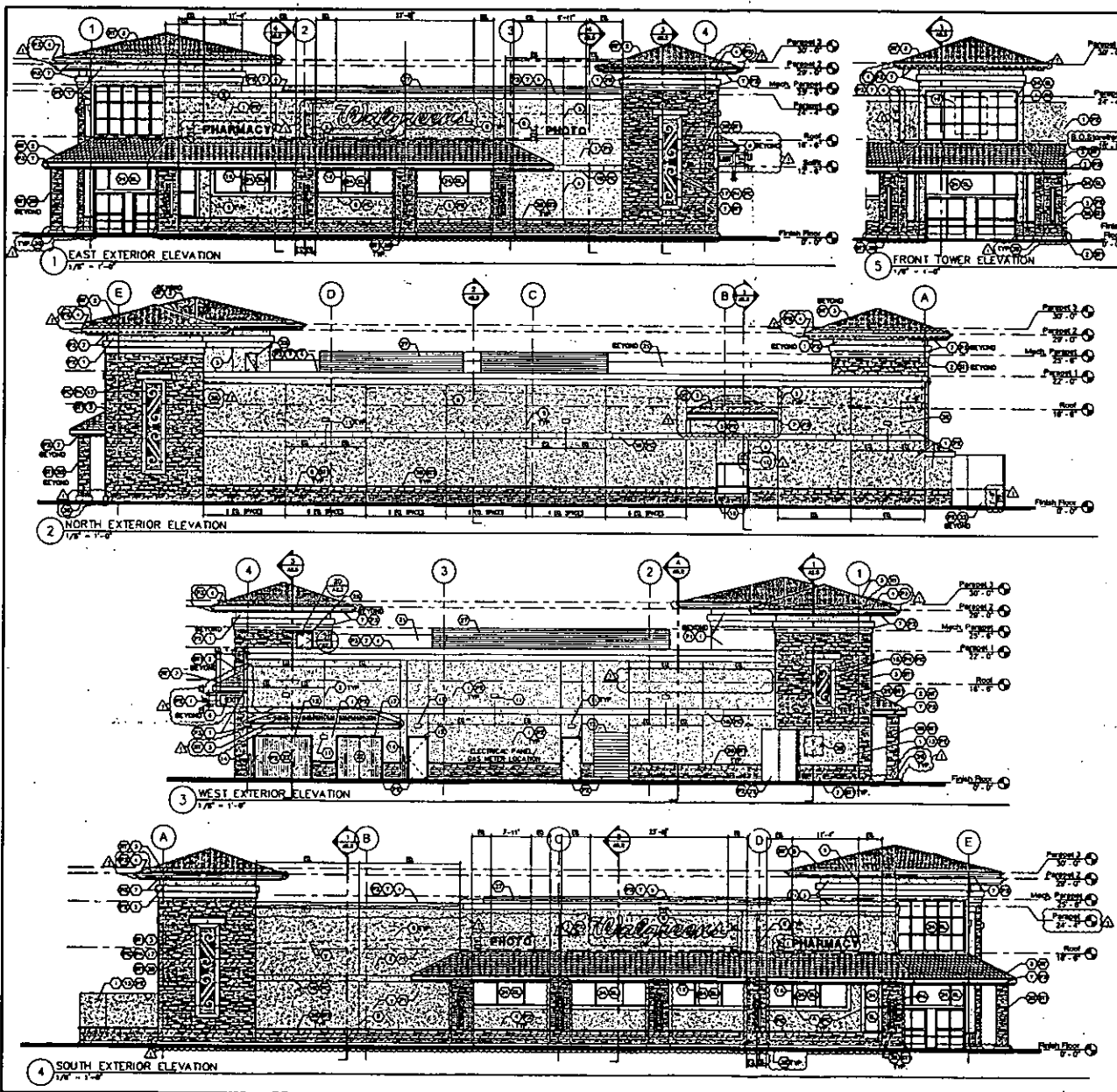




EXTERIOR ELEVATIONS KEYED NOTES

- ① STUCCO SYSTEM: SEE FINISH SCHEDULE AND SPEC.
- ② STONE VENEER SYSTEM: SEE FINISH SCHEDULE AND SPEC.
- ③ ROOF TILE: SEE FINISH SCHEDULE.
- ④ REDUCED-SHAFT METAL DOWNSPOUTS AND GUTTERS: SEE SPEC. FOR MATERIALS AND FINISHES.
- ⑤ TYP. STUCCO CONTROL JUNT.
- ⑥ BRIDGE UNDER SEPARATE PERMIT, SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL, CIVIL AND STREET ASLS FOR ADDITIONAL INFORMATION.
- ⑦ STUCCO APPLIED FINISH SHOWN OVER ROOF FLOW CORNER OR EAVE. SEE FINISH SCHEDULE.
- ⑧ PRE-CAST CONCRETE TRIM ALONG WINDOWS: SEE FINISH SCHEDULE.
- ⑨ PRE-CAST CONCRETE TRIM ALONG WALLS: SEE FINISH SCHEDULE.
- ⑩ WALL-MOUNTED LIGHT: SEE ELECTRICAL DRAWINGS.
- ⑪ RAIN SHIELD ABOVE DOOR.
- ⑫ TRASH COMPACTOR AND TOILE ENCLOSURES: SEE STRUCTURAL, CIVIL.
- ⑬ PVP BALLARD: SEE DETAIL 12/20A.
- ⑭ ELEVATOR COLUMBARIAN POST: FASTEN TO CONCRETE WITH BOLT.
- ⑮ WINDOW SILL.
- ⑯ PRE-CAST SON AT WALL MOUNTED LIGHT FIXTURE WITH DECORATIVE STEEL PLATE: SEE 1-A2 & FINISH SCHEDULE.
- ⑰ PRE-CAST SON AT WALL MOUNTED LIGHT FIXTURE WITH DECORATIVE STEEL PLATE: SEE 1-A2 & FINISH SCHEDULE.
- ⑱ WALKERSON GRAPHIC BEYOND: SEE DETAIL ON SHEET A3.3 AND A3.2.
- ⑲ STONE VENEER SYSTEM OVER CHU COLUMNS: SEE FLOOR PLAN SHEET A3.3 AND DETAIL 10-A2 & FOR WALL MOUNTED LIGHT FIXTURE WITH DECORATIVE PLATE.
- ⑳ APPLY STUCCO SYSTEM AT BACKS OF PARAPETS AND FLASHED FOR WALL SECTIONS.
- ㉑ PAINTED METAL GATE AT ENCLOSURE.
- ㉒ NOT USED.
- ㉓ ALUMINUM STOREFRONT: SEE SCHEDULES.
- ㉔ ACCESS PANEL: SEE SHEET A3.3.
- ㉕ PRE-CAST STONE SILL AT WAREHOUSE.
- ㉖ PREFINISHED METAL MECHANICAL ENCLOSURE - SEE WALKERSON SECTION SHEET A3.2.
- ㉗ COMPACTOR ACCESS DOOR BEYOND.
- ㉘ CITY CAMERA LOCATIONS: PROVIDE FLAT SURFACE STONE VENEER AT STONE SURFACE, COORDINATE WITH ELECTRICAL DRAWINGS FOR SIZE OF THE STONE PIECE.
- ㉙ 4\"/>

FINISH SCHEDULE

- F1 FIELD COLOR 1 - TBS (DARK BROWN)
 F2 FIELD COLOR 2 - TBS (TAN)
 F3 ACCENT COLOR 13 TBS - TBS
 F4 ACCENT COLOR 15 DECOLORATIVE GRILL - TBS
 S11 STONE VENEER - TBS
 S12 STONE SILL - TBS
 R1 SPANISH CONCRETE ROOF TILE - TBS
 GL GLASS - SEE WINDOW SCHEDULE
 PC PRECAST CONCRETE - FINISH TBS (COLOR TO MATCH F3)
 ACTUAL COLORS TBS AND APPROVED BY ARCHITECT AND WALKERSON BEFORE INSTALLATION.

