

NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL

MAP LEGEND

- PARCEL BOUNDARY
- SUBD BOUNDARY
- ROAD EASEMENT
- FWLD BOUNDARY
- NON-PARCEL LOT LINE
- MATCH LINE / LEADER LINE
- ROAD ID NUMBER

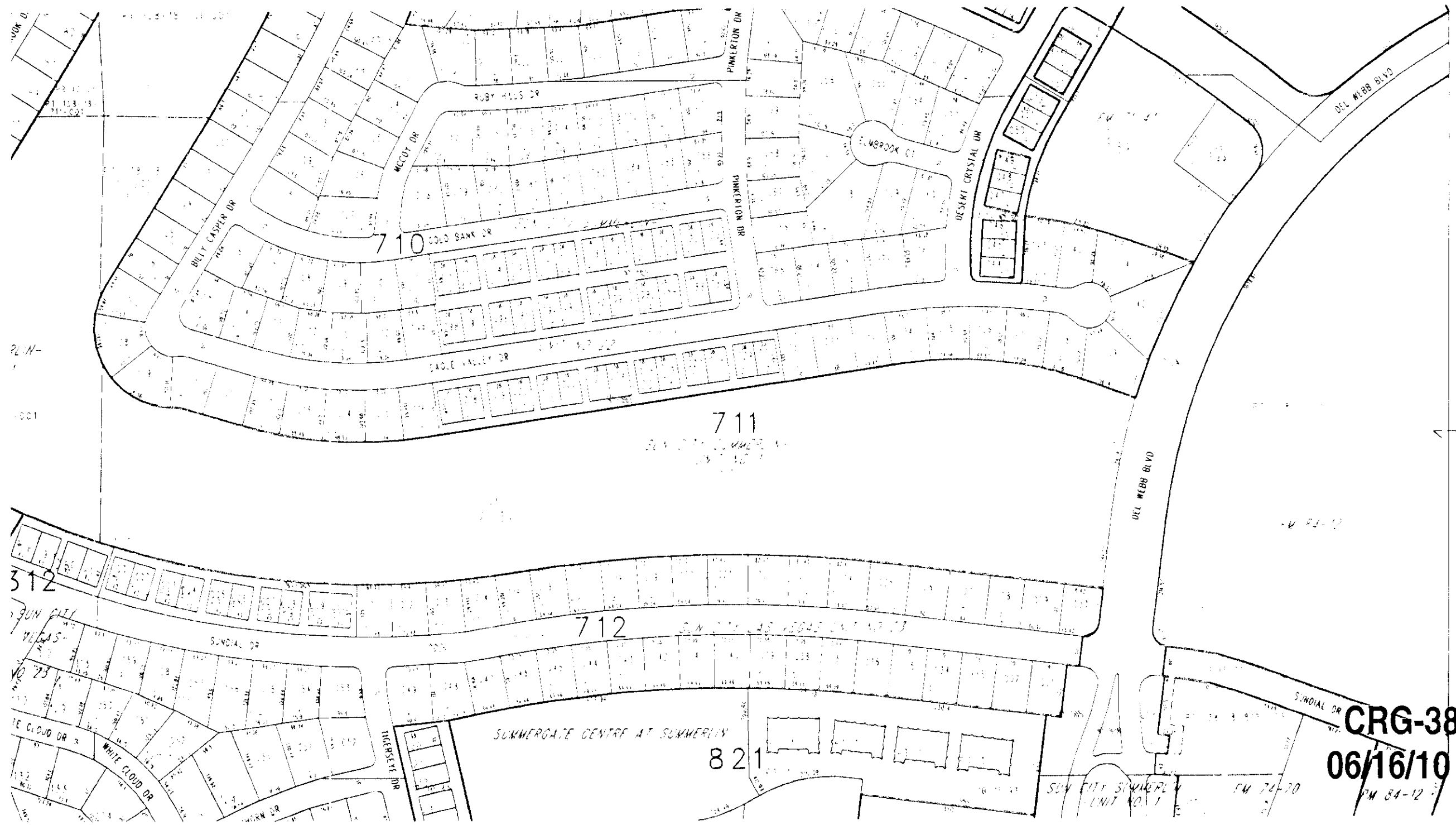
ASSESSOR'S PARCELS - CLARK CO., NV.

M. W. Schofield, Assessor

BOOK	PAGE	120S	R60E	121S	R60E	122S	R60E
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121S	164	163	162	161	160	159	158

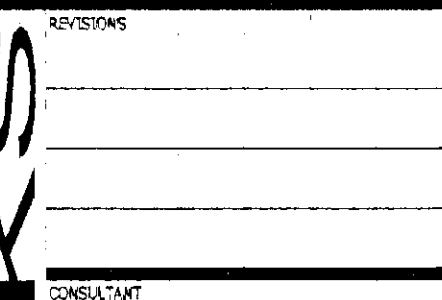
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ACREAGE
PARCEL SUB/SEQ NUMBER
PLAT RECORDING NUMBER
BLOCK NUMBER
LOT NUMBER
OCC LOT NUMBER

138 13-7



CRG-38368
06/16/10 CRG

TAX DIST 200

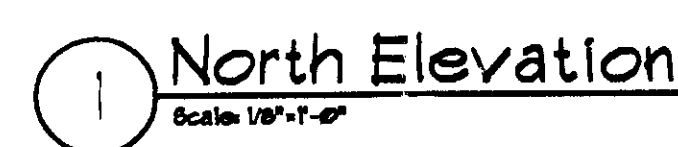


CITY OF LAS VEGAS, NEVADA
FIRE STATION #101
DEL WEBB & SUNDIAL
Exterior Elevations

ARCHITECT OF RECORD
SAMUEL D. TOLMAN, AIA, NCARB
400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101
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FAX: (702) 382-3232
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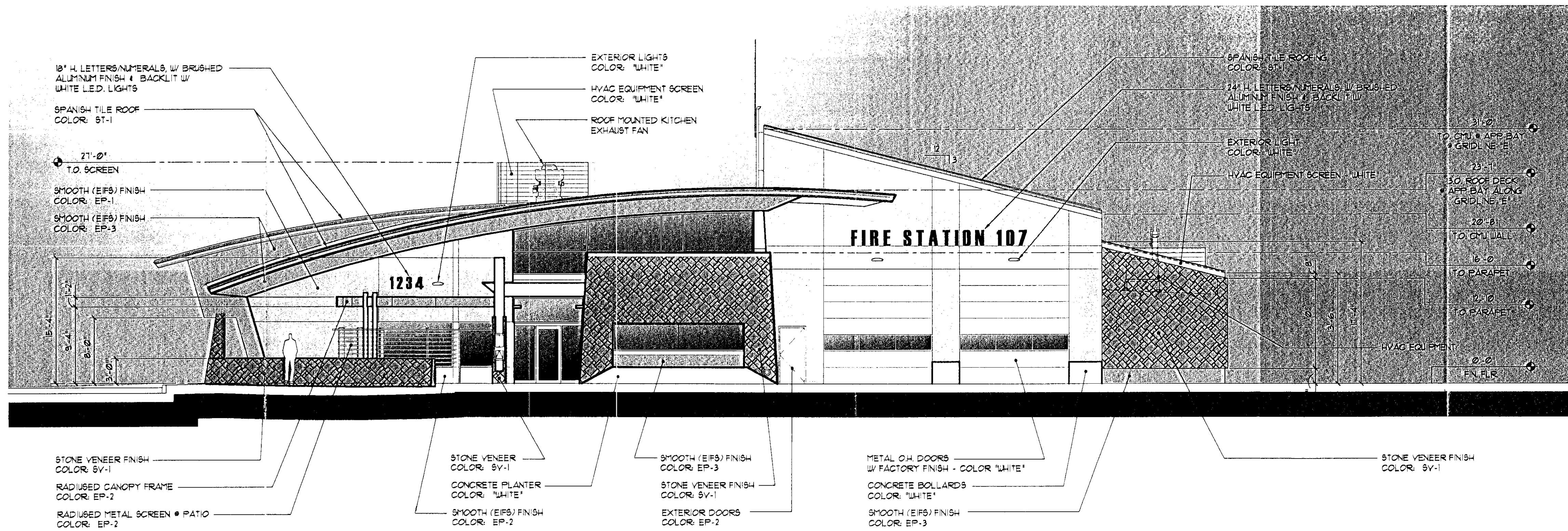
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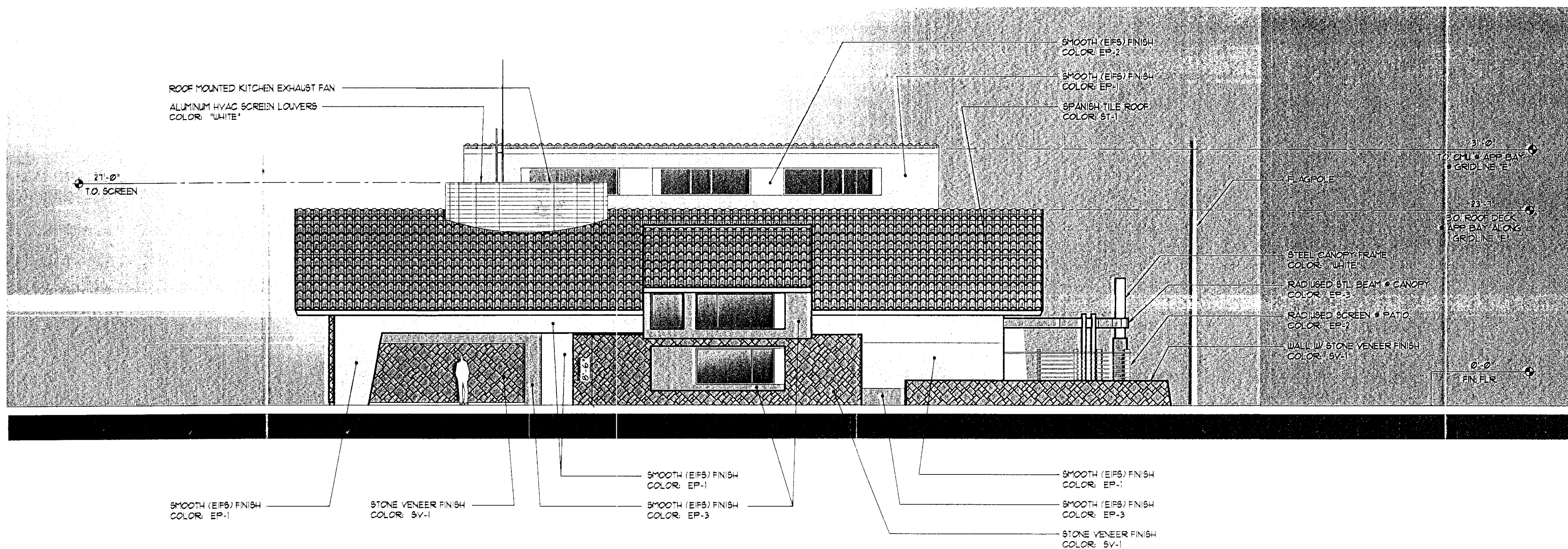


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1 South Elevation
Scale: 1/8"=1'-0"



2 West Elevation
Scale: 1/8"=1'-0"



REVISIONS
CONSULTANT
CITY OF LAS VEGAS, NEVADA
FIRE STATION #107
DEL WEBB & SUNDIAL
Exterior Elevations

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

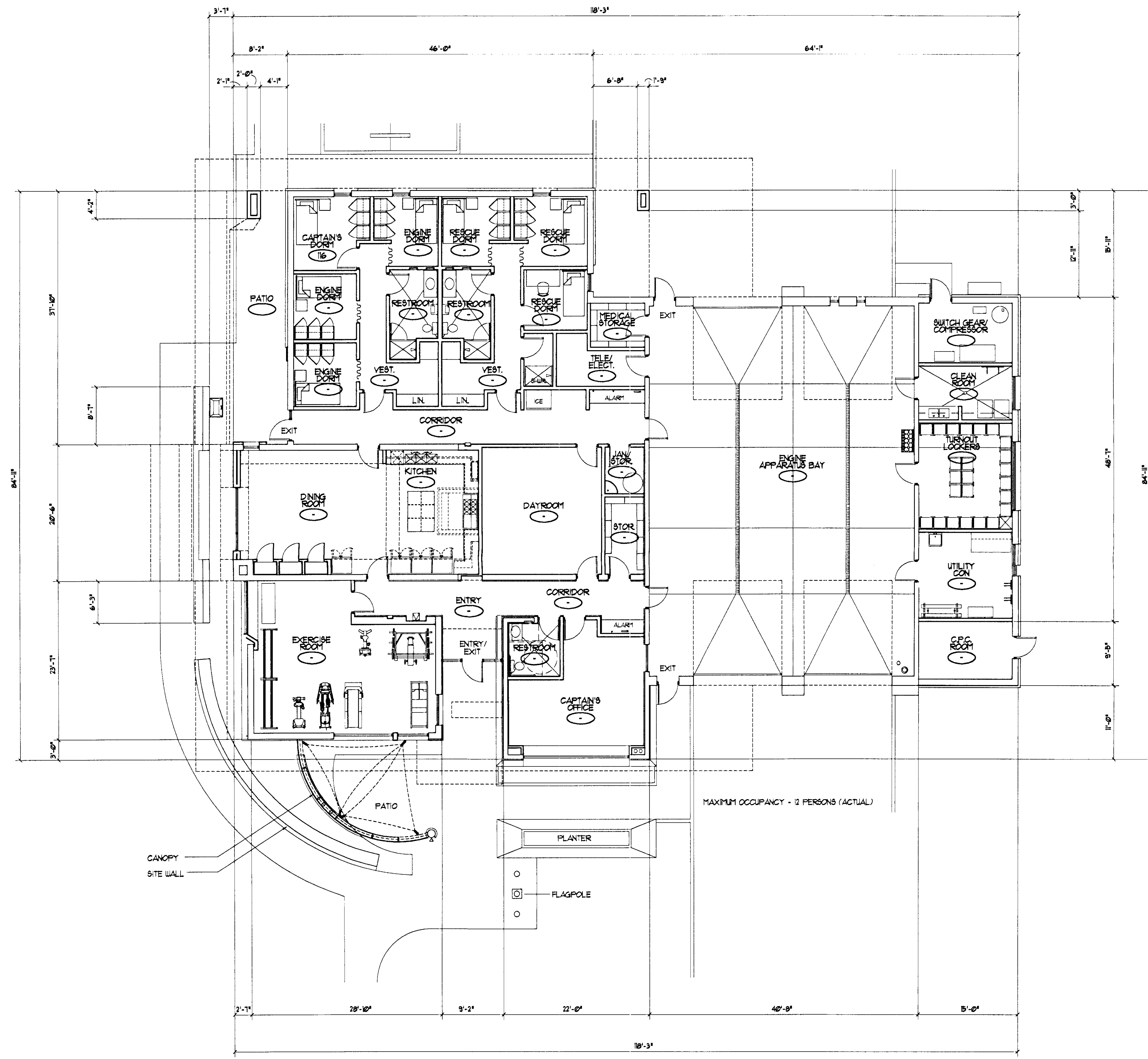
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DRAWN: EPS
FILE: FS107-A41
DATE: 5/10/10
SCALE: 1/8"=1'-0"
SHEET NO.
REVISED NO.
SHEET NO.

