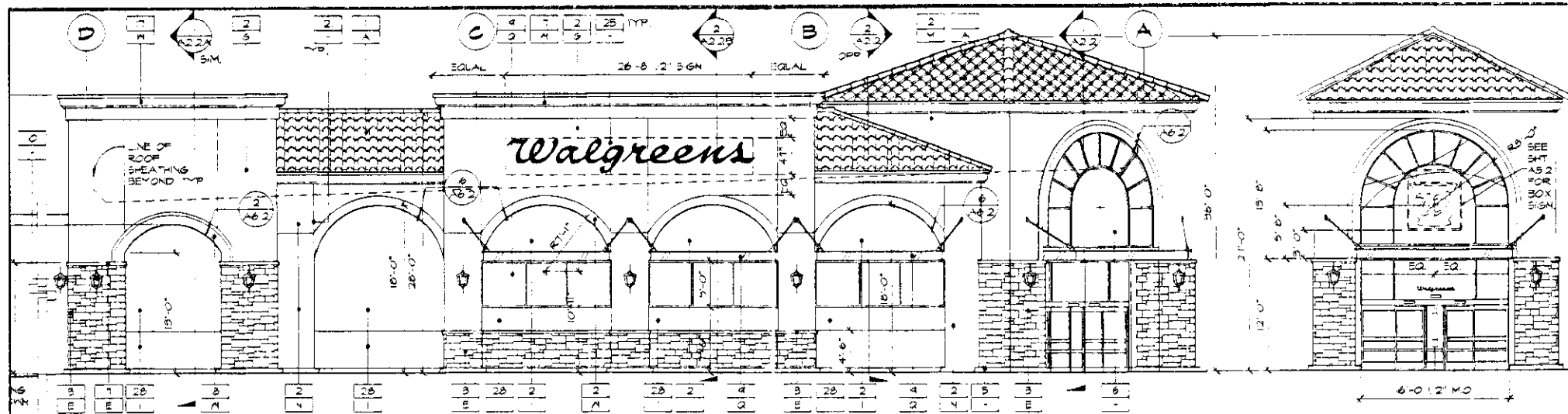
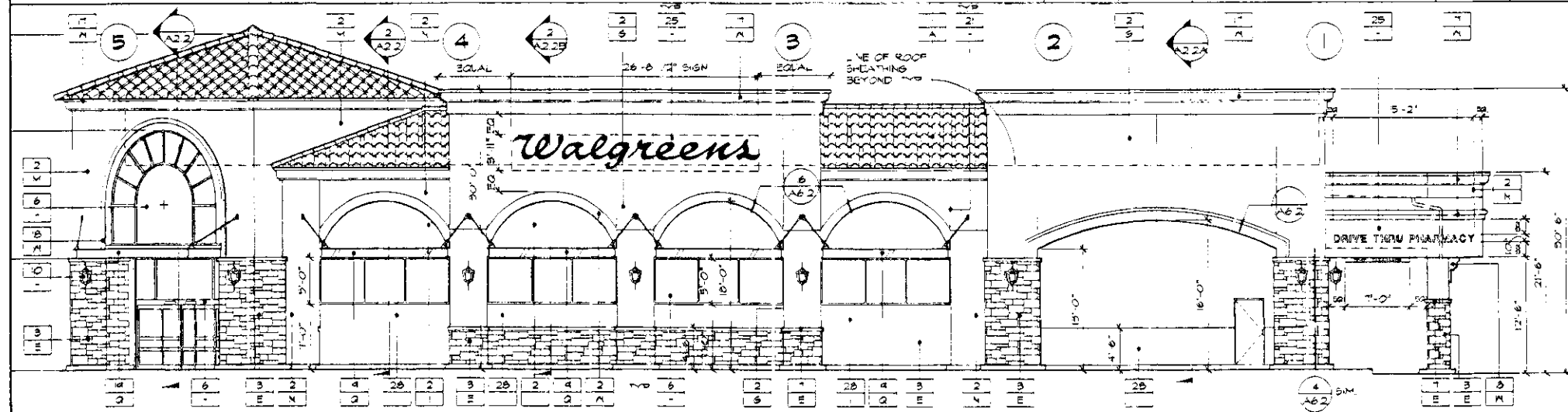
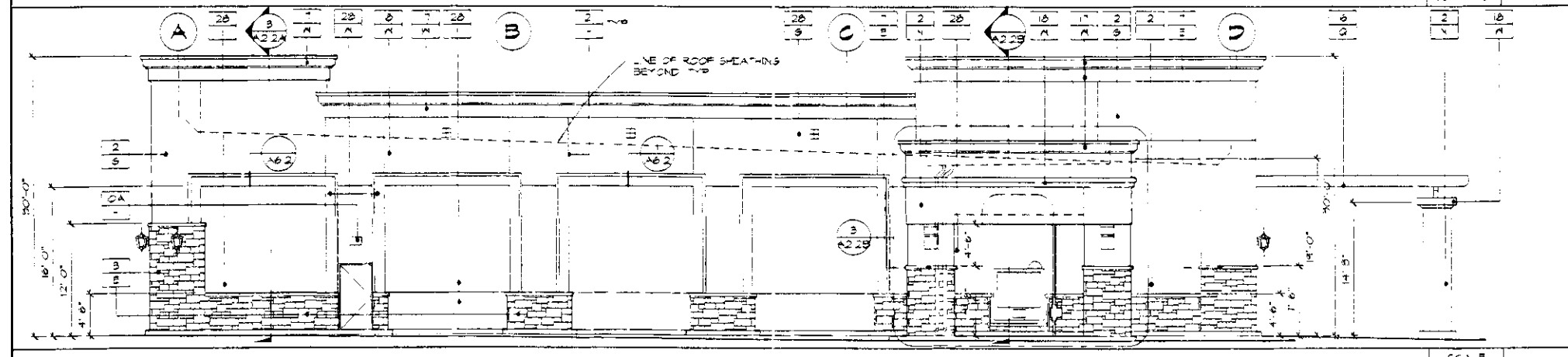




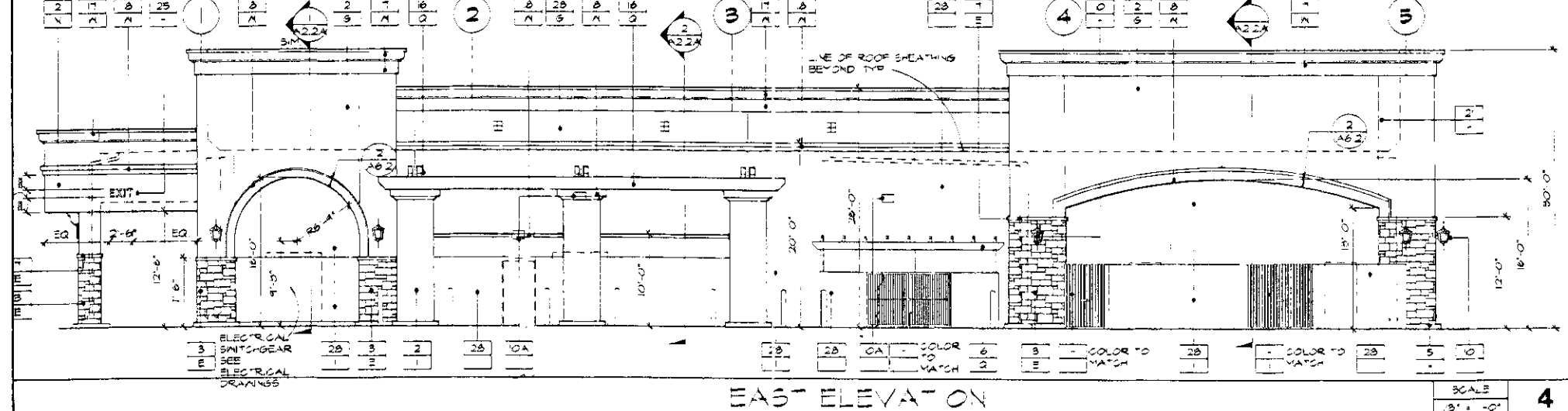
NORTH ELEVATION SCALE 1/8" = 1'-0" 1 FRONT ELEV. SCALE 5/8" = 1'-0" 5



WEST ELEVATION SCALE 1/8" = 1'-0" 2



SOUTH ELEVATION SCALE 1/8" = 1'-0" 3



EAST ELEVATION SCALE 1/8" = 1'-0" 4

EXTERIOR MATERIALS EXT. COLORS AND FINISHES

1. CLAY ROOF TILE - TWO PIECE TILE TELELOCK TILE CO. SEE MANUFACTURERS SPECIFICATIONS C80 - OR 3416 LARR 24834 PHONE 1-800-674-5719	ROOFING DELO CLAY TILE CO 1-800-674-5719
2. 7.5" EXTERIOR CEMENT PLASTER ON METAL LATH OVER 2 LAYER OF BLDG PAPER D. 10 OR STEEL STUDS 20/30 FINE SAND FINISH WATER PROOFING - APPLY FLEXIBLE EXTERIOR ELASTOMERIC TEXTURE COATING IN COLOR - APPLY IN STRICT ACCORDANCE IN MANUFACTURERS RECOMMENDATIONS	EXTERIOR FINISHES SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
3. STONE VENEER BY EL DORADO STONE 1800, 64" x 16" x 4"	BRICKS CORONADO STONE PRODUCTS 2 1/2" x 8" SPECIAL 1800, 34" x 3663 STONE EL DORADO STONE 1800, 123-134 HILLSTONE BERGAM EL DORADO STONE 1800, 123-144 LASTWAY STACKED STONE
4. CONCRETE SIDEWALK	PAINTS SHERWIN WILLIAMS - SM 2024 - CAEN STONE SHERWIN WILLIAMS - SM 622 - CAMELBACK SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
5. CONCRETE CURB BASE - STANDARD GRAY SMOOTH TROWEL FINISH	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
6. ARCADIA ALUMINUM STOREFRONT SYSTEM (SEE SCHEDULE, CLEAR ANODIZED)	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
7. HANSCOT BILL SEE DETAIL	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
8. FABRIC AWNING	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
9. MISCELLANEOUS SHEET METAL FLASHING CORNER DOORS ELECTRICAL EQUIPMENT HAND RAILS GUARD RAILS ETC. SHEET METAL SHALL BE MIN. 24GA.	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
10. WALL MOUNTED DECORATIVE LIGHT FIXTURE BY ART MANUFACTURERS (T4, 3400-25)	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
11. WALL MOUNTED FIXTURE (SEE ELECTRICAL DRAWINGS)	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
12. MASONRY BLOCKS A. 8" x 16" x 16" BLOCK B. PRECISION BLOCK BRICK VENEER	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
13. METAL DOORS/FRAMES VENTS. MISC STEEL METAL ARBOR. PAINT TO MATCH ADJACENT SURFACE	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
14. MASONRY EXPANSION JOINT SEE DETAIL B/A6.2. LOCATE EXTERIOR CEMENT PLASTER EXPANSION JOINT OVER MASONRY EXPANSION J/A6.2.	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
15. 1/4" FROSTED GLASS	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
16. STEEL TRELLIS	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
17. FOAM CORNICE IN PLASTER FINISH #20 SAND FINISH PLASTER COAT OVER SYNTHETIC BASE COAT	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
18. FOAM TRIM - MOLDING IN PLASTER FINISH #20 SAND FINISH PLASTER COAT OVER SYNTHETIC BASE COAT	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
19. METAL AWNING	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
20. PRECAST CONCRETE COLUMNS BY CONG DESIGNS INC. (C01) COLOR - TYPHOON BROWN 21. METAL PLASTER REVEAL PAINT TO MATCH ADJACENT SURFACE	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
22. METAL PLASTER REVEAL PAINT TO MATCH ADJACENT SURFACE	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
23. CONTROL JOINT PAINT TO MATCH ADJACENT SURFACE SEE DETAIL	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
24. ACCENT TILES BY DALTILE 1800, 133-TILE MINIMAL 1/2" GROUT	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
25. WALGREENS SIGNAGE - PROVIDE 5/8" PLYWOOD BACKING & BLOCKING AS REQUIRED FOR SIGNS - SEE SPECIFICATIONS & PLANS FOR INDIVIDUAL DETAILS	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
26. BUILDING AND/OR CANOPY BEYOND	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
27. BOLLARD (SEE FLOOR PLAN FOR TYPE AND FINISH)	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE
28. 7.5" EXTERIOR CEMENT PLASTER ON STANDARD JUT PRECISION BLOCK GRAY 20/30 FINE SAND FINISH - PAINT TO MATCH COLORS AS NOTED	SHUTTERS SHERWIN WILLIAMS - SM 2208 - TYPHOON BROWN SHERWIN WILLIAMS - SM 37 - ANTIQUE WHITE SHERWIN WILLIAMS - SM 673 - CLAY SAGE SHERWIN WILLIAMS - SM 0030 - COLONIAL YELLOW SHERWIN WILLIAMS - SM 367 - YELLOW FLICKER SHERWIN WILLIAMS - SM 6327 - BOLD BRICK SHERWIN WILLIAMS - SM 2264 - DOMINIC BLUE SHERWIN WILLIAMS - SM 2024 - TAVERN TAPE SHERWIN WILLIAMS - SM 2821 - BONFIRE SHERWIN WILLIAMS - SM 2201 - GOLDEN GATE COSTCO ONLY METAL PANEL SIDING SHERWIN WILLIAMS - SM 408 - RED ACCENT SHERWIN WILLIAMS - SM 22 - ECHELON ECRL SHERWIN WILLIAMS - SM 249 - OLIVET MOON SHERWIN WILLIAMS - SM 907 - COLLECTORS WHITE

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NOTES:

1. CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIAL, COLORS AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.
2. PROVIDE CONTINUOUS 2X BLOCKING IN WALL FOR SIGNAGE ATTACHMENTS. COORDINATE WITH SIGN CONTRACTOR.
3. 7.5" THICK EXTERIOR CEMENT PLASTER, TYPE ON STD WALLS WHERE PLASTER FINISH IS CALLED OUT.
4. CONSTRUCTION JOINTS OF THE EPS FOAM CORNICE SHALL BE 20'-0" O.C. (MAXIMUM).
5. NOT USED.
6. FINISHES ARE ALSO REQUIRED AT PORTIONS OF INSIDE FACE OF PARAPETS.
7. PRIOR TO PAINT OR STUCCO COLOR COAT BEING APPLIED TO ANY BUILDING THE CONTRACTOR SHALL PAINT A "TEST" PATCH ON THE BUILDING INCLUDING ALL COLORS THE REMAINDER OF THE BUILDING MAY NOT BE PAINTED UNTIL INSPECTED AND APPROVED BY THE ARCHITECT AND OWNER.
8. PROVIDE 5 GALLONS EACH PER COLOR OF UNOPENED EXTERIOR PAINT.
9. PAINT ALL EXPOSED METAL FLASHING, PIPES, EQUIPMENT, ETC. TO MATCH ADJACENT SURFACE TYPE.
10. REFER TO EXHIBIT 'M' FOR STOREFRONT INFORMATION.

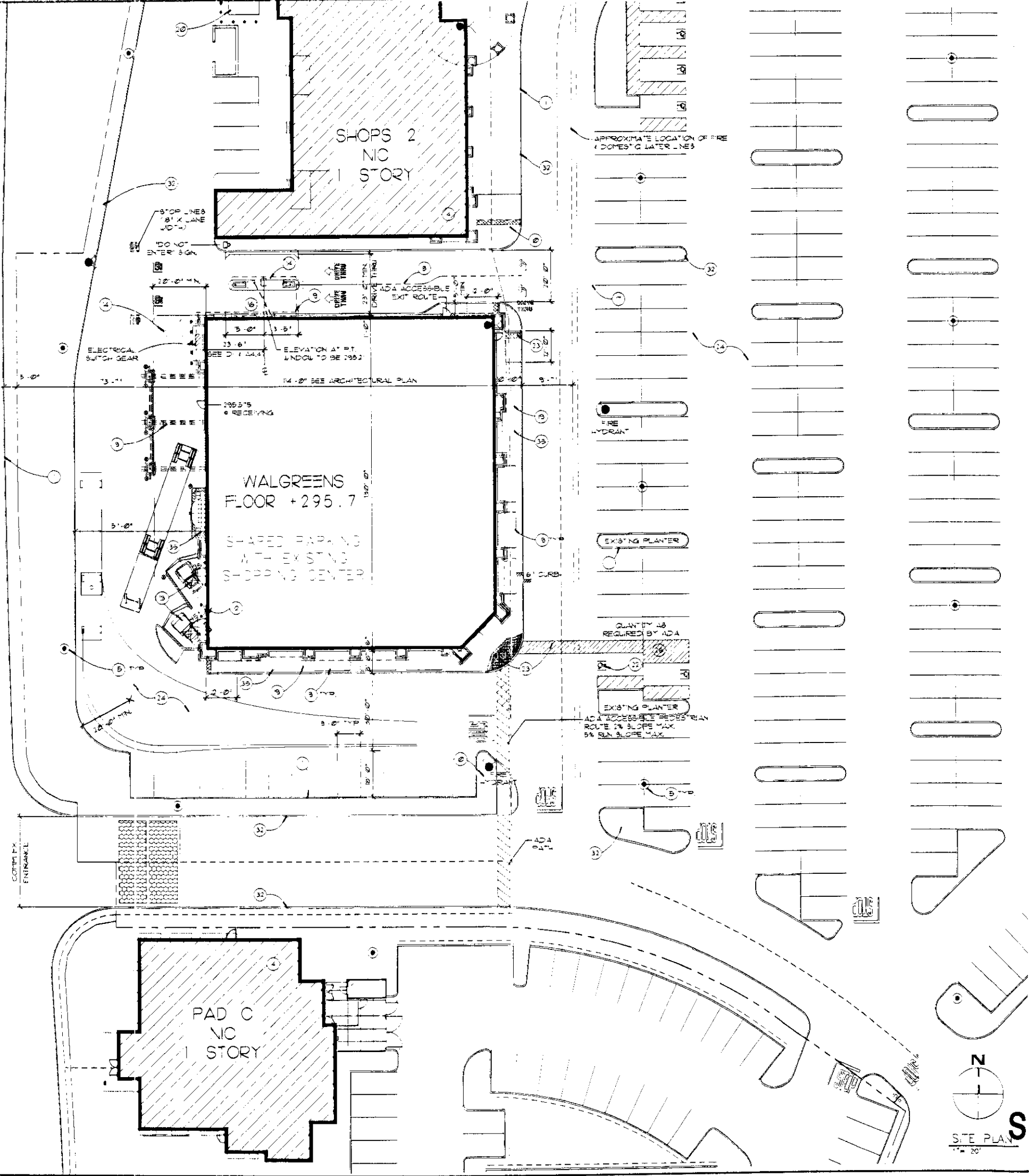
Walgreens
FACILITIES PLANNING, DESIGN, & ENGINEERING
106 WILMOT ROAD
DEERFIELD, IL 60015-4618

NO.	DATE	BY	DESCRIPTION	CONS.
REVISIONS				
CERTIFICATION AND SEAL				
STORE NUMBER 10783 PROJECT NAME WALGREENS STORE 6495 NORTH DECATUR LAS VEGAS, NV				
DRAWING TITLE EXTERIOR ELEVATION - BEER & WINE				
CADD PLOT: 1783-A21-BW-16NCV08	SCALE: 1/8" = 1'-0"	DRAWING NO.		
VOID PLOT	DRAWN BY: B. HESTER	DATE 11.16.08	A2.1	
SUPERSEDES PLAN DATED:	REVIEWED BY:	DATE	OF DWGS.	

ALPHA 11.15.2008 12:24 PM D:\ARCHITECTURE\BEER & WINE\NEVADA\BEER AND WINE\1783-A21-BW-16NCV08.DWG

- SITE PLAN KEYED NOTES
- PERIMETER OF ALL ASPHALT TO RECEIVE CONCRETE CURB
 - 65 FOOT TRUCK TURNING RADIUS DEPICTED AS PER SHEET 08.1
 - NOT USED
 - IDENTIFY USE AND LOCATE ALL STRUCTURES ADJACENT TO WALGREENS SITE. INDICATE NUMBER OF STORIES AND DISTANCE FROM PROPERTY LINE.
 - SPOT ELEVATION AT FLOW LINE OF PROPOSED ENTRANCE.
 - CONCRETE APRON TO D.O.T. SPECIFICATIONS. CURB CUT DIMENSION MUST ACCOMMODATE 95 FOOT TRACTOR/ TRAILER WITHOUT ROLLING ONTO CURB. SEE CRITERIA NOTE #9. THIS SHEET DIVIDE DRIVEWAY INTO LANES W/STRIPING.
 - LIMIT OF HEAVY DUTY ASPHALT PAVING.
 - 80' X 4" W YELLOW PAINT STRIPS (TYPICAL) LANE DIVIDER.
 - LINE OF CANOPY ABOVE.
 - 12' X 18' "DO NOT BLOCK ENTRANCE" SIGN. SEE DETAIL 11/00.0
 - NOT USED
 - GAS METER WITH BOLLARDS.
 - COMPACTORS. SEE SHEET 08.2.
 - LINE OF CONCRETE PAD
 - LIGHT POLE (TYPICAL). QUANTITY AND LOCATION OF POLES TO BE DETERMINED BY APPROVED PHOTO METRICS. COORDINATE WITH EXISTING SITE LIGHTING PACKAGE.
 - CONCRETE DRIVE-UP LANE AND CANOPY ABOVE.
 - PROVIDE LANE DIVIDERS AND DIRECTIONAL ARROWS AT ALL DRIVES AND END OF DRIVE AISLES.
 - NOT USED
 - CONCRETE SIDEWALK. SEE SHEET A1.1 - KEYED NOTE #2.
 - PAD MOUNTED TRANSFORMER WITH BOLLARDS. (COORDINATE W/ P.A. ANY OTHER LOCATIONS)
 - ENTRY BOLLARDS W/ POLYETHYLENE COVERS 5'-4" CLEAR
 - ACCESSIBLE PARKING SIGN. SEE ACCESSIBILITY SHEET FOR DETAIL.
 - ACCESSIBLE RAMP W/ DETECTABLE WARNING ALONG ACCESSIBLE ROUTES (TYP). WHEN SLOPE IS LESS THAN 5% ONLY 36" OF DETECTABLE WARNING SURFACE IS REQUIRED.
 - ASPHALT PAVING.
 - YELLOW PAINT STRIPING (TYPICAL).
 - ACCESSIBLE PARKING DESIGN TO MEET ALL GOVERNING CODES. QUANTITY AS REQUIRED BY ADA. ACCESSIBLE PARKING SPACES AND THEIR ACCESS AISLES SHALL BE 1/2% (2% MAX) SLOPE IN ALL DIRECTIONS.
 - TOP OF SIGN FOUNDATION TO BE AT TOP OF STREET CURB HEIGHT (MIN.)
 - PLAQUE SIGN WITH MINIMUM SETBACKS. COORDINATE WITH ZONING AND DIMENSION ACCORDINGLY.
 - INDICATE ALL EXISTING OR PROPOSED TRAFFIC CONTROL ELEMENTS.
 - SPOT ELEVATION AT STREET INTERSECTION.
 - SHARED MONUMENT ID SIGN TO BE PROVIDED BY OTHERS.
 - INDICATE ALL OFF-SITE IMPROVEMENTS. DENOTE EXISTING OR PROPOSED
 - ALL END ISLANDS TO BE 3'-0" LESS THAN STALL DEPTH. WHERE FULL DEPTH ISLAND IS REQUIRED DETAIL ROLL-OVER CURB AND CONCRETE FILL END OF ISLAND 4'-0".
 - RETURN SIDEWALK TO EXIST. DOOR (ADA ACCESSIBLE EXIT ROUTE REQUIRED).
 - WALKS WITHOUT COLUMNS CAN BE 7'-0" W. WALKS WITH COLUMNS SHALL PROVIDE 5'-0" CLEAR TO BUILDING AND 2'-8" CLEAR TO EDGE OF CURB. SOUTHERN PROTOTYPE WALK TO BE 10'-0" W MIN.
 - TOTE ENCLOSURE.
 - DETECTABLE WARNING SURFACE, 36" DEEP
 - STORM DRAIN BASINS TO BE 50' MIN. W. AWAY FROM 2% ACCESSIBLE PARKING ZONE.
 - LIGHT POLES, LANDSCAPINGS, AND OTHER SITE EQUIPMENT SHALL NOT OBSCURE SIGHT LINES TO PAVLON.

N. DECATUR BLVD.



Walgreens
FACILITIES PLANNING, DESIGN, & ENGINEERING
106 WILMOT ROAD
DEERFIELD, IL 60015-4618

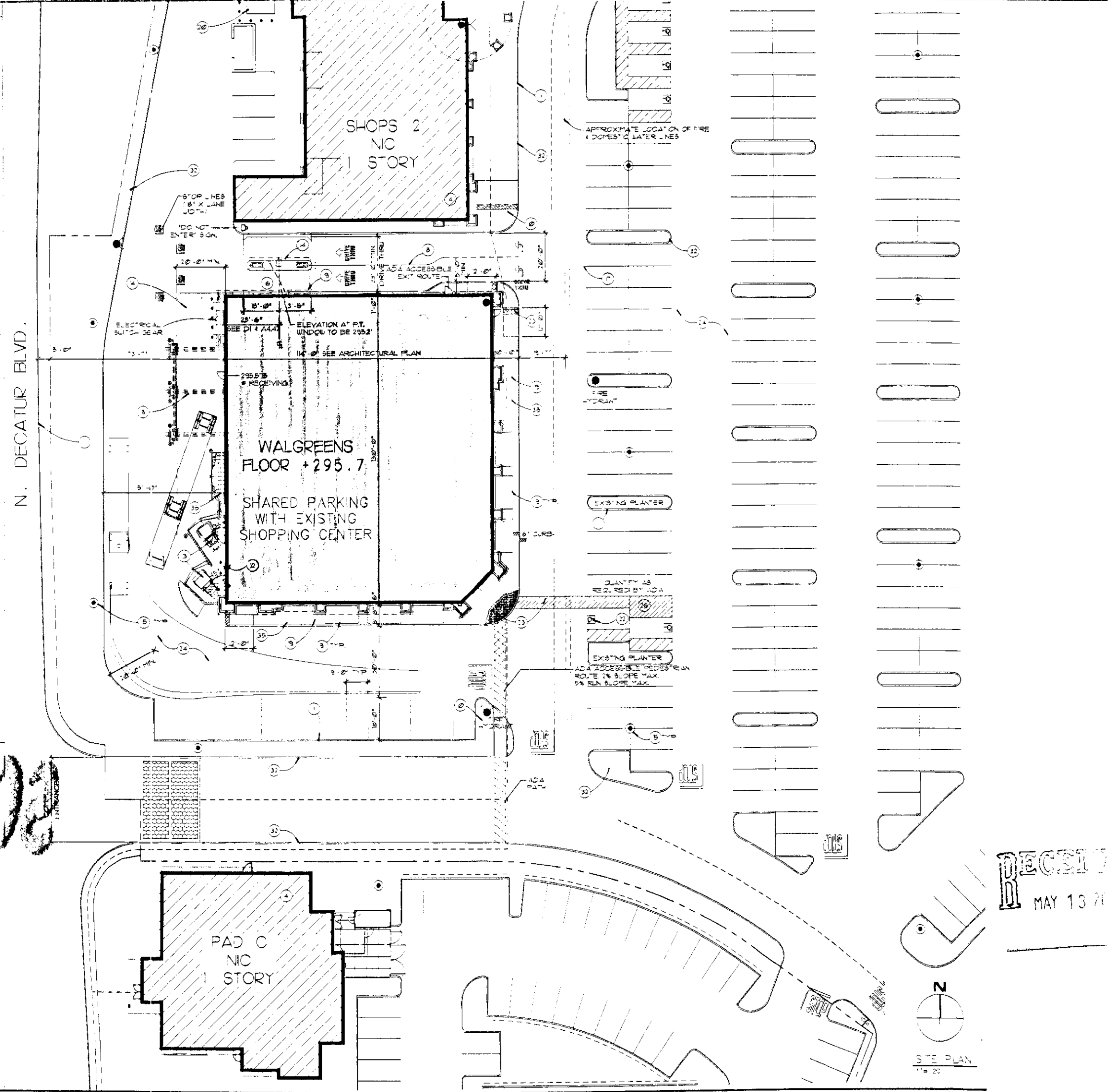
NO.	DATE	BY	DESCRIPTION	CONS.
REVISIONS				
CERTIFICATION AND SEAL				
STORE NUMBER 10793				
PROJECT NAME WALGREENS STORE 8495 NORTH DECATUR LAS VEGAS, NV				
DRAWING TITLE SITE PLAN - BEER & WINE				
CADD PLOT 0793-A01.BW-16NOV09	SCALE 1/20" = 1'-0"	DRAWING NO.		
VOID PLOT:	DRAWN BY B. HESTER	A0.1		
SUPERSEDES PLAN DATED:	DATE 11/16/09	REVIEWED BY:		
		OF DWGS.		

