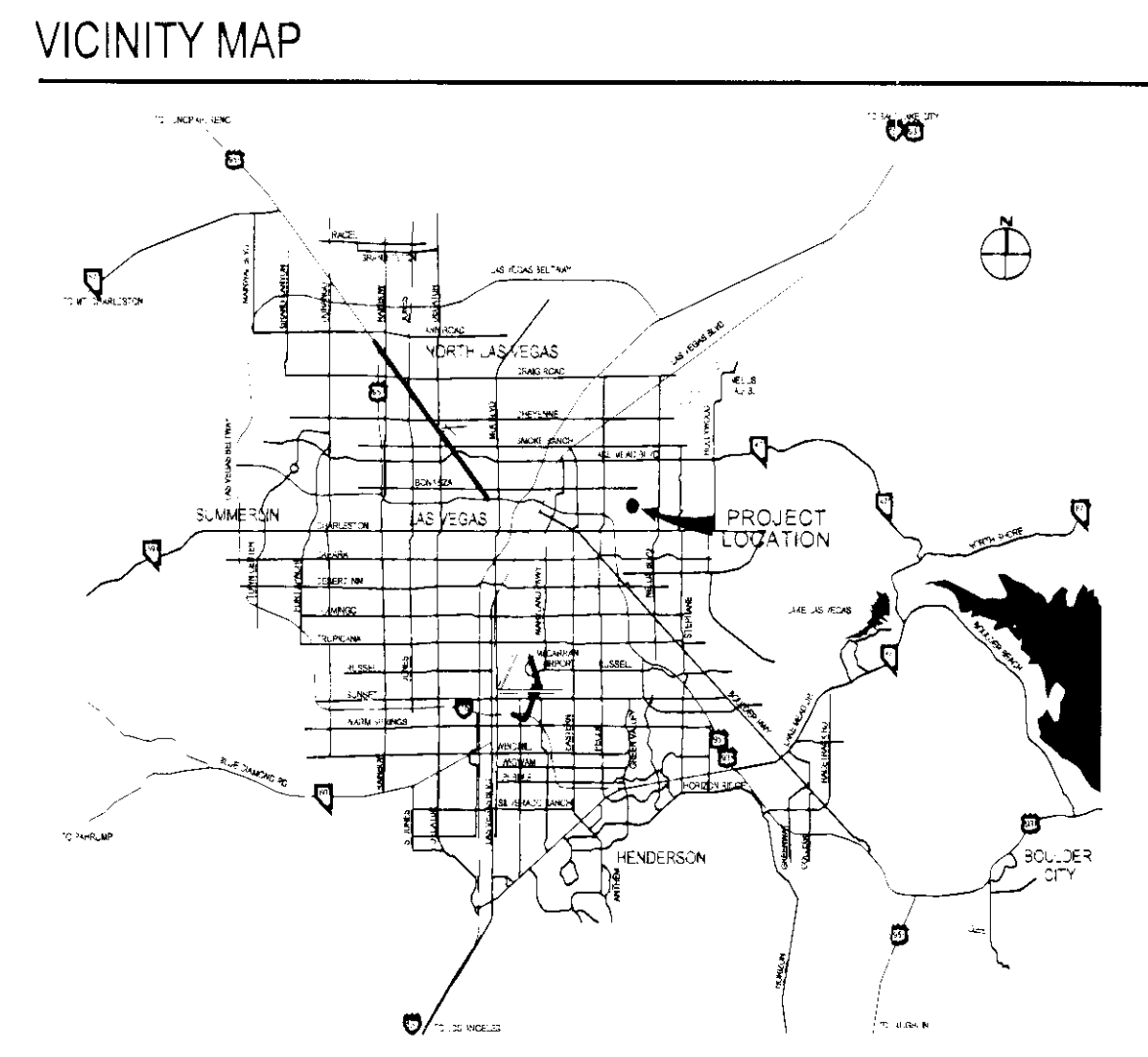
The map shows the Las Vegas metropolitan area and surrounding regions. Key features include:

- Highways:** I-15 (running north-south), I-215 (running north-south to the east), SR-169 (running east-west), and SR-63 (running north-south to the east).
- Cities and Towns:** North Las Vegas, Henderson, Boulder City, and parts of Las Vegas are labeled.
- Project Location:** A specific site is marked with a black dot and labeled "PROJECT LOCATION" in the eastern part of the map, near Henderson.
- Geographical Features:** The Colorado River is shown on the right side, flowing into Lake Mead.
- Infrastructure:** Various roads, including SR-169, SR-63, and SR-159, are depicted.
- Orientation:** A north arrow is located in the top right corner.



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suite 100
las vegas, nv 89123
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DATA		
SITE		PARKING ANALYSIS
APN:	140-32-501-001 & 140-32-501-002	PER CLV TITLE 19 = LINEAL INCHES OF PEW / 20" PER SEAT = 13,180" / 20 = 659
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EXISTING BUILDING:	8,000 SF	F.A.R = 18.39%
NEW BUILDING:	25,400 SF	
COVERED COURTYARD AREA:	2,670 SF	



DRAWING APPROVED: _____
DATE: _____



SITE PLAN

UNITY BAPTIST CHURCH
545 MARION DRIVE

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JUN 22 2010

SITE PLAN

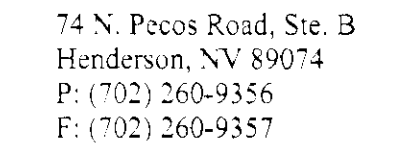
SCALE : 1"=30'-0"

0 15 30 60

06-21-10

SDR-38648
SUP-38649
2/2000 ADMIN

SHT A1.1



Consultant

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
	PROSOPIS X 'PHOENIX'	THORNLESS SOUTH AMERICAN HYBRID MESQUITE	54	24" BOX	STD. 4' TRUNK MIN.
	QUERCUS ILEX	HOLLY OAK	44	24" BOX	STD.
	VITEX AGNUS-CASTUS	CHASTE TREE	8	24" BOX	
SHRUBS					
	EUONYMUS FORTUNEI 'IVORY JADE'	IVORY JADE EUONYMUS	102	5 GAL	
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN TEXAS RANGER	44	5 GAL	
	SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	52	15 GAL 24" BOX	
GROUNDCOVERS					
	LANTANA SPECIES 'NEW GOLD'	NEW GOLD LANTANA	138	5 GAL	
	ROSEMARINUS 'HUNTINGTON CARPET'	'HUNTINGTON CARPET' SPREADING ROSEMARY	89	5 GAL	
	TEUCRIUM CHAMAEDRYS	BUSH GERMANDER	200	1 GAL	MIN. 18" O.C.
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	68	5 GAL	
ACCENTS					
	AGAPANTHUS AFRICANUS	LILY-OF-THE-NILE	28	5 GAL	
	CALLIANDRIA CALIFORNICA	BAJA FAIRY DUSTER	14	5 GAL	
	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	31	5 GAL	
	DASYLIRION QUADRANGULATUM	TOOTHLESS SOTOL	30	5 GAL	
	HESPERALOE PARVIFLORA 'RED'	RED YUCCA	31	5 GAL	
	LIRIOPE SPICATA	LILY TURF	74	1 GAL.	
OTHER					
	BOULDERS	'CHERRY MIST' BOULDERS FROM MINERAL PARK	15	2' - 3' DIAMETER	

LANDSCAPE NOTES:

1. CITY OF LAS VEGAS STANDARDS TO BE FOLLOWED.
2. ALL PLANTER AREAS TO RECEIVE A 2" LAYER OF ¾" SCREENED CRUSHED GRANITE ROCK GROUND COVER. ("HULA-APAI RED" COLOR, FROM MINERAL PARK DECORATIVE ROCK, CONTACT ROBIN MIKE, SON AT (702) 275-1377 or "REBEL RED" FROM KALAMAZOO MATERIAL, or OTHER COLOR APPROVED BY OWNER.)
3. PLANT QUANTITIES SHOWN ON PLANT SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES.

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Rev	Date	By	Description

Project Name:

UNITY BAPTIST CHURCH
545 MARION DRIVE
LAS VEGAS, NV

NYC LANDSCAPE PLAN

Drawn/Checked By

3C

Date _____

6/10/10

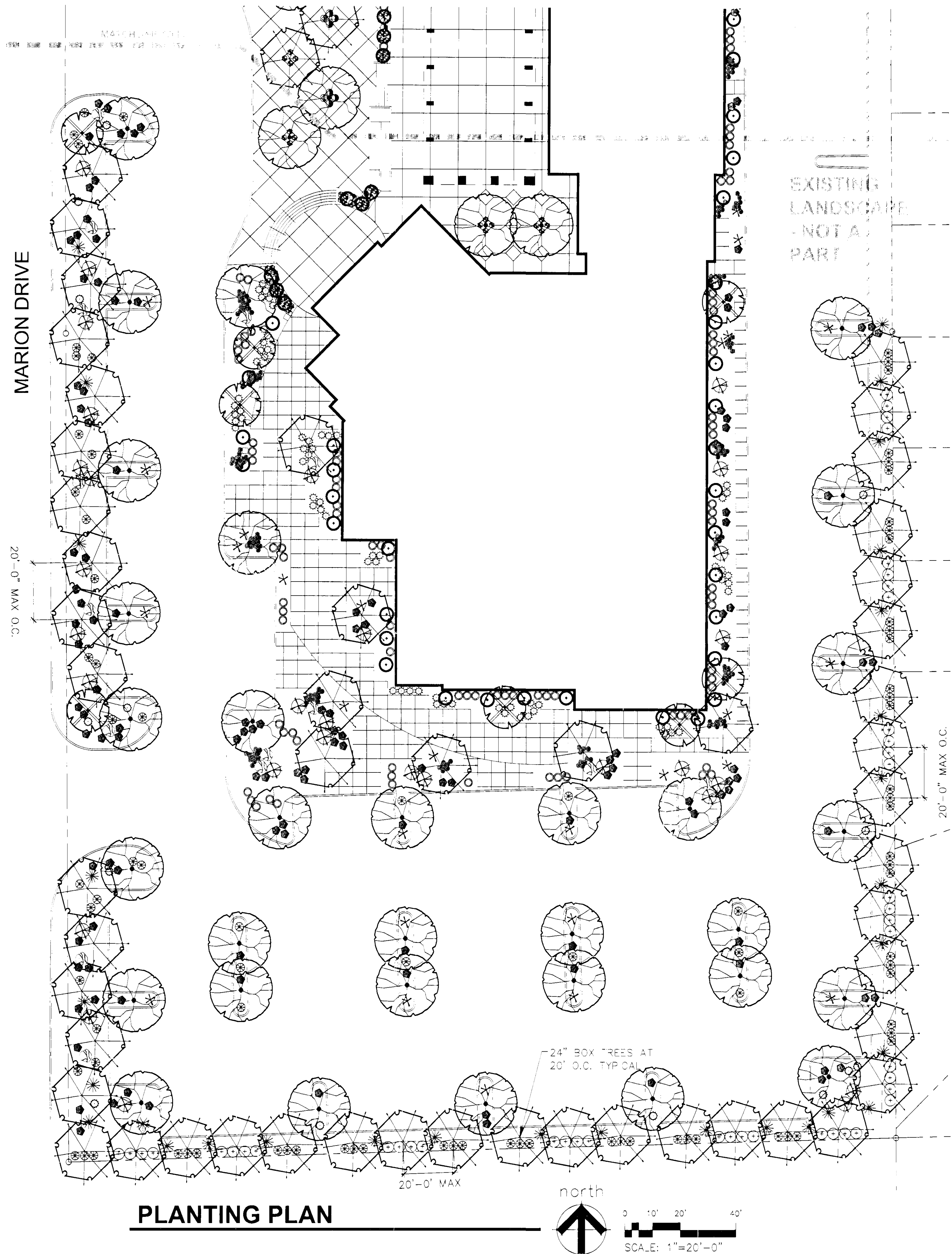
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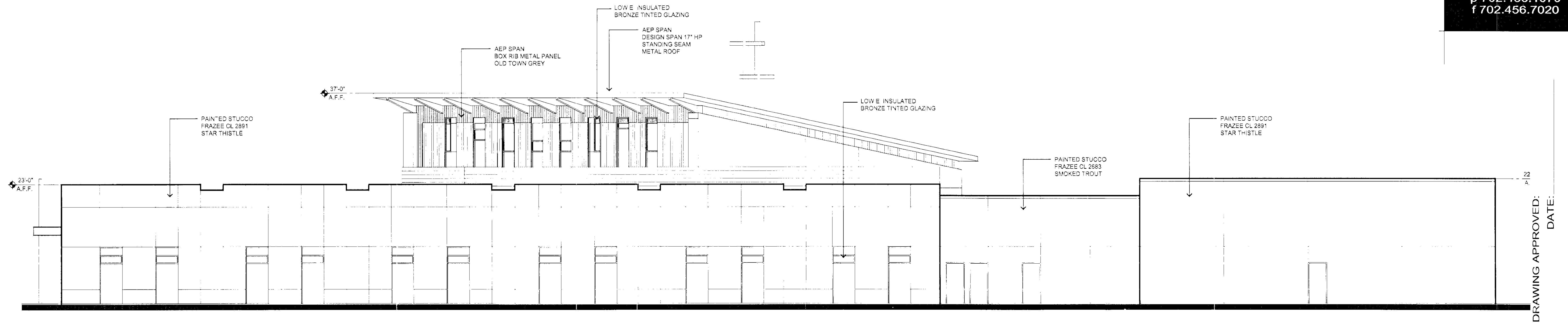
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SDR-38648
7/2010 ADMIN

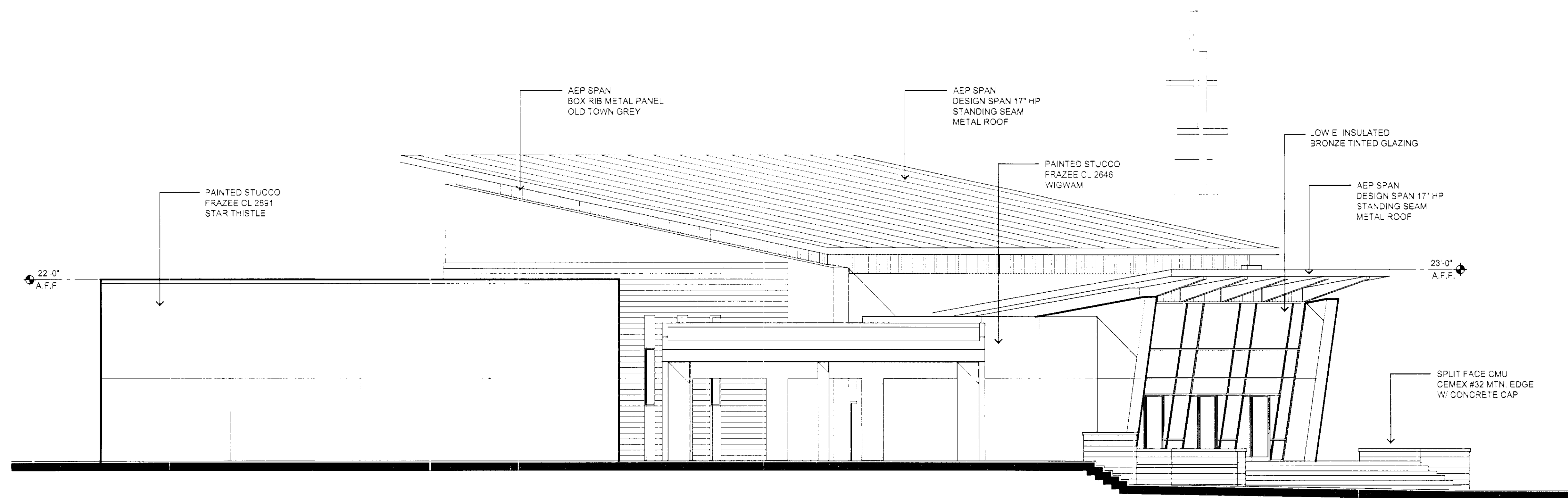
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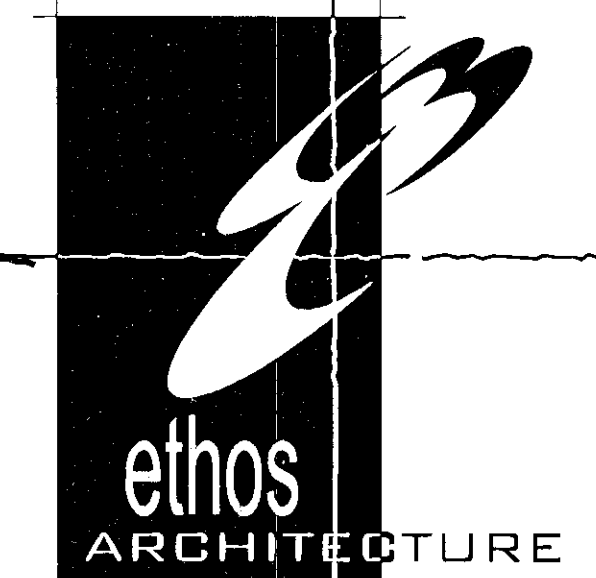
8965 s. eastern
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EAST ELEVATION