CRG-38368
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City of Las Vegas

A4.1



Floor Plan
Scale: 1/8" = 1'-0"

Project North

Keynotes

For Floor Plan & Dimension Floor Plan

- 1 CHU BOLLARD, SEE DETAIL 5/A102.
- 2 PIPE BOLLARD, SEE CIVIL DUGS
- 3 EXPOSED CHU WAINSCOT - SEE DTL. 1 & 2/A102 AND WALL LEGEND
- 4 TRENCH DRAIN, COORD. W/ PLUMBING CONTRACTOR - SEE PLUMBING & STRUCTURAL DRAWINGS.
- 5 JAMB CONDITION AT ROLL-UP DOOR, SEE DETAIL 4/A102.
- 6 EMERGENCY TELEPHONE ALCOVE, SEE DETAIL 4/A102 & 4/A102.6.
- 7 WALL TYPES "P" & "J" SHALL BE ONE-HOUR FIRE RESISTIVE CONST. PER GEN. NOTE #1.
- 8 PRIVACY CURTAIN, BY OWNER. 1", B-6101 CHROME CURTAIN ROD & FLANGES, CONTRACTOR FURNISHED & INSTALLED - 82" TOP OF ROD FROM FINISH FLOOR (PROVIDE SUPPORT BRACKETS FOR ROD IN WALL). (TYP.)
- 9 FLOOR-TO-CEILING CABINET SHELVEING - SEE DETAIL 1/A102.
- 10 ROOF LADDER, SEE DETAIL 1/A83, CENTER LADDER ON LADDER "FUR DOWN".
- 11 METAL TURN OUT LOCKERS, SEE SPECIFICATIONS, 24 EA. IN ROOM 136, 11 EA. IN ROOM 108.
- 12 TRI-LOCKER DORM WARDROBE UNIT, SEE DETAIL 12/A102.6.
- 13 UPPER CABINETS, SEE ELEVATION 2/A81.
- 14 EXTEND WALLS AROUND JANITOR #38 UP TO B.O. DECK & SEAL W/ FIRE CAULKING.
- 15 HOSE RACK - 3 TIER HIGH, SEE DETAIL 2/A102.6.
- 16 AIR BOTTLE RACK WITH ADJUSTABLE SHELVES ABOVE, SEE DETAIL 1/A102.6.
- 17 FUTURE WASHER/EXTRACTOR - FURNISHED BY OWNER. CONTRACTOR TO PROVIDE WATER AND ELECTRICAL CONNECTIONS PER EXTRACTOR SPECIFICATIONS.
- 18 LINE OF GARAGE DOOR OVERHEAD.
- 19 INSTALL 2" FURRING (W/ 5/8" G.W.B. - PAINTED & TEXTURED) O/ CHU. FURRING SHALL RETURN TO BACK SIDE OF WINDOW FRAME AT WINDOW MULLIONS AS SHOWN.
- 20 STL. PLATE O/ 3/8" PLYWOOD O/ 2" MTL. HAT CHANNELS TO BE APPLIED O/ CHU WALL. SEE DETAIL 1/A6.1.
- 21 LINE OF CANOPIES ABOVE, SEE SHEETS A3, A4, A4.2 & A5 AND KEYED DETAILS.
- 22 NOT USED.
- 23 LINE OF CONCRETE WALK & PLAZA, WITH LIGHT BROOM FINISH, SEE CIVIL PLANS FOR CONTINUATION OF SIDEWALK & PLAZA.
- 24 3 5/8" - 20 GA. MTL. STUD FURRING # 16" O.C. W/ 5/8" TYPE "X" GYP. BD. OVER CHU. (PROVIDE WATER RETARDANT GYP. BD. AT ALL RESTROOM WALLS, WHERE THEY OCCUR).
- 25 FIRE DEPARTMENT DEDICATION PLAQUE - SEE DETAILS 2/A2 & 6/A102.2.
- 26 SEE SHEET A4J FOR CLERESTORY WINDOWS LOCATED IN THIS WALL.
- 27 1'-0" H. STORAGE CABINET (P-LAM FINISH), SEE ELEVATION 23/A82.
- 28 ROOF DRAIN LEADER - SEE PLUMBING DRAWINGS.
- 29 PIPE BOLLARD FOR FIRE RISER PROTECTION, SEE CIVIL DUGS
- 30 FIRE RISER, SEE SHEET FPL.
- 31 FURRING TO BE 2" - 25 GA. HAT CHANNELS W/ 5/8" TYPE "X" GYP. BD. FLOOR TO CEILING.
- 32 NOT USED.
- 33 FREE STANDING STAINLESS STEEL ISLAND (OWNER FURNISHED).
- 34 STAINLESS STEEL CEILING MOUNTED POTRACK (CONTRACTOR FURNISHED, CONTRACTOR INSTALLED). ADVANCE TABCO #SC-48 (PHONE: STATE RESTAURANT EQUIPMENT - (702) 733-555)
- 35 FIRE ALARM CONTROL PANEL. SEE FIRE ALARM PLAN.
- 36 FLOOR DRAIN, SEE PLUMBING DRAWINGS FOR LOCATIONS.
- 37 LEAVE OUT GROUT AT HEAD JOINTS BETWEEN EVERY BLOCK, AT FIRST COURSE OF MASONRY ABOVE PATIO SLAB ONLY. (VOIDS IN HEAD JOINTS SHALL ACT TO PROVIDE POSITIVE DRAINAGE FOR PATIO SLAB).
- 38 6" - 20 GA. MTL. STUDS - SEE WALL TYPE "G" SHEET G2
- 39 SURFACE MOUNTED PAPER TOWEL DISPENSER (BOBRICK MODEL #6220). SEE BATH ACCESSORY SCHEDULE. 12 DISPENSER # 10" AFF.
- 40 COORDINATE EXACT LOCATION OF GROMMETS IN COUNTERTOP W/ OWNER PRIOR TO FABRICATION OF COUNTERTOP.
- 41 FLOOR SINK, SEE PLUMBING AND MECHANICAL DRAWINGS.
- 42 ELECTRICAL PANELS INSIDE 6" MTL. STUD FURRED WALL (WALL SHALL BE 5'-10" W X 14'-0" H). WALL SHALL BE FINISHED W/ G.W.B. AT TOP & SIDES.
- 43 PROVIDE ADJUSTABLE 3/4" PLYWOOD SHELVES, (8" DEEP X WIDTH OF PANTRIES) BUILD SHELVES PER DTL. 10/A102.4.
- 44 PROVIDE TWO-TIER LOCKERS ALONG THIS WALL ONLY, SEE SPECIFICATIONS.
- 45 WORK BENCH FURNISHED AND INSTALLED BY OWNER
- 46 WALL IN PANTRY 102A CONTAINING DOORS 102A, 102B & 102C AND DIVIDER WALLS BETWEEN THESE DOORS SHALL BE CONSTRUCTED OF 2" - 20 GA. METAL STUDS # 16" O.C. W/ 5/8" TYPE "X" GYP. BD. # BOTH SIDES OF WALL, FULL HT.
- 47 BACK BOARD RACK - SEE DETAIL 12/A102
- 48 ENGINEERED STONE PHONE SHELF # 36" AFF. SEE DETAIL 12/A1.
- 49 HAZ-MAT STORAGE CABINET FURNISHED & INSTALLED BY OWNER.
- 50 REFRIGERATOR - OWNER FURNISHED, OWNER INSTALLED.
- 51 FLAGPOLE, SEE DETAILS.
- 52 CURVED POPOUT, STUCCO FINISH, SEE EXTERIOR ELEVATIONS.
- 53 PROVIDE 2" - 25 GA. "Z" FURRING OVER END OF CHU WALL AND OFFSET ADJACENT WALL FRAMING TO BE FLUSH WITH OUTSIDE FACE OF "Z" FURRING AT ALARM STATION SIDE OF WALL.
- 54 4" HIGH CERAMIC TILE WAINSCOT BEHIND BOTH SIDES OF JANITOR'S SINK, SEE FINISH SCHEDULE AND EXTEND WAINSCOT 2" PAST EDGES OF JANITOR'S SINK.



REVISIONS

NO.	DESCRIPTION	DATE

CONSULTANT

CITY OF LAS VEGAS, NEVADA
FIRE STATION #101
DEL WEBB & SUNDIAL
Noted Floor Plan

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

ARCHITECT OF RECORD
SAMUEL D. TOLMAN, AIA, NCARB
400 EAST STEWART AVENUE
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DRAWN: EPS
FILE: 101-A1
DATE: 5/10/10
SCALE: 1/8" = 1'-0"
SHEET NO:
CLV DWG NO:
SHEET NO:

CRG-38368
06/16/10
City of Las Vegas

A1.1



PLANT SCHEDULE

SYMBOL	QTY.	SIZE	BOTANICAL/COMMON NAME	COMMON NAME	SPACING/COMMENTS
TREES					
	8	36" BOX	FRAXINUS VELUTINA 'RIO-GRANDE'	FAN-TEX ASH	STANDARD
	9	36" BOX	CHITALPA TASHKENTENSIS	CHITALPA "PINK DAWN"	STANDARD
	5	36" BOX	PISTACIA CHINENSIS	CHINESE PISTACHE	STANDARD
	9	36" BOX	CERCIDIPYLLUM "DESERT MUSEUM"	MUSEUM PALO VERDE	STANDARD

SYMBOL	QTY.	SIZE	BOTANICAL/COMMON NAME	COMMON NAME	SPACING/COMMENTS
SHRUBS & GROUNDCOVER					
	63	5 GAL.	CASSIA NEMOPHILA	GREEN CASIA	5'-0" O.C.
	105	5 GAL.	HESPERALOE PARVIFLORA	RED YUCCA	4'-0" O.C.
	86	5 GAL.	LANTANA 'RADIATION'	RADIATION LANTANA	3'-0" O.C.
	60	5 GAL.	LEUCOPHYLLUM FRUTESCENS 'G. CLOUD'	GREEN CLOUD TEXAS RANGER	3'-0" O.C.
	82	5 GAL.	MUHLENBERGIA RIGENS	DEER GRASS	4'-0" O.C.
	38	5 GAL.	SALVIA GREGGII	AUTUMN SAGE	3'-0" O.C.

PLANTING NOTES:

- Contractor shall be responsible for all permits, coordination, scheduling, utility relocation and damage to other trades and/or utilities, as per contract general conditions.
- Contractor shall verify all site conditions and report any and all discrepancies to the Landscape Architect and Construction Project Representative prior to starting construction.
- Contractor shall verify locations of existing underground utilities prior to start of construction. Call before you dig 1-800-227-2600.
- Contractor shall limit work areas to that shown on the drawings.
- Contractor shall perform final grading modifications to areas requiring grading, or as directed by the Construction Project Representative. Grade areas smooth to maintain irregularities and low spots.
- Layout of all plant material in planting areas shall be approved by the Construction Project Representative prior to installation. Coordinate these areas with irrigation layout.
- Plant quantities are for convenience only. CONTRACTOR IS RESPONSIBLE TO VERIFY.
- See details and specifications for decomposed granite procedures.
- Contractor shall excavate and remove all catch basins encountered during planting operations. Excavate to the required depth as indicated on the drawings. Remove and properly dispose of excavated catch basins from site.

PLANTING AREAS: DECOMPOSED GRANITE SHALL BE INSTALLED IN ALL PLANTING AREAS. INSTALL 3/8" MINUS 2" DEEP. ("MINERAL PARK" "CHERRY MIST" - 80% AGGREGATE, 40% FINES.

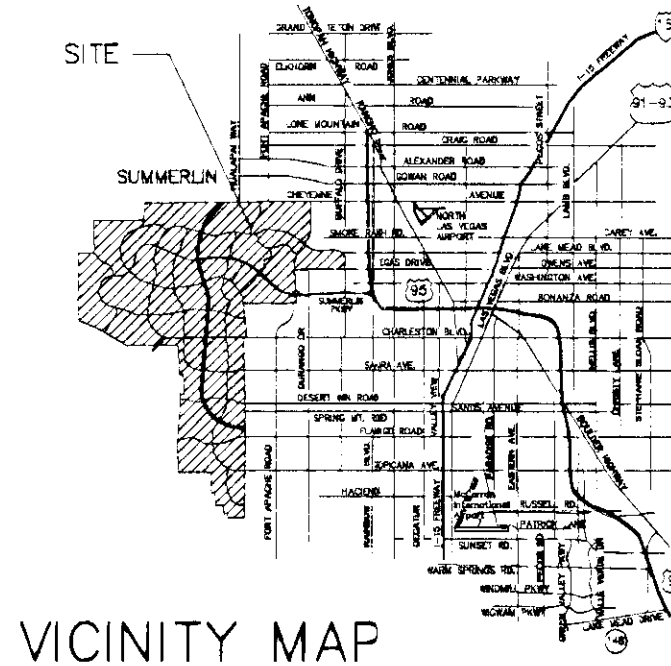
BOULDERS: "MINERAL PARK" (CHERRY MIST) SIZE 3' AND 4'. ORIENT FOR BEST APPEARANCE.

MISCELLANEOUS

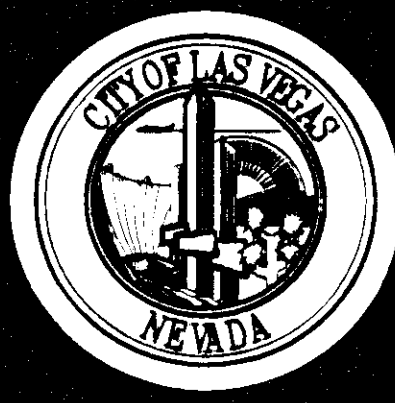
DECOMPOSED GRANITE SOURCE:
MINERAL PARK DECORATIVE ROCK
5275 N. MINERAL PARK ROAD
KINGMAN, AZ 86413
(702) 275-1371 CONTACT: ROBIN MICKELSON

PLANT MATERIAL SOURCE:
MONROVIA GROWERS
P.O. BOX 1385
AZUSA, CA 91702-1385
(800) 999-9321

Avoid cutting underground utility lines. It's costly.
Call before you Dig.
1-800-227-2600



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DEPARTMENT OF PUBLIC WORKS

CITY OF LAS VEGAS, NEVADA
FIRE STATION #101
DEL WEBB & SUNDIAL
Landscape Plan

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

ARCHITECT OF RECORD
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EP8
R101-L1
DATE: 5/24/10
SCALE: As Noted
CITY/NO
L1

CRG-38358
06/16/10 CRG

Planting Notes:

GENERAL - ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY AND COUNTY CODES, AND THESE PLANS.