RECEIVED
MAY 3 2010

SUP-38276

ADDITIONAL NOTES: 11/16/2009 10:24 AM D:\ARCHITECTURE\BEER & WINE\WALGREENS\BEER & WINE\0793-A01.BW-16NOV09

- SITE PLAN KEYED NOTES**
- PERMETER OF ALL ASPHALT TO RECEIVE CONCRETE CURB
 - 55 FOOT TRUCK TURNING RADIUS DEPICTED AS PER SHEET 06.1
 - NOT USED
 - IDENTIFY USE AND LOCATE ALL STRUCTURES ADJACENT TO WALGREENS SITE. INDICATE NUMBER OF STORES AND DISTANCE FROM PROPERTY LINE.
 - SPOT ELEVATION AT FLOW LINE OF PROPOSED ENTRANCE.
 - CONCRETE APRON TO 2'-0" SPECIFICATIONS.
 - SHOPS BUT DIMENSION MUST ACCOMMODATE 65 FOOT TRACTOR/ TRAILER WITHOUT ROLLING ONTO CURB. SEE CRITERIA NOTE #9. THIS SHEET, DRIVE DRIVEWAY INTO LANES WITH STRIPING.
 - LIMIT OF HEAVY DUTY ASPHALT PAVING.
 - 50% X 4" W YELLOW PAINT STRIPE (TYPICAL) LANE DIVIDER.
 - LINE OF CANOPY ABOVE.
 - 12'X18' "DO NOT BLOCK ENTRANCE" SIGN. SEE DETAIL 11/00.0
 - NOT USED
 - GAS METER WITH BOLLARDS.
 - COMPACTORS. SEE SHEET 06.2
 - LINE OF CONCRETE PAD
 - LIGHT POLE (TYPICAL) QUANTITY AND LOCATION OF POLES TO BE DETERMINED BY APPROVED PHOTO METRICS. COORDINATE WITH EXISTING SITE LIGHTING PACKAGE.
 - CONCRETE DRIVE-UP LANE AND CANOPY ABOVE
 - PROVIDE LANE DIVIDERS AND DIRECTIONAL ARROWS AT ALL DRIVES AND END OF DRIVE AISLES.
 - NOT USED
 - CONCRETE SIDEWALK. SEE SHEET 11.1 KEYED NOTE #2
 - PAD MOUNTED TRANSFORMER WITH BOLLARDS TO COORDINATE WITH ALL ANY OTHER LOCATIONS
 - ENTRY BOLLARDS 4" POLYETHYLENE COVERS 5'-4" CLEAR
 - ACCESSIBLE PARKING SIGN. SEE ACCESSIBILITY SHEET FOR DETAIL
 - ACCESSIBLE PARKING. DETECTABLE WARNING ALONG ACCESSIBLE ROUTES. DETECTABLE WARNING SURFACE SHALL BE 18" WIDE. ONLY 18" OF DETECTABLE WARNING SURFACE IS REQUIRED.
 - ASPHALT PAVING
 - YELLOW PAINT STRIPING (TYPICAL)
 - ACCESSIBLE PARKING DESIGN TO MEET ALL GOVERNING CODES. QUANTITY AS REQUIRED BY ALL ACCESSIBLE PARKING SPACES AND THEIR ACCESSIBLE SPACES SHALL BE 1:12 OR 2:12 MAX SLOPE IN ALL DIRECTIONS
 - TOP OF SIGN FOUNDATION TO BE AT TOP OF STREET CURB HEIGHT MIN.
 - PLACE SIGN WITH MINIMUM SETBACKS. COORDINATE WITH ZONING AND DIMENSION ACCORDINGLY
 - INDICATE ALL EXISTING OR PROPOSED TRAFFIC CONTROL ELEMENTS
 - SPOT ELEVATION AT STREET INTERSECTION
 - SHARED MONUMENT SIGN TO BE PROVIDED BY OTHERS
 - INDICATE ALL OFF-SITE IMPROVEMENTS. DENOTE EXISTING OR PROPOSED
 - ALL END BLANDS TO BE 1'-0" LESS THAN STALL DEPTH WHERE FULL DEPTH BLAND IS REQUIRED. DETAIL POLYMER CURB AND CONCRETE FILL END OF BLAND 4'-0"
 - RETURN SIDEWALK TO EXIST. DOOR. (ADA ACCESSIBLE EXIT ROUTE REQUIRED)
 - WALKS WITHOUT BOLLARDS CAN BE TYPICAL WALKS WITH BOLLARDS SHALL PROVIDE 5'-0" CLEAR TO BUILDING AND 2'-0" CLEAR TO EDGE OF CURB. SOUTHERN PROTOTYPE WALK TO BE 10'-0" W MIN.
 - NOTE ENCLOSURE
 - DETECTABLE WARNING SURFACE, 36" DEEP
 - STORM CATCH BASINS TO BE 50' MINIMUM AWAY FROM 2X ACCESSIBLE PARKING ZONE
 - LIGHT POLES, LANDSCAPING, AND OTHER SITE EQUIPMENT SHALL NOT OBSCURE SIGHT LINES TO PAVION



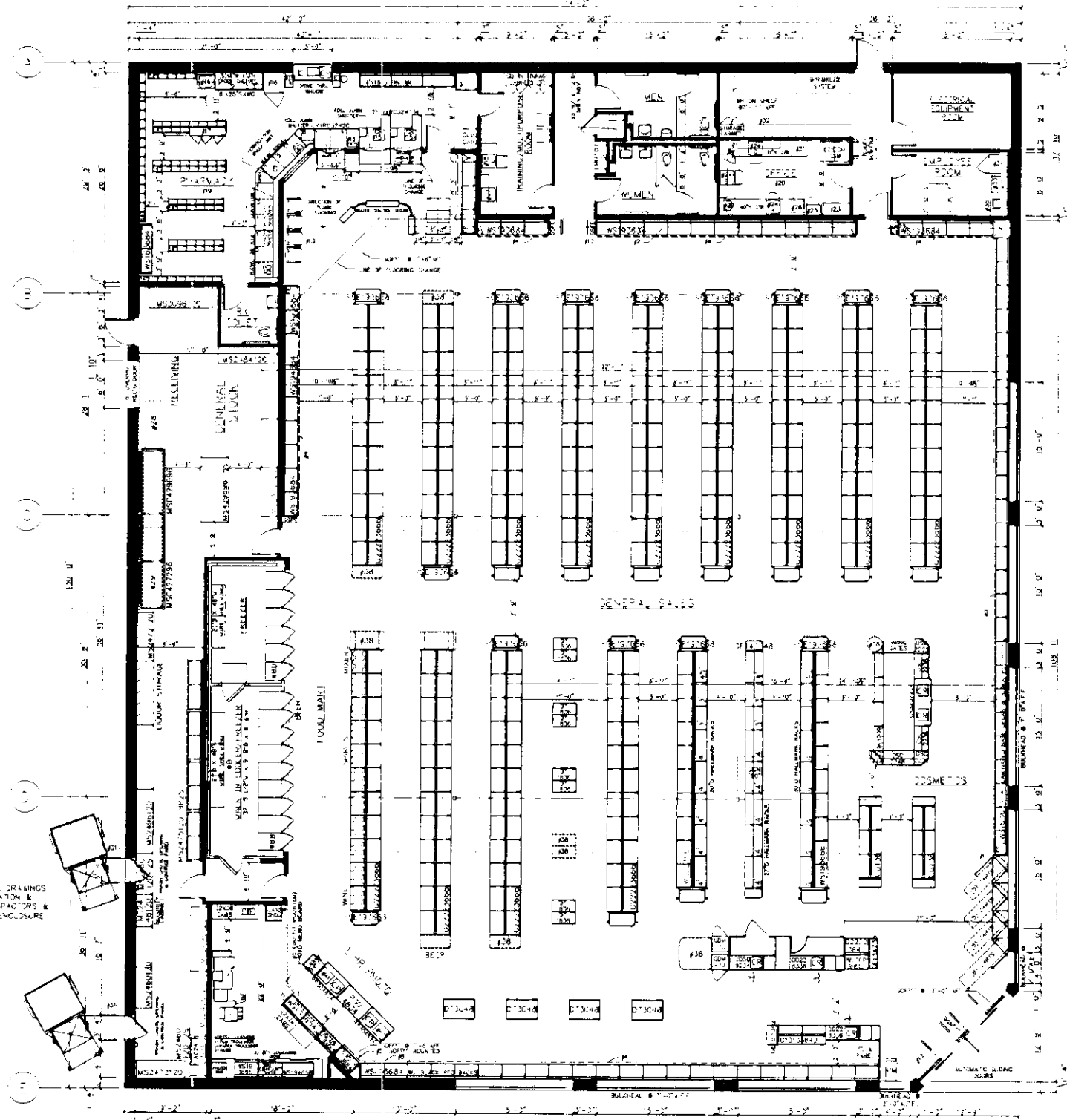
Walgreens
FACILITIES PLANNING, DESIGN, & ENGINEERING
106 WILMOT ROAD
DEERFIELD IL 60015-4618

NO.	DATE	BY	DESCRIPTION	CONS.
REVISIONS				
CERTIFICATION AND SEAL				
STORE NUMBER 10793				
PROJECT NAME				
WALGREENS STORE				
6495 NORTH DECATUR				
LAS VEGAS, NV				
DRAWING TITLE				
SITE PLAN - BEER & WINE				
CADD PLOT	SCALE 1/20 = 1'-0"	DRAWING NO.		
0730-A01-BW-16NOV09		A0.1		
VOID PLOT	DRAWN BY	DATE: 11/18/09		
	B. HESTER	REVIEWED BY:		
SUPERSEDES	PLAN DATED	OF DWGS.		

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MAY 13 2010

SUP-38276
07/29/10 PC

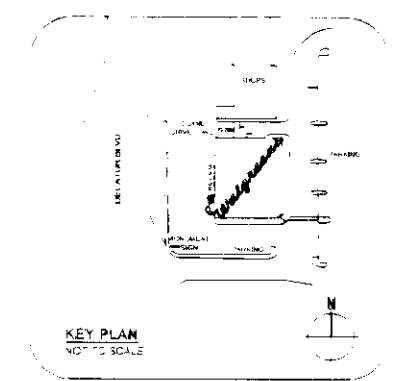
SEE ARCHITECTURAL DRAWINGS FOR
LOCATION OF SANITARY &
SINKS, ETC.



LIQUOR LICENSE LEGEND



TOTAL OCCUPANCY: 441
TOTAL FLOOR SQUARE FEET: 80,255 SQ. FT.
TOTAL SALES: 34,332 SQ. FT.
SALES PER SQUARE FOOT: 0.43



RECEIVED
JUN 04 2010

EXECUTIVE APPROVAL	DATE
SIGNATURE OF PRESIDENT	
SIGNATURE OF PRESIDENT	
SIGNATURE OF PRESIDENT	
SIGNATURE OF PRESIDENT	
SIGNATURE OF PRESIDENT	

FIXTURE LEGEND
1. SIGNATURE OF PRESIDENT
2. SIGNATURE OF PRESIDENT
3. SIGNATURE OF PRESIDENT
4. SIGNATURE OF PRESIDENT
5. SIGNATURE OF PRESIDENT

Walgreens

FACILITIES PLANNING DESIGN & ENGINEERING
106 WILMOT ROAD
DEERFIELD, IL 60015-8106

PROJECT DATA

TYPE	GENERAL SALES	FOOD MART
NEW LOCATION	PHARMACY	SECURITY
EXISTING	1 HOUR PHOTO	24 HOUR STORE
REMODEL	LIQUOR	OTHER

SQUARE FOOT AREA SUMMARY

DEPARTMENT	SALES	STOCK	SERVICE	EXISTING	TOTAL
GEN. NEW	34,332	1,772	1,384		37,488
EXISTING					
FOOD MART NEW	900				900
EXISTING					
PHARMACY NEW	100				100
EXISTING					
1 HOUR PHOTO NEW	435				435
EXISTING					
LIQUOR NEW					
EXISTING					
24 HOUR STORE NEW					
EXISTING					
TOTAL NEW	35,567	1,772	1,384		38,723
TOTAL EXISTING					
TOTAL AREA, FIRST FLOOR					38,723
TOTAL AREA, OTHER LEVELS					2,302.7
GROSS AREA INCLUDING ALL DEPARTMENTS & ALL LEVELS					41,025.7
PH. SHELVEING LINEAL FEET					27,000

REVISIONS

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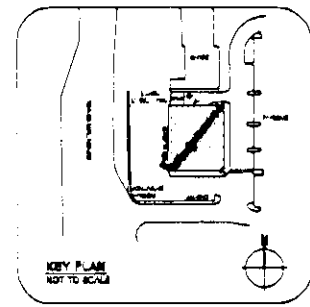
CERTIFICATION AND SEAL

HEREBY CERTIFY THAT THIS
PLANNING SPECIFICATION
WAS PREPARED BY ME OR
UNDER MY DIRECT
SUPERVISION AND THAT I AM
A FULLY LICENSED
ARCHITECT OR ENGINEER
UNDER THE LAWS OF THE
STATE OF NEVADA AND
SIGNATURE OF MY HAND AND
SEAL.

STORE NUMBER 10783
PROJECT NAME
WALGREENS STORE
NWD DECATUR & 215
LAS VEGAS, NEVADA

DRAWING TITLE
FIXTURE FLOOR PLAN

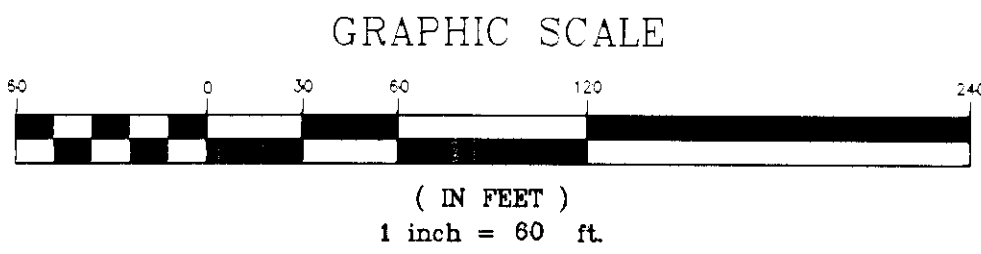
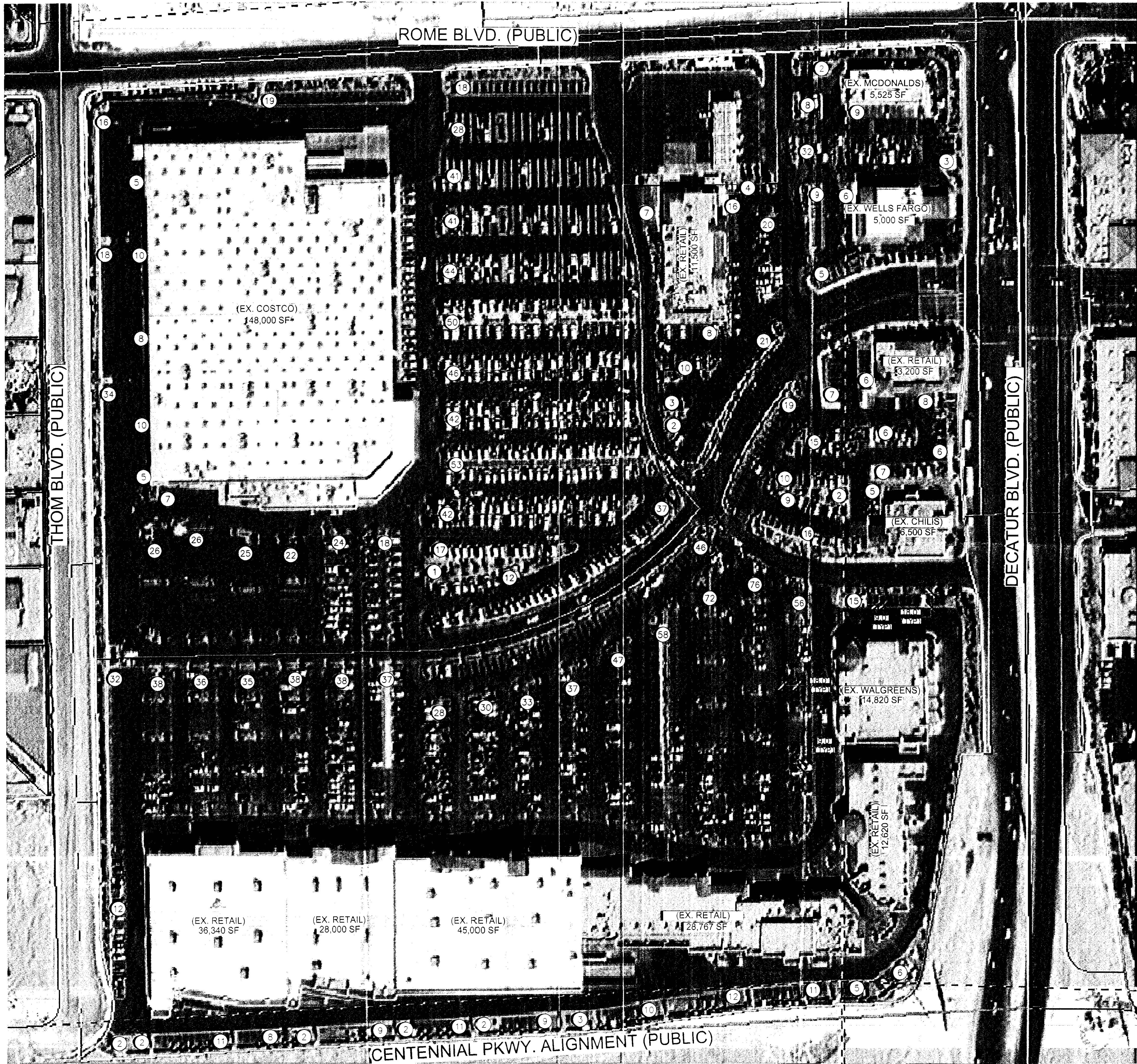
CADD PLOT
1/8" = 1'-0" (1/8" = 1'-0")
VOID PLOT
SCALE: 1/8" = 1'-0"
DRAWN BY
K. KESTERSON
DATE
2/2/2008
REVIEWED BY
OF
DWG.



SEE ARCHITECTURAL DRAWINGS
FOR EXACT LOCATION &
POSITIONING OF COMPACTORS &
COMPACTOR/TOTE ENCLOSURE

REC-110
MAY 13 2010
SUP-38276

E:\1183_WALGREENS\DWG\EXHIBITS\DECATUR & ROME\125-24-811-003-PKG\NAL.dwg, 5/3/2010 9:29:32 AM, twolf, DJ_1050c.pc3



EXISTING IMPROVEMENTS NOTE:
THIS SHOPPING CENTER WAS ORIGINALLY CONSTRUCTED PER
CLV DRAWING NO. 107Y-4861, "SHADOW MOUNTAIN
MARKETPLACE".

BUILDING INFORMATION:

BUILDING SQUARE FOOTAGE:		
WALGREENS	14,820 SF	WELLS FARGO 5,000 SF
COSTCO	148,000 SF	MCDONALDS 5,525 SF
RETAIL	165,427 SF	
CHILIS	6,500 SF	

PARKING SPACE DIMENSIONS:

CATEGORY	WIDTH	LENGTH	QUANTITY
AUTOMOBILE	9'-0"	18'-0"	1895

TOTAL SPACES 1895

PARKING REQUIREMENTS:
(PER TABLE 1 OF SECTION 19.04.010 OF TITLE 19)

WALGREENS:	
17,250 SQUARE FEET OF GROSS FLOOR AREA	60 SPACES
14,820 S.F.	

COSTCO & SHOPPING CENTER:

11,250 SQUARE FEET OF GROSS FLOOR AREA	1322 SPACES
330,452 S.F.	

TOTAL SPACES REQUIRED: 1382 SPACES

WALGREENS & SHOPPING CENTER--
APN: 125-24-811-003:

TOTAL AUTOMOBILE PARKING SPACES: 1104 SPACES
TOTAL HANDICAP PARKING SPACES: 46 SPACES

TOTAL SPACES PROVIDED: 1150 SPACES
MEETS PARKING REQUIREMENT

COSTCO PORTION OF SHOPPING CENTER--
APN: 125-24-811-002:

TOTAL AUTOMOBILE PARKING SPACES: 727 SPACES
TOTAL HANDICAP PARKING SPACES: 18 SPACES

TOTAL SPACES PROVIDED: 745 SPACES
MEETS PARKING REQUIREMENT

TOTAL SPACES PROVIDED: 1895 SPACES*

***NOTE:** THIS COMMERCIAL CENTER HAS SHARED
PARKING. INFORMATION SHOWN IS BASED ON RECORD
INFORMATION.

NOTE:
THIS PARKING ANALYSIS IS FOR THE SPECIAL USE PERMIT
SUBMITTED FOR WALGREENS. ALL IMPROVEMENTS SHOWN
ARE EXISTING AND HAVE PREVIOUSLY BEEN APPROVED AND
PERMITTED BY THE CITY OF LAS VEGAS. THERE ARE NO
NEW IMPROVEMENTS PROPOSED WITH THIS PROJECT.

LEGEND:

④ NUMBER OF PARKING STALLS

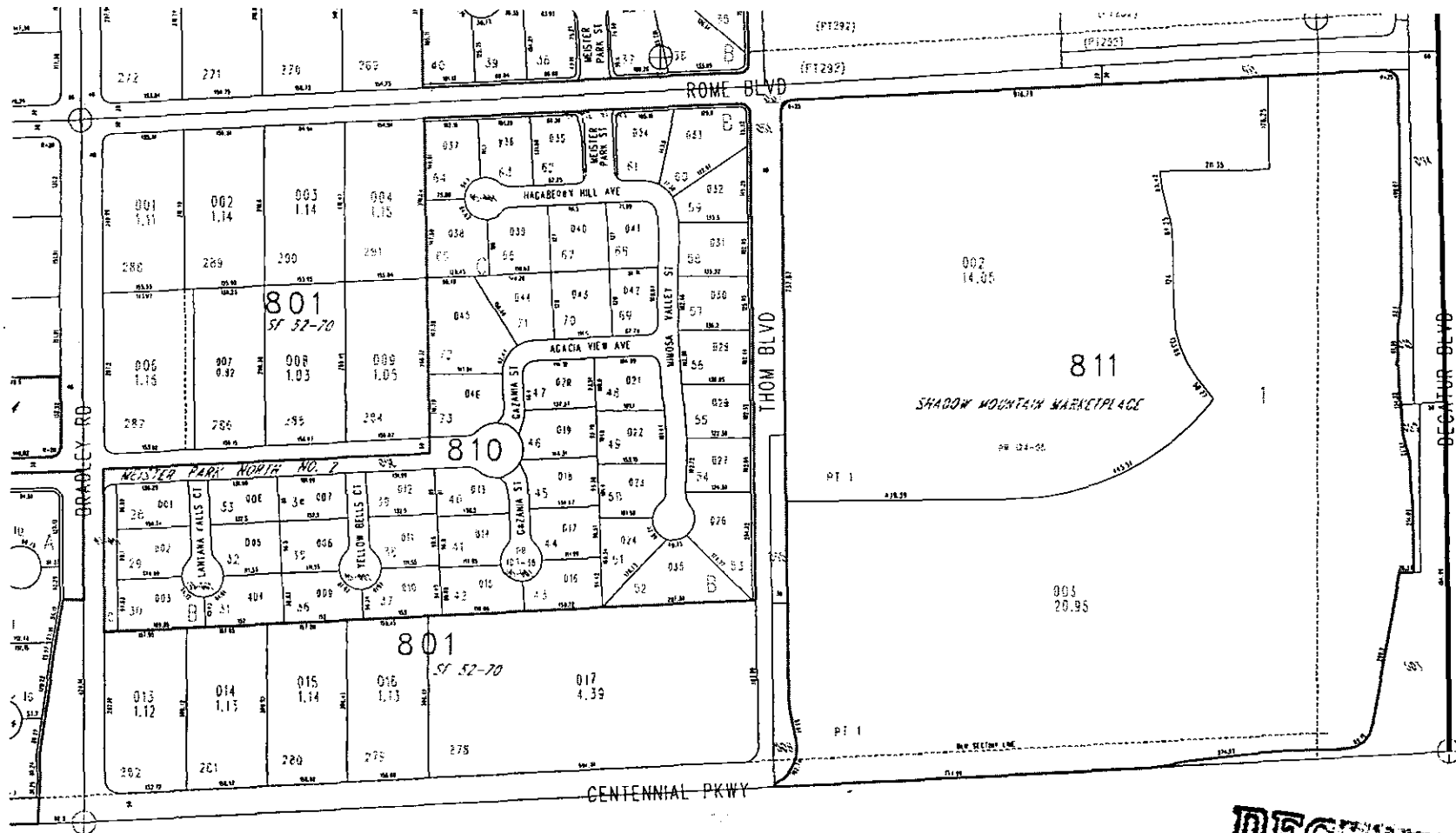
SUP-38276

WALGREENS CO.
WALGREENS @ DECATUR & ROME

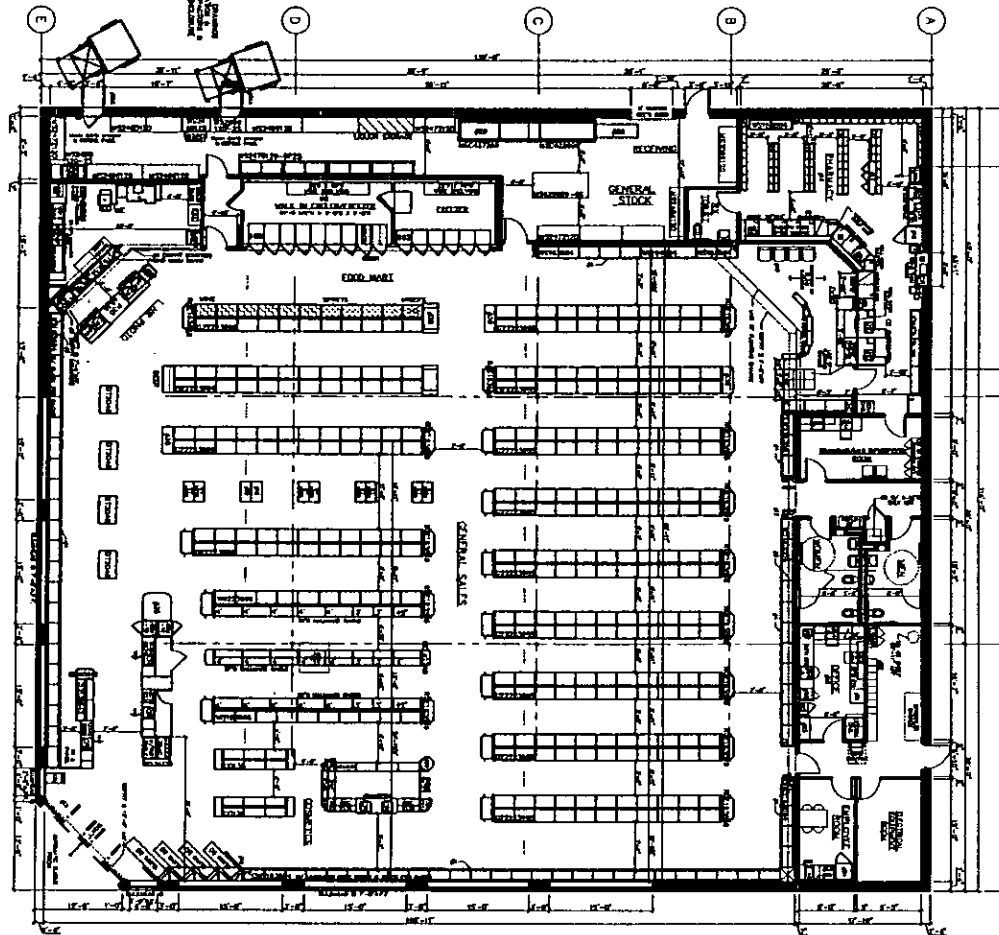
PARKING ANALYSIS

REVISIONS		APPROVAL	
DATE	REV DESCRIPTION OF REVISION	DATE	INITIALS

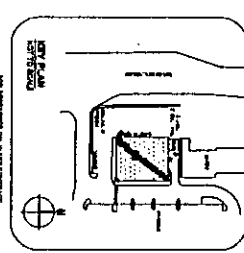
NOTES This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information. USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 1107 ORIGINAL 	ASSESSOR'S PARCELS - CLARK CO., NV. M. W. Schofield, Assessor		T19S R60E	24	S 2 SE 4	125-24-8																																																																																																																																	
	AVERAGE OR VALUE 55	MAP LEGEND ——— PARCEL BOUNDARY - - - SUBD BOUNDARY - - - ROAD EASEMENT - - - PW/LD BOUNDARY - - - NON-PARCEL LOT LINE - - - MATCH LINE / LEADER LINE --- ROAD ID NUMBER	PARCEL NUMBER 202 ACREAGE 20.25 PARCEL SUB/SED NUMBER 5 PLAT RECORDING NUMBER 5 BLOCK NUMBER 5 LBT NUMBER 5 GOV. LOT NUMBER 5	<table border="1"> <tr> <th>R59E</th> <th>R60E</th> <th>R61E</th> </tr> <tr> <td>99</td> <td>100</td> <td>101</td> </tr> <tr> <td>102</td> <td>103</td> <td>104</td> </tr> <tr> <td>105</td> <td>106</td> <td>107</td> </tr> <tr> <td>108</td> <td>109</td> <td>110</td> </tr> <tr> <td>111</td> <td>112</td> <td>113</td> </tr> <tr> <td>114</td> <td>115</td> <td>116</td> </tr> <tr> <td>117</td> <td>118</td> <td>119</td> </tr> <tr> <td>120</td> <td>121</td> <td>122</td> </tr> <tr> <td>123</td> <td>124</td> <td>125</td> </tr> <tr> <td>126</td> <td>127</td> <td>128</td> </tr> <tr> <td>129</td> <td>130</td> <td>131</td> </tr> <tr> <td>132</td> <td>133</td> <td>134</td> </tr> <tr> <td>135</td> <td>136</td> <td>137</td> </tr> <tr> <td>138</td> <td>139</td> <td>140</td> </tr> </table>	R59E	R60E	R61E	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	<table border="1"> <tr> <th>1</th> <th>2</th> <th>3</th> <th>4</th> </tr> <tr> <td>5</td> <td>1</td> <td>5</td> <td>1</td> </tr> <tr> <td>6</td> <td>2</td> <td>6</td> <td>2</td> </tr> <tr> <td>7</td> <td>3</td> <td>7</td> <td>3</td> </tr> <tr> <td>8</td> <td>4</td> <td>8</td> <td>4</td> </tr> <tr> <td>9</td> <td>5</td> <td>9</td> <td>5</td> </tr> <tr> <td>10</td> <td>6</td> <td>10</td> <td>6</td> </tr> <tr> <td>11</td> <td>7</td> <td>11</td> <td>7</td> </tr> <tr> <td>12</td> <td>8</td> <td>12</td> <td>8</td> </tr> <tr> <td>13</td> <td>9</td> <td>13</td> <td>9</td> </tr> <tr> <td>14</td> <td>10</td> <td>14</td> <td>10</td> </tr> <tr> <td>15</td> <td>11</td> <td>15</td> <td>11</td> </tr> <tr> <td>16</td> <td>12</td> <td>16</td> <td>12</td> </tr> <tr> <td>17</td> <td>13</td> <td>17</td> <td>13</td> </tr> <tr> <td>18</td> <td>14</td> <td>18</td> <td>14</td> </tr> <tr> <td>19</td> <td>15</td> <td>19</td> <td>15</td> </tr> <tr> <td>20</td> <td>16</td> <td>20</td> <td>16</td> </tr> <tr> <td>21</td> <td>17</td> <td>21</td> <td>17</td> </tr> <tr> <td>22</td> <td>18</td> <td>22</td> <td>18</td> </tr> <tr> <td>23</td> <td>19</td> <td>23</td> <td>19</td> </tr> <tr> <td>24</td> <td>20</td> <td>24</td> <td>20</td> </tr> </table>	1	2	3	4	5	1	5	1	6	2	6	2	7	3	7	3	8	4	8	4	9	5	9	5	10	6	10	6	11	7	11	7	12	8	12	8	13	9	13	9	14	10	14	10	15	11	15	11	16	12	16	12	17	13	17	13	18	14	18	14	19	15	19	15	20	16	20	16	21	17	21	17	22	18	22	18	23	19	23	19	24	20	24	20	
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		Scale: 1"=200'	Rev: 04/25/06																																																																																																																																				



RECEIVED
 MAY 13 2010
 SUP-38276
 DIST 200



DATE: 05/06/2004
TOTAL DOSE: 441
TOTAL UNDOSE: 80.25 SQ. FT.
TOTAL SALES: 642 SQ. FT.
TOTAL DOSE: 80.25 SQ. FT.
TOTAL DOSE: 80.25 SQ. FT.