RECEIVED
 JUL 15 2009

CITY OF LAS VEGAS PLANNING DIVISION NOTE:
 REFLECTIVE GLASSING AT THE PEDESTRIAN LEVEL IS PROHIBITED. GLASSING ABOVE THE PEDESTRIAN LEVEL SHALL BE LIMITED TO A MAXIMUM REFLECTANCE RATING OF 23% (AS DEFINED BY THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY).

BRESLIN BUILDERS

4445 POLARIS AVENUE, SUITE 100
 LAS VEGAS, NEVADA 89117
 PHONE: 702.735.1111
 FAX: 702.735.1111
 WWW.BRESLINBUILDERS.COM

CONSULTANT PROJECT NO. _____
 PROJECT TYPE _____

STORY		BUILDING	
NEW	☐	NEW	☐
RENOVATING	☐	EXISTING	☐
DEMOLISH	☐	TECH SHEET ONLY	☐

SKIN AREA SUMMARY

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REVISION NOTE:
 UPDATED SHEET FOR WALKERSON COMMENTS. ADJUST LOWER PARAPET HEIGHTS TO MATCH UPPER. ADDED CURB AT STONE VENEER. ADJUSTMENTS TO SKINAGE LOCATIONS. ADDED TILE ROOF TO NOTE ENCLOSURE. ADDED OUTLINE AND DIMENSIONS TO RAINSHIELD. ADJUSTED COLUMBARIAN BEAMS TO 2\"/>

NO.	DATE	BY	DESCRIPTION	COMET

CERTIFICATION AND SEAL

CONTRACTOR

FIRM NAME AND ADDRESS AND SIGNATURE OF AN AUTHORIZED OFFICIAL OF THE FIRM
 LICENSE NUMBER AND EXPIRATION DATE

SIGNATURE OF CONTRACTOR
 DATE: _____

SIGNATURE OF ARCHITECT
 DATE: _____

WALKERSON STONE #175.30
 PROJECT NAME

MEC OF DURANGO DRIVE AND DEER SPRINGS WAY
 LAS VEGAS, NEVADA

DRAWING TITLE
 EXTERIOR ELEVATIONS

CADD PLOT: _____
 VOID PLOT: _____

SCALE: 1/8\"/>

DATE: 06/11/2009
 DRAWN BY: _____
 CHECKED BY: _____

SHEET NO. _____
 OF _____

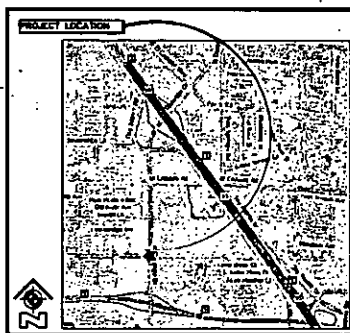
EOT-38454
 JUN 04 2010

LOS ANGELES	30,000.00 SQUARE FEET	TOTAL (A.7) AREAS
PRODUCERS	14,000 SQUARE FEET	
RETAILERS	1,000 SQUARE FEET	
WAREHOUSE	4,000 SQUARE FEET	
STATION #1	1,000 SQUARE FEET	
STATION #2	4,000 SQUARE FEET	
STATION #3	1,000 SQUARE FEET	
STATION #4	1,000 SQUARE FEET	
TOTAL BUILDING AREA	46,000 SQUARE FEET	TOTAL AREA
LOS COVERAGE	20.000	
SPED SPACE ECONOMY	17.72% OF MAXIMUM LANDSCAPE AREA, FENCED BOUNDARY, PERMITS AND VARIOUS AREA, COUNTRYSIDE, ETC. PER SCENE	
PERMITS REQUIRED CITY OF LOS ANGELES - TITLE (H4)		
SHOPPING CENTER NEARBY S.F.	46,000 SQUARE FEET (A.7) 200 - 160.00 STALLS	
TOTAL STALLS REQUIRED	160.00 STALLS REQUIRED	
PERMITS REQUIRED		
RETAILER STALLS	200 STALLS (W/ 1/2 TYP. 1)	
ADDITIONAL STALLS	0.00 AND A RETAILER STALL	
STALL SPACES	160 STALLS PROVIDED	

NETAL 60-NEW AREA + JOHANNES SQUARE (FEU) + NETAL 14.71 ACRES

Phase Two Detail Area 41,000 SQUARE FEET ±

Phase Three Detail Area 20,000 SQUARE FEET ±



APN: 125-20-201-018 (UNDEVELOPED)

APN: 125-20-201-015 (UNDEVELOPED)

PHASE THREE OFFICE ARE

(ROUGH GRADING ONLY)

FUTURE OFFICE

AREA REQUIRED TO BE FINISHED
FOR PLACING FINAL SIG-OFF
(DURING CONSTRUCTION)

NEW HALF STREET IMPROVEMENTS ALONG
PROJECT FRONTAGE ON NEW FAMILY
CORNER

HITT FAMILY COURT

DECORATIVE CON. VALLED BRASH
ENCLOSURE WITH EXTERIOR FINISHES TO
MATCH ADJACENT BUILDING STYLE
(STUCCO FOR STONE COMBINATION)
TYPICAL ALL ON-SITE BRASH
ENCLOSURE LOCATIONS

NEW 24 HOUR GARAGE FOR CITY OF LAS VEGAS
A PUBLIC WORKS RECOMMENDATION

CONSTRUCT HALF STREET IMPROVEMENTS ALONG CRUISE
SPRINGS PER CITY OF LAS VEGAS AND A TO
REQUIREMENTS INCLUDING A 50% SURPLUS PER STC

ADA ACCESS FROM PUBLIC SIDE TO BUILDING

FEEDERWAY GATEWAY LEVEL 3 FOR FIGURE 27 OF THE TOWN CENTER DEVELOPMENT STANDARDS MANUAL. AREA SHALL INCLUDE LANDSCAPE AREAS, DECORATIVE HALF COLUMN FEATURES SIMILAR TO GROUNDING COLUMNS WITH LIGHTING AND DECORATIVE GREEN SCHEM, DECORATIVE RAILING SYSTEM, FOR

NEW IMPROVEMENTS AT BACK OF ALONG AREA SHALL BE FOR THE TOWN CENTER DEVELOPMENT AT STANHOPE MARSH, FOR A PARKWAY STREET, FUTURE DE ARCHIVE TREE LAYOUTS FOR FIGURE 27 WITH DECORATIVE STREET LIGHTS AND BENCHES. IMPROVEMENTS FOR FIGURE 14 (CONCRETE SINKING FOR DECORATIVE STONES CONCRETE BORDERS, TYPICAL ALONG BURNING DRIVE AND BURNING

EXISTING LANE, CUTTER, AND MEDIAN IMPROVEMENTS
ALONG EXCHANGED DRIVE SHALL REMAIN IN PLACE
EXCEPT WHERE DRIVEWAYS CHANGES ARE ORDERED
COMPLETE

RECEIVED

OCT 27 2008

Estimating/Coordination
October 22, 2008

Overall Site Plan

Scale: 1" = 30'-0"
BSCG Project No.: 6307A.01
Version: 1801

The Village at Centennial Hills

Northwest Corner of Durango and Deer Springs, Las Vegas, Nevada

EOT-38454

JUN 04 2010

DESIGN DATA

LOT AREA	350,000.00 SQUARE FEET (8.07 ACRES)
PHARMACY	14,400 SQUARE FEET
RESTAURANT WITH DRIVE-IN	3,200 SQUARE FEET
TAVERN	4,700 SQUARE FEET
RETAIL #1	3,200 SQUARE FEET
RETAIL #2	4,700 SQUARE FEET
RETAIL #3	3,200 SQUARE FEET
OFFICE	14,400 SQUARE FEET
TOTAL BUILDING AREA	63,800 SQUARE FEET TOTAL AREA
LOT COVERAGE	22.30%
OPEN SPACE COVERAGE	27.70% (INCLUDING LANDSCAPE AREAS, FINDER ISLANDS, PARKS AND WALK AREAS, COURTYARDS, ETC. PER SCDS)
PARKING REQUIRE (CITY OF LAS VEGAS - RULE 184)	
SHOPPING CENTER INCLUDED S.F.	40,000 SQUARE FEET (A/250 = 160.00 STALLS)
TOTAL STALLS REQUIRED	160 STALLS REQUIRED
PARKING PROVIDED	
RETAIL STALLS	20 STALLS (BY LOT 3)
ACCESSIBLE STALL	1.000 AND 1.000 STALL
TOTAL SPACES	2.00 STALLS PROVIDED