1. A. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, COORDINATION, SCHEDULING, UTILITY VERIFICATION AND DAMAGE TO OTHER TRADES AND / OR UTILITIES, AS PER CONTRACT GENERAL CONDITIONS.
- B. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT.
- C. ALL IRRIGATION WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE BEGINNING ANY GROUND COVER PLANTING WORK.
- D. THE OWNER'S REPRESENTATIVE WILL INSPECT THE PLANTING WORK PRIOR TO STARTING WORK. THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND COORDINATE ALL INSPECTIONS.
- E. THE QUALITY OF WORKMANSHIP AND MATERIALS SHALL BE OF THE HIGHEST STANDARDS. CO-OPERATION AND FLEXIBILITY IS EXPECTED OF THE CONTRACTOR TOWARD WORKING WITH THE OWNER / OWNER'S REPRESENTATIVE IN PRODUCING THE BEST POSSIBLE PRODUCT.
2. SCOPE OF WORK - FURNISH ALL MATERIAL, LABOR, TRANSPORTATION, EQUIPMENT AND PROPERTY TO COMPLETE THE LANDSCAPING OF THE PLANTING AREAS SHOWN ON THE DRAWINGS, OR REASONABLY IMPLIED TO COMPLETE THE CONSTRUCTION, INCLUDED AS A PART OF THE WORK, BUT NOT NECESSARILY LIMITED BY IT, ARE THE FOLLOWING ITEMS:
- A. FINE GRADING OF ALL PLANTING AREAS.
- B. PREPARATION OF ALL PLANTING AND TREE HOLES.
- C. FURNISHING AND INSTALLATION OF ALL REQUIRED PLANTING BACKFILL MATERIALS, TREE STAKES AND MISCELLANEOUS MATERIALS.
- D. FURNISHING AND INSTALLATION OF ALL PLANT MATERIALS.
- E. PROVIDING MAINTENANCE THROUGHOUT THE SPECIFIED MAINTENANCE PERIOD.
- F. CLEAN-UP AND WEEDING OF ALL LANDSCAPE AREAS.
- G. GUARANTEE OF ALL PLANT MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
3. THE CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS OVER 1" DIAMETER, DEBRIS, AND OTHER EXTRANEOUS MATERIAL FROM THE JOB SITE IN A LEGAL MANNER PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPORT OR IMPORT OF SOIL NECESSARY TO PROVIDE ROUGH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE IN PLANTING AREAS WITH 1% MINIMUM FLOW.
5. FINISH GRADES SHALL BE 1" BELOW ADJACENT CURBS IN GROUND COVER AREAS.
6. ALL TREES AND SHRUBS SHALL BE PLANTED PER THESE NOTES AND AS DETAILED. ALL PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AND LARGEST REASONABLE SIZE AVAILABLE FOR THE SPECIFIED CONTAINER SIZE (WITHOUT BEING ROOT BOUND). SHRUB MATERIALS SHALL BE VIGOROUSLY GROWING, HEALTHY PLANT MATERIAL, FULL AND BUSHY. THE OWNER'S REPRESENTATIVE WILL APPROVE ALL PLANT MATERIAL WHEN SPOTTED FOR PLANTING AND WILL NOT HESITATE TO REJECT ANY MATERIAL OF QUESTIONABLE QUALITY, OR OF LESS THAN THE LARGEST REASONABLE SIZE MATERIAL AVAILABLE.
7. THE OWNER'S REPRESENTATIVE SHALL APPROVE THE LOCATION OF ALL THE FIVE GALLON PLANT MATERIAL AS APPROXIMATELY SPOTTED IN THE FIELD BY THE CONTRACTOR. ALL BOXED MATERIAL AND FIELD GROWN MATERIAL SHALL BE STAKED FOR LOCATION APPROVAL PRIOR TO PLANT PIT EXCAVATION.
8. UPON COMPLETION OF EACH PHASE OF PLANTING WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE SITE OF ALL ACCUMULATED RUBBISH, DEBRIS, AND OTHER EXTRANEOUS MATERIAL.
9. MAINTENANCE PERIOD - THE MAINTENANCE PERIOD SHALL COMMENCE UPON THE OWNER'S AND THE OWNER'S REPRESENTATIVE WRITTEN APPROVAL OF ALL PHASES OF PLANTING INSTALLATION AND SHALL BE FOR 90 DAYS INCLUDING A FERTILIZER APPLICATION. SEE SPECIFICATIONS.
10. MAINTENANCE PROCEDURES - THE GENERAL CARE AND MAINTENANCE OF ALL AREAS SHALL CONSIST OF PROPER WATERING, FERTILIZATION, WEEDING, CLEAN UP, AND AS FOLLOWS:
- A. CULTIVATE AND WEED AT NOT LESS THAN TEN (30) WORKING DAY INTERVALS.
- B. CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEMS IN A LIKE NEW, OPERATING CONDITION, ADJUSTING DRIP EMITTERS AS NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR PROPER WATERING OF ALL PLANTING AREAS AND SHALL REPLACE ANY MATERIAL DAMAGED DUE TO IMPROPER MOISTURE.
- C. ANY CONCENTRATED DEVELOPMENT OF WEED GROWTH THAT MAY APPEAR IN PLANTING AREAS DURING MAINTENANCE PERIOD SHALL BE REMOVED AT THIRTY (30) DAY INTERVALS. THE CONTRACTOR MAY ELECT TO REMOVE SUCH CONCENTRATIONS OF WEEDS MANUALLY OR BY AN APPROVED HERBICIDE PROGRAM.
- D. DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL KEEP THE PREMISES IN A NEAT AND CLEAN CONDITION AT ALL TIMES.
- E. DURING THE MAINTENANCE PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER MAINTENANCE OF ALL PLANTING AREAS. THE CONTRACTOR SHALL BE LIABLE FOR THE REPLACEMENT OF TREE AND SHRUB LOSS THROUGH NEGLIGENCE, IMPROPER PLANTING, IMPROPER CULTURE, OVER FERTILIZATION, CARELESS USE OF CHEMICALS, WEED CONTROLS, OR DAMAGE FROM EQUIPMENT OPERATED BY HIS EMPLOYEES.
- F. REPLACEMENT OF PLANT MATERIAL SHALL BE OF SAME SPECIES, QUALITY, QUANTITY, AND SIZE AS INITIAL INSTALLATION. THE CONTRACTOR SHALL FOLLOW AND COMPLY TO ORIGINAL PLANTING TECHNIQUES AND METHODS FOR PLANT REPLACEMENT.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE SUBMITTAL OF A SOIL SAMPLE WITH AN AGRICULTURAL SOILS SCIENTIST, AND RECEIVE A REPORT, A COPY OF THE REPORT SHALL BE SENT TO THE OWNER'S REPRESENTATIVE.
- BASED ON THIS SOILS ANALYSIS AND FERTILIZER RECOMMENDATIONS, IF ADDITIONAL FERTILIZER IS REQUIRED, THE CONTRACTOR IS REQUIRED TO SUPPLY IT.
- THIS TEST SHALL INCLUDE RECOMMENDATIONS FOR SOIL AMENDMENT, PLANTING BACKFILL, AND MAINTENANCE FERTILIZATION.
12. SUBMITTALS - THE CONTRACTOR IS TO SUBMIT COPIES OF ALL RECEIPTS FOR MATERIALS USED ON THE PROJECT. THESE INCLUDE PLANTS, BACKFILL, FERTILIZERS AND TABLETS, MULCHES, ETC. ALL RECEIPTS MUST LIST THE ITEM, QUANTITY, JOB LOCATION, DATE, AND THE SUPPLIER.

Soil Mix

General: Prior to delivery of topsoil, furnish the Owner with a written statement giving the location from which the topsoil is to be obtained and an agricultural analysis of the topsoil to be used. Provide an agricultural soils test for both import and native soils to be used.

Topsoil: Use this topsoil mixture to replace the excavation at all new park landscape construction within this project.

Composition: All soil used for plantings, whether on-site or import shall be sandy or loamy sands from well-drained sites, free from refuse, root, heavy clay, stones larger than one inch in largest direction, gravel, sticks, brush litter and other deleterious substances. Soil must have less than ten (10) percent clay content and more than seventy-five (75) percent sand content. Soil Salinity: Ecs shall be no greater than four mhos/cm, water holding capacity of soil shall be between 40 percent and 55 percent, Boron- less than one ppm, minimum pH value of 6 and maximum 8.5.

Backfill Composition: 10 percent sandy loam soil by volume. Soil that is sandy loam in makeup as approved for use by the Landscape Architect as demonstrated by a soils test may be taken from the plant pit for use as backfill material or imported soil of a quality acceptable by the Landscape Architect meeting or exceeding the quality of onsite soils as demonstrated by a soils test shall be provided.

10 percent peat moss by volume.

10 percent wood chips by volume.

10 percent soil conditioner by volume.

Gro-Power Planting Tablets for extended feeding / soil conditioning at rate recommended by manufacturer.

The specified backfill materials shall be premixed using a soil grinder or equal, then turned several times with a front-end loader to a uniform, evenly blend consistency, free of all pockets of unblended material and any clods or stones greater than 1 inch in diameter. Backfill mix shall be delivered to each planting pit after mixing has occurred.

Another acceptable backfill mix shall be a pre-mix listed under the trade name "Nutri Mulch". This product is available through: Nutri Mulch, Organic Soil Conditioner, P.O. Box 368 Moroni, Utah 84636 (800) 745-8230

Backfill Mix for all Bare Root Palm Trees to consist of the following:

100% Washed Concrete Sand

FLAGSTONE PAVERS: COLOR: Rebel Red, 2' diameter.

BOULDERS: Rebel Red, Size 2' and 3', 50% of each size. See detail 4/L2 for installation.

DECOMPOSED GRANITE: retail a 2" layer of 3/4" match adjacent Golf Course Right of Way Color Submittal required.

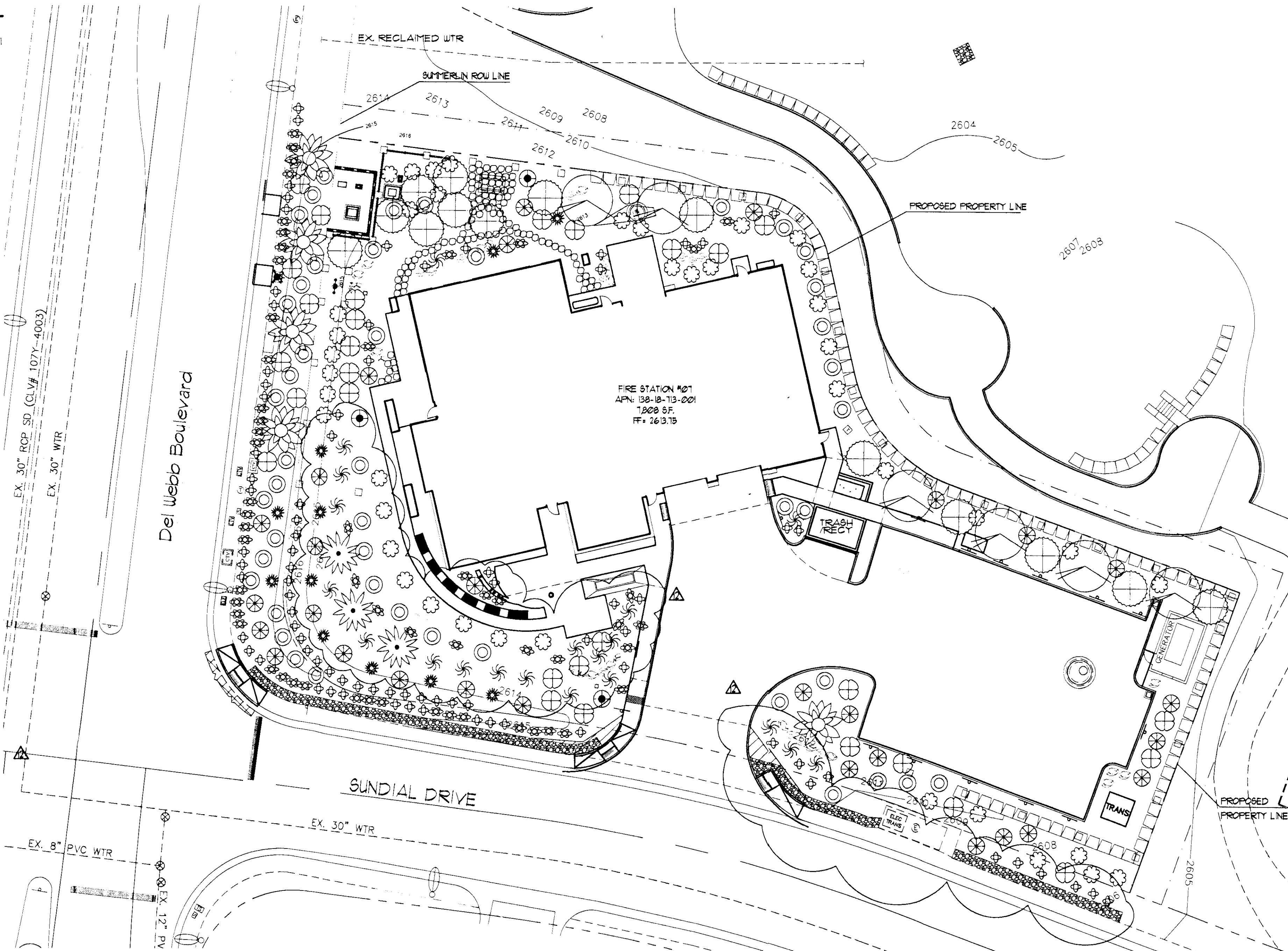
Before placing granite, compact sub-grade to 80% and apply a pre-emergent herbicide to soil after placing granite, take smooth wet entire depth, allow to dry. Apply a secondary application of pre-emergent herbicide to top of granite. Keep top of granite 1" below adjacent curb, do not allow granite or herbicides to touch the trunk of any plant. Install after plant material installation is completed.

MANUFACTURERS:

DECOMPOSED GRANITE SOURCE: MINERAL PARKS DECORATIVE ROCK 9376 E. URGENT DR. HO BOX 288 KINGMAN ARIZONA 86401 (702) 275-1371

PLANT MATERIAL SOURCE: MOUNTAIN STATES NURSERY 10220 JI GLENDALE AVENUE GLENDALE, AZ 85307 (800) 840-2509

FLAGSTONE SOURCE: LAS VEGAS ROCK 2 PRISON ROAD JEAN, NV 89013 (702) 79-1625



Landscape Plan

Scale: 1"=20'-0"

Tree Schedule

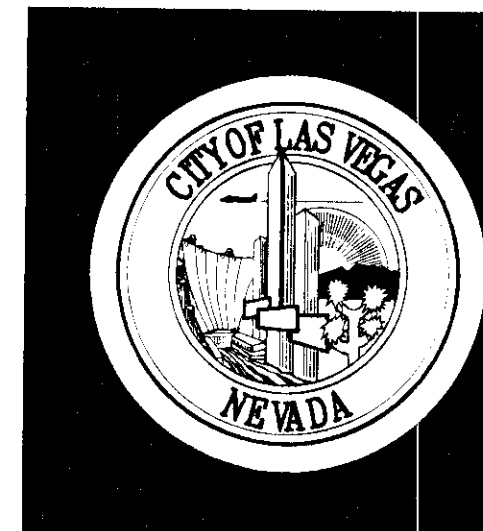
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	TOTAL
	CANARY ISLAND DATE PALM	PHOENIX CANARIENSIS PINEAPPLE TOP	3' - 5' BROWN TRUNK HEIGHT	3
	CALIFORNIA DATE PALM	PHOENIX DACTYLIFERA	10' BROWN TRUNK HEIGHT	3
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	24" Box	14
	DESERT MUSEUM PALO VERDE	PARKINSONIA (CERCIDIUM)	24" Box MULTI TRUNKS	6
	BEAKED YUCCA	YUCCA ROSTRATA HYBRID	3' TRUNK	3
	WINDMILL PALM	TRACHYCARPUS FORTUNEI	4' BTH	18
		TOTAL TREES		43

Shrub Schedule

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	TOTAL
	GREEN CLOUD TEXAS RANGER	PLEUCOPHYLLUM FRUTESCENS	5 GALLON	41
	DESERT SPOON	DASYLIRION WHEELERI	5 GALLON	11
	MEXICAN GRASS TREE	DASYLIRION LONGISSIMUM	5 GALLON	28
	NEW GOLD LANTANA	LANTANA HYBRID 'NEW GOLD'	5 GALLON	80
	DALLAS ORANGE LANTANA		5 GALLON	55
	DWARF PINK OLEANDER	NERIUM OLEANDER PETITE PINK	5 GALLON	46
	MEXICAN BIRD OF PARADISE	CAESALPINIA MEXICANA	5 GALLON	30
	3' BOULDER	MATCH PROJECT DG		
	2' BOULDER	MATCH PROJECT DG		
		TOTAL SHRUBS		291