1. TITLE, COM, CLASSIFICATION 2. DATE	
3. EXECUTIVE APPROVAL 4. DATE	
5. DESIGNATION OF THE DRAWING BY THE AUTHOR 6. APPROVED BY THE PROJECT ENGINEER	
7. DATE	
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FACILITIES PLANNING, DESIGN & ENGINEERING

DESIGN & CONSTRUCTION

PROJECT DATA		TOTAL DATA	
7799	7799	7799	7799
GENERAL DATA	GENERAL DATA	GENERAL DATA	GENERAL DATA
PROJECT NAME	PROJECT NAME	PROJECT NAME	PROJECT NAME
PROJECT ADDRESS	PROJECT ADDRESS	PROJECT ADDRESS	PROJECT ADDRESS
PROJECT CITY	PROJECT CITY	PROJECT CITY	PROJECT CITY
PROJECT STATE	PROJECT STATE	PROJECT STATE	PROJECT STATE
PROJECT ZIP	PROJECT ZIP	PROJECT ZIP	PROJECT ZIP
PROJECT PHONE	PROJECT PHONE	PROJECT PHONE	PROJECT PHONE
PROJECT FAX	PROJECT FAX	PROJECT FAX	PROJECT FAX
PROJECT E-MAIL	PROJECT E-MAIL	PROJECT E-MAIL	PROJECT E-MAIL
PROJECT WEBSITE	PROJECT WEBSITE	PROJECT WEBSITE	PROJECT WEBSITE
PROJECT DESCRIPTION	PROJECT DESCRIPTION	PROJECT DESCRIPTION	PROJECT DESCRIPTION
PROJECT TYPE	PROJECT TYPE	PROJECT TYPE	PROJECT TYPE
PROJECT CATEGORY	PROJECT CATEGORY	PROJECT CATEGORY	PROJECT CATEGORY
PROJECT SUB-CATEGORY	PROJECT SUB-CATEGORY	PROJECT SUB-CATEGORY	PROJECT SUB-CATEGORY
PROJECT PHASE	PROJECT PHASE	PROJECT PHASE	PROJECT PHASE
PROJECT STATUS	PROJECT STATUS	PROJECT STATUS	PROJECT STATUS
PROJECT START DATE	PROJECT START DATE	PROJECT START DATE	PROJECT START DATE
PROJECT END DATE	PROJECT END DATE	PROJECT END DATE	PROJECT END DATE
PROJECT DURATION	PROJECT DURATION	PROJECT DURATION	PROJECT DURATION
PROJECT BUDGET	PROJECT BUDGET	PROJECT BUDGET	PROJECT BUDGET
PROJECT COST	PROJECT COST	PROJECT COST	PROJECT COST
PROJECT REVENUE	PROJECT REVENUE	PROJECT REVENUE	PROJECT REVENUE
PROJECT PROFIT	PROJECT PROFIT	PROJECT PROFIT	PROJECT PROFIT
PROJECT RISK	PROJECT RISK	PROJECT RISK	PROJECT RISK
PROJECT COMPLEXITY	PROJECT COMPLEXITY	PROJECT COMPLEXITY	PROJECT COMPLEXITY
PROJECT INNOVATION	PROJECT INNOVATION	PROJECT INNOVATION	PROJECT INNOVATION
PROJECT SUSTAINABILITY	PROJECT SUSTAINABILITY	PROJECT SUSTAINABILITY	PROJECT SUSTAINABILITY
PROJECT SOCIAL IMPACT	PROJECT SOCIAL IMPACT	PROJECT SOCIAL IMPACT	PROJECT SOCIAL IMPACT
PROJECT ECONOMIC IMPACT	PROJECT ECONOMIC IMPACT	PROJECT ECONOMIC IMPACT	PROJECT ECONOMIC IMPACT
PROJECT ENVIRONMENTAL IMPACT	PROJECT ENVIRONMENTAL IMPACT	PROJECT ENVIRONMENTAL IMPACT	PROJECT ENVIRONMENTAL IMPACT
PROJECT CULTURAL IMPACT	PROJECT CULTURAL IMPACT	PROJECT CULTURAL IMPACT	PROJECT CULTURAL IMPACT
PROJECT HISTORICAL IMPACT	PROJECT HISTORICAL IMPACT	PROJECT HISTORICAL IMPACT	PROJECT HISTORICAL IMPACT
PROJECT LEGAL IMPACT	PROJECT LEGAL IMPACT	PROJECT LEGAL IMPACT	PROJECT LEGAL IMPACT
PROJECT POLITICAL IMPACT	PROJECT POLITICAL IMPACT	PROJECT POLITICAL IMPACT	PROJECT POLITICAL IMPACT
PROJECT ETHICAL IMPACT	PROJECT ETHICAL IMPACT	PROJECT ETHICAL IMPACT	PROJECT ETHICAL IMPACT
PROJECT REPUTATIONAL IMPACT	PROJECT REPUTATIONAL IMPACT	PROJECT REPUTATIONAL IMPACT	PROJECT REPUTATIONAL IMPACT
PROJECT BRAND IMPACT	PROJECT BRAND IMPACT	PROJECT BRAND IMPACT	PROJECT BRAND IMPACT
PROJECT CUSTOMER IMPACT	PROJECT CUSTOMER IMPACT	PROJECT CUSTOMER IMPACT	PROJECT CUSTOMER IMPACT
PROJECT EMPLOYEE IMPACT	PROJECT EMPLOYEE IMPACT	PROJECT EMPLOYEE IMPACT	PROJECT EMPLOYEE IMPACT
PROJECT COMMUNITY IMPACT	PROJECT COMMUNITY IMPACT	PROJECT COMMUNITY IMPACT	PROJECT COMMUNITY IMPACT
PROJECT INDUSTRY IMPACT	PROJECT INDUSTRY IMPACT	PROJECT INDUSTRY IMPACT	PROJECT INDUSTRY IMPACT
PROJECT NATIONAL IMPACT	PROJECT NATIONAL IMPACT	PROJECT NATIONAL IMPACT	PROJECT NATIONAL IMPACT
PROJECT GLOBAL IMPACT	PROJECT GLOBAL IMPACT	PROJECT GLOBAL IMPACT	PROJECT GLOBAL IMPACT
PROJECT FUTURE IMPACT	PROJECT FUTURE IMPACT	PROJECT FUTURE IMPACT	PROJECT FUTURE IMPACT
PROJECT LEGACY IMPACT	PROJECT LEGACY IMPACT	PROJECT LEGACY IMPACT	PROJECT LEGACY IMPACT
PROJECT INHERITANCE IMPACT	PROJECT INHERITANCE IMPACT	PROJECT INHERITANCE IMPACT	PROJECT INHERITANCE IMPACT
PROJECT IDENTITY IMPACT	PROJECT IDENTITY IMPACT	PROJECT IDENTITY IMPACT	PROJECT IDENTITY IMPACT
PROJECT BELONGING IMPACT	PROJECT BELONGING IMPACT	PROJECT BELONGING IMPACT	PROJECT BELONGING IMPACT
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PROJECT MEANING IMPACT	PROJECT MEANING IMPACT	PROJECT MEANING IMPACT	PROJECT MEANING IMPACT
PROJECT PURPOSE IMPACT	PROJECT PURPOSE IMPACT	PROJECT PURPOSE IMPACT	PROJECT PURPOSE IMPACT
PROJECT VALUES IMPACT	PROJECT VALUES IMPACT	PROJECT VALUES IMPACT	PROJECT VALUES IMPACT
PROJECT BELIEFS IMPACT	PROJECT BELIEFS IMPACT	PROJECT BELIEFS IMPACT	PROJECT BELIEFS IMPACT
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PROJECT BEHAV			

DATE	DESCRIPTION	AMOUNT	BALANCE
1/1/01	OPENING BALANCE	100.00	100.00
1/15/01	PAYROLL	50.00	50.00
2/1/01	RENT	25.00	25.00
2/15/01	UTILITIES	15.00	10.00
3/1/01	SALES	75.00	85.00
3/15/01	PAYROLL	50.00	35.00
4/1/01	RENT	25.00	10.00
4/15/01	UTILITIES	15.00	(5.00)
5/1/01	SALES	75.00	70.00
5/15/01	PAYROLL	50.00	20.00
6/1/01	RENT	25.00	(5.00)
6/15/01	UTILITIES	15.00	(20.00)
7/1/01	SALES	75.00	0.00
7/15/01	PAYROLL	50.00	(50.00)
8/1/01	RENT	25.00	(75.00)
8/15/01	UTILITIES	15.00	(90.00)
9/1/01	SALES	75.00	(15.00)
9/15/01	PAYROLL	50.00	(65.00)
10/1/01	RENT	25.00	(90.00)
10/15/01	UTILITIES	15.00	(105.00)
11/1/01	SALES	75.00	(30.00)
11/15/01	PAYROLL	50.00	(80.00)
12/1/01	RENT	25.00	(105.00)
12/15/01	UTILITIES	15.00	(120.00)
1/1/02	SALES	75.00	(45.00)
1/15/02	PAYROLL	50.00	(95.00)
2/1/02	RENT	25.00	(120.00)
2/15/02	UTILITIES	15.00	(135.00)
3/1/02	SALES	75.00	(60.00)
3/15/02	PAYROLL	50.00	(110.00)
4/1/02	RENT	25.00	(135.00)
4/15/02	UTILITIES	15.00	(150.00)
5/1/02	SALES	75.00	(75.00)
5/15/02	PAYROLL	50.00	(125.00)
6/1/02	RENT	25.00	(150.00)
6/15/02	UTILITIES	15.00	(165.00)
7/1/02	SALES	75.00	(90.00)
7/15/02	PAYROLL	50.00	(140.00)
8/1/02	RENT	25.00	(165.00)
8/15/02	UTILITIES	15.00	(180.00)
9/1/02	SALES	75.00	(105.00)
9/15/02	PAYROLL	50.00	(155.00)
10/1/02	RENT	25.00	(180.00)
10/15/02	UTILITIES	15.00	(195.00)
11/1/02	SALES	75.00	(120.00)
11/15/02	PAYROLL	50.00	(170.00)
12/1/02	RENT	25.00	(195.00)
12/15/02	UTILITIES	15.00	(210.00)
1/1/03	SALES	75.00	(135.00)
1/15/03	PAYROLL	50.00	(185.00)
2/1/03	RENT	25.00	(210.00)
2/15/03	UTILITIES	15.00	(225.00)
3/1/03	SALES	75.00	(150.00)
3/15/03	PAYROLL	50.00	(200.00)
4/1/03	RENT	25.00	(225.00)
4/15/03	UTILITIES	15.00	(240.00)
5/1/03	SALES	75.00	(165.00)
5/15/03	PAYROLL	50.00	(215.00)
6/1/03	RENT	25.00	(240.00)
6/15/03	UTILITIES	15.00	(255.00)
7/1/03	SALES	75.00	(180.00)
7/15/03	PAYROLL	50.00	(230.00)
8/1/03	RENT	25.00	(255.00)
8/15/03	UTILITIES	15.00	(270.00)
9/1/03	SALES	75.00	(195.00)
9/15/03	PAYROLL	50.00	(245.00)
10/1/03	RENT	25.00	(270.00)
10/15/03	UTILITIES	15.00	(285.00)
11/1/03	SALES	75.00	(210.00)
11/15/03	PAYROLL	50.00	(260.00)
12/1/03	RENT	25.00	(285.00)
12/15/03	UTILITIES	15.00	(300.00)
1/1/04	SALES	75.00	(225.00)
1/15/04	PAYROLL	50.00	(275.00)
2/1/04	RENT	25.00	(300.00)
2/15/04	UTILITIES	15.00	(315.00)
3/1/04	SALES	75.00	(240.00)
3/15/04	PAYROLL	50.00	(290.00)
4/1/04	RENT	25.00	(315.00)
4/15/04	UTILITIES	15.00	(330.00)
5/1/04	SALES	75.00	(255.00)
5/15/04	PAYROLL	50.00	(305.00)
6/1/04	RENT	25.00	(330.00)
6/15/04	UTILITIES	15.00	(345.00)
7/1/04	SALES	75.00	(270.00)
7/15/04	PAYROLL	50.00	(320.00)
8/1/04	RENT	25.00	(345.00)
8/15/04	UTILITIES	15.00	(360.00)
9/1/04	SALES	75.00	(285.00)
9/15/04	PAYROLL	50.00	(335.00)
10/1/04	RENT	25.00	(360.00)
10/15/04	UTILITIES	15.00	(375.00)
11/1/04	SALES	75.00	(300.00)
11/15/04	PAYROLL	50.00	(350.00)
12/1/04	RENT	25.00	(375.00)
12/15/04	UTILITIES	15.00	(390.00)
1/1/05	SALES	75.00	(315.00)
1/15/05	PAYROLL	50.00	(365.00)
2/1/05	RENT	25.00	(390.00)
2/15/05	UTILITIES	15.00	(405.00)
3/1/05	SALES	75.00	(330.00)
3/15/05	PAYROLL	50.00	(380.00)
4/1/05	RENT	25.00	(405.00)
4/15/05	UTILITIES	15.00	(420.00)
5/1/05	SALES	75.00	(345.00)
5/15/05	PAYROLL	50.00	(395.00)
6/1/05	RENT	25.00	(420.00)
6/15/05	UTILITIES	15.00	(435.00)
7/1/05	SALES	75.00	(360.00)
7/15/05	PAYROLL	50.00	(410.00)
8/1/05	RENT	25.00	(435.00)
8/15/05	UTILITIES	15.00	(450.00)
9/1/05	SALES	75.00	(375.00)
9/15/05	PAYROLL	50.00	(425.00)
10/1/05	RENT	25.00	(450.00)
10/15/05	UTILITIES	15.00	(465.00)
11/1/05	SALES	75.00	(390.00)
11/15/05	PAYROLL	50.00	(440.00)
12/1/05	RENT	25.00	(465.00)
12/15/05	UTILITIES	15.00	(480.00)
1/1/06	SALES	75.00	(405.00)
1/15/06	PAYROLL	50.00	(455.00)
2/1/06	RENT	25.00	(480.00)
2/15/06	UTILITIES	15.00	(495.00)
3/1/06	SALES	75.00	(420.00)
3/15/06	PAYROLL	50.00	(470.00)
4/1/06	RENT	25.00	(495.00)
4/15/06	UTILITIES	15.00	(510.00)
5/1/06	SALES	75.00	(435.00)
5/15/06	PAYROLL	50.00	(485.00)
6/1/06	RENT	25.00	(510.00)
6/15/06	UTILITIES	15.00	(525.00)
7/1/06	SALES	75.00	(450.00)
7/15/06	PAYROLL	50.00	(500.00)
8/1/06	RENT	25.00	(525.00)
8/15/06	UTILITIES	15.00	(540.00)
9/1/06	SALES	75.00	(465.00)
9/15/06	PAYROLL	50.00	(515.00)
10/1/06	RENT	25.00	(540.00)
10/15/06	UTILITIES	15.00	(555.00)
11/1/06	SALES	75.00	(480.00)
11/15/06	PAYROLL	50.00	(530.00)
12/1/06	RENT	25.00	(555.00)
12/15/06	UTILITIES	15.00	(570.00)
1/1/07	SALES	75.00	(495.00)
1/15/07	PAYROLL	50.00	(545.00)
2/1/07	RENT	25.00	(570.00)
2/15/07	UTILITIES	15.00	(585.00)
3/1/07	SALES	75.00	(510.00)
3/15/07	PAYROLL	50.00	(560.00)
4/1/07	RENT	25.00	(585.00)
4/15/07	UTILITIES	15.00	(600.00)
5/1/07	SALES	75.00	(525.00)
5/15/07	PAYROLL	50.00	(575.00)
6/1/07	RENT	25.00	(600.00)
6/15/07	UTILITIES	15.00	(615.00)
7/1/07	SALES	75.00	(540.00)
7/15/07	PAYROLL	50.00	(590.00)
8/1/07	RENT	25.00	(615.00)
8/15/07	UTILITIES	15.00	(630.00)
9/1/07	SALES	75.00	(555.00)
9/15/07	PAYROLL	50.00	(605.00)
10/1/07	RENT	25.00	(630.00)
10/15/07	UTILITIES	15.00	(645.00)
11/1/07	SALES	75.00	(570.00)
11/15/07	PAYROLL	50.00	(620.00)
12/1/07	RENT	25.00	(645.00)
12/15/07	UTILITIES	15.00	(660.00)
1/1/08	SALES	75.00	(585.00)
1/15/08	PAYROLL	50.00	(635.00)
2/1/08	RENT	25.00	(660.00)
2/15/08	UTILITIES	15.00	(675.00)
3/1/08	SALES	75.00	(600.00)
3/15/08	PAYROLL	50.00	(650.00)
4/1/08	RENT	25.00	(675.00)
4/15/08	UTILITIES	15.00	(690.00)
5/1/08	SALES	75.00	(615.00)
5/15/08	PAYROLL	50.00	(665.00)
6/1/08	RENT	25.00	(690.00)
6/15/08	UTILITIES	15.00	(705.00)
7/1/08	SALES	75.00	(630.00)
7/15/08	PAYROLL	50.00	(680.00)
8/1/08	RENT	25.00	(705.00)
8/15/08	UTILITIES	15.00	(720.00)
9/1/08	SALES	75.00	(645.00)
9/15/08	PAYROLL	50.00	(695.00)
10/1/08	RENT	25.00	(720.00)
10/15/08	UTILITIES	15.00	(735.00)
11/1/08	SALES	75.00	(660.00)
11/15/08	PAYROLL	50.00	(710.00)
12/1/08	RENT	25.00	(735.00)
12/15/08	UTILITIES	15.00	(750.00)
1/1/09	SALES	75.00	(675.00)
1/15/09	PAYROLL	50.00	(725.00)
2/1/09	RENT	25.00	(750.00)
2/15/09	UTILITIES	15.00	(765.00)
3/1/09	SALES	75.00	(690.00)
3/15/09	PAYROLL	50.00	(740.00)
4/1/09	RENT	25.00	(765.00)
4/15/09	UTILITIES	15.00	(780.00)
5/1/09	SALES	75.00	(705.00)
5/15/09	PAYROLL	50.00	(755.00)
6/1/09	RENT	25.00	(780.00)
6/15/09	UTILITIES	15.00	(795.00)
7/1/09	SALES	75.00	(720.00)
7/15/09	PAYROLL	50.00	(770.00)
8/1/09	RENT	25.00	(795.00)
8/15/09	UTILITIES	15.00	(810.00)
9/1/09	SALES	75.00	(735.00)
9/15/09	PAYROLL	50.00	(785.00)
10/1/09	RENT	25.00	(810.00)
10/15/09	UTILITIES	15.00	(825.00)
11/1/09	SALES	75.00	(750.00)
11/15/09	PAYROLL	50.00	(800.00)
12/1/09	RENT	25.00	(825.00)
12/15/09	UTILITIES	15.00	(840.00)
1/1/10	SALES	75.00	(765.00)
1/15/10	PAYROLL	50.00	(815.00)
2/1/10	RENT	25.00	(840.00)
2/15/10	UTILITIES	15.00	(855.00)
3/1/10	SALES	75.00	(780.00)
3/15/10	PAYROLL	50.00	(830.00)
4/1/10	RENT	25.00	(855.00)
4/15/10	UTILITIES	15.00	(870.00)
5/1/10	SALES	75.00	(795.00)
5/15/10	PAYROLL	50.00	(845.00)
6/1/10	RENT	25.00	(870.00)
6/15/10	UTILITIES	15.00	(885.00)
7/1/10	SALES	75.00	(810.00)
7/15/10	PAYROLL	50.00	(860.00)
8/1/10	RENT	25.00	(885.00)
8/15/10	UTILITIES	15.00	(900.00)
9/1/10	SALES	75.00	(825.00)
9/15/10	PAYROLL	50.00	(875.00)
10/1/10	RENT	25.00	(900.00)
10/15/10	UTILITIES	15.00	(915.00)
11/1/10	SALES	75.00	(840.00)
11/15/10	PAYROLL	50.00	(890.00)
12/1/10	RENT	25.00	(915.00)
12/15/10	UTILITIES	15.00	(930.00)
1/1/11	SALES	75.00	(855.00)
1/15/11	PAYROLL	50.00	(905.00)
2/1/11	RENT	25.00	(930.00)
2/15/11	UTILITIES	15.00	(945.00)
3/1/11	SALES	75.00	(870.00)
3/15/11	PAYROLL	50.00	(920.00)
4/1/11	RENT	25.00	(945.00)
4/15/11	UTILITIES	15.00	(960.00)
5/1/11	SALES	75.00	(885.00)
5/15/11	PAYROLL	50.00	(935.00)
6/1/11	RENT	25.00	(960.00)
6/15/11	UTILITIES	15.00	(975.00)
7/1/11	SALES	75.00	(900.00)
7/15/11	PAYROLL	50.00	(950.00)
8/1/11	RENT	25.00	(975.00)
8/15/11	UTILITIES	15.00	(990.00)
9/1/11	SALES	75.00	(915.00)
9/15/11	PAYROLL	50.00	(965.00)
10/1/11	RENT	25.00	(990.00)
10/15/11	UTILITIES	15.00	(1005.00)
11/1/11	SALES	75.00	(930.00)
11/15/11	PAYROLL	50.00	(980.00)
12/1/11	RENT	25.00	(1005.00)
12/15/11	UTILITIES	15.00	(1020.00)
1/1/12	SALES	75.00	(945.00)
1/15/12	PAYROLL	50.00	(995.00)
2/1/12	RENT	25.00	(1020.00)
2/15/12	UTILITIES	15.00	(1035.00)
3/1/12	SALES	75.00	(960.00)
3/15/12	PAYROLL	50.00	(1010.00)
4/1/12	RENT	25.00	(1035.00)
4/15/12	UTILITIES	15.00	(1050.00)
5/1/12	SALES	75.00	(975.00)
5/15/12	PAYROLL	50.00	(1025.00)
6/1/12	RENT	25.00	(1050.00)
6/15/12	UTILITIES	15.00	(1065.00)
7/1/12	SALES	75.00	(990.00)
7/15/12	PAYROLL	50.00	(1040.00)
8/1/12	RENT	25.00	(1065.00)
8/15/12	UTILITIES	15.00	(1080.00)
9/1/12	SALES	75.00	(1005.00)
9/15/12	PAYROLL	50.00	(1055.00)
10/1/12	RENT	25.00	

[illegible]

SUP-38276

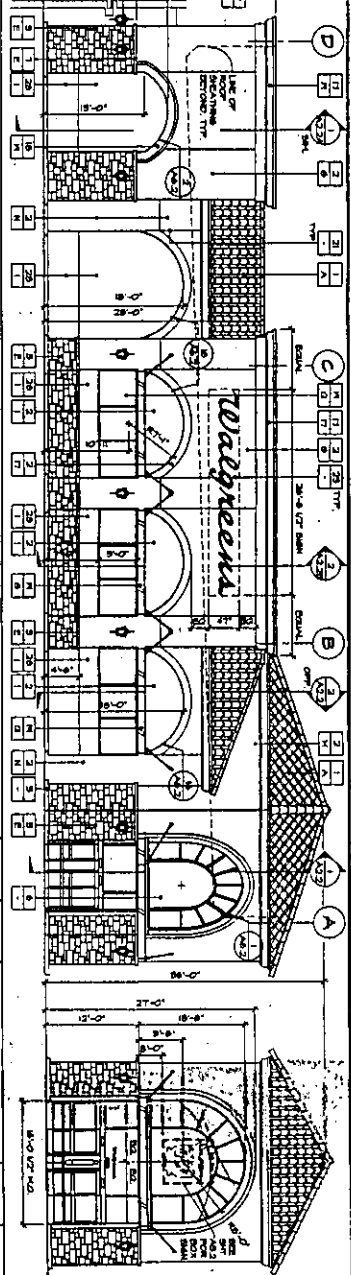
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EXTERIOR MATERIALS EXT. COLORS AND FINISHES

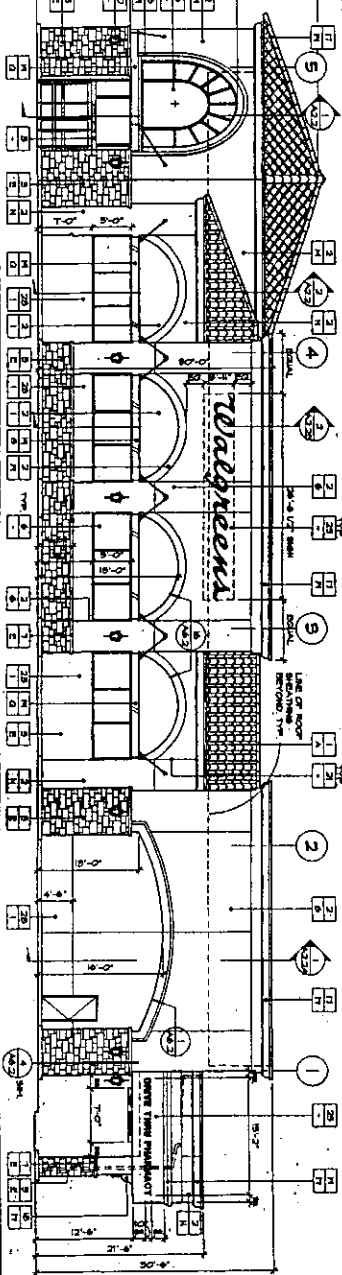
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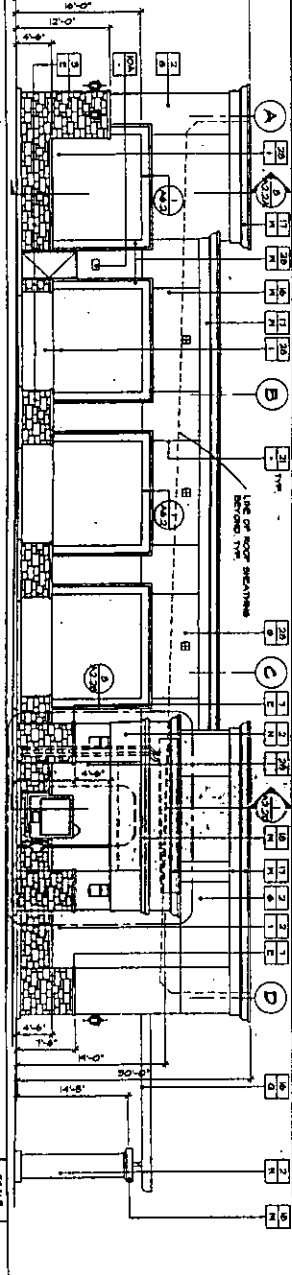
- [illegible]



NORTH ELEVATION	SCALE	1	FRONT ELEV.	SCALE	5
	$1/8" = 1'-0"$			$1/8" = 1'-0"$	



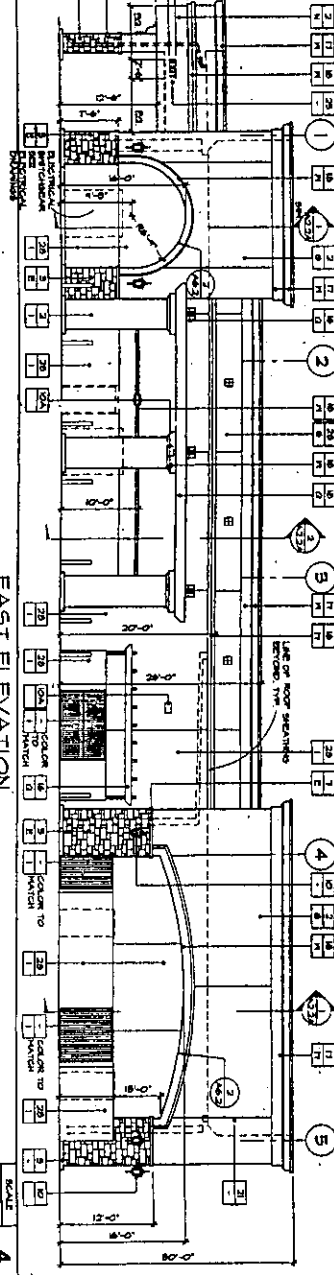
WEST ELEVATION	SCALE	2
	1/8" = 1'-0"	



SOUTH ELEVATION

SCALE
 $1/8" = 1'-0"$

3



EAST ELEVATION	SCALE	
	1/8" = 1'-0"	4

~~SUP-38276~~

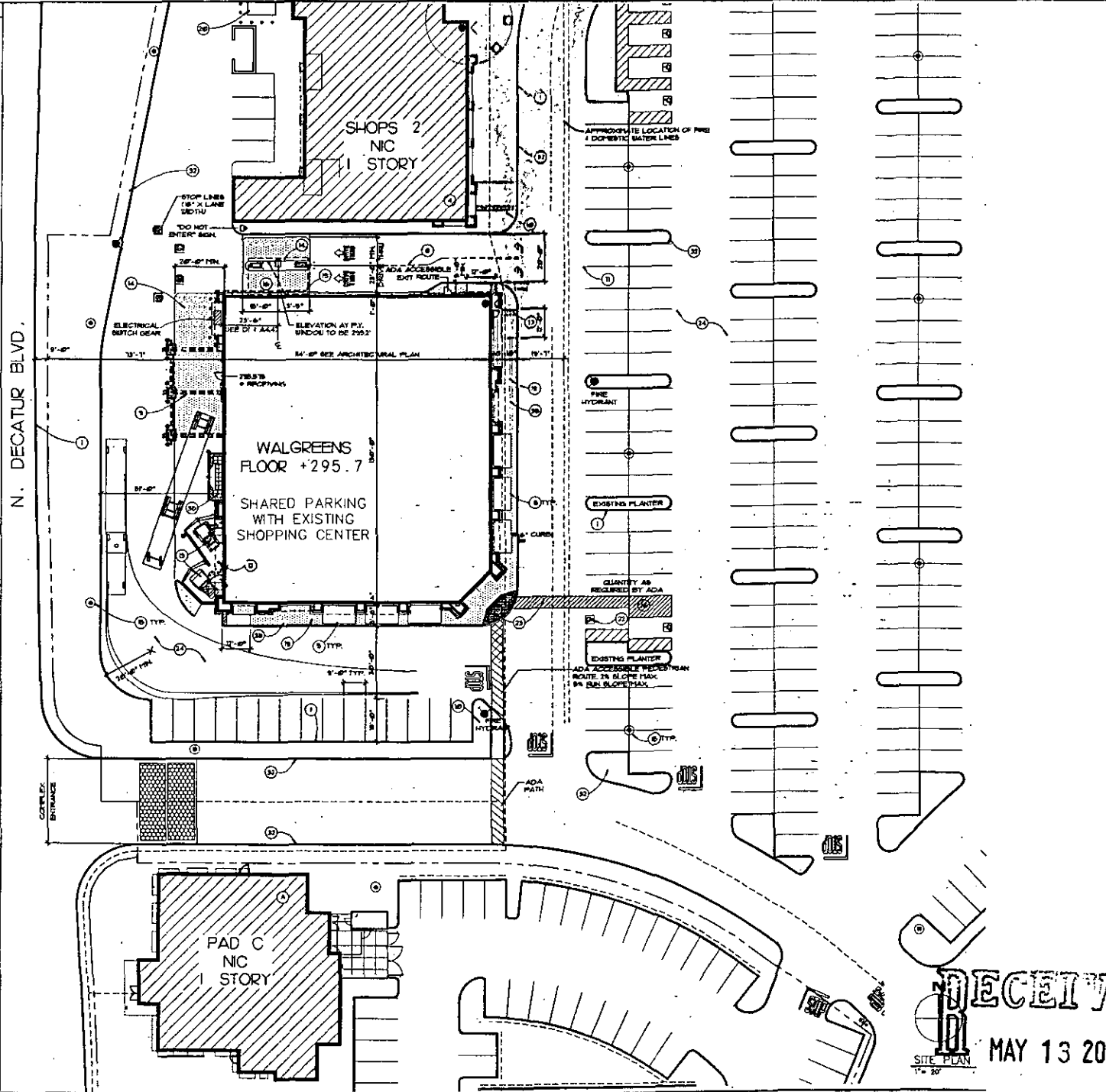
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STORE NUMBER 10703	PROJECT NAME	DATE
WALGREENS STORE	6445 NORTH DECATUR	11/27/2003
LAS VEGAS, NV		
DRAWING TITLE	SCALE: 1/8" = 1'-0"	DRAWN BY:
EXTERIOR ELEVATION - BEER &	0.5 SHEETS	11/27/2003
PLANT:	DATE: 11/27/2003	REVIEWED BY:
PLANT:		
DATE: 11/27/2003		
REVIEWED BY:		

CERTIFICATION AND SEAL.

LINE	DATE	BY	DESCRIPTION
1			REVENUE
2			EXPENSE
3			EXPENSE
4			EXPENSE
5			EXPENSE
6			EXPENSE
7			EXPENSE
8			EXPENSE
9			EXPENSE
10			EXPENSE
11			EXPENSE
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99			EXPENSE
100			EXPENSE

- SITE PLAN KEYED NOTES**
- PERIMETER OF ALL ASPHALT TO RECEIVE CONCRETE CURB.
 - 82 FOOT TRUCK TURNING RADIUS DEPICTED AS PER SHEET 0-1.
 - NOT USED.
 - IDENTIFY USE AND LOCATE ALL STRUCTURES ADJACENT TO WALGREENS SITE. INDICATE NUMBER OF STORES AND DISTANCE FROM PROPERTY LINE.
 - SPOT ELEVATION AT FLOW LINE OF PROPOSED ENTRANCE.
 - CONCRETE APRON TO BUILD SPECIFICATIONS. LAND CUT DIMENSION MUST ACCOMMODATE 65 FOOT TRACTOR/ TRAILER WITHOUT ROLLING ONTO CURB. SEE CRITERIA NOTE IN THIS SHEET. DRIVE DRIVEWAY INTO LANE W/ STRIPING.
 - LANE OF HEAVY DUTY ASPHALT PAVING.
 - 50L X 4" W/ YELLOW PAINT STRIKE (TYPICAL) LANE DIVIDER.
 - LINE OF CANOPY ABOVE.
 - 12"x18" "DO NOT BLOCK ENTRANCE" SIGN. SEE DETAIL 11/C0.0.
 - NOT USED.
 - GAS METER WITH BOLLARDS.
 - COMPACTORS. SEE SHEET 0-2.
 - LINE OF CONCRETE PAD.
 - LIGHT POLE (TYPICAL). QUANTITY AND LOCATION OF POLES TO BE DETERMINED BY APPROVED PHOTOGRAPHY. COORDINATE WITH EXISTING SITE LIGHTING PACKAGE.
 - CONCRETE DRIVE-UP LANE AND CANOPY ABOVE.
 - PROVIDE LANE ENDERS AND DIRECTIONAL ARROWS AT ALL DRIVES AND DO OF DRIVE ANGLES.
 - NOT USED.
 - CONCRETE SIDEWALK. SEE SHEET A-1 - KEYED NOTE #2.
 - PAD MOUNTED TRANSFORMER WITH BOLLARDS. (COORDINATE W/ P.A. ANY OTHER LOCATIONS)
 - ENTRY BOLLARDS W/ POLYETHYLENE COVERS 5'-6" CLEAR.
 - ACCESSIBLE PARKING SIGN. SEE ACCESSIBILITY SHEET FOR DETAIL.
 - ACCESSIBLE RAMP W/ DETECTABLE WARNING ALONG ACCESSIBLE ROUTES (TYP.). WHEN SLOPE IS LESS THAN 5% OR 1/2" OF DETECTABLE WARNING SURFACE IS REQUIRED.
 - ASPHALT PAVING.
 - YELLOW PAINT STRIPING (TYPICAL).
 - ACCESSIBLE PARKING DESIGN TO MEET ALL GOVERNING CODES. QUANTITY AS REQUIRED BY ADA. ACCESSIBLE PARKING SPACES AND THEIR ACCESSIBLE ROUTES SHALL BE 1/2" OF 2" MAX SLOPE IN ALL DIRECTIONS.
 - TOP OF SIGN FOUNDATION TO BE AT TOP OF STREET CURB MOHT (TYP.).
 - PLACE SIGN WITH MINIMUM SETBACKS. COORDINATE WITH ZONING AND DIMENSION ACCORDINGLY.
 - INDICATE ALL EXISTING OR PROPOSED TRAFFIC CONTROL ELEMENTS.
 - SPOT ELEVATION AT STREET INTERSECTION.
 - SHARED MONUMENT W SIGN TO BE PROVIDED BY OTHERS.
 - INDICATE ALL OFF-SITE IMPROVEMENTS. DEMOTE EXISTING OR PROPOSED.
 - ALL END GRASSES TO BE 3'-0" LESS THAN STALL DEPTH. WHERE FULL DEPTH ISLAND IS REQUIRED, DETAIL ROLLER CUMB AND CONCRETE FILL END OF ISLAND 4'-0".
 - RETURN SIDEWALK TO CURB DOOR (ADA ACCESSIBLE CURT ROUTE REQUIRED).
 - WALKS WITHOUT COLUMNS CAN BE 7'-0" WIDE. WALKS WITH COLUMNS SHALL PROVIDE 8'-0" CLEAR TO BUILDING AND 2'-0" CLEAR TO EDGE OF CURB. SOUTHWEST PROTOTYPE WALK TO BE 10'-0" WIDE.
 - TOTE ENCLOSURE.
 - DETECTABLE WARNING SURFACE, 30" DEEP.
 - STORM CATCH BASINS TO BE 50' MINIMUM AWAY FROM 25 ACCESSIBLE PARKING ZONE.
 - LIGHT POLES, LANDSCAPING, AND OTHER SITE EQUIPMENT SHALL NOT OBSCURE SIGHT LINES TO PYLON.



