

FILE HISTORY

[illegible]

FILE NO.: Z-36-97(1)

NOTICE OF PUBLIC HEARING

REQUIRED TWO YEAR REVIEW - SITE DEVELOPMENT PLAN REVIEW

MEETING: CITY COUNCIL
DATE: SEPTEMBER 19, 2001
TIME: 1:00 P.M.
LOCATION: COUNCIL CHAMBERS, CITY HALL
400 STEWART AVENUE
LAS VEGAS, NEVADA

Z-0090-95(5) and Z-0036-97(2)

REQUIRED TWO YEAR REVIEW BY BECKER & SONS ON AN APPROVED SITE DEVELOPMENT PLAN REVIEW FOR URBAN OFF-SITE IMPROVEMENTS AND THE PERIMETER BLOCK WALL LOCATED BETWEEN MICHAEL WAY AND RANCHO DRIVE, NORTH OF SMOKE RANCH ROAD AND SOUTH OF CHEYENNE AVENUE (APN: 138-13-512-002), C-2 (GENERAL COMMERCIAL) AND R-E (RESIDENCE ESTATES) ZONES UNDER RESOLUTION OF INTENT TO C-M (COMMERCIAL/INDUSTRIAL) AND O (OFFICE), WARD 5 (WEEKLY).

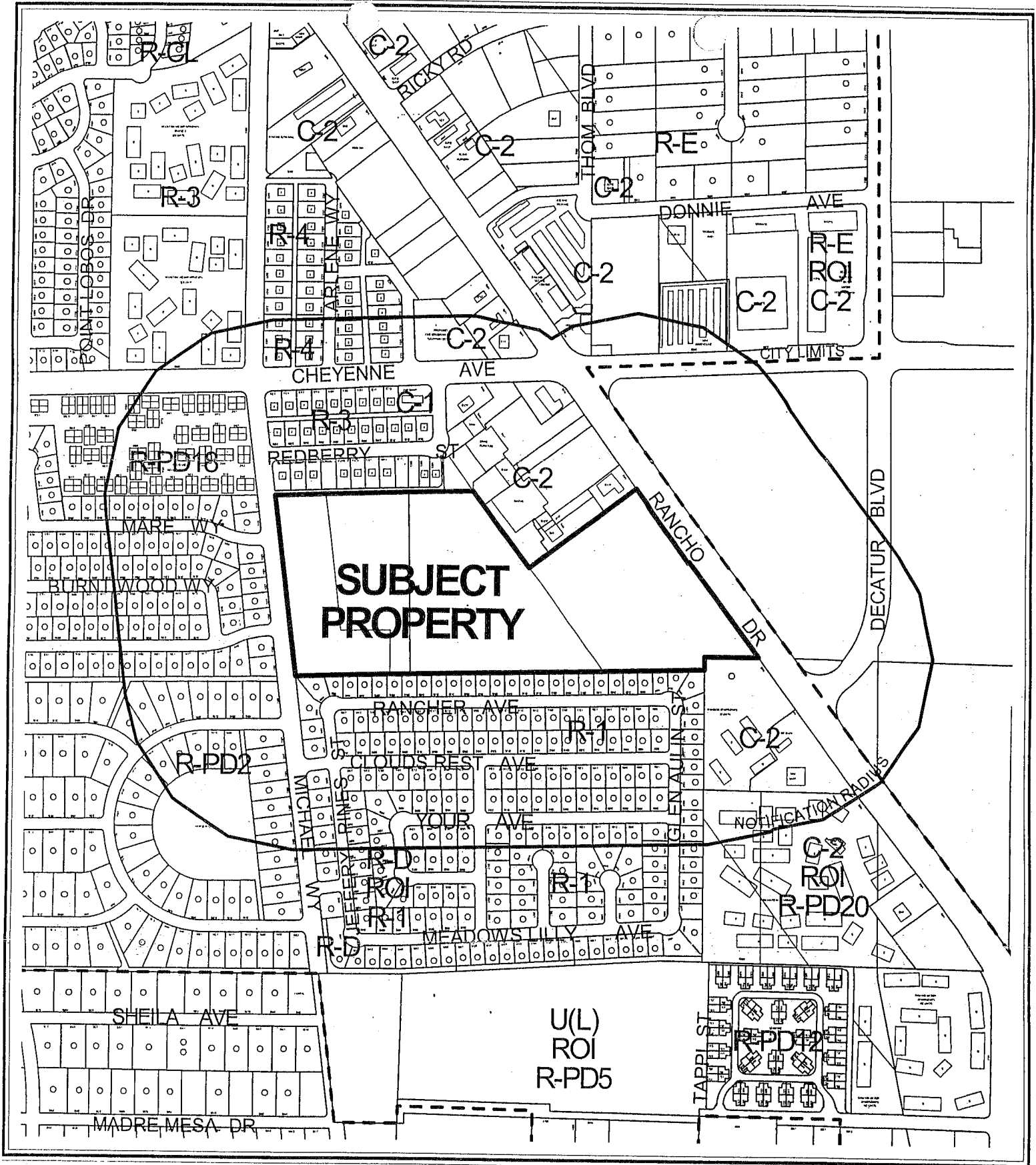
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF THE NORTHWEST QUARTER (NW¼) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear and be heard at said meeting, or may, prior thereto, file written objections thereto or approvals thereof with the City Clerk, 1st Floor, City Hall, 400 Stewart Avenue, Las Vegas, Nevada 89101. For further information, please call 229-6301 (TDD 386-9108), <http://www.ci.las-vegas.nv.us>.



BARBARA JO RONEMUS
CITY CLERK

SEE LOCATION MAP ON REVERSE SIDE



CASE: Z-0090-95(5) & Z-0036-97(2)

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL) AND
R-E (RESIDENCE ESTATES)

UNDER RESOLUTION OF INTENT TO: C-M (COMMERCIAL/INDUSTRIAL)



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