APPROVED LANDSCAPING PLAN

6/14/12
City of Las Vegas Department of Public Works



REVISIONS
Revision June 6, 2012
CONSULTANT

DEPARTMENT OF PUBLIC WORKS

Fire Station 107
Del Webb Blvd. and Sundial Dr.
Planting Plan
Planting Notes

RECEIVED
JUN 14 2012
CITY OF LAS VEGAS PERMITS

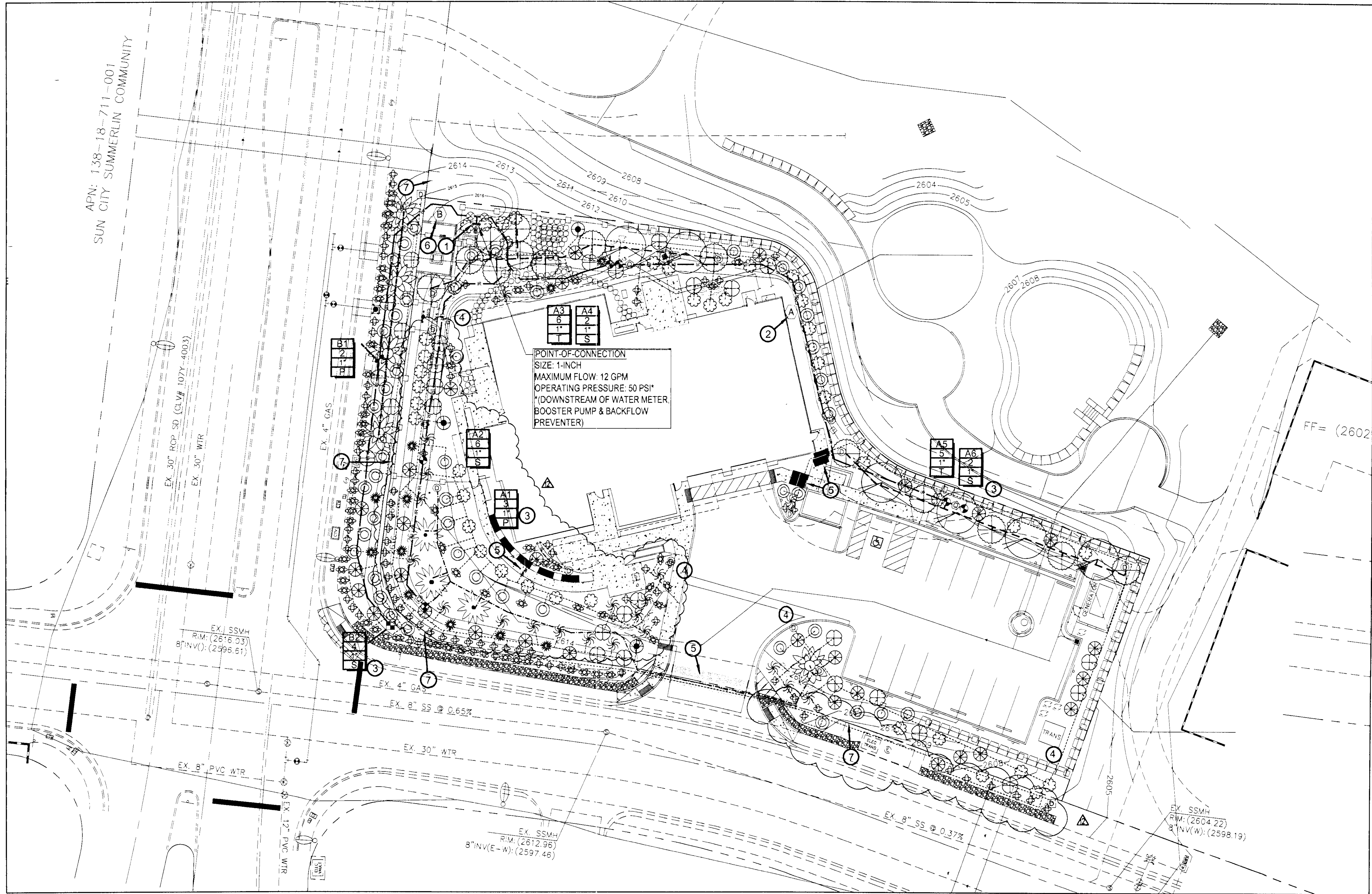
MARLENE M. SISK
REGISTERED
No. 4528
ARCHITECT
STATE OF NEVADA

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101
PHONE: (702) 229-6535
FAX: (702) 384-4846
TDD: (702) 384-9108

DRAWN
FILE
DATE 5/23/12
SCALE 1"=20'-0"
BIB NO 101534108
CIVIL ENGINE 630-110
27883

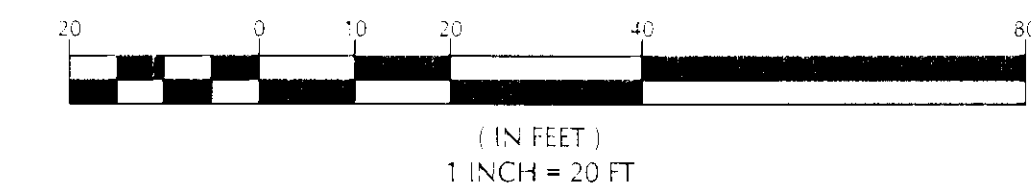
SPR NO
P-1



APN: 138-18-711-001

APN: 138-17-310-001
SUN CITY SUMMERLIN COMMUNITY

GRAPHIC SCALE



BENCHMARK

CLV BM 0C00 18SEE6A: RIVET & PLATE IN TOP OF CURB, NE CORNER OF DEL WEBB BOULEVARD AND SUNDIAL DRIVE,

BASIS OF BEARING

CENTERLINE OF SUNDIAL DRIVE, BEARS S 83°00'00" E, AS SHOWN ON THAT PARCEL MAP, RECORDED IN FILE 84 OF PARCELS, PAGE 12, IN THE CLARK COUNTY, NEVADA, OFFICIAL RECORDS.

SITE INFORMATION

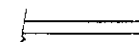
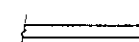
LOT SIZE:	36,834 SQ. FT.
BUILDING SQUARE FOOTAGE:	7,808 SQ. FT.

SITE PARKING ANALYSIS

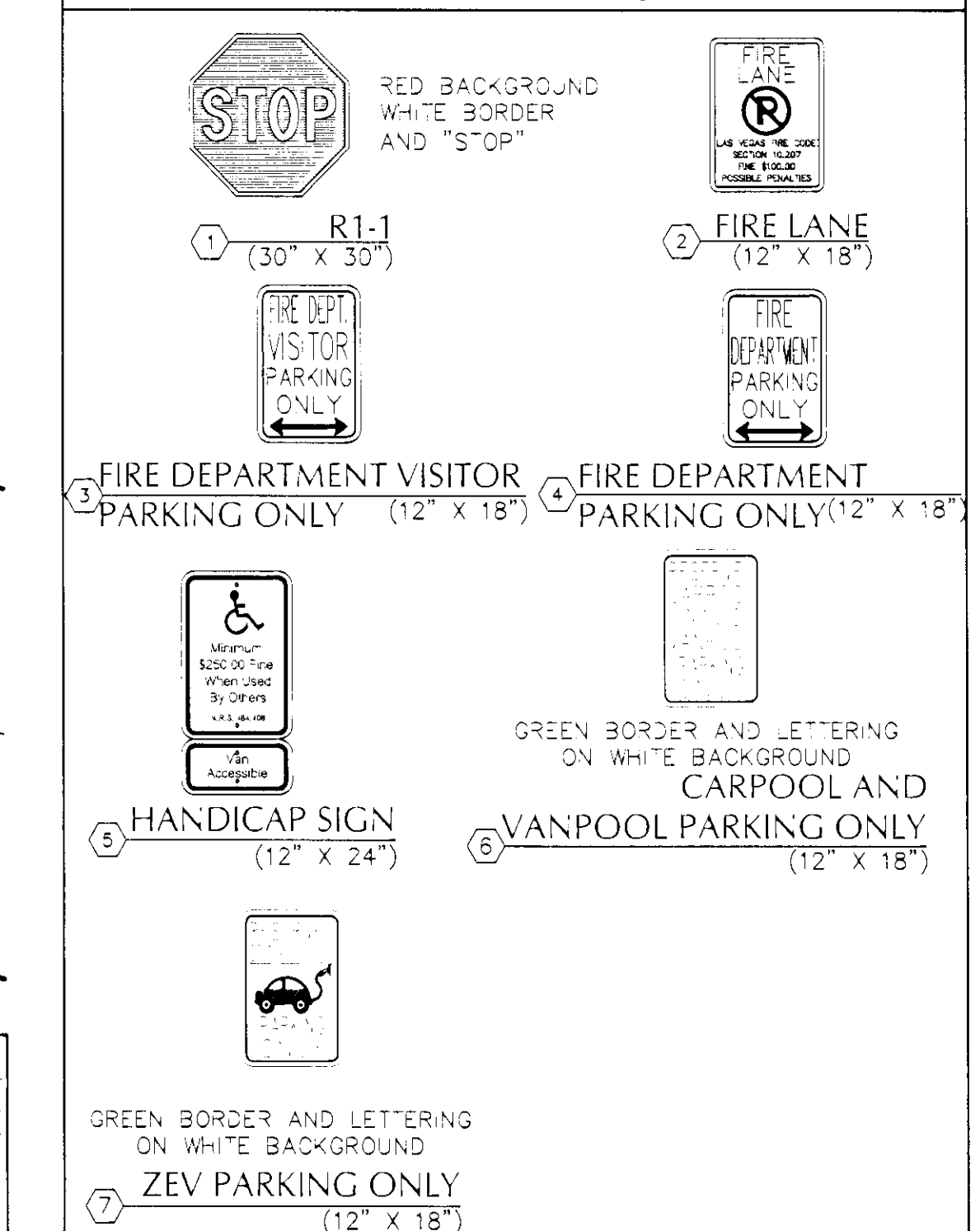
REGULAR SPACES:	15 SPACES
ADA SPACES:	1 SPACE

TOTAL SPACES PROVIDED: 16 SPACES

LEGEND

- | | | |
|---|---|-------------------------------------|
| |  | PROPERTY LINE-ADJACENT |
| |  | PROPERTY LINE-RIGHT-OF-WAY |
| |  | CENTERLINE |
| |  | EASEMENT LINE |
| EXISTING | PROPOSED | |
|  |  | 24" TYPE 'L' CURB AND GUTTER |
|  |  | 6" TYPE 'A' CURB |
| |  | PUBLIC FACILITY |
| |  | PR. WROUGHT IRON FENCE AND COLUMN |
| |  | PR. RED-ROCK GRAVITY RETAINING WALL |
| |  | ADA ACCESSIBLE ROUTE |

SIGN DETAILS



FIRE STATION #107
APN: 138-17-310-001

SITE PLAN

MARTIN & MARTIN
Civil Engineers
1909 South Jones Boulevard,
Las Vegas, Nevada 89146
Phone (702) 248-8000
Fax (702) 248-8070

SHEET NUMBER

EX-2

SHEET 1 OF 1

CRG-38368
06/16/10 CRG

REC'D
MAY 16 1961
CITY OF LOS ANGELES

SIGN HEIGHT DETAIL
NTS

VICINITY MAP
NTS

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APN: 138-18-711-001
SUN CITY SUMMERLIN COMMUNITY

APN: 138-17-310-001
SUN CITY SUMMERLIN COMMUNITY

GRAPHIC SCALE



BENCHMARK

CLV BM 0000 185858A: RIVET & PLATE IN TOP OF CURB, NE CORNER OF DEL WEBB BOULEVARD AND SUNDIAL DRIVE.

BASIS OF BEARING

CENTERLINE OF SUNDIAL DRIVE, BEARS S 83°00'00" E, AS SHOWN ON THAT PARCEL MAP, RECORDED IN FILE #4 OF PARCELS, PAGE 12, IN THE CLARK COUNTY, NEVADA, OFFICIAL RECORDS.

SITE INFORMATION

TOT SIZE: 36,834 SQ. FT.
BUILDING SQUARE FOOTAGE: 7,808 SQ. FT.

SITE PARKING ANALYSIS

REGULAR SPACES: 15 SPACES
ADA SPACES: 1 SPACE

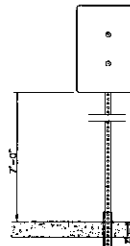
TOTAL SPACES PROVIDED: 16 SPACES

LEGEND

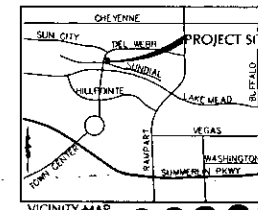
- PROPERTY LINE-ADJACENT
- PROPERTY LINE-RIGHT-OF-WAY
- CENTERLINE
- EASEMENT LINE
- EXISTING PROPOSED
- 24" TYPE 'L' CURB AND GUTTER
- 8" TYPE 'A' CURB
- PUBLIC FACILITY
- PR. WROUGHT IRON FENCE AND COLUMN
- PR. RED-ROCK GRAVITY RETAINING WALL
- ADA ACCESSIBLE ROUTE

SIGN DETAILS

- STOP (30" x 30")
- RI-1 (30" x 30")
- FIRE LANE (12" x 18")
- FIRE DEPARTMENT VISITOR PARKING ONLY (12" x 14")
- FIRE DEPARTMENT PARKING ONLY (12" x 18")
- HANDICAP SIGN (12" x 24")
- PERM. PARKING ONLY (12" x 18")
- GREEN BORDER AND LETTERING ON WHITE BACKGROUND CARPOOL AND VANPOOL PARKING ONLY (12" x 18")
- GREEN BORDER AND LETTERING ON WHITE BACKGROUND ZEV PARKING ONLY (12" x 18")



SIGN HEIGHT DETAIL



RECEIVED

MAY 26 2010

CRG-38368

06/16/10 CRG

City of Las Vegas

NO.	DESCRIPTION OF REVISIONS	DATE	INITIALS

DATE	10/23/09
ADD NUMBER	2000
DESIGN BY	R. COBBEL
DRAWN BY	R. COBBEL
CHECKED BY	J. MURPHY, P.E.