ON-SITE AREA BREAKDOWNS

TOTAL ON-SITE AREA = 350,000.00 SQUARE FEET -- TOTAL (8.07 ACRES)

PHASE ONE
PHASE TWO RETAIL AREA
OFFICE ACCESS AREA

NEW 30' WIDE DRIVEWAY PER CITY OF LAS VEGAS
PUBLIC WORK REQUIREMENTS

CONSTRUCT HALF STREET IMPROVEMENTS ALONG DEER
SPRINGS PER CITY OF LAS VEGAS AND PTC
REQUIREMENTS INCLUDING A BUS TURNOUT PER AIC
STANDARD DRAWING 23A.3

ADA ACCESS FROM PUBLIC TO BUILDING
ENTRANCE

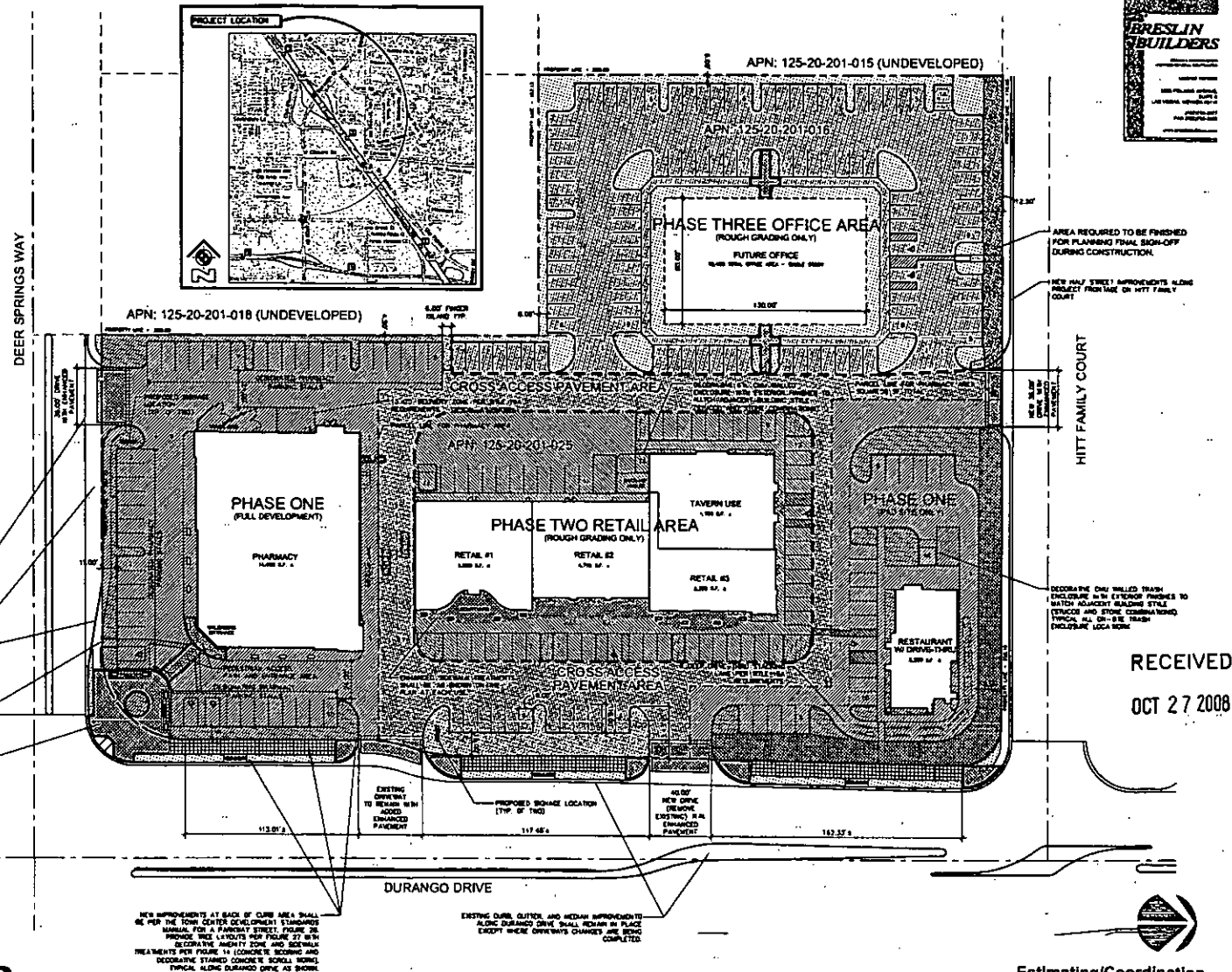
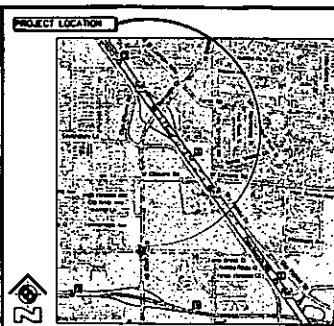
PEDESTRIAN CATERWAY LEVEL 1 PER FIGURE 37 OF
THE TOWN CENTER DEVELOPMENT STANDARDS
MANUAL. AREA SHALL INCLUDE LANDSCAPE AREAS,
DECORATIVE HALF COLUMN PLANTERS, BOLLARDS TO
BUILDING COLLARS WITH LIGHTING AND DECORATIVE
IRON WORK, DECORATIVE FARMING SYSTEM, AND
BENCHES.

NEW IMPROVEMENTS AT BACK OF CURB AREA SHALL
BE PER THE TOWN CENTER DEVELOPMENT STANDARDS
MANUAL FOR A PARKWAY STREET. FIGURE 38
PROVIDE WIDE LAYOUTS PER FIGURE 27.8 IN
DECORATIVE IDENTIFY ZONE AND SIDEWALK
TREATMENTS PER FIGURE 14 (CONCRETE BOLLARDS AND
DECORATIVE STAINED CONCRETE BOLLARDS)
TYPICAL ALONG DURANGO DRIVE AS SHOWN.

EXISTING CURB, GUTTER, AND MEDIAN IMPROVEMENTS
ALONG DURANGO DRIVE SHALL REMAIN IN PLACE
EXCEPT WHERE DRIVEWAYS CHANGES ARE BEING
COMPLETED.

Overall Site Plan

Scale: 1" = 30'-0"
BDDC Project No.: 6307A.01
Version 18g1



RECEIVED
OCT 27 2008

Estimating/Coordination
October 22, 2008

The Village at Centennial Hills
Northwest Corner of Durango and Deer Springs, Las Vegas, Nevada