Walgreens
FACILITIES PLANNING, DESIGN, & ENGINEERING
106 WILMOT ROAD
DEERFIELD, IL 60015-4616

NO.	DATE	BY	DESCRIPTION	COMBY
REVISIONS				
CERTIFICATION AND SEAL				
STORE NUMBER 10783				
PROJECT NAME				
WALGREENS STORE				
8405 NORTH DECATUR				
LAS VEGAS, NV				
DRAWING TITLE				
SITE PLAN - BEER & WINE				
CADD FILE:	SCALE: 1/2" = 1'-0"	DRAWING NO.		
PER-ACT-ON NUMBER				
DRAWN BY:				
CHECKED BY:				
DATE:	11/18/09			
SUPERSEDES PLAN DATED:				
REVIEWED BY:				

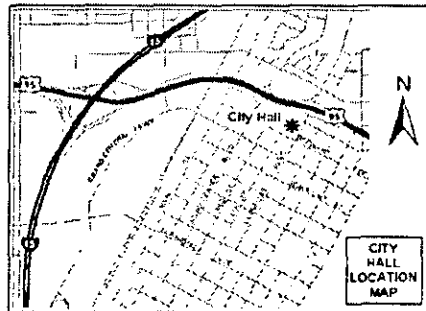
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MAY 13 2010
SITE PLAN
1" = 30'

A0.1

SUP-38276

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☒

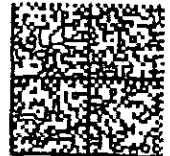
I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-38276

Planning Commission Meeting of 7/29/2010

PRESORTED
FIRST CLASS



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000427
MAILED

RECEIVED

JUN 21 2010

12419313093
KNEBERG ROBERT SC
6775 ABRUZZI DR #201
NO LAS VEGAS NV 890

ENCLOSURE





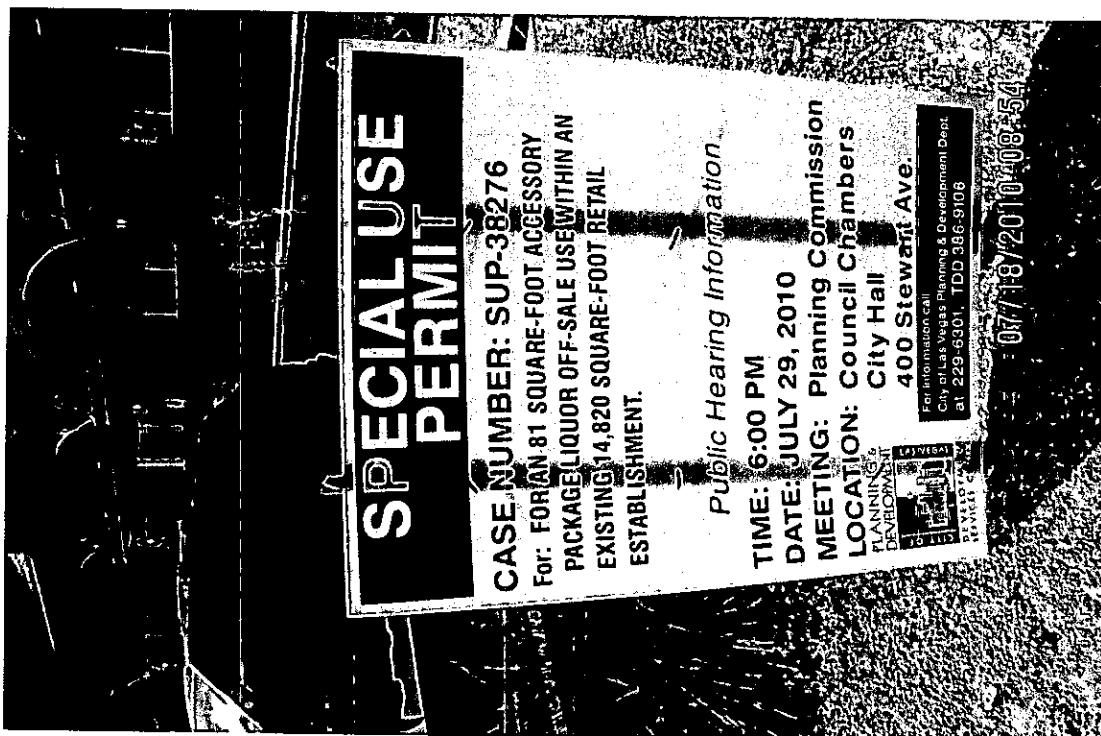
CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: SUP-38276

MEETING DATE: 07/29/10 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



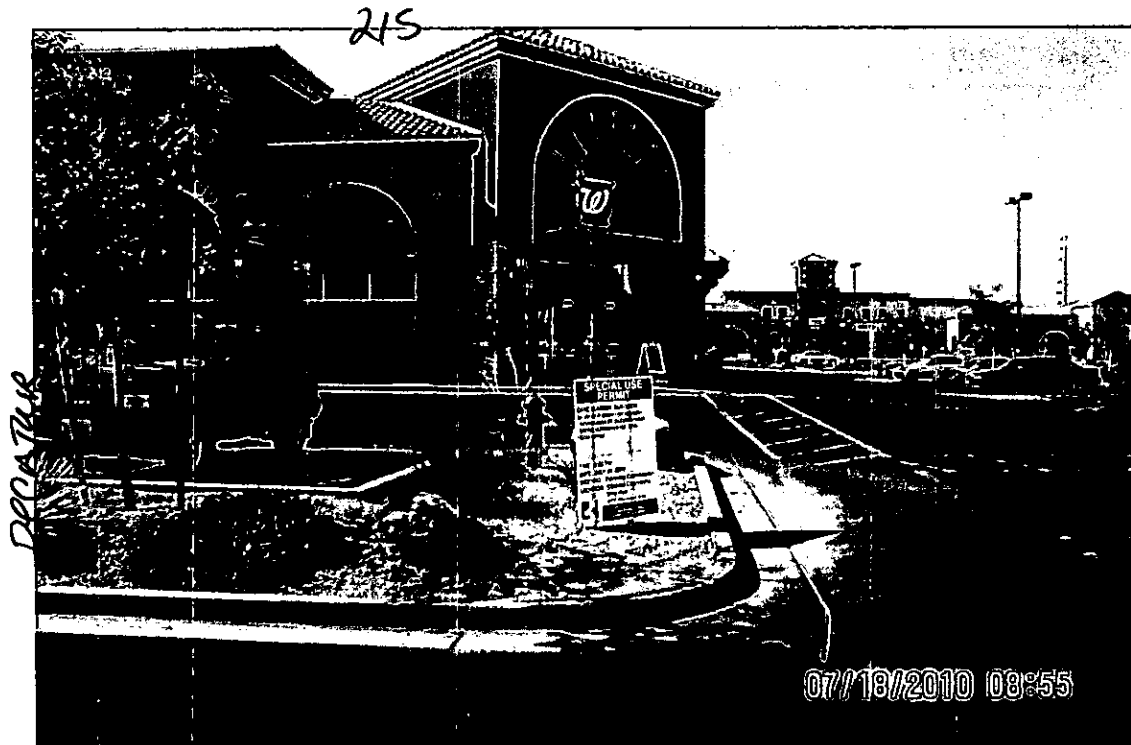

Signature

7-18-10
Date

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



1111

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rst

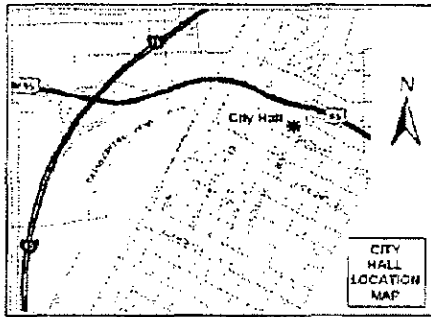

Signature

7-18-10
Date

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City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

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Official Notice of Public Hearing



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I SUPPORT
this Request



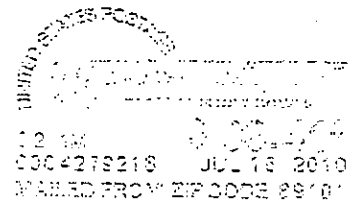
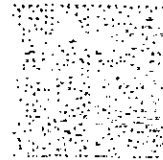
I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-38276

Planning Commission Meeting of 7/29/2010

702-272-2073
 7/26/2010
 12:12 PM



12419312200

Case: SUP-38276

FREDDIE PROPERTIES L L C
 5252 SUMMER TROUT WY
 NO LAS VEGAS NV 89031-0000

ENCLOSURE



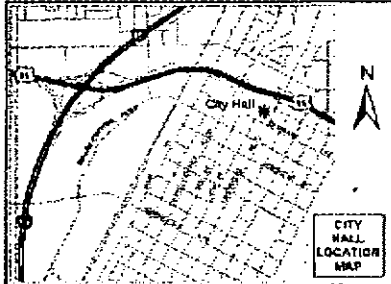
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JUN 27 2010

Submitted after final agenda	
Date	Item 13

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐ I SUPPORT
this Request

☒ I OPPOSE
this Request

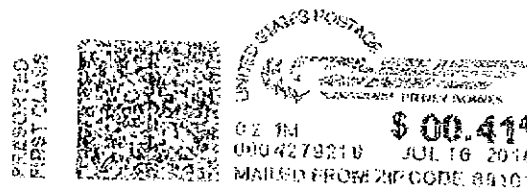
Please use available blank space on card for your comments.

SUP-38276

Planning Commission Meeting of 7/29/2010

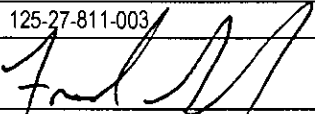
Submitted after final agenda
Date
Item 178

RECEIVED
JUN 23 2010



There is already a
Walgreens on the other
side of Decatur Blvd &
the 215 beltway.

Case: SUP-38276
12430110083
ELLIS CHRISTOPHER L & KIMBERLY J
4650 RANCH HOUSE RD #60
NO LAS VEGAS NV 89031-4612

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
Item Required					
YES	NO				
APPLICATION PACKET					
☒	☐	Application signed and notarized by all property owners or authorized agent(s)			NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")
☒	☐	Grant deed and legal description			
☒	☐	Detailed justification letter (240)			
☒	☐	Correct fee(s): \$ 750.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 1280.00 Total			
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)			
☒	☐	Assessor's Parcel Map			
☐	☒	Development Impact Notice and Assessment (DINA)			
☒	☐	Project of Regional Significance (PRS)			
☐	☒	Color & Materials Board per Site Development Plan Review Submittal Requirements			
☒	☐	Copy of Business Licenses: (Owner: ☒ Applicant: ☒ Representative: ☒)			
SITE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 19
☒	☐	North arrow, scale, and vicinity map			Colored, Rolled Plans: 1
☒	☐	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 BW): 1
☒	☐	All building setbacks labeled			NOTES:
☒	☐	All adjacent existing land uses and street names labeled			
☒	☐	All points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized: One space per 250 gfa for shopping center			
☒	☐	Parking space count and typical dimensions labeled			
☒	☐	# regular + [30% or less of total] # compact + # handicap = Total			
☒	☐	All free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN					
☐	☒	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 0
☐	☒	North arrow, scale, and vicinity map			Colored, Rolled Plans: 0
☐	☒	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 BW): 0
☐	☒	All required perimeter landscape planters shown			NOTES:
☐	☒	All required parking lot fingers/islands shown			
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
☐	☒	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 0
☐	☒	Scale and building dimensions labeled			Colored, Rolled Plans: 0
☐	☒	North, south, east, and west elevations of all buildings			Reduced Copy (8-1/2x11 BW): 0
☐	☒	All building materials and colors noted			NOTES:
☐	☒	8" x 10" photo of original color and material board			
☐	☒	All wall sign locations shown and sizes noted			
FLOOR PLANS					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1
☒	☐	Scale and building dimensions labeled			Colored, Rolled Plans: 1
☒	☐	All building entrances/exits shown			Reduced Copy (8-1/2x11 BW): 1
☒	☐	Use of all rooms noted/labeled			NOTES:
☒	☐	Maximum Occupancy (per I.B.C.)			
☒	☐	Seating Capacity (where applicable)			
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.					
Owner / Applicant:	Walgreen Co			Application Type:	Special Use Permit
Representative:	Jennifer Roberts			Application Purpose:	Accessory Package Liquor Off-Sale
APN:	125-27-811-003			Site Location:	6495 N. Decatur Blvd
Planner's Signature:				Pre-App. Meeting Date:	03/30/10
Planner:	Fred Solis, Senior Planner - 229-5409 Romeo Gumarang, Planner I - 229-4604			Earliest Submittal Deadline:	04/13/10 no later than 2:00 pm
				Earliest PC / CC Meeting Dates:	05/27/10 PC 06/16/10 CC



CITY OF LAS VEGAS

- ☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 03/30/10
Time: 2:00 p.m.

Project Name: 6495 N. Decatur Blvd, Walgreens

Conversation between CLV P&D Representative: Romeo Gumarang, Planner I (229-4604 Office / 385-7268 Fax / rgumarang@lasvegasnevada.gov), and:
Fred Solis, Senior Planner (229-5409 Office / 385-7268 Fax / fsolis@lasvegasnevada.gov),

Name	Company/Department	Phone	Fax	Email
1. Jennifer Roberts	Lionel Sawyer and Collins	383-8946		
2.				
3.				
4.				
5.				
6.				
7.	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
Please refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: N/A

Meeting Notes:

1. Revise Site Plan to include the entire commercial center for parking analysis.
2. Revise Justification Letter and Floor Plan the maximum square footage of the floor area devoted for alcoholic beverages.
3. Within 500 feet of the City of North Las Vegas and Project of Regional Significance questionnaire submittal is required.

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us *no later than 15 days prior* to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions



July 30, 2010

Wynmark Company
Shadow Mountain Marketplace, LLC
5330 Debbie Road, Suite #100
Santa Barbara, California 93111

**RE: SUP-38276 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF JULY 29, 2010**

Dear Applicant:

Your request for a Special Use Permit FOR AN 81 SQUARE-FOOT ACCESSORY PACKAGE LIQUOR OFF-SALE USE WITHIN AN EXISTING 14,820 SQUARE-FOOT RETAIL ESTABLISHMENT at 6495 North Decatur Boulevard (APN 125-24-811-003), C-1 (Limited Commercial) Zone, Ward 6 (Ross), was considered by the Planning Commission on July 29, 2010.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.010 for a Retail Establishment with Accessory Package Liquor Off-Sale use.
2. This approval shall be void two years from the date of final approval unless a business license has been issued to conduct the activity. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. The sale of alcoholic beverages is ancillary to the retail use and may not exceed more than 81 square feet of the retail floor space for the display and merchandising of alcoholic beverages as reflected on the floor plan date stamped May 13, 2010.

Mayor
Richard B. Goodman
City Council
Mayor Pro Tem
Steve Wolfson
Tarkanian
Steven D. Ross
Ki Y. Barlow
S. Anthony
City Manager
Elizabeth N. Fretwell



Wynmark Company
SUP-38276 - Page Two
July 30, 2010

6. All beer and wine coolers shall remain in their original manufacturer's configuration of four- or six-packs.
7. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

This action by the Planning Commission on **July 29, 2010** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **August 9, 2010**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Rebecca Lidskin
Walgreen Company
104 Wilmot Road, Mail Stop #1420
Deerfield, Illinois 60015

Ms. Jennifer Robert
Lionel Sawyer & Collins
300 South Fourth Street, Suite #1700
Las Vegas, Nevada 89101

CITY OF LAS VEGAS**ONE MOTION / ONE VOTE****Planning and Development Department****Case Planning Division****731 South Fourth Street****Las Vegas, Nevada 89101****(702) 229-6301 Phone (702) 385-7268 Fax**

SUBJECT: SUP-38276 - APPLICANT: WALGREEN CO. - OWNER: SHADOW MOUNTAIN MARKETPLACE, LLC

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the **JULY 29, 2010** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to **Carman Burney at (702) 385-7268**. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions and return to our office by 5:00PM **JULY 28, 2010**.

A handwritten signature in dark ink, appearing to read "Mark D. Linehan".

Signature

7/28/10

Date

MARK D. LINEHAN

Please Print Name

SHADOW MOUNTAIN MARKETPLACE

Company Name

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

RECEIVED
JUN 29 2010

CITY OF LAS VEGAS
ONE MOTION / ONE VOTE



Planning and Development Department
Case Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 Phone (702) 385-7268 Fax

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Please sign and date that you have read and agree to the conditions and return to our office by 5:00PM **JULY 28, 2010**

Signature

7/24/10

Date

Rebecca Lidskin

Please Print Name

Walgreen Co.

Company Name

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

RECEIVED

JUN 26 2010

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

July 16, 2010

Wynmark company
Shadow Mountain Marketplace, LLC
5330 Debbie Road, Suite #100
Santa Barbara, California 93111

**RE: SUP-38276 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF JULY 29, 2010**

Dear Applicant:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **July 29, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, July 23, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Rebecca Lidskin
Walgreen Company
104 Wilmot Road, Mail Stop #1420
Deerfield, Illinois 60015

Ms. Jennifer Robert
Lionel Sawyer & Collins
300 South Fourth Street, Suite #1700
Las Vegas, Nevada 89101

Mayor
Oscar B. Goodman

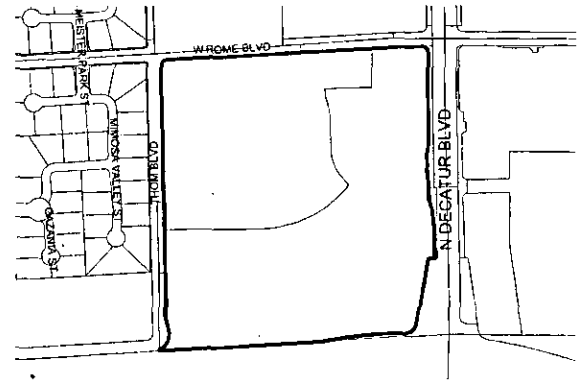
City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Borlaw
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



Application Information

SUP-38276 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT: WALGREEN CO. - OWNER: SHADOW
MOUNTAIN MARKETPLACE, LLC - Request for a Special Use Permit FOR AN 81 SQUARE-FOOT ACCESSORY PACKAGE LIQUOR OFF-SALE USE WITHIN AN EXISTING 14,820 SQUARE-FOOT RETAIL ESTABLISHMENT at 6495 North Decatur Boulevard (APN 125-24-811-003), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

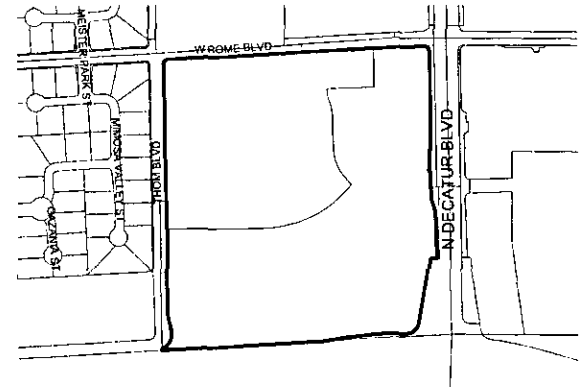
Meeting: Planning Commission
Date: July 29, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SUP-38276 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT: WALGREEN CO. - OWNER: SHADOW
MOUNTAIN MARKETPLACE, LLC - Request for a Special Use Permit FOR AN 81 SQUARE-FOOT ACCESSORY PACKAGE LIQUOR OFF-SALE USE WITHIN AN EXISTING 14,820 SQUARE-FOOT RETAIL ESTABLISHMENT at 6495 North Decatur Boulevard (APN 125-24-811-003), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

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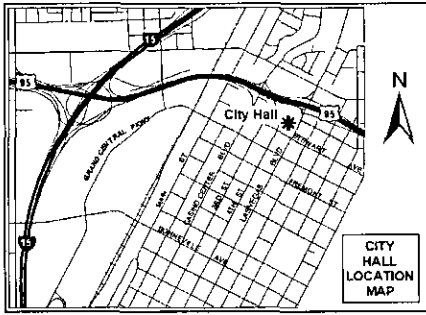
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400 Stewart Avenue
Las Vegas, Nevada

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City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

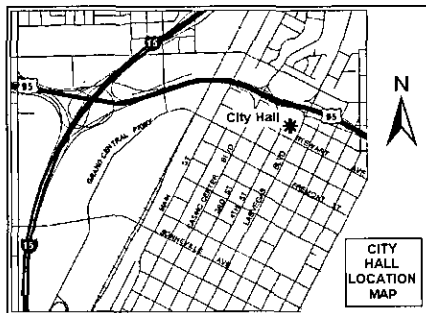
Please use available blank space on card for your comments.

SUP-38276

Planning Commission Meeting of 7/29/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-38276

Planning Commission Meeting of 7/29/2010

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: July 2, 2010
Re: **SUP-38276** Walgreen Co. 6495 N. Decatur Blvd.
Request for a Special Use Permit for Accessory Package Liquor

COMMENTS:

We have no comment on the Request for a Special Use Permit for an 81 square-foot accessory package liquor off-sale use within an existing 14,820 square-foot retail establishment at 6495 North Decatur Boulevard.

Carman Burney

From: Brian O'Callaghan [B5623O@LVMPD.COM]
Sent: Monday, June 28, 2010 11:01 AM
To: Carman Burney; Nora Lares
Subject: RE: 07/29/10 PC DINA/PRS Submittals

SUP-38340 & SUP-38276: The proposed projects will have a minimal impact on police services; However, due to the economy these types of projects are becoming more prevalent which gives our agency concern. Since there is potential for these projects to be used by certain criminal elements, LVMPD requests (if approved) the applicant strictly adheres to Las Vegas Municipal Code 6.74.

SUP-38519: No significant law enforcement issue at this time.

SUP-38574: The proposed project will have a minimal impact on police services. The minimal reduction in parking does not give our agency any significant issue at this time.

SUP-38607: No significant law enforcement issue at this time.

Brian O'Callaghan
Las Vegas Metropolitan Police Department
Office of Intergovernmental Services
Phone: (702) 828-5538
Cellular: (702) 510-9405
Fax: (702) 828-1565

From: Steve Gebeke [mailto:sgebeke@LasVegasNevada.GOV]
Sent: Tuesday, June 22, 2010 8:37 AM
Cc: Carman Burney
Subject: 07/29/10 PC DINA/PRS Submittals

Pursuant to Ordinance No. 5477 (May 1, 2002), the City of Las Vegas has determined that the following project(s) is/are subject to a Development Impact Notice and Assessment (DINA) and/or meets the criteria for a Project of Regional Significance as established by the Southern Nevada Regional Policy Plan, and your Agency may be affected by the proposal.

SUP-38340
SUP-38276
SUP-38519
SUP-38574
SUP-386007

It is the responsibility of the affected Agency to determine whether the proposed project would have a negative impact on the level of services it provides and if any mitigation measures to reduce the impacts of the project are necessary. Therefore, as an affected Agency, the Environmental Impact Assessments are posted for your review at the following website:

<ftp://ftp.lasvegasnevada.gov/Outbound/Planning/DINA-PRS/072910PC/>

Please review and submit comments or suggestions for measures to reduce any negative impacts of the proposed development. All comments must include a specific reference case number, and must be submitted to the City of Las Vegas Planning and Development Department no later than **06/29/10** via email to Carman Burney and Nora Lares. If you have questions, please contact Carman at 229-6897 or Nora at 229-2105.

Steve Gebeke

Planning Supervisor
Department of Planning and Development
City of Las Vegas
Office (702) 229-5410
Fax (702) 385-7268
sgebeke@lasvegasnevada.gov

Development Notification

PC Meeting: JULY 29, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SUP-38276

Bradley Ranch Subdivision HOA

Carson Ranch East HOA

Copperfield HOA

Diamond Creek Community Association

Dorrell Square HOA

Eagle Canyon HOA

Eagle Creek Community HOA

Eagle Creek Heights Community Association

Eagle Crossing Community Association

Heritage Estates Community Association

Meister Park North HOA

Mystic Canyon

Paradise Falls HOA

Paradise Meadows HOA

Pavona Estates Association

Romano Ridge HOA

Savannah Falls HOA

Summer Ridge HOA

The Springs HOA

Carman Burney

From: Albert Sung
Sent: Tuesday, June 29, 2010 10:53 AM
To: Carman Burney; Nora Lares
Cc: Steve Gebeke; Robert Welch
Subject: DINA: SUP-38276; Walgreen at Shadow Mountain Marketplace

Carman,

Flood Control has no comment and does not require a drainage study for this project. You can call me at X2001 if you have any questions.

Albert Sung, P.E.
Flood Control Division
Public Works Department

Carman Burney

From: Shane Ammerman [SLA@co.clark.nv.us]
Sent: Tuesday, June 29, 2010 11:58 AM
To: Carman Burney; Nora Lares
Subject: SUP-38276, SUP38519, SUP-38574

Clark County Comprehensive Planning has no comment on the above mentioned applications.

Thank you,
Shane Ammerman
Assistant Planning Manager
Clark County Comprehensive Planning

Carman Burney

From: Philip Banea [BaneaP@rtcsonv.com]
Sent: Monday, June 28, 2010 9:20 AM
To: Carman Burney; Nora Lares
Cc: David Booher
Subject: RTC Response to City of Las Vegas SUP's

June 28, 2010

Carman Burney and Nora Lares, Agenda Technicians
Development Services Center
City of Las Vegas Planning and Development Department
731 South Fourth Street
Las Vegas, Nevada 89101

DEVELOPMENT IMPACT NOTICE AND ASSESSMENT (DINA) PROJECTS OF REGIONAL SIGNIFICANCE

Dear Ms. Burney and Ms. Lares:

We have reviewed the following DINA's:

<i>Project Title</i>	<i>Application #</i>	<i>APN#</i>
Walgreen's Co.	CLV-SUP-38276	125-24-811-003
Walgreen's Co.	CLV-SUP-38340	138-14-501-008
Choices Pub, Grill and Showroom	CLV-SUP-38519	138-10-816-007
Ohana Care Manor	CLV-SUP-38579	138-11-406-012
Non-Profit Thrift Store	CLV-SUP-38607	163-01-102-001, -002, -007, & -037

The RTC has no comment on any of these applications as submitted.

Thank you for the opportunity to provide comments. Should you have questions or wish to clarify any matters, please feel free to contact me at 702-676-1651.

Sincerely,

Philip Banea, AICP
Principal Transportation Planner
RTC of Southern Nevada
(702) 676-1651
baneap@rtcsonv.com

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SUP-38276

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC

SENT VIA COURIER/ INTER-OFFICE MAIL/ OR US MAIL

<CCSD>	LINDA PERRI	4212 EUCALYPTUS ANNEX
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	3104 BONANZA ROAD
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SUP
05/17/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SUP-38276 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: WALGREEN CO. - OWNER: SHADOW MOUNTAIN MARKETPLACE, LLC - Request for a Special Use Permit FOR AN 81 SQUARE-FOOT ACCESSORY PACKAGE LIQUOR OFF-SALE USE WITHIN AN EXISTING 14,820 SQUARE-FOOT RETAIL ESTABLISHMENT at 6495 North Decatur Boulevard (APN 125-24-811-003), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

PLANNING COMMISSION: JULY 29, 2010

PLANNING SUPERVISOR: STEVE GEBEKE



PUBLIC HEARING

CITY COUNCIL: IF APPROVED: SEPTEMBER 1, 2010

IF DENIED: P.C. FINAL ACTION (Unless appealed within 10 days)

Comments Due: JUNE 29, 2010

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney (cburney@lasvegasnevada.gov)**, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

7/29/10 PC-

Report Date 06/04/2010 04:46 PM

Submitted By

Page 1

A/P # 38276 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	05/13/2010 15:56	970040	Temp COO		
Approved			COO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SUP-38276 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: WALGREEN CO. - OWNER: SHADDW MOUNTAIN MARKETPLACE, LLC - Request for a Special Use Permit FOR AN 81 SQUARE-FOOT ACCESSORY PACKAGE LIQUOR OFF-SALE USE WITHIN AN EXISTING 14,820 SQUARE-FOOT RETAIL ESTABLISHMENT at 6495 North Decatur Boulevard (APN 125-24-811-003), C-1 (Limited Commercial) Zone, Ward 6 (Ross)

Parent A/P #

Project #	38276	Project/Phase Name	WALGREEN CO.	Phase #	
Size/Area	0.00	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 12524811003

Location

Owner/Tenant

Contact ID	AC1629794	Name	SHADOW MOUNTAIN MARKETPLACE LLC
Mailing Address	5330 DEBBIE RD #100	Organization	SOUTHWESTERN FURNITURE LEASE
City	SANTA BARBARA	State/Province	CA
ZIP/PC	93111-4035	Country	☐ Foreign
Day Phone	(702)280-5767 x	Evening Phone	
Fax	(805)967-7089	Mobile #	

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

6575 N DECATUR BLVD
LAS VEGAS, 89131-

6475 N DECATUR BLVD 125
LAS VEGAS, 89131-

6525 N DECATUR BLVD
LAS VEGAS, 89131-

6505 N DECATUR BLVD
LAS VEGAS, 89131-

6495 N DECATUR BLVD
LAS VEGAS, 89131-

Report Date 06/04/2010 04:46 PM

Submitted By

Page 2

Address

Parcel Link

APN Link

6475 N DECATUR BLVD
LAS VEGAS, 89131-

6485 N DECATUR BLVD
LAS VEGAS, 89131-

6485 N DECATUR BLVD 110
LAS VEGAS, 89131-

6485 N DECATUR BLVD 120
LAS VEGAS, 89131-

6485 N DECATUR BLVD 130
LAS VEGAS, 89131-

6485 N DECATUR BLVD 140
LAS VEGAS, 89131-

6485 N DECATUR BLVD 150
LAS VEGAS, 89131-

6485 N DECATUR BLVD 160
LAS VEGAS, 89131-

6485 N DECATUR BLVD 170
LAS VEGAS, 89131-

6485 N DECATUR BLVD 180
LAS VEGAS, 89131-

6485 N DECATUR BLVD 190
LAS VEGAS, 89131-

6415 N DECATUR BLVD
LAS VEGAS, 89131-

6425 N DECATUR BLVD
LAS VEGAS, 89131-

6435 N DECATUR BLVD
LAS VEGAS, 89131-

6455 N DECATUR BLVD
LAS VEGAS, 89131-

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SUP Application****Report Date** 06/04/2010 04:46 PM**Submitted By**

Page 3

Address**Parcel Link****A/P Link**6595 N DECATUR BLVD
LAS VEGAS, 89131-6525 N DECATUR BLVD 120
LAS VEGAS, 89131-6525 N DECATUR BLVD 130
LAS VEGAS, 89131-6475 N DECATUR BLVD 100
LAS VEGAS, 89131-6475 N DECATUR BLVD 105
LAS VEGAS, 89131-6475 N DECATUR BLVD 110
LAS VEGAS, 89131-6475 N DECATUR BLVD 115
LAS VEGAS, 89131-6475 N DECATUR BLVD 120
LAS VEGAS, 89131-6475 N DECATUR BLVD 130
LAS VEGAS, 89131-6475 N DECATUR BLVD 135
LAS VEGAS, 89131-6475 N DECATUR BLVD 140
LAS VEGAS, 89131-6475 N DECATUR BLVD 145
LAS VEGAS, 89131-6475 N DECATUR BLVD 155
LAS VEGAS, 89131-6475 N DECATUR BLVD 160
LAS VEGAS, 89131-6475 N DECATUR BLVD 170
LAS VEGAS, 89131-