FIRE STATION #107
APN: 138-17-310-001

SITE PLAN

MARTIN & MARTIN
Civil Engineers
1909 South Jones Boulevard
Las Vegas, Nevada 89146
Phone: (702) 248-6000
Fax: (702) 248-6070

SHEET NUMBER

EX-2

SUBMITTAL



DEPARTMENT OF PUBLIC WORKS

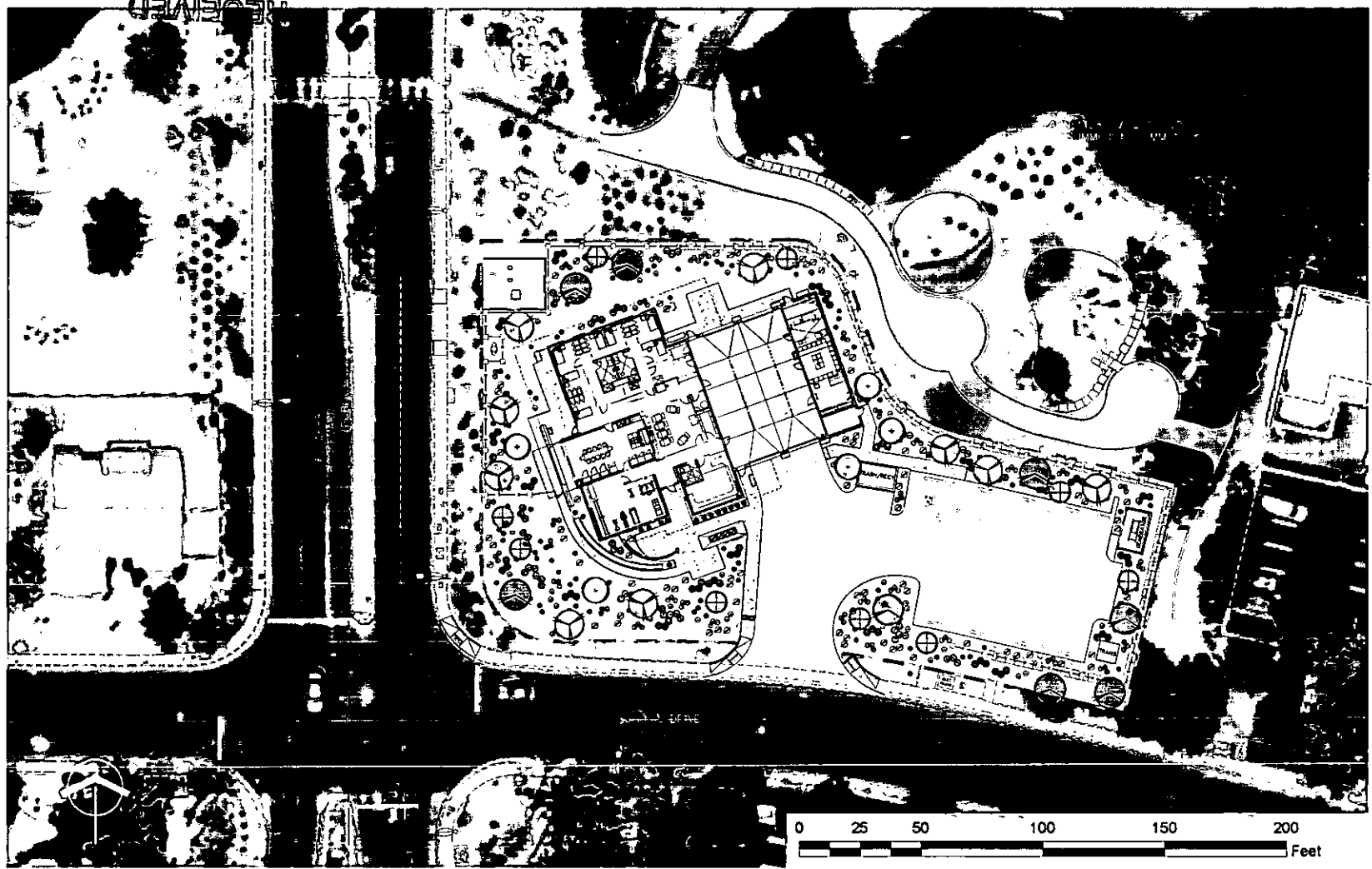
CITY OF LAS VEGAS, NEVADA
FIRE STATION #201
DEL WEBB & SANDIAL
Landscape Plan

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURE OF RECORD
ARCHITECT: J. J. YOUNG, AIA, INC.
DATE: 06/16/10
BY: J. J. YOUNG
CHECKED: J. J. YOUNG
APPROVED: J. J. YOUNG

City of Las Vegas

MAY 26 2010

RECEIVED



PLANT SCHEDULE

SYMBOL	QTY	SIZE	COMMON NAME	COMMON NAME	SPACING/COMMENTS
1	10	10"	FRANKLIN YELLOWS "TWO-GRANES"	FRANKLIN YELLOWS	STANDARD
2	10	10"	ITALICA YELLOWS "TWO-GRANES"	ITALICA YELLOWS	STANDARD
3	10	10"	ITALICA YELLOWS "TWO-GRANES"	ITALICA YELLOWS	STANDARD
4	10	10"	ITALICA YELLOWS "TWO-GRANES"	ITALICA YELLOWS	STANDARD
5	10	10"	ITALICA YELLOWS "TWO-GRANES"	ITALICA YELLOWS	STANDARD

SYMBOL	QTY	SIZE	COMMON NAME	COMMON NAME	SPACING/COMMENTS
6	10	10"	ITALICA YELLOWS "TWO-GRANES"	ITALICA YELLOWS	STANDARD
7	10	10"	ITALICA YELLOWS "TWO-GRANES"	ITALICA YELLOWS	STANDARD
8	10	10"	ITALICA YELLOWS "TWO-GRANES"	ITALICA YELLOWS	STANDARD
9	10	10"	ITALICA YELLOWS "TWO-GRANES"	ITALICA YELLOWS	STANDARD
10	10	10"	ITALICA YELLOWS "TWO-GRANES"	ITALICA YELLOWS	STANDARD

PLANTING NOTES:

1. All plantings shall be installed in accordance with the following specifications:

2. All plantings shall be installed in accordance with the following specifications:

3. All plantings shall be installed in accordance with the following specifications:

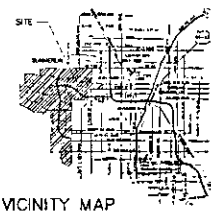
PLANTING AREA: OCCUPYED GRASSY SPACE TO BE INSTALLED IN ALL PLANTING AREAS.

PLANTING AREA: OCCUPYED GRASSY SPACE TO BE INSTALLED IN ALL PLANTING AREAS.

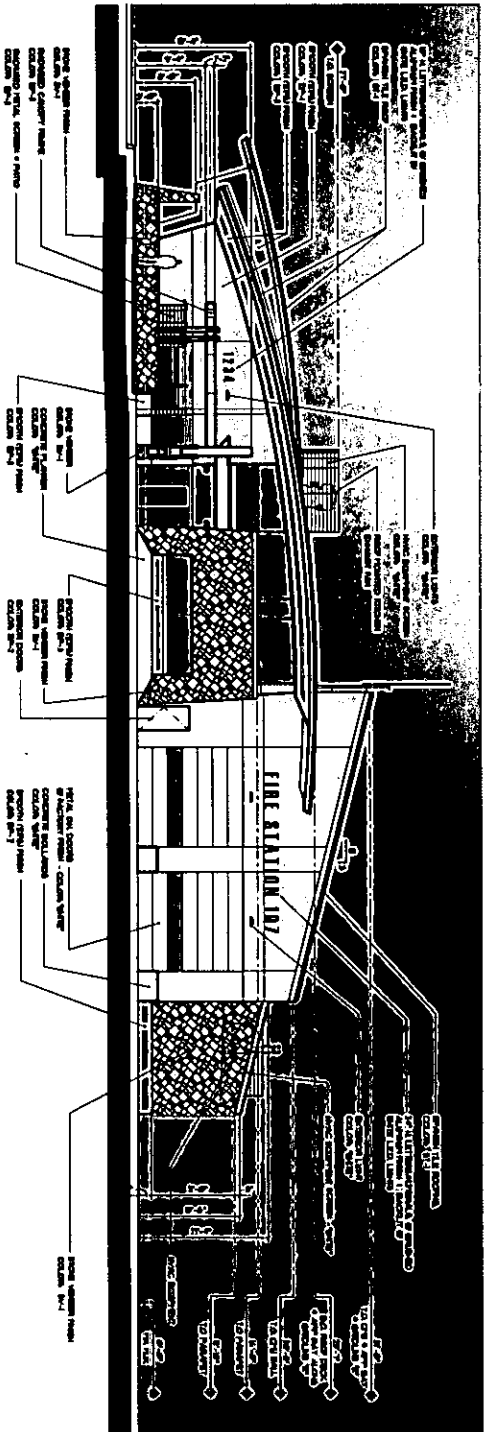
PLANTING AREA: OCCUPYED GRASSY SPACE TO BE INSTALLED IN ALL PLANTING AREAS.

CRG-38368

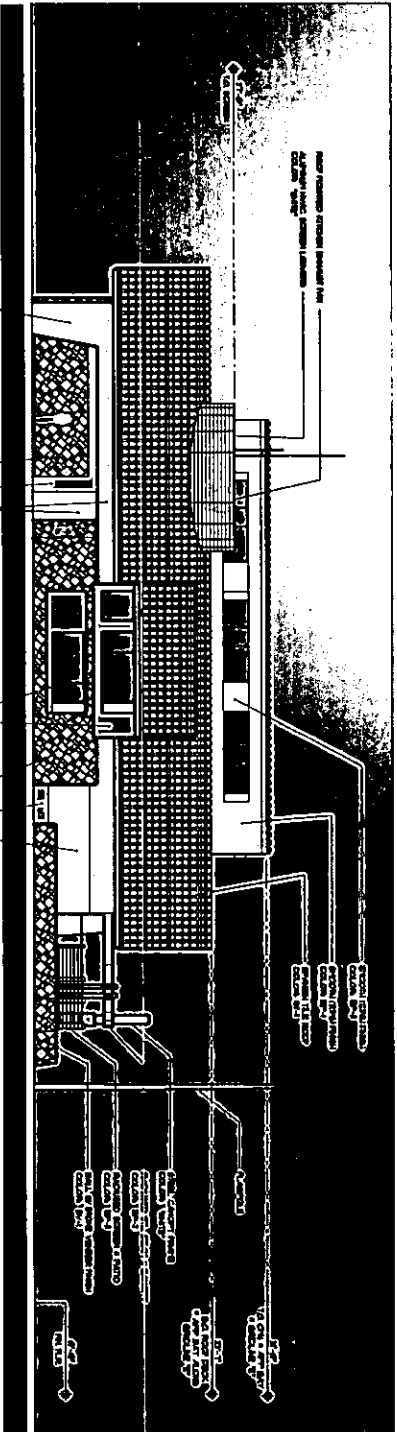
06/16/10 CRG



VICINITY MAP



1 South Elevation



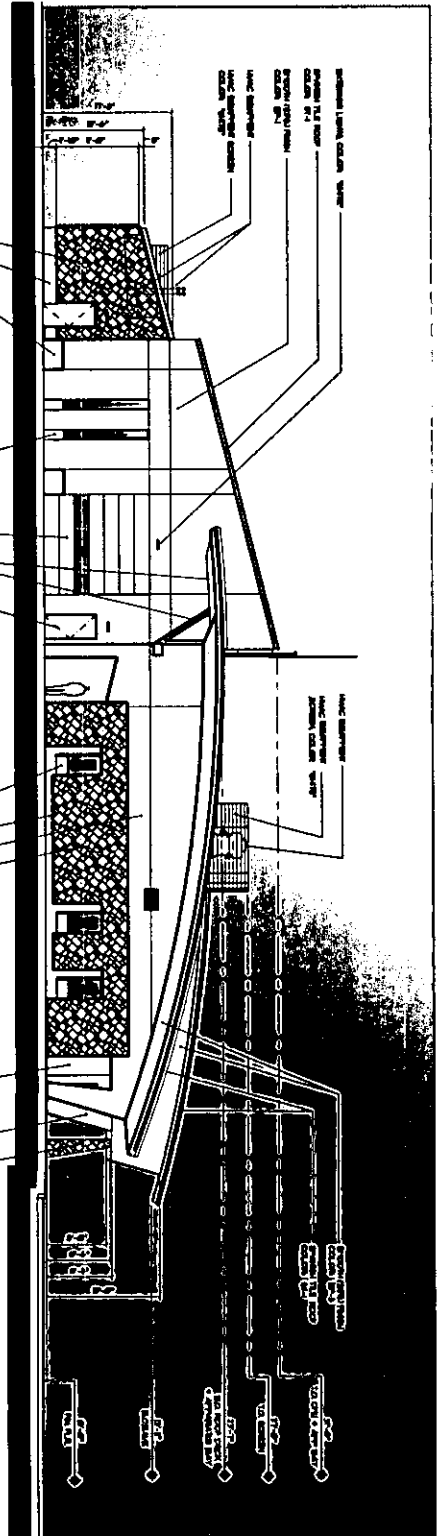
2 West Elevation

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MAY 26 2010
CRG-38368 City of Las Vegas
06/16/10 CRG