EOT-38454
JUN 04 2010

LANDSCAPING GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
2. THE LANDSCAPE CONTRACTOR SHALL APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION. PLANT MATERIAL SHALL HAVE IDENTIFICATION TAGS ON AT LEAST THREE (3) TOTAL QUANTITY OF EACH SPECIES. EACH TAG SHALL SHOW THE GENUS, SPECIES AND VARIETY, ETC. THE LANDSCAPE CONTRACTOR SHALL PROVIDE MATCHING SIZES AND FORMS OF LINE NUMBER SPECIES AS SHOWN ON DRAWINGS.
3. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO DESIGN/BUILD THE IRRIGATION SYSTEM IN ACCORDANCE WITH LOCAL CODES AND ACCEPTABLE INDUSTRY STANDARDS.
4. DECOMPOSED GRANITE USED ON THIS PROJECT SHALL BE 1/4" MAX. COLOR SHALL BE MOHAWK GOLD PER TOWN CENTER STANDARDS AND SHALL BE A MINIMUM OF 2" IN DEPTH TYPICAL IN ALL PLANTING BEDS. DECOMPOSED GRANITE SHALL CURTAIN 40% FINES AND 60% NO. 10. THE LANDSCAPE CONTRACTOR SHALL RECEIVE VERIFICATION OF THIS FROM THE SUPPLIER AND PRESENT VERIFICATION TO THE OWNER PRIOR TO ANY CONSTRUCTION.
5. LANDSCAPE BOULDERS COLOR SHALL MATCH OR COMPLEMENT ROCK GROUNDCOVER. ALL BOULDERS TO BE GRANITE UNLESS NOTED OTHERWISE. BOULDERS SHALL BE ROUND IN SHAPE AND SHALL BE 2" TO 4" IN DIAMETER, SIZED ACCORDING TO THE FOLLOWING PERCENTAGES:
 - 40% 4" LARGEST DIAMETER
 - 40% 2" LARGEST DIAMETER
 - 20% 1" LARGEST DIAMETER
6. THE BOULDER SHALL BE SET BY THE LANDSCAPE CONTRACTOR WITH NO MORE 1/4" OF ROCK DIAMETER SET INTO FINISHED GRADE.
7. ALL LANDSCAPING SHALL BE INSTALLED PER CITY OF LAS VEGAS RULE 19 ZONING CODE AND OTHER APPLICABLE CODES.
8. EACH PLANT SHALL BE PROVIDED ITS OWN DRIP IRRIGATION LINE. MAIN LINES SHALL BE A MINIMUM OF 1" AND IRRIGATION VALVES SHALL BE INCORPORATED AT DIFFERENT PLANTING AREAS AND PLANTING TYPES.
9. ALL AREAS SHALL RECEIVE DECOMPOSED GRANITE AS COVERING UNLESS NOTED OTHERWISE.
10. ALL LANDSCAPING SHALL BE ON AN AUTOMATIC WATERING SYSTEM WITH AN ELECTRIC TIME CLOCK. THE TIME CLOCK SHALL BE PLACED WITHIN THE BUILDING.
11. THE LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL DEVICES REQUIRED UNDER PAYMENT AND SCHEDULED AREAS. PROVIDE A MINIMUM OF (1) PVC CONDUITS WITH (1) 1" MINIMUM AND (2) 2" MINIMUM ALL LANDSCAPE AREAS SHALL BE INTERCONNECTED.
12. ALL TREES PLANTED ALONG RIGHT-OF-WAY SHALL BE PLANTED AT 7'-0" MINIMUM BACK OF SIDEWALK. TREES WITHIN 5' OF SIDEWALKS OR WALLS SHALL BE PLANTED WITH A ROOT SHIELD DESIGNED TO DIRECT ROOT GROWTH DOWNWARD.
13. ANY REQUIRED PLANT MATERIAL THAT DOES NOT SURVIVE, OR SUSTAINS SEVERE DAMAGE, SHALL BE REPLACED WITHIN NINETY (90) DAYS.
14. ALL EXISTING LANDSCAPE WEED SHALL BE DE-WEEDED AND SHALL HAVE THE TOP AT OF SOIL REPLACED WITH CLEAN WEED FREE MATERIAL. ALL EXISTING LANDSCAPE MATERIAL SHALL BE REMOVED AND DISPOSED OF.

TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	WAX PALM	WAX PALM	25 FEET HIGH AT STREET ROW 10 FEET IN CHUTE
	FABIA VILLOSA	RED GRASS	36" BCI MINIMUM AT STREET ROW 24" BCI MINIMUM CHUTE
	CHALAPA TACHYSPERMA	CHALAPA	36" BCI MINIMUM AT STREET ROW 24" BCI MINIMUM CHUTE
	ROBINIA ARBorea "PURPLE ROSE"	PURPLE ROSE LOCUST	36" BCI MINIMUM AT STREET ROW 24" BCI MINIMUM CHUTE
	SONCHUS OLERACEUS	CALIFORNIA POPPY TREE	74" BCI MINIMUM CHUTE
	PARROTIA FLORIBUNDA	BLUE PALE YEW	24" BCI MINIMUM CHUTE

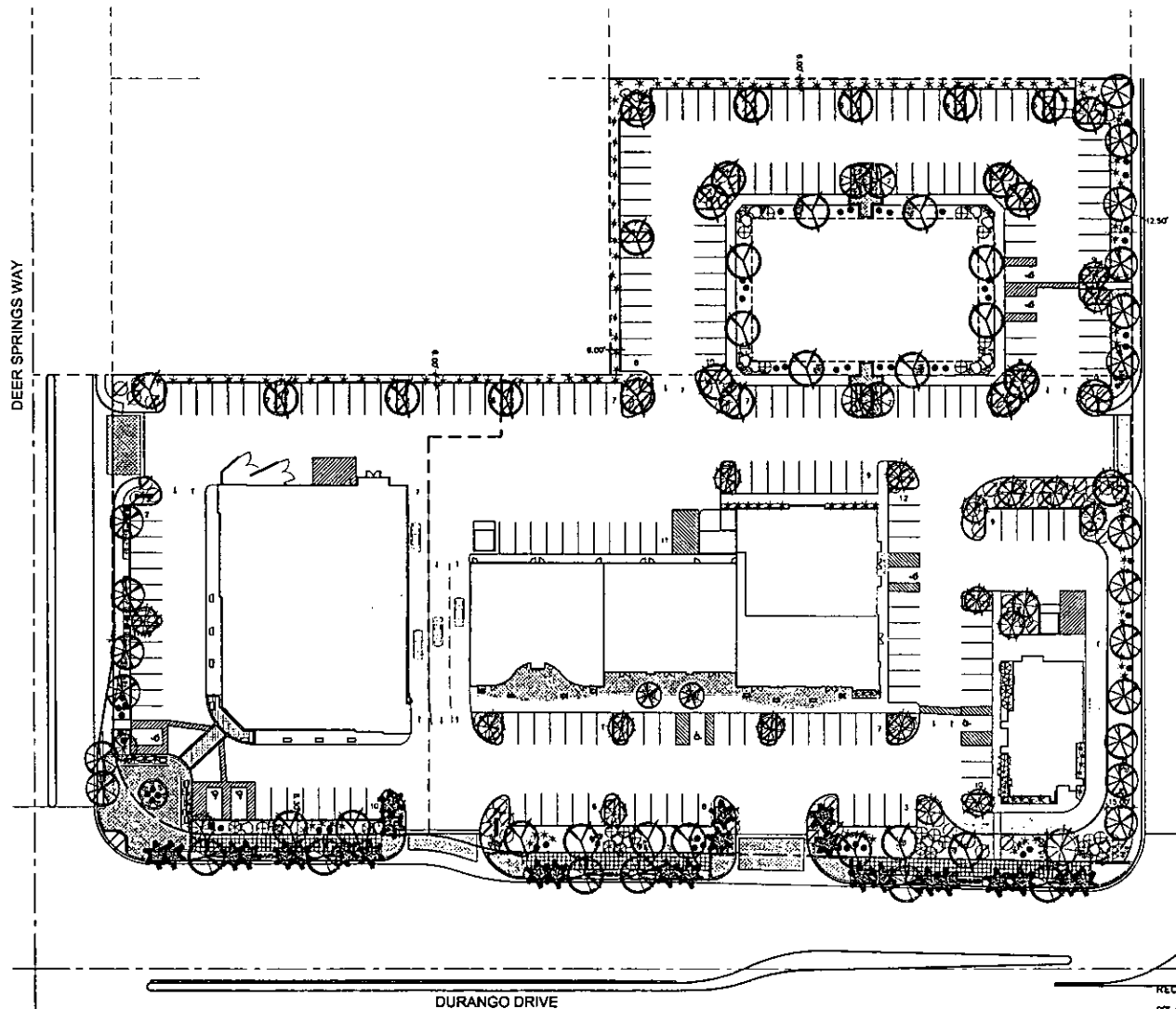
PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	ROSEMARINUS OFFICINALIS	ROSEMARY	5 GAL
	MALEFICARIA RIZOS	DEEP GRASS	5 GAL
	BAEYTH WALBRANDIA	DEERT WAREHOLD	5 GAL
	HEPERALDE PAMPULORA	RED ROCK	5 GAL
	WAGNERA DOMESTICA	WAGNERA DOMESTICA	5 GAL
	LANTANA HORRIDA	DEERT LANTANA	5 GAL - VARIOUS COLORS
	BOULDERS - TIP	WAGNER	

Overall Landscape Plan

Scale: 1" = 30'-0"
 BDDG Project No.: 8307A
 Version 19g1

Small text at the bottom left corner, likely a disclaimer or copyright notice.