NORTH ELEVATION



ELEVATIONS

UNITY BAPTIST CHURCH
545 MARION DRIVE

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EXTERIOR ELEVATIONS

SCALE : 1/8"=1'-0"

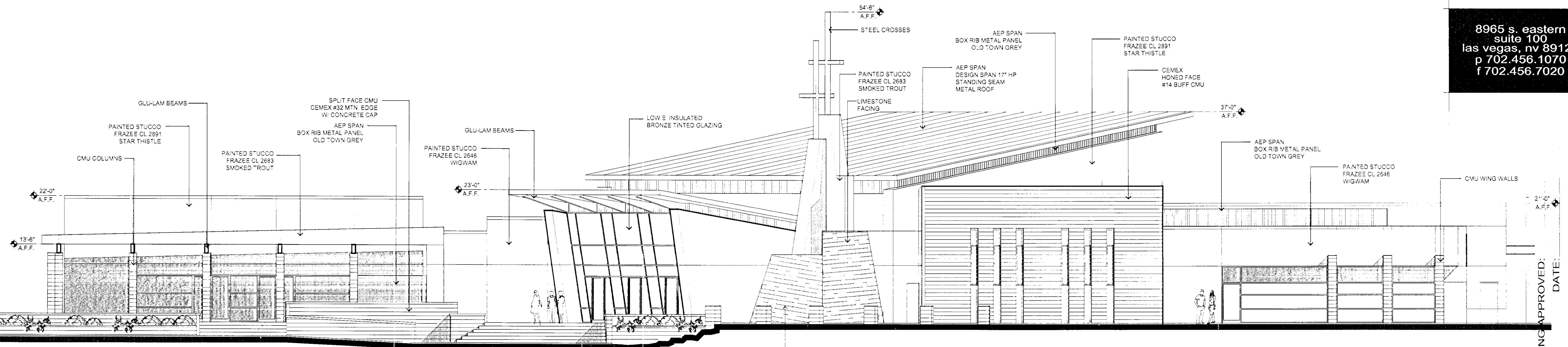
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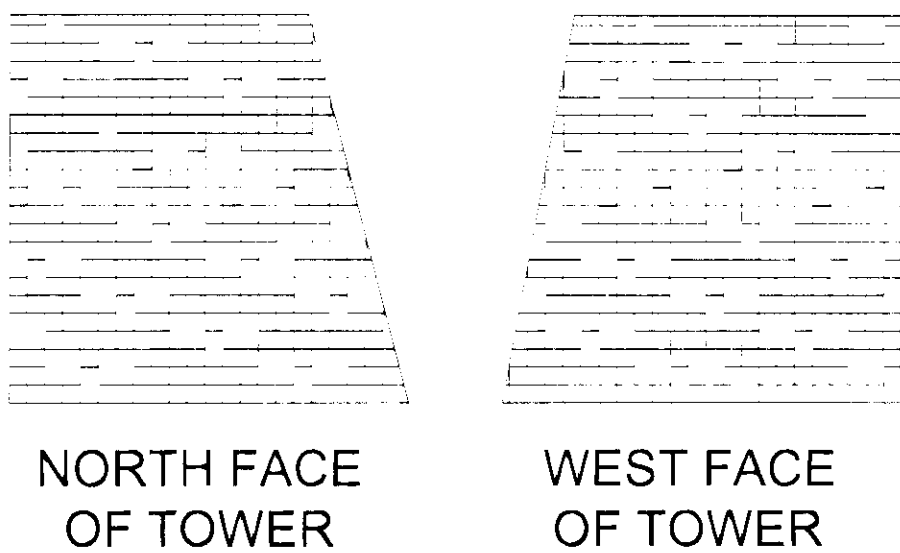
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SDR-32613
7/2010 ADMIN

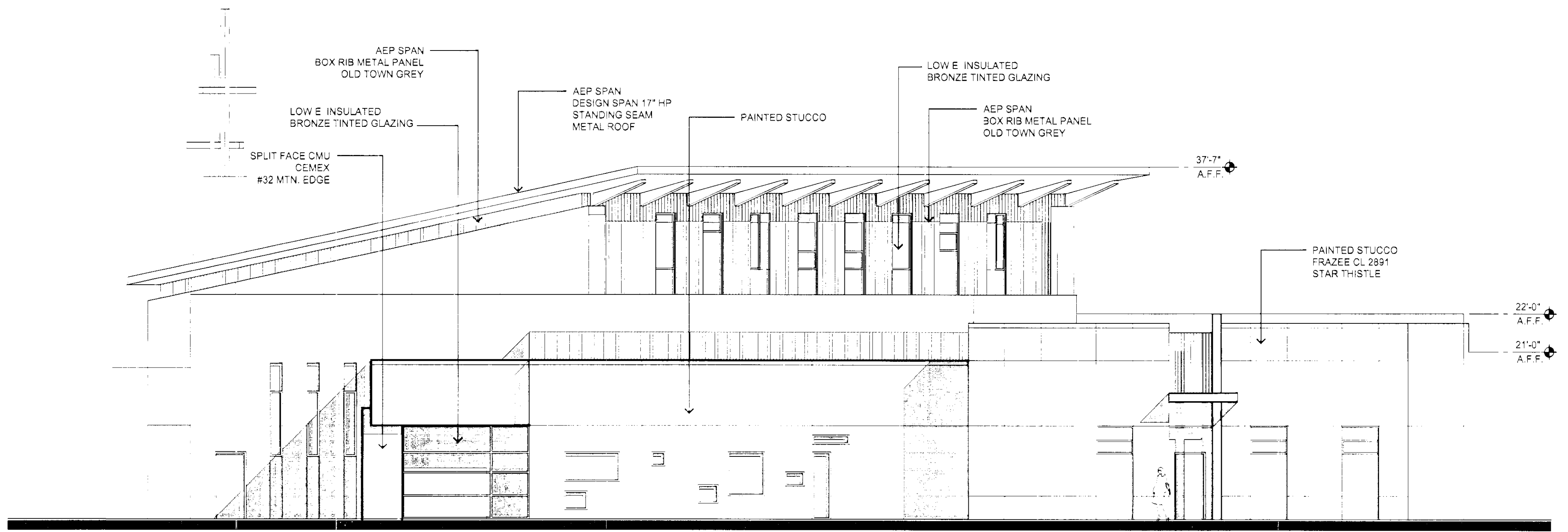
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suite 100
las vegas, nv 89123
p 702.456.1070
f 702.456.7020



WEST ELEVATION



DALTILE
NAPOLINA LIMESTONE
18% - 18"x18"
46% - 9"x18"
36% - 9"x9"



SOUTH ELEVATION



ELEVATIONS

UNITY BAPTIST CHURCH
545 MARION DRIVE

EXTERIOR ELEVATIONS

SCALE : 1/8"=1'-0"

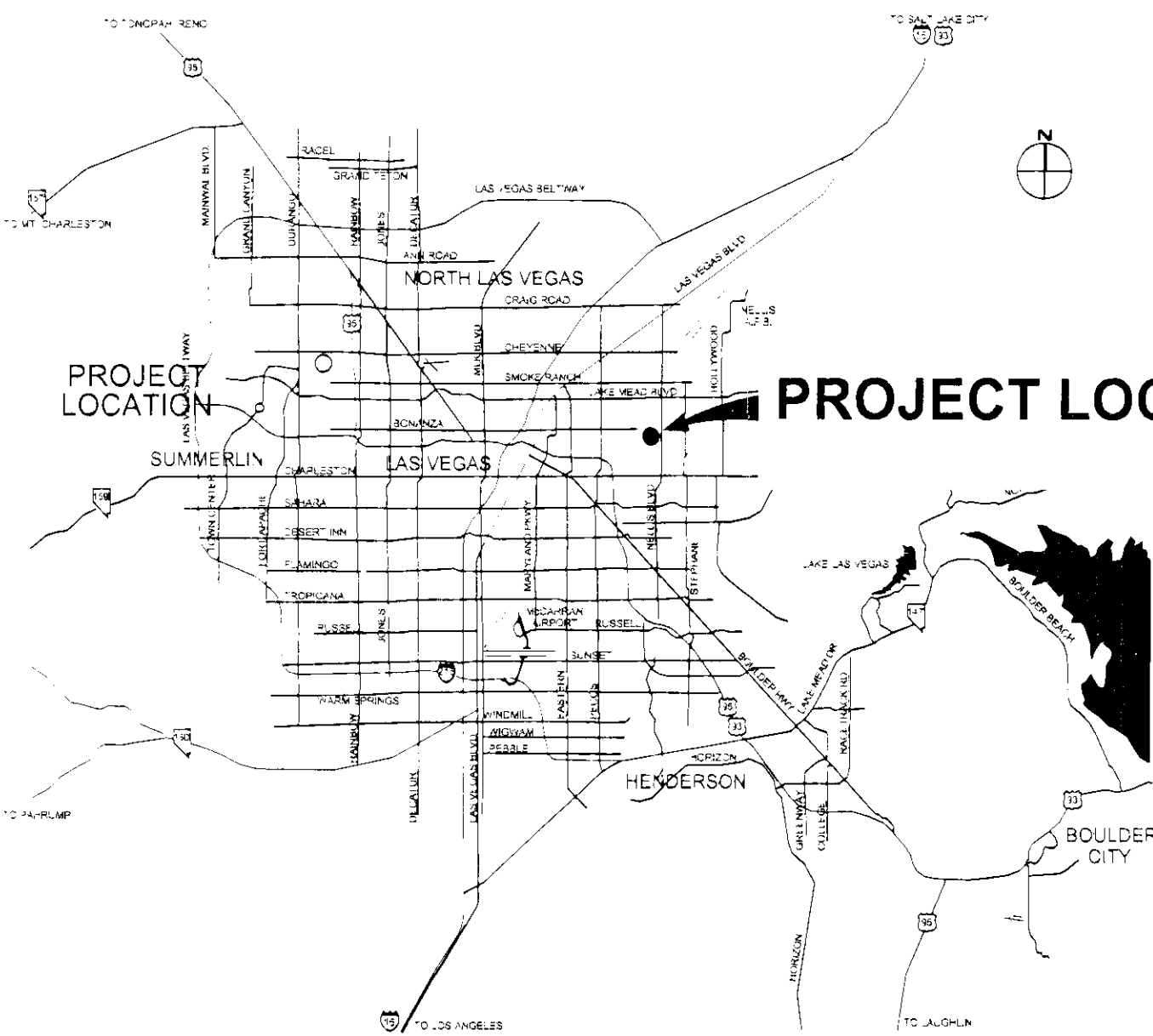
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06-21-10