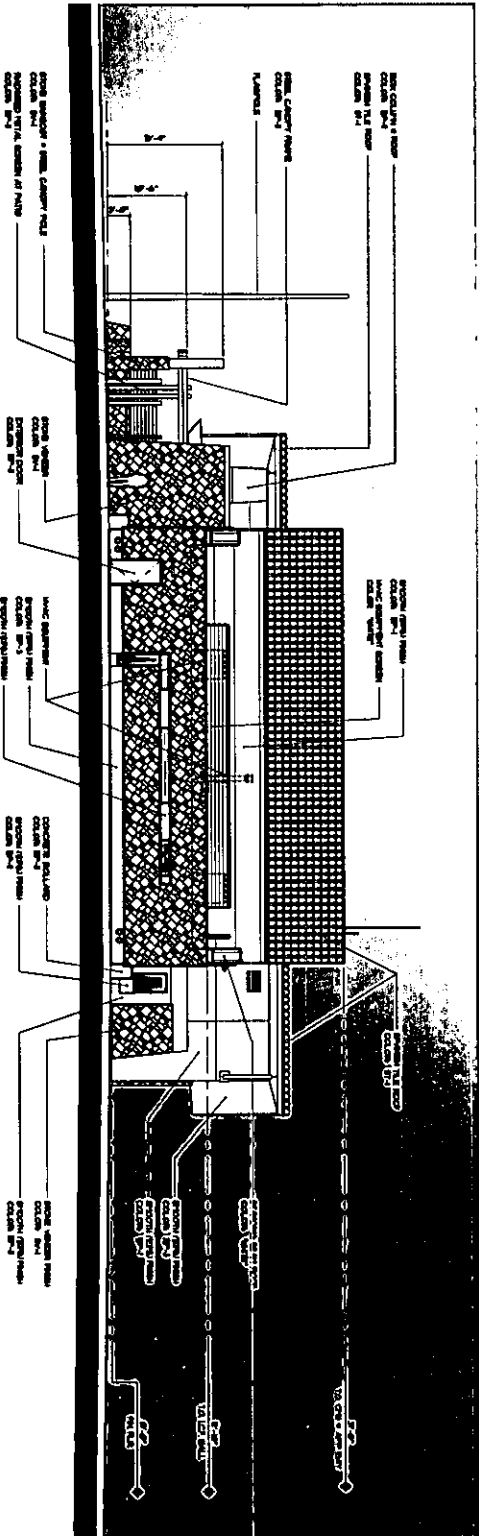


CITY OF LAS VEGAS, NEVADA
FIRE STATION 107
DEL WEBB & BUNDAL
Exterior Elevations

PROJECT NO.	CRG-38368
DATE	06/16/10
BY	CRG
CHECKED BY	
APPROVED BY	
SCALE	A4.1

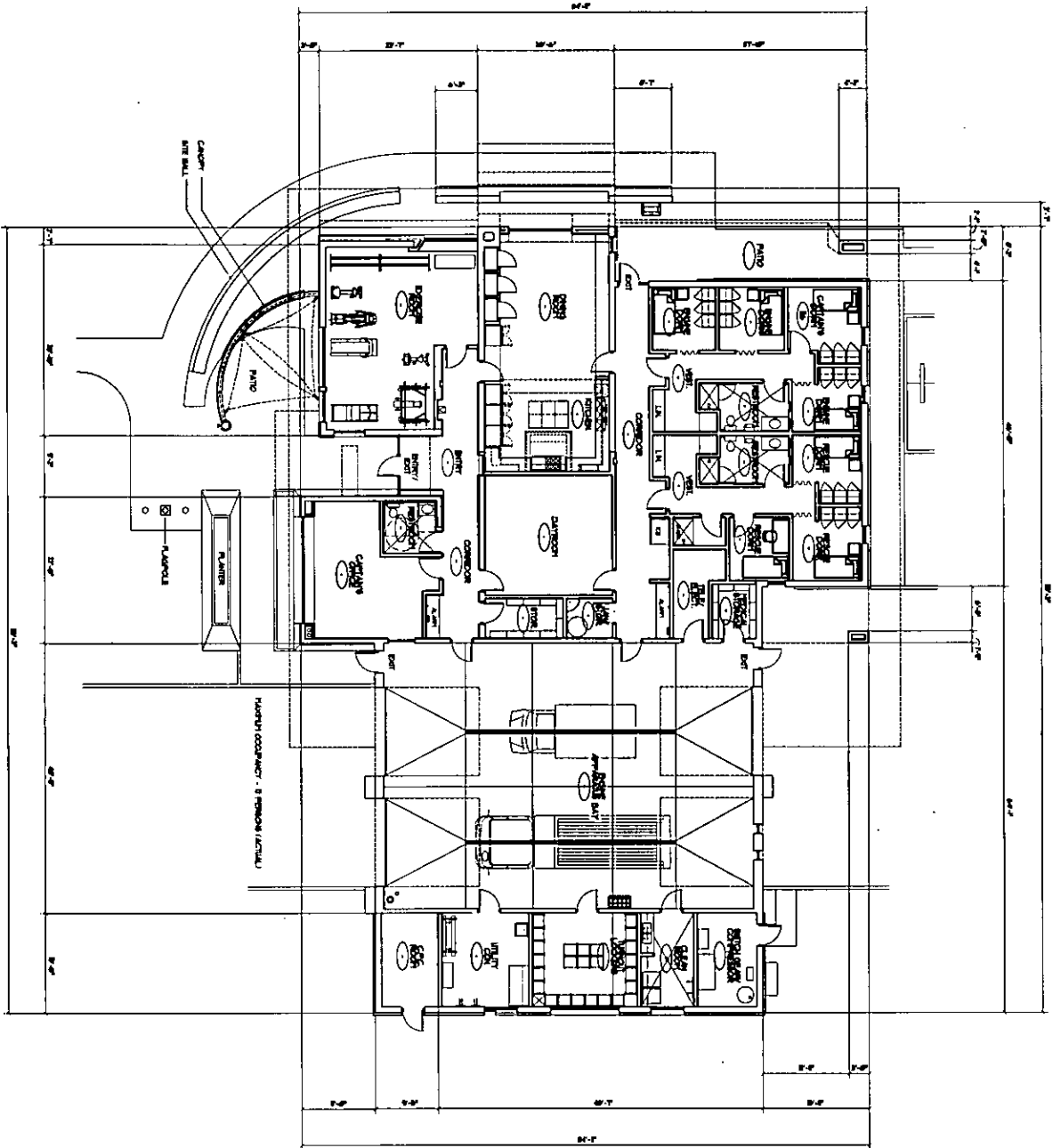


① **North Elevation**



2 East Elevation

RECEIVED
MAY 26 2010
CRG-38368
06/16/10 **CRG** City of Las Vegas



Floor Plan

Project North

Notes

1. SEE SHEET FOR DETAILS.
2. SEE SHEET FOR DETAILS.
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CRG-38368 MAY 26 2010
06/16/10 CRG city of Las Vegas



CITY OF LAS VEGAS, NEVADA
FIRE STATION #01
DEL WEBB & SUNDIAL
Noted Floor Plan

A1.1

Meeting Attendance Sheet

Project Name FIRE STATION #107

Page 1 of 1
Date 6/16/10
Time 2:00 am (pm)

Name	Company/Department	Address	Phone	Fax
1. PETER LOWENSTEIN	CLV/PLANNING	731 S. 4th St	229-4693	
2. TOM MILLER	MARTIN & MARTIN	1909 S. JONES	835-8713	28-8070
3. SAM TOLMAN	CLV/FW	400 STEWART	229-2001	2164-2560
4. DAVID STEINMAN	Sun City Summerlin dsteinman@cox.net		4939728	
5. VICTOR BOLANOS	CLV TRAFFIC	229-6901		
6. Roger Bailey	CLV DevCo	229-2196	229-2196	
7. Erik Singman	CLVCPM	229-6494		
8. OZZIE MIRKHAH	LVF&R	229-6761		
9.			Phone	Fax
10.			Phone	Fax
11.			Phone	Fax
12.			Phone	Fax
13.			Phone	Fax
14.			Phone	Fax
15.			Phone	Fax
16.			Phone	Fax
17.			Phone	Fax

Carman Burney

Subject: CRG-38368
Location: Conference Room 2C

Start: Wed 6/16/2010 2:00 PM
End: Wed 6/16/2010 2:30 PM

Recurrence: (none)

Meeting Status: Meeting organizer

Organizer: Carman Burney

The City Referral Group Meeting will be held on Wednesday, June 16, 2010 at 2:00pm, DSC Conference Room 2C. The attached item will be discussed at the meeting.

Should you have any questions, please contact Peter Lowenstein at x4693.



CRG-38368.pdf

Thank you!



Carman Burney



Agenda Tech II
City of Las Vegas
Planning & Development Department
Case Planning Division
731 South 4th Street
(702) 229-6897/FAX (702)385-7268

<http://www.lasvegasnevada.gov/>

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST				
Item Required						
YES	NO					
APPLICATION PACKET						
☒	☐	Application signed and notarized by all property owners or authorized agent(s)			NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." -> "Apply for -> Planning Applications")	
☒	☐	Grant deed and legal description				
☒	☐	Detailed justification letter				
☒	☐	Correct fee(s): \$ 300.00 (Application) + \$ 0.00 (Notification) + \$ 30.00 (Recordation) = \$ 330.00 Total				
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)				
☒	☐	Assessor's Parcel Map				
☐	☒	Development Impact Notice and Assessment (DINA)				
☐	☒	Project of Regional Significance (PRS)				
☒	☐	Color & Materials Board per Site Development Plan Review Submittal Requirements				
☒	☐	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☐)				
SITE PLAN						
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 19	
☒	☐	North arrow, scale, and vicinity map			Colored, Rolled Plans: 1	
☒	☐	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 B/W): 1	
☒	☐	All building setbacks labeled			NOTES:	
☒	☐	All adjacent existing land uses and street names labeled				
☒	☐	All points of ingress and egress shown				
☒	☐	ADA accessibility requirements shown/labeled				
☒	☐	Parking standard(s) utilized:				
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total				
☒	☐	All free-standing sign locations shown and heights and sizes noted				
LANDSCAPE PLAN						
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 3	
☒	☐	North arrow, scale, and vicinity map			Colored, Rolled Plans: 1	
☒	☐	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 B/W): 1	
☒	☐	All required perimeter landscape planters shown			NOTES:	
☒	☐	All required parking lot fingers/islands shown				
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover				
BUILDING ELEVATIONS						
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 2	
☒	☐	Scale and building dimensions labeled			Colored, Rolled Plans: 1	
☒	☐	North, south, east, and west elevations of all buildings			Reduced Copy (8-1/2x11 B/W): 1	
☒	☐	All building materials and colors noted			NOTES:	
☒	☐	8" x 10" photo of original color and material board				
☒	☐	All wall sign locations shown and sizes noted				
FLOOR PLANS						
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1	
☒	☐	Scale and building dimensions labeled			Colored, Rolled Plans: 1	
☒	☐	All building entrances/exits shown			Reduced Copy (8-1/2x11 B/W): 1	
☒	☐	Use of all rooms noted/labeled			NOTES:	
☒	☐	Maximum Occupancy (per I.B.C.)				
☒	☐	Seating Capacity (where applicable)				
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.						
Owner / Applicant:	City of Las Vegas			Application Type:	City Referral Group	
Representative:	Samuel D Tolman			Application Purpose:	Fire Station	
APN:	138-17-310-001			Site Location:	NE Corner of Del Webb Blvd and Sundial Dr	
Planner's Signature:				Pre-App. Meeting Date:	09/29/09	
Planner:				Greg Kapovich, Planner I - 229-6137	Earliest Submittal Deadline:	10/29/09 no later than 2:00 pm 11/25/09
					Earliest PC / CC Meeting Dates:	12/03/09 PC 8/10/10 CC

N. Goldberry, Senior Planner
T. Smith 5/13/10

CRG - 12/16/09



PLANNING & DEVELOPMENT DEPARTMENT

PLANNER'S NOTES FOR PRE-APPLICATION CONFERENCE

Fire Station #107

APN:	138-17-310-001	Pre-app Date:	09/29/09
Location:	NE Corner of Del Webb Blvd & Sundial Dr	Meeting Location:	DSC 1st Floor Conference Room - 1B
Acres:	12.26	Ward #:	4 - Anthony
Time:	3:00 p.m.		
Ownership Info:	City of Las Vegas	Phone:	(702)-
		Fax:	(702)-
		Email:	
Applicant Info:	Samuel D. Tolman	Phone:	(702)-229-6531
		Fax:	(702)-
		Email:	
Representative Info:	Same as above	Phone:	(702)-
		Fax:	(702)-
		Email:	
Cases:	Permits / Licenses:		
1. A-0020-86 - City Council approved an annexation on 12/22/86.	1. 35877 - Building permit applied but not approved for 5 potholes for the new fire station #107 two bay prototype. The review has not been conducted.		
2. PMP-36155 bluelines submitted on 9/23/09.			
Proposed Use:	Fire Station		
General Plan:	Existing:	PR-OS	
	Proposed:	No change proposed	
Zoning:	Existing:	P-C	
	Proposed:	No change proposed	
Special Area, Master Plans, and / or Overlay Districts that Apply:	Sun City Summerlin		
	Special Land Use Designation (per plan): N/A		
Questions / Comments:	1. Mapping - Will you be submitting a parcel map or will you apply for a MOD.		



LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN

ELIZABETH N. FRETWELL
CITY MANAGER

JORGE CERVANTES
PUBLIC WORKS DIRECTOR

DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT
SECTION
CITY OF LAS VEGAS
333 N. RANCHO DR., 9TH FLOOR
LAS VEGAS, NEVADA 89106

OFFICE 702.229.6535

TTY 702.386.9108

www.lasvegasnevada.gov

June 14, 2012

HAND DELIVERED

CLV Development Services Center
Department of Building and Safety
333 N. Rancho Drive
Las Vegas, NV 89106

SUBJECT: Fire Station #107 (Parent (original) Project # 41103-C-11 / Project #206658-C-12)

To whom it may concern,

This letter is to request a revision to the building permit as a result of changes made to the landscape drawings. The revisions include the following:

Sheet P-1:

- The number of California Date Palm trees was reduced from 8 to 3.
- The number of Windmill Palms was increased from 17 to 18.
- The number of Green Cloud Texas Ranger shrubs was decreased from 43 to 41.
- The number of Mexican Grass Trees was decreased from 28 to 27.
- The number of New Gold Lantana shrubs was decreased from 82 to 80.
- The number of Mexican Bird of Paradise shrubs was increased from 27 to 30.
- Rip rap is now shown on the east side of the driveway to match the civil drawings.

Sheet IR-1:

- The irrigation lines in the bubbled area have been revised in accordance with the changes on sheet P-1.
- Controller station "A1" changed from 5 GPM discharge to 3 GPM discharge.
- Rip rap is now shown on the east side of the driveway to match the civil drawings.

The drawings have been reviewed, approved and stamped by the Sun City Summerlin Community Association Architectural Review Committee.

Three sets of bond copies of the above drawings referenced above have been included with this letter for the plans examiner's review. Please call me at 229-6494 if you have any questions.

Sincerely,

Erik Singman (Representative for Samuel D. Tolman, AIA, NCARB)
Designer

CLV

213492 / 41103-C-11

RECEIVED

JUN 14 2012

CITY OF LAS VEGAS
PERMITS

CRG 38368

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

June 23, 2010

Mr. David Steinman
Sun City Summerlin Home Association
9107 Del Webb Boulevard
Las Vegas, Nevada 89134

Re: CRG-38368 - CITY REFERRAL GROUP

Dear Mr. Steinman:

Your request for a Summerlin Site Development Plan Review for a Summerlin Site Development Plan Review FOR A PROPOSED 7,808 SQUARE-FOOT PUBLIC FACILITY (FIRE STATION) on 0.84 acres at the northeast corner of Sundial Drive and Del Webb Boulevard (APN 138-18-713-001), P-C (Planned Community) Zone, Ward 4 (Anthony), was considered by the City Referral Group on June 16, 2010.

The City Referral Group **APPROVED** your request subject to the following:

Planning & Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 05/26/10, except as amended by conditions herein.
3. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
4. These Conditions of Approval shall be affixed to the cover sheet of the plan set submitted for building permit.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner.
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. The mechanical screen wall surrounding the proposed generator is to be aesthetically compatible with that of the proposed fire station.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

12. All landscaping and private improvements installed with this project shall be situated and maintained so as not to create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
13. Unless otherwise allowed by the City Engineer, the submitted Drainage Plan and Technical Drainage Study must be approved by the Department of Public Works prior to the issuance of any permits for this site.
14. Site development to comply with all applicable Summerlin Development and Improvement Standards.

This action by the City Referral Group on June 16, 2010 is final unless a written appeal is filed with the Director of the Planning and Development Department within ten days of the date of the City Referral Group's decision.

Sincerely,



Peter Lowenstein, AICP
Planning Supervisor
Public Planning Division

PL:clb

cc: Mr. Sam Tolman
City of Las Vegas
400 Stewart Avenue
Las Vegas, Nevada 89101

CRG STAFF REPORT

DATE: June 16, 2010

CASE: CRG-38368

APPLICANT: City of Las Vegas

LOCATION: Northeast corner of Sundial Drive and Del Webb Boulevard

APPLICATION REQUEST:

This is a request for a Summerlin Site Development Plan Review for a proposed 7,800 square-foot public facility (fire station) on 0.84 acres at the northeast corner of Sundial Drive and Del Webb Boulevard (APN 138-18-713-001), P-C (Planned Community) Zone, Ward 4 (Anthony)

BACKGROUND DATA:

- 10/15/09 The Department of Planning & Development accepted for processing a request for a technical review of a Parcel Map (PMP-36155) for 81.01 acres located at the northeast corner of Del Webb Boulevard and Sundial Drive. The Parcel Map recorded on 04/06/10 (Book 117, Page 36).
- 01/06/10 The City Council approved a Variance (VAR-36431) to allow 16 parking spaces where 26 are required for a proposed 7,600 square-foot fire station on a portion of a 12.26 acre site adjacent to the northeast corner of Del Webb Boulevard and Sundial Drive.

LAND USE AND DEVELOPMENT OF ADJACENT PROPERTIES:

North	Golf Course / Common Area (Golf Course)
South	Commercial (Office Building)
East	Golf Course / Common Area (Golf Course Maintenance Facility)
West	Golf Course / Common Area & Single Family Homes (Golf Course & Single Family Residential Dwelling)

DETAILS OF APPLICATION:

Site Area:	0.84	Acres
Fire Station Building:	7,808	Square Feet
Building Height:	30'-0"	Feet/Inches to highest point
Parking Required:	26	Parking Spaces [1 Space for every 300 square feet of GFA]
Parking Provided:	16	Parking Spaces (VAR-36431)
Handicap Parking:	1	Parking Spaces (one van accessible)

USE

The subject site is located within Summerlin Village 5, which is one of the three villages that compose Sun City Summerlin. The subject site is designated P-C (Planned Community) and has a General Plan Designation of PR-OS (Parks/Recreation/Open Space). Within the Sun City Summerlin master planned community the subject site is designated as Golf Course / Common Area. A fire station is a permitted use within areas designated as community open space.

SITE PLAN

The site plan illustrates the proposed 7,808 square foot fire station as being located within the northwest portion of the .84 acre site. Ingress/egress will be achieved from Sundial Drive. The parking lot area contains a total of 16 parking spaces of which one is handicap van accessible. Wheel stops have been utilized throughout the parking field. Parking lot signage is to be utilized to limit parking to one van accessible handicap space, one electric car space, one carpool and vanpool space, one visitor space and 12 reserved Fire Department only spaces. Parking lot landscaping is depicted in the form of a landscape finger and perimeter buffers along the north, east and south parking lot areas. Transmission and generation facilities are located along the eastern property line of the site. The generator has been illustrated as being screened by means of a wall. A condition of approval will require the mechanical equipment screen wall to aesthetically match the principle building. Additional utility appurtenances are located along the western property line in the northwestern portion of the site and along the south property line just east of the ingress/egress point. The trash enclose is located central to the site, east of the fire station.