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SUP Application****Report Date** 06/04/2010 04:46 PM**Submitted By**

Page 4

Address**Parcel Link****A/P Link**6475 N DECATUR BLVD 175
LAS VEGAS, 89131-6475 N DECATUR BLVD 180
LAS VEGAS, 89131-6475 N DECATUR BLVD 185
LAS VEGAS, 89131-6475 N DECATUR BLVD 210
LAS VEGAS, 89131-6475 N DECATUR BLVD 215
LAS VEGAS, 89131-6575 N DECATUR BLVD 140
LAS VEGAS, 89131-6575 N DECATUR BLVD 130
LAS VEGAS, 89131-6525 N DECATUR BLVD 150
LAS VEGAS, 89131-6575 N DECATUR BLVD 120
LAS VEGAS, 89131-6575 N DECATUR BLVD 180
LAS VEGAS, 89131-6575 N DECATUR BLVD 160
LAS VEGAS, 89131-6585 N DECATUR BLVD
LAS VEGAS, 89131-**A/P Addresses**

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

Report Date 06/04/2010 04:46 PM

Submitted By

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A/P Linked Parcels

12524811003

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1629794 ☐ Foreign
Effective Expire
Name SHADOW MOUNTAIN MARKETPLACE LLC
Day Phone (702)280-5767 x Eve Phone Organization SOUTHWESTERN FURNITURE LEASE
Pager PIN # Position
Fax (805)967-7089 Mobile Profession
E-Mail
Address 5330 DEBBIE RD #100
SANTA BARBARA, CA 93111-4035
Seasonal Addr

Valid From To
Comments MARK LINEWN

Primary N Capacity OTHER Other REP Contact ID AC483298 ☐ Foreign
Effective Expire
Name LIONEL SAWYER & COLLINS
Day Phone (702)383-8946 x Eve Phone Organization
Pager PIN # Position
Fax (702)367-2490 Mobile Profession
E-Mail
Address 300 SOUTH 4TH STREET SUITE 1700
LAS VEGAS, NV 89101
Seasonal Addr

Valid From To
Comments JENNIFER ROBERTS
702-383-8946
702-671-2490

Primary Y Capacity APPL Contact ID AC1498215 ☐ Foreign
Effective Expire
Name REBECCA LIDSKIN WALGREEN CO
Day Phone (847)315-4651 x Eve Phone Organization
Pager PIN # Position
Fax (847)315-4825 Mobile Profession
E-Mail
Address 104 WILMOT RD, M.S. #1420
DEERFIELD, IL 60015
Seasonal Addr

Valid From To
Comments Rebecca LIDSKIN, ATTORNEY
847-315-4651

Contractors

No Contractors

Review Activities

Review #	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
----------	-------------	---	--------	--------	--------	---------	-----------	---------

Comments

Report Date 06/04/2010 04:46 PM

Submitted By

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Review/Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
394610	DEVCD	1	Incomplete	☐	06/03/2010 14:57			
394611	NEIGH P&S	1	Incomplete	☐	06/03/2010 14:57			
394612	B&S PLAN	1	Incomplete	☐	06/03/2010 14:57			
394613	FLOOD	1	Incomplete	☐	06/03/2010 14:57			
394614	TRAFFIC	1	Incomplete	☐	06/03/2010 14:57			
394615	TEFO	1	Incomplete	☐	06/03/2010 14:57			
394616	SURVEY	1	Incomplete	☐	06/03/2010 14:57			
394617	SID	1	Incomplete	☐	06/03/2010 14:57			
394618	SEWER	1	Incomplete	☐	06/03/2010 14:57			
394619	ROW	1	Incomplete	☐	06/03/2010 14:57			
394620	LAND DEV	1	Incomplete	☐	06/03/2010 14:57			
394621	FIRE ENG	1	Incomplete	☐	06/03/2010 14:57			

Activity Review Details

Detail SUBMITTAL CHECKLIST (SUP)

Modified By MREX

Modified Date/Time 05/13/2010 15:30

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

- | | |
|--|--|
| Y Pre-Application Conference Checklist | Y Site Plan (19 Folded Blue Lines, 1 Rolled Colored) |
| Y Application/Petition Form | Y Floor Plan, If Applicable (1 Folded, 1 Rolled) |
| Y Deed and Legal Description | Y Laser Print Site Plan |
| Y Justification Letter | Y Laser Print Floor Plan |
| Y Assessors Parcel Map | Y Statement of Financial Interest |
| N DINA (Not Always Required) | |

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions Condition Supervisor Required	Approval Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
--	-------------------------------------	---------------	------------	--------------	----------

Z-LEGAL

970040

05/13/2010 15:56

N

Report Date 06/04/2010 04:46 PM

Submitted By

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Check Conditions Condition	Approval Supervisor Required	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
-------------------------------	---------------------------------	-------------------------	---------------	------------	--------------	----------

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SPECIAL USE PERMIT

N DINA Required? Y Will this go to the City Council? Final City Council letter received
Y Project of Regional Significance? Annotated minutes received
N Parent Project link required? Is there a condition of approval for a Required Review?
Type of Use If yes, when does it need to be reviewed?

RETAIL ESTABLISHMENT WITH ACCESSORY PACKAGE LIQUOR OFF-SALE

Y Is this an Alcohol related Use? Staff Recommendation

Meeting information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
07/29/2010	PC	SCHEDULED				
MREX	05/13/2010	MREX	05/13/2010	0	0	0

Template Type A/P #	A/P Type	Status	Stage
---------------------	----------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
Z-SUBC	REASON ALL ITEMS NOT SUBMITTED no color site plan was submitted with package		05/13/2010 16:05	05/13/2010 16:05	0.00
PAYMNT	CO NAME WHO PICKED UP CONTACT# 970040 DROP OFF MARK REX, WALGREENS CK 30-0010898290, 847.315.4651		05/13/2010 15:59		0.00

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SUP: Retail Establishment with Accessory Package Liquor Off-Sale
 Project Address (Location) 6495 North Decatur Boulevard
 Project Name Walgreens Proposed Use Drug Store (existing)
 Assessor's Parcel #(s) 125-24-811-003 Ward # 6
 General Plan: existing XX proposed _____ Zoning: existing C-1 proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres _____ Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Shadow Mtn. Marketplace LLC Contact Wynmark Company
 Address 5330 Debbie Road #100 Phone: (805) 967-6040 Fax: (805) 967-7089
 City Santa Barbara State CA Zip 93111
 E-mail Address none

APPLICANT Walgreen Co. Contact Rebecca Lidskin, Attorney
 Address 104 Wilmot Road, M.S. #1420 Phone: (847) 315-4651 Fax: (847) 315-4825
 City Deerfield State Illinois Zip 60015
 E-mail Address Rebecca.Lidskin@walgreens.com

REPRESENTATIVE Lionel Sawyer & Collins Contact Jennifer Roberts
 Address 300 South Fourth Street #1700 Phone: (702) 383-8946 Fax: (702) 671-2490
 City Las Vegas State Nevada Zip 89101
 E-mail Address jroberts@lionelsawyer.com

Property Owner Signature* _____

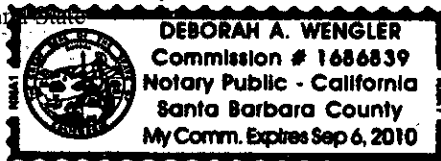
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name MARK LINEN

Subscribed and sworn before me

This 3rd day of November, 2009

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>SUP-38276</u>
Meeting Date:	<u>07/29/2009</u>
Total Fee:	<u>1280</u>
Date Received:	<u>5/13/10</u>
Received By:	<u>WREX</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-38276** APN: 125-27⁴-811-003 *jr*

Name of Property Owner: Shadow Mountain Marketplace LLC

Name of Applicant: Robert M. Silverman of Walgreen Co.

Name of Representative: Jennifer Roberts of Lionel Sawyer & Collins

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

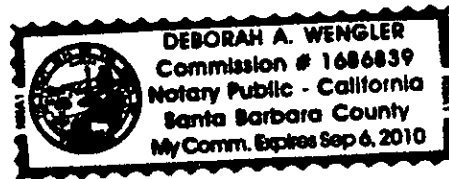
Signature of Property Owner: *[Signature]*

Print Name: Mark D. Linehan

Subscribed and sworn before me

This 27 day of May, 2010

[Signature]
Notary Public in and for said County and State



LIONEL SAWYER & COLLINS

ATTORNEYS AT LAW

1700 BANK OF AMERICA PLAZA
300 SOUTH FOURTH STREET
LAS VEGAS, NEVADA 89101

(702) 383-8888

FAX (702) 383-8845

lsc@lionsawyer.com

www.lionsawyer.com

May 13, 2010

SAMUEL S. LIONEL
GRANT SAWYER
(1918-1996)

JON R. COLLINS
(1923-1987)

RICHARD H. BRYAN
JEFFREY P. ZUCKER
PAUL R. HEJMANOWSKI
ROBERT D. FAISS
DAVID N. FREDERICK
RODNEY M. JEAN
HARVEY WHITTEMORE
TODD TOUTON
CAM FERENBACH
LYNDA S. MABRY
MARK H. GOLDSTEIN
KIRBY J. SMITH
COLLEEN A. DOLAN
JENNIFER A. SMITH
DAN R. REASER
PAUL E. LARSEN
ALLEN J. WILT

LYNN S. FULSTONE
RORY J. REID
DAN C. MCGUIRE
JOHN E. DAWSON
FRED D. "PETE" GIBSON, III
CHARLES H. MCCREA JR.
GREGORY E. SMITH
MALANI L. KOTCHKA
LESLIE BRYAN HART
CRAIG E. ETEM
TODD E. KENNEDY
MATTHEW E. WATSON
SHAWN M. ELICEGUI
JOHN M. NAYLOR
WILLIAM J. MCKEAN
ELIZABETH BRICKFIELD
GREGORY R. GEMIGNANI
LINDA M. BULLEN
LAURA J. THALACKER
DOREEN SPEARS HARTWELL
LAURA K. GRANIER
MAXIMILIANO O. COUVILLIER III

MICHAEL D. KNOX
ERIN FLYNN
JENNIFER ROBERTS
MEREDITH L. STOW
DOUGLAS A. CANNON
RICHARD T. CUNNINGHAM
MATTHEW R. POLICASTRO
JENNIFER J. DIMARZIO
PEARL L. GALLAGHER
CHRISTINE D. SMITH
SUSAN L. MYERS
BRIAN S. PICK
JENNIFER L. BRASTER
LUCAS J. TUCKER
CHRISTOPHER WALTHER

KEVIN J. HEJMANOWSKI
KETAN D. BHIRUD
LAUREN D. CALVERT
ROBERT W. HERNQUIST
CHRISTIAN HALE
TIMOTHY R. MULLINER
COURTNEY MILLER O'MARA
BRIAN H. SCHUSTERMAN
MOHAMED A. IQBAL, JR.
KELLY R. KICHLINE
MARK J. GARDBERG
ELIZABETH A. HIGH
JAMES B. GIBSON
GREG J. CARLSON
ABIGAYLE F. DANG

OF COUNSEL
A. WILLIAM MAUPIN
RICHARD J. MORGAN*
ELLEN WHITTEMORE
CHRISTOPHER MATHEWS
MARK A. CLAYTON

*ADMITTED IN CA ONLY
WRITER'S DIRECT DIAL NUMBER:
(702)-383-8946
jroberts@lionsawyer.com

VIA HAND DELIVERY

Planning and Development Department
City of Las Vegas
Development Services Center
731 South Fourth Street
Las Vegas, Nevada 89101

RE: *Application for Special Use Permit*

To Whom It May Concern:

I am writing on behalf of Walgreen Co. in support of the application for a special use permit for the addition of 81 square feet of accessory "off-sale" packaged beer, wine, and liquor at the premises of Walgreens at 6495 North Decatur Boulevard. The location is currently operating and licensed as a drug store.

This location is zoned C-1, Limited Commercial. The proposed sale of packaged liquor will not adversely affect surrounding properties, as this store is located within a large commercial complex on a major thoroughfare and is abutted by Interstate 215. There are other businesses in the general area that sell alcohol, so the proposed use would not be unique to the area. The location also currently complies with all other requirements pursuant to the City of Las Vegas Municipal Code.

With this special use permit, Walgreens will remain competitive with similar businesses by offering patrons the option to purchase packaged beer, wine, or liquor for consumption off-premises. Since this use is commonly found at similar drug and retail grocery stores in Las Vegas, there would be no variable impact on other businesses by allowing Walgreens to sell alcohol for the convenience of its customers.

SUP-38276

RENO OFFICE: 1100 BANK OF AMERICA PLAZA, 50 WEST LIBERTY STREET • RENO, NEVADA 89501 • (775) 788-8888 • FAX (775) 788-8882

CARSON CITY OFFICE: 410 SOUTH CARSON STREET • CARSON CITY, NEVADA 89701 • (775) 841-2115 • FAX (775) 841-2118

WASHINGTON, DC OFFICE: 101 CONSTITUTION AVENUE NW, SUITE 600 • WASHINGTON, DC 20001 • (202) 742-4284 • FAX (202) 742-4285

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MAY 13 2010

Planning and Development Department
March 10, 2010
Page 2

Walgreens will continue to maintain its high-level standard of operations, and the design, hours of operation, traffic generation, lighting, and noise at this location will remain unchanged with the issuance of a special use permit to allow for accessory packaged beer, wine, and liquor sales. Additionally, the 81 square foot space devoted to packaged beer, wine, and liquor sales is less than 1% of the overall retail floor area.

Furthermore, Walgreen Co. is a well-established national company with shares traded on the New York Stock Exchange. The company has over 60 stores in southern Nevada that maintain a low impact on neighboring properties.

As Walgreens is currently operating and the addition of packaged beer, wine, and liquor for sale is compatible with the surrounding area, we respectfully request a special use permit for the addition of 81 square feet of accessory "off-sale" packaged beer, wine, and liquor sales.

Please call me if you have any questions or need additional information.

Sincerely,



Jennifer Roberts

cc: Ms. Rebecca Lidskin

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MAY 13 2010

SUP-38276

CITY OF LAS VEGAS
PLANNING AND DEVELOPMENT DEPARTMENT

ENVIRONMENTAL IMPACT ASSESSMENT

Pursuant to Las Vegas Municipal Code (LVMC) Section 19.18.010(E) and Ordinance No. 5477 (May 1, 2002), the City of Las Vegas has determined that your project is subject to a Development Impact Notice and Assessment (DINA) and/or meets the criteria for a Project of Regional Significance as established by the Southern Nevada Regional Policy Plan.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project. The Environmental Impact Assessment forms attached herein must be prepared for each factor* and submitted for evaluation.

√	1	Project Description
√	2	Transportation and Traffic
√	3	Schools
√	4	Emergency Services
√	5	Housing
√	6	Mass Transit
√	7	Open Space and Recreation
√	8	Hydrology
√	9	Water Quality
√	10	Utilities and Service System

* Bold question numbers denote minimum NRS requirements

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SUP-38276

City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

Applicant Information

The following Environmental Impact Assessment is being submitted for consideration for the proposed project known as Walgreens, located at 6495 North Decatur Boulevard, Las Vegas NV 89131.

This document is being prepared by:

Company Name: Walgreen Co.

Address: Attn: Rebecca Lidskin, Senior Attorney
104 Wilmot Road
Deerfield, IL 60015

Contact Person:

Name: Jennifer Roberts

Title: Attorney / Lionel Sawyer & Collins

Telephone: 702-383-8946

Fax: 702-383-8845

E-mail: jroberts@lionelsawyer.com

I certify that the statements made by me on this Environmental Impact Assessment represent my best professional judgment and are, to the best of my knowledge, true and complete and correct.

I understand that any misrepresentation or material omission of fact on this document may be considered as constituting grounds for an incomplete application and may uphold processing of the application until complete information is provided.

Signature: _____

Name:

Title:

Date: May 7, 2010

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

1 Project Description

1.a Project title: Walgreens
1.b Application #: Special Use Permit (TBD)
1.c Project location: 6495 South Decatur Boulevard, Las Vegas NV 89131

1.d Project sponsor
Name: Walgreens
Address: 104 Wilmot Road, Deerfield IL 60015
Telephone: 847-315-4832

1.e G. P. designation: Commercial
1.f Zoning: C-1 Limited Commercial

1.g Project description:
Total site acreage: 20.95 acres

i) Residential

Total units: N/A
FAR per Lot: N/A
Lot Coverage per Lot: N/A

ii) Hospitality

Total rooms: N/A
Total entertainment: N/A

iii) Commercial

Total S.F.: 14,820 sq. ft. (Walgreens)
Total FAR: 0.016
Total Lot Coverage: 95%

1.h Briefly describe the project's surrounding land use and setting:

North: Right-of-Way / Vacant land
East: Decatur Boulevard / Commercial
South: Vacant Land / I-215
West: Right-of-Way / Residential / Vacant land

1.i Project narrative (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach exhibits if necessary):

Narrative: Retail establishment with accessory package liquor off-sale

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

2 **Transportation and Traffic**

- 2.a Would the project include adequate emergency access pursuant to LVMC Fire and emergency response requirements?

Explain: Yes, this is part of a commercial complex with several entry and exit points

- 2.b Would the project provide adequate parking pursuant to LVMC parking requirements?

Explain: Yes, the parking requirements are satisfied

- 2.c Would the project potentially increase hazards due to a design feature (e.g., sharp curves, dangerous intersection) or incompatible uses (e.g., commercial heavy equipment)?

Explain: No. This is an existing commercial structure compatible with surrounding design.

- 2.d Would the site have sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed project?

Explain: Yes, this is part of a commercial complex with several entry and exit points

- 2.e Insert a Table (attach additional sheets if necessary), indicating the number of vehicle trips that the proposal will generate, estimated by applying to the proposal the average trip rates for the peak days and hours established by the Institute of Transportation Engineers (or its successor).

Table: As an accessory use to an existing establishment, which is part of a larger commercial complex, the proposed use is not expected to significantly impact average vehicle trips

City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

3 **Schools**

3.a What is the total number of proposed residential units?

Conventional units: N/A

Age-restricted units: N/A

3.b Based upon the student generation factors utilized by Clark County School District¹ what is the estimated number of pupils generated by the proposal which will be added to the enrollment of each of the following:

Elementary School

School name:

Distance from site²:

Number of pupils: N/A -- This is a commercial development

Junior High/Middle School

School name:

Distance from site²:

Number of pupils: N/A -- This is a commercial development

High School

School name:

Distance from site²:

Number of pupils: N/A -- This is a commercial development

¹ See Exhibit 1

² Attach a map indicating the primary route/distance from the proposed project main entry point to the school main access point.

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Page 5 of 16

City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

4 Emergency Services

- 4.a** Provide the distance from the site of the proposal to the nearest facilities from which firefighting, police and emergency services will be provided, including without limitation, facilities of a local government that are planned but not yet constructed, and facilities that have been included in a local government's plan for capital improvements prepared pursuant to NRS 278.0226.

Fire

Name of the facility: Fire Station 56

Existing/proposed: Existing

Distance from site³: 1.8 miles

Police

Name of the facility: Las Vegas Metropolitan Police - 9850 West Cheyenne

Existing/proposed: Existing

Distance from site³: 7.6 miles

Emergency Services

Name of the facility: Fire Station 56

Existing/proposed: Existing

Distance from site³: 1.8 miles

- 4.b** Would the project result in increase for emergency services in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Explain: This is part of a commercial complex. The presence of this site would not individually cause a material increase for emergency services needs.

³ Attach a map indicating the primary route/distance from the proposed project main entry point to the firefighting, police, and emergency services main access point.

City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

5 **Housing**

- 5.a Would the proposed project conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, rural preservation area, or zoning ordinance)?

Explain: The addition of an accessory use to an existing commercial establishment would not cause any adverse impact; this site complies with all other requirements of the Las Vegas Municipal Code and the proposed use is not incompatible with surrounding commercial uses.

- 5.b Would the project displace or eliminate existing housing?

Explain: N/A

- 5.c What are the project characteristics, in terms of:

Density: Commercial

Height: N/A

Gated community: N/A

Housing Type: N/A

Home ownership: N/A

- 5.d Provide a brief statement setting forth the anticipated effects of the proposal on housing.

Explain: The proposed use will have no adverse affects on the surrounding community since the use is accessory to an existing establishment that is operated by a reputable, national company. The use is consistent with neighboring commercial properties and is commonly found in such establishments throughout Las Vegas.

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

6 **Mass Transit**

- 6.a Provide the distance from the site of the proposal to the nearest mass transit loading point.

Line number/name: 103

Location: Decatur Boulevard

Distance from site⁴: 150 feet

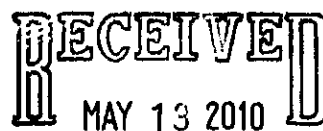
-
- 6.b Would the project result in change to the existing mass transit route, creation of a new line, or new loading points?

Explain: No, this is part of an existing commercial complex

-
- 6.c Provide a brief statement setting forth the anticipated effects of the proposal on mass transit.

Explain: This is part of an existing commercial complex. The addition of an accessory use to an establishment that is currently operating would not individually cause a material impact on mass transit.

⁴ Attach a map indicating the primary pedestrian route/distance from the proposed project main entry point to the nearest mass transit.



City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

7 Open Space and Recreation

- 7.a Provide the distance from the site of the proposal to the nearest existing⁵ or planned⁶ (as identified by the City of Las Vegas Master Plan – Parks Element, 2000) recreation area as follows:

Neighborhood Park

Park name: Polly Gonzalez Memorial Park

Location: Crystal Cascade/Bridgehampton

Distance from site⁷: 1 mile

Community Park

Park name: N/A

Location:

Distance from site⁷:

Regional Park

Park name: Decatur/Deer Springs Park (proposed)

Location: Decatur/Deer Springs

Distance from site⁷: .5 miles

- 7.b Based upon 1990 US Census population table⁸, what would be the total population generated by the proposed project?

Explain: N/A -- This is a commercial development.

- 7.c How much public parkland would be included in the proposed project?

Explain: None

- 7.d Provide a brief statement setting forth the anticipated effects of the proposal on open space and recreation.

Explain: This is part of a large commercial complex. The addition of an accessory use to an existing establishment would not individually cause a material impact on open space and recreation.

⁵ See Exhibit 2

⁶ See Exhibit 3

⁷ Attach a map indicating the straight distance from the project property line to the park property line

⁸ See Exhibit 4

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

8 Hydrology

8.a Would the proposed project alter the existing drainage pattern of the site area?

Explain: This is part of a large commercial complex. The addition of an accessory use to an existing establishment would not individually alter the existing drainage pattern of the entire site area.

8.b What is the quantity of the increase in storm water runoff generated by the proposed project, estimated by using standards hydrologic method?

Explain: 0 cfs. The site of the proposed use has already been constructed and remains in existence. The runoff coefficient does not change from existing conditions and therefore does not increase stormwater runoff.

8.c Would the total quantity of water runoff after construction exceed the capacity of existing or planned storm water drainage system?

Explain: No. There is no increase in stormwater runoff from existing conditions as explained in 8.b.

8.d Would the proposed project result in the construction of a new storm water drainage facility or the expansion of existing facilities? Is the storm water facility identified in the Neighborhood, City Wide or the Regional Master Plans?

Explain: The individual site would not require such construction.

8.e Would the proposed project place housing within a 100-year special flood hazard area as mapped on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM)?

Explain: The addition of the proposed use would not place housing within a 100-year special flood hazard area.

8.f Would the proposed project require drainage mitigation to protect the development from interim flows?

Explain: The proposed use would not require drainage mitigation.

8.g Would the proposed project development meet the Clark County Regional Flood Control District – Hydrologic Criteria and Drainage Design Manual requirements for street flow and dry lane criteria for both the existing and the ultimate flow conditions?

Explain: The proposed use does not increase stormwater runoff from existing conditions. Therefore, the project would not affect flows of nearby streets or dry lane criteria for existing and ultimate flow conditions.

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Page 0 of 16

City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

9

Water Quality

9.a Would water service provided to the proposed project by an existing or planned facility?

Explain: The existing establishment is serviced by an existing water pipe network servicing the existing commercial development.

9.b Would the proposed project result in the construction of a new water treatment facility or expansion of existing facilities?

Explain: The individual site would not require such construction or expansion.

9.c What is the quantity of water that the project will demand during and after completion of the project, estimated by applying a demand factor established by the provider of water service or an equivalent calculation to the number of units that will be created by and the gross acreage that will be occupied by the project?

Explain: The existing establishment is serviced by an existing water pipe network servicing the existing commercial development.

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

10 Utilities and Service System

10.a Would the proposed project connect to an existing or planned sewer system?

Explain: The existing establishment is connected to the existing sewer network that services the surrounding commercial development.

10.b What is the quantity of sewage affluent generated by the proposed project, estimated by applying a sewage generation factor established by the provider of sewer service or an equivalent calculation to the number of units or area of indoor floor space that would be created by the project?

Explain: This is part of a commercial complex. The addition of the use would not significantly increase the quantity of sewage affluent.

10.c Would the total quantity of sewage effluent generated by the proposed project exceed the capacity of existing or planned sewer system and wastewater treatment facility?

Explain: This is part of a commercial complex. The addition of the use would not significantly impact the capacity of the sewer system and wastewater treatment facility.

10.d Would the proposed project generate any industrial waste?

Explain: This is part of a commercial complex. The addition of the use would not individually generate any significant amount of industrial waste.

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

EXHIBIT 1

Clark County School District
April 9, 2002

2001-2001 Valley-wide Student Yields

Grade	Student Yield	
	Single-Family	Multi-Family
K-5	0.218	0.142
6-8	0.116	0.061
9-12	0.138	0.060

Single-Family units include mobile homes and townhouse.

Multi-Family units include a combination of apartments, plexes, and condominiums.

P & 13: Pre-school and Sunset School.

City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

EXHIBIT 2

City of Las Vegas
Master Plan – Parks Element
March 15, 2000

Existing City Parks
(Map 1, pp. 11)

Parks Name	Classification			Acres
	N	C	R	
Aloha Shores Park	X			4.03
Angel Park	X			6.11
AnSan Sister City Park	X			7.83
Baker Park	X			6.78
Bob Baskin Park	X			6.18
Bruce Trent Park	X			10.00
Buckskin Basin	X	X		39.17
Charleston Heights Park	X			3.90
Charleston Heights	X			7.12
Chester A. Stupak Park	X			1.23
Children's Mem. Park	X	X		29.82
Coleman Park	X			4.00
Cragin Park	X			3.27
Dexter Park	X			4.70
Doolittle Park	X			15.28
Ed Fountain Park	X	X		29.82
Ethel Pearson Park	X			2.59
Fitzgerald Tot Lot	X			0.70
Freedom Park	X	X	X	68.08
Hadland Park	X			13.64

Parks Name	Classification			Acres
	N	C	R	
Heers Park	X			7.07
Hills Park	X			13.50
Huntridge Circle Park	X			3.14
James Gay III Park	X			7.18
Jaycee Park	X			18.40
Lorenzi Park	X	X	X	59.37
Lubertha Johnson Park	X			1.60
Mary Dutton Park	X			0.20
Mirabelli Park	X			1.41
Pueblo Park(s)	X			5.09
Rafael Rivera Park	X			9.28
Rainbow Family Park	X	X		26.48
Elkhorn/Durango Fields	X	X		
Rotary Park	X			3.34
Stewart Place Park	X			3.45
Wayne Bunker Family Pk	X			13.75
W. Charleston Lions Park	X			4.50
Wildwood Park	X			1.24
Woofter Family Park	X			9.22
Clarence Ray Park	X			0.10

N: Neighborhood Park

C: Community Park

R: Regional Park

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

EXHIBIT 3

City of Las Vegas
Master Plan – Parks Element
March 15, 2000

Planned City Parks
(Map 12, pp. 49)

Parks Name	Classification			Acres
	N	C	R	
Fort Apache/Log Cabin Park	X			TBD
Jones/Iron Mountain Park	X	X	X	TBD
Grand Canyon/Bardley Park	X	X		40.0/34.0
Fort Apache/Elkhorn Park	X			TBD
Elkhorn/Durango Ballfields	X	X		TBD
Deer Springs Park	X	X		110.0/40.0
Deer Springs/Thom Park	X	X		TBD
Regional Sports Park	X	X		60.00
Ann/Cimmaron Park	X			2.50
Cheyenne/Jensen	X	X		20.00
Metro Park	X			17.00
Alexander/Diamond Ridge Park	X			TBD
Cheyenne/Durango Park	X	X	X	5.0/61.5
Northwest Soccer Park	X	X		TBD
Summerlin Sports Park	X			TBD
Pioneer/Silver Ridge Park	X			TBD
AnSan Sister City Park	X			TBD
Buffalo/Oakey Park	X	X		42.5/30.0
Pioneer/O'Bannon Park	X			TBD
Oakey/Redwood Park	X	X		28.00
Heritage Park	X			TBD
Dog Fanciers Park	X			0.5/6.0
Bonanza/Honolulu Park	X			TBD

N: Neighborhood Park C: Community Park R: Regional Park

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

EXHIBIT 4

US Census Bureau
1990

Persons per Units by Units in Structure by Owner and Renter Occupied
(City of Las Vegas, US Census Bureau, 1990 STF-1)

Owner Occupied	Persons per Unit
Single Family Detached	2.91
Single Family Attached (Townhouse)	2.15
Condominiums	
2 to 19 units	1.97
20 to 49 units	1.66
50 or more units	1.64
Mobile Home or Trailer	2.28

Renter Occupied	Persons per Unit
Single Family Detached	3.28
Single Family Attached (Townhouse)	2.78
Apartments	
2 to 19 units	2.40
20 to 49 units	2.08
50 or more units	1.95
Mobile Home or Trailer	2.32

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BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: Q13-00389-0-126011

DATE ISSUED: 11/22/05

TYPE OF LICENSE: LAW FIRM

39 ATTORN

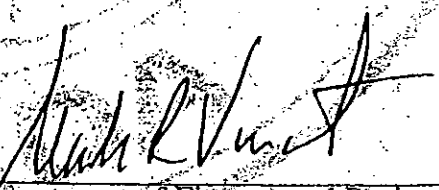
BUSINESS LOCATION: 300 S 4TH ST 1700

ISSUE TO:

LIONEL SAWYER & COLLINS
300 S 4TH ST STE 1700
LAS VEGAS NV 89101-6000

PRINCIPAL(S)

LIONEL, SAMUEL, PRES
HEJMANOWSKI, PAUL, TREAS
ZUCKER, JEFFREY, SEC


Director, Department of Finance and Business Services

Post in a conspicuous place.

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Center](#)[Election
Center](#)[Business
Center](#)[Licensing
Center](#)[My Data Reports](#) [Business Entity Search](#) 1

SHADOW MOUNTAIN MARKETPLACE

[New Search](#)[Printer Friendly](#)

Business Entity Information

Status:	Active	File Date:	4/27/11
Type:	Domestic Limited-Liability Company	Entity Number:	LLC01
Qualifying State:	NV	List of Officers Due:	4/30/11
Managed By:	Managers	Expiration Date:	4/27/11
NV Business ID:	NV20041091346	Business License Exp:	

Registered Agent Information

Name:	CAPITOL CORPORATE SERVICES, INC.	Address 1:	202 S STRE
Address 2:		City:	CAR
State:	NV	Zip Code:	8970
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Commercial Registered Agent - Corporation		
Jurisdiction:	NEVADA	Status:	Active

[View all business entities under this registered agent](#)

Financial Information

No Par Share Count:	0	Capital Amount:	\$ 0
----------------------------	---	------------------------	------

No stock records found for this company

Officers
☐ Ir
Manager - MARK LINEHAN

Address 1:	5330 DEBBIE ROAD	Address 2:	SUITE 100
City:	SANTA BARBARA	State:	CA
Zip Code:	93111	Country:	USA
Status:	Active	Email:	

Manager - DARREL WRIGHT

Address 1:	1096 COAST VILLAGE RD	Address 2:	
City:	SANTA BARBARA	State:	CA
Zip Code:	93108	Country:	
Status:	Active	Email:	

Actions\Amendments

[Click here to view 8 actions\amendments associated with this company](#)

Important Notice: Entities with an April 2010 annual list due date whose lists were received but not yet been processed due to processing backlog, may show as in "Default" in the Business Entity Search. All entities are processed. We expect completion of these filings by June 2010.