HITT FAMILY COURT

RECEIVED
 OCT 01 2008

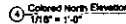
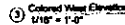
SDR-30027
 11/06/08 PC
 REVISED

Land-Use Submittal
 October 1, 2000



RECEIVED
 JUN 04 2010

The Village at Centennial Hills
 Northwest Corner of Durango and Deer Springs, Las Vegas, Nevada



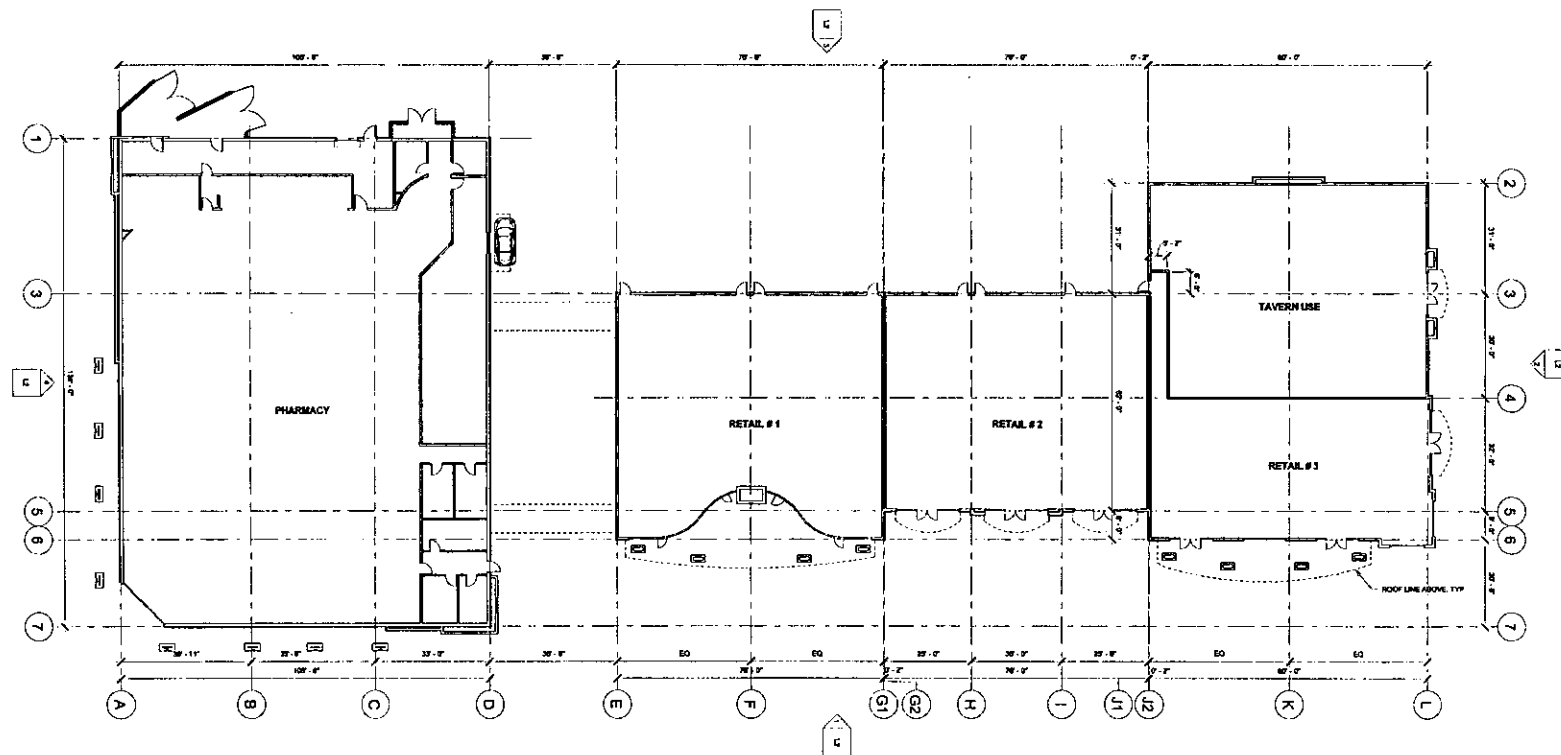
SEP 18 2006

RECEIVED Northwest Co
JUN 04 2010

EOT-38454

**BRESLIN
BUILDERS**

DESIGN & CONSTRUCTION
ARCHITECTURAL, ENGINEERING
LANDSCAPE ARCHITECTURE
INTERIOR DESIGN
LANDMARK SERVICES, INC.
1000 S. LAS VEGAS AVENUE, SUITE 200
LAS VEGAS, NEVADA 89101
TEL: (702) 735-1000
WWW.BRESLINBUILDERS.COM



Overall Floor Plan

Scale: 1/16" = 1'-0"
BBDG Project No.: 6307A.01

Architect and Engineer shall be responsible for the accuracy of the information provided. Copyright 2008, BBDG, LLC. All rights reserved. No part of this document may be reproduced without the written permission of BBDG, LLC. BBDG, LLC is not responsible for any errors or omissions in this document. BBDG, LLC is not responsible for any damages, including consequential damages, arising from the use of this document. BBDG, LLC is not responsible for any damages, including consequential damages, arising from the use of this document. BBDG, LLC is not responsible for any damages, including consequential damages, arising from the use of this document.