SDR-38648
7/2010 ADMIN

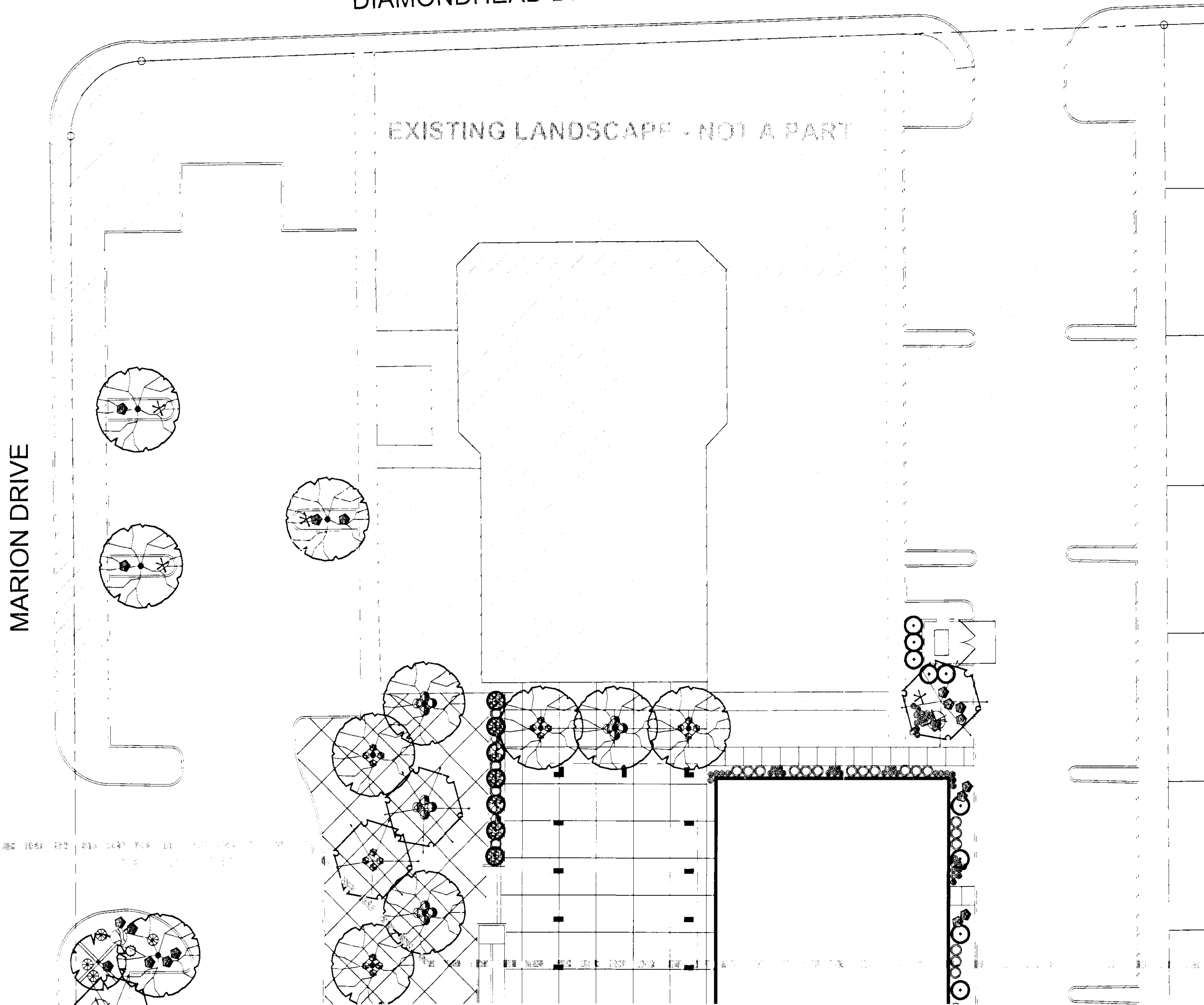
SHT A5.1

VICINITY MAP

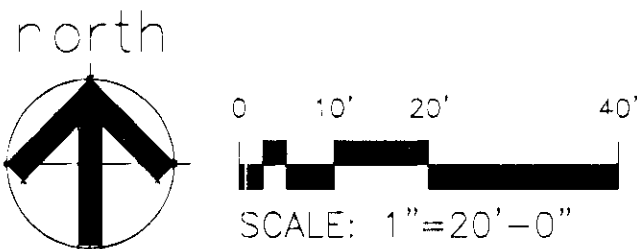


PROJECT LOCATION

DIAMONDHEAD DRIVE



PLANTING PLAN



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
	PROSOPIS X 'PHOENIX'	THORNLESS SOUTH AMERICAN HYBRID MESQUITE	54	24" BOX	STD. 4' TRUNK MIN.
	QUERCUS ILEX	HOLLY OAK	44	24" BOX	STD.
	VITEX AGNUS-CASTUS	CHASTE TREE	8	24" BOX	
SHRUBS					
	EUONYMUS FORTUNEI 'IVORY JADE'	IVORY JADE EUONYMUS	102	5 GAL	
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN TEXAS RANGER	44	5 GAL	
	SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	52	15 GAL 24" BOX	
GROUNDCOVERS					
	LANTANA SPECIES 'NEW GOLD'	NEW GOLD LANTANA	138	5 GAL	
	ROSEMARINUS 'HUNTINGTON CARPET'	'HUNTINGTON CARPET' SPREADING ROSEMARY	89	5 GAL	
	TEUCRUM CHAMAEDRYS	BUSH GERMANDER	200	1 GAL	MIN. 18" O.C.
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	68	5 GAL	
ACCENTS					
	AGAPANTHUS AFRICANUS	LILY-OF-THE-NILE	28	5 GAL	
	CALLIANDRIA CALIFORNICA	BAJA FAIRY DUSTER	14	5 GAL	
	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	31	5 GAL	
	DASYLIRION QUADRANGULATUM	TOOTHLESS SOTOL	30	5 GAL	
	HESPERALOE PARVIFLORA 'RED'	RED YUCCA	31	5 GAL	
	LIRIOPE SPICATA	LILY TURF	74	1 GAL.	
OTHER					
	BOULDERS	'CHERRY MIST' BOULDERS FROM MINERAL PARK	15	2' - 3' DIAMETER	

LANDSCAPE NOTES:

1. CITY OF LAS VEGAS STANDARDS TO BE FOLLOWED.
2. ALL PLANTER AREAS TO RECEIVE A 2" LAYER OF 3/4" SCREENED CRUSHED GRANITE ROCK GROUNDCOVER. ('HUALAPAI RED' COLOR, FROM MINERAL PARK DECORATIVE ROCK, CONTACT ROBIN MICKELSON AT (702) 275-1371 or 'REBEL RED' FROM KALAMAZOO MATERIAL, or OTHER COLOR APPROVED BY OWNER.)
3. PLANT QUANTITIES SHOWN ON PLANT SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES.

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FLOOR PLAN

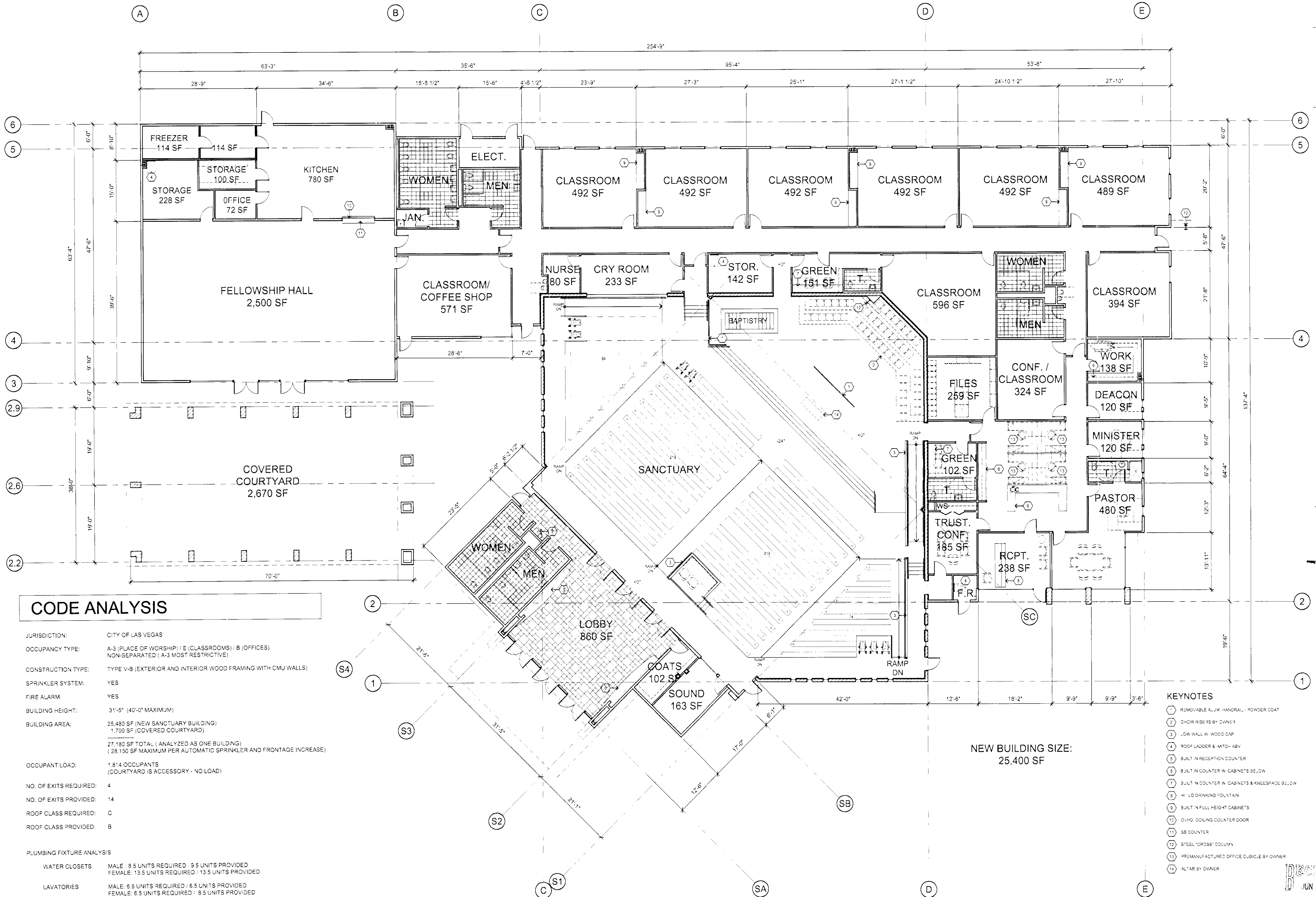
UNITY BAPTIST CHURCH
545 MARION DRIVE

SHT A2.1

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06-21-10

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CODE ANALYSIS

JURISDICTION:	CITY OF LAS VEGAS
OCCUPANCY TYPE:	A-3 (PLACE OF WORSHIP) / E (CLASSROOMS) / B (OFFICES) NON-SEPARATED (A-3 MOST RESTRICTIVE)
CONSTRUCTION TYPE:	TYPE V-B (EXTERIOR AND INTERIOR WOOD FRAMING WITH CMU WALLS)
SPRINKLER SYSTEM:	YES
FIRE ALARM:	YES
BUILDING HEIGHT:	31'-5" (40'-0" MAXIMUM)
BUILDING AREA:	25,480 SF (NEW SANCTUARY BUILDING) 1,700 SF (COVERED COURTYARD)
OCCUPANT LOAD:	27,180 SF TOTAL (ANALYZED AS ONE BUILDING) (28,150 SF MAXIMUM PER AUTOMATIC SPRINKLER AND FRONTAGE INCREASE)
NO. OF EXITS REQUIRED:	4
NO. OF EXITS PROVIDED:	14
ROOF CLASS REQUIRED:	C
ROOF CLASS PROVIDED:	B
PLUMBING FIXTURE ANALYSIS	
WATER CLOSETS	MALE: 8.5 UNITS REQUIRED / 9.5 UNITS PROVIDED FEMALE: 13.5 UNITS REQUIRED / 13.5 UNITS PROVIDED
LAVATORIES	MALE: 6.5 UNITS REQUIRED / 6.5 UNITS PROVIDED FEMALE: 6.5 UNITS REQUIRED / 6.5 UNITS PROVIDED
DRINKING FOUNTAIN	5 UNITS REQUIRED / 6 UNITS PROVIDED

KEYNOTES

1. REMOVABLE ALUM. HANDRAIL - POWDER COAT
2. CHAIR RISERS BY OWNER
3. LOW WALL W. WOOD CAP
4. ROOF LADDER & HATCH ABV.
5. BUILT IN RECEPTION COUNTER
6. BUILT IN COUNTER W. CABINETS & KNEESPADE BELOW
7. BUILT IN COUNTER W. CABINETS & KNEESPADE BELOW
8. 4" LO DRINKING FOUNTAIN
9. BUILT IN FULL HEIGHT CABINETS
10. O/HO. COILING COUNTER DOOR
11. SS COUNTER
12. STEEL "CROSS" COLUMN
13. PREMANUFACTURED OFFICE CUBICLE BY OWNER
14. ALTAR BY OWNER

NEW BUILDING SIZE:
25,400 SF

FLOOR PLAN

SCALE : 3/32"=1'-0"

NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL

MAP LEGEND

- PARCEL BOUNDARY
- - - SUBD BOUNDARY
- - - ROAD EASEMENT
- - - PM/LB BOUNDARY
- - - NON-PARCEL LOT LINE
- - - MATCH LINE / LEADER LINE
- - - ROAD ID NUMBER

ASSESSOR'S PARCELS - CLARK CO., NV.
M. W. Schofield, Assessor

AVERAGE DA VALUE 35	001 1.00 PARCEL NUMBER	001 1.00 ACREAGE
	202 PARCEL SUB/SEQ NUMBER	
	5 PLAT RECORDING NUMBER	
	5 BLOCK NUMBER	
	5 LOT NUMBER	
	015 GOV. LOT NUMBER	

120S R62E

R61E	R62E	R63E
124	123	122
139	140	141
162	161	168

Scale: 1"=200' Rev: 03/03/08

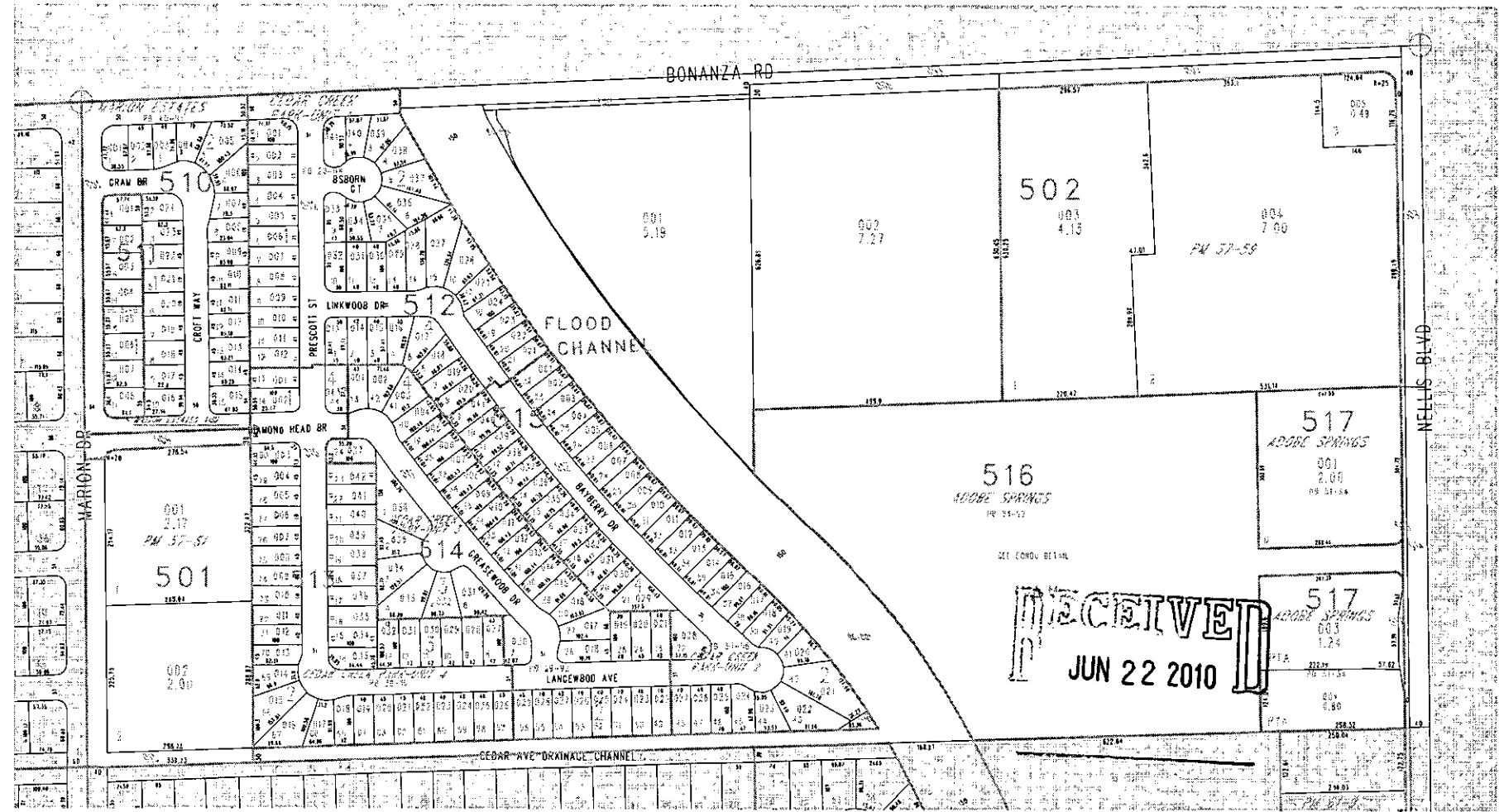
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7	8	9	10	11	12
16	17	18	19	20	21
26	27	28	29	30	31
32	33	34	35	36	

N 2 NE 4

8	4	8	4
5	1	5	1
6	2	6	2
7	3	7	3
8	4	8	4
5	1	5	1

140-32-5



DATA

SITE

APN: 140-32-501-001 &
140-32-501-002
SIZE: 4.17 ACRES
JURISDICTION: CITY OF LAS VEGAS
ZONING: R-E
USE: RELIGIOUS FACILITY