The site plan depict the use of a ready rock concrete block retaining wall in combination with wrought iron fencing and columns as the perimeter walls along the majority of the north property line, the entire east property line and a small portion along the south property line adjacent to the parking lot area. Stand along wrought iron and columns are to be used for the remaining portion of the northern property line, as well as a portion of the western property line and the return wall. The natural slope of the site exceeds two percent and therefore retaining wall heights may reach six (6) feet in total height with a total combined retaining and screen wall height of 12 feet in height.

ELEVATIONS

Building elevations depict the highest point of the proposed building as 30' in height. The building utilizes a combination of an arching roof line and a gabled roof covered by Spanish tile. The building facades are broken up by smaller scale components to create a variation in massing and relate to the human scale. Such components consist of jogs and offsets, patio areas and variations in building materials. Building materials include, Spanish tile, stone veneer, stucco, steel canopy frames and brushed aluminum building numbers. All rooftop mechanical equipment has been illustrated as being screened by means of an aluminum louver painted white. The proposed elevations are in substantial compliance with the Sun City Summerlin Development Standards, Summerlin Development Standards and Title 19.08.

LANDSCAPE PLAN

The landscape plan depicts perimeter, parking lot and building buffer landscaping in conformance with the Summerlin Development Standards. Tree species types include Fan-Tex Ash, Chitalpa "Pink Dawn", Chinese Pistache and Museum Palo Verde at 36-inch box sizes. Various shrubs and groundcover and also noted in all landscape and open space areas. It is noted that decomposed granite shall be installed in all planting areas at a 2-inch minimum depth, as well as 3 to 4-foot boulders will be installed throughout the landscaping.

STAFF RECOMMENDATION: **APPROVAL**, subject to conditions

Planning & Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 05/26/10, except as amended by conditions herein.
3. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
4. These Conditions of Approval shall be affixed to the cover sheet of the plan set submitted for building permit.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner.

6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. The mechanical screen wall surrounding the proposed generator is to be aesthetically compatible with that of the proposed fire station.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

12. All landscaping and private improvements installed with this project shall be situated and maintained so as not to create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
13. Unless otherwise allowed by the City Engineer, the submitted Drainage Plan and Technical Drainage Study must be approved by the Department of Public Works prior to the issuance of any permits for this site.
14. Site development to comply with all applicable Summerlin Development and Improvement Standards.

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnvevada.gov

June 1, 2010

Mr. David Steinman
Sun City Summerlin Home Association
9107 Del Webb Boulevard
Las Vegas, Nevada 89134

Re: CRG-38368 - CITY REFERRAL GROUP

Dear Mr. Steinman:

Your request for a Summerlin Site Development Plan Review for a Summerlin Site Development Plan Review FOR A PROPOSED 36,834 SQUARE-FOOT PUBLIC FACILITY (FIRE STATION) on 0.84 acres at the northeast corner of Sundial Drive and Del Webb Boulevard (APN 138-18-713-001), P-C (Planned Community) Zone, Ward 4 (Anthony), will be considered by the City Referral Group on **Wednesday, June 16, 2010** at 2:00 p.m. at the Development Services Center, 731 South Fourth Street, Conference Room 2C.

Please plan to attend. If you have any questions or cannot attend the meeting please call me at 702.229.4693.

Sincerely,

Peter Lowenstein, AICP
Planning Supervisor
Planning and Development Department
Case Planning Division

PL:clb

cc: Mr. Sam Tolman
City of Las Vegas
400 Stewart Avenue
Las Vegas, Nevada 89101

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: June 10, 2010
Re: **CRG-38368** City of Las Vegas NEC Sundial Dr. & Del Webb Blvd.
Request for a Summerlin Site Development Plan Review for a proposed fire station

CONDITIONS OF APPROVAL:

1. All landscaping and private improvements installed with this project shall be situated and maintained so as not to create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
2. Unless otherwise allowed by the City Engineer, the submitted Drainage Plan and Technical Drainage Study must be approved by the Department of Public Works prior to the issuance of any permits for this site.
3. Site development to comply with all applicable Summerlin Development and Improvement Standards.

CITY OF LAS VEGAS

CITY REFERRAL GROUP COMMENT FORM

Roger Bailey	DEVCO – Public Works
Mary Wulff	Right-of-Way – Public Works
Albert Sung	Flood Control – Public Works
Rick Schroder	Traffic Engineering – Public Works
Tim Parks	Sanitary Sewers – Public Works
Ozzie Mirkhah	Fire Protection Engineering
David Guerra	Land Development
Rod Clark	Plans Check
Anthony Ruggiero	Council Liaison



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

CRG-38368 - CITY REFERRAL GROUP - NON-PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - OWNER: SUN CITY SUMMERLIN COMMUNITY - Request for a Summerlin Site Development Plan Review FOR A PROPOSED 36,834 SQUARE-FOOT PUBLIC FACILITY (FIRE STATION) on 0.84 acres at the northeast corner of Sundial Drive and Del Webb Boulevard (APN 138-18-713-001), P-C (Planned Community) Zone, Ward 4 (Anthony)

CITY REFERRAL GROUP: JUNE 16, 2010

CASE PLANNER: PETER LOWENSTEIN



ADMINISTRATIVE

Comments Due: JUNE 9, 2010

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Peter Lowenstein (plowenstein@lasvegasnevadaa.gov), the person responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Report Date 06/02/2010 08:20 AM

Submitted By

Page 1

A/P # 38368 CRG SITE DEVELOPMENT PLAN REV

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	05/26/2010 14:39	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

CRG-38368 - CITY REFERRAL GROUP - NON-PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - OWNER: SUN CITY SUMMERLIN COMMUNITY - Request for a Summerlin Site Development Plan Review FOR A PROPOSED 36,834 SQUARE-FOOT PUBLIC FACILITY (FIRE STATION) on 0.84 acres at the northeast corner of Sundial Drive and Del Webb Boulevard (APN 138-18-713-001), P-C (Planned Community) Zone, Ward 4 (Anthony)

Parent A/P #

Project # 38368 Project/Phase Name FIRE STATION #107 Phase #
Size/Area 0.84 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13818713001

Location

Owner/Tenant

Contact ID AC82948 Name SUN CITY SUMMERLIN COMMUNITY
Mailing Address 9107 DEL WEBB BLVD Organization % DEL WEBB COMMUNITIES INC
City LAS VEGAS State/Province NV
ZIP/PC 89134-8567 Country ☐ Foreign
Day Phone Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

No Addresses are linked to this Application

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13818713001

Report Date 06/02/2010 08:20 AM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC82948 ☐ Foreign
Effective Expire
Name SUN CITY SUMMERLIN COMMUNITY
Day Phone Eve Phone Organization % DEL WEBB COMMUNITIES INC
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 9107 DEL WEBB BLVD
LAS VEGAS, NV 89134-8567
Seasonal Addr

Valid From To
Comments No Comments

Primary Y Capacity APPL Contact ID AC1301282 ☐ Foreign
Effective Expire
Name CITY OF LAS VEGAS
Day Phone (702)229-2143 x Eve Phone Organization % PUBLIC WORKS
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 400 E STEWART AVE 4TH FLR
LAS VEGAS, NV 89101-2913
Seasonal Addr

Valid From To
Comments sam tolgan, 229-2091

Contractors

No Contractors

<u>Project #</u>	<u>A/P Type</u>	<u>Status</u>	<u>Stage</u>	<u>Relation</u>
------------------	-----------------	---------------	--------------	-----------------

No children exist for this project

<u>Planning Condition</u>	<u>Description</u>	<u>Effective</u>	<u>Expire</u>	<u>Comments</u>
---------------------------	--------------------	------------------	---------------	-----------------

There is no planning condition for this project.

CRG SITE DEV PLAN RV

N Parent Project link required?
N Project of Regional Significance?

10 Summerlin Village

Staff Recommendation

Meeting Information

Report Date 06/02/2010 08:20 AM

Submitted By

Page 3

MEETING INFORMATION

Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Added By	Add Date	Modified By	Modified Date	

06/16/2010	CRG	SCHEDULED	0	0	0
FSOLIS	05/26/2010	FSOLIS	05/26/2010		

Template Type	AP #	AP Type	Status	Stage
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No children exist for this project

Employee ID	Last	First	MI	Comments
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982721	LOWENSTEIN	PETER	D	XT 4693
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Log Action	Description	Entered By	Start	Stop	Hours
------------	-------------	------------	-------	------	-------

PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	05/26/2010 14:45		0.00
ERIK SINGMAN, 702.229.6494, CLV FUNDS TRANSFER 40211/810605/WU7490					



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: City Referral Group
Project Address (Location) Del Webb Boulevard and Sundial Drive
Project Name Fire Station #107 Proposed Use Fire Station
Assessor's Parcel #(s) 138-17-310-002 Ward # 4
General Plan: existing _____ proposed _____ Zoning: existing C-PD proposed _____
Commercial Square Footage 7,800 SF Floor Area Ratio _____
Gross Acres 0.85 Lots/Units 1 Density _____
Additional Information Application for City Referral Group to review project

PROPERTY OWNER Sun City Summerlin Home Assoc. Contact D W Steinman
Address 9107 Del Webb Boulevard Phone: 966-1412 Fax: 966-1496
City Las Vegas State NV Zip 89134
E-mail Address dwsteinman@cox.net

APPLICANT City of Las Vegas Contact Samuel D. Tolman, AIA
Address 400 Stewart Avenue Phone: 229-2091 Fax: 464-2560
City Las Vegas State NV Zip 89101
E-mail Address stolman@lasvegasnevada.gov

REPRESENTATIVE City of Las Vegas Contact Samuel D. Tolman, AIA
Address 400 Stewart Avenue Phone: 229-2091 Fax: 464-2560
City Las Vegas State NV Zip 89101
E-mail Address stolman@lasvegasnevada.gov

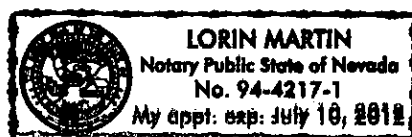
Property Owner Signature* [Signature]
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
Print Name Robert de Boelder

Subscribed and sworn before me
This 26th day of May, 20 10
Lorin Martin

Notary Public in and for said County and State

State of Nevada
County of Clark

Revised 10/27/08



FOR DEPARTMENT USE ONLY

Case #	<u>449-38368</u>
Meeting Date:	<u>6-16-10</u>
Total Fee:	<u> </u>
Date Received:*	<u>5-26-10</u>
Received By:	<u>FS</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

F:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **CRG-38368** APN: 138-17-310-002

Name of Property Owner: Sun City Summerlin Homeowner's Association

Name of Applicant: Samuel D. Tolman, AIA, NCARB

Name of Representative: Samuel D. Tolman, AIA, NCARB

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

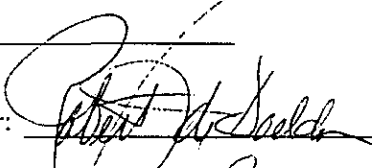
☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: 

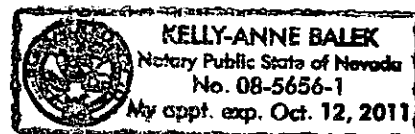
Print Name: Robert J de Doelder

Subscribed and sworn before me

This 27 day of May, 20 10

Kelly Anne Bales
Notary Public in and for said County and State
State of Nevada
County of Clark

Revised 11-14-06



 Sun City Summerlin
Community Association, Inc.

Community Standards Office • 9107 Del Webb Boulevard • Las Vegas, NV 89134 • (702) 966-1411

November 25, 2009

HAND DELIVERED

City of Las Vegas
Planning & Development Department
731 S. Fourth Street
Las Vegas, NV 89101

SUBJECT: Justification Letter for the Site Development Plan Review of CLV Fire Station #107

To whom it may concern:

This is to serve as a justification letter for City of Las Vegas Fire Station #107, located on a portion of the property at the intersection of Sundial Drive and Del Webb Boulevard; assessors parcel no 138-17-310-001.

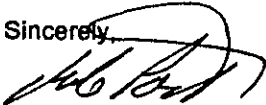
The City of Las Vegas is building this fire station in order to keep up with the growing demands for providing fire and life safety services to the citizens of the Las Vegas valley and in order to maintain their present ISO Class 1 Insurance rating. The fire station will be designed as a sustainable facility to attain LEED Silver certification to comply with the City Council's resolution for all new City facilities. The fire station is located on a parcel of land that has a zoning designation of C-PD.

Colors – A light color palette has been chosen for the fire station in order to comply with LEED requirements. The color palette compliments that of the existing commercial developments around the site.

Parking – The C-PD zoning designation requires 1 parking space per 300 square feet of building space. This would require that 26 parking spaces be provided for our 7,800 s.f. fire station. We have submitted a parking variance as a separate submittal in which we are providing a total of 18 parking spaces for this project as the total maximum occupant load will be 12 persons for this facility. The amount of parking we are providing is sufficient for the needs of the fire station personnel and has been approved by the fire department.

Landscaping – The 0.85 acre fire station property will have drought tolerant landscaping around the site and we will be using plant species which are native to the desert in order to provide a sustainable site design.

Sincerely,


Richard Post
Owner's Representative

CRG-38368
06/16/10 CRG

November 25, 2009

Subject: Justification Letter for Fire Station #107

Page 2

- Enc:
1. 19 copies of Site Plan, black & white - 24X36 in size.
 2. 1 rolled copy of site plan, colored - 24X36 in size.
 3. 1 copy of all required drawings - 8.5X11 in size.
 4. Justification letter
 5. Assessor's Parcel Map.
 6. Statement of Financial Interest.
 7. Signed Parking Variance Application.
 8. Grant Deed and legal description.
 9. Payment transfer memo for \$830.00
 10. 1 copy Landscape Plan, colored, rolled - 24X36 in size.
 11. 3 copies landscape plan, folded, black & white - 24X36 in size.
 12. 2 copies of exterior elevations, folded, black & white - 24X36 in size.
 13. 1 copy of exterior elevations, colored, rolled - 24X36 in size.
 14. 1 copy of floor plan, rolled - 24X28 in size.
 15. 1 copy of floor plan, folded - 24X36 in size.

cc: Samuel D. Tolman, AIA, NCARB

CRG-38368
06/16/10 CRG

Sun City Summerlin
Community Association, Inc.

September 21, 2009

Mr. Eric Singman
Designer
City of Las Vegas
400 Stewart Avenue
Las Vegas, NV 89101

Dear Mr. Singman:

On September 21, 2009, the Board of Directors of Sun City Summerlin Community Association approved the site plan and exterior renderings for Fire Rescue Station 107, located at the corner of Sundial Drive and Del Webb Boulevard. The plans are dated August 31, 2009 and prepared by the City of Las Vegas Department of Public Works.

Sincerely,



David Steinman, Chairman
Architectural Review Committee



Francis X. Kadien, Co-Chairman
Architectural Review Committee

CRG-38368
06/16/10 CRG



Sun City Summerlin

Community Association, Inc.

September 11, 2009

Mr. Eric Singman
Designer
City of Las Vegas
400 Stewart Avenue
Las Vegas, NV 89101

Dear Mr. Singman:

On September 10, 2009, the Architectural Review Committee of Sun City Summerlin Community Association approved the site plan and exterior renderings for Fire Rescue Station 107, located at the corner of Sundial Drive and Del Webb Boulevard. The plans are dated August 31, 2009 and prepared by the City of Las Vegas Department of Public Works.