Information Center | Election Center | Business Center | Licensing Center | Securities Center | Online Services

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The information presented on this website is prepared as an informational service only and should not be relied upon as an official record of action on a business license. For official records and action taken upon applications, please contact the city of Las Vegas Finance and Business Services at (702) 229-6281.

Search for existing businesses

within the corporate limits of the City of Las Vegas ONLY

1) Search by:

- ☐ business name [partial match]
- ☒ business address [partial match; [See Tips](#)]
- ☐ business license [EXACT match]
- ☐ owner name [partial match]
- ☐ business category code [Use 3-char code] [show me all codes](#)
- ☐ new licenses issued the last 7 days

2) Show licenses per page [2~100max]

3) Search for

4) ☐ Wrap text in columns to fit screen, for printing.

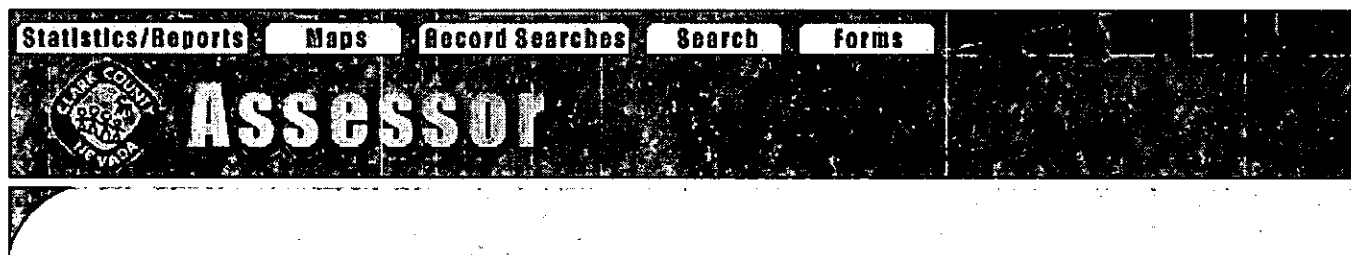
5)

HELP! - [Show me the search tips please!](#)

Business Name	Type of Business	Address	Zip	Phone	License #	Issued	Status	Owner	Owner title
WALGREENS 10783	TOBACCO SALES	6495 N DECATUR BL	89131	(847) 315 4412	C05-02604	4/22/2008	Active	REIN JEFFREY	CEO
WALGREENS 10783	DRUG STORE	6495 N DECATUR BL	89131	(847) 315 4412	D11-00224	4/22/2008	Active	REIN JEFFREY	CEO
WALGREENS 10783	PHARMACY	6495 N DECATUR BL	89131	(847) 315 4412	Q04-00046	4/22/2008	Active	REIN JEFFREY	CEO

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M.W. Schofield, Assessor

REAL PROPERTY PARCEL RECORD

[Click Here for a Print Friendly Version](#)

[Assessor Map](#)
[Aerial View](#)
[Building Sketch](#)
[Ownership History](#)
[New Search](#)

GENERAL INFORMATION	
PARCEL NO.	125-24-811-003
OWNER AND MAILING ADDRESS	SHADOW MOUNTAIN MARKETPLACE LLC SOUTHWESTERN FURNITURE LEASE 5330 DEBBIE RO #100 SANTA BARBARA CA 93111-4035
LOCATION ADDRESS CITY/UNINCORPORATED TOWN	6475 N DECATUR BLVO UT 125 LAS VEGAS
ASSESSOR DESCRIPTION	SHAOOW MOUNTAIN MARKETPLACE PLAT BOOK 124 PAGE 5 PT LOT 1 BLOCK 1 SEC 24 TWP 19 RNG 60
RECORDED DOCUMENT NO.	* 20050114:03486
RECORDED DATE	01/14/2005
VESTING	NO STATUS
COMMENTS	Z,SF 171-62;LEASE-20090303:2933

*Note: Only documents from September 15, 1999 through present are available for viewing.

ASSESSMENT INFORMATION AND SUPPLEMENTAL VALUE	
TAX DISTRICT	200
APPRAISAL YEAR	2009
FISCAL YEAR	09-10
SUPPLEMENTAL IMPROVEMENT VALUE	0
SUPPLEMENTAL IMPROVEMENT ACCDUNT NUMBER	N/A

REAL PROPERTY ASSESSED VALUE		
FISCAL YEAR	2009-10	2010-11

LAND	6068670	3944636
IMPROVEMENTS	5872997	4517518
PERSONAL PROPERTY	0	0
EXEMPT	0	0
GROSS ASSESSED (SUBTOTAL)	11941667	8462154
TAXABLE LAND+IMP (SUBTOTAL)	34119048	24177583
COMMON ELEMENT ALLOCATION ASSD	0	0
TOTAL ASSESSED VALUE	11941667	8462154
TOTAL TAXABLE VALUE	34119049	24177583

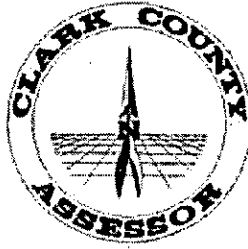
[Click here for Treasurer Information regarding real property taxes.](#)

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION	
ESTIMATED SIZE	20.95 Acres
ORIGINAL CONST. YEAR	2007
LAST SALE PRICE MONTH/YEAR	2000000 01/05
LAND USE	3-55 COMMERCIAL NEIGHBORHOOD SHOPPING
DWELLING UNITS	0

NO RESIDENTIAL APPRAISAL RECORD FOR THIS PARCEL

ASSESSORMAP VIEWING GUIDELINES	
MAP	125248
	In order to view the Assessor map you must have Adobe Reader installed on your computer system. If you do not have the Reader it can be downloaded from the Adobe site by clicking the following button. Once you have downloaded and installed the Reader from the Adobe site, it is not necessary to perform the download a second time to access the maps. 

NOTE: THIS RECORD IS FOR ASSESSMENT USE ONLY. NO LIABILITY IS ASSUMED
AS TO THE ACCURACY OF THE DATA DELINEATED HEREON.



**Government Center, 500 South Grand Central Parkway, Las Vegas, Nevada
89155-1401**

702-455-3882 (INFORMATION)



20050114-0003486

APN: 125-24-802-001 125-24-802-002
Affix R.P.T.T. \$10,200.00

WHEN RECORDED MAIL TO and
MAIL TAX STATEMENT TO:

MARK LINEHAN
5330 DEBBIE ROAD, #100
SANTA BARBARA, CA 93111

Fee: \$18.00 RPTT: \$10,200.00
N/C Fee: \$0.00

01/14/2005 14:23:51
T20050010148

Requestor:
CHICAGO TITLE

Frances Deane DMU
Clark County Recorder Pas: 5

ESCROW NO: 04154220-113-SDL

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Joseph Golshan, Trustee of the JG Family Trust dated July 19, 1994 as to an undivided 92% interest and Amin F. Asilzadeh and Kathy Asilzadeh, husband and wife as joint tenants as to an undivided 8% interest

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to

Shadow Mountain Marketplace, LLC, a Nevada limited liability company

all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:
See Exhibit A attached hereto and made a part hereof.

Subject to: 1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness my/our hand(s) on January 11, 2005

GRANTORS:

JG Family Trust, dated July 19, 1994

By: Joseph Golshan, Trustee

Amin F. Asilzadeh

Kathy Asilzadeh

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ESCROW NO: 04154220-113-SDL

STATE OF NEVADA)
) ss.

COUNTY OF CLARK)

On this JAN. 11, 2005
appeared before me, a Notary Public,
Joseph Golshan

personally known or proven to me to be the
person(s) whose name(s) is/are subscribed to the
above instrument, who acknowledged that
he/she/they executed the instrument for the
purposes therein contained.

Sue Lietzow
Notary Public

My commission expires: 6-14-05

STATE OF NEVADA)
) ss.

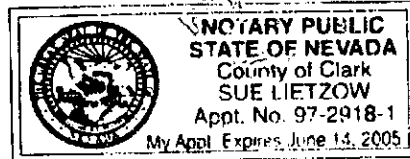
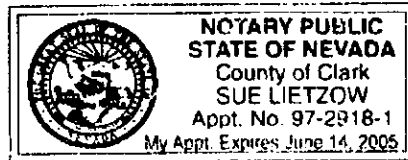
COUNTY OF CLARK)

On this JAN 11, 2005
appeared before me, a Notary Public,
Amin F. Asilzadeh

personally known or proven to me to be the
person(s) whose name(s) is/are subscribed to the
above instrument, who acknowledged that
he/she/they executed the instrument for the
purposes therein contained.

Sue Lietzow
Notary Public

My commission expires: 6-14-05



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STATE OF NEVADA)
) ss.

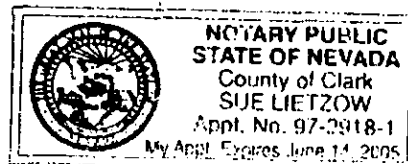
COUNTY OF CLARK)

On this JAN 11, 2005
appeared before me, a Notary Public,
Kathy Asilzadeh

personally known or proven to me to be the person(s) whose name(s) is/are subscribed to the above instrument, who acknowledged that he/she/they executed the instrument for the purposes therein contained.

Sue Lietzow
Notary Public

My commission expires: 6-14-05



SESSOR'S COPY

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Exhibit A

That portion of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section 24, Township 19 South, Range 60 East, M.D.B.&M., described as follows:

Lots One (1) and Two (2) as shown by map thereof in File 37 of Parcel Maps, Page 81 in the Office of the County Recorder, Clark County, Nevada.

Said property is more particularly described as Lots 298 and 299 as depicted on that certain record of survey in File 52, Page 70 in the Office of the County Recorder of Clark County, Nevada, and recorded October 18, 1989, in Book 891018 of Official Records as Document No. 00517.

ASSESSOR'S COPY

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**State of Nevada
Declaration of Value**

1. Assessor's Parcel Number(s)

a) 125-24-802-001

b) 125-24-802-002

c)

d)

2. Type of Property:

- a) ☒ Vacant Land b) ☐ Single Fam. Resi
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☐ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Documentation/Instrument #: _____

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. Total Value/Sales Price of Property: \$2,000,000.00

Deed in Lieu of Foreclosure Only (value of property): ()

Transfer Tax Value: \$2,000,000.00

Real Property Transfer Tax Due: \$10,200.00

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: _____%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature [Signature]

Capacity Owner

Signature Joseph Golshan, Trustee

Capacity _____

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: JG Family Trust
Address: 1960 Carla Ridge
City: Beverly Hills
State: CA Zip: 90210

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: Shadow Mtn. Marketplace, LLC
Address: 5330 Debbie Road, #100
City: Santa Barbara
State: CA Zip: 93111

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title
Address: 3980 Howard Hughes Parkway
City/State/Zip: Las Vegas, NV 89109

Escrow #: 04154220-113

AN ADDITIONAL RECORDING FEE OF \$1.00 WILL APPLY FOR EACH DECLARATION OF VALUE FORM PRESENTED TO CLARK COUNTY, EFFECTIVE JUNE 1, 2004.

RECEIVED
MAY 13 2010
3486

13/9

NLV

Parcels 818
Labels 747**Report of All Selected Parcels**Case Number: SUP-38276Printed On: Thu: June 24, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
		12524897003
		12419314000
		12525697005
		12419315000
		12524797001
		12524697011
		12525597004
		12524797002
		12524697012
		12419397022
		12524797003
		12430196001
		12524697013
		12525597002
		12524497002
		12419313000
		12419315000
		12419390001
		12524697019
		12524897001
		12524897002
		12419312000
		12430101006
		12525510023
		12419312021
		12419312112
		12419312070
		12419312116
		12419312068
		12419312139
		12419315006
		12419312147
215 PROPERTIES L L C	4129 W CHEYENNE #A NO LAS VEGAS NV	
2525 MARCO L L C	8010 MACKENZIE CT LAS VEGAS NV	
ACKERSON ERICKA	6655 ABRUZZI DR #201/3 NO LAS VEGAS NV	
ADAM HECTOR	4575 CENTISIMO DR #204-14 NO LAS VEGAS NV	
ADAMOUR BENJAMIN J	4695 CENTISIMO DR #202 NO LAS VEGAS NV	
ADAMS BERRETT & CHRISTY	1569 KIWI LN LAS VEGAS NV	
ADAMS BRIAN	4695 CENTISIMO DR #104 NO LAS VEGAS NV	
ADAMS CRAIG	6660 FLAMINIAN LN #18/103 NO LAS VEGAS NV	
ADKINS MICHAEL A	4750 BASILICATA LN #102 NO LAS VEGAS NV	
ALBANI ROSEANNA	6690 FLAMINIAN LN #103/19 NO LAS VEGAS NV	

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ALBERSON WILLIAM EDWARD JR	6340 MONARCH CREEK ST LAS VEGAS NV	12525511011
ALBRIGHT KRISTINE E	6675 ABRUZZI DR #201 NO LAS VEGAS NV	12419312005
ALEXANDER LACY K SR & OLANE P	4720 APULIA DR #104 NO LAS VEGAS NV	12419312222
ALLEN CASSANDRA R	4650 RANCH HOUSE RD #53 NO LAS VEGAS NV	12430110092
ALLEN GROVER R & ANNETTE M	4650 RANCH HOUSE RD #103 NO LAS VEGAS NV	12430110023
ALONZO JOHN ROY & LILLIAN MARY	212 OUNDAS ST W PARIS ON NSL 4H3 CANADA	12419312084
ALVARADO DAVID	6655 FLAMINIAN LN #202 NO LAS VEGAS NV	12419312134
AMES CONNIE M	6780 ABRUZZI DR #204/44 NO LAS VEGAS NV	12419313104
AMOROSO BENJAMIN M	4650 RANCH HOUSE RD #144 NO LAS VEGAS NV	12430110046
ANDERS-BAINES LUCY	6715 SYCAMORE VIEW ST LAS VEGAS NV	12524710053
ANDERSON CAREY C & DIANA C	16131 BLUE SPRUCE LN CLINTON TOWNSHIP MI	12524810026
ANTOS EDWARD	184 CANDLEWOOD DR ENFIELD CT	12419312011
ANTRIM TODD S & JANI	6714 PYRACANTHA GLEN CT LAS VEGAS NV	12524710048
ARAKAKI GARY S & IRENE F	5827 MCLENNAN RANCH LAS VEGAS NV	12419312117
ARDILA FERNANDO	14503 CARTELA DR LA MIRADA CA	12419311075
BACH CAROLE A REVOCABLE LIV TR	5209 MEADOW ROCK AVE LAS VEGAS NV	12525511031
BAGLEY SHANELL	4710 CENTISIMO DR #103-8 NO LAS VEGAS NV	12419312059
BAHOORA KEVEN & DEIRDRE TRUST	8820 BROOKMARE AVE LAS VEGAS NV	12419312060
BAKER THOMAS E & DOROTHY M	1336 CHAUTAUQUA PKWY DES MOINES IA	12524810012
BAKER WILLIAM J & CARRIE L	6485 GAZANIA ST LAS VEGAS NV	12524810015
BANK NEW YORK MELLON TRS	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	12419311079
BANK NEW YORK MELLON TRS	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	12524710026
BANK U S NATIONAL ASSN TRS	%SELECT PORTFOLIO SERVICING INC 3815 S W TEMPLE SALT LAKE CITY UT	12525511016
BANK U S NATIONAL ASSN TRS	%SPECIALIZED LOAN SERVICING L L C P O BOX 636005 LITTLETON CO	12419312196
BANKS BOBBY L	4650 RANCH HOUSE RD #122 NO LAS VEGAS NV	12430110036
BANUELOS CARLOS	8549 SAN JACINTO CT RANCHO CUCAMONGA CA	12419312075
BARNES ANTHONY R	6805 CORBEL CT LAS VEGAS NV	12524612075
BARNETT CYNTHIA D & REGINALD G	4650 RANCH HOUSE RD #98 NO LAS VEGAS NV	12430110052
BARRY ALLAN R & ELLEN	4650 RANCH HOUSE RD #80 NO LAS VEGAS NV	12430110065
BARTON FAMILY TRUST	6780 ABRUZZI DR #201/44 NO LAS VEGAS NV	12419313101
BASEBASE JON	P O BOX 970571 WAIPAHU HI	12419313092
BASEBASE JON	P O BOX 970571 WAIPAHU HI	12419312064

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BEAL MORRIS L & JANET L	5216 ELM HILL CT LAS VEGAS NV	12524710013
BEDARD DELL E & SHIRLEY	6604 SYCAMORE VIEW ST LAS VEGAS NV	12524710064
BELCHER BOBBY J & BARBARA J	5212 ACACIA VIEW AVE LAS VEGAS NV	12524810044
BELLMORE CHERYL E	6216 VALLEY GROVE CT LAS VEGAS NV	12525510060
BELLOWS ZACHARY B & BROOKE B	7737 WHISPERING RIVER ST LAS VEGAS NV	12419313066
BELTZ KIRSTIE A	6680 CAPORETTO LN #203/23 NO LAS VEGAS NV	12419312177
BENITO MERLA O	6536 HARTWOOD RD LAS VEGAS NV	12419312028
BENO ERIC	3709 PYRACANTHA GLEN CT LAS VEGAS NV	12524710044
BERKOWITZ ALBERT I REVOCABLE TR	2278 SIERRA BLVD #C SACRAMENTO CA	12419313042
BESON TRUST	5009 ENCORE PARADISE AVE LAS VEGAS NV	12524611027
BETKOWSKI DELORISE ANN	4655 CENTISIMO DR #103/11 NO LAS VEGAS NV	12419312083
BEVEL GAYLAND & PAMELA	13541 F M 1663 WINNIE TX	12419312142
BIERMAN CHARLIE W & PRISCELLA	5229 FALL MEADOWS AVE LAS VEGAS NV	12525510036
BILL'S REVOCABLE TRUST	%WELLS FARGO BANK P O BOX 13519 ARLINGTON TX	12525510042
BIRKAN JAMES & KAMOLPHAN	6655 FLAMINIAN LN #102-17 NO LAS VEGAS NV	12419312130
BLACK STEVEN	4710 APULIA DR #104/30 NO LAS VEGAS NV	12419312230
BLAKE ROBERT W & CYNTHIA A	6775 ABRUZZI DR #204 NO LAS VEGAS NV	12419313096
BLANCARD CAROL S	R R 1 BOX 1156 CRAWFORD ME	12419312193
BLANCHARD DAVID R	6785 CAPORETTO LN #203 NO LAS VEGAS NV	12419313035
BLANEY ALBERT W JR & JHAKIRINE S	5225 FALL MEADOWS AVE LAS VEGAS NV	12525510035
BLATNIK ERIN	536 SARABROOK PLACE N E ALTANTA GA	12419313078
BLOSS BONNIE	6416 AFFERMATO ST LAS VEGAS NV	12419312056
BLOSS THOMAS JR & THOMAS P	6416 AFFERMATO ST LAS VEGAS NV	12419312057
BLOSS VALERIE C	18 OLD FORTY ACRE MOUNTAIN RD DANBURY CT	12419312053
BLUME RYAN	4630 BASILICATA LN #102 NO LAS VEGAS NV	12419313046
BOEDEKER LEE M	4650 RANCH HOUSE RD #68 NO LAS VEGAS NV	12430110077
BONDI FAMILY TRUST	6714 CYPRESS PARK CT LAS VEGAS NV	12524710032
BOUCHER TERESA A	6325 MONARCH CREEK ST LAS VEGAS NV	12525511058
BOUGHEN TRUST	15705 SUPERIOR ST NORTH HILLS CA	12525511019
BOUMSTEIN ROBERT J & MERYL P	P O BOX 390805 OMAHA NE	12419312125
BOURLIER CHRISTIAN	6675 CUPORETTO LN #101 NO LAS VEGAS NV	12419312187
BRADLEY BILL J	6253 AUTUMN CREEK DR LAS VEGAS NV	12525510014

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BRADLEY VILLAS L L C	4465 S BUFFALO #2 LAS VEGAS NV	12524701005
BRADSHAW LOREN J	26630 PURPLE MARTIN CT SANTA CLARITA CA	12419313064
BRANDER BROOKE K	4650 RANCH HOUSE RD #96 NO LAS VEGAS NV	12430110054
BRASWELL APRIL F	4650 RANCH HOUSE RD #131 NO LAS VEGAS NV	12430110039
BREWER DAVID B & STEPHANIE W	5316 W ROME BLVD LAS VEGAS NV	12524701008
BRIDGES STEVEN M	5120 FALL MEADOWS AVE LAS VEGAS NV	12525511004
BRINDLEY KENNETH & DEBORAH	2617 E WINDRIUM CT ELK GROVE CA	12524403006
BROCKWAY JIM & FAITH	5902 WALNUT PK FORT PIERCE FL	12419312219
BROCKWAY JIMMY & FAITH	P O BOX 5510 FORT PIERCE FL	12419312036
BROCKWAY JIMMY & FAITH	P O BOX 5510 FT PIERCE FL	12419313128
BROCKWAY JIMMY & FAITH	5902 WALNUT PARK LN FORT PIERCE FL	12419312190
BRONSON KERI L	4650 RANCH HOUSE RD #127 NO LAS VEGAS NV	12430110009
BROUGH DAVID L II & KARI D	5401 ROME BLVD LAS VEGAS NV	12524403002
BROUSSARD MARC D	6808 CORBEL CT LAS VEGAS NV	12524612077
BROWN DANIEL & EMMA L	725 FENDRICK CIR RIDGECREST CA	12419313023
BROWN JOPHERY & LOIS KATHRYN	6508 MIMOSA VALLEY ST LAS VEGAS NV	12524810030
BROWN SONYA L	6320 WINTER VALLEY CT LAS VEGAS NV	12525511054
BRUNDAGE CHRISTOPHER A & CHERI L	28457 WINTERDALE DR SANTA CLARITA CA	12419312120
BRUNNER MEGHAN M	4650 RANCH HOUSE RD #126 NO LAS VEGAS NV	12430110010
BURKETT JASON	%S BURKETT 2504 MANCHESTER BAY LAS VEGAS NV	12419312031
BURNS TOBY C & MICHELLE P	5100 FALL MEADOWS AVE LAS VEGAS NV	12525511009
BUSH AMY L	4685 APULIA DR #204 NO LAS VEGAS NV	12419312210
BUSH LOUIS & JORDANA	5401 MESQUITE MEADOW CT LAS VEGAS NV	12524410011
BUTTS FAMILY LIVING TRUST	6700 SYCAMORE VIEW ST LAS VEGAS NV	12524710060
BYNY LORRY & MAUREEN	4675 BASILICATA LN #201 NO LAS VEGAS NV	12419313065
CAGASAN MARY P	94-306 KAHUAHELE ST WAIPAHU HI	12419311084
CALABRESE ANTHONY P	207 AZALEA PARK DR MONTGOMERY AL	12430110085
CALLOWAY CHARLES W & BONNIE E	6520 BRADLEY RD LAS VEGAS NV	12524403009
CAMPBELL RICHARD D & LYNED S	5213 PRIMROSE FLOWER AVE LAS VEGAS NV	12524710002
CANALES CHRISTOPHER R	6785 CAPORETTO LN #201 NO LAS VEGAS NV	12419313033
CARDULLA FRANK G	6655 CAPORETTO LN #202/24 NO LAS VEGAS NV	12419312184
CARDWELL WALTER B	4883 BELLA PACIFIC ROW #237 SAN DIEGO CA	12419313016

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CARLTON LUKE J	6655 FLAMINIAN LN #203 NO LAS VEGAS NV	12419312135
CARR LAURIE A	6780 ABRUZZI DR #103 NO LAS VEGAS NV	12419313099
CARTER MICHAEL J & APRIL G	4625 CENTISIMO DR #13-204 NO LAS VEGAS NV	12419312104
CARTER ZACHARY S	6675 CAPORETTO LN #102/25 NO LAS VEGAS NV	12419312188
CATALANO FRANK & DALIA	6655 FLAMINIAN LN #103 LAS VEGAS NV	12419312131
CATER AMANDA M	9140 WELLINGTON PL WALDORF MD	12419312221
CENTENO ALFONSO J	6312 MONARCH CREEK ST LAS VEGAS NV	12525511018
CERVANTES PEDRO & ELIZABETH	5221 FALL MEADOWS AVE LAS VEGAS NV	12525510034
CHAMILIAN HAROUTIOUN O	11289 DULCET AVE NORTHRIDGE CA	12419312044
CHAN HANSUN & SHIRLEY Y	21 LOCUSTWOOD CT SILVERSPRING MD	12430110043
CHANG BEN	11759 KILIAN ST EL MONTE CA	12419312040
CHANG CHUNG	415 E ANGELENO AVE SAN GABRIEL CA	12419312003
CHAN-RANE STANLEY & SYDNIE TR	5209 PRIMROSE FLOWER AVE LAS VEGAS NV	12524710001
CHAPMAN FAMILY REVOCABLE LIV TR	8212 OAKSHIRE ST LAS VEGAS NV	12419312214
CHENOWETH JULIEANNA	5316 TURKEY LN LAS VEGAS NV	12524801007
CHIOREAN DIANA	11162 CRIMSON DUSK CT LAS VEGAS NV	12419313058
CHRISTENSEN BRYAN L & KATHLEEN A	18651 S DIAMOND LAKE RD DAYTON MN	12419312211
CHRISTOPHER LEE	6745 CAPORETTO LN #104 NO LAS VEGAS NV	12419313008
CITARELLA ALFONSO & JOSEPHINE	34 MELROSE AVE YONKERS NY	12419312095
CITY OF LAS VEGAS	400 E STEWART AVE LAS VEGAS NV	12524701041
CITY OF NORTH LAS VEGAS	%CITY CLERK P O BOX 4086 NO LAS VEGAS NV	12419212004
CITY OF NORTH LAS VEGAS	%CITY CLERK P O BOX 4086 NO LAS VEGAS NV	12419210011
CITY OF NORTH LAS VEGAS	%CITY CLERK P O BOX 4086 NO LAS VEGAS NV	12419212002
CITY OF NORTH LAS VEGAS	%CITY CLERK P O BOX 4086 NO LAS VEGAS NV	12419310008
CITY OF NORTH LAS VEGAS	%CITY CLERK P O BOX 4086 NO LAS VEGAS NV	12419310009
CITYSCAPE L L C	P O BOX 753181 LAS VEGAS NV	12419312132
CITYSCAPE L L C	P O BOX 753181 LAS VEGAS NV	12419312149
CLAPP ALBERT & DONNA TRUST	6710 PYRACANTHA GLEN CT LAS VEGAS NV	12524710049
CLARKSON CHARLENE	6317 MONARCH CREEK ST LAS VEGAS NV	12525511057
CLEER HAROLD L & ELAINE S	6609 SYCAMORE VIEW ST LAS VEGAS NV	12524710009
CLEMMENSEN ANDREW G	6675 CAPORETTO LN #201 NO LAS VEGAS NV	12419312191
CLEMMENSEN JOHN S JR	C M R 423 BOX 1508 APO AE	12419313018

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CODY JAMES E REVOCABLE LIV TR	6718 HAWTHORNE CREEK CT LAS VEGAS NV	12524710039
COLE MICHAEL TRAVIS	5313 FALL MEADOWS AVE LAS VEGAS NV	12525510040
COLEMAN KACY	6675 ABRUZZI DR #104-1 NO LAS VEGAS NV	12419312004
COLLINS KAREN	6770 CAPORETTO LN #201 NO LAS VEGAS NV	12419313025
COMENDADOR FAMILY TRUST	6500 GAZANIA ST LAS VEGAS NV	12524810020
COMER JENNIFER J	6695 CAPORETTO LN #101/26 NO LAS VEGAS NV	12419312195
CONINGFORD EDWARD R	5217 PRIMROSE FLOWER AVE LAS VEGAS NV	12524710003
CONNERS PATRICK M & KIM A	5213 FALL MEADOWS AVE LAS VEGAS NV	12525510032
CONRAD WERDNA	5900 PASEO DEL MAR LAS VEGAS NV	12525511062
CONTRERAS MICHAEL	4650 RANCH HOUSE RD #110 NO LAS VEGAS NV	12430110021
COOLEY JAMES M	6745 CAPORETTO LN #201 NO LAS VEGAS NV	12419313009
COOPER WINNETTA P	4650 RANCH HOUSE RD #93 NO LAS VEGAS NV	12430110028
COOREMAN GLENN W	4630 BASILICATA LN #202-37 NO LAS VEGAS NV	12419313050
CORDANO ROBERT J & JEANNETTE L	5317 BLUE EVERGREEN AVE LAS VEGAS NV	12524710025
CORTINA MICHAEL & STACEY	6724 YELLOWWOOD COVE ST NO LAS VEGAS NV	12419311152
COSTCO WHOLESALE CORP	%PROPERTY TAX DEPT 737 999 LAKE DR ISSAQUAH WA	12524811002
COSTELLO DAVID	6745 CAPORETTO LN #102 NO LAS VEGAS NV	12419313006
COUGHLIN STEPHANIE	6313 WICHITA FALLS NO LAS VEGAS NV	12419312054
CRAMBLET JAY	3170 OAK RD #205 WALNUT CREEK CA	12524410017
CRAWFORD LAWRENCE C JR & S Y	6770 CAPORETTO LN #202 NO LAS VEGAS NV	12419313026
CROCKETT DEMETRIUS L & FATIHIMIA	6232 AUTUMN CREEK DR LAS VEGAS NV	12525510044
CULJIS ANTHONY & HEATHER	6497 MIMOSA VALLEY ST LAS VEGAS NV	12524810022
CULVER GENE	3208 RUGBY DR BILLINGS MT	12419313090
CULVER GENE	3208 RUGBY DR BILLING MT	12419312051
CUMMING CATHLEEN	4837 ROSE WINOOW CT LAS VEGAS NV	12524612001
D'ALMEIDA ADINA N	4695 CENTISIMO DR #201/9 NO LAS VEGAS NV	12419312069
D'AMICO OEBORAH J	4845 ROSE WINDOW CT LAS VEGAS NV	12524612003
DANIELS ALICIA L	4675 BASILICATA LN #204 NO LAS VEGAS NV	12419313068
DANIELS KAYLON	6232 EUGENE AVE LAS VEGAS NV	12419315002
DASS INVESTMENTS L L C	P O BOX 1203 CARINDALE QLD 4152 AUSTRIALIA	12419312167
DAVIS BARRY M	6790 CAPORETTO LN #104-36 NO LAS VEGAS NV	12419313040
DAVIS DANIEL R & CONNIE M	6713 PYRACANTHA GLEN CT LAS VEGAS NV	12524710045

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DAVIS PATRICK W	6710 CYPRESS PARK CT LAS VEGAS NV	12524710033
DAWSON DOUGLAS C & JESSA V	55 DIOR TERRACE LDS ALTOS CA	12525511061
DEAMECHAZURRA LUIS	417 E 64TH ST #5-1 NEW YORK NY	12430110025
DEBOW JUDITH	6601 SYCAMORE VIEW ST LAS VEGAS NV	12524710007
DECATUR 215 L L C	P O BOX 924133 HOUSTON TX	12525614001
DECATUR-RICE L L C	%R BHATHAL 2692 DOW AVE TUSTIN CA	12430201003
DECATUR-RICE L L C	%R BHATHAL 2692 DOW AVE TUSTIN CA	12430201002
DEER SPRINGS ASSISTED LIVING L P	295 E WARM SPRINGS RD #101 LAS VEGAS NV	12524701047
DEHAAN WILLIAM C	5108 FALL MEADOWS AVE LAS VEGAS NV	12525511007
DEISHER LINDA	4725 BASILICATA LN #101 NO LAS VEGAS NV	12419313069
DELAHOUSAYE TOMARA	P O BOX 876951 WASILLA AK	12419312096
DENISON JOHN KIRK & LANA	12125 PINE RIDGE RD SANDY UT	12419313110
DIAZ MAGDALENA	5324 ROME BLVD LAS VEGAS NV	12524701007
DICELLO DAWN M	4650 RANCH HOUSE RD #115 NO LAS VEGAS NV	12430110016
DICKSON LESLEY R	5213 HACKBERRY HILL AVE LAS VEGAS NV	12524810039
DICKSON PHYLLIS	4509 VALLEY QUAIL WY NO LAS VEGAS NV	12419311078
DIETMEIER JON MICHAEL	2713 OSBORNE LN HENDERSON NV	12525511066
DIMICH DJORDJICA & MARA	4842 E PLATA DEL SOL LAS VEGAS NV	12524710063
DINSMORE BRADFORD B	6675 CAPORETTO LN #202/25 NO LAS VEGAS NV	12419312192
DIOGUARDI JUDITH A	116 JENNY LYNN DR ALIQUIPPA PA	12419312100
DIRAK L L C	650 S HILL #618 LOS ANGELES CA	12524801017
DISBROW JASON C & MICHELLE S	6221 VALLEY GROVE CT LAS VEGAS NV	12525510052
DISHMAN MATTHEW III	4650 RANCH HOUSE RD #77 NO LAS VEGAS NV	12430110072
DIXON ALAN J & PATRICIA B	5216 PRIMROSE FLOWER AVE LAS VEGAS NV	12524710004
DOCKENS BRYAN & RACHEL	6640 ABRUZZI #202/04 NO LAS VEGAS NV	12419312030
DOMINGUEZ EDDY	412 KATO TERRACE FREMONT CA	12419312041
DOMINGUEZ HECTOR & CARA	1807 W 4650 S #H ROY UT	12419312228
DRAKE DUANE & DONNA	5197 CORTE DEL CABO HEMET CA	12430110032
DRONEK-PACEY MARGO REV LIV TR	7265 N TORREY PINES DR LAS VEGAS NV	12419312078
DUNAGAN MERLE L	4620 PUGLIA LN #102 NO LAS VEGAS NV	12419312166
DUNN KELLY R	4750 BASILICATA LN #201 NO LAS VEGAS NV	12419315007
DUPLANCICH JOHN D	317 PLAINFIELD RD DARIEN IL	12419312189