SDR-30027
11/06/08 PC

Land-Use Submittal

September 16, 2008

The Village at Centennial Hills

Northwest Corner of Durango and Deer Springs, Las Vegas, Nevada

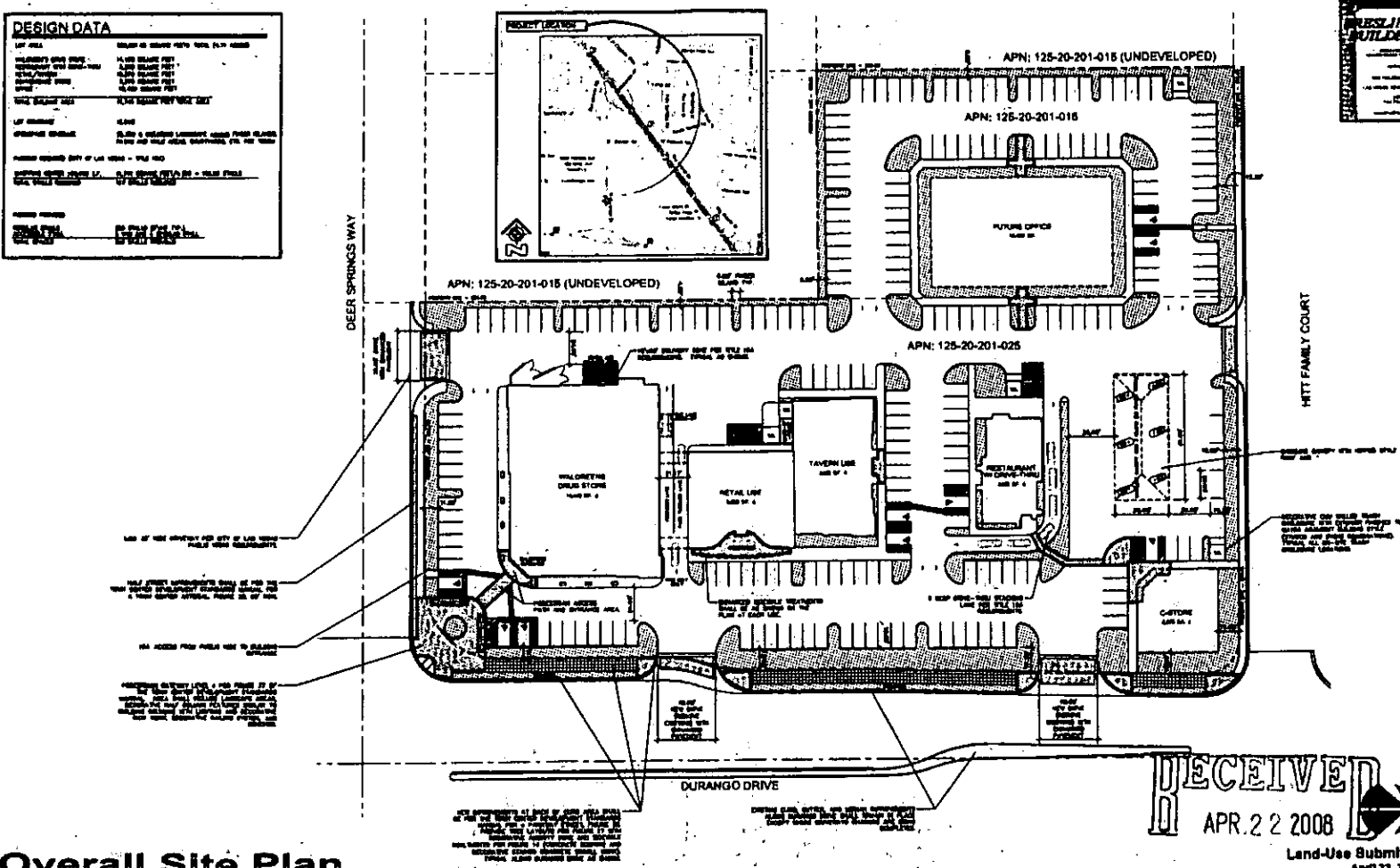
RECEIVED
JUN 04 2010

EOT-38454

LOT AREA	305,091.10 SQUARE FEET (TOTAL 6.71 ACRES)
PHARMACY	14,400 SQUARE FEET
RESTAURANT WITH DRIVE-THRU	3,500 SQUARE FEET
TENNIS	3,500 SQUARE FEET
RETAIL #1	3,500 SQUARE FEET
RETAIL #2	4,700 SQUARE FEET
RETAIL #3	3,800 SQUARE FEET
OFFICE	16,400 SQUARE FEET
TOTAL BUILDING AREA	43,500 SQUARE FEET TOTAL AREA
LOT COVERAGE	22.78%
OPEN SPACE COVERAGE	77.21% INCLUDING LANDSCAPE AREAS, FENCED GRASSLAND, PARKS AND BULK AREAS, COURTYARDS, ETC. PER 10250
PARKING REQUIRED (CITY OF LAS VEGAS - RULE 10A)	
SHOPPING CENTER >25,000 S.F.	45.00 SQUARE FEET/1:250 = 183.00 STALLS
TOTAL STALLS REQUIRED	184 STALLS REQUIRED
PARKING PROVIDED	
REGULAR STALLS	220 STALLS (FIVE ROWS)
ACCESSIBLE STALL	5 PARK AND 1 REGULAR STALL
TOTAL SPACES	236 STALLS PROVIDED

[illegible]

FRESLIN BUILDERS



Overall Site Plan

DocId: 337-6
GPO: 1964 O-337-6
Version 1.0

SDR-27051 SUP-27046
SUP-27047 SUP-27048
SUP-27049 05/08/08 PC
REVISED

6 Town Center Commons

Northwest Corner of Durango and Deer Springs, Las Vegas, Nevada

Land-Use Submittal
April 22, 2004

RECEIVED
JUN 04 2010

EOT-38454



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

September 3, 2010

Mr. Wynn Lucke
Specialty Trust
6160 Plumas Street
Reno, Nevada 89519

RE: EOT-38454 – EXTENSION OF TIME
CITY COUNCIL MEETING OF SEPTEMBER 1, 2010
RELATED TO EOT-38453

Dear Mr. Lucke:

The City Council at a regular meeting held September 1, 2010, APPROVED the request for an Extension of Time of a previously approved Special Use Permit (SUP-27046) FOR A PROPOSED 5,376 SQUARE-FOOT LIQUOR ESTABLISHMENT- TAVERN at 6803 North Durango Drive (APN 125-20-216-002), T-C (Town Center) Zone [GC-TC (General Commercial) - Town Center) Special Land Use Designation]. The Notice of Final Action was filed with the Las Vegas City Clerk on September 2, 2010. This approval is subject to:

Planning and Development

1. The Special Use Permit (SUP-27046) shall expire on June 4, 2012 unless another Extension of Time is approved by the City Council.
2. Conformance to all the conditions of approval of the Special Use Permit (SUP-27046) and all other site related actions as required by the Planning and Development Department and Department of Public Works.

Sincerely,

A handwritten signature in cursive script, appearing to read "Leán Coleman".

Leán Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

August 19, 2010

Mr. Wynn Lucke
Specialty Trust
6160 Plumas Street
Reno, Nevada 89519

**RE: EOT-38454 - EXTENSION OF TIME RELATED TO EOT-38453 -
SPECIAL USE PERMIT
CITY COUNCIL MEETING OF SEPTEMBER 1, 2010**

Dear Mr. Lucke:

Please be advised the City Council at its regular meeting on **September 1, 2010** as referred to above, will consider your request. This meeting will be held at 1:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, August 27, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The City Council requires that you or your representative be present at this meeting.

Sincerely,

M. Margo Wheeler, AICP
Director, Planning and Development Department

MMW:clb

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

EOT-38454 - EXTENSION OF TIME - SPECIAL USE PERMIT - APPLICANT/OWNER: SPECIALTY TRUST - Request for an Extension of Time of a previously approved Special Use Permit (SUP-27046) FOR A PROPOSED 5,376 SQUARE-FOOT LIQUOR ESTABLISHMENT- TAVERN at 6803 North Durango Drive (APN 125-20-216-002), T-C (Town Center) Zone [UC-TC (Urban Center Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

CITY COUNCIL: SEPTEMBER 1, 2010

CASE PLANNER: DEBBIE SULLIVAN



PUBLIC HEARING

Comments Due: AUGUST 6, 2010

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Report Date 06/10/2010 03:56 PM

Submitted By

Page 1

A/P # 38454 EXTENSION OF TIME

Application Information

Stages

	<u>Date / Time</u>	<u>By</u>		<u>Date / Time</u>	<u>By</u>
<u>Processed</u>	06/04/2010 09:57	984224	<u>Temp COO</u>		
<u>Approved</u>			<u>COO Issued</u>		
<u>Final</u>			<u>Expires</u>		

Associated Information

<u>Type of Work</u>	<u># Plans</u>	0	<u>Declared Valuation</u>	0.00
<u>Dept of Commerce</u>	<u># Plans</u>	0	<u>Calculated Valuation</u>	0.00
<u>Priority</u>	☒ <u>Auto Reviews</u>	<u>Bill Group</u>	<u>Actual Valuation</u>	0.00

Description of Work

EOT-38454 - EXTENSION OF TIME - SPECIAL USE PERMIT - APPLICANT/OWNER: SPECIALTY TRUST - Request for an Extension of Time of a previously approved Special Use Permit (SUP-27046) FOR A PROPOSED 5,376 SQUARE-FOOT LIQUOR ESTABLISHMENT- TAVERN at 6803 North Durango Drive (APN 125-20-216-002), T-C (Town Center) Zone [UC-TC (Urban Center Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross)

Parent A/P # 27046
Project # 38454 Project/Phase Name THE VILLAGE AT CENTENNIAL HILL Phase #
Size/Area 3.62 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 12520216002

Location

Owner/Tenant

Contact ID AC1782947 Name SPECIALTY TRUST
Mailing Address 6160 PLUMAS STREET Organization
City RENO State/Province NV
ZIP/PC 89519 Country ☐ Foreign
Day Phone Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

6803 N DURANGO DR
LAS VEGAS, 89149-

6925 N DURANGO DR
LAS VEGAS, 89149-

6949 N DURANGO DR
LAS VEGAS, 89149-

6901 N DURANGO DR
LAS VEGAS, 89149-

Report Date 06/10/2010 03:56 PM

Submitted By

Page 2

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

12520216002

Applicants/Contacts

Primary Y Capacity OWNER Contact ID AC1782947 ☐ Foreign
Effective Expire
Name SPECIALTY TRUST
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 6160 PLUMAS STREET
RENO, NV 89519
Seasonal Addr
Valid From To
Comments Wynn Lucke 775-826-4676

Contractors

No Contractors

Project # A/P Type Status Stage Relation

No children exist for this project

Planning Condition Description Effective Expire Comments

There is no planning condition for this project.