Sincerely,

David Steinman, Chairman
Architectural Review Committee

Francis X. Kadien, Co-Chairman
Architectural Review Committee

CRG-38368
06/16/10 CRG

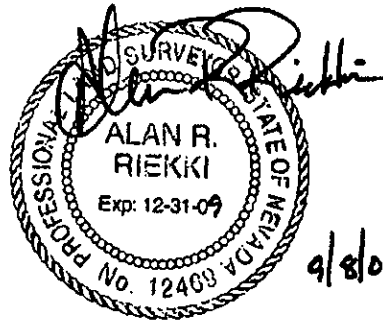
RE: APN 138-17-310-001

SEPTEMBER 8, 2009

BY: ARR

P.R. BY HJB

(PAGE 1 OF 2)



EXPLANATION:

THIS LAND DESCRIPTION DESCRIBES A PARCEL OF LAND FOR FIRE STATION 107, LOCATED WITHIN PARCEL 1 OF PARCEL MAP: FILE 84-12, LOCATED AT THE NORTHEAST CORNER OF DEL WEBB BOULEVARD AND SUNDIAL DRIVE, IN THE CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

BEING A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 18, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTERLINE INTERSECTION OF DEL WEBB BOULEVARD AND SUNDIAL DRIVE, AS SHOWN ON THAT PARCEL MAP ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA IN FILE 84 OF PARCEL MAPS, AT PAGE 12; THENCE NORTH 07°00'00" EAST, ALONG THE CENTERLINE OF SAID DEL WEBB BOULEVARD, 192.63 FEET; THENCE SOUTH 83°00'00" EAST, DEPARTING THE CENTERLINE OF SAID DEL WEBB BOULEVARD, 55.00 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF SAID DEL WEBB BOULEVARD, SAME BEING THE POINT OF BEGINNING;

THENCE SOUTH 83°00'00" EAST 126.23 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 24.00 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE 29.32 FEET THROUGH A CENTRAL ANGLE OF 70°00'00"; THENCE TANGENT TO SAID CURVE SOUTH 13°00'00" EAST, 35.95 FEET TO BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 46.00 FEET; THENCE SOUTHEASTERLY 45.91 FEET THROUGH A CENTRAL ANGLE OF 57°11'08"; THENCE TANGENT TO SAID CURVE, SOUTH 70°11'08" EAST, 91.99 FEET; THENCE SOUTH 19°48'52" WEST, 95.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF SUNDIAL DRIVE; THENCE NORTH 70°11'08" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE 71.71 FEET TO BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 530.00 FEET; THENCE WESTERLY

SEPTEMBER 8, 2009
APN 138-17-310-001
LEGAL DESCRIPTION CONTINUED
(PAGE 2 OF 2)

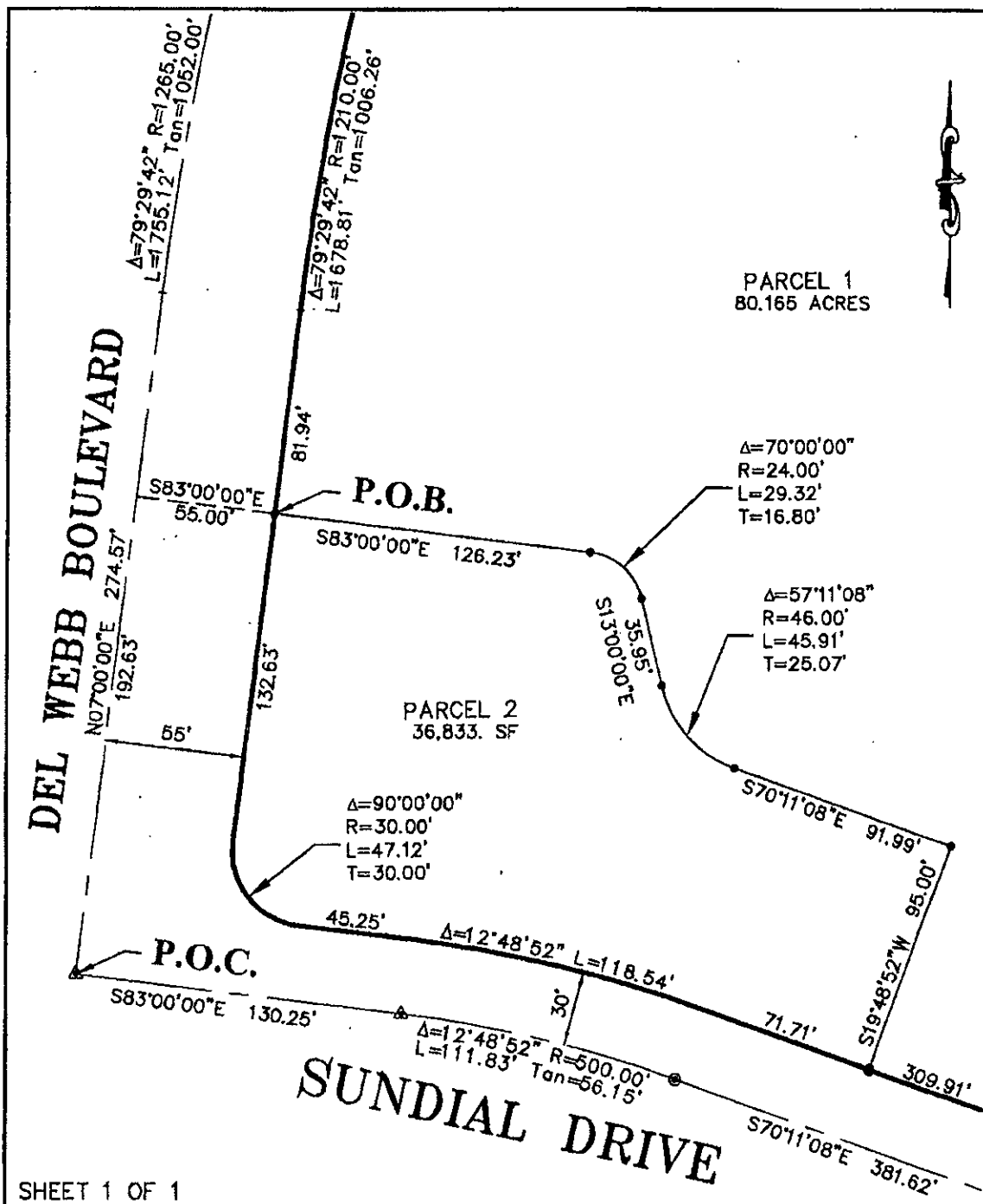
ALONG SAID CURVE, 118.54 FEET, THROUGH A CENTRAL ANGLE OF $12^{\circ}48'52''$; THENCE TANGENT TO SAID CURVE NORTH $83^{\circ}00'00''$ WEST, 45.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 30.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE, 47.12 FEET THROUGH A CENTRAL ANGLE OF $90^{\circ}00'00''$ TO THE EASTERLY RIGHT-OF-WAY LINE OF SAID DEL WEBB BOULEVARD; THENCE NORTH $07^{\circ}00'00''$ EAST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 132.63 FEET TO THE POINT OF BEGINNING.

CONTAINING 36,833 SQUARE FEET MORE OR LESS.

BASIS OF BEARINGS:

NORTH $07^{\circ}00'00''$ EAST, BEING THE BEARING OF THE CENTERLINE OF DEL WEBB BOULEVARD, AS SHOWN ON THAT PARCEL MAP ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY NEVADA IN FILE 84 OF PARCEL MAPS, AT PAGE 12.

END OF DESCRIPTION.



SHEET 1 OF 1



EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF S. 18 & 18 T. 20 S., R. 60 E.
M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

CITY OF LAS VEGAS - SURVEY
3001 RONEMUS DRIVE, LAS VEGAS, NEVADA 89128 (702) 229-6217

DRAWING: FIRE STATION 107, EXHIBIT

DRAWN BY: HJB

CHECKED BY: ARR

DATE: 09-08-2009

9 0 0 4 1 9 0 0 3 0 7

(2)

pm 050-210-003

~~RECORDING REQUESTED BY:~~
Del Webb Communities, Inc.

SEND TAX BILL TO:
Del Webb Communities, Inc.
1120 S. Rainbow Blvd.
Las Vegas, NV 89102

WHEN RECORDED, RETURN TO:
Del Webb Communities, Inc.
2231 E. Camelback Rd., Suite 400
Phoenix, AZ 85016
Attn: F. Timothy Hoyt, Jr.

GRANT, BARGAIN, SALE DEED

THIS GRANT, BARGAIN, SALE DEED is made as of the 4 day
of April, 1990 by DEL WEBB COMMUNITIES, INC., AN ARIZONA
CORPORATION ("Grantor") to VILLA RIDGE DRIVE HOMEOWNERS ASSOCIA-
TION, INC., A NEVADA NON-PROFIT CORPORATION ("Grantee").

Grantor does hereby Grant, Bargain, Sell and Convey to
Grantee all that certain real property situated in the County of
Clark, State of Nevada as legally described as follows (the
"Property"):

Common Area Lot A of Block B of Sun City Summerlin Unit
16 filed with the County Recorder of Clark County,
Nevada on September 1st, 1989 in Book 43 of Plats, Page
70.

Subject to current taxes and assessments, reservations,
easements, rights of way, encumbrances, liens, conditions,
restrictions and obligations of record.

FURTHER SUBJECT TO THE FOLLOWING: This conveyance is made
upon the express condition and covenant which is hereby declared
to run with and bind the Property that the herein conveyed
Property shall be subject to all of the restrictions contained in
the certain tract declaration of covenants, conditions and
restrictions (the "Tract Declaration") recorded at Book 890920
Docket 00566, in the Office of the Clark County, Nevada Recorder,
and specifically that the Property herein conveyed shall be
reserved for use as Common Areas as provided in Articles III and
VII of the Tract Declaration unless Grantor agrees otherwise.

941129-00954

WHEN RECORDED, RETURN TO:

Del Webb Communities, Inc.
9555 Del Webb Boulevard
Las Vegas, Nevada 89134
Attn: Momi Hayes

GRANT, BARGAIN, SALE DEED

THIS GRANT, BARGAIN, SALE DEED is made as of the 28th day of November, 1994 by DEL WEBB COMMUNITIES, INC., AN ARIZONA CORPORATION ("Grantor") to SUN CITY SUMMERLIN COMMUNITY ASSOCIATION, INC., A NEVADA NON-PROFIT CORPORATION ("Grantee").

Grantor does hereby Grant, Bargain, Sell and Convey to Grantee all that certain real property situated in the County of Clark, State of Nevada as legally described as follows (the "Property"):

SEE EXHIBIT "A"

Subject to current taxes and assessments, reservations, easements, rights of way, encumbrances, liens, conditions, restrictions and obligations of record.

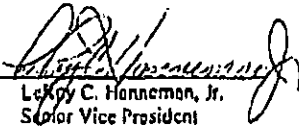
FURTHER SUBJECT TO THE FOLLOWING: This conveyance is made upon the express condition and covenant which are hereby declared to run with and bind the Property that the herein conveyed Property shall be subject to all of the restrictions contained in that Declaration of Covenants, Conditions and Restrictions recorded in Book 89109 as Instrument No. 00220, in a Declaration of Annexation to Sun City Summerlin Declaration of Covenants, Conditions, Restrictions, Assessments, Charges, Servitudes, Liens, Reservations and Easements (hereinafter referred to as the "Annexation") recorded on the 21st day of October, 1991 in Book 910821 as Instrument No. 00857, a second Annexation to Sun City Summerlin Declaration of Covenants, Conditions, Restrictions, Assessments, Charges, Servitudes, Liens, Reservations and Easements recorded on the 10th day of March, 1994 in Book 940310 as Instrument No. 01042, and a third Annexation to Sun City Summerlin Declaration of Covenants, Conditions, Restrictions, Assessments, Charges, Servitudes, Liens, Reservations and Easements recorded on the 5th day of April, 1994 in Book 940405 as Instrument No. 00945 respectively in the Clark County, Nevada Records Office. This right may be enforced by Grantor or its successors by injunctive procedures unless Grantor agrees otherwise.

The herein conveyed property further shall be used for drainage utilities and as landscaped open space, and activities reasonably related to the maintenance of those uses, and for no other

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purpose or purposes for a period of twenty (20) years following the recording date hereof. These reservations shall be enforceable by Grantor, or its successors, by means of an injunction against any other use.

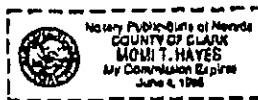
DEL WEBB COMMUNITIES, INC.
an Arizona corporation. Deedwant

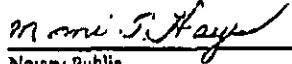
By: 
LeRoy C. Henneman, Jr.
Its: Senior Vice President

STATE OF NEVADA)

County of Clark)

On this 28th day of November, 1994, LeRoy C. Henneman, Jr. personally appeared before me, a Notary Public, known to me to be the Senior Vice President on behalf of the corporation herein named.




Notary Public
My Commission Expires: 6-4-96

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EXHIBIT "A"

Lots A, B, C, D, E, and F of Sun City Summerlin Unit No. 1, as shown by Map thereof on file in Book 40 of Plats, Page 25;

Lot A of Sun City Summerlin Unit 2B, as shown by Map thereof on file in Book 50 of Plats, Page 22;

Common Lot A of Sun City Summerlin Unit No. 11, as shown by Map thereof on file in Book 42 of Plats, Page 77;

Common Lots C, D, E and F of Sun City Summerlin Unit No. 14, as shown by Map thereof on file in Book 43 of Plats, Page 40;

Common Lots A and B of Sun City Summerlin Unit No. 15, as shown by Map thereof on file in Book 42 of Plats, Page 63;

Common Lot B of Sun City Summerlin Unit No. 16, as shown by Map thereof on file in Book 43 of Plats, Page 70;

Common Lot C of Sun City Summerlin Unit No. 17, as shown by Map thereof on file in Book 43 of Plats, Page 91;

Common Lots D and E of Sun City Summerlin Unit No. 19, as shown by Map thereof on file in Book 44 of Plats, Page 35;

Common Lots C, D and E of Sun City Summerlin No. Unit 26, as shown by Map thereof on file in Book 49 of Plats, Page 82;

Common Lot A of Sun City Summerlin No. Unit 29, as shown by Map thereof on file in Book 51 of Plats, Page 7;

Common Lot B of Sun City Summerlin Unit No. 30, as shown by Map thereof on file in Book 51 of Plats, Page 30;

Common Lots A, B, C and D of Sun City Summerlin Unit No. 31, as shown by Map thereof on file in Book 52 of Plats, Page 1;

Common Lots D, E and F of Sun City Summerlin Unit No. 34, as shown by Map thereof on file in Book 52 of Plats, Page 44;

Common Lots B and C of Sun City Summerlin Unit No. 35, as shown by Map thereof on file in Book 52 of Plats, Page 80;

941129.00954

Common Lots A, B, C and D of Sun City Summerlin Unit No. 37, as shown by Map thereof on file in Book 53 of Plats, Page 84;

Common Lots B and C of Sun City Summerlin Unit No. 39 as shown by Map thereof on file in Book 55 of Plats, Page 27;

Common Lots A and B of Sun City Summerlin Unit 39A as shown by Map thereof on file in Book 63 of Plats, Page 73;

Common Lots A, C, D, F and G of Sun City Summerlin Unit No. 40 as shown by Map thereof on file in Book 55 of Plats, Page 91; and

Common Lot A of Sun City Summerlin Unit No. 41 as shown by Map thereof on file in Book 58 of Plats, Page 34.

Common Lots A, B, D, E, F, G, and I of Sun City Summerlin Unit No. 42 as shown by Map thereof on file in Book 59 of Plats, Page 93.

CLARK COUNTY, NEVADA
JDAN L. SWIFT, RECORDER
RECORDED AT REQUEST OF:

4
DEL WEBB COMMUNITIES INC
11-29-94 12:13 PM
BOOK: 941129 INSTR: 00954
FEE: 10.00 APTX EXB0R3