EXISTING BUILDING: 8,000 SF
NEW BUILDING:
PHASE 1 SANCTUARY/ADMIN. 20,187 SF
PHASE 2 CLASSROOMS 13,727 SF
PHASE 3 FELLOWSHIP HALL 7,792 SF
PHASE 4 COURTYARD 7,140 SF
TOTAL BUILDING: 46,816 SF

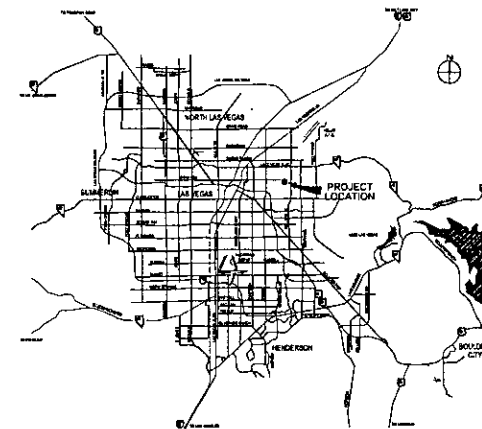
DENSITY 28.2%
F.A.R. 31.2%

PARKING ANALYSIS

PER CLV TITLE 19 = LINEAL INCHES
OF PEW / 20" PER SEAT =
LEVEL 1 - 8,000" / 20" = 400
LEVEL 2 - 3,000" / 20" = 150
TOTAL 600
FIXED SEAT CAPACITY =
250 EXISTING, 000 NEW, 050 TOTAL

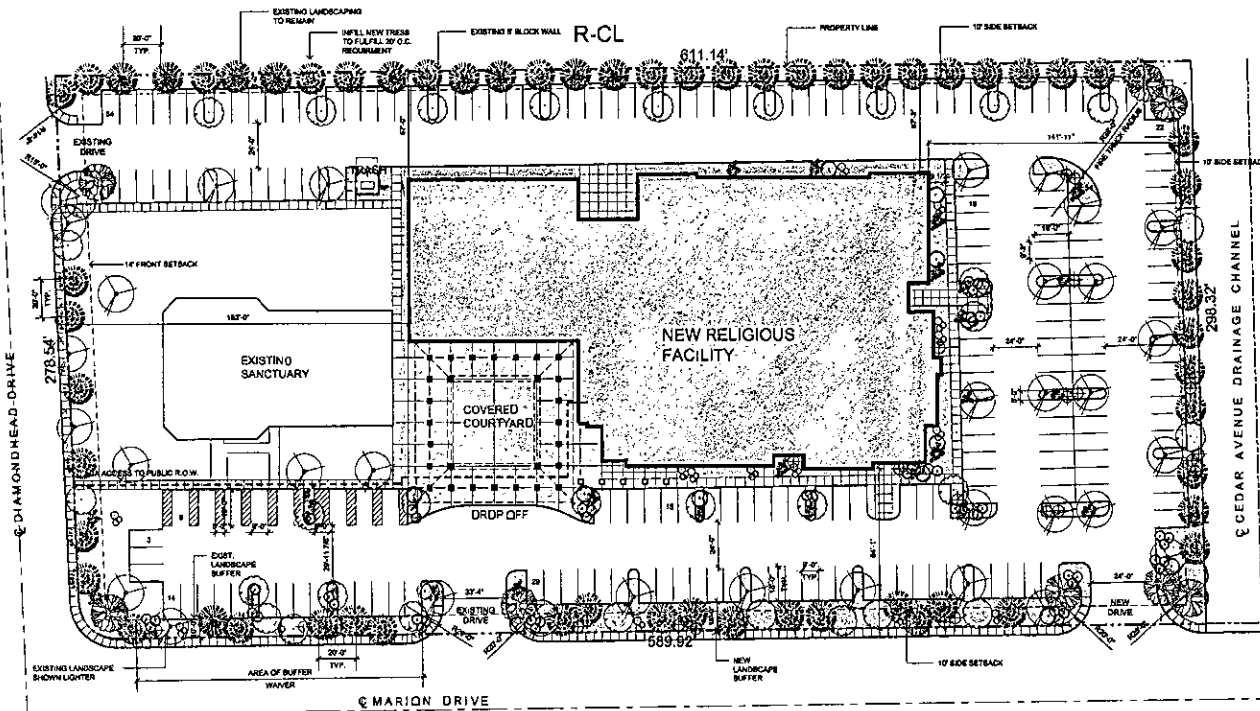
PARKING REQUIRED: 1 SPACE / 4 SEATS = 213 PARKING SPACES
PARKING PROVIDED: 208 REGULAR SPACES + 7 HANDICAP SPACES = 213 TOTAL

VICINITY MAP



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suite 100
las vegas, nv 89123
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f 702.456.7020

DRAWING APPROVED: _____
DATE: _____



R-CL

LANDSCAPE LEGEND

GENUS	COMMON NAME	QTY	SIZE
PROSOPIS	THORNLESS CHILEAN	8	24" BOX
CELANORUM	BLUE PALM YERDE	21	24" BOX
OLEA	FRUITLESS OLIVE	27	24" BOX
PAUS	MONDEL PINE	51	24" BOX
LEUCOPHYLLUM	BLUE RANGER	80	5 GALLON
BRICKELLIA	WOOLEY BUTTERFLY BUSH	42	5 GALLON
CASSIA	SILVER LEAF CASSIA	50	5 GALLON
LEUCOPHYLLUM	SIERRA BOULET	43	5 GALLON
YUCCA	GOLDEN YEW	200	5 GALLON
34"	DECOMPOSED GRANITE		



SITE PLAN

UNITY BAPTIST CHURCH
545 MARION DRIVE

SITE PLAN

SCALE: 1"=30'-0"

SUP-36135
SDR-36124
11/05/09 PC - REVISED
OCT 01/2009

north

SHT A0.1

SHT A1.1

0 15 30 60 06-21-10
SDR-38648



SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
	PROSOPIS X 'PHOENIX'	THORNLESS SOUTH AMERICAN HYBRID MESQUITE	54	24" SOX	STD. 4" TRUNK MIN.
	QUERCUS ILEX	HOLLY OAK	44	24" SOX	STD.
	VITEX ROTUNDIFOLIA	CHASTE TREE	6	24" SOX	
SHRUBS					
	EUONYMUS FORTUNEI 'JADE'	IVORY JADE EUONYMUS	142	5 GAL.	
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN TEXAS RANGER	44	5 GAL.	
	SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	52	15 GAL. 24" SOX	
GROUNDCOVERS					
	LANTANA SPECIES 'NEW GOLD'	NEW GOLD LANTANA	138	5 GAL.	
	ROSEMARINUS 'HUNTINGTON CARPET'	'HUNTINGTON CARPET' SPREADING ROSEMARY	88	5 GAL.	
	TEUCRUM CHAMAEDRYS	BUSH GERMANDER	200	1 GAL.	MIN. 18" O.C.
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	68	5 GAL.	
ACCENTS					
	AGAPANTHUS AFRICANUS	LILY-OF-THE-NILE	28	5 GAL.	
	CALLIANDRIA CALIFORNICA	BAJA FAIRY SUSTER	14	5 GAL.	
	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	31	5 GAL.	
	DASYLIRION QUADRANGULATUM	TOOTHLESS SOTOL	20	5 GAL.	
	HESPERALOE PARVIFLORA 'RED'	RED YUCCA	51	5 GAL.	
	LIMNOPHE SPICATA	LILY TURF	74	1 GAL.	
OTHER					
	BOULDERS	'CHERRY MIST' BOULDERS FROM MINERAL PARK	15	2' - 3' DIAMETER	

LANDSCAPE NOTES:

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Description

by

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Project Name:

Drawn/Checked By

1

6/10/10

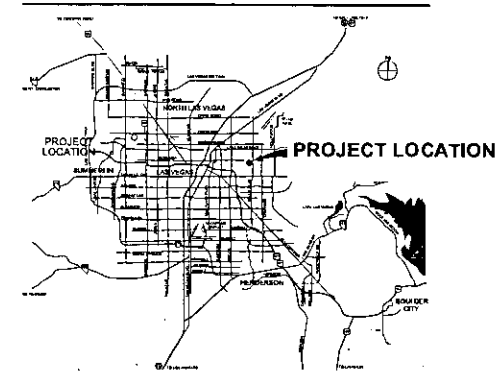
Project Number

1003

Sheet Number

L 2.02

VICINITY MAP



HILL CLARK & ASSOCIATES
LANDSCAPE ARCHITECTS
74 N. Pecos Road, Ste. B
Henderson, NV 89015
P: (702) 246-9358
F: (702) 246-9357

Consultant

Seal

The undersigned hereby certifies that he is a duly Licensed Professional Engineer in the State of Nevada, and that he is the author of the design shown on this plan. He further certifies that the design was prepared by him or under his direct supervision and that he is a duly Licensed Professional Engineer in the State of Nevada.

Description

By

Date

Re

Project Name:
UNITY BAPTIST CHURCH
545 MARION DRIVE
LAS VEGAS, NV

Project Number:
1003

Drawn/Checked By

Date

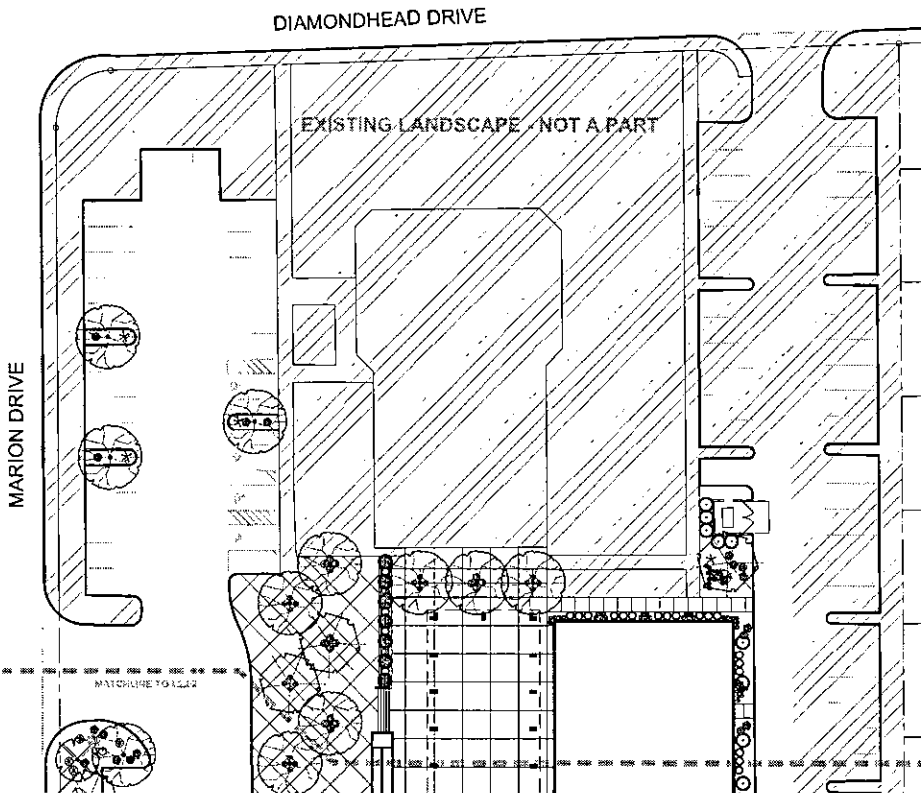
6/10/10

Project Number

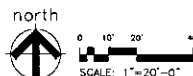
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Sheet Number

L 2.01



PLANTING PLAN



PLANT SCHEDULE

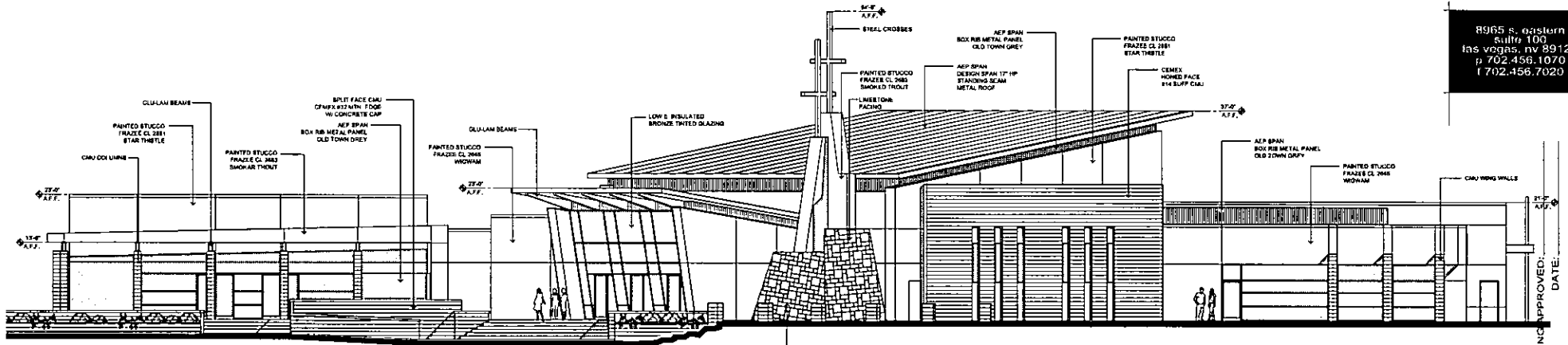
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
	PROSOPIS X 'PHOENIX'	THORNLESS SOUTH AMERICAN HYBRID MESQUITE	54	24" BOX	STO. 4" TRUNK MIN.
	QUERCUS ILEX	NOLLY OAK	44	24" BOX	STO.
	VITEX AGNUS-CASTUS	CHASTE TREE	8	24" BOX	
SHRUBS					
	EUONYMUS FORTUNEI 'IVORY JADE'	IVORY JADE EUONYMUS	102	5 GAL	
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN TEXAS RANGER	44	5 GAL	
	SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	52	15 GAL 24" BOX	
GROUNDCOVERS					
	LANTANA SPECIES 'NEW GOLD'	NEW GOLD LANTANA	138	5 GAL	
	ROSEMARINUS 'HUNTINGTON CARPET'	'HUNTINGTON CARPET' SPREADING ROSEMARY	89	5 GAL	
	TEUCRIUM CHAMAEDRYS	SUSH GERMANDER	200	1 GAL	MIN. 10" G.C.
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	88	5 GAL	
ACCENTS					
	AGAPANTHUS AFRICANUS	LILY-OF-THE-NILE	28	5 GAL	
	CALLIANDRA CALIFORNICA	BAJA FAIRY OUSTER	14	5 GAL	
	CAESALPINIA PULCHERRIMA	REG BIRD OF PARADISE	31	5 GAL	
	DASYLIRION QUADRANGULATUM	TOOTHLESS SOTOL	38	5 GAL	
	NEPERALOE PARVIFLORA 'RED'	REG YUCCA	51	5 GAL	
	LIRIOPE SPICATA	LILY TURF	74	1 GAL	
OTHER					
	BOULDERS	'CHERRY HSBT' BOULDERS FROM MINERAL PARK	12	3' - 3' DIAMETER	

LANDSCAPE NOTES:

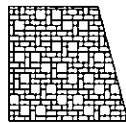
1. CITY OF LAS VEGAS STANDARDS TO BE FOLLOWED.
2. ALL PLANTER AREAS TO RECEIVE A 2" LAYER OF 3/4" SCREENED CRUSHED GRANITE ROCK GROUNDCOVER. ('HUALAPAI RED' COLOR. FROM MINERAL PARK DECORATIVE ROCK. CONTACT ROBIN MICKELSON AT (702) 275-1371 or 'REBEL RED' FROM KALAMAZOO MATERIAL, or OTHER COLOR APPROVED BY OWNER.)
3. PLANT QUANTITIES SHOWN ON PLANT SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES.