EXTENSION OF TIME

Y Will this go to the City Council? Final City Council letter received
Y Will this go DIRECTLY to City Council? Annotated minutes received
Parent Application Type SUP Hearing Type
Parent Project # 27046 Public, Non-Public or Admin? NDN-PUBLIC
Staff Recommendation

Meeting Information

<u>Meeting Grid</u>	<u>Meeting Type</u>	<u>Meeting Status</u>	<u>YES Votes</u>	<u>ND Votes</u>	<u>ABSTENTIONS</u>
<u>Meeting Date</u> <u>Comments</u> <u>Added By</u>	<u>Add Date</u>	<u>Modified by</u> <u>Modified Date</u>			
09/01/2010	CC	SCHEDULED	0	0	0
GKAPDVICH	06/04/2010				

Report Date 06/10/2010 03:56 PM

Submitted By

Page 3

<u>Meeting Grid</u>	<u>Meeting Type</u>	<u>Meeting Status</u>	<u>YES Votes</u>	<u>NO Votes</u>	<u>ABSTENTIONS</u>
<u>Meeting Date</u>	<u>Add Date</u>	<u>Modified by</u>	<u>Modified Date</u>		

<u>Template Type</u>	<u>A/P #</u>	<u>A/P Type</u>	<u>Status</u>	<u>Stage</u>
----------------------	--------------	-----------------	---------------	--------------

No children exist for this project

<u>Employee ID</u>	<u>Last</u>	<u>First</u>	<u>MI</u>	<u>Comments</u>
984478	SULLIVAN	DEBORAH	J	Planning x6895

<u>Log Action</u>	<u>Description</u>	<u>Entered By</u>	<u>Start</u>	<u>Stop</u>	<u>Hours</u>
-------------------	--------------------	-------------------	--------------	-------------	--------------

PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	06/04/2010 10:09		0.00
	JOE GWERDER, SPECIALTY FINANCIAL CORP CK 4432, 702.369.4444				

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Extension of Time (SUP-27046)
 Project Address (Location) 6803 N. Durango Drive, Las Vegas
 Project Name The Village at Centennial Hills Proposed Use Commercial
 Assessor's Parcel #(s) 125-20-216-002 Ward # 6,482,979 (both)
 General Plan: existing TC proposed TC Zoning: existing GC-TC proposed GC-TC
 Commercial Square Footage 31,405 sf Floor Area Ratio 20.0%
 Gross Acres 3.62 acres Lots/Units N/A Density N/A
 Additional Information Original SUP for a Liquor Establishment - Tavern Use

PROPERTY OWNER Specialty Trust Contact Wynn Lucke
 Address 6160 Plumas Street Phone: (775) 826-0809 Fax: (775) 826-4676
 City Reno State NV Zip 89519
 E-mail Address wlucke@specialtyfi.com

APPLICANT Specialty Trust Contact _____
 Address same as above Phone: _____ Fax: _____
 City _____ State _____ Zip _____
 E-mail Address _____

REPRESENTATIVE Specialty Trust Contact _____
 Address same as above Phone: _____ Fax: _____
 City _____ State _____ Zip _____
 E-mail Address _____

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

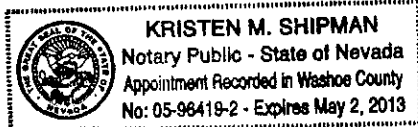
Print Name Nello Confiantini III, President

Subscribed and sworn before me

This 3rd day of June, 20 10

Kristen M. Shipman

Notary Public in and for said County and State



Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	<u>EOT-38454</u>
Meeting Date:	<u>9/1/10</u>
Total Fee:	<u>\$300</u>
Date Received:*	<u>6/4/10</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the zoning ordinance.

f:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **EOT-38454** APN: 125-20-216-002

Name of Property Owner: Specialty Trust

Name of Applicant: Specialty Trust

Name of Representative: Specialty Trust

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

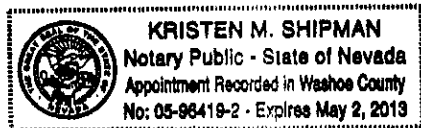
Print Name: Nello Constantini III President

Subscribed and sworn before me

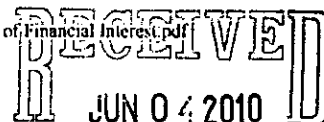
This 3rd day of June, 20 10

Kristen M. Shipman
Notary Public in and for said County and State

Revised 11-14-06



f:\depot\Application Packet\Statement of Financial Interest.pdf



SPECIALTY TRUST

June 3, 2010

City of Las Vegas
Planning and Development Department
731 S. Fourth Street
Las Vegas, NV 89101

SPECIALTY TRUST
6160 PLUMAS STREET
RENO, NV 89519-6060
TEL: 775/826-0809
FAX: 775/826-0166
WWW.SPECIALTYFI.COM

RE: Justification for Extension of Time Request of SUP-27046

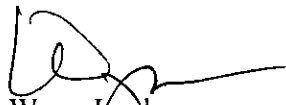
Dear Sir:

This letter is prepared as a justification letter for the proposed Extension of Time request of the previously approved Special Use Permit SUP-27046. This Special Use Permit was for a Liquor Establishment – Tavern Use that is within the currently improved portion of The Village at Centennial Hills commercial subdivision. The first phase of the development has been completed with the construction of a Walgreen's Pharmacy and the on-site utilities, parking, and driveways for the second phase of the project have already been completed. This second phase of the project includes a proposed tavern use as shown on the approved Site Development Plan application SDR-30027. The project has continued to proceed with the construction of the development, even in these difficult economic times. It is the intent of the developer to bring quality commercial tenants into this growing area as the economy begins to recover. As the second phase of the project works toward acquiring quality tenants to permit construction for the next phase of the project, we ask that this Special Use Permit be extended to allow potential tenants the opportunity to obtain this use.

To conclude, because the project has already built the first phase of the project and has completed the required on-site improvements for the proposed second phase of the project, and as a result of the economic slowdown, we believe that an Extension of Time request is warranted so the Special Use Permit can be potentially used for this development as originally intended.

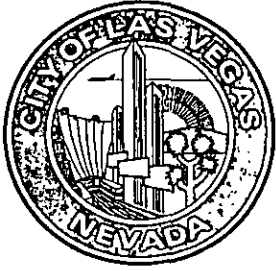
Please feel free to contact me at our office at (775) 826-0809 to discuss this matter further. Thank you in advance for your consideration of this request.

Sincerely,



Wynn Lucke
Loan Servicing Assistant Manager

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JUN 04 2010
EOT-38454



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW

DOUGLAS A. SELBY
CITY MANAGER

June 6, 2008

Mr. Douglas Hitt
Hitt W. Douglas Family Trust
2208 Alia Court
Las Vegas, Nevada 89102

RE: SUP-27046 – SPECIAL USE PERMIT
CITY COUNCIL MEETING OF JUNE 4, 2008
RELATED TO MOD-27044, SUP-27047, SUP-27048, SUP-27049 AND
SDR-27051

Dear Mr. Hitt:

The City Council at a regular meeting held June 4, 2008 APPROVED the request for a Special Use Permit FOR A PROPOSED 5,376 SQUARE-FOOT LIQUOR ESTABLISHMENT - TAVERN at the northwest corner of Durango Drive and Deer Springs Way (APNs 125-20-201-016 and 125-20-201-025), T-C (Town Center) Zone [UC-TC (Urban Center Mixed Use - Town Center) Special Land Use Designation]. The Notice of Final Action was filed with the Las Vegas City Clerk on June 5, 2008. This approval is subject to:

Planning & Development

1. Conformance to all minimum requirements under LVMC Title 19.04.010 for Liquor Establishment (Tavern) use, including parking requirements.
2. Approval of and conformance to the Conditions of Approval for Major Modification (MOD-27044), Special Use Permits (SUP-27047, SUP-27048, SUP-27049) and Site Development Plan Review (SDR-27051) shall be required.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. Approval of this Special Use Permit does not constitute approval of a liquor license.
5. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.



CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

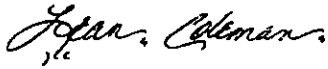
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JUN 04 2010

EOT-38454

Mr. Douglas Hitt
SUP-27046 – Page Two
June 6, 2008

6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,



Lean Coleman
Deputy City Clerk II for
Beverly K. Bridges, CMC, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. Gary Leobold
Leobold & Brown, LLC
2592 Canadian Goose Circle
Henderson, Nevada 89052

Mr. Todd McBrayer
Breslin Builders
5525 Polaris Avenue, Suite B
Las Vegas, Nevada 89118

EOT-38454
RECEIVED
JUN 04 2010

A.P. 125-20-201-016 & 125-20201-025 (former)
125-20-216-002 (new)

MAIT TAX STATEMENTS TO:
WHEN RECORDED MAIL TO:
Specialty Trust, Inc.
6160 Plumas Street
Reno, NV 89519
Order No: 283373FCL

Inst #: 201006020003834
Fees: \$16.00 N/C Fee: \$0.00
RPTT: \$9210.60 Ex: #
06/02/2010 03:44:26 PM
Recelpt #: 374014
Requestor:
NATIONAL TITLE COMPANY
Recorded By: EAH Pgs: 4
DEBBIE CONWAY
CLARK COUNTY RECORDER

④-1

TRUSTEE'S DEED UPON SALE

Transfer Tax \$9,210.60
The Grantee herein was the foreclosing beneficiary.
The amount of the unpaid debt was \$2,975,592.22
The amount paid by the Grantee was \$1,805,700.00
Said property is in the City of Las Vegas, County of Clark

NATIONAL TITLE COMPANY., a Nevada corporation, (herein called Trustee) does hereby grant and convey, both without covenant or warranty, express or implied to Specialty Trust, Inc. (herein called Grantee) the real property in the City of Las Vegas County of Clark, State of Nevada, described as follows:

PARCEL ONE (1):

A portion of Lot One (1) of FINAL MAP THE VILLAGE AT CENTENNIAL HILLS, as shown by map thereof on file in Book 142 of Plats, Page 9, in the Office of the County Recorder of Clark County, Nevada and also being a portion of the Southeast Quarter (SE ¼) of the Southeast Quarter (SE ¼) of the of the Northwest Quarter (NW ¼) of Section 20, Township 19 South, Range 60 East, M.D.M., described as follows:

COMMENCING at the Southeast corner of the Northwest Quarter (NW ¼) of aforementioned Section 20, same point being at the intersection point of the centerline of Durango Drive, and the centerline of Deer Springs Way;

THENCE South 89° 54' 17" West, 333.72 feet along the centerline of Deer Springs Way;

THENCE departing said centerline, North 00° 07' 02" West, 266.99 feet to the POINT OF BEGINNING;

THENCE North 00° 07' 02" West, 62.61 feet;

THENCE South 89° 57' 10" West, 166.95 feet;

THENCE North 00° 07' 59" West, 299.74 feet;

THENCE South 89° 59' 58" East, 416.14 feet to a point of tangency of a 25.00 foot radius curve concave to the Southwest;

THENCE curving right an arc distance of 39.23 feet through a central angle of 89° 54' 51" to a point of tangency, said point being on the West right-of-way line of Durango Drive;

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THENCE along the West right-of-way line of Durango Drive, South 00° 05' 07" East 12.79 feet; thence South 01°11'16" West 225.06 feet; thence South 00°05'07" East 87.55 feet to a point of tangency of a 100.00 foot radius curve concave to the West;

THENCE curving right an arc distance of 31.76 feet through a central angle of 18° 11' 42" to a point on a 100.00 foot radius reverse curve;

THENCE curving left an arc distance of 22.68 feet through a central angle of 12° 59' 51" to a point where the radius point bears South 84° 53' 16" East;

THENCE departing the West right-of-way line of Durango Drive, South 89° 54' 53" West, 224.79 feet;

THENCE North 00° 05' 07" West, 41.91 feet;

THENCE South 89° 52' 58" West, 34.49 feet to the POINT OF BEGINNING.

BEING further described as Lot "B" of that certain Record of Survey in File 179 of Surveys, Page 12, in the Office of the County Recorder, Clark County, Nevada. recorded August 5, 2009 in Book 20090805 as Document No. 03130, Official Records

PARCEL TWO (2):

Non-exclusive, perpetual and reciprocal easements for ingress, egress by pedestrian and vehicular traffic on, over and across paved areas including, but not limited to, driveways, entrances and exits as set forth by and subject to that certain Declaration of Reciprocal Easements and Covenants, Conditions and Restrictions recorded August 6, 2009 in Book 20090806 as Document No. 00380, and rerecorded August 13, 2009 in Book 20090813 as Document No. 04604, Official Records, Clark County, Nevada..

This conveyance is made pursuant to the authority and powers vested in said Trustee, as Trustee or Successor Trustee or Substituted Trustee, under that certain Deed of Trust executed by William D. Hitt, an unmarried man, as Trustor, recorded June 8, 2007 as Document No. 3903 in Book No. 20070608 of official records in the Office of the County Recorder of Clark County, Nevada. The Trustee having complied with all applicable statutory requirements of the State of Nevada and performed all duties required by said Deed of Trust.

A Notice of Trustee's Sale was published one a week for three consecutive weeks in a legal newspaper, and at least twenty days before the date fixed therein for sale, a copy of said Notice of Trustee's Sale was posted by the Trustee or its authorized representative of said County in three public places.

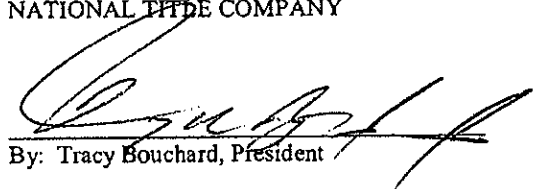
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At the time and place fixed in the Notice of Trustee's Sale, said Trustee did sell said property above described at public auction on April 20, 2010 to said Grantee, being the highest bidder therefore, for \$1,805,700.00 cash, lawful money of the United States, in satisfaction pro tanto of the indebtedness then secured by said Deed of Trust.

IN WITNESS WHEREOF, NATIONAL TITLE COMPANY, as Trustee, has this day, caused its corporate name to be hereto affixed hereto and this instrument to be executed by its authorized officer, thereunto duly authorized.

Dated April 20, 2010

NATIONAL TITLE COMPANY


By: Tracy Bouchard, President

State of Nevada

}
} ss.

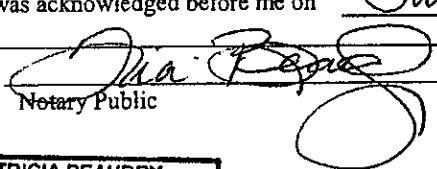
County of Clark

This instrument was acknowledged before me on

June 2, 2010

Tracy Bouchard

Signature:


Notary Public



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STATE OF NEVADA
DECLARATION OF VALUE FORM

1. Assessor Parcel Number(s)

a. 125-20-216-002
b. _____
c. _____
d. _____

2. Type of Property:

a. ☒ Vacant Land b. ☐ Single Fam. Res.
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg f. ☐ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. a. Total Value/Sales Price of Property \$ 1,805,700.00
b. Deed in Lieu of Foreclosure Only (value of property) ()
c. Transfer Tax Value: \$ 1,805,700.00
d. Real Property Transfer Tax Due \$ 9,210.60

4. If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: TRICIA BEAUDRY

Capacity: Trustee Officer

Signature: _____

Capacity: _____

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: National Title Company
Address: 2780 W. Lake Mead Blvd, 350
City: Las Vegas
State: Nevada Zip: 89128

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: Specialty Trust
Address: 6160 Plumas Street
City: Reno
State: Nevada Zip: 89519

COMPANY REQUESTION RECORDING

Print Name: National Title Company
Address: 2780 W. Lake Mead Blvd., #350
City: Las Vegas

Escrow #: 283373

State: NV Zip: 89128

As a public record this form may be recorded/microfilmed

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