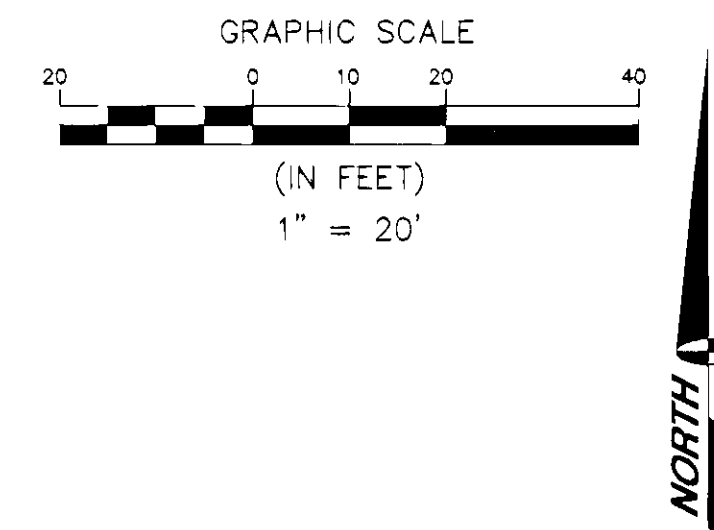
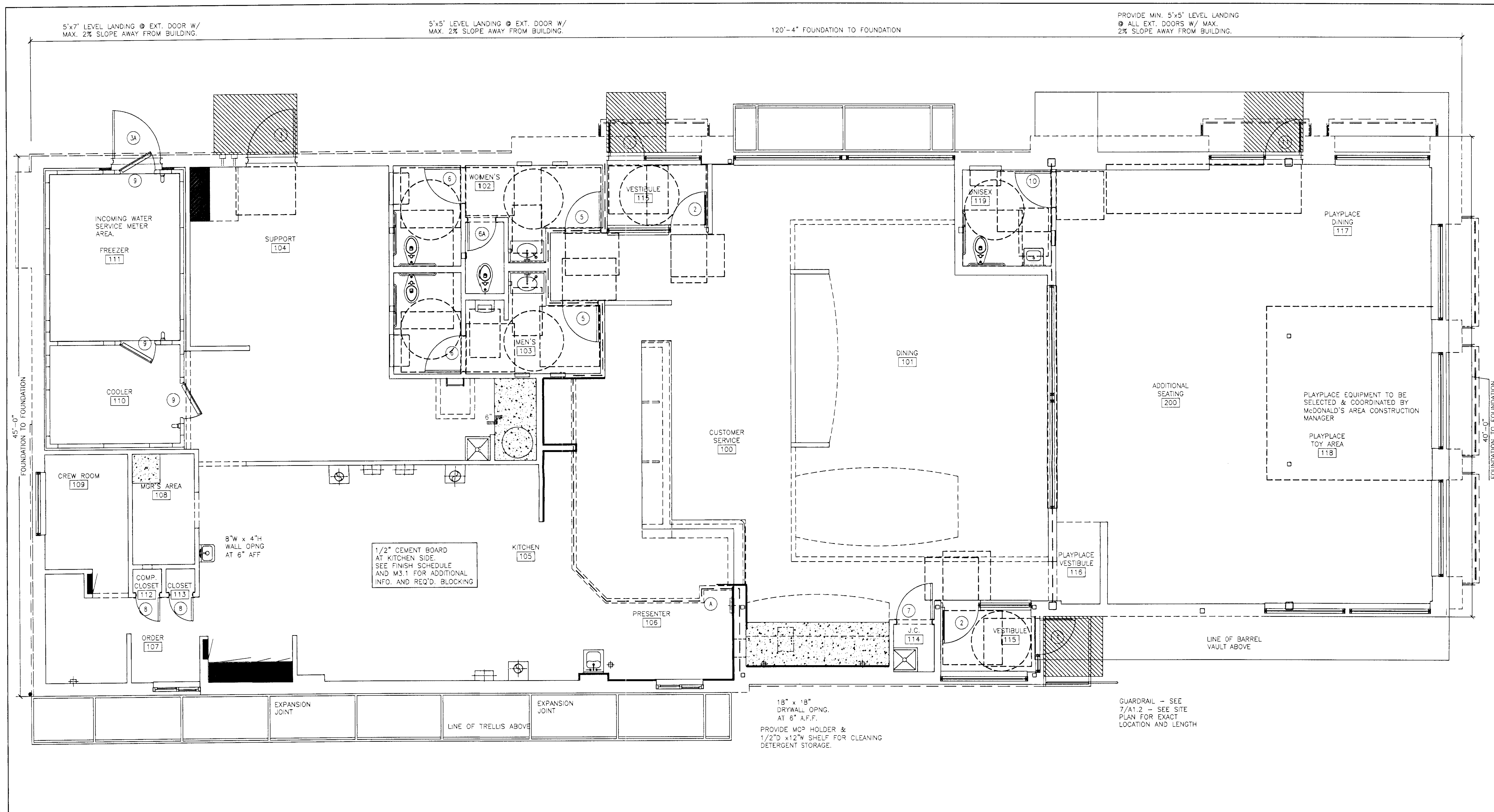




S1.0
SITE PLAN



1 FLOOR PLAN
A1.0 1/4"=1'-0"

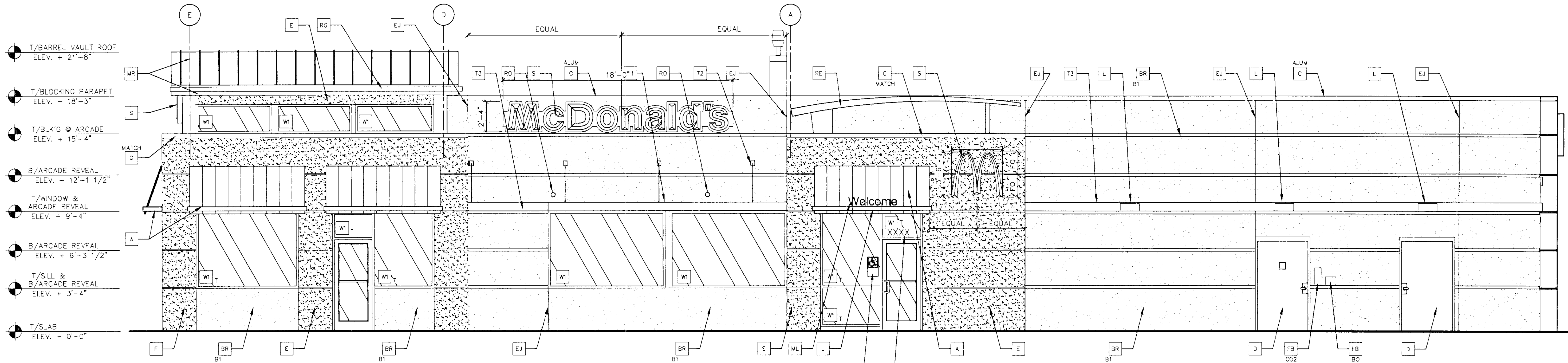
BUILDING INFORMATION:
4587-WOOD/WOOD +SEATING +850 SQ FT PLAY PLACE
2009 STD. BLDG (5,153 SQ FT-GROSS)
MAXIMUM OCCUPANCY: 157
SEATING CAPACITY: 130 ±

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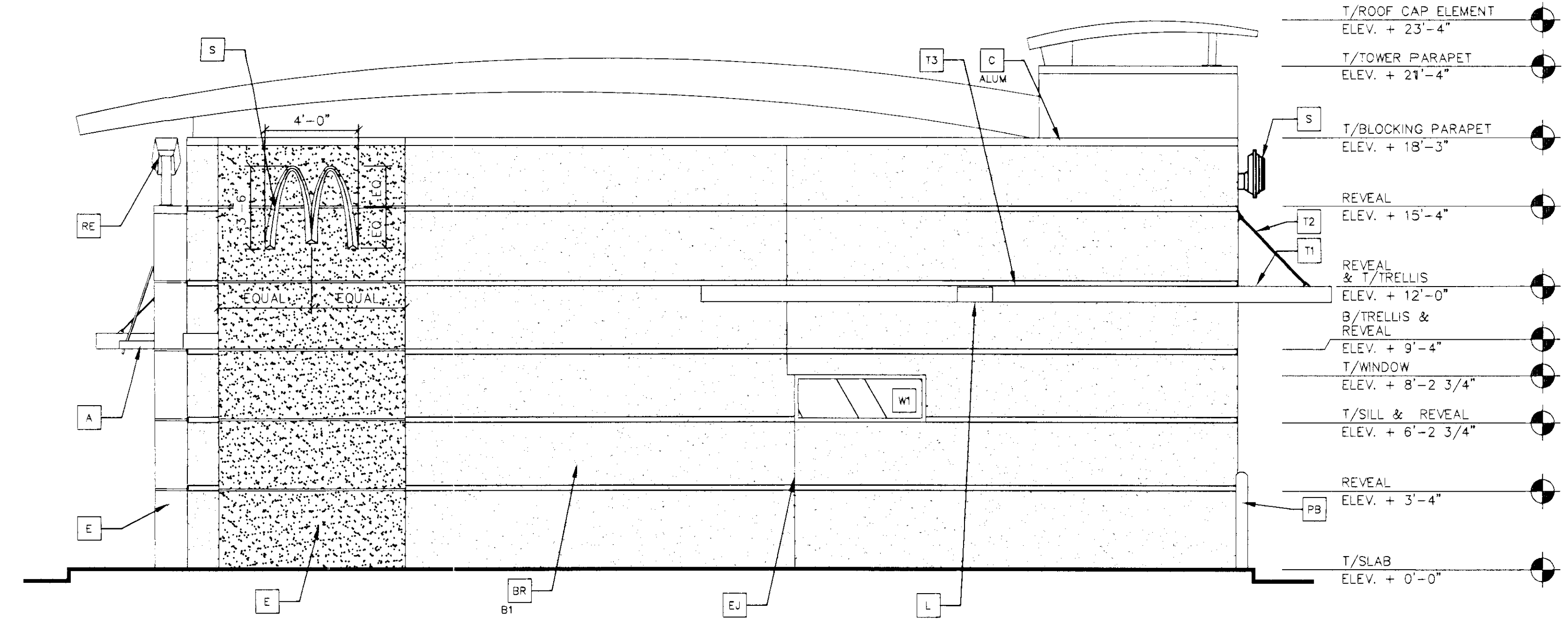
TITLE		DRAWN BY		PREPARED FOR		REVIEWED BY		DATE		DESCRIPTION	
2009 STANDARD BUILDING		S.D.		M. McDonald's USA, LLC		K.S.		MAY 2010			
4587-WOOD/WOOD +SEATING + PP		S.D.		© 2007 McDonald's USA, LLC		K.S.		MAY 2010			
WOOD BEARING WALLS		S.D.		These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The drawings and specifications are prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of the services of properly licensed architects and engineers, reproduction of the contract documents for reuse on another project is not authorized.		K.S.		MAY 2010			
WOOD ROOF TRUSS FRAMING		S.D.				K.S.		MAY 2010			
STUCCO EXTERIOR FINISH ARCADE/ENTRY		S.D.				K.S.		MAY 2010			
SITE ADDRESS		S.D.				K.S.		MAY 2010			
000-0000		S.D.				K.S.		MAY 2010			
2313/2599 E. OWENS AVENUE, LAS VEGAS, NEVADA 89101		S.D.				K.S.		MAY 2010			

A1.0
FLOOR PLAN

SDR-38585



1 NON DRIVE-THRU ELEVATION
A2.1 1/4" = 1'-0"



2 REAR ELEVATION
A2.1 1/4" = 1'-0"

KEY NOTES:

- A METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- BR 3 COAT STUCCO EXTERIOR FINISH
COLOR: 91 = "RUBIGO RED VELOUR" BY BELDEN OR EQUAL
92 = "MODULAR MIDLAND BLEND A" BY BELDEN OR EQUAL
- C METAL COPING - COLOR = ALUMINUM
- C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE 2122-70 SNOW WHITE
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- E1 EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE 2125-30 GRAY SHOWER
- FB C02 FILL BOX (EQPM SCHEDULE ITEM 49.00)
- FB C02 FILL BOX (EQPM SCHEDULE ITEM 49.00)
- FB C02 FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- ML METAL LETTERING - BY OTHERS
- MR METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW" PANTONE COLOR #109J
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
- RE ROOF CAP ELEMENT BY OTHERS
- RG CONTINUOUS RAIN GUTTERS AT BARREL VAULT ROOF COLOR TO MATCH ROOF
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- SP SPANDREL PANEL SET IN AN EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0. COLOR TO MATCH WINDOW FRAMES
- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK
- T3 2" x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET A5.1
- W1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0
T = TEMPERED GLASS
- W2 DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER. OPTIONS INCLUDE: TRANSOM (SHOWN)

GLAZING REQUIREMENTS:
U VALUE = XXXX
SHGC = XXXX

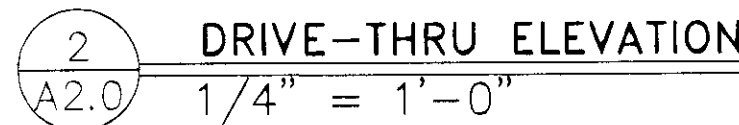
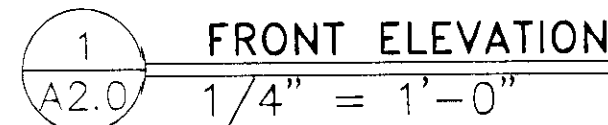
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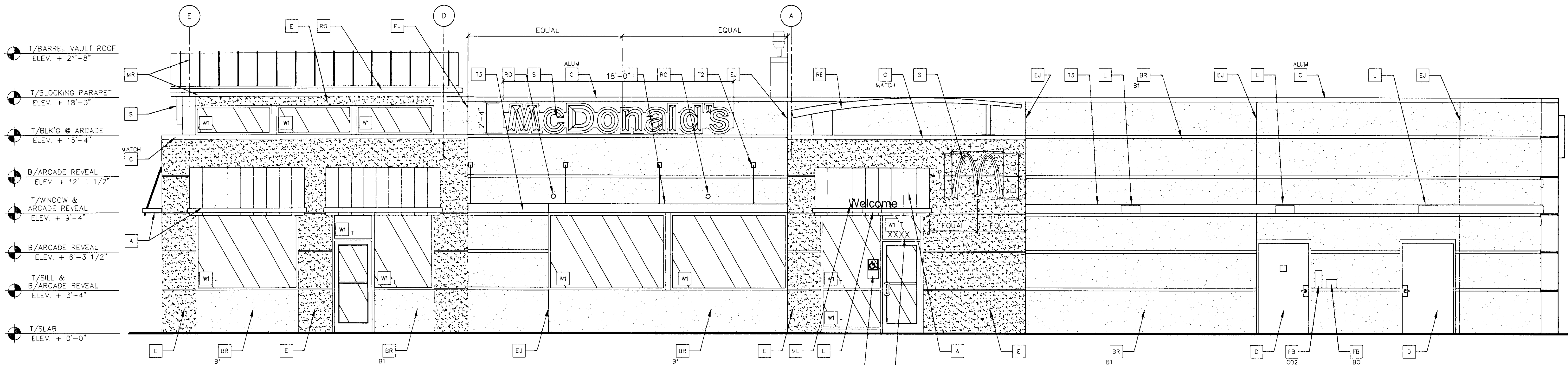
PREPARED FOR: **McDonald's USA, LLC**
2009 STANDARD BUILDING
4587-WOOD/WOOD + SEATING + PP
DESCRIPTION: WOOD BEARING WALLS, WOOD ROOF TRUSS FRAMING, STUCCO EXTERIOR FINISH ARCADE/ENTRY
SITE ID: 000-0000
2013/2999 E. OWENS AVENUE, LAS VEGAS, NEVADA 89101

PREPARED BY: **SPECTRUM SURVEYING & ENGINEERING**
8905 W POST ROAD, SUITE 100
LAS VEGAS, NEVADA 89148
OFFICE: (702) 367-7705
FAX: (702) 367-8733