SDR-38648

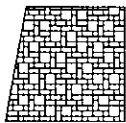
8965 s. eastern
 suite 100
 las vegas, nv 89123
 p 702.456.1070
 f 702.456.7020



DRAWING APPROVED: DATE:



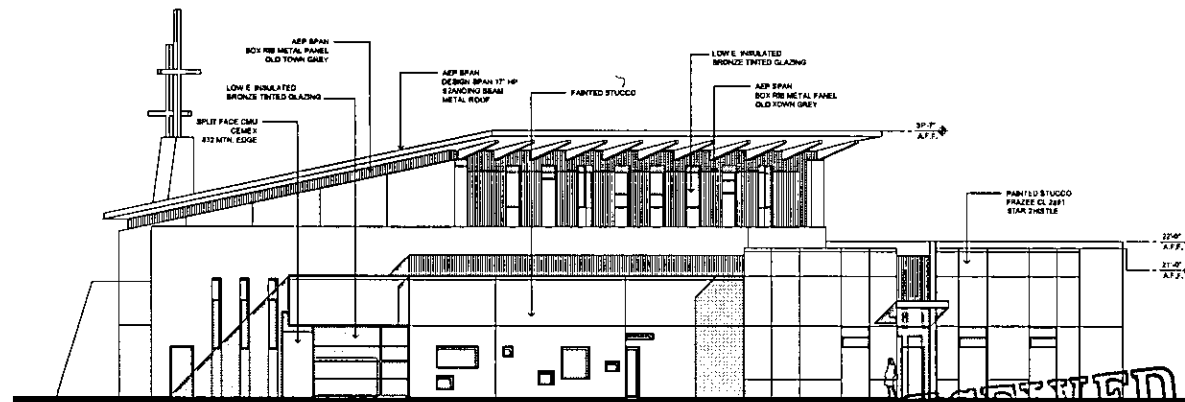
NORTH FACE
 OF TOWER



WEST FACE
 OF TOWER

DETAIL OF
 WINDOLAM LINE STONE
 18" x 18" x 11"
 48" x 18" x 11"
 36" x 18" x 11"

WEST ELEVATION



SOUTH ELEVATION

RECEIVED
 JUN 22 2010



ELEVATIONS

UNITY BAPTIST CHURCH
 545 MARION DRIVE

EXTERIOR ELEVATIONS

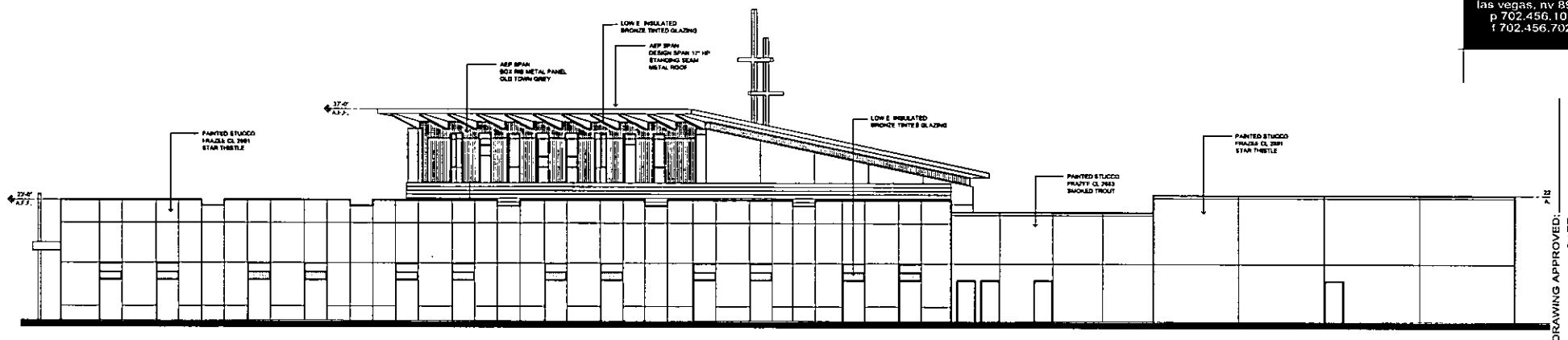
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SDR-38648

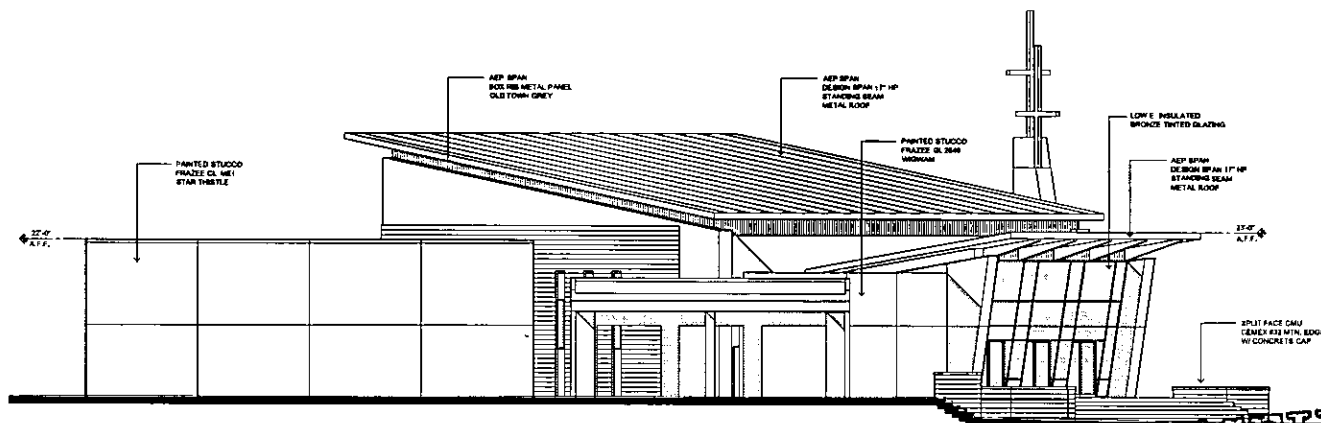
SHT A5.1

8965 s. eastern
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las vegas, nv 89123
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f 702.456.7020



DRAWING APPROVED:
DATE:

EAST ELEVATION



NORTH ELEVATION



ELEVATIONS

UNITY BAPTIST CHURCH
545 MARION DRIVE

EXTERIOR ELEVATIONS

SCALE : 1/8"=1'-0"

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JUN 22 2010

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SDR-38648

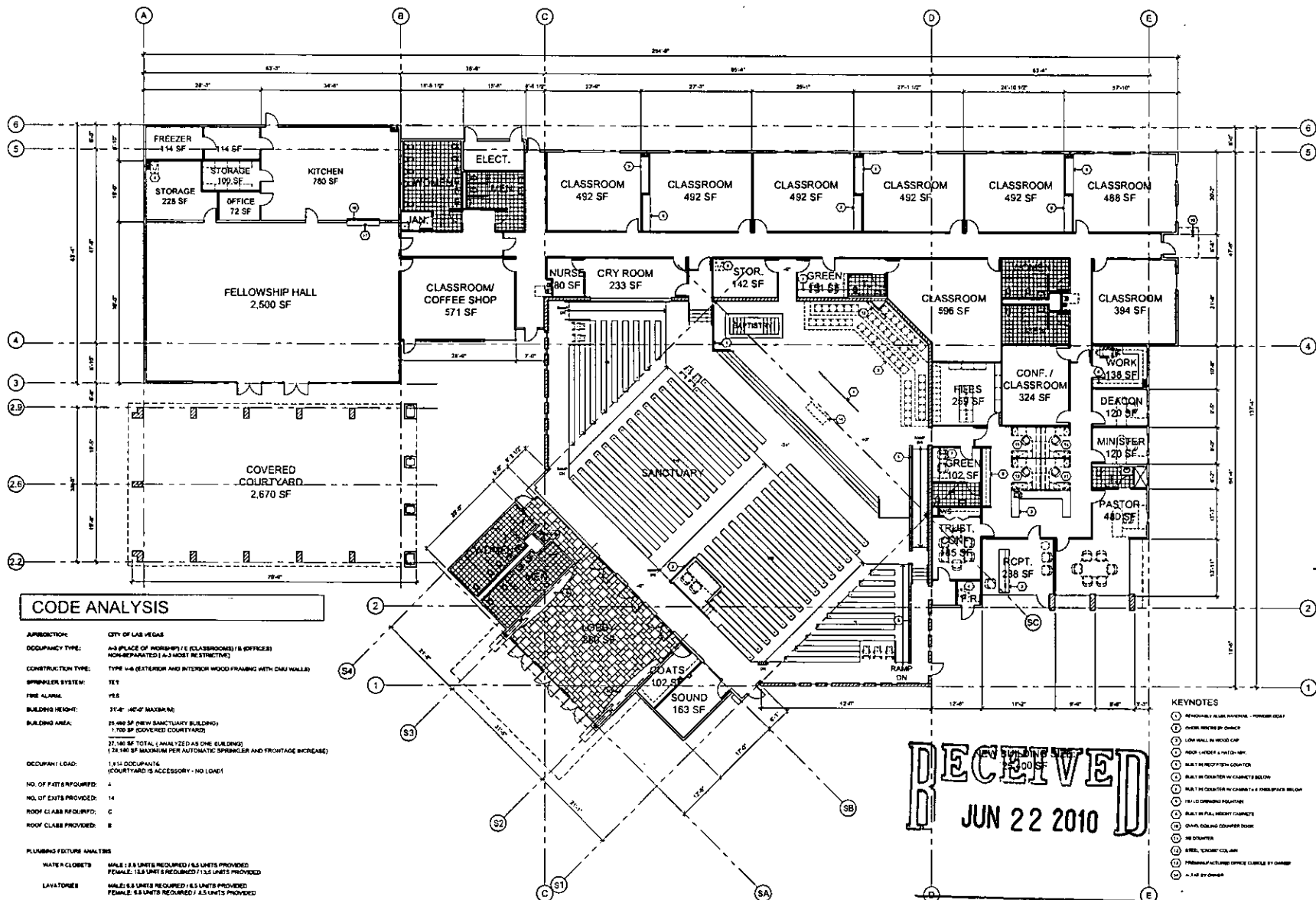
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Suite 100
Las Vegas, NV 89123
p 702.456.1070
f 702.456.7020

DRAWING APPROVED: _____
DATE: _____



FLOOR PLAN

UNITY BAPTIST CHURCH
545 MARION DRIVE



CODE ANALYSIS

APPROXIMATE: CITY OF LAS VEGAS
OCCUPANCY TYPE: A-3 (PLACE OF WORSHIP) / E (CLASSROOMS) / B (OFFICES)
NON-REPARATED / A-3 MOST RESTRICTIVE
CONSTRUCTION TYPE: TYPE I-4 (EXTERIOR AND INTERIOR WOOD FRAMING WITH CMU WALLS)
SPRINKLER SYSTEM: YES
FIRE ALARM: YES
BUILDING HEIGHT: 31'-0" (40'-0" MAXIMUM)
BUILDING AREA: 25,460 SF (NET) / 25,460 SF (GROSS) / 1,700 SF (COVERED COURTYARD)
27,160 SF TOTAL (ANALYZED AS ONE BUILDING)
(25,460 SF MAXIMUM PER AUTOMATIC SPRINKLER AND FRONTAGE INCREASE)
OCCUPANT LOAD: 1.5 / 1.5 OCCUPANTS / (COURTYARD IS ACCESSORY - NO LOAD)
NO. OF FIRE ALARMS: 2
NO. OF EXITS PROVIDED: 14
ROOF CLASS PROVIDED: C
ROOF CLASS PROVIDED: B
PLUMBING FEATURE ANALYSIS
WATER CLOSETS: MALE: 2.5 UNITS REQUIRED / 9.5 UNITS PROVIDED
FEMALE: 12.5 UNITS REQUIRED / 13.5 UNITS PROVIDED
LAVATORIES: MALE: 0.5 UNITS REQUIRED / 0.5 UNITS PROVIDED
FEMALE: 0.5 UNITS REQUIRED / 0.5 UNITS PROVIDED
DRINKING FOUNTAIN: 1 UNIT REQUIRED / 1 UNIT PROVIDED

KEYNOTES

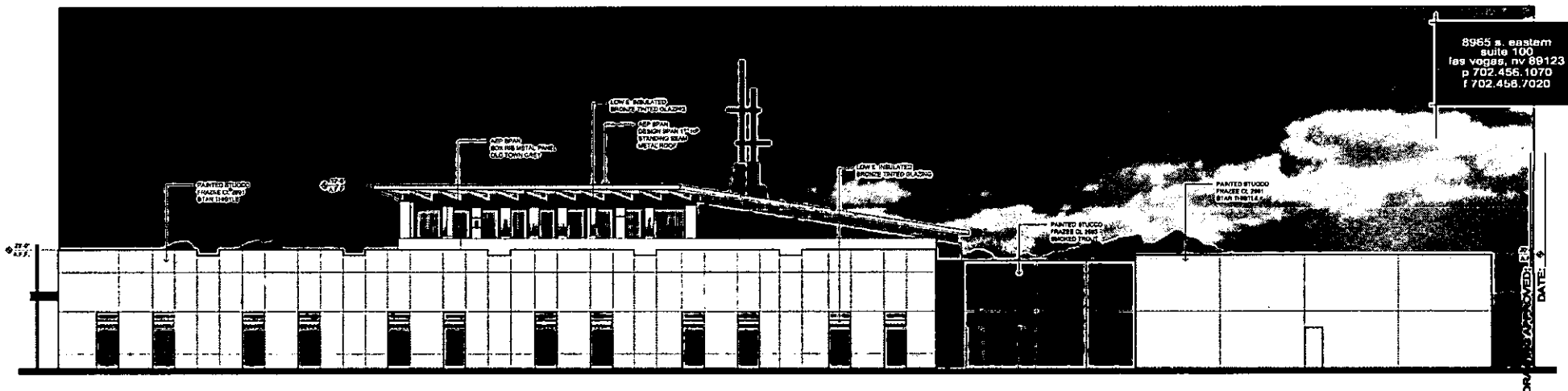
1. REPAIRABLE PLUMBING - PORTABLE TOILET
2. OVERHEAD WIRE BY OWNER
3. LOW WALL IN WOOD CHAP
4. ROOF UNDER A WOOD CHAP
5. BUILT IN RECEPTION COUNTER
6. BUILT IN COUNTER IN CLOSET BELL
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FLOOR PLAN