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DURANT DAVID C & KAREN L	28633 HEATHER LN CASTAIC CA	12419312027
DWIGHT ARTHUR DORR LIVING TRUST	4610 PUGLIA LN #201 NO LAS VEGAS NV	12419312157
DYSDN EMMA	38394 COUNTY RD 77 LAKE GEORGE CO	12419313122
EAGLE CROSSROADS CENTER L L C	%S SILVER 12100 WILSHIRE BLVD #520 LOS ANGELES CA	12419412002
EAGLE CROSSROADS CENTER L L C	%S SILVER 12100 WILSHIRE BLVD #520 LOS ANGELES CA	12419412003
ELISARA DEVON L	2700 MERION DR SAN MATEO CA	12419312092
ELLENBERGER KRIS A	4705 APULLA DR #203 NO LAS VEGAS NV	12419312217
ELLIOTT BRYAN L	6711 SYCAMORE VIEW ST LAS VEGAS NV	12524710052
ELLIS CHRISTOPHER L & KIMBERLY J	4650 RANCH HOUSE RD #60 NO LAS VEGAS NV	12430110083
ERCHUL DAVID	6760 ABRUZZI DR #103 NO LAS VEGAS NV	12419313115
ERICKSON DERRICK & ERIN	6493 YELLOW BELLS CT LAS VEGAS NV	12524810007
ERRETT KENNEDY C	5120 AUTUMN MEADOW AVE LAS VEGAS NV	12525610041
ESCARTIN GARRETT M	6770 CAPORETTO LN #204-34 NO LAS VEGAS NV	12419313028
ESMAILIAN FARSHAD TRUST ETAL	136 S GRETNA GREEN WY LOS ANGELES CA	12524801013
ESMAILIAN FARSHAD TRUST ETAL	136 S GRETNA GREEN WY LOS ANGELES CA	12524801016
ESMAILIAN FARSHAD TRUST ETAL	136 S GRETNA GREEN WY LOS ANGELES CA	12524801015
ESMAILIAN FARSHAD TRUST ETAL	136 S GRETNA GREEN WY LOS ANGELES CA	12524801014
ESPINOSA FAMILY TRUST	25646 N GALE DR STEVENSON RANCH CA	12419312090
ESTRADA DEVASIO F & MARIA B	6785 CAPORETTO LN #104-35 NO LAS VEGAS NV	12419313032
EVERAGE FAMILY TRUST	3824 BOWERS HOLLW AVE NO LAS VEGAS NV	12419312098
FARIA ROBISON REVOCABLE LIV TR	5205 PRIMROSE FLOWER AVE LAS VEGAS NV	12524710067
FEDERAL NATIONAL MORTGAGE ASSN	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	12419313061
FEDERAL NATIONAL MORTGAGE ASSN	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	12525510053
FEDERAL NATIONAL MORTGAGE ASSN	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	12419313111
FEDERAL NATIONAL MORTGAGE ASSN	%ONEWEST BANK FSB 2900 ESPERANZA CROSSING AUSTIN TX	12419313117
FEDERAL NATIONAL MORTGAGE ASSN	10790 RANCHO BERNARDO DR SAN DIEGO CA	12419313097
FEHR ERIC & ELIN	6800 UNICORN ST LAS VEGAS NV	12524602014
FELIX EMILIO	6765 CAPORETTO LN #201-33 NO LAS VEGAS NV	12419313013
FELPS CLAYTON H	6750 CAPORETTO LN #101-31 NO LAS VEGAS NV	12419315001
FENDER DOROTHY A	4655 CENTISIMO DR #201-11 NO LAS VEGAS NV	12419312085
FERRELL CASSANDRA	6765 CAPORETTO LN #203-33 NO LAS VEGAS NV	12419313019
FISCHER TROY & NICHOLE	5213 ELM HILL CT LAS VEGAS NV	12524710011

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FISK ANGELA	4660 BASILICATA LN #104 NO LAS VEGAS NV	12419312129
FISK ANGELA	6630 CAPORETTO LN #201 NO LAS VEGAS NV	12419312093
FISK JACOB & ANGIE TRUST	4660 BASILICATA LN #104 NO LAS VEGAS NV	12419313056
FISK JOHN R	5100 AUTUMN MEADOW AVE LAS VEGAS NV	12525610036
FISK MICHAEL W & NANCY A	1124 S PINES RD SPOKANE VALLEY WA	12419312076
FISK PROPERTIES	1124 S PINES RD SPOKANE VALLEY WA	12419313121
FLETES ISELA	P O BOX 1522 SALINAS CA	12525510017
FLORES ANGEL T LIVING TRUST	6717 PYRACANTHA GLEN CT LAS VEGAS NV	12524710046
FLORES MIKE & JACQUELINE	6332 WHISPERING MEADOW CT LAS VEGAS NV	12525511042
FOREMAN JOHN W & DONNA	6501 GAZANIA ST LAS VEGAS NV	12524810046
FOUNTAIN LLOYD A	13522-38 ST EDMONTON ALBERTA T5A2W7 CANADA	12419312055
FRANZEL JOANNE M	4655 CENTISIMO DR #102 NO LAS VEGAS NV	12419312082
FREDDIE PROPERTIES L L C	5252 SUMMER TROUT WY NO LAS VEGAS NV	12419312200
FRITCH PATRICIA L	4685 APULIA DR #104/27 NO LAS VEGAS NV	12419312206
FUNK MICHAEL A	5317 FALL MEADOWS AVE LAS VEGAS NV	12525510041
GALANG ANTONIO JR & TERESITA D	27715 AMBER WY SANTA CLARITA CA	12419311153
GALLAGHER NANCY LOUISE	6690 FLAMINIAN LN #19/104 NO LAS VEGAS NV	12419312148
GALVEZ KARINA & HECTOR	5201 FALL MEADOWS AVE LAS VEGAS NV	12525511067
GAMIERE JASON C	4650 RANCH HOUSE RD #83 NO LAS VEGAS NV	12430110062
GARCIA BENNIE FAMILY TRUST	4625 CENTISIMO DR #103 NO LAS VEGAS NV	12419312099
GARCIA GREGORY	5860 GUSHING SPRINGS AVE LAS VEGAS NV	12525610039
GARON PATIENCE	4710 APULIA DR #103 NO LAS VEGAS NV	12419312229
GERMAN JENNIFER L	4650 RANCH HOUSE RD #63 NO LAS VEGAS NV	12430110086
GIANNI BENEDETTO RENO	5105 FALL MEADOWS AVE LAS VEGAS NV	12525511060
GIATTINO FRANCES & JOSEPH	4685 APULIA DR #203 NO LAS VEGAS NV	12419312209
GIBBONS ALLISON M	6680 ABRUZZI DR #102 NO LAS VEGAS NV	12419312010
GIBSON RECHIE CHRIS C	6660 FLAMINIAN LN #104/18 NO LAS VEGAS NV	12419312140
GILLAN DONNA A & FRANCIS J	5309 BLUE EVERGREEN AVE LAS VEGAS NV	12524710023
GIVLER GERALDINE L & MATTHEW	4650 E RD RANCH HOUSE RD #102 NO LAS VEGAS NV	12430110024
GLINES SHAWN D	5221 MEADOW ROCK AVE LAS VEGAS NV	12525511034
GOEDVOLK TIMOTHY S & CHRISTINE M	4650 RANCH HOUSE RD #104 NO LAS VEGAS NV	12430110051
GONZALES ERICA	3562 SQUERI DR SAN JOSE CA	12525511025

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GORDILLO ANA	4505 VALLEY QUAIL WY NO LAS VEGAS NV	12419311077
GRANT WILLIAM	7284 AFTERNOON ST LAS VEGAS NV	12419312065
GRAY GARY	4517 VALLEY QUAIL WY NO LAS VEGAS NV	12419311080
GREEN DIONNESHELE	6675 ABRUZZI DR #102/1 NO LAS VEGAS NV	12419312002
GREENE CLINTON & DONNA M	6655 CAPORETTO LN #103-24 NO LAS VEGAS NV	12419312181
GREENFIELD,RICHARD F	4620 PUGLIA LN #22/101 NO LAS VEGAS NV	12419312165
GREINER DAVID L & ELAINE	7047 W BELMONT DR LITTLETON CO	12419313053
GRIGSBY SUNNIE RAE	6493 LANTANA FALLS CT LAS VEGAS NV	12524810001
GROFF JOHN C	914 S SILVERADO ST GILBERT AZ	12419313106
GUGLER JEFFREY T	5324 FALL MEADOWS AVE LAS VEGAS NV	12525510016
GUSTIN RODNEY	6328 WINTER VALLEY CT LAS VEGAS NV	12525511052
HAAGENSON TESS A	4650 RANCH HOUSE RD #55 NO LAS VEGAS NV	12430110090
HAIOKA JAMES & YOSHIKO	1461 ALA HEKILI PL HONOLULU HI	12419312024
HALDEMAN FISCHER REVOCABLE TRUST	5309 W ROME BLVD LAS VEGAS NV	12524801003
HAMMOND HAROLD & LA RAE	6484 MIMOSA VALLEY ST LAS VEGAS NV	12524810025
HANEY LEWIS M & RITA	5607 W 16TH AVE KENNEWICK WA	12419312050
HARMS ROSE M & JERRY E	4921 ENCORE PARADISE AVE LAS VEGAS NV	12524611024
HARRIS GEORGE N	5204 FALL MEADOWS AVE LAS VEGAS NV	12525510029
HARTY JOANNE D	350 NARROWS POINT DR GRASONVILLE MD	12419312077
HASBROUCK BILLY	5308 FALL MEADOWS LAS VEGAS NV	12525510020
HASSAN KHALILAH	4710 APULIA DR #101 NO LAS VEGAS NV	12419312227
HAUG JOHN & JOANN	6707 SYCAMORE VIEW ST LAS VEGAS NV	12524710051
HAWKINS KIRA	2412 N ROSE MESA AZ	12419312226
HAYES JOEL J	4650 RANCH HOUSE RD #56 NO LAS VEGAS NV	12430110089
HEALEY MEL & CAROL FAMILY TRUST	6501 MIMOSA VALLEY ST LAS VEGAS NV	12524810021
HEBRON CATHERINE	4675 BASILICATA LN #203 NO LAS VEGAS NV	12419313067
HELM ROBERT & MARIE FAMILY TRUST	4650 RANCH HOUSE RD #112 NO LAS VEGAS NV	12430110019
HENDERSON-YOUNG RONNETTA L	5204 AUTUMN MEADOW LAS VEGAS NV	12525610043
HENLEY JOHN E	6737 YELLOWWOOD COVE ST NO LAS VEGAS NV	12419311085
HENRY STACY	8820 MONTE ORO DR LAS VEGAS NV	12524801009
HERNANDEZ RAYMOND M	4650 RANCH HOUSE RD #140 LAS VEGAS NV	12430110001
HILDEBRANDT ADOLPH O & SUSAN A	2209 SILVEREYE DR NO LAS VEGAS NV	12419312062

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HILL TANYA M	4650 RANCH HOUSE RD #125 NO LAS VEGAS NV	12430110011
HITES CHAD A & ARIANA	6712 SYCAMORE VIEW ST LAS VEGAS NV	12524710057
HOGAN CLARENCE & WYNONA N	6655 FLAMINIAN LN #204/17 NO LAS VEGAS NV	12419312136
HOLLMAN SUSAN E	5312 FALL MEADOWS LAS VEGAS NV	12525510019
HOLUB FRANK J III & DERETHA A	5128 FALL MEADOWS AVE LAS VEGAS NV	12525511002
HOOKS DEBRA & ERIN B	P O BOX 750891 LAS VEGAS NV	12430110035
HORACEK MELISSA S	4610 PUGLIA #204/20 NO LAS VEGAS NV	12419312160
HORNBECK JOHN R & BARBARA J	5950 MAVERICK ST LAS VEGAS NV	12525511065
HORNER LARRY W & JUDITH L	6708 SYCAMORE VIEW ST LAS VEGAS NV	12524710058
HORTON LORI & EVERETT	6714 HAWTHORNE CREEK CT LAS VEGAS NV	12524710040
HOUGHTON CARL T & SONIA C	6706 HAWTHORNE CREEK CT LAS VEGAS NV	12524710042
HRACH DOUGLAS S & SHARON L	5104 AUTUMN MEADOW AVE LAS VEGAS NV	12525610037
HUGHES ELIZABETH M FAM TR	9245 DENTARIA CT LAS VEGAS NV	12419313116
HULL DARLENE C	6630 CAPORETTO LN #101/12 NO LAS VEGAS NV	12419312089
HUNSICKER LORAYNE	6765 CAPORETTO LN #204 NO LAS VEGAS NV	12419313020
HUNTER TAYLOR R	4650 RANCH HOUSE RD #70 NO LAS VEGAS NV	12430110079
HUTCHINS WILLIAM E & KATHERINE D	1 GRANBURY CT COLUMBIA SC	12524710010
INGALLS SCOTT C	4625 CENTISIMO DR #203 NO LAS VEGAS NV	12419312103
JACOBS ERIC C	5201 MEADOW ROCK AVE LAS VEGAS NV	12525511029
JACOBS KELLY	4650 RANCH HOUSE RD #54 NO LAS VEGAS NV	12430110091
JACOBSON ROCHELLE L	4625 CENTISIMO DR #202 NO LAS VEGAS NV	12419312102
JAMES JARROD B & JENNIFER M	4650 RANCH HOUSE RD #73 NO LAS VEGAS NV	12430110068
JANKOWSKI EDYTA & CHRISTOPHER	6718 PURACANTHA GLEN CT LAS VEGAS NV	12524710047
JENKINS JERRY W & KATHLEEN J	5017 ENCORE PARADISE AVE LAS VEGAS NV	12524611028
JENSEN MARGIE K H	1712 7TH ST SW PUYALLUP WA	12430110006
JOHNSON DANIEL L	6635 CAPORETTO LN #102-10 NO LAS VEGAS NV	12419312074
JOHNSON DONALD & ARDELLA M	6504 MIMOSA VALLEY ST LAS VEGAS NV	12524810029
JOHNSON DONNA GAIL	23 SCHWAGER CRES SASKATOON SK 57H SC1 CANADA	12419313070
JOHNSON HIEDI R	4637 GRAY FOX HEIGHTS COLORADO SPRINGS CO	12419312170
JOHNSON KROSNER TRUST	1021 MEADE AVE SAN DIEGO CA	12525511050
JOHNSON LOIS	7820 EUGENIA DR FONTANA CA	12419312108
JOHNSON TODD A	P O BOX 81873 LAS VEGAS NV	12524710056

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JOHNSON VIRGINIA R	P O BOX 95922 LAS VEGAS NV	12430110070
JOHNSTON JOYCE	4695 CENTISIMO DR #103 LAS VEGAS NV	12419312067
JOHNSTON KIMBERLY	4650 RANCH HOUSE RD #119 NO LAS VEGAS NV	12430110033
JOHNSTON STEFANI & CHRISTOPHER	6695 CAPORETTO LN #203 NO LAS VEGAS NV	12419312201
JONES BOBBY R & JACQUELINE M	20030 CAMBA AVE CARSON CA	12419312122
JONES GEORGETTE	P O BOX 1340 CHICAGO IL	12524710022
JONES MARK & CINDY	6717 HAWTHORNE CREEK CT LAS VEGAS NV	12524710038
JUAREZ RAUL	P O BOX 44148 GOODFELLOW AFB TX	12419312016
JUNIOR KEITH M & BEVERLY A	6612 SYCAMORE VIEW ST LAS VEGAS NV	12524710062
JURY JAMES D & LARA E	14216 SNOWDRIFT WY ANCHORAGE AK	12430110040
K E C J L L C	3430 BUNKERHILL DR NO LAS VEGAS NV	12419312180
K J P ASSET MANAGEMENT L L C	6706 CYPRESS PARK CT LAS VEGAS NV	12524710034
KABERNA SANDRA D	6077 W SANTOLI AVE LAS VEGAS NV	12419312091
KANE JUDITH A V	4650 RANCH HOUSE RD #124 NO LAS VEGAS NV	12430110012
KAPUSTA MARIAN H	8081 PARADISE BEACH TRL BRAINERD MN	12419312127
KARAM EMMANUEL E REVOCABLE TRUST	4625 CENTISIMO DR #13-101 NO LAS VEGAS NV	12419312097
KARSTEDT LINDA M LIVING TRUST	4630 BASILICATA LN #104 NO LAS VEGAS NV	12419313048
KAWASAKI MANNDI KIMIE	6755 ABRUZZI DR #204 NO LAS VEGAS NV	12419313112
KEHOE RICHARD J JR	6780 ABRUZZI DR #102 NO LAS VEGAS NV	12419313098
KEKSI MICHAEL L	6680 CAPORETTO LN #202 NO LAS VEGAS NV	12419312176
KHALIL FOUAD	3214 RUTLEDGE DR LAS VEGAS NV	12419312110
KISLING SHARON I	4650 RANCH HOUSE RD #120 NO LAS VEGAS NV	12430110034
KISS EVA	5124 FALL MEADOW AVE LAS VEGAS NV	12525511003
KLAPPERICK PATRICIA & ROBERT	5308 ROME BLVD LAS VEGAS NV	12419313119
KLAPPERICK ROBERT & PATRICIA A	5308 ROME BLVD LAS VEGAS NV	12524701010
KLAPPERICK ROBERT & PATRICIA A	5308 ROME BLVD LAS VEGAS NV	12524701009
KLUNDT WILL	4650 RANCH HOUSE RD #95 LAS VEGAS NV	12430110055
KNEBERG ROBERT SCOTT	6775 ABRUZZI DR #201 NO LAS VEGAS NV	12419313093
KNIGHT ANISSA F & DWAN E	4650 RANCH HOUSE RD #67 NO LAS VEGAS NV	12430110076
KNUTSON FAMILY TRUST	6720 SYCAMORE VIEW ST LAS VEGAS NV	12524710055
KOEPP JON L	6785 CAPORETTO LN #202 NO LAS VEGAS NV	12419313034
KONTOS CHRIS	4610 PUGLIA LN 20/203 NO LAS VEGAS NV	12419312159

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KONTOS KATHY	521-525 AMBOY AVE WOODBRIDGE NJ	12419312119
KOTERAS TRUST	6780 ABRUZZI DR #104 NO LAS VEGAS NV	12419313100
KOZAI DOUGLAS K & DONNA M LIV TR	6484 YELLOW BELLS CT LAS VEGAS NV	12524810010
KRUZIC MICHAEL R	5209 FALL MEADOWS AVE LAS VEGAS NV	12525510031
KRZMARZICK KIP & KELLY	5217 ELM HILL CT LAS VEGAS NV	12524710012
KUHLENDAHL HERMAN JP XVIII	5612 AVENIDA SILLA LAS VEGAS NV	12525511041
L JOSE LUIS	5213 MEADOW ROCK AVE LAS VEGAS NV	12525511032
LAIRD RICHARD & B REV LIV TR	6488 LANTANA FALLS CT LAS VEGAS NV	12524810005
LALAKI L L C	6635 FLAMINIAN LN NO LAS VEGAS NV	12419312113
LANE SHARI L	6655 CAPORETTO LN #101/24 NO LAS VEGAS NV	12419312179
LANIA DEREK	4575 CENTISIMO DR #101 NO LAS VEGAS NV	12419312105
LANTZ JOHN B	4650 RANCH HOUSE RD #137 NO LAS VEGAS NV	12430110004
LASRY JASON	3216 MONACO SHORES DR LAS VEGAS NV	12525510059
LATIN HAYES W	4650 RANCH HOUSE RD #71 NO LAS VEGAS NV	12430110080
LAUDUCCI MICHAEL & ALEXANDRA	6765 CAPORETTO LN #103 NO LAS VEGAS NV	12419313015
LAVIN FRANCENE	4710 CENTISIMO DR #201 NO LAS VEGAS NV	12419312061
LAYNES MANUEL A & GLORIA B	6775 ABRUZZI DR #103 NO LAS VEGAS NV	12419313091
LEBENSON RICHARD J	1485 WESTWIND RD LAS VEGAS NV	12419313055
LEDESMA PAUL E	4650 RANCH HOUSE RD #113 NO LAS VEGAS NV	12430110018
LEE DIANE	3475 E TOMPKINS AVE LAS VEGAS NV	12524612002
LEE HENRY	4872 BENHAM AVE BALDWIN PARK CA	12419312101
LEFF LINDA M & ROBERT L	6316 WINTER VALLEY CT LAS VEGAS NV	12525511055
LESAGE ARTHUR W	4125 WESTBERG RD #136 HERMANTOWN MN	12524810011
LESHER ARTHUR B III & ESTER J	5112 FALL MEADOWS AVE LAS VEGAS NV	12525511006
LEWIS GREGORY D	86-D TROY DR SPRINGFIELD NJ	12419312199
LEX SPECIAL ASSETS L L C	7720 N 16TH ST #300 PHOENIX AZ	12525511046
LIGHTFOOT JAMES W JR & LEONORA S	2343 PETRUCHIO WY ROSEVILLE CA	12419313073
LIU JERRY & ANN L S	4725 CENTISIMO DR #203 NO LAS VEGAS NV	12419312047
LIU NANCY REVOCABLE TRUST	2333 JANESVILLE LN HENDERSON NV	12419312006
LIZARDO ALICIA B	6660 FLAMINIAN LN #102 NO LAS VEGAS NV	12419312138
LLAMAS CORINA	6745 CAPORETTO LN #203 NO LAS VEGAS NV	12419313011
LONG MATTHEW M	6675 ABRUZZI DR #101-1 NO LAS VEGAS NV	12419312001

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LUCAS OONALD W	5129 MEADOW ROCK AVE LAS VEGAS NV	12525511028
LUCAS LIVING TRUST	2420 GREAT AUK AVE NO LAS VEGAS NV	12419313017
LUCKEY MATTHEW	6790 CAPORETTO LN #103-36 NO LAS VEGAS NV	12419313039
LUCKNER GREGG	6418 GLIDING FLICKER ST NO LAS VEGAS NV	12419312023
LUMPKINS JOSEPH D	6755 ABRUZZI OR NO LAS VEGAS NV	12419313109
LUTZ TRAVOR S & VERNA	5208 PRIMROSE FLOWER AVE LAS VEGAS NV	12524710006
LYNCH NEIL & SHARON M	9813 CANTEBURY ROSE LN LAS VEGAS NV	12419312025
LYONS MICHAEL E & ELEANOR M	6636 KALOPA ST HONOLULU HI	12419312212
MA JANE Y C	673 COLONIAL DR MORGANTOWN WV	12419313010
MACAPAGAL JAIME M & MARIA FE L	219-52 74TH AVE #2 OAKLAND GARDENS NY	12419312048
MADISON TRUST	5204 HACKBERRY HILL AVE LAS VEGAS NV	12524810034
MALTEZ NORLAN A	6660 FLAMINIAN LN #204 NO LAS VEGAS NV	12419312144
MANN THERESA H & LLOYD W JR	6710 HAWTHORNE CREEK CT LAS VEGAS NV	12524710041
MARIN JOSE B	6675 UPLAND HEIGHTS AVE LAS VEGAS NV	12419312128
MARQUEZ ISAURO S	5400 VERBENA CREEK CT LAS VEGAS NV	12524410016
MARSHALL MICHAEL J SR & ANN	100 CDANTERBURY AVE DALY CITY CA	12419313082
MARTIN D & J 1997 TRUST	6719 SYCAMORE VIEW ST LAS VEGAS NV	12524710054
MARTIN GABRIELE T	4705 APULIA DR #103 NO LAS VEGAS NV	12419312213
MARTIN JEFFREY A	P O BOX 33131 LAS VEGAS NV	12419313038
MARTIN JODY A	6655 ABRUZZI DR #202/03 NO LAS VEGAS NV	12419312022
MARTINEZ KENNETH E	4650 RANCH HOUSE RD #138 NO LAS VEGAS NV	12430110003
MARTINEZ-TORO CHRISTY A	6630 FLAMINIAN LN #104-16 NO LAS VEGAS NV	12419312124
MARTINI MARY	P O BOX 751773 LAS VEGAS NV	12419313079
MATEY MICHAEL P	6317 WINTERVALLEY CT LAS VEGAS NV	12525511047
MATYS JOHN A & CONCEPCION A	5101 MEADOW ROCK AVE LAS VEGAS NV	12525511021
MCALLISTER GARRETT H	7084 ST LUCIA ST LAS VEGAS NV	12524801008
MCCABE DEVIN T	4650 RANCH HOUSE RD #114 NO LAS VEGAS NV	12430110017
MCCAFFREY MICHAEL D & PETER	4650 RANCH HOUSE RD #78 NO LAS VEGAS NV	12430110073
MCCALL OON	12 PANAMOUNT CR NW CALGARY AB T3K 5L7 CANADA	12419313075
MCCLAIN FRANCES E	6313 MONARCH CREEK ST LAS VEGAS NV	12525511056
MCCLINTON RICHARD H & VIRGINIA I	4705 APULIA DR #202 NO LAS VEGAS NV	12419312216
MCCUISTION A ELAINE & ALEJANDRA	5217 MEADOW ROCK AVE LAS VEGAS NV	12525511033

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MCDADE KENNETH W	6329 MONARCH CREEK ST LAS VEGAS NV	12525511059
MCDADE REGINA R	6332 MONARCH CREEK ST LAS VEGAS NV	12525511013
MCDONALD JULIE C & BRUCE L	4720 CENTISIMO DR #101 NO LAS VEGAS NV	12419312049
MCDONNELL HELEN	6489 LANTANA FALLS CT LAS VEGAS NV	12524810002
MC GEE CHANELLE K	5308 FIRESIBE RANCH AVE NO LAS VEGAS NV	12419313094
MCGLAUGHLIN DAVID & MARY JO	6721 YELLOWWOOD COVE ST NO LAS VEGAS NV	12419311081
MCINTOSH MYRA T	6655 FLAMINIAN LN #201 LAS VEGAS NV	12419312133
MCINTYRE KEVIN T & SHELLEY W	5304 EVERGREEN MEADOW LAS VEGAS NV	12419312121
MCJOHN FRANCIS JR & DOROTHY J	6329 WHISPERING MEADOW CT LAS VEGAS NV	12525511039
MCKENDELL ALBANY & HEDY	6732 YELLOWWOOD COVE ST NO LAS VEGAS NV	12419311154
MCKENNA LORI E	4650 RANCH HOUSE RD #82 NO LAS VEGAS NV	12430110063
MCLEOD MEGHAN K & DEAN E	4650 RANCH HOUSE RD #139 NO LAS VEGAS NV	12430110002
MC MILLON CEDRIC D & CAMBRIA	3913 BUTEO LN NO LAS VEGAS NV	12419313012
MCNULTY SEAN P	4575 CENTISIMO DR #201 BLDG 14 NO LAS VEGAS NV	12419312109
MCQUAID MICHAEL C SR	6344 MONARCH CREEK ST LAS VEGAS NV	12525511010
MEHLINGER JILL L	6625 ABRUSSI DR #103/05 NO LAS VEGAS NV	12419312035
MELENDEZ MICHAEL D	2281 AMELIA CT SIGNAL HILL CA	12419313127
MERRICK DONESHA L	4650 RANCH HOUSE RD #74 NO LAS VEGAS NV	12430110069
MERTENS JOHN & ROSEMARY FAM TR	5324 TURKEY LN LAS VEGAS NV	12524801006
MEZA DANIELLE B	6655 ABRUZZI DR #104 NO LAS VEGAS NV	12419312020
MIHALTAN TRAIAN N & DANIELA A	4725 BASILICATA LN #202 NO LAS VEGAS NV	12419313074
MILAK PAUL D & MARY ANNE	4650 RANCH HOUSE RD #129 NO LAS VEGAS NV	12430110007
MILLER BRIGHTEN R	4650 RANCH HOUSE RD #99 NO LAS VEGAS NV	12430110027
MILLER DARRYL L	4655 CENTISIMO DR 11/101 NO LAS VEGAS NV	12419312081
MILLER RONALD D & LORRAINE J	197 GINGER ROOT CT LAS VEGAS NV	12525510037
MILLER ZACHARAS M	4650 RANCH HOUSE RD #128 NO LAS VEGAS NV	12430110008
MINER AMIE V	4650 RANCH HOUSE RD #133 NO LAS VEGAS NV	12430110041
MINGAY DAVID A & CHERYL ANN	1703 MILDRED AVE MARQUETTE MI	12419312141
MIRANDA JOHNNY	6328 WHISPERING MEADOW CT LAS VEGAS NV	12525511043
MOLINARI HEATHER J	5313 BLUE EVERGREEN AVE LAS VEGAS NV	12524710024
MONROE ANNETTE M TRUST	6316 MONARCH CREEK ST LAS VEGAS NV	12525511017
MONSQUIR SPENSER	6680 ABRUZZI DR #202 NO LAS VEGAS NV	12419312014

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MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430111018
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110093
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110061
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110060
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110098
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110097
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430111016
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110059
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110057
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110058
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110094
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110095
MONTEVERDI 57 L L C	%J ZEITER 2200 PASEO PKWY #330 HENDERSON NV	12430110096
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111005
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111015
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111017
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111020
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111002
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111001
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111010
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111009
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111011
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111003
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111014
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111012
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111008
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111004
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111007
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111006
MONTEVERDI HOMEOWNERS ASSN	%DEL WEBB COMM MGT CO 8345 W SUNSET RD LAS VEGAS NV	12430111013
MOON JULIE	5205 FALL MEADOWS AVE LAS VEGAS NV	12525510030
MORA SALVADOR & BRANDI	4720 BASILICATA LN #201 NO LAS VEGAS NV	12419313081

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MORAN RANDY A	4650 RANCH HOUSE RD #79 NO LAS VEGAS NV	12430110066
MORENO REBECCA L & AMBER R	1113 OLVERN WY LAS VEGAS NV	12419312173
MORGAN JAMES P & TAMIE L	5217 HACKBERRY HILL AVE LAS VEGAS NV	12524810038
MORRELL KELLY T	6630 CAPORETTO LN #202 NO LAS VEGAS NV	12419312094
MORRIS KENNETH A & PAULETTE M	5208 ELM HILL CT LAS VEGAS NV	12524710015
MORRIS MARK & GERTRUDE V	6600 SYCAMORE VIEW ST LAS VEGAS NV	12524710065
MORTENSON DOUGLAS K & WENDY ANN	4630 BASILCATA LN #103 NO LAS VEGAS NV	12419313047
MOSES MATT A	1117 PUEBLO HILLS AVE NO LAS VEGAS NV	12419312106
MOUSSEAU GARY	45 PUTNAM RD #4 FOXBORO MA	12419311086
MUI SHIREEN	13839 RIVERSIDE DR SHERMAN OAKS CA	12419312151
MULLER WILLIAM F	%RENAISSANCE MGT 3217 S POLARIS LAS VEGAS NV	12419312052
MUNDING CECILE	4685 APULIA DR #201/27 NO LAS VEGAS NV	12419312207
MUNOZ JOSE A & VERONICA	5328 FALL MEADOWS AVE LAS VEGAS NV	12525510015
MUNTIS JEFFREY S & GERALDINE A	6704 SYCAMORE VIEW ST LAS VEGAS NV	12524710059
MURPHY RALPH R & CAROLINE J	4650 RANCH HOUSE RD #94 NO LAS VEGAS NV	12430110056
MYERS BRADLEY J & DORIANN M	6456 SANDY COPPER CT LAS VEGAS NV	12524710066
MYERS JARED	BOX 1782 LLOYDMINSTER SK S9V 1M6 CANADA	12419313071
NANCEY SHAUN K	6705 CYPRESS PAKR CT LAS VEGAS NV	12524710027
NAVA SARAH & EOUARDO	650 E AZURE #1093 NO LAS VEGAS NV	12525511008
NAVARRO JIMMY & KHIN THINNOO	6713 HAWTHORNE CREEK CT LAS VEGAS NV	12524710037
NELSON DAVID E & CHARLENE J	5001 ENCORE PARADISE AVE LAS VEGAS NV	12524611026
NELSON STEPHEN	6725 ABRUZZI DR NO LAS VEGAS NV	12419313125
NEUKAM ROGER & KIM	5201 ELM HILL CT LAS VEGAS NV	12524710016
NEVADA H A N D INC	%OEER SPRINGS ASSISTED LIV LP %M FREMAN 295 E WARM SPRINGS RD #101 LAS VEGAS NV	12524701048
NEVADA H A N O INC	%DEER SPRINGS ASSISTED LIV LP %M FREMAN 295 E WARM SPRINGS RD #101 LAS VEGAS NV	12524701049
NEWGENT JACK & VIRGINIA M	5205 BLUE EVERGREEN AVE LAS VEGAS NV	12524710018
NEWTON MATTHEW C	4685 APULIA DR #102 NO LAS VEGAS NV	12419312204
NGUYEN KIM N	18 OLD 40 ACRE MOUNTAIN RD BROOKFIELD CT	12419312042
NICHOLS SHARON	6635 FLAMINIAN LN #103-15 NO LAS VEGAS NV	12419312115
NICHOLSON ANTHONY B	6212 VALLEY GROVE CT LAS VEGAS NV	12525510061
NICHOLSON DEBRA M	6770 CAPORETTO LN #104 NO LAS VEGAS NV	12419313024
NICHOLSON FAMILY TRUST	5301 BLUE EVERGREEN AVE LAS VEGAS NV	12524710021