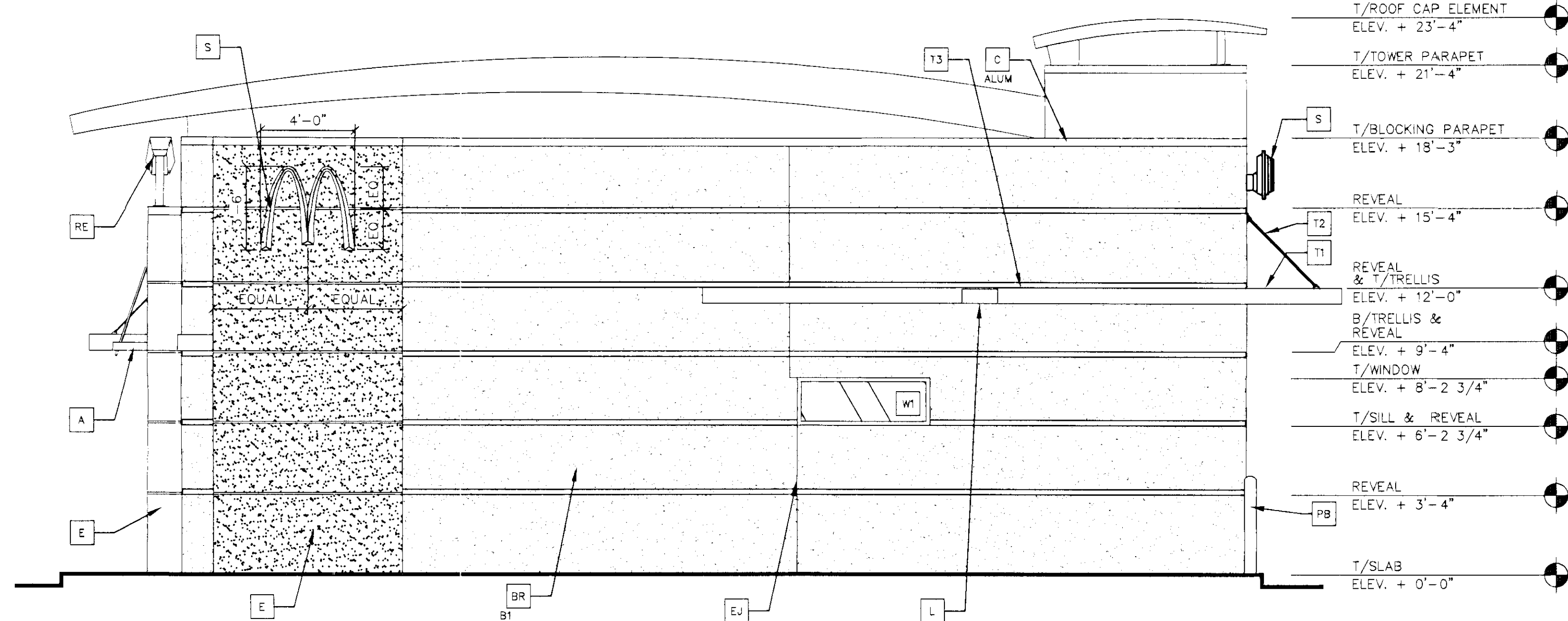
DATE: _____
REV: _____
DESCRIPTION: _____
BY: _____

SHEET NO. **A2.1**
ELEVATIONS
SDR-38585





1
A2.1 NON DRIVE-THRU ELEVATION
1/4" = 1'-0"



2
A2.1 REAR ELEVATION
1/4" = 1'-0"

KEY NOTES:

A METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C

BR 3 COAT STUCCO EXTERIOR FINISH

COLOR:
B1 = "RUBIGO RED VELOUR" BY BELDEN OR EQUAL
B2 = "MODULAR MIDLAND BLEND A" BY BELDEN OR EQUAL

C METAL COPING - COLOR = ALUMINUM

C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL

D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

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EJ EXPANSION JOINT, SEE DETAIL 7/A4.1

E1 EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE 2125-30 GRAY SHOWER

FB CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)

FB CO2 FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER

L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL

ML METAL LETTERING - BY OTHERS

MR METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW" - PANTONE COLOR #109U

PB PIPE BOLLARD - PAINTED YELLOW

PT (RMHC) COIN COLLECTOR

RE ROOF CAP ELEMENT BY OTHERS

RG CONTINUOUS RAIN GUTTERS AT BARREL VAULT ROOF COLOR TO MATCH ROOF

RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL

S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

SP SPANREL PANEL SET IN AN EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0, COLOR TO MATCH WINDOW FRAMES

T1 ALUMINUM TRELLIS

T2 TRELLIS TIE-BACK

T3 2" x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET A5.1

W1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES

T = TEMPERED GLASS

W2 DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER

SLIDE DIRECTION:
RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

GLAZING REQUIREMENTS:
U VALUE = XXXX
SHGC = XXXX

TITLE				SHEET NO.				REVISION				DATE				DESCRIPTION				BY			
2009 STANDARD BUILDING				4587 - WOOD/WOOD + SEATING + PP																			
DESCRIPTION				WOOD BEARING WALLS																			
WOOD ROOF TRUSS FRAMING																							
STUCCO EXTERIOR FINISH ARCADE/ENTRY																							
SITE ADDRESS				2513/2599 E. OWENS AVENUE, LAS VEGAS, NEVADA 89101																			
000-0000																							

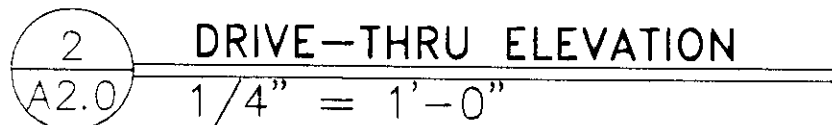
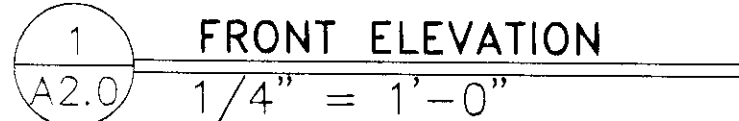
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SURVEYING & ENGINEERING
8905 W POST ROAD, SUITE 100
LAS VEGAS, NEVADA 89148
OFFICE: (702) 367-7705
FAX: (702) 367-8733

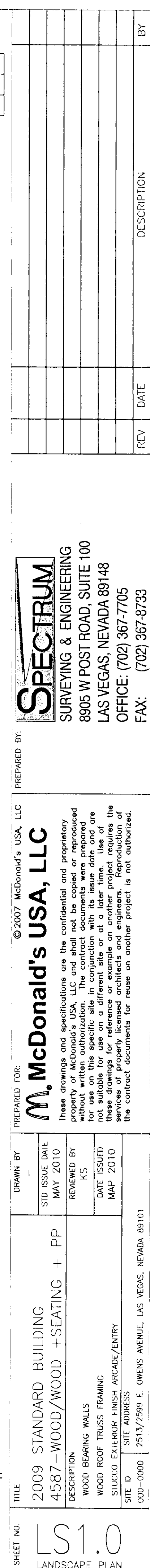
PREPARED FOR:
M. McDonald's USA, LLC
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PREPARED BY:
OC
STD ISSUE DATE
MAY 2010
REVIEWED BY
KS
DATE ISSUED
MAP 2010

RECEIVED
JUN 15 2010

City of Las Vegas

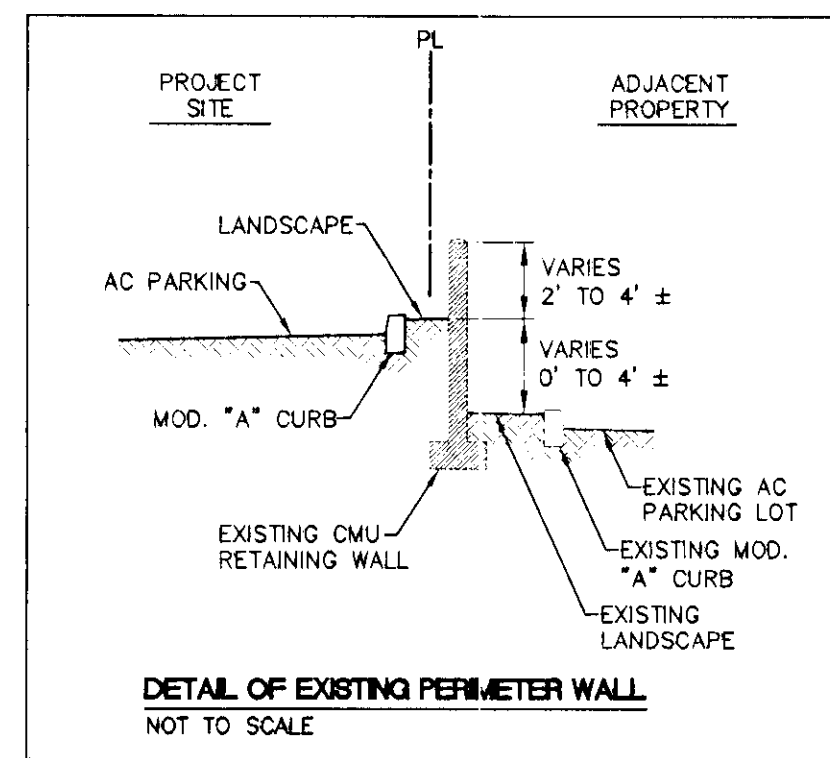




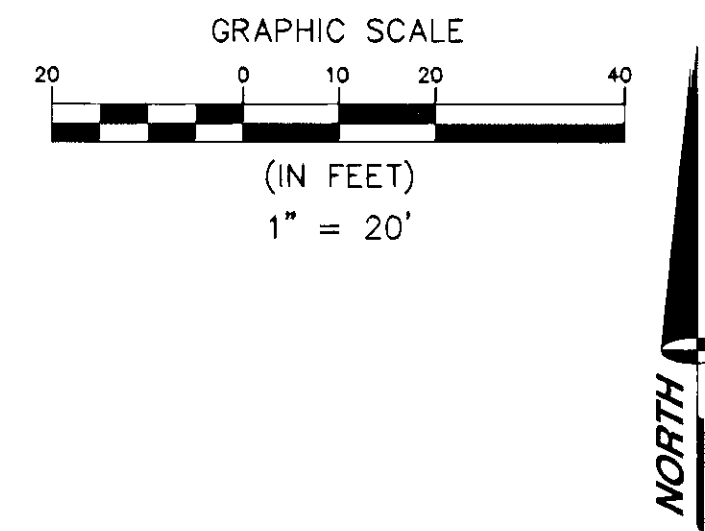


VAR-38586
VAR-38587

2009 STANDARD BUILDING 4587-WOOD/WOOD + SEATING + PP	DESCRIPTION WOOD BEARING WALLS WOOD ROOF TRUSS FRAMING STUCCO EXTERIOR FINISH ARCADE/ENTRY	SID ISSUE DATE MAY 2010
	SITE ID 000-0000	REVIEWED BY KS DATE ISSUED MAP 2010
SITE ADDRESS 2513/2599 E. OWENS AVENUE, LAS VEGAS, NEVADA 89101		



- LEGEND**
- SITE VISIBILITY ZONE
 - 24' WIDE FIRE ACCESS ROUTE
 - ACCESSIBLE EGRESS ROUTE



COMMERICAL DEVELOPMENT - EASTERN & OWENS

REQUIRED PARKING

RESTAURANT W/ PLAY PLACE	
1/100 X 3,823 =	38.2 SPACES REQUIRED
1/100 X 480 =	4.8 SPACES REQUIRED
1/100 X 300 =	3.0 SPACES REQUIRED
TOTAL PARKING REQUIRED:	46.0 SPACES REQUIRED

PARKING PROVIDED

H.C. PARKING REQUIRED:	3 SPACES PROVIDED (1 VAN ACCESSIBLE)
REGULAR PARKING SPACES:	37 SPACES PROVIDED
TOTAL PARKING:	40 SPACES PROVIDED
ADDITIONAL LOADING ZONE:	1 15' X 25' PROVIDED

SITE INFORMATION:

OWNER: FRANCHISE REALTY INTERSTATE CORPORATION
 ADDRESS: 2513/2599 E. OWENS AVENUE
 LAS VEGAS, NEVADA 89101
 JURISDICTION: CITY OF LAS VEGAS/ CITY OF NORTH LAS VEGAS ADJ. JURISDICTION
 APN: 139-25-101-002, 139-25-101-003, 139-25-101-004
 ZONING: GENERAL COMMERCIAL DISTRICT (C-2)
 APPROX. ACREAGE: 0.89 ACRES (Approx. 38,768 sq. ft.)

SETBACKS:	BUILDING:	LANDSCAPING:	NOTE:
FRONT:	20'	15'	EASTERN & OWENS ARE
INTERIOR SIDE:	10'	8'	SECTION LINE STREETS
SIDE STREET (CORNER):	15'	8'	
REAR:	20'	8'	

BUILDING INFORMATION:

4587 SQ. FT. + SEATING + 850 SQ. FT. P.P.
 2009 STD. BLDG
 5,153 SF GROSS
 F.A.R. (FLOOR AREA TO LOT AREA RATIO) = 0.13

KEY NOTES:

- | | |
|--|--|
| 1 EXISTING FREE STANDING McDONALD'S SIGN TO REMAIN | 14 PROPOSED BOLLARD |
| 2 ACCESSIBLE EGRESS ROUTE | 15 RADIUS WALL SCORCE MOUNTED AT HEIGHT OF TRELLIS, TYP. |
| 3 STREET LIGHT RELOCATION | 16 DIRECTIONAL (ILLUMINATED) 40" X 40" MINI-MONUMENT SIGNS |
| 4 TRASH ENCLOSURE | 17 WELCOME POINT CANOPY |
| 5 HANDRAIL | 18 DRIVE-THRU TWIN POLE CANOPY |
| 6 SITE VISIBILITY ZONE | 19 MODULAR OUTDOOR MENU BOARD |
| 7 RELOCATED BUS SHELTER PAD | 20 FLAG POLES |
| 8 CURB | 21 NOT USED |
| 9 AREA LIGHT AND FOUNDATION | 22 LANDSCAPE AREA |
| 10 NOT USED | 23 MODIFIED COMMERCIAL DRIVEWAY (OPTION B) PER USD NO. 226.2 TRANSITIONING INTO A DEPRESSED ALLEY CURB/RAMP PER USD NO. 227. |
| 11 REMOVE EXISTING MEDIAN ISLAND | 24 SIDEWALK |
| 12 EXISTING TRANSFORMER | |
| 13 PROPOSED COMMERCIAL DRIVEWAY (OPTION B), USD NO. 225 WITH CURB RETURN RADIUS DEVIATION. | |



VICINITY MAP
NOT TO SCALE

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1 SITE PLAN W/ SIGNAGE & LIGHTING
S1.0 1" = 20'-0"

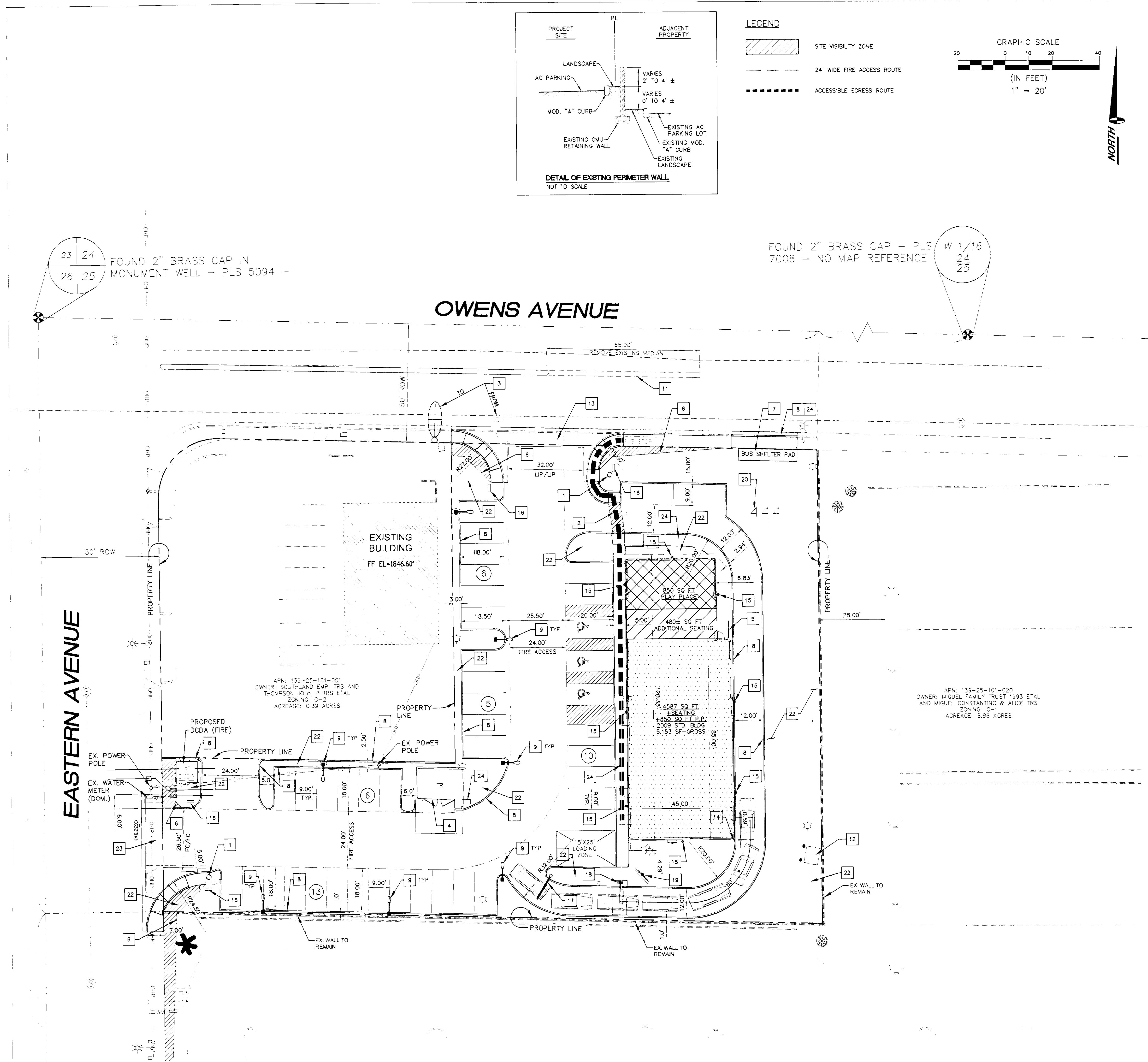
VAR-38586
VAR-38587

SPECTRUM
SURVEYING & ENGINEERING
8905 W POST ROAD, SUITE 100
LAS VEGAS, NEVADA 89148
OFFICE: (702) 367-7705
FAX: (702) 367-8733

PREPARED BY:
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McDonald's USA, LLC
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DRAWN BY: STD ISSUE DATE: MAY 2010
REVIEWED BY: DATE ISSUED: MAY 2010
DESCRIPTION: 2009 STANDARD BUILDING 4587-WOOD/WOOD + SEATING + PP
WOOD BEARING WALLS
WOOD ROOF TRUSS FRAMING
STUCCO EXTERIOR FINISH ARCADE/ENTRY
SITE ADDRESS: 2513/2599 E. OWENS AVENUE, LAS VEGAS, NEVADA 89101

SHEET NO. S1.0
SITE PLAN

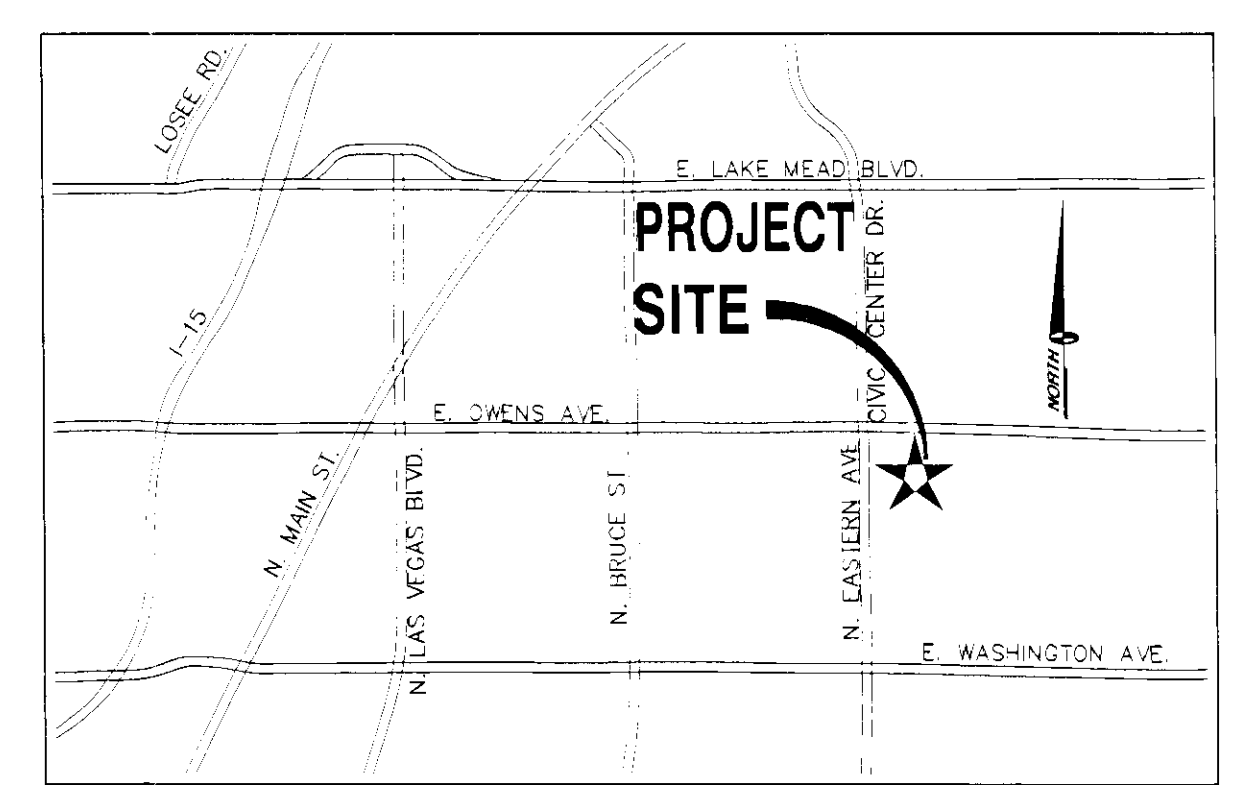


COMMERICAL DEVELOPMENT - EASTERN & OWENS	
REQUIRED PARKING	
RESTAURANT W/ PLAY PLACE	
1/100 X 3,823 =	38.2 SPACES REQUIRED
1/100 X 480 =	4.8 SPACES REQUIRED
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TOTAL PARKING REQUIRED:	46.0 SPACES REQUIRED
PARKING PROVIDED	
H.C. PARKING REQUIRED:	3 SPACES PROVIDED (1 VAN ACCESSIBLE)
REGULAR PARKING SPACES:	37 SPACES PROVIDED
TOTAL PARKING:	40 SPACES PROVIDED
ADDITIONAL LOADING ZONE:	1 15' X 25' PROVIDED

SITE INFORMATION:	
OWNER:	FRANCHISE REALTY INTERSTATE CORPORATION
ADDRESS:	2513/2599 E. OWENS AVENUE LAS VEGAS, NEVADA 89101
JURISDICTION:	CITY OF LAS VEGAS/ CITY OF NORTH LAS VEGAS ADJ. JURISDICTION
APN:	139-25-101-002, 139-25-101-003, 139-25-101-004
ZONING:	GENERAL COMMERCIAL DISTRICT (C-2)
APPROX. ACREAGE:	0.89 ACRES (Approx. 38,768 sq. ft.)
SETBACKS:	
FRONT:	20'
INTERIOR SIDE:	10'
SIDE STREET (CORNER):	15'
REAR:	20'
BUILDING:	
FRONT:	20'
INTERIOR SIDE:	10'
SIDE STREET (CORNER):	15'
REAR:	20'
LANDSCAPING:	
FRONT:	15'
INTERIOR SIDE:	8'
SIDE STREET (CORNER):	8'
REAR:	8'
NOTE:	
EASTERN & OWENS ARE SECTION LINE STREETS	

BUILDING INFORMATION:
4587 SQ FT + SEATING + 850 SQ FT P.P.
2009 STD. BLDG
5,153 SF GROSS
F.A.R. (FLOOR AREA TO LOT AREA RATIO) = 0.13

- KEY NOTES:**
- | | |
|--|--|
| 1 EXISTING McDONALD'S | 14 PROPOSED BOLLARD |
| 2 ACCESSIBLE EGRESS ROUTE | 15 RADIUS WALL SCONCE MOUNTED AT HEIGHT OF TRELLIS, TYP. |
| 3 STREET LIGHT RELOCATION | 16 DIRECTIONAL (ILLUMINATED) 40" X 40" MINI-MONUMENT SIGNS |
| 4 TRASH ENCLOSURE | 17 WELCOME POINT CANOPY |
| 5 HANDRAIL | 18 DRIVE-THRU TWIN POLE CANOPY |
| 6 SITE VISIBILITY ZONE | 19 MODULAR OUTDOOR MENU BOARD |
| 7 RELOCATED BUS SHELTER PAD | 20 FLAG POLES |
| 8 CURB | 21 NOT USED |
| 9 AREA LIGHT AND FOUNDATION | 22 LANDSCAPE AREA |
| 10 NOT USED | 23 MODIFIED COMMERCIAL DRIVEWAY (OPTION B) PER USD NO. 228.2 TRANSITIONING INTO A DEPRESSED ALLEY CURB/RAMP PER USD NO. 227. |
| 11 REMOVE EXISTING MEDIAN ISLAND | 24 SIDEWALK |
| 12 EXISTING TRANSFORMER | |
| 13 PROPOSED COMMERCIAL DRIVEWAY (OPTION B), USD NO. 225 WITH CURB RETURN RADIUS DEVIATION. | |



VICINITY MAP
NOT TO SCALE

1 SITE PLAN W/ SIGNAGE & LIGHTING
S1.0 1" = 20'-0"

VAR-38586
VAR-38587
SDR-38585

PREPARED BY

SPECTRUM

SURVEYING & ENGINEERING

8905 W POST ROAD, SUITE 100

LAS VEGAS, NEVADA 89148

OFFICE: (702) 367-7705

FAX: (702) 367-8733

DATE

REV

DESCRIPTION

PREPARED FOR

M. McDonald's USA, LLC

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DATE

REV

DESCRIPTION

DRAWN BY

STD ISSUE DATE

REVIEWED BY

DATE ISSUED

MAP 2010

2009 STANDARD BUILDING

4587-WOOD/WOOD + SEATING + PP

WOOD BEARING WALLS

WOOD ROOF TRUSS FRAMING

STUCCO EXTERIOR FINISH ACAD/ENTRY

SITE ID

000-0000

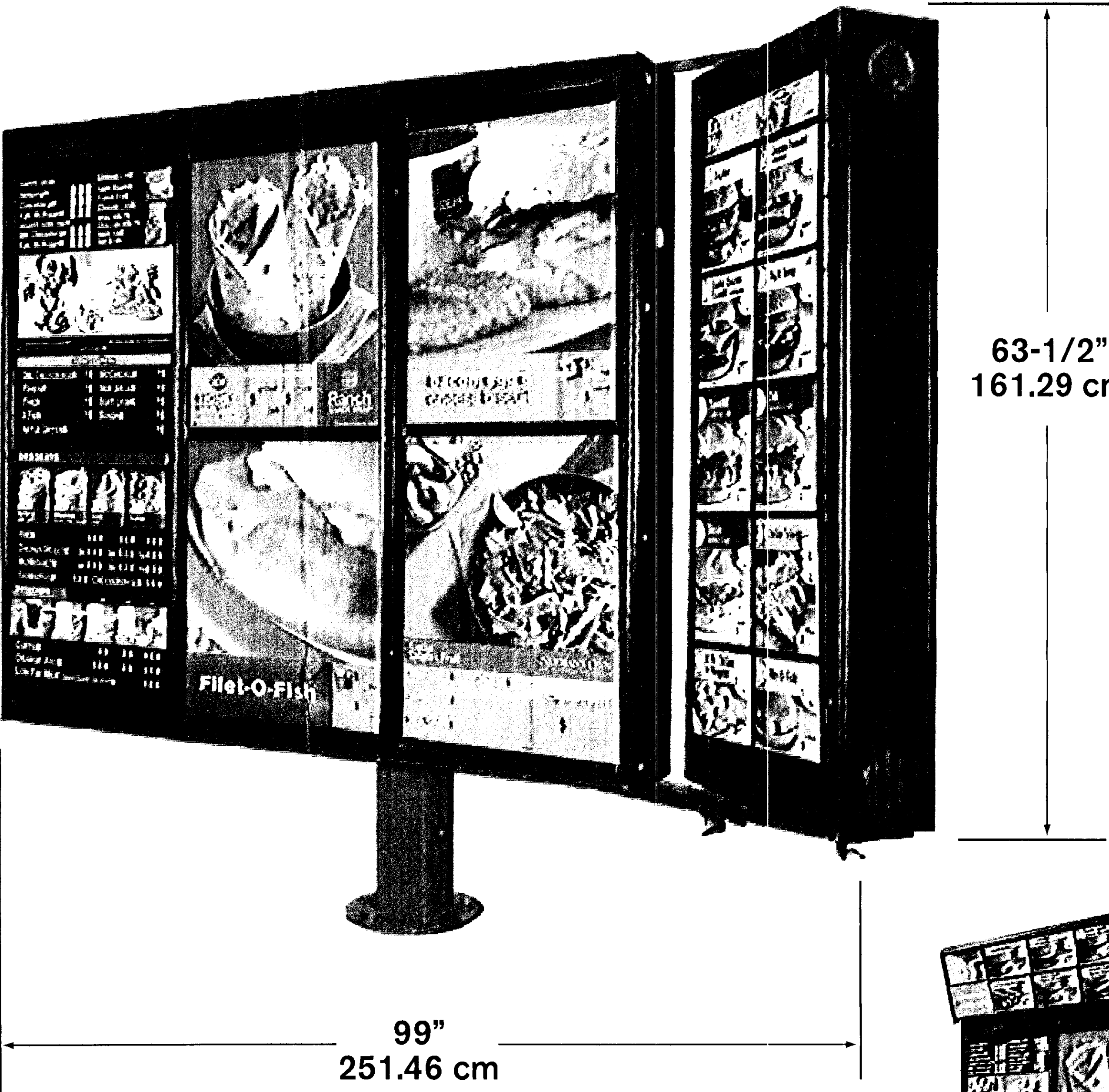
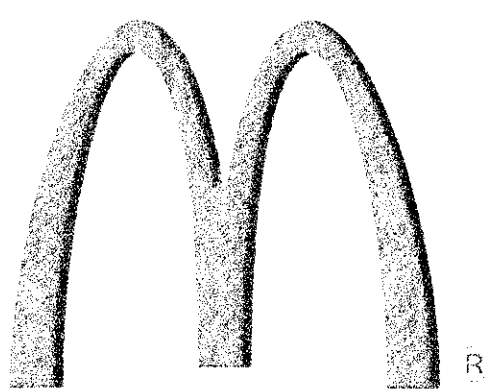
7513/2599 E. OWENS AVENUE, LAS VEGAS, NEVADA 89101

SHEET NO.

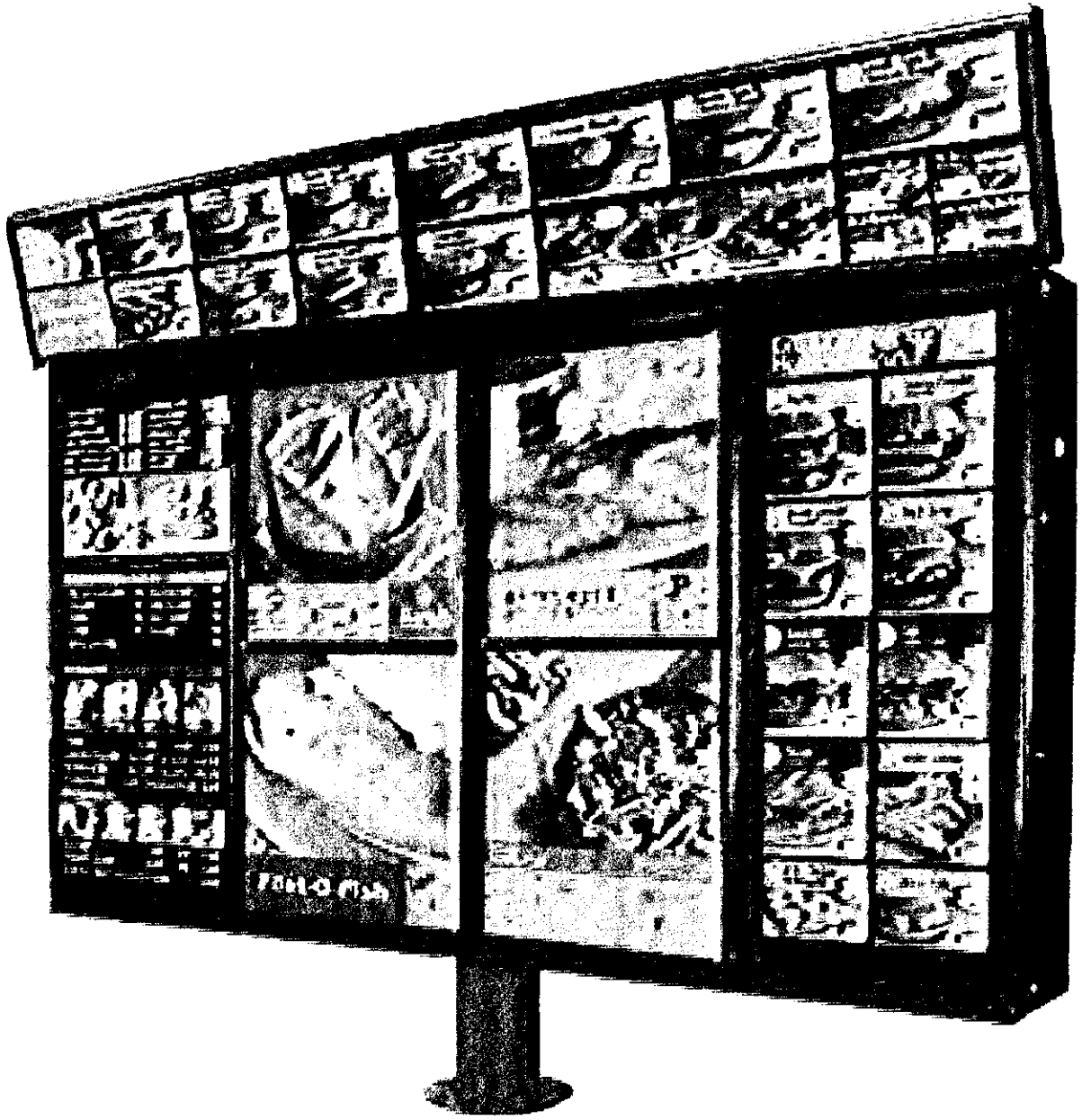
S1.0

SITE PLAN

FP-43 Modular Outdoor Menu Board



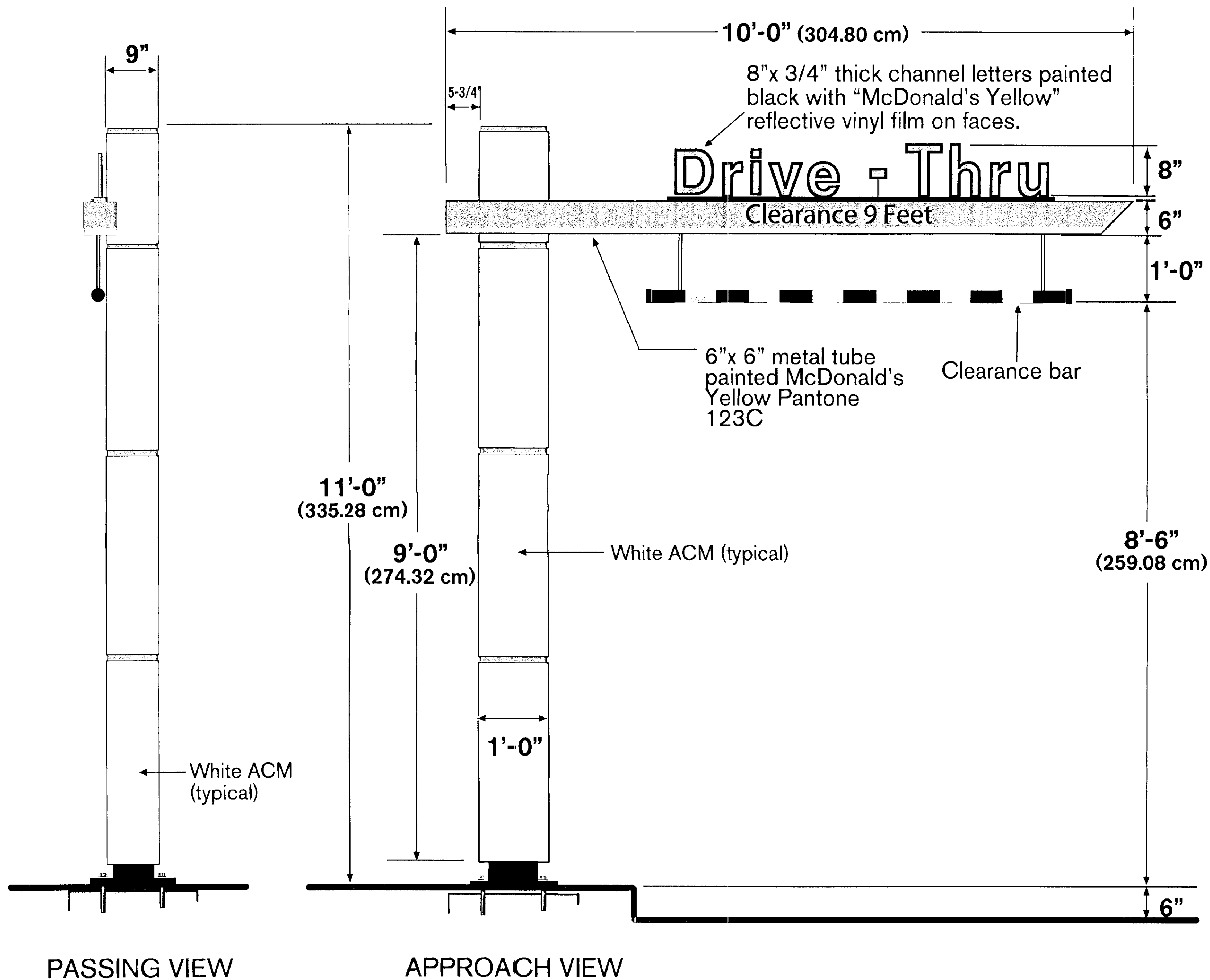
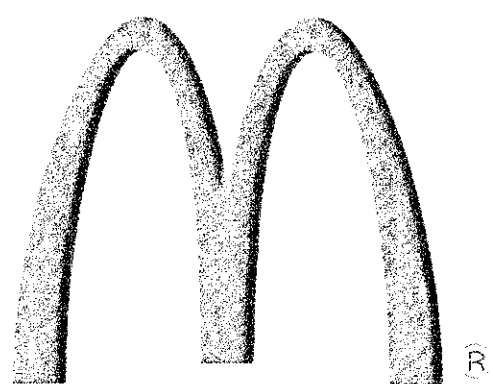
FP-43 Outdoor Menu Board w/ Flip Adder



OPTIONAL:
FP-43 Outdoor Menu Board w/ Topper

- Illumination:** 4 - F60T12 CW/HO
2 - F36T12 CW/HO
2 - F24T12 CW/HO
2 - F60T12 CW/HO
- Electrical:** 4.9 Amps / 1.6 Amps (flipboard)
120V 60Hz
- Ballast:** Advance #RC-4560-TP
Power Lighting #V234L8-16
Power Lighting #V12L4-12
- Ship Weight:** 197 lbs.
- Other:**
- Modular design for increased flexibility
 - Adjustable channels for easy menu modification
 - Optional kit to accept Customer Order Display and/or speaker
 - Flipboard panel can rotate 180 degrees to display two dayparts
 - Please call Flordia Plastics for strips and grids
 - Topper only allowed with 4th column static board. Cannot have flip adder and topper.

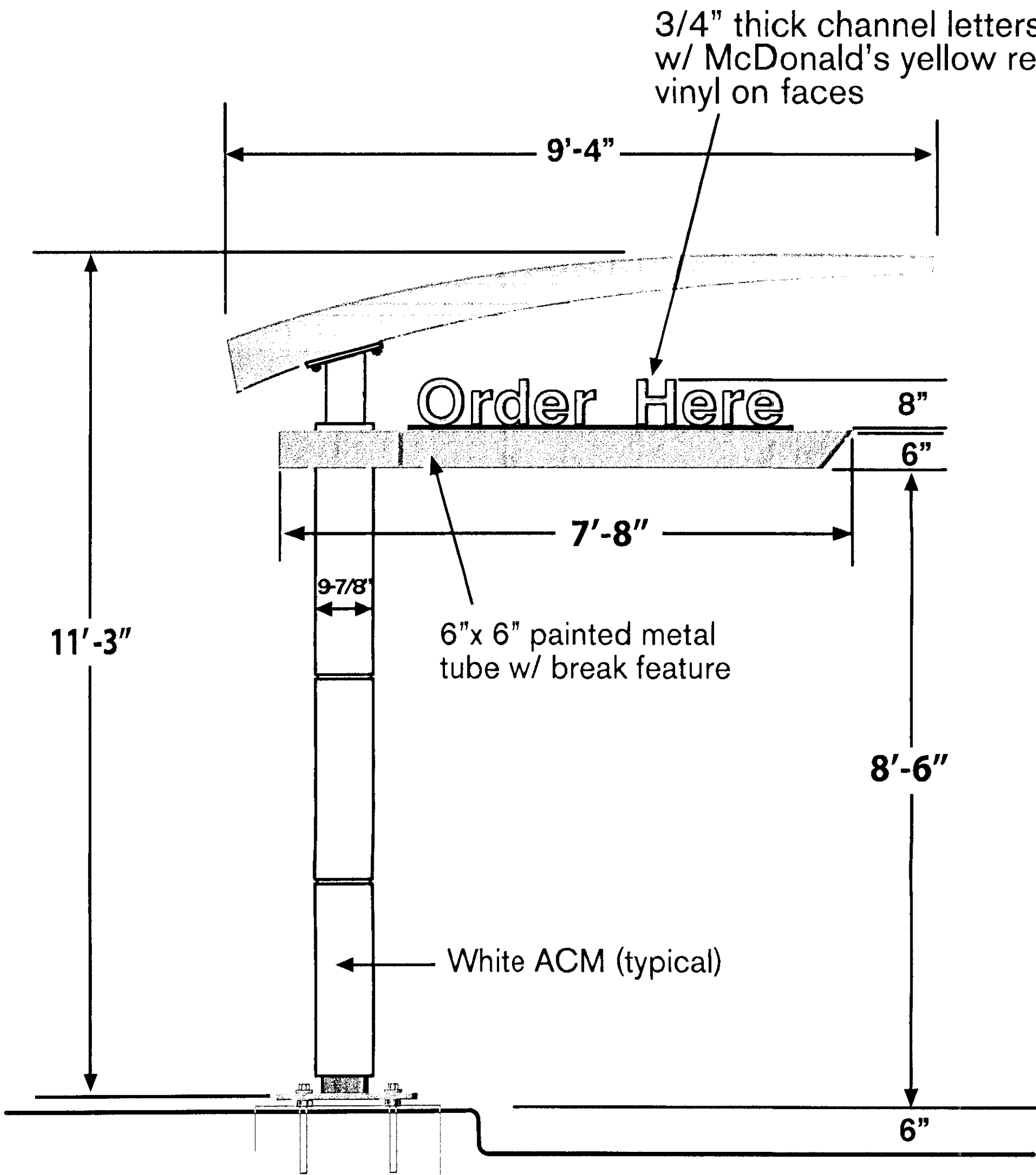
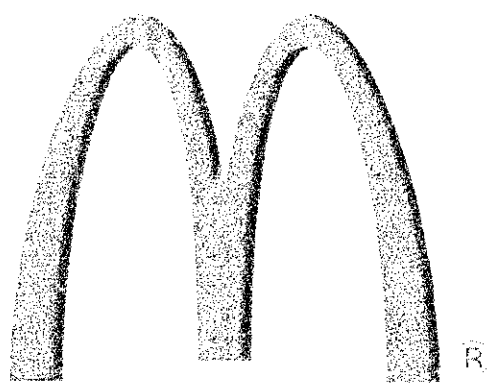
Welcome Point Gateway



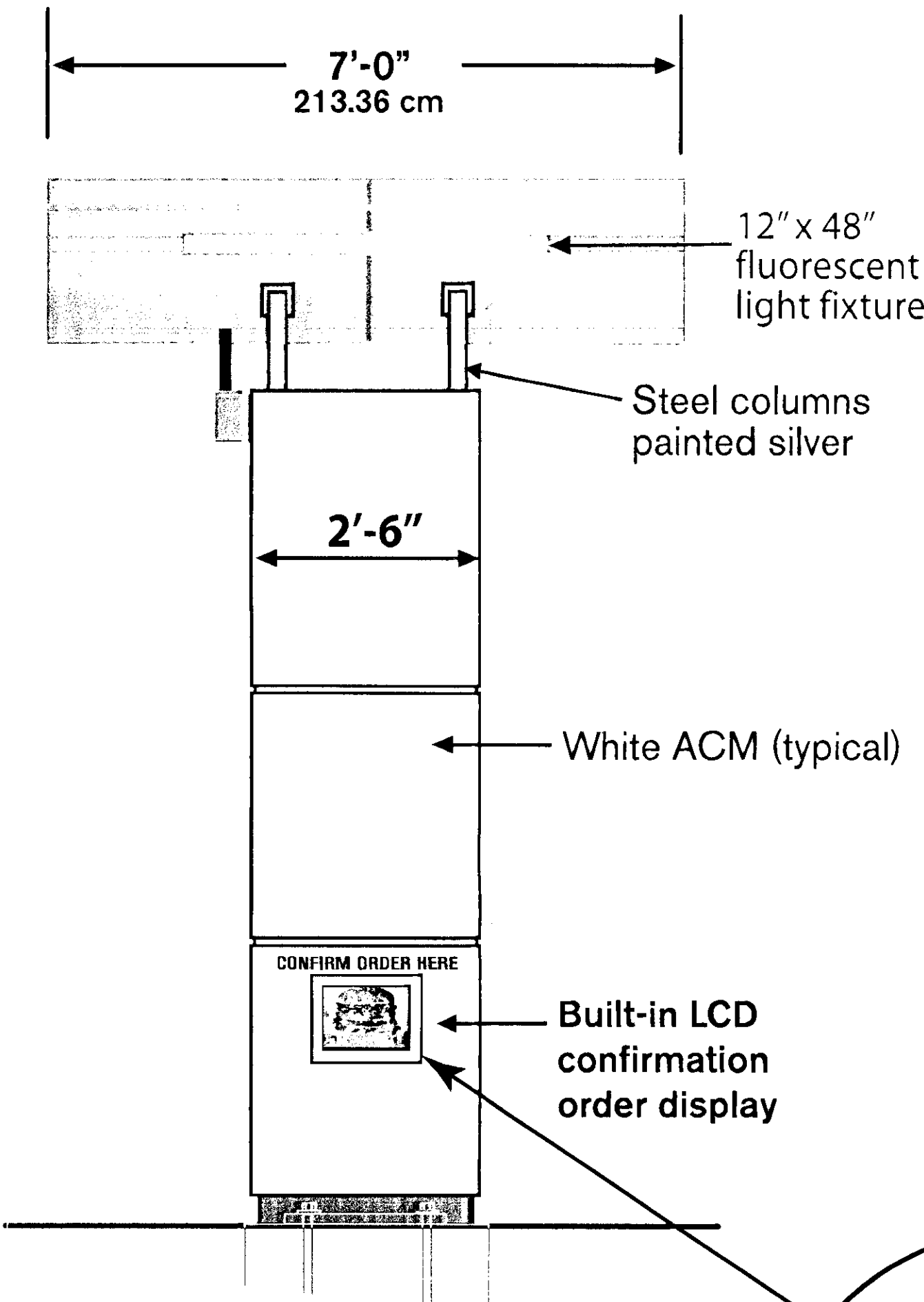
- Illumination:** N/A
- Ship Weight:** 790 lbs.
- Other:**
- Non-illuminated clearance sign with spring loaded break away clearance arm.
 - Adjustable bang bar.

Drive-Thru Twin Pole Canopy w/ Built-In COD (Preferred)

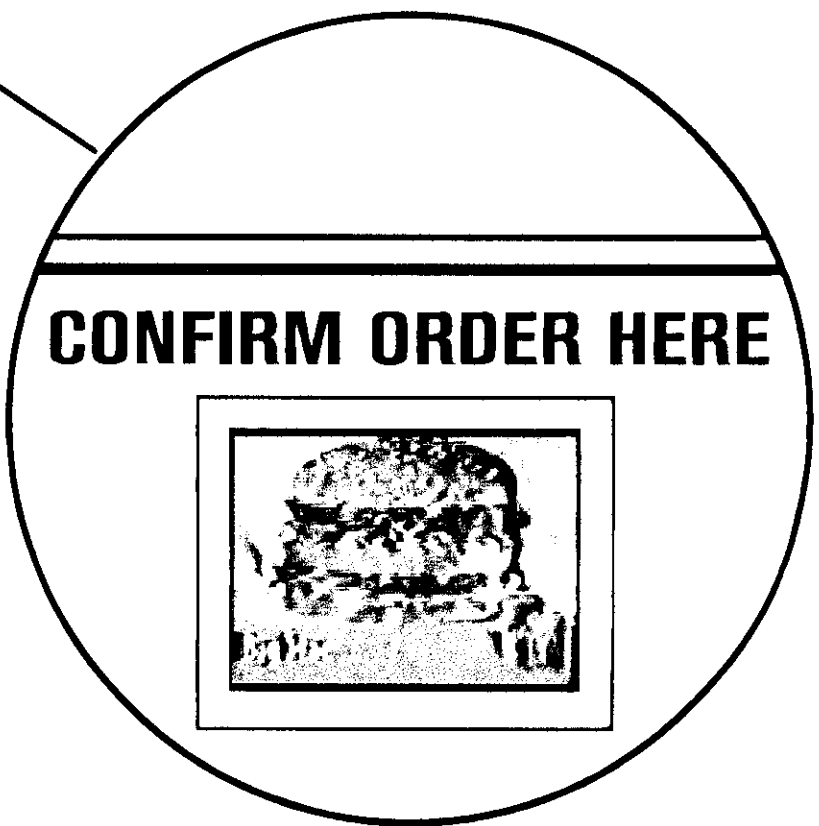
LCD Confirmation Order Display



APPROACH VIEW



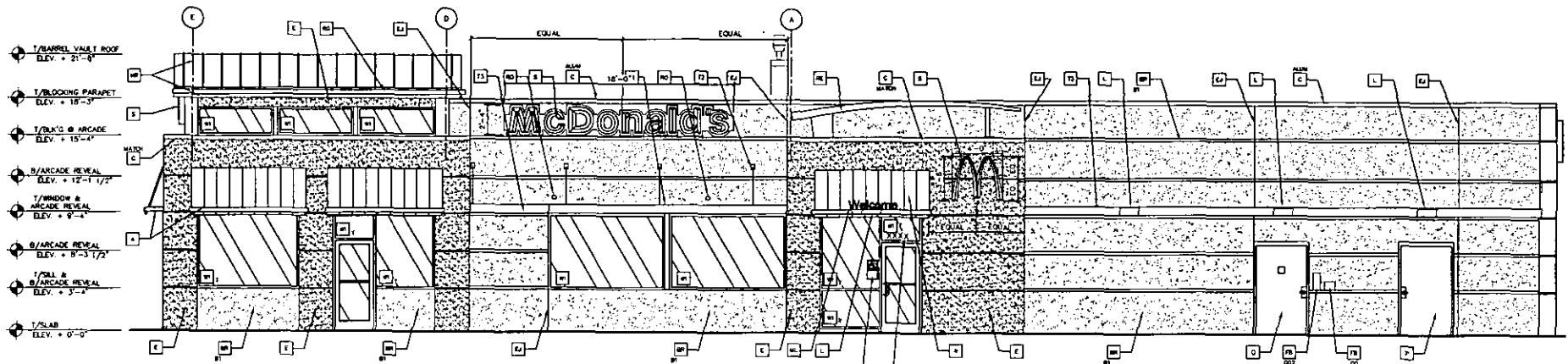
PASSING VIEW



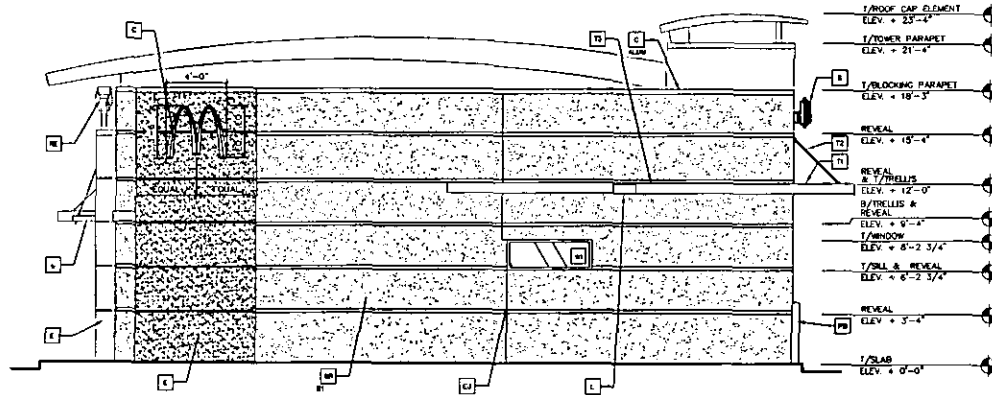
Built-in LCD Confirmation Order Display

- Illumination:** 4 - F72T12 CW/HO
- Electrical:** 15 Amp 120 Volt
- Ballast:** Fulham Workhorse 7
- Ship Weight:** 1300 lbs.
- Other:**
- Available with LED or LCD COD.
 - Spring loaded swing away 9' clearance arm
 - Illuminated awning provides a customer safe environment at night and protection from inclement weather

City of Las Vegas



1 NON DRIVE-THRU ELEVATION
A2.1 1/4" = 1'-0"



2 REAR ELEVATION
A2.1 1/4" = 1'-0"

KEY NOTES:

1 METAL SIDING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C

2 3 COAT STUCCO EXTERIOR FINISH

3 METAL CORING - COLOR - ALUMINUM

4 METAL CORING - COLOR TO MATCH SURROUNDING MATERIAL

5 HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

6 EXPANSION JOINT - SEE DETAIL 7/AA.1

7 EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR - BUSHAW MOORE 1115-30 GRAY SHOWER

8 CO2 FILL BOX (DEPT. SCHEDULE ITEM 48.00) CO2

9 LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL

10 METAL LETTERING - BY OTHERS

11 METAL ROOF - FINISHING BEAM ALUMINUM FINISH FABRIC TRIM COLOR TO BE "YELLOW" PANTONE COLOR 109C

12 PIPE BOLLARD - PAINTED YELLOW

13 ROOF CAP ELEMENT BY OTHERS

14 CONTINUOUS RAIN GUTTERS AT BARREL VAULT ROOF COLOR TO MATCH ROOF

15 ROOF DRAIN COLLECTION PUMP PAINT TO MATCH SURROUNDING MATERIAL

16 SPANDREL PANEL SET IN AN EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A2.0 COLOR TO MATCH WINDOW FRAMES

17 ALUMINUM TRELLIS

18 TRELLIS TIE-BACK

19 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A2.0

20 T - TEMPERED GLASS

21 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A2.0

VAR-38586
VAR-38587
SDR-38585

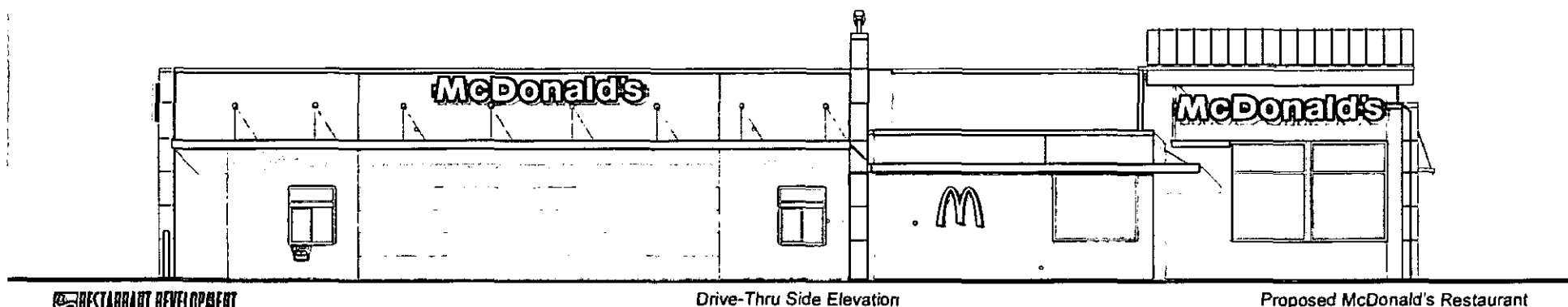
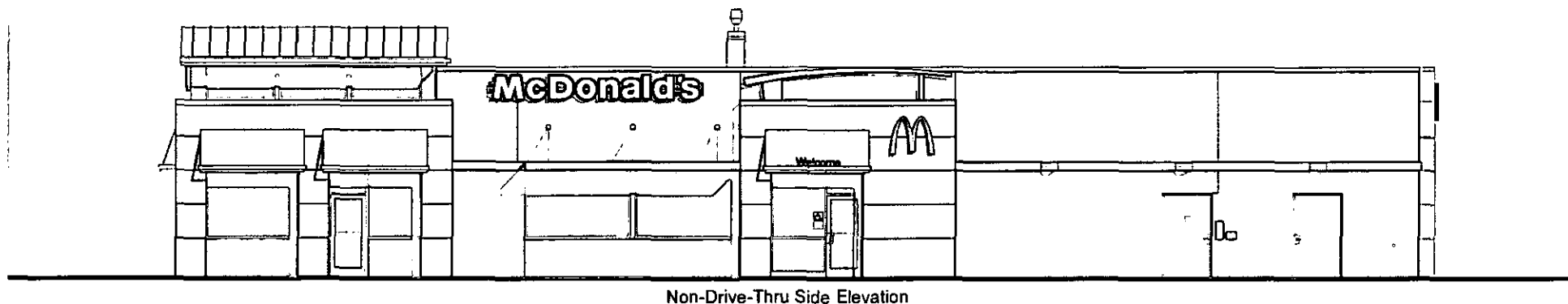
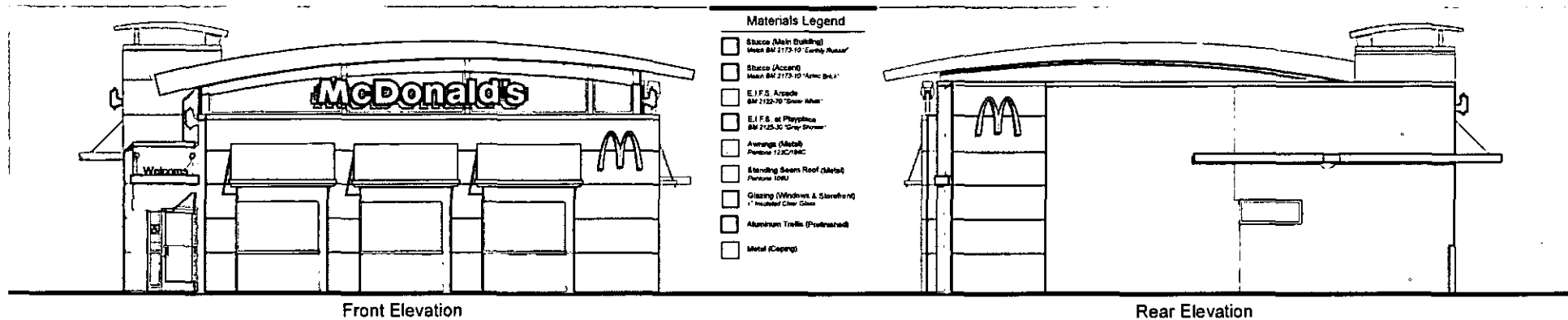
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JUN 15 2010
City of Las Vegas

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SPECTRUM
SURVEYING & ENGINEERING
8805 W. POST ROAD, SUITE 100
LAS VEGAS, NEVADA 89148
OFFICE (702) 367-7700
FAX (702) 367-4700

DESIGNED BY
McDonald's USA, LLC
10000 W. LAS VEGAS AVENUE, SUITE 100
LAS VEGAS, NEVADA 89135
PH (702) 367-7700
FAX (702) 367-4700

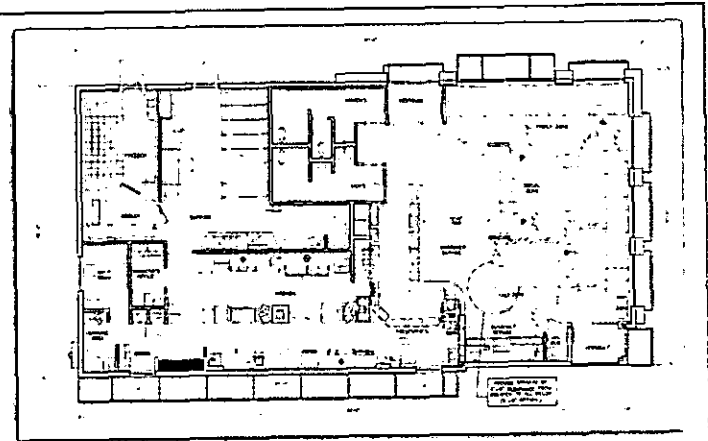
PROJECT NO.
2009 STANDARD BUILDING
4587 - WOOD/WOOD + SEATING + PP
DESIGNED BY
SPECTRUM SURVEYING & ENGINEERING
CHECKED BY
SPECTRUM SURVEYING & ENGINEERING
DATE
MAY 2010
SCALE
AS SHOWN
PROJECT NO.
2009-000
PROJECT NAME
2009-000
PROJECT LOCATION
2009-000



4587

Stucco Base w/
Stucco Arcade

3,911 Gross Sq. Ft.



RESTAURANT DEVELOPMENT
US Restaurant Design and Construction

VAR-38586
VAR-38587
SDR-38585

RECEIVED
JUN 15 2010
City of Las Vegas

BUILDING MATERIAL - STUCCO - BENJAMIN MOORE
AZTEC BRICK 2175-10 (OR EQUAL)

ARCADE MATERIAL; STUCCO, BENJAMIN MOORE
2122-70 SNOW WHITE (OR EQUAL)

METAL MATERIAL
ALUMINUM

AWNING COLORS;
PANTONE 109U/123U

BUILDING ACCENT MATERIAL;
STUCCO - BENJAMIN MOORE
EARTHLY RUSSET 2173-10
(OR EQUAL)



4587

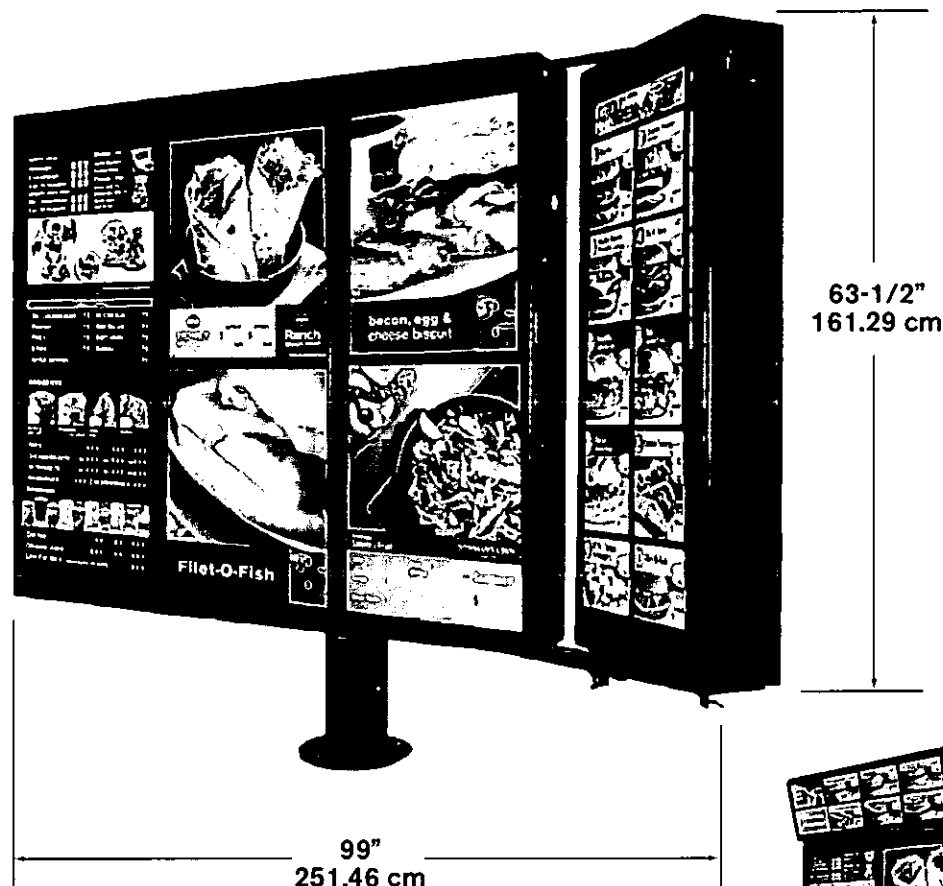
RESTAURANT DEVELOPMENT
US Restaurant Design and Construction

VAR-38586
VAR-38587
SDR-38585

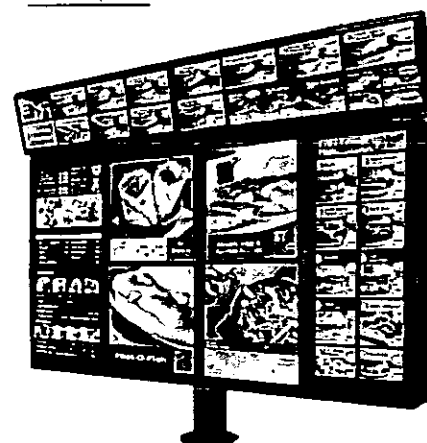
RECEIVED
JUN 15 2010
City of Las Vegas

RECEIVED
JUN 15 2010
City of Las Vegas

FP-43 Modular Outdoor Menu Board



FP-43 Outdoor Menu Board w/ Flip Adder



OPTIONAL:
FP-43 Outdoor Menu Board w/ Topper

- Illumination:** 4 - F60T12 CW/HO
2 - F36T12 CW/HO
2 - F24T12 CW/HO
2 - F60T12 CW/HO
- Electrical:** 4.9 Amps / 1.6 Amps (flipboard)
120V 60Hz
- Ballast:** Advance #RC-4560-TP
Power Lighting #V234L8-16
Power Lighting #V12L4-12
- Ship Weight:** 197 lbs.
- Other:**
- Modular design for increased flexibility
 - Adjustable channels for easy menu modification
 - Optional kit to accept Customer Order Display and/or speaker
 - Flipboard panel can rotate 180 degrees to display two dayparts
 - Please call Florida Plastics for strips and grids
 - Topper only allowed with 4th column. This board does not have flip adder and topper.

RECEIVED

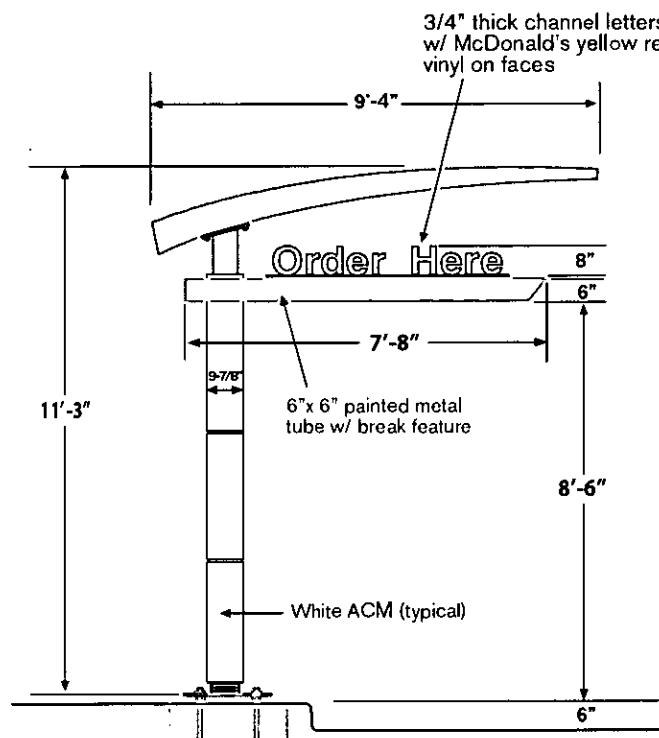
JUN 15 2010

City of Las Vegas

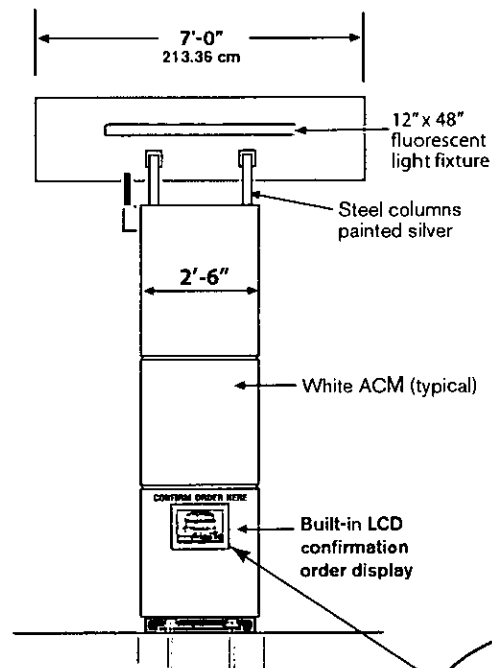
VAR-38586
VAR-38587

Drive-Thru Twin Pole Canopy w/ Built-In COD (Preferred)

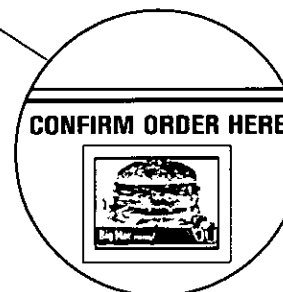
LCD Confirmation Order Display



APPROACH VIEW



PASSING VIEW



Built-in LCD Confirmation Order Display

- | | |
|----------------------|---|
| Illumination: | 4 - F72T12 CW/HO |
| Electrical: | 15 Amp 120 Volt |
| Ballast: | Fulham Workhorse 7 |
| Ship Weight: | 1300 lbs. |
| Other: | <ul style="list-style-type: none"> • Available with LED or LCD COD. • Spring loaded swing away 9' clearance arm • Illuminated awning provides a customer safe environment at night and protection from inclement weather |

RECEIVED

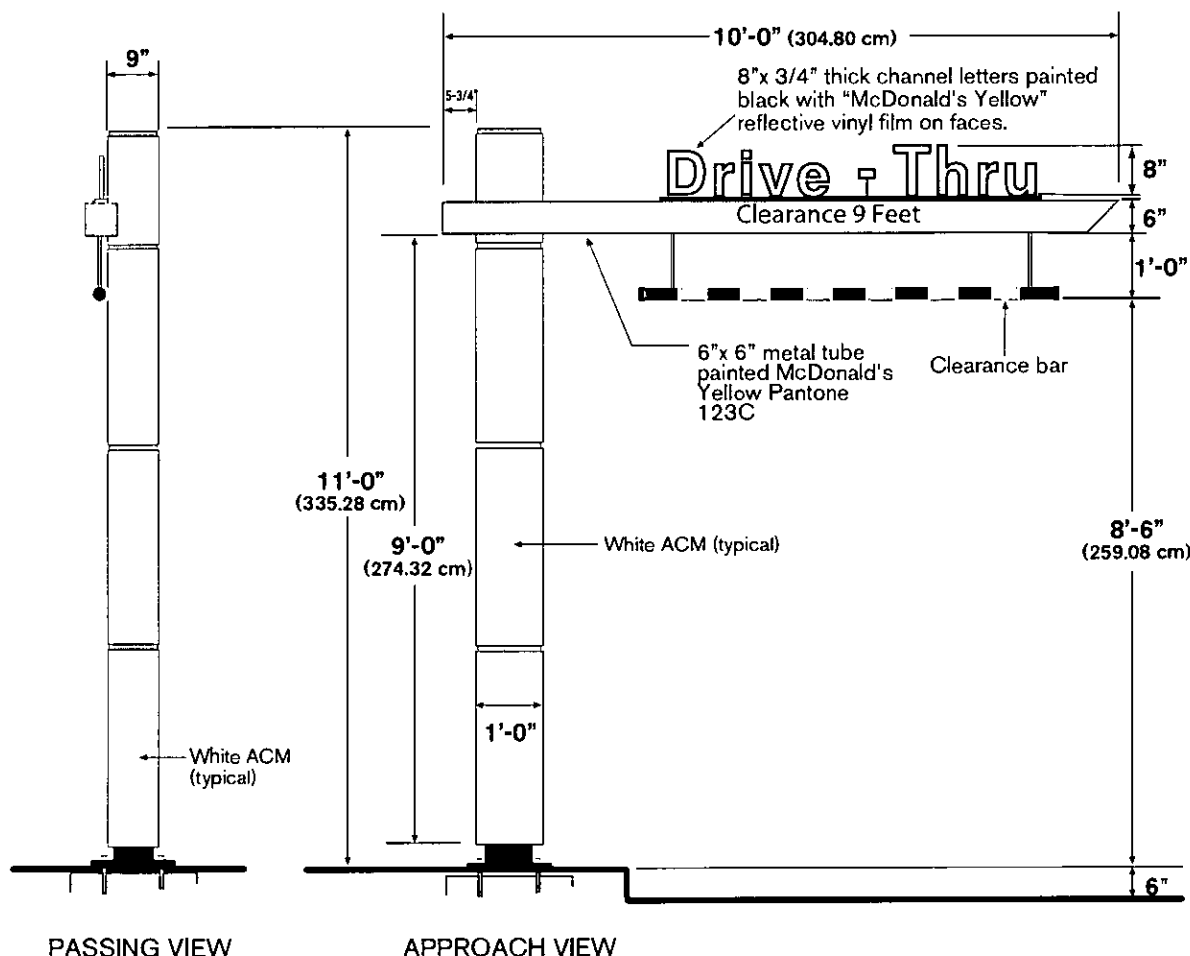
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SDR-38585

VAR-38586

VAR-38587

Welcome Point Gateway



Illumination:

N/A

Ship Weight:

790 lbs.

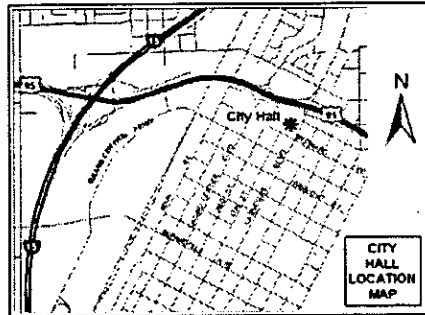
Other:

- Non-illuminated clearance sign with spring loaded break away clearance arm.
- Adjustable bang bar.

SDR-38585 RECEIVED
VAR-38586 JUN 15 2010
VAR-38587 City of Las Vegas

City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

**Return Service Requested
 Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
 this Request

☒

I OPPOSE
 this Request

Please use available blank space on card for your comments.

SDR-38585

Planning Commission Meeting of 7/29/2010

PRESORTED
 FIRST CLASS



UNITED STATES POSTAGE
 PITNEY BOWES
 02 1M \$ 00.414
 0004279218 JUL 16 2010
 MAILED FROM ZIP CODE 89101

RECEIVED
 JUL 23 2010

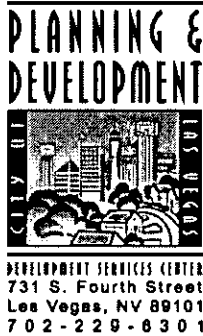
Case: SDR-38585
 13924414002
 PARKER VERNON MOSS & MARY
 P O BOX 3783
 STATELINE NV 89449-3783

89449 3783



Submitted after final agenda
 Date
 Item 38
 8

MEMORANDUM



To: Land Development
From: Peter Lowenstein, AICP
Phone: (702) 229-4693 Fax: (702) 385-0352
CC: Land Development Civil Plan Ref. # 39266
Date: 08/24/10 1st Review
Re: McDonald's at Eastern Avenue and Owens Avenue

STATUS:☒ Cond. Appr.☐ Denied

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. Please revise all applicable sheets to reflect the parallel parking spaces being a minimum of 9 feet by 23 feet in dimension, so as to be in conformance with Title 19.10.010(J)(2)(b).
2. Please revise all applicable sheets to show wheel stops adjacent to all landscape planters (regardless of planter width), walls, fences, and sidewalks that are less than 7'-0" wide. Wheel stops within zero-curb handicap parking spaces must be shown. Include a construction note to reference the wheel stops (see the Horizontal Control Plan and the Traffic Striping, Signage, Lighting & Fire Access Plan for required locations and note placement).
3. Please revise Sheet C6 to reflect an additional cross section as illustrated within the Grading Plan. The details should include the right-of-way, curb, sidewalk and minimum landscape buffer depth.
4. Please revise the Utility Plan to depict the installation of both the RPPA and DCDA as being located a minimum of three (3) feet from the back of sidewalk or ROW, whichever is nearer to the structures, *to provide for required landscaping*. Place a general note within the Utility Plan stating: "All above ground utility appurtenances shall conform to the requirements of Title 19.12.040."
5. Please either revise Sheet C8 to eliminate the sign location and construction notes for the Drive-Thru Gateway sign, the Flag pole, the customer order display with detector loop, the menu board and the directional sign as these signs contain commercial copy; or place a note within each of the respective signs that states, "The approval of the civil improvement plans does not constitute the approval the sign or its location. All signage approvals will be handled via a building permit."
6. Please revise Cross Section A on Sheet C9 to reflect a minimum landscape buffer depth of 3 feet as was approved as part of Site Development Plan Review (SDR-38585). In ability to accomplish this will result in the requiring of a new Site Development Plan Review with a new waiver request.
7. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits, including improvement plans, building permit submittals and final maps, must be identical in terms of site design.

Telephone Protest/ Approval Log

Meeting Date: 7/29 PC

Case Number: SDR - 38585

Date: 07/21/10
Name: Edna Morgan
Address: 3383 Mendocine Forest
Las Vegas Nv 89122
Phone: 642-1704
☐ PROTEST ☒ APPROVE

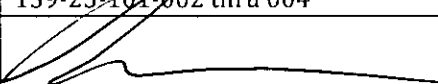
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☐ PROTEST ☐ APPROVE

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Date: _____ RECEIVED
Name: _____ JUN 27 2010
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE
Submitted after final agenda
Date _____ Item 38A

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
Item Required					
YES	NO				
APPLICATION PACKET					
☒	☐	Application signed and notarized by all property owners or authorized agent(s)		NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." --> "Apply for -> Planning Applications")	
☒	☐	Grant deed and legal description			
☒	☐	Detailed justification letter			
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 1030.00 Total			
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)			
☒	☐	Assessor's Parcel Map			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance (PRS)			
☒	☐	Color & Materials Board per Site Development Plan Review Submittal Requirements			
☒	☐	Copy of Business Licenses: (Owner: ☒ Applicant: ☒ Representative: ☒)			
SITE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size		Folded Plans:	19
☒	☐	North arrow, scale, and vicinity map		Colored, Rolled Plans:	1
☒	☐	All property lines and present dimensions labeled		Reduced Copy (8-1/2x11 BW):	1
☒	☐	All building setbacks labeled		NOTES:	
☒	☐	All adjacent existing land uses and street names labeled			
☒	☐	All points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized:			
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total			
☒	☐	All free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size		Folded Plans:	3
☒	☐	North arrow, scale, and vicinity map		Colored, Rolled Plans:	1
☒	☐	All property lines and present dimensions labeled		Reduced Copy (8-1/2x11 BW):	1
☒	☐	All required perimeter landscape planters shown		NOTES:	
☒	☐	All required parking lot fingers/islands shown			
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
☒	☐	11" x 17" min. to 24" x 36" max. page size		Folded Plans:	2
☒	☐	Scale and building dimensions labeled		Colored, Rolled Plans:	1
☒	☐	North, south, east, and west elevations of all buildings		Reduced Copy (8-1/2x11 BW):	1
☒	☐	All building materials and colors noted		NOTES:	
☒	☐	8" x 10" photo of original color and material board			
☒	☐	All wall sign locations shown and sizes noted			
FLOOR PLANS					
☒	☐	11" x 17" min. to 24" x 36" max. page size		Folded Plans:	1
☒	☐	Scale and building dimensions labeled		Colored, Rolled Plans:	1
☒	☐	All building entrances/exits shown		Reduced Copy (8-1/2x11 BW):	1
☒	☐	Use of all rooms noted/labeled		NOTES:	
☒	☐	Maximum Occupancy (per I.B.C.)			
☒	☐	Seating Capacity (where applicable)			
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.					
Owner / Applicant:	FRANCHISE REALTY INTERSTATE CORP %MCDONALDS CORP (27-0025)		Application Type:	Site Development Plan Review	
Representative:	Samantha Johnston		Application Purpose:	Restaurant- 2,000 SF or more (with Drive-Through)	
APN:	139-25-101-002 thru 004		Site Location:	2513 E. Owens Avenue	
Planner's Signature:			Pre-App. Meeting Date:	04/29/10	
			Earliest Submittal Deadline:	05/11/2010 no later than 2:00 pm	
Planner:	John Grider, Planner I - 229-6711 Steve Gebeke, Planning Supervisor - 229-5410		Earliest PC / CC Meeting Dates:	06/24/10 PC	07/21/10 CC



CITY OF LAS VEGAS

- ☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 04/29/10
Time: 9:00 a.m.

Project Name: McDonald's -2513 E. Owens

Conversation between CLV P&D Representative: John Grider, Planner I (229-6711 Office / 385-7268 Fax / jgrider@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. John Grider	Planning & Development	229-6711		
2. Steve Gebeke	Planning & Development	229-5410		
3. Samantha Johnston		367-7705 x 253		
4.				
5. <i>Bart Anderson</i>				
6. <i>Victor B.</i>				
7. <i>Roger Bailey</i>	CLV - PW - Dev Co	229-6578	474-7599	
8. <i>Rick Schroeder</i>	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11. <i>Ozzie M.</i>	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
Please refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: N/A

Meeting Notes:

1. Non-owner applicants must be a lessee, contract purchaser or optionee of the property. This is consistent with the requirements of Title 19.18 Applications and Procedures. Architectural, engineering and legal firms (among others) that do not fall within these categories may act as the representative only, not as the applicant.
- ✓ 2. A Variance will be required for parking and the total gross square footage needs to be used for calculations. This will be a separate application. ~~The play area is applied as public waiting/seating area.~~
- ✓ 3. The 13 parking spaces along the east property line can't be counted toward the onsite parking total. They are not completely on the subject property. Need cross-access agreement for these spaces.
- ✓ 4. The 2 parking spaces along the north, next to the exit aisle can't be counted toward the onsite parking total. All parking spaces must be unimpeded.
5. Revise the Justification letter to request the Parking Variance.
6. Is the 8" DCDA new? If so, 3 feet of landscaping separates the utility structure from the public street right-of-way or sidewalk if it exceeds 27 cubic feet.
7. The perimeter landscaping reduction would require waivers.
8. The parking lot landscape reduction requires an exception.
9. Remapping is required to combine lots.
10. The flags and poles must comply with Title 19.14.040 for the height and number of flags.

11. Sprinklers

12. Need CNLV Traffic Impact

13. Shorting Median Issue. *Deviation of Standards* M. Issue w/ drive on Eastern. 15. Bus Turn Out Area.

17. *Ref. extend and improve Eastern & Dwyer*
10. *Meet w/ Flood Control*

Dedication

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekkilä, Survey (FM, PM, & A's only)
Date: June 30, 2010
Re: **SDR-38585** McDonalds USA, LLC 2513 E. Owens Ave.
Request for a Site Development Plan Review for a 5,153 square-foot restaurant

CONDITIONS OF APPROVAL:

1. Dedicate appropriate portions of a bus turnout per Standard Drawing #234.1 along Owens Avenue. Construction is not required at this time.
2. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
3. Landscape and maintain all unimproved right-of-way on Owens Avenue adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
4. Submit an Encroachment Agreement for all landscaping and private improvements located in the Owens Avenue public right-of-way adjacent to this site prior to issuance of permits for this site.
5. Coordinate all driveway geometrics with the Traffic Engineer prior to the submittal of construction drawings or issuance of permits whichever occurs first.
6. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans, the issuance of any building or grading permits, or the submittal of a map for this site, whichever may occur first. Provide and improve all drainage ways as recommended.



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

July 30, 2010

McDonald's Corporation
Franchise Realty Interstate
PO Box 182571
Columbus, Ohio 43218

**RE: SDR-38585 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
VAR-38586 AND VAR-38587
PLANNING COMMISSION MEETING OF JULY 29, 2010**

Dear Applicant:

Your request for a Site Development Plan Review FOR A PROPOSED 5,153 SQUARE-FOOT RESTAURANT (WITH DRIVE-THRU) WITH WAIVERS OF THE PERIMETER LANDSCAPE BUFFER WIDTH REQUIREMENTS TO ALLOW BUFFERS OF ONE FOOT ALONG THE SOUTH PERIMETER, THREE FEET ALONG THE WEST PERIMETER AND TWO FEET ALONG THE NORTH PERIMETER WHERE EIGHT FEET IN WIDTH IS REQUIRED FOR ALL INTERIOR PERIMETER BUFFER AREAS at 2513 East Owens Avenue (APNs 139-25-101-002, 003 and 004), C-2 (General Commercial) Zone, Ward 3 (Reese), was considered by the Planning Commission on July 29, 2010.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. The required thirty-three 24" box trees should be located within the project perimeter. Species and location are subject to the approval of the Planning and Development Department
2. Approval of and conformance to the Conditions of Approval for Variances (VAR-38586) and (VAR-38587) shall be required, if approved.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 06/15/10, except as amended by conditions herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



-001-06-09

5. A Waiver from Title 19.12.040 is hereby approved to allow a landscape buffer width of one-foot along the south perimeter where eight feet is required, to allow a landscape buffer width of three feet along the west perimeter where eight feet is required and to allow a landscape buffer width of two feet along a portion of the north perimeter where eight feet is required.
6. An Exception from Title 19.10.010 is hereby approved, to allow one parking lot landscape island and tree, where three are required.
7. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
8. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
9. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits.
10. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan: provide four (4) five-gallon shrubs for each required tree in perimeter planters.
11. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
12. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

13. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
14. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
15. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
16. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

17. Dedicate appropriate portions of a bus turnout per Standard Drawing #234.1 along Owens Avenue. Construction is not required at this time.
18. Remove all substandard sidewalk improvements and unused driveway cuts adjacent to this site and replace with new sidewalk improvements meeting current City Standards concurrent with development of this site.
19. Landscape and maintain all unimproved right-of-way on Owens Avenue adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
20. Submit an Encroachment Agreement for all landscaping and private improvements located in the Owens Avenue public right-of-way adjacent to this site prior to issuance of permits for this site.
21. Coordinate all driveway geometrics with the Traffic Engineer prior to the submittal of construction drawings or issuance of permits whichever occurs first.

McDonald's Corporation
SDR-38585 - Page Four
July 30, 2010

22. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans, the issuance of any building or grading permits, or the submittal of a map for this site, whichever may occur first. Provide and improve all drainage ways as recommended.

This action by the Planning Commission on **July 29, 2010** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **August 9, 2010**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Kevin McAuley
McDonald's USA, LLC
17750 Perimeter Drive, Suite #400
Scottsdale, Arizona 85255

Ms. Samantha Johnston
Spectrum Surveying & Engineering
8905 West Post Road, Suite #200
Las Vegas, Nevada 89148

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

July 16, 2010

McDonald's Corporation
Franchise Realty Interstate
PO Box 182571
Columbus, Ohio 43218

**RE: SDR-38585 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-38586
AND VAR-38587
PLANNING COMMISSION MEETING OF JULY 29, 2010**

Dear Applicant:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **July 29, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, July 23, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Kevin McAuley
McDonald's USA, LLC
17750 Perimeter Drive, Suite #400
Scottsdale, Arizona 85255

Ms. Samantha Johnston
Spectrum Surveying & Engineering
8905 West Post Road, Suite #200
Las Vegas, Nevada 89148

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lais Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

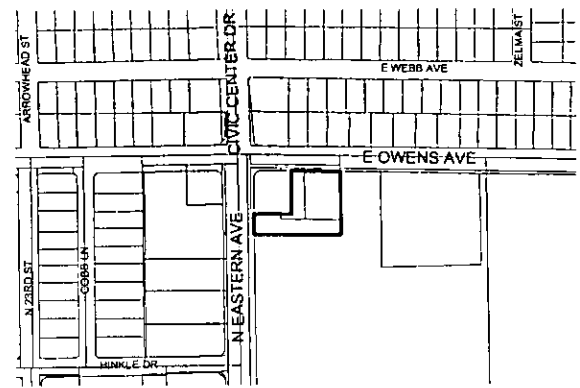
City Manager
Elizabeth N. Fretwell



Application Information

**SDR-38585 - SITE DEVELOPMENT PLAN REVIEW
RELATED TO VAR-38586 AND VAR-38587 - PUBLIC
HEARING - APPLICANT: McDONALDS USA, LLC -
OWNER: FRANCHISE REALTY INTERSTATE CORP. -
Request for a Site Development Plan Review FOR A PROPOSED
5,153 SQUARE-FOOT RESTAURANT WITH WAIVERS OF THE
PERIMETER LANDSCAPE REQUIREMENTS TO ALLOW A
ONE-FOOT LANDSCAPE BUFFER ALONG THE SOUTH
PERIMETER, A THREE-FOOT LANDSCAPE BUFFER ALONG
THE WEST PERIMETER WHERE EIGHT FEET IS REQUIRED
AND A TWO-FOOT LANDSCAPE BUFFER ALONG A
PORTION NORTH PERIMETER WHERE EIGHT FEET IS
REQUIRED, at 2513 East Owens Avenue (APNs 139-25-101-002,
003 and 005), C-2 (General Commercial) Zone, Ward 3 (Reese).**

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

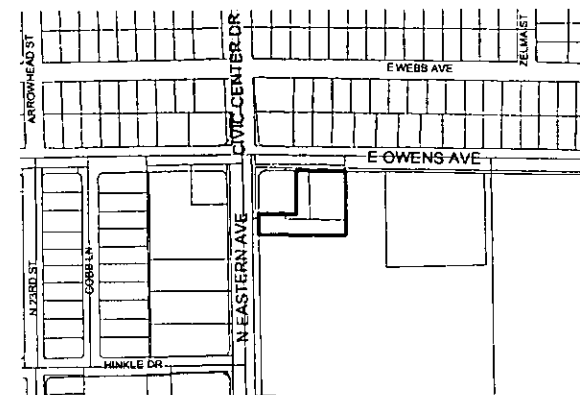
Meeting: Planning Commission
Date: *July 29, 2010*
Time: 6:00 P.M.
Location: City Council Chambers
 400 Stewart Avenue
 Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

**SDR-38585 - SITE DEVELOPMENT PLAN REVIEW
RELATED TO VAR-38586 AND VAR-38587 - PUBLIC
HEARING - APPLICANT: McDONALDS USA, LLC -
OWNER: FRANCHISE REALTY INTERSTATE CORP. -**
Request for a Site Development Plan Review FOR A PROPOSED
5,153 SQUARE-FOOT RESTAURANT WITH WAIVERS OF THE
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Application Location



The proposed project may not pertain to the entire highlighted project site.

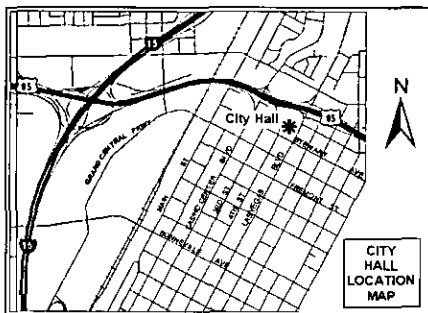
Public Hearing Information

Meeting: Planning Commission
Date: *July 29, 2010*
Time: 6:00 P.M.
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Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

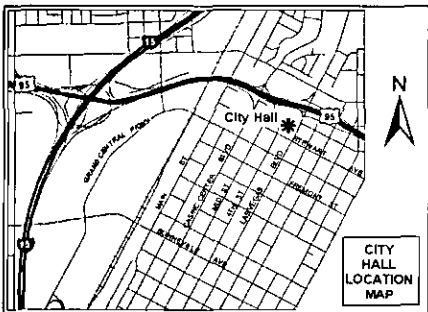
Please use available blank space on card for your comments.

SDR-38585

Planning Commission Meeting of 7/29/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-38585

Planning Commission Meeting of 7/29/2010

Development Notification

PC Meeting: JULY 29, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-38585

Archie C. Grant Park Resident Council

Arthur McCants Resident Council

Bonanza Gardens Apartments

Boulder Dam Homesites

Bracken NA

College Park NA

Cultural Corridor Coalition NCG

Downtown Business Operators Council

Mirabella Apartments

Vera Johnson Manor A Resident Council

Washington Square NA

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-38585

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEBUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEBUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY >**

SDPR
06/15/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-38585 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-38586 AND VAR-38587 - PUBLIC HEARING - APPLICANT: McDONALDS USA, LLC - OWNER: FRANCHISE REALTY INTERSTATE CORP. - Request for a Site Development Plan Review FOR A PROPOSED 5,153 SQUARE-FOOT RESTAURANT WITH WAIVERS OF THE PERIMETER LANDSCAPE REQUIREMENTS TO ALLOW A ONE-FOOT LANDSCAPE BUFFER ALONG THE SOUTH PERIMETER AND A THREE-FOOT LANDSCAPE BUFFER ALONG THE WEST PERIMETER WHERE EIGHT FEET IS REQUIRED, at 2513 East Owens Avenue (APNs 139-25-101-002, 003 and 005), C-2 (General Commercial) Zone, Ward 3 (Reese).

PLANNING COMMISSION: **JULY 29, 2010**

CITY COUNCIL: **SEPTEMBER 1, 2010**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **JUNE 29, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

7/29/10 PH RG

Report Date 06/15/2010 04:33 PM

Submitted By

Page 1

A/P # 38585 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	06/15/2010 12:34	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-38585 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: MCDONALDS USA, LLC - OWNER: FRANCHISE REALTY INTERSTATE CORP. - Request for a Site Development Plan Review FOR A PROPOSED 5,153 SQUARE-FOOT RESTAURANT WITH WAIVERS TO THE PERIMETER LANDSCAPE REQUIREMENTS TO ALLOW A ONE-FOOT LANDSCAPE BUFFER ALONG THE SOUTH PROPERTY LINE AND THREE-FOOT LANDSCAPE BUFFER ALONG THE WEST PROPERTY LINE WHERE EIGHT FEET IS REQUIRED, AND AN EXCEPTION TO ALLOW ONE LANDSCAPE ISLAND WHERE THREE LANDSCAPE ISLANDS ARE REQUIRED at 2513 East Owens Avenue (APNs 139-25-101-002, 003 and 005), C-2 (General Commercial) Zone, Ward 3 Reese.

Parent A/P # 38587
Project # 38585 Project/Phase Name MCDONALD'S
Size/Area 0.59 ACRE Size Description
Proposed Start Proposed Stop
% Complete Formula
Phase #
Subdivision Code
% Completed 0.00

Property/Site Information

Parcel 13925101003

Location

Owner/Tenant

Contact ID AC1287041 Name FRANCHISE REALTY INTERSTATE CORP
Mailing Address P O BOX 182571 Organization % MCDONALDS CORP (27-0025)
City COMLUMBUS State/Province OH
ZIP/PC 43218-2571 Country ☐ Foreign
Day Phone Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

2513 E OWENS AVE
LAS VEGAS, 89101-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

Report Date 06/15/2010 04:33 PM

Submitted By

Page 2

A/P Linked Parcels

13925101002
13925101003
13925101005

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1287041 ☐ Foreign
Effective Expire
Name FRANCHISE REALTY INTERSTATE CORP
Day Phone Eve Phone Organization % MCDONALDS CORP (27-0025)
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address P O BOX 182571
COMLUMBUS, OH 43218-2571
Seasonal Addr
Valid From To
Comments kevin mcauley - 543-2733

Primary N Capacity APPL Contact ID AC1786441 ☐ Foreign
Effective Expire
Name MCDONALDS USA
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 17750 PERIMETER DR STE 400
LAS VEGAS, NV 89101
Seasonal Addr
Valid From To
Comments kevin mcauley - 858-342-3536

Primary Y Capacity OTHER Other REP Contact ID AC553265 ☐ Foreign
Effective Expire
Name SPECTRUM SURVEYING & ENGINEERING
Day Phone (702)985-1964 x Eve Phone Organization
Pager PIN # Position
Fax (702)367-8733 Mobile Profession
E-Mail
Address 8905 WEST POST ROAD, SUITE 100
LAS VEGAS, NV 89148
Seasonal Addr
Valid From To
Comments samantha johnson - 367-7705

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	06/15/2010 13:13	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	06/15/2010 13:13	30.00
PROCESSING FEE	P	06/15/2010 13:13	500.00

Total Unpaid 0.00 Total Paid 1030.00

Report Date 06/15/2010 04:33 PM

Submitted By

Page 3

Inspections

There are no inspections for this Report

Review Activities

Review #	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
----------	-------------	---	--------	--------	--------	---------	-----------	---------

Comments

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR)

Modified By FSOLIS

Modified Date/Time 06/15/2010 12:34

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plans (19 Folded Blue Lines, 1 Rolled Color)
Y Application/Petition Form	Y Landscape Plan
Y Deed and Legal Description	Y Building Elevations (2 Folded, 1 Rolled Color)
Y Justification Letter	Y Floor Plan (1 Folded, 1 Rolled)
Y Color and Material Board	Y Laser Print Site Plan
N DINA (Not Always Required)	Y Laser Print Floor Plan
Y Statement of Financial Interest	Y Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions

Condition	Approval	Approved By	Approved Date	Applied By	Applied Date	Assigned
-----------	----------	-------------	---------------	------------	--------------	----------

Supervisor Required

Z-LEGAL

983052

06/15/2010 12:34

N

Project #	A/P Type	Status	Stage	Relation
-----------	----------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

Report Date 06/15/2010 04:33 PM

Submitted By

Page 4

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance? Final City Council letter received
N Parent Project link required? Annotated minutes recieved
N Will this go to the City Council? Is there a condition of approval for a Required Review?
Hearing Type If yes, when does it need to be reviewed?
Public, Non-Public, AdminPUBLIC

Staff Recommendation

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
07/29/2010	PC	SCHEDULED	0	0	0
FSOLIS	06/15/2010				

Template Type A/P #	A/P Type	Status	Stage
No children exist for this project			

Employee Employee ID	Last	First	MI	Comments
No Employee Entries				

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT# SAMANTHA JOHNSTON, 702.367.7705, SPECTRUM SURVEYING & ENGR INC CK 47509	970040	06/15/2010 13:18		0.00
No Model Home Details					

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Review

Project Address (Location) 2513 E Owens Avenue

Project Name McDonalds at Eastern & Owens Proposed Use Commercial

Assessor's Parcel #(s) 139-25-101-002, 003 & 005 **Ward #** 3

General Plan: existing X proposed **Zoning:** existing X proposed

Commercial Square Footage	Floor Area Ratio
10,000	0.25
20,000	0.50
30,000	0.75
40,000	1.00
50,000	1.25
60,000	1.50
70,000	1.75
80,000	2.00
90,000	2.25
100,000	2.50
110,000	2.75
120,000	3.00
130,000	3.25
140,000	3.50
150,000	3.75
160,000	4.00
170,000	4.25
180,000	4.50
190,000	4.75
200,000	5.00
210,000	5.25
220,000	5.50
230,000	5.75
240,000	6.00
250,000	6.25
260,000	6.50
270,000	6.75
280,000	7.00
290,000	7.25
300,000	7.50
310,000	7.75
320,000	8.00
330,000	8.25
340,000	8.50
350,000	8.75
360,000	9.00
370,000	9.25
380,000	9.50
390,000	9.75
400,000	10.00
410,000	10.25
420,000	10.50
430,000	10.75
440,000	11.00
450,000	11.25
460,000	11.50
470,000	11.75
480,000	12.00
490,000	12.25
500,000	12.50
510,000	12.75
520,000	13.00
530,000	13.25
540,000	13.50
550,000	13.75
560,000	14.00
570,000	14.25
580,000	14.50
590,000	14.75
600,000	15.00
610,000	15.25
620,000	15.50
630,000	15.75
640,000	16.00
650,000	16.25
660,000	16.50
670,000	16.75
680,000	17.00
690,000	17.25
700,000	17.50
710,000	17.75
720,000	18.00
730,000	18.25
740,000	18.50
750,000	18.75
760,000	19.00
770,000	19.25
780,000	19.50
790,000	19.75
800,000	20.00
810,000	20.25
820,000	20.50
830,000	20.75
840,000	21.00
850,000	21.25
860,000	21.50
870,000	21.75
880,000	22.00
890,000	22.25
900,000	22.50
910,000	22.75
920,000	23.00
930,000	23.25
940,000	23.50
950,000	23.75
960,000	24.00
970,000	24.25
980,000	24.50
990,000	24.75
1,000,000	25.00

Gross Acres _____ **Lots/Units** _____ **Density** _____

Additional Information

PROPERTY OWNER Franchise Realty Interstate **Contact** C/O McDonalds Corporation

Address P.O. Box 182571 **Phone:** (858) 342-3536 **Fax:** (702) 543-2733

City Columbus State OH Zip 43218

E-mail Address kevin.mcauley@mcd.us.com

APPLICANT McDonalds USA LLC **Contact** Kevin McAuley

Address 17750 Perimeter Dr. Ste 400 **Phone:** (858) 342-3536 **Fax:** (702) 543-2733

City Scottsdale State AZ Zip 85255

E-mail Address kevin.mcauley@mcd.com

REPRESENTATIVE Spectrum Surveying & Engineering Contact Samantha Johnston

Address 8905 W. Post Road Suite 100 **Phone:** (702) 367-7705 **Fax:** (702) 367-8733

City Las Vegas State NV Zip 89148

E-mail Address samanthajohnston@cox.net

Property Owner Signature*

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name KEVIN T. MCAULEY

Subscribed and sworn before me

This 3rd day of May, 20 10

Notary Public in and for said County and State

RECEIVED

JUN 15 2010

Revised 10/27/08

City of Las Vegas

FOR DEPARTMENT USE ONLY

Case #

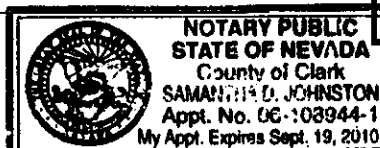
502-38585

Meeting Date: 7-29-10

Total Fee:	1030.00
------------	---------

Date Received: * 4-15-10

Received By: *F-5*



The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



8905 W. Post Road, Suite 100
Las Vegas, NV 89148
Phone: 702.367.7705
Fax: 702.367.8733

June 15, 2010

City of Las Vegas
Attn: John Grider
Development Services Center
731 South Fourth Street
Las Vegas, NV 89101
Tel. (702) 229-6301

**Subject parcel: Site Development Review for
 APN: 139-25-101-002, 139-25-101-003, 139-25-101-004
 (At the Corner of Eastern Ave and Owens Ave.)
 0.89 Gross Acres**

Mr. Grider:

This serves as a justification letter for the above mentioned parcels for the proposed McDonalds restaurant. We are proposing to demolish the existing McDonalds building to replace with a 5,153 sq.ft. McDonald's restaurant located on the same parcels as mentioned above.

The proposed building exceeds all minimum building setback requirements. The proposed building also meets the requirements for the intended use of the property as a fast food restaurant, 2000 sq. ft. or more (with a single drive-through).

We are providing forty parking spaces for this project, which does not exceed the required forty parking spaces. A variance request is being submitted concurrently with this application requesting the approval of a reduction in the number of parking spaces required per Title 19.10.

In addition, a variance request for the incidental directional signage height is being requested for signage within the drive-thru that exceeds the allowable 7'-0" allowable height.

In addition, to our request for reduction in parking requirements, we are requesting the approval of a reduction in the landscape setback requirements set forth in Title 19.

Landscaping shall conform to City Las Vegas development standards of Title 19. However, we are applying for waiver of reduction of landscaping setbacks on the following property lines:

SDR-38585

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- West property line: reduction from 8'-0" to 3'-0"
- South property line: reduction from 8'-0" to 1'-0"
- North property line: reduction from 8'-0" to 3'-0" (only on portion that is between our parcel and the existing convenience store, all property that is directly on Owens will conform with city standards and meet the 15'-0" required setback)

In order to maximize parking within the limits of the site, we are requesting an exemption of the standards for interior landscaping of the islands for the parking lot per Chapter 19.10.010, section J. In certain areas, the required 5-foot wide parking islands at the end of parking rows and the one landscape island required for every six parking spaces is not achievable without reducing the parking count even further.

Vehicular access to the property will remain off of both Eastern Avenue and Owens Avenue. The revised site plan reflects the requested revisions to include a radial return on Eastern Avenue for the ingress portion of the driveway. This driveway configuration helps eliminate the conflict with an existing power pole along the frontage of Eastern Avenue.

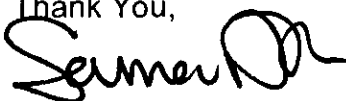
The existing "Dust-Pan" driveway currently providing access off of Owens Avenue will be upgraded to a Curb-Returned Commercial Driveway, Option B, per USD No. 225, with curb return radius deviations as shown per site plan.

In addition, we are requesting a 65' reduction in length of the existing 2-foot wide median island along Owens Avenue. The request is to allow access onto the site from Owens Avenue for both east-bound and west-bound Owens Avenue. This reduction in median length will be coordinated with both City of Las Vegas Traffic Division and City of North Las Vegas Traffic Divisions.

A Parcel Map will be submitted and approved concurrently with the development portion of the project to combine the three subject parcels into one parcel as requested.

If you have any further questions pertaining to this project, please give me a call.

Thank You,



Samantha Johnston
Project Coordinator

SDR-38585



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-38585** APN: 139-25-101-002, 003 & 005

Name of Property Owner: Franchise Realty Interstate C/O McDonalds Corporation

Name of Applicant: McDonalds USA LLC

Name of Representative: Spectrum Surveying & Engineering C/O Samantha Johnston

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

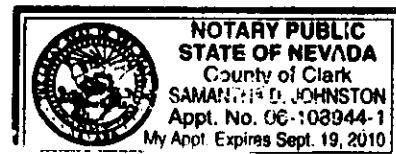
Signature of Property Owner: _____

Print Name: KEVIN T McAULEY

Subscribed and sworn before me

This 3rd day of May, 20 10

Samantha D. Johnston
Notary Public in and for said County and State



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JUN 15 2010

City of Las Vegas

ATTN: FRED SOLIS

McDonald's USA LLC
One McDonald's Plaza
Oak Brook, IL 60523
Direct Dial Number: (630) 623-3778
Fax: (630) 623-8154

March 17, 2010

RE: Limited Authority for Permit and Approval
Applications for Nevada

To Whom It May Concern:

This will confirm that James Carras and, Catherine A. Griffin each of whom is an officer of McDonald's USA LLC, Cody Teets, Vice President, General Manager; John Burroughs, Development Director; Johnny Adkins, Real Estate Manager; Mike Crawley, Regional Construction Manager; Asa Mayo, Area Construction Manager, and Kevin Mcauley, Area Construction Manager are jointly and severally authorized to execute and deliver, for and on behalf of McDonald's USA LLC, for so long as they are employees in good standing with McDonald's USA LLC, building permit applications, special or conditional use permit applications, zoning applications, Design Review Board applications, Planning Commission applications, City Council applications and any other applications for governmental permits and approvals in connection with the development, rebuild, remodel, or alteration of any McDonald's restaurant located in the above-mentioned states. The aforementioned Limited Authority shall expire March 17, 2011.

Sincerely,

McDONALD'S USA, LLC

Catherine A. Griffin
U.S. Vice President and Secretary

Document #: 791037-v4

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SDR-38585 JUN 15 2010
City of Las Vegas

BOOK-995

A.R.T.T. 60.50

864274

4-1

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That RAY LONG and HELEN LONG, husband and wife; HAROLD PEYTON LAUGHINGHOUSE, a married man and AVIS M. TAYLOR, a married woman

FOR A VALUABLE CONSIDERATION, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to FRANCHISE REALTY INTERSTATE CORPORATION, an Illinois corporation

all that real property situated in the _____ County of Clark

State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF.

- SUBJECT TO:
- (1) Taxes for the fiscal year 1977-78.
 - (2) Rights, rights of way, reservations, restrictions, conditions and easements now of record.
 - (3) Special Assessment levied by the City of Las Vegas.



Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness OUR hand S this 31st day of March, 1978

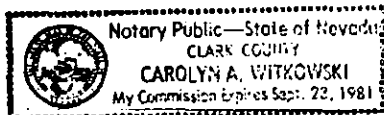
STATE OF NEVADA
COUNTY OF CLARK } SS.

On April 28, 1978
personally appeared before me, a Notary Public,
Ray Long, Helen Long, Harold Peyton Laughinghouse
and Avis M. Taylor

who acknowledged that they executed the above instrument.

Signature Carolyn A. Witkowski
(Notary Public)

(Notarial Seal)



ESCROW NO.) 78-9803-CW
ORDER NO.)
WHEN RECORDED MAIL TO: Franchise Realty Interstate Corporation, McDonalds Plaza, Oak Brook, Ill. 60521

EXHIBIT "A"

That portion of the Northwest Quarter (NW 1/4) of Section 25, Township 20 South, Range 61 East, M.D.B.&M., in the County of Clark, State of Nevada, more particularly described as follows:

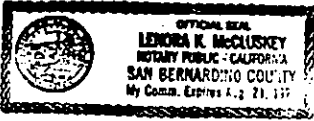
BEGINNING at the Northwest corner of the Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4) of said Section 25; thence East along the North line of said Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4), 215 feet to the TRUE POINT OF BEGINNING; thence continuing East along said North line 115 feet to a point; thence South 200 feet to a point; thence West 115 feet parallel to said North line to a point; thence North 200 feet to the TRUE POINT OF BEGINNING.

EXCEPT the North 30 feet as conveyed to the County of Clark for road purposes.

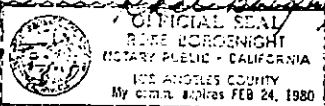
BOOK 905

864274

4-3

STATE OF <u>California</u>	}	SS.
COUNTY OF <u>San Bernardino</u>		
ON <u>April 28,</u> 19 <u>78</u>		
before me, the undersigned, a Notary Public in and for said State, personally appeared <u>Avia M. Taylor</u>		
_____ known to me,		
to be the person whose name <u>is</u> subscribed to the within instrument,		
and acknowledged to me that <u>he</u> executed the same.		
WITNESS my hand and official seal.		
		
 Notary Public in and for said State.		

ACKNOWLEDGMENT—General—Walcott's Form 231—Rev. 3-64

State of <u>California</u>	}	SS.	On this the <u>3rd</u> day of <u>May</u> 19 <u>78</u> , before me,
County of <u>Los Angeles</u>			the undersigned Notary Public, personally appeared:
			<u>Harold Peyton Laughinghouse</u>
			known to me to be the person whose name <u>is</u> subscribed
			to the within instrument and acknowledged that <u>he</u>
			executed the same for the purposes therein contained.
			IN WITNESS WHEREOF, I hereunto set my hand and official seal.
			

GENERAL ACKNOWLEDGEMENT FORM

BOOK 905

864274

4-4

INST. NO. 864274
OFFICIAL RECORD BOOK NO. 905
RECORDED AT REQUEST OF
WESTERN TITLE CO.

JUN 22 8 50 AM '72

CLARK COUNTY, NEVADA
JOAN L. SMITH RECORDER

PER 600 DEPUTY ma

600