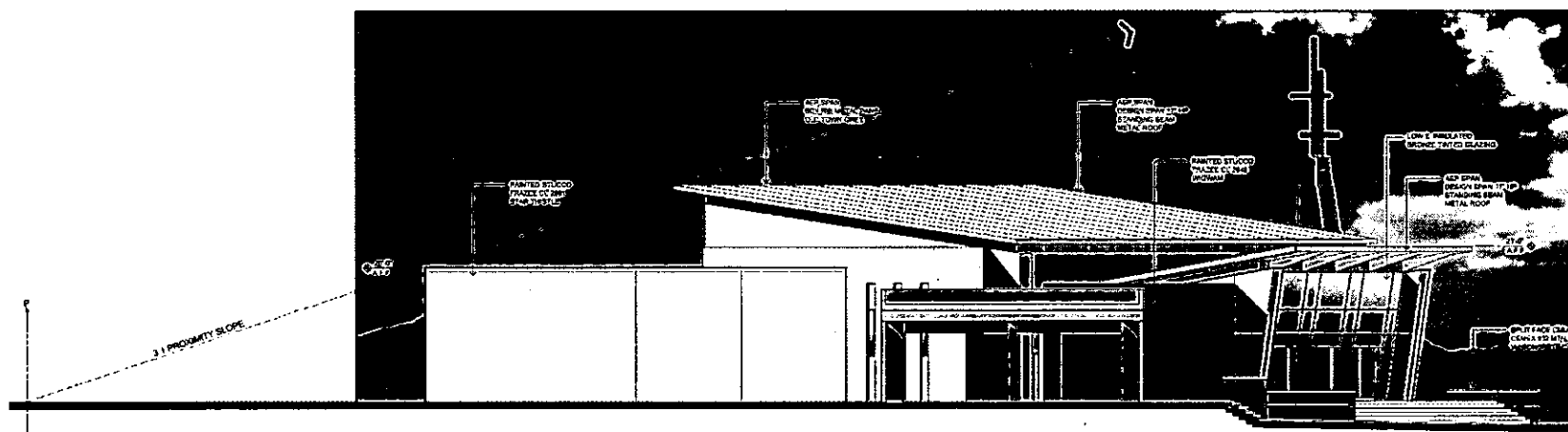
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SDR-38648



EAST ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATIONS

SCALE: 1/8"=1'-0"

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JUL 12 2010

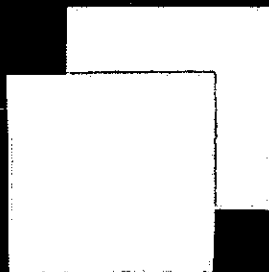
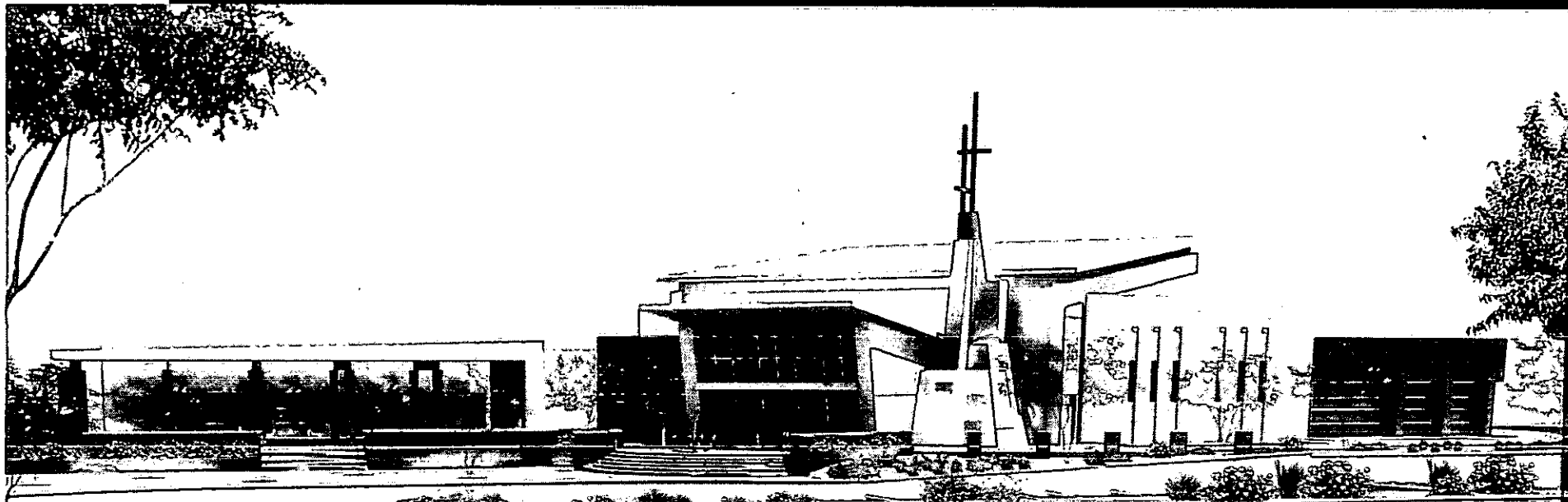
06-21-10

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UNITY BAPTIST CHURCH

EXTERIOR COLORS AND MATERIALS

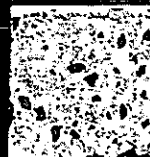


Paint Colors

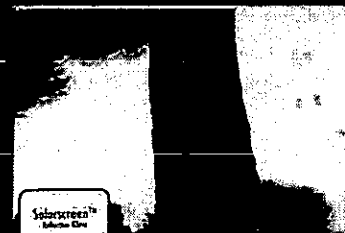
Limestone



Sanctuary CMU



SITE WALLS
CMU

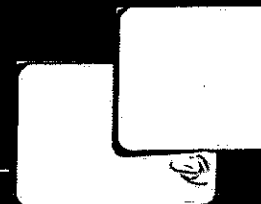


Bronze Glazing



Mullions

METAL
ROOF



METAL
PANEL

SDR-38648

07/2010 ADMIN

MEMORANDUM



To: Land Development
From: Peter Lowenstein, AICP
Phone: (702) 229-4693 Fax: (702) 385-0352
CC: Land Development Civil Plan Ref. # 39632
Date: 09/23/10 1st Review
Re: Unity Baptist Church Expansion

STATUS:

☒ Cond. Appr.

☐ Denied

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. Please revise Detail A on Sheet GD1 to illustrate the sidewalk and varying width of landscaping adjacent to the building. Please also revise the detail to reflect a minimum eight (8) foot landscape buffer adjacent to the East property line, as no waiver of landscape buffer requirements for this area was obtained via Site Development Plan Review (SDR-36124 & SDR-38648).
2. Please revise Detail B on Sheet GD1 to denote the landscape areas adjacent to the building. Please also revise the detail to reflect a minimum eight (8) foot landscape buffer adjacent to the South property line, as no waiver of landscape buffer requirements for this area was obtained via Site Development Plan Review (SDR-36124 & SDR-38648). Furthermore, please revise the detail to reflect the proposed perimeter screen wall as being a "Decorative block wall with 20% contrasting material and cap."
3. Please revise Detail C on Sheet GD1 to denote the landscape areas adjacent to the building. Please also revise the detail to reflect a minimum fifteen (15) foot landscape buffer adjacent to the West property line, as no waiver of landscape buffer requirements for this specific area was obtained via Site Development Plan Review (SDR-36124 & SDR-38648).
4. Please revise Detail D on Sheet GD1 to illustrate the sidewalk and landscape adjacent to the building at this particular location. Please also denote the area between the existing CMU wall and back of curb as being landscaped.
5. Please revise Detail G on Sheet GD1 to reflect a fifteen (15) foot minimum landscape buffer adjacent to the back of sidewalk.
6. Please revise Detail H on Sheet GD1 to reflect a fifteen (15) foot minimum landscape buffer adjacent to the back of sidewalk.
7. Please revise the Utility Plan to depict a general note stating: "All above ground utility appurtenances shall conform to the requirements of Title 19.12.040."
8. Please revise all applicable sheets to show wheel stops adjacent to all landscape planters (regardless of planter width), walls, fences, and sidewalks that are less than 7'-0" wide. Wheel stops within zero-curb handicap parking spaces must be shown. Include a construction note to reference the wheel stops (see Horizontal Control Plan for required locations).
9. Pursuant to Title 19.10.010(G), one in every six handicap parking space shall be served by an access aisle at least eight feet wide and shall be designated for the use of vehicles with a side-loading wheelchair lift. As eight (8) handicap parking spaces have been depicted on the plans, two (2) of those eight (8) must be van accessible handicap parking space. The two (2) spaces may share a common access aisle.
10. Please revise the fire flow calculations to adequately reflect the approved square footage of the existing and proposed additions area. Pursuant to SDR-38648 the total square footage of both the proposed and existing structure, as well as the covered patio area is 36,070 SF. The total square footage of the proposed addition and existing structure without the covered patio area is 33,400 SF.
11. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits, including civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST 
Item Required		
YES	NO	

APPLICATION PACKET

☒	☐	Application signed and notarized by <i>all</i> property owners or authorized agent(s)	NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")
☒	☐	Grant deed and legal description	
☒	☐	<i>Detailed</i> justification letter	
☒	☐	<i>Original</i> meeting notes and checklist(s) signed by planner	
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 0.00 (Notification) + \$ 0.00 (Recordation) = \$ 500 Total	
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by <i>all</i> property owners or authorized agent(s)	
☒	☐	Assessor's Parcel Map	
☐	☒	Development Impact Notice and Assessment (DINA)	
☐	☒	Project of Regional Significance (PRS)	
☒	☐	Color & Materials Board per Site Development Plan Review Submittal Requirements	
☒	☐	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☒)	

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)**SITE PLAN**

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	6
☒	☐	North arrow, scale, and vicinity map	Colored, Rolled Plans:	1
☒	☐	<i>All</i> property lines and present dimensions labeled	Reduced Copy (8-1/2x11 BW):	1
☒	☐	<i>All</i> building setbacks labeled	NOTES:	
☒	☐	<i>All</i> adjacent existing land uses and street names labeled		
☒	☐	<i>All</i> points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized:		
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total		
☒	☐	<i>All</i> free-standing sign locations shown and heights and sizes noted		

LANDSCAPE PLAN

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	1
☒	☐	North arrow, scale, and vicinity map	Colored, Rolled Plans:	1
☒	☐	<i>All</i> property lines and present dimensions labeled	Reduced Copy (8-1/2x11 BW):	1
☒	☐	<i>All</i> required perimeter landscape planters shown	NOTES:	
☒	☐	<i>All</i> required parking lot fingers/islands shown		
☒	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover		

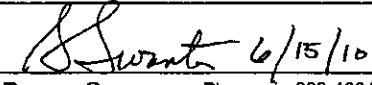
BUILDING ELEVATIONS

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	1
☒	☐	Scale and building dimensions labeled	Colored, Rolled Plans:	1
☒	☐	North, south, east, and west elevations of <i>all</i> buildings	Reduced Copy (8-1/2x11 BW):	1
☒	☐	<i>All</i> building materials and colors noted	NOTES:	
☒	☐	8" x 10" photo of original color and material board		
☒	☐	<i>All</i> wall sign locations shown and sizes noted		

FLOOR PLANS

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	1
☒	☐	Scale and building dimensions labeled	Rolled Plans:	1
☒	☐	<i>All</i> building entrances/exits shown	Reduced Copy (8-1/2x11 BW):	1
☒	☐	Use of <i>all</i> rooms noted/labeled	NOTES:	
☒	☐	Maximum Occupancy (per I.B.C.)		
☒	☐	Seating Capacity (where applicable)		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant:	Unity Baptist Church	Application Type:	Site Development Plan Review
Representative:	Ethos three Architecture	Application Purpose:	Minor Amendment to previously approved SDR
APN:	140-32-501-001 and -002	Site Location:	545 Marion Dr
Planner's Signature:		Pre-App. Meeting Date:	06/11/10
Planner:	Romeo Gumarang, Planner I - 229-4604 Steve Swanton, Senior Planner - 229-4714	Submittal Deadline:	07/13/10 - no later than 2:00 pm
		Earliest PC / CC Meeting Dates:	08/26/10 PC - 10/06/10 CC - Cycle 6



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM.

STEVE WOLFSON

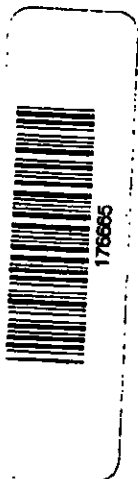
LOIS TARKANIAN

STEVEN D. ROSS

RICKY Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER



CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

December 3, 2009

Unity Baptist Church
545 Marion Drive
Las Vegas, Nevada 89110

RE: SDR-36124 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF DECEMBER 2, 2009
RELATED TO SUP-36136

Dear Applicant:

The City Council at a regular meeting held December 2, 2009 APPROVED the request for a Site Development Plan Review FOR A PROPOSED 48,816 SQUARE-FOOT ADDITION TO AN EXISTING 8,000 SQUARE-FOOT CHURCH/HOUSE OF WORSHIP WITH A WAIVER OF THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS TO ALLOW A 10-FOOT LANDSCAPE BUFFER ALONG A PORTION OF THE WEST PERIMETER WHERE 15 FEET IS REQUIRED on 4.17 acres at 545 Marion Drive (APN 140-32-501-001 and 002), R-E (Residence Estates) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on December 3, 2009. This approval is subject to:

Planning and Development

1. Conformance to the conditions for Special Use Permit (SUP-36136), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan and landscape plan date stamped 10/07/09 and building elevations, date stamped 10/06/09, except as amended by conditions herein.
4. A-Waiver from Title 19.12 Landscape and Buffer Standards is hereby approved, to allow a 10-foot Landscape Buffer along a portion of the west perimeter buffer where 15 feet is required.

5. The applicant shall work with City staff to determine the most appropriate mapping action necessary to consolidate all existing parcels. The mapping action shall be completed and recorded prior to issuance of any building
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

14. Coordinate with the City Surveyor to determine if a Reversionary Map or other lot consolidation is necessary prior to the approval of construction drawings; comply with the recommendations of the City Surveyor. No structure shall be allowed to be built over a property line and all required parking must be on the same lot as the primary structure.
15. Construct all incomplete half-street improvements on Marion Drive adjacent to this site concurrent with development of this site.
16. Remove the western most driveway on Diamond Head Drive and replace with curb, gutter, and sidewalk. Also remove all substandard public street improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
17. Provide a copy of a recorded Joint Access Agreement between the parcels that comprise this site prior to the issuance of any permits, unless the parcels are legally joined into one parcel.
18. Each parcel must have its own lateral connection to public sewer.
19. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
20. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
21. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

Unity Baptist Church
SDR-36124 – Page Four
December 3, 2009

22. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.

Sincerely,



Doreen Araujo
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. John Lopeman, AIA
Ethos Three Architecture
8965 South Eastern Avenue
Las Vegas, Nevada 89123

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

July 22, 2010

Unity Baptist Church
545 Marion Drive
Las Vegas, Nevada 89110

**RE: SDR-38648 - ADMINISTRATIVE SITE DEVELOPMENT PLAN REVIEW
MINOR REVIEW CYCLE - JULY 2010**

Dear Applicant:

Your request for a Minor Amendment to the previously approved Site Development Plan Review (SDR-36124) TO REDUCE THE FLOOR AREA OF A PROPOSED ADDITION TO AN EXISTING CHURCH/HOUSE OF WORSHIP FROM 48,816 SQUARE FEET TO 25,400 SQUARE FEET AND TO REDUCE THE HEIGHT OF THE STRUCTURE FROM 100 FEET TO 54 FEET on 4.17 acres at 545 Marion Drive (APNs 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department staff has administratively **APPROVED** your request subject to the following:

Planning and Development

1. Conformance to the Conditions of Approval for Special Use Permit (SUP-38649) and Site Development Plan Review (SDR-36124) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and floor plan date stamped 6/22/10, and building elevations, date stamped 07/12/10/, except as amended herein.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lais Tarkenton
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



Unity Baptist Church
SDR-38648 - Page Two
July 22, 2010

5. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits.
6. These Conditions of Approval accompanied with the Conditions of Approval of Site Development Plan Review (SDR-36124) shall be affixed to the cover sheet of any plan set submitted for building permit.
7. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

8. Site development to comply with all applicable conditions of approval for SDR-36124 and all other site-related actions.