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NILAJKAR AMAR	4710 APULIA DR #203 NO LAS VEGAS NV	12419312233
NIX WILLIAM L & MICHELLE J	6232 VALLEY GROVE CT LAS VEGAS NV	12525510056
NOGRA JOE A & PENELOPE	6655 CAPORETTO LN #204/24 NO LAS VEGAS NV	12419312186
NOGRA WHEE-ANNE	4610 PUGLIA LN #202 NO LAS VEGAS NV	12419312158
NORMAN DAVID F & APRIL R	6935 ALIANTE PKWY #104-479 NO LAS VEGAS NV	12419311083
NOVAK LEONARO	6680 CAPORETTO LN #204 NO LAS VEGAS NV	12419312178
NOWAG DONALD C & CARLA R REV TR	6705 HAWTHORNE CREEK CT LAS VEGAS NV	12524710035
NYGARD OEWAYNE & KAREN	2001 JENNY LN MARQUETTE MI	12419312080
OAKLEY KELLEY B & DONNA L	5212 PRIMROSE FLOWER AVE LAS VEGAS NV	12524710005
OBLAD AMANDA E & JOHN T	4710 CENTISIMO DR #203 NO LAS VEGAS NV	12419312063
OJEOA ILEANA	5309 FALL MEADOWS AVE LAS VEGAS NV	12525510039
OKRAINETZ KEVIN & CYNTHIA M	51 RIVER HEIGHTS DR EOMONTON AB T6M 2R1 CANADA	12419313045
OLBIS JOE A	P O BOX 6055 S HACKENSACK NJ	12419315004
OLESKY LAWRENCE	4615 PUGLIA LN #102 NO LAS VEGAS NV	12419314002
OLSON GARY C & MARY L	6489 MIMOSA VALLEY ST LAS VEGAS NV	12524810024
O'MARA MICHAEL H & DONNA M	4300 REGENCY RIOGE CT #305 CINCINNATI OH	12419313126
ORAM AJALYNN M	6625 ARBRUZZI DR UNIT 101/05 NO LAS VEGAS NV	12419312033
O'RILEY ROBERT & EILEEN	21 IBSEN AVE STATEN ISLAND NY	12419312150
OSHEROFF JOAN E	6655 CAPORETTO LN UNIT 203/24 NO LAS VEGAS NV	12419312185
OUTRAM JEFFREY S	6695 CAPORETTO LN #104 NO LAS VEGAS NV	12419312198
OWENS BRIGG & DIANNE M	6770 CAPORETTO LN #203-34 NO LAS VEGAS NV	12419313027
PACHON ELVIRA	7702 CAMINITO LEON #203 CARLSBAD CA	12524612076
PANCAKE DAVID W	4675 BASILICATA LN #102 NO LAS VEGAS NV	12419313062
PARKER RICHARD B & OENISE L	6333 WINTER VALLEY CT LAS VEGAS NV	12525511051
PARKER WILLIAM & THERESA	6625 ABRUZZI OR #102 NO LAS VEGAS NV	12419312034
PARSI DOMENICO A & ELIZABETH A	2 LINOA RAE WY ARCADIA CA	12525510026
PAWLUS OAVID K & ANNA C	2844 KING MICHAEL AVE NO LAS VEGAS NV	12419312073
PAYAN CHRISTOPHER	P O BOX 509 LONG BEACH NY	12419313052
PEACH JOHN L L C	7433 CRESTEO QUAIL ST NO LAS VEGAS NV	12419312168
PELARDIS TSAMBIKA E	P O BOX 342 MILLBURN NJ	12419312202
PENSIS MARSHA A	6770 CAPORETTO LN #102 NO LAS VEGAS NV	12419313022
PEREZ DYALMA	6493 MIMOSA VALLEY ST LAS VEGAS NV	12524810023

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PERKINS MARIO J & CYNTHIA M	6493 GAZANIA ST LAS VEGAS NV	12524810013
PERRY TERESA	5316 FALL MEADOWS AVE LAS VEGAS NV	12525510018
PETERS DOUGLAS L & LAURIE A	6488 GAZANIA ST LAS VEGAS NV	12524810017
PETERSON NELSON & ROBIN	14710 45 AVENUE EDMONTON ALBERT T6H5M5 CANADA	12419312038
PETRIN ANTHONY J	6635 CAPORETTO LN #203 NO LAS VEGAS NV	12419312079
PFAU MEADOW ROCK L L C	%D PFAU 4124 ANTIQUE STERLING CT LAS VEGAS NV	12525511024
PICCINONNO NICK	5116 FALL MEADOWS AVE LAS VEGAS NV	12525511005
PICERNE DECATUR BIDDEFORD ETAL	%RYAN INC %B FERRIE 2355 E CAMELBACK RD #825 PHOENIX AZ	12419401014
PICHON WALTER J & REGINA C	5216 HACKBERRY HILL AVE LAS VEGAS NV	12524810037
PINGATORE RANDY D & JULIE K	105 W WATER ST SAULT STAINTE MARIE MI	12419312137
PLASIL ANTON	10465 CHANDRA AVE LAS VEGAS NV	12525511063
POOLE DALE D	4685 APULIA DR #101 NO LAS VEGAS NV	12419312203
POWELL HENRY P	4650 RANCH HOUSE RD #57 NO LAS VEGAS NV	12430110088
POWELL JASON C & JENNIFER P	4650 RANCH HOUSE RD #90 NO LAS VEGAS NV	12430110031
POWER DAVID MCELROY & MARIA RITA	5900 OAKTON ST LAS VEGAS NV	12419314004
PREMSRIRUT ROPCHAI	%Y WDLDU 871 CORONADO CENTER DR #100 HENDERSON NV	12419312225
PRENTICE REYES M	6760 ABRUZZI DR #102/46 NO LAS VEGAS NV	12419313114
PRESLIK BOBBIE M & JOHN R	4660 BASILICATA LN #204 NO LAS VEGAS NV	12419313060
PRINCE PAUL E JR & DONNA L	10332 PACIFIC SUMMERSET LN LAS VEGAS NV	12419313021
PROFIT EDWARD C	6660 FLAMINIAN LN #18/203 NO LAS VEGAS NV	12419312143
PROVOST ROBERT G	6760 ABRUZZI DR #202 NO LAS VEGAS NV	12419313118
PRUETT JOHN D	305 SAN VICENTE BLVD #301 SANTA MONICA CA	12419312118
PU YI CHUN	6760 ABRUZZI DR #204 NO LAS VEGAS NV	12419313120
PUGH FAMILY REVDCABLE LIV TR	5209 HACKBERRY HILL AVE LAS VEGAS NV	12524810040
PUIG NICK & RAYSA TRUST	633 CALLE SANTA BARBARA SAN DIMAS CA	12419312012
QUEEN TAMIKA	4650 RANCH HOUSE RD #92 NO LAS VEGAS NV	12430110029
QUIROZ JORGE JR & CECILIA	4650 RANCH HOUSE RD #100 NO LAS VEGAS NV	12430110026
RAFAEIL FAMILY TRUST	6485 LANTANA FALLS CT LAS VEGAS NV	12524810003
RALCO LIVING TRUST	5204 ACACIA VIEW AVE LAS VEGAS NV	12524810042
RAMACHANDRAN RAMANATHAN	4720 AQUILIA DR #29/202 NO LAS VEGAS NV	12419312224
RAMEY NATALIE	6785 CAPORETTO LN #102 NO LAS VEGAS NV	12419313030
RAMOS ROGER	11819 HUGANA PL LAS VEGAS NV	12419312009

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RANK FAMILY TRUST	4465 VALLEY QUAIL WY NO LAS VEGAS NV	12419311074
RAUSCH KATRINA	6333 WHISPERING MEADDW CT LAS VEGAS NV	12525511040
REED KERRY F & SUSAN A	5208 ACACIA VIEW AVE LAS VEGAS NV	12524810043
REED OBIE & LINDA L	4650 RANCH HOUSE RD #107 NO LAS VEGAS NV	12430110048
REED PAT LIVING TRUST	4913 ENCORE PARADISE AVE LAS VEGAS NV	12524611023
REED RONALD E	6118 FLEETWOOD LN CHINO HILLS CA	12419312145
REESE LEE M & CATHLEEN A	6775 ABUZZI DR #203 NO LAS VEGAS NV	12419313095
REICH RICKEY R & EVELYN M M	6540 BRADLEY RD LAS VEGAS NV	12524403004
REID GARY D	5208 HACKBERRY HILL AVE LAS VEGAS NV	12524810035
REIF JOSEPH & KARA	4650 RANCH HOUSE RD #81 NO LAS VEGAS NV	12430110064
RESUELLO ADELAIDA	7240 SHENANDOAH SPRINGS AVE LAS VEGAS NV	12524801001
REYES MAURO B & MARY I	6785 CAPORETTO LN #204 NO LAS VEGAS NV	12419313036
RICE KORLISS D	4685 APULIA DR #103 NO LAS VEGAS NV	12419312205
RICH DAVEY G & LORI J	6790 CAPORETTO LN #201 NO LAS VEGAS NV	12419313041
RIITANO ICELA & MICHAEL	6485 YELLOW BELLS CT LAS VEGAS NV	12524810009
RILEY BILLY K & BONITA ANN	6500 MIMOSA VALLEY ST LAS VEGAS NV	12524810028
RIVERS STACIE L	8112 SAPHIRE BAY CIR LAS VEGAS NV	12419312172
ROBICHEAU HARVEY JOHN & CAROL A	6675 CAPORETTO LN #204 NO LAS VEGAS NV	12419312194
ROBINSON CHARLES W	4905 ENCORE PARADISE AVE LAS VEGAS NV	12524611022
ROBINSON FAMILY TRUST	6496 GAZANIA ST LAS VEGAS NV	12524810019
ROBINSON SOLOMON & JO E	6496 MIMOSA VALLEY ST LAS VEGAS NV	12524810027
RODRIGUES FRANCIS J REV LIV TR	54-148 HAUULA HMSTD RD HAUULA HI	12419312197
RODRIGUEZ DAMIAN A	6324 WINTER VALLEY CT LAS VEGAS NV	12525511048
RODRIGUEZ DAMIAN A	6324 WINTER VALLEY CT LAS VEGAS NV	12525511053
RODRIGUEZ RACQUEL	6725 YELLOWWOOD COVE ST NO LAS VEGAS NV	12419311082
RODRIQUEZ BARBARA L & SHELLEY	6690 FLAMINIAN LN #102 NO LAS VEGAS NV	12419312146
ROGERS CLAIR F	5201 BLUE EVERGREEN AVE LAS VEGAS NV	12524710017
ROHM WILLIAM K	4650 RANCH HOUSE RD #143 NO LAS VEGAS NV	12430110045
ROME MINI STORAGE PARTNERS L L C	10624 S EASTERN AVE #A-262 HENDERSON NV	12419401015
ROMEO CARMINE N	6709 HAWTHORNE CREEK CT LAS VEGAS NV	12524710036
ROMERO JESUS & OLEMA	6709 CYPRESS PARK CT LAS VEGAS NV	12524710028
ROY DARLENE K	5200 AUTUMN MEADOW AVE LAS VEGAS NV	12525610042

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ROY TERRY C & PEGGY L REV LIV TR	6808 HAZELNUT GARDEN ST LAS VEGAS NV	12524611021
RUEBELMANN THOMAS & VICKI	5025 ENCORE PARADISE AVE LAS VEGAS NV	12524611029
RUNNELS CHERYL L	4710 APULIA DR #204 NO LAS VEGAS NV	12419312234
RUSS MARK L	4650 RANCH HOUSE RD #72 NO LAS VEGAS NV	12430110067
SACHETTI EDWARD J JR & KELLEY T	5209 BLUE EVERGREEN AVE LAS VEGAS NV	12524710019
SACHS BRIAN R & SHAUN D	5216 ACACIA VIEW AVE LAS VEGAS NV	12524810045
SADEGHIAN TRUST ETAL	1205 PACIFIC HWY #2703 SAN DIEGO CA	12524801004
SADIQ AMINA O	4660 BASILICATA LN #201 NO LAS VEGAS NV	12419313057
SAHLEN CHRISTIAN C	2957 KALAKAUA AVE #511 HONOLULU HI	12419312046
SALAZAR EDGAR R & LILIAN A	6324 MONARCH CREEK ST LAS VEGAS NV	12525511015
SALAZAR JOSEF E	5300 FALL MEADOWS AVE LAS VEGAS NV	12525510022
SALAZAR STEPHEN R & MELISSA S	4710 APULIA DR #201 NO LAS VEGAS NV	12419312231
SALVIA JOHN	6680 ABRUZZI DR #201 NO LAS VEGAS NV	12419312013
SAMANIEGO MARK & JODY M	PSC 94 BOX 2169 APO AE	12430110053
SAMPSON ROBBIE J & JENNIFER K	2451 WILDFLOWER DR MOHAVE VALLEY AZ	12430110050
SANDER WILLIAM & JILL	5305 FALL MEADOWS AVE LAS VEGAS NV	12525510038
SANDERS VICTORIA R	4675 BASILICATA LN #103 NO LAS VEGAS NV	12419313063
SANDOR GEORGE	6775 ABRUZZI DR #101 NO LAS VEGAS NV	12419313089
SANDOVAL YOLANDA	4705 APULIA DR #204/28 NO LAS VEGAS NV	12419312218
SANTA TERESA J EMMANUEL I	P O BOX 5577 LOMPOC CA	12419312018
SANTOS AARON & REBECCA	4650 RANCH HOUSE RD #134 NO LAS VEGAS NV	12430110042
SATARAKA TANIELU D & LYNDAS	6320 WHISPERING MEADOW CT LAS VEGAS NV	12525511045
SAVAGE ANTHONY J & CHRISTINE	6325 WINTER VALLEY CT LAS VEGAS NV	12525511049
SAVARESE DEBRA A	5121 MEADOW ROCK AVE LAS VEGAS NV	12525511026
SAVARINO JOSEPH M	14 CAMINO BARCELONA PL HENDERSON NV	12419312032
SCHAEFER JILL E	5291 CHANDLER WAY OREFIELD PA	12419312087
SCHAFER GARY R	6780 ABRUZZI DR #203 NO LAS VEGAS NV	12419313103
SCHEP RAYMOND	10078 WESTWANDA DR BEVERLY HILLS CA	12419312045
SCHEUER JOHN M	4650 RANCH HOUSE RD #76 NO LAS VEGAS NV	12430110071
SCHICK CARROLL GEORGE & MARY A	4650 RANCH HOUSE RD #65 NO LAS VEGAS NV	12430110074
SCHLECHT RICKY O & MARY DAWN	P O BOX 750518 LAS VEGAS NV	12524304010
SCHMIDT KIMBERLY A	4650 RANCH HOUSE RD #109 NO LAS VEGAS NV	12430110022

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SCHOOL BOARD OF TRUSTEES	%B RODGERS 2832 E FLAMINGO RD LAS VEGAS NV	12419301003
SCHULTZ GARY D	P O BOX 3273 LONG BEACH CA	12525511036
SCOTT FE A	4725 BASILICATA LN #104 NO LAS VEGAS NV	12419313072
SCOTT GRAHAM	2421 PALMRIDGE DR LAS VEGAS NV	12419313123
SECRETARY HOUSING & URBAN DEV	%JP MORGAN CHASE HOME FIN 800 BROOKEDGE BLVD WESETERVILLE OH	12430110030
SEIBERT WALTER W & LAEL K FAM TR	6489 GAZANIA ST LAS VEGAS NV	12524810014
SEMLINSKI ROBERT A & KAREN L	5200 FALL MEADOWS AVE LAS VEGAS NV	12525511001
SERRANO DAVID M & ELIZABETH	5208 FALL MEADOWS AVE LAS VEGAS NV	12525510028
SERRITELLA JANICE	5150 DEER SPRINGS WY LAS VEGAS NV	12524602015
SESOCK CAROLE P	6112 WINTER MEADOW ST LAS VEGAS NV	12525610035
SHADOW MOUNTAIN MARKETPLACE LLC	5330 DEBBIE RD #100 SANTA BARBARA CA	12524811003
SHANE MICHAEL	6785 CAPORETTO LN #103-35 NO LAS VEGAS NV	12419313031
SHAW CHRISTOPHER R	6745 CAPORETTO LN #101 NO LAS VEGAS NV	12419313005
SHEA KATHLEEN A	4937 MEADOWS ENCORE AVE LAS VEGAS NV	12419312019
SHEEHAN IAN C	4650 RANCH HOUSE RD #69 NO LAS VEGAS NV	12430110078
SHELDON RICHARD R & CHRISTINA L	5212 HACKBERRY HILL LAS VEGAS NV	12524810036
SHEPHERD CASEY	4610 PUGLIA LN #102 NO LAS VEGAS NV	12419312154
SHIP PRENTICE L	6512 MIMOSA VALLEY ST LAS VEGAS NV	12524810031
SHIRLEY RONNIE M JR & DEANNE M	6324 WHISPERING MEADOW CT LAS VEGAS NV	12525511044
SIEGEL EVAN A	4650 RANCH HOUSE RD #123 NO LAS VEGAS NV	12430110037
SIELAFF DONALD	4650 RANCH HOUSE RD #116 NO LAS VEGAS NV	12430110015
SIFUENTES FAMILY TRUST	11316 ALTURA VISTA DR LAS VEGAS NV	12525510033
SILAS TRACY & TONINETTE	5400 MESQUITE MEADOW CT LAS VEGAS NV	12524410010
SITTIG JOSEPHINE C & DOLAN R	9532 PACIFIC VIEW DR LAS VEGAS NV	12419312088
SLAUGHTER JENNIFER K	6423 GAZANIO ST LAS VEGAS NV	12524810018
SLIM RAGI	4655 CENTISIMO DR #22 NO LAS VEGAS NV	12419312086
SMITH DENISE S	6790 CAPORETTO LN #204 NO LAS VEGAS NV	12419313044
SMITH KRISTYN	4615 PUGLIA DR #201 NO LAS VEGAS NV	12419314003
SORENSEN RANDY	4630 BASILICATA LN #203 NO LAS VEGAS NV	12419313051
SOTO JOSE ALFREDO & RACHEL M	6640 ABRUZZI DR #201 NO LAS VEGAS NV	12419312029
SOUTHERLAND WESLEY	4929 ENCORE PARADISE AVE LAS VEGAS NV	12524611025
SPRINGER LILET	530 LA CANADA AVE OXNARD CA	12419312008

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STANFILL CHARLES	6785 CAPORETTO LN #101-35 NO LAS VEGAS NV	12419313029
STERLING DEBRA JEAN	6680 CAPORETTO LN #104 NO LAS VEGAS NV	12419312174
STEWART ANTHONY N JR & CHARLINE	5121 FALL MEADOWS AVE LAS VEGAS NV	12525511064
STLAURENT JILL & CAMILLE	3410 MAC NEIL LINK N W EDMONTON AB T6R 3VA CANADA	12419313007
STOTTLEMYER GLENDA	6328 MONARCH CREEK ST LAS VEGAS NV	12525511014
STURDIVANT ARTHUR L & LULA M	6605 SYCAMORE VIEW ST LAS VEGAS NV	12524710008
SUTHERLAND VALGENE W	6321 WHISPERING MEADOW CT LAS VEGAS NV	12525511037
SWAIN ELIJAH	5348 LATTICE CT NO LAS VEGAS NV	12419312026
SWIERSKI DUANE E & THERESA A	6108 WINTER MEADOW ST LAS VEGAS NV	12525610034
TACKETT GARRICK E & CARRIE A	4324 DESERT HAVEN AVE NO LAS VEGAS NV	12419312182
TAGLIENTI PAOLINA	6418 GILDED FLICKER ST NO LAS VEGAS NV	12419313107
TAKENAKA ALAN A & FRANCINE	94-504 KEALOHI WY MILILANI HI	12419315005
TANG LILY C	4660 BASILICATA LN #203 NO LAS VEGAS NV	12419313059
TARGET CORPORATION	%REAL EST-EXISTING STORES 1000 NICOLLET MALL MINNEAPOLIS MN	12525512001
TATE JESSE A & DOROTHY L	5213 BLUE EVERGREEN AVE LAS VEGAS NV	12524710020
TAXPAYER	LAS VEGAS NV	12524710061
TEN L V L L C	7433 CRESTED QUAIL ST NO LAS VEGAS NV	12419312169
TEN L V L L C	7433 CRESTED QUAIL ST NO LAS VEGAS NV	12419312071
TEN L V L L C	7433 CRESTED QUAIL ST NO LAS VEGAS NV	12419312223
TESI MICHAEL III	4650 RANCH HOUSE RD #58 NO LAS VEGAS NV	12430110081
THACKER ZINKA	4650 RANCH HOUSE RD #136 NO LAS VEGAS NV	12430110005
THEORET JAMIE J	4710 APULIA DR #202 NO LAS VEGAS NV	12419312232
THOMAS ASHLEY M	4650 RANCH HOUSE RD #117 LAS VEGAS NV	12430110014
THOMAS TOBY LIVING TRUST	5410 ANO DR LAS VEGAS NV	12524302027
THORNS MICHAEL	6229 VALLEY GROVE CT LAS VEGAS NV	12525510054
THROWER MARK EVERETT	3305 KEMP ST NO LAS VEGAS NV	12524602017
TIERNEY WILLIAM R III TRUST	4695 CENTISIMO DR #204 NO LAS VEGAS NV	12419312072
TIGNO ANA MIRANDA	6325 WHISPERING MEADOW CT LAS VEGAS NV	12525511038
TIMM GERALD L	8813 PINE PITCH DR LAS VEGAS NV	12524612074
TINTINGER LONA A	4720 BASILICADA LN #101 NO LAS VEGAS NV	12419313077
TIPPIT CHASE D & LESLIE M	4650 RANCH HOUSE RD #59 NO LAS VEGAS NV	12430110082
TODD RANDALL S & EDNA	6484 GAZANIA ST LAS VEGAS NV	12524810016

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TODD STEVEN D	6790 CAPORETTO LN #101 NO LAS VEGAS NV	12419313037
TOLSTER 1991 TRUST	5205 HACKBERRY HILL AVE LAS VEGAS NV	12524810041
TONKS KIP S & KAREN N	4650 RANCH HOUSE RO #130 NO LAS VEGAS NV	12430110038
TORRES JOSEPHINE J & GEORGE	4650 RANCH HOUSE RD #106 NO LAS VEGAS NV	12430110049
TOSH TERICA	4610 PUGLIA LN #103 NO LAS VEGAS NV	12419312155
TOSTON FRANCES MARIE REV LIV TR	6760 ABRUZZI DR #101 NO LAS VEGAS NV	12419313113
TOWNSENO BRIAN T	6750 CAPORETTO LN #201-31 NO LAS VEGAS NV	12419315003
TRAN SON	740 LA TOSCA ST LAS VEGAS NV	12419313108
TREMBLAY PETER	6765 CAPORETTO LN #102 NO LAS VEGAS NV	12419313014
TRISARAHCHOPS HOLDINGS L L C	4560 S DECATUR BLVD #201 LAS VEGAS NV	12419312114
TROIANO ANDREW JR & BARBARA M	20614 CALHAVEN DR SANTA CLARITA CA	12419312111
TRUJILLO JOSE M & SILVIA	834 ST GEORGE CIR SALINAS CA	12419312175
TRUSTEE CLARK COUNTY TREASURER	%FREEMAN ROOSEVELT 3808 BANANA CT LAS VEGAS NV	12525610040
TSUCHIDA JOANN M	5221 LOS HERMOSOS WY LOS ANGELES CA	12430110084
TURNER JULIUS W	5108 AUTUMN MEADOW LN LAS VEGAS NV	12525610038
UPTON EMIKO	12530 PENSKE ST MORENO VALLEY CA	12419315008
USA	%R YOAKUM %REAL EST & ASSET MGT 400 STEWART AVE 4TH FLR LAS VEGAS NV	12524701037
USA MARSHALS SERVICE	%D HOLLINGSWORTH 333 S LAS VEGAS BLVD #5000 LAS VEGAS NV	12524710050
UZUNYAN ALBERT	12227 HARTLAND ST N HOLLYWOOD CA	12525511027
VALENZUELA MARCELO L & KRISTI D	4685 APULIA DR #202 NO LAS VEGAS NV	12419312208
VALLEY GROVE FAMILY TRUST	6228 VALLEY GROVE CT LAS VEGAS NV	12525510057
VAN LEE CURTIS JR	6236 AUTUMN CREEK DR LAS VEGAS NV	12525510043
VANARSDALE FRANK J & KAREN E	5109 MEADOW ROCK AVE LAS VEGAS NV	12525511023
VANOERBERRY ROBIN P & BRENDA J	5612 SUMMER SPLASH CT LAS VEGAS NV	12419312156
VANDERPUY BENJAMIN T	416 SWIFT FOX RUN CRESTVIEW FL	12419312123
VANDOOREMAAL PAULUS	4650 E RANCH HOUSE RD #142 NO LAS VEGAS NV	12430110044
VAUGHAN SANDRA L & KEITH L	4650 RANCH HOUSE RD #108 NO LAS VEGAS NV	12430110047
VAVRO GERALD S & GINA M LIV TR	6489 YELLOW BELLS CT LAS VEGAS NV	12524810008
VELASQUEZ SHEILA	P O BOX 370073 LAS VEGAS NV	12419312126
VENCIENE SNAIGUOLE	2360 NICHOLS CANYON RD LOS ANGELES CA	12419313054
VENTURA DAVID F & NANCY S	6705 PYRACANTHA GLEN CT LAS VEGAS NV	12524710043
VEREEN MELINDA A	4720 BASILICATA LN #203 NO LAS VEGAS NV	12419313083

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VERLEY FRANKLYN	6625 ABRUZZI DR #203/05 NO LAS VEGAS NV	12419312039
VICTORY TRUST	4780 W ANN RD #5-452 NO LAS VEGAS NV	12419312107
VILLANO WILLIAM M & SHIRNICE L	5212 ELM HILL CT LAS VEGAS NV	12524710014
VILLANUEVA JOSE C	8275 CORBETT ST LAS VEGAS NV	12525511012
VILLAVERDE VILMER	5525 E HARBURY ST LONG BEACH CA	12525510021
VISSER ROGER E & JUDIE LEE	1684 N HOMSY AVE CLOVIS CA	12419313084
VOCANA JEFFREY M	6655 ABRUZZI DR #101 NO LAS VEGAS NV	12419312017
VONDAL JESSICA R	4610 PUGLIA LN #20/101 NO LAS VEGAS NV	12419312153
VONGCHAREONATHIT KANO GPORN	4725 CENTISIMO DR #103 NO LAS VEGAS NV	12419312043
W I P-C D L L C	2320 PASEO DEL PRADO #B305 LAS VEGAS NV	12430112001
WACHOVIA MORTGAGE F S B	4101 WISEMAN BLVD SAN ANTONIO TX	12525511022
WAKEFIELD THEODORE M & LINDA M	6492 LANTANA FALLS CT LAS VEGAS NV	12524810006
WALLER ANDREW G & OTGO A	6304 MONARCH CREEK ST LAS VEGAS NV	12525511020
WAL-MART STORES INC	%PPTY TAX DEPT P O BOX 8050 MS 0555 BENTONVILLE AR	12419412001
WALTON BARBARA J	6725 ABRUZZI DR #104 NO LAS VEGAS NV	12419313124
WARNER CHRIS & KAMIKA	1705 FIREFLY RANCH LN NO LAS VEGAS NV	12419312220
WATERS FAMILY TRUST	6484 LANTANA FALLS CT LAS VEGAS NV	12524810004
WAUGH KAREN M	P O BOX 35183 LAS VEGAS NV	12419312183
WEIR LARISSA F	4650 RANCH HOUSE RD #64 NO LAS VEGAS NV	12430110087
WELLS FAMILY TRUST	5200 HACKBERRY HILL AVE LAS VEGAS NV	12524810033
WESSON RHONDA	P O BOX 34437 LAS VEGAS NV	12419312171
WEYMOUTH KELLY J	10228 COWBOYS DREAM ST LAS VEGAS NV	12419314001
WIESEKE CYNTHIA COMPISE	5850 SKYPOINT DR #1142A LAS VEGAS NV	12524612078
WILFONG ROBERT G & JOANN	6516 MIMOSA VALLEY ST LAS VEGAS NV	12524810032
WILLIAMS TAMMI N	4705 APULIA DR #201/28 NO LAS VEGAS NV	12419312215
WILLNER AMANDA C	5212 FALL MEADOWS AVE LAS VEGAS NV	12525510027
WILLNER MATTHEW J & AMY M	5224 FALL MEADOWS AVE LAS VEGAS NV	12525510024
WILSON LYNN M	5220 FALL MEADOWS AVE LAS VEGAS NV	12525510025
WISE EUGENE JR	6233 VALLEY GROVE CT LAS VEGAS NV	12525510055
WITHAM DAVID E & CONNIE	5317 ROME BLVD LAS VEGAS NV	12524801002
WONG SALVADOR & FE	9210 CAYUGA AVE SUN VALLEY CA	12419311076
WONG SIMON & JOAN	4725 BASILICATA LN #204 NO LAS VEGAS NV	12419313076

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WOOTTON DANIEL R & MARY E	P O BOX 1554 ROUND MOUNTAIN NV	12419313102
WORNICA AMBER L & NATHAN I	4720 BASILICATA LN #104 NO LAS VEGAS NV	12419313080
WORTHING CHRISTOPHER	6675 ABRUZZI DR #203 NO LAS VEGAS NV	12419312007
WRIGHT IAN R	6813 CORBEL CT LAS VEGAS NV	12524612073
WU PING C	4710 CENTISIMO DR #102/8 NO LAS VEGAS NV	12419312058
WU YIN J	P O BOX 1434 LAS VEGAS NV	12419312037
WUNSCHER REBECCA A	4650 RANCH HOUSE RD #111 NO LAS VEGAS NV	12430110020
WURSTER JOEL A	8620 PAINTED HORSESHOE ST LAS VEGAS NV	12419312066
YANTZ DARLENE A	5205 MEADOW ROCK AVE LAS VEGAS NV	12525511030
YEAGER DEAN ROBERT	6601 BRADLEY RD LAS VEGAS NV	12524304012
YOCKEY KEN & TAMI	214271 PLATSEK DR CHUGIAK AK	12419313043
YOUNGARD TIMOTHY & DANNAE	6224 VALLEY GROVE LAS VEGAS NV	12525510058
ZAPPULLA VINCENT JR & MARCELLA	6755 ABRUZZI DR #101 NO LAS VEGAS NV	12419313105
ZEDEK RON	5329 S EASTERN AVE LAS VEGAS NV	12419313049
ZEIGLER ULYSSES E & RAUNA	4650 RANCH HOUSE DR #118 LAS VEGAS NV	12430110013
ZIERING REGINA J	50 SUTTON PL SO #19H NEY YORK NY	12419312152
ZOANNI ANDREA J	639 EMBER ROCK AVE HENDERSON NV	12419312015
ZOLLNER MARTIN	4650 RANCH HOUSE RD #66 NO LAS VEGAS NV	12430110075