This action by the Planning and Development Department staff on July 22, 2010 is final unless a written appeal is filed with the Director of Planning and Development Department within ten days of the date of this letter.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. John Lopeman
Ethos Three Architecture
8965 South Eastern Avenue, Suite #100
Las Vegas, Nevada 89123

City of Las Vegas

AGENDA MEMO

ADMINISTRATIVE REVIEW DATE: JULY 2010

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: APPLICANT/OWNER: UNITY BAPTIST CHURCH

**** STAFF RECOMMENDATION(S) ****

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
SUP-38649	Staff recommends APPROVAL, subject to conditions:	SDR-38648
SDR-38648	Staff recommends APPROVAL, subject to conditions:	SUP-38649

**** CONDITIONS ****

SUP-38649 CONDITIONS

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for a Church/House of Worship use.
2. Conformance to the Conditions of Approval for Site Development Plan Review (SDR-36124 and SDR-38648) shall be required.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal structure on site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SDR-38648 CONDITIONS

Planning and Development

1. Conformance to the Conditions of Approval for Special Use Permit (SUP-38649) and Site Development Plan Review (SDR-36124) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and floor plan date stamped 6/22/10, and building elevations, date stamped 07/12/10/, except as amended herein.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
5. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits.
6. These Conditions of Approval accompanied with the Conditions of Approval of Site Development Plan Review (SDR-36124) shall be affixed to the cover sheet of any plan set submitted for building permit.
7. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

8. Site development to comply with all applicable conditions of approval for SDR-36124 and all other site-related actions.

Staff Report Page One
July 2010 - Administrative Review

**** STAFF REPORT ****

PROJECT DESCRIPTION

This request is to amend a previously approved Special Use Permit (SUP-36136) and a Site Development Plan Review (SDR-36124) for a 48,816 square-foot expansion to an existing 8,000 square-foot Church/House of Worship with a waiver of the perimeter landscape buffer requirements to allow a 10-foot landscape buffer along a portion of the west perimeter where 15 feet is required. The proposed changes include a reduction in floor area from 48,816 to 25,400 square feet; reduction in the overall height of the structure with the steeple from 100 feet to 54.6 feet with the actual building height decreasing from 35 to 34 feet; a slight reconfiguration of the site layout and floor plan to reflect the changes in building size; and an increase in the seating capacity of the main Sanctuary from 600 seats to 659 seats. As the proposed changes do not increase the intensity of the use and meet Title 19.18 requirements for Minor Amendments, the Planning and Development Department is administratively approving these requests for Special Use Permit and Site Development Plan Review.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
02/15/06	The City Council approved a request for a Site Development Plan Review (SDR-10460) for a proposed 54 space parking lot and waivers of the perimeter and parking lot landscaping requirements at 545 Marion Drive.
12/02/09	The City Council approved a request for a Special Use Permit (SUP-36136) for a proposed Church/House of Worship at 545 Marion Drive. The Planning Commission recommended approval on 11/05/09.
	The City Council approved a related request for a Site Development Plan Review (SDR-36124) for a proposed 48,816 square-foot addition to an existing 8,000 square-foot Church/House of Worship with a waiver of the perimeter landscape buffet requirements to allow a 10-foot landscape buffer along a portion of the west perimeter where 15 feet is required.
06/03/10	The Planning and Development Department accepted plans for a Parcel Map (PMP-38435) review for a Reversion to Acreage of approximately 4.17 acres at the southeast corner of Diamond Head Drive and Marion Drive. The Mylar was accepted for processing on 07/06/10.

<i>Related Building Permits/Business Licenses</i>
No building permits or business licenses have been issued for the proposed project.

Staff Report Page Two
July 2010 - Administrative Review

Pre-Application Meeting	
06/11/10	A pre-application meeting was held to discuss the requested changes to the previously approved project that consist of reducing the total square footage of the church expansion from 48,816 square feet to 25,400 square feet, a reduction in the overall height (with steeple) from 100 feet to 54.6 feet, and slight reconfigurations to the site layout and floor plan to reflect the changes in the building size.

Neighborhood Meeting
A neighborhood meeting was not required, nor was one held.

Details of Application Request	
Site Area	
Net Acres	4.17

Surrounding Property	Existing Land Use Per Title 19.04	Planned or Special Land Use Designation	Existing Zoning District
Subject Property	Church	ML (Medium-Low Density Residential)	R-E (Residence Estates)
North	Single Family Dwellings	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot District)
South	Single Family Dwellings	L (Low Density Residential)	R-1 (Single Family Residential)
East	Single Family Dwellings	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot District)
West	Single Family Dwellings	L (Low Density Residential)	R-1 (Single Family Residential)

Master Plan Areas	Yes	No	Compliance
Master Plan Area		X	N/A
Special Purpose and Overlay Districts	Yes	No	Compliance
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Las Vegas Redevelopment Plan Area		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

Staff Report Page Three
July 2010 - Administrative Review

DEVELOPMENT STANDARDS

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Approved (SDR-36124)</i>	<i>Provided (SDR-38648)</i>	<i>Compliance</i>
Min. Lot Size	20,000 SF	4.17 acres	4.17 acres	Y
Min. Lot Width	100 Feet	295 Feet	295 Feet	Y
Min. Setbacks				
• Front (north property line)	50 Feet	183 Feet	199 Feet	Y
• Side (east property line)	10 Feet	56 Feet	59 Feet	Y
• Corner (west property line)	15 Feet	84 Feet	86 Feet	Y
• Rear (south property line)	35 Feet	141 Feet	154 Feet	Y
Max. Lot Coverage	N/A	31%	18%	Y
Max. Building Height	2 Stories or 35 Feet	35 feet	34 Feet	Y
Trash Enclosure	Screened, Gated, w/ a Roof or Trellis	Screened by Condition	Screened by Condition	Y
Mech. Equipment	Screened	Screened by Condition	Screened by Condition	Y

<i>Residential Adjacency Standards</i>	<i>Required/ Allowed</i>	<i>Approved (SDR-36124)</i>	<i>Provided (SDR-38648)</i>	<i>Compliance</i>
3:1 proximity slope	105 Feet	128 Feet	105 feet	Y
Adjacent development matching setback	10 Feet	57 Feet	59 Feet	Y
Trash Enclosure	50 Feet	57 Feet	57 feet	Y

Pursuant to Title 19.10, the following parking standards apply:

<i>Parking Requirement</i>							
<i>Use</i>	<i>Gross Floor Area or Number of Units</i>	<i>Parking Ratio</i>	<i>Required Parking</i>		<i>Provided Parking</i>		<i>Compliance</i>
			<i>Regular</i>	<i>Handi-capped</i>	<i>Regular</i>	<i>Handi-capped</i>	
Church/House of Worship	36,070 SF (includes existing church and covered courtyard area)	One space for each four fixed seats (659 seats total)	165		200		
TOTAL (With Handicapped)			159	6	193	7	Y

Staff Report Page Four
July 2010 - Administrative Review

ANALYSIS

The proposed changes to the previously approved plans include a reduction in the size of the floor area for the expansion of the Church/House of Worship from 48,816 square feet to 25,400 square feet (less than 50% reduction), a reduction in the overall height of the structure (with steeple) from 100 feet to 54.6 feet with the actual building height decreasing from 35 to 32.6 feet, a slight reconfiguration of the site layout and floor plan to reflect the changes in building size, and an increase in the seating capacity of the main Sanctuary from 600 seats to 659. Pursuant to Title 19.18.050 and 060, these reductions in the size and scope of the project are within the parameters of adjustments qualifying for Minor Amendments to the existing Special Use Permit (SUP-36136) and Site Development Plan Review (SDR-36124)

As the proposed changes constitute Minor Amendments to previously approved entitlements, do not increase the intensity of use and will be compatible with the surrounding adjacent land uses, the Planning and Development Department is administratively approving this request.

FINDINGS (SUP-38649)

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

- 1. The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan.**

The proposed use is a reduction in the previously approved expansion of the Church/House of Worship. The reduction in the size and scope of the project is compatible with the surrounding land uses.

- 2. The subject site is physically suitable for the type and intensity of land use proposed.**

The subject site remains suitable for the type and intensity of land use proposed for the site.

- 3. Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.**

Two separate roadways will provide access to the property: Diamondhead Drive is a 60-foot Local Street and Marion Drive is an 80-foot Secondary Collector, both capable of providing adequate access/egress from the subject site.

Staff Report Page Five
July 2010 - Administrative Review

4. **Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.**

Approval of this Minor Amendment to the previously approved Special Use Permit (SUP-36136) does not compromise the public health, safety, general welfare or overall objectives of the General Plan.

5. **The use meets all of the applicable conditions per Title 19.04.**

The Minor Amendment for the Church/House of Worship complies with the applicable conditions per Title 19.04.

FINDINGS (SDR-38648)

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **The proposed development is compatible with adjacent development and development in the area;**

The proposed plans for the addition to an existing Church/House of Worship are in compliance with residential adjacency requirements. Adequate landscaping is provided to for buffering; therefore, the proposed development is compatible with adjacent development and development in the surrounding areas.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development is consistent with the General Plan. Though the development fails to meet all perimeter landscape buffer requirements, a waiver was previously approved with Site Development Plan Review (SDR-36124) that is minimal in nature, with the remaining onsite landscaping meeting or exceeds minimum requirements.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The proposed amended expansion to the existing Church/House of Worship is still accessed from Diamondhead Drive and Marion Drive, both providing adequate access to the site.

Staff Report Page Six
July 2010 - Administrative Review

4. **Building and landscape materials are appropriate for the area and for the City;**

Building and landscape materials remain as previously approved.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

The building elevations and architectural features are not unsightly, are compatible with development in the area and substantially conform to the previous approvals.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare;**

The proposed development is subject to permit review and inspections; therefore, appropriate measures will be taken to protect public health, safety and general welfare.

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

July 6, 2010

Unity Baptist Church
545 Marion Drive
Las Vegas, Nevada 89110

**RE: SDR-38648 - ADMINISTRATIVE SITE DEVELOPMENT PLAN REVIEW
MINOR REVIEW CYCLE - JULY 2010**

Dear Applicant:

Your request for a Minor Amendment to the previously approved Site Development Plan Review (SDR-36124) TO REDUCE THE FLOOR AREA OF A PROPOSED ADDITION TO AN EXISTING CHURCH/HOUSE OF WORSHIP FROM 48,816 SQUARE FEET TO 25,400 SQUARE FEET AND TO REDUCE THE HEIGHT OF THE STRUCTURE FROM 100 FEET TO 54 FEET on 4.17 acres at 545 Marion Drive (APNs 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese), will be considered administratively by the Planning and Development Department staff.

Staff will determine within thirty (30) days of the date of this letter whether or not your request will be approved as submitted. We will notify you in writing as to our determination after we have reviewed the details of the request.

If you have any questions or need additional information please do not hesitate to contact me at (702) 229-6301.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. John Lopeman
Ethos Three Architecture
8965 South Eastern Avenue, Suite #100
Las Vegas, Nevada 89123

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: July 7, 2010
Re: **SDR-38648** Unity Baptist Church 545 Marion Dr.
Request for a Minor Amendment to a previously approved Site Development Plan Review (SDR-36124)

CONDITIONS OF APPROVAL:

1. Site development to comply with all applicable conditions of approval for SDR-36124 and all other site-related actions.

not e-mailed

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-38648

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEUMUS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RONEUMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RONEUMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR
06/22/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-38648 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-38649 - MINOR REVIEW -

APPLICANT/OWNER: UNITY BAPTIST CHURCH - Request for a Minor Amendment to the previously approved Site Development Plan Review (SDR-36124) FOR A PROPOSED 48,816 SQUARE-FOOT ADDITION TO AN EXISTING 8,000 SQUARE-FOOT CHURCH/HOUSE OF WORSHIP WITH A WAIVER OF THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS TO ALLOW A 10-FOOT LANDSCAPE BUFFER ALONG A PORTION OF THE WEST PERIMTER WHERE 15 FEET IS REQUIRED on 4.17 acres at 545 Marion Drive (APNs 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese).

PLANNING COMMISSION: **JULY 29, 2010**

PLANNING SUPERVISOR: **STEVE GEBEKE**



ADMINISTRATIVE

Comments Due: **JUNE 29, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

THIS ITEM WILL BE CONSIDERED
ADMINISTRATIVEY AND WILL NOT
APPEAR ON A PLANNING COMMISSION
AGENDA

Admin RB

Report Date 06/24/2010 07:56 AM

Submitted By

Page 1

A/P # 38648 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	06/22/2010 11:06	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-38648 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-38649 - MINOR REVIEW - APPLICANT/OWNER: UNITY BAPTIST CHURCH - Request for a Minor Amendment to the previously approved Site Development Plan Review (SDR-36124) FOR A PROPOSED 48,816 SQUARE-FOOT ADDITION TO AN EXISTING 8,000 SQUARE-FOOT CHURCH/HOUSE OF WORSHIP WITH A WAIVER OF THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS TO ALLOW A 10-FOOT LANDSCAPE BUFFER ALONG A PORTION OF THE WEST PERIMETER WHERE 15 FEET IS REQUIRED on 4.17 acres at 545 Marion Drive (APN 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese).

Parent A/P # 36124
Project # 38648 Project/Phase Name UNITY BAPTIST CHURCH Phase #
Size/Area 4.17 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 14032501001

Location

Owner/Tenant

Contact ID AC186209 Name CHURCH BAPTIST UNITY
Mailing Address 545 MARION DR Organization
City LAS VEGAS State/Province NV
ZIP/PC 89110-3413 Country ☐ Foreign
Day Phone Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

543 MARION DR
LAS VEGAS, 89110-

545 MARION DR
LAS VEGAS, 89110-

A/P Addresses

No Other Addresses are associated to this Application

Report Date 06/24/2010 07:56 AM

Submitted By

Page 2

Linked Parcels

No Parcels are linked to this Application

AP Linked Parcels

14032501001
14032501002

Applicants/Contacts

Primary Y Capacity OWNER Contact ID AC186209 ☐ Foreign
Effective Expire
Name CHURCH BAPTIST UNITY
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 545 MARION DR
LAS VEGAS, NV 89110-3413
Seasonal Addr

Valid From To
Comments No Comments

Contractors

No Contractors

Item Description

Item Status

Check Fees	Fees Successful
PROCESSING FEE (\$500.00)	Paid
Check Inspections	Inspections Successful
Check Reviews	Reviews Failed
397864 B&S PLAN #1 (BUILDING&SAFETY PLAN REVIEW)	Incomplete
397863 OEVC0 #1 (DEVELOPMENT COORDINATION)	Incomplete
397873 FIRE ENG #1 (FIRE PROTECTION ENGINEERING)	Incomplete
397865 FLOOD #1 (FLOOD CONTROL)	Incomplete
397872 LANO DEV #1 (LAND DEVELOPMENT)	Incomplete
397866 ROW #1 (RIGHT-OF-WAY)	Incomplete
397871 SEWER #1 (COLLECTION SYSTEMS PLANNING)	Incomplete
397870 SID #1 (SPECIAL IMPROVEMENT DISTRICT)	Incomplete
397869 SURVEY #1 (SURVEY)	Incomplete
397868 TEFO #1 (TRAFFIC ENG FIELO OPERATIONS)	Incomplete
397867 TRAFFIC #1 (TRAFFIC ENGINEERING)	Incomplete
Check Conditions	Conditions Successful
Check Alert Conditions	Alert Conditions Failed
(ASSIGN CASE TO A PLANNER)	
(AT-COMPLETE DRT PROCESS)	
(AT-ROUTE PLANS FOR REVIEW)	
(STAFF RECOMMENDATION)	
Check Licenses	Not Checked
Check Children Status	Children Successful
Check Open Cases	0

Fees	Status	Paid Date	Amount
PROCESSING FEE	P	06/22/2010 11:36	500.00
Total Unpaid	0.00	Total Paid	500.00

Report Date 06/24/2010 07:56 AM

Submitted By

Page 3

Inspections

There are no inspections for this Report

Review Activities
Review #
Comments

Review Type

#

Status

Waived

Issued

Started

Completed

Comp By

397863	DEVCO	1	Incomplete	☐	06/24/2010 07:56			
397864	B&S PLAN	1	Incomplete	☐	06/24/2010 07:56			
397865	FLOOD	1	Incomplete	☐	06/24/2010 07:56			
397866	ROW	1	Incomplete	☐	06/24/2010 07:56			
397867	TRAFFIC	1	Incomplete	☐	06/24/2010 07:56			
397868	TEFO	1	Incomplete	☐	06/24/2010 07:56			
397869	SURVEY	1	Incomplete	☐	06/24/2010 07:56			
397870	SID	1	Incomplete	☐	06/24/2010 07:56			
397871	SEWER	1	Incomplete	☐	06/24/2010 07:56			
397872	LAND DEV	1	Incomplete	☐	06/24/2010 07:56			
397873	FIRE ENG	1	Incomplete	☐	06/24/2010 07:56			

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR)
Comments

Modified By FSOLIS

Modified Date/Time 06/22/2010 11:05

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y	Pre-Application Conference Checklist	Y	Site Plans (19 Folded Blue Lines, 1 Rolled Color)
Y	Application/Petition Form	Y	Landscape Plan
Y	Deed and Legal Description	Y	Building Elevations (2 Folded, 1 Rolled Color)
Y	Justification Letter	Y	Floor Plan (1 Folded, 1 Rolled)
Y	Color and Material Board	Y	Laser Print Site Plan
N	DINA (Not Always Required)	Y	Laser Print Floor Plan
Y	Statement of Financial Interest	Y	Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions

Condition
Supervisor Required

Approval

Approved By
Comments

Approved Date

Applied By

Applied Date

Assigned

No Conditions

Project# **A/P Type** **Status** **Stage** **Relation**

No children exist for this project

Report Date 06/24/2010 07:56 AM

Submitted By

Page 4

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

Y Parent Project link required?

Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

Public, Non-Public, AdminADMIN

If yes, when does it need to be reviewed?

Staff Recommendation

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
07/29/2010	ADMIN	SCHEDULED	0	0	0
FSOLIS	06/22/2010				

Template Type A/P # A/P Type Status Stage

No children exist for this project

Employee
Employee ID Last First MI Comments

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT#	890381	06/22/2010 11:36		0.00
	JOHN LOPEMAN; UNITY BAPTIST CHURCH; CK#4185; 702-456-1070;				

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Review

Project Address (Location) 545 Marion

Project Name Unity Baptist Church Proposed Use Religious Facility

Assessor's Parcel #(s) 140-32-501-001, 140-32-501-002 Ward # 3

General Plan: existing MI proposed MI Zoning: existing R-E proposed R-E

Commercial Square Footage 25,400 sf new, 8,000 sf Floor Area Ratio 18.39%

Gross Acres 4.17 Lots/Units _____ Density _____

Additional Information commercial square footage does not include 2,670 sf courtyard cover.
25,400 + 2,670 + 8,000 = 36,070 sf total

PROPERTY OWNER Unity Baptist Church Contact _____
Address 545 Marion Drive Phone: _____ Fax: _____
City Las Vegas State NV Zip 89110
E-mail Address _____

APPLICANT Unity Baptist Church Contact _____
Address 545 Marion Drive Phone: _____ Fax: _____
City Las Vegas State NV Zip 89110
E-mail Address _____

REPRESENTATIVE ethos three ARCHITECTURE Contact John Lopeman, AIA
Address 8965 S. Eastern Ave., Suite 100 Phone: (702) 456-1070 Fax: (702) 456-7020
City Las Vegas State NV Zip 89123
E-mail Address jclopeman@ethosthree.com

FOR DEPARTMENT USE ONLY

Property Owner Signature* Raymond L. Giddens Sr.

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

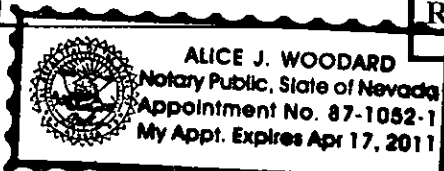
Print Name RAYMOND L. GIDDENS SR.

Subscribed and sworn before me

This 10th day of June, 20 10.

Alice J. Woodard

Notary Public in and for said County and State



Case #	<u>SDR - 38648</u>
Meeting Date:	<u>Admin</u>
Total Fee:	<u>\$500</u>
Date Received:*	<u>6/22/10</u>
Received By:	<u>Romeo</u>

The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-38648** APN: 140-32-501-001, 002

Name of Property Owner: Unity Baptist Church

Name of Applicant: Unity Baptist Church

Name of Representative: ethos three architecture

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

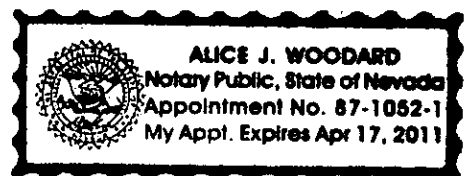
Signature of Property Owner: Raymond L. Giddens Sr.

Print Name: RAYMOND L. GIDDENS SR.

Subscribed and sworn before me

This 10th day of June, 2010

Alice J. Woodard
Notary Public in and for said County and State





June 21, 2010

City of Las Vegas
Development Services Center
731 South Fourth Street
Las Vegas, Nevada 89101

RE: Justification Letter – Unity Baptist Church Expansion

Dear Planning Dept.,

We are requesting Minor Amendments to previous applications approved on this site: SUP 36136 and SDR 36124. The requests are made to accommodate revisions to the design including reduction in floor area (from 48,816 sf to 25,400 sf – less than 50%), reduction in height (from 100' to 54' – less than 50%), and slight reconfigurations to the site layout, floor plan, and elevations to reflect the changes in building size. The seating capacity of the main Sanctuary has been increased to 659, therefore, the required parking space count is 165 and the parking space quantity provided is now 200.

The uses of the facility have not changed from the previous approved requests.

Sincerely,

John Lopeman, AIA

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JUN 22 2010

SDR-38648

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

CORRECTED LETTER

November 10, 2009

Unity Baptist Church
545 Marion Drive
Las Vegas, Nevada 89110

RE: SDR-36124 - SITE DEVELOPMENT PLAN REVIEW

Dear Applicant:

Your request for a Site Development Plan Review FOR A PROPOSED 48,816 SQUARE-FOOT ADDITION TO AN EXISTING 8,000 SQUARE-FOOT CHURCH/HOUSE OF WORSHIP WITH A WAIVER OF THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS TO ALLOW A 10-FOOT LANDSCAPE BUFFER ALONG A PORTION OF THE WEST PERIMETER WHERE 15 FEET IS REQUIRED on 4.17 acres at 545 Marion Drive (APN 140-32-501-001 and 002), R-E (Residence Estates) Zone, Ward 3 (Reese), was considered by the Planning Commission on November 5, 2009.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning and Development

1. Conformance to the conditions for Special Use Permit (SUP-36136), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan and landscape plan date stamped 10/07/09 and building elevations, date stamped 10/06/09, except as amended by conditions herein.
4. A Waiver from Title 19.12 Landscape and Buffer Standards is hereby approved, to allow a 10-foot Landscape Buffer along a portion of the west perimeter buffer where 15 feet is required.
5. The applicant shall work with City staff to determine the most appropriate mapping action necessary to consolidate all existing parcels. The mapping action shall be completed and recorded prior to issuance of any building permits.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



FM-0073-09-09 MD 32531

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JUN 22 2010
SDR-38648
07/2010 ADMIN

Unity Baptist Church
SDR-36124 – Page Two
November 10, 2009

6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Unity Baptist Church
SDR-36124 – Page Three
November 10, 2009

Public Works

14. Coordinate with the City Surveyor to determine if a Reversionary Map or other lot consolidation is necessary prior to the approval of construction drawings; comply with the recommendations of the City Surveyor. No structure shall be allowed to be built over a property line and all required parking must be on the same lot as the primary structure.
15. Construct all incomplete half-street improvements on Marion Drive adjacent to this site concurrent with development of this site.
16. Remove the western most driveway on Diamond Head Drive and replace with curb, gutter, and sidewalk. Also remove all substandard public street improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
17. Provide a copy of a recorded Joint Access Agreement between the parcels that comprise this site prior to the issuance of any permits, unless the parcels are legally joined into one parcel.
18. Each parcel must have its own lateral connection to public sewer.
19. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
20. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
21. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

CORRECTED LETTER

Unity Baptist Church
SDR-36124 – Page Four
November 10, 2009

22. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.

This item will be considered by the City Council on **December 2, 2009**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:nl

cc: Mr. John Lopeman, AIA
Ethos Three Architecture
8965 South Eastern Avenue
Las Vegas, Nevada 89123

CLARK COUNTY BUSINESS LICENSE

LICENSE NUMBER: 2000100-055

NAICS CODE: 541310.1

LICENSE PERIOD BEGINS: 12/01/2009

LICENSE EXPIRATION DATE: 11/30/2010

POST IN A CONSPICUOUS PLACE AT THE BUSINESS LOCATION.

ISSUED TO:

Ethos Three Architecture
8965 S Eastern Ave Ste 100
Las Vegas, NV 89123

BUSINESS LOCATION ADDRESS:
8965 S Eastern Ave Ste 100
Las Vegas, NV 89123

TYPE OF LICENSE: Architectural Firm

LAND USE: U

Current Planning Comments:

Zoned C-2, approved for an Architects office.

DISCLAIMER

ISSUANCE OF A BUSINESS LICENSE IS NOT AN ENDORSEMENT OF THE BUSINESS PRACTICE OF THE LICENSEE.

Please See Reverse Side For Additional Information

Jacqueline R. Holloway

JACQUELINE R. HOLLOWAY
Director of Business License

DEPARTMENT OF BUSINESS LICENSE

500 S. Grand Central Pky
Box 551810

Las Vegas NV 89155-1810
Phone: (702) 455-4252

RECEIVED
JUN 22 2010

APR 8, 1985 247.50

3 6 0 5 0 7 0 0 1 3 8

4

GRANT, BARGAIN, SALE DEED

RE-RECORDED

THIS INDENTURE WITNESSETH: That DEL B. CRAM and MARY P. CRAM, husband and wife

in consideration of \$ 10.00 the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to
UNITY BAPTIST CHURCH

all that real property situate in, the _____ County of Clark
State of Nevada, bounded and described as follows:

Legal Description As Per Rider Attached Hereto, Marked
Exhibit "A" And Made A Part Hereof.

This document is re-recorded to correct the legal description of the
property intended to be conveyed.

Tax Parcel No. 060-320-007

SUBJECT TO: 1. Taxes for the fiscal year 85-86
2. Rights of way, reservations, restrictions, easements and conditions
of record.

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Witness Their hand & seal this 26 day of December 1985
Del B. Cram Mary P. Cram
Del B. Cram Mary P. Cram

STATE OF Nevada
County of Clark
On this 5th day of May 1986
personally appeared before me, a Notary Public in and for said
County and State
Del B. Cram and Mary P. Cram
Cram

I am by me to be the persons described in and who executed
and acknowledged to me that they
signed the same freely and voluntarily and for the uses and
purposes therein mentioned.

Notary Public
Nevada
1986

ESCROW NO. E-118237-DM

WHEN RECORDED MAIL TO: Unity Baptist Church
P. O. Box 30183, North Las Vegas, NV 89030

RECEIVED
JUN 22 2010

E-14

8/20/07 0.7000 12398

Exhibit "A"

Situate in the County of Clark, State of Nevada, described as follows:

The West Half (W 1/2) of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of Section 32, Township 20 South, Range 62 East, M.D.M. of the Northeast Quarter (NE 1/4)

EXCEPTING that portion of the West Half (W 1/2) of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of Section 32, Township 20 South, Range 62 East, M.D.M., City of Las Vegas, Clark County, Nevada described as follows:

COMMENCING at the Northwest Corner (NW C) of the Northeast Quarter (NE 1/4) of said Section 32;

thence South 00°20'39" East, along the West line thereof, 669.11 feet to the Northwest Corner (NW C) of a parcel described by a Quitclaim Deed recorded October 12, 1977, as Document No. 757847, Official Records, Book 748, Clark County, Nevada Records, said corner being the TRUE POINT OF BEGINNING:

thence North 87°56'57" East, along the North line thereof, 337.95 feet to the Northeast Corner (NE C) of said parcel;

thence South 00°22'58" East, along the West line thereof, 30.01 feet;

thence South 87°56'57" West, 278.54 feet to the beginning of a tangent curve, concave Southeasterly and having a radius of 20.00 feet;

thence Southwesterly along said curve through a central angle of 88°17'36", an arc length of 30.82 feet;

thence South 89°59'21" West, along a radial line, 40.00 feet to a point on the aforementioned west line of said Northeast Quarter (NE 1/4);

thence North 00°20'39" West, along said west line, 48.24 feet to the TRUE POINT OF BEGINNING.

CLARK COUNTY, NEVADA
JANUARY 1, 1900 TO JANUARY 1, 1901



Clark
County

JOAN L. SWIFT
COUNTY RECORDER

SOUTH THIRD STREET BUILDING
308 S. THIRD STREET
LAS VEGAS, NEVADA 89155

RECORDED DOCUMENT ENDORSEMENT

This endorsement is an official document of the Clark County Recorder's Office
and is part of the filmed record of the instrument attached hereto.

CLARK COUNTY, NEVADA
JOAN L. SWIFT, RECORDER
RECORDED AT REQUEST OF
LAWYERS TITLE OF LAS VEGAS, INC.
MAY 7 8 00 AM '05
FEE 6- DEPUTY VS
OFFICIAL RECORDS
BOOK INSTRUMENT

860507

00138

2 Pages
6- Fee
247.50 RPTT
C/L Deputy
055

860708100329

RE-RECORDED

CLARK COUNTY NEVADA
JOAN L. SWIFT, RECORDER
RECORDED AT REQUEST OF

LAWYERS TITLE OF LAS VEGAS, INC.

JUL 8 8 00 AM '86

FEE 8- DEPUTY VC
OFFICIAL RECORDS
BOOK 111 PAGE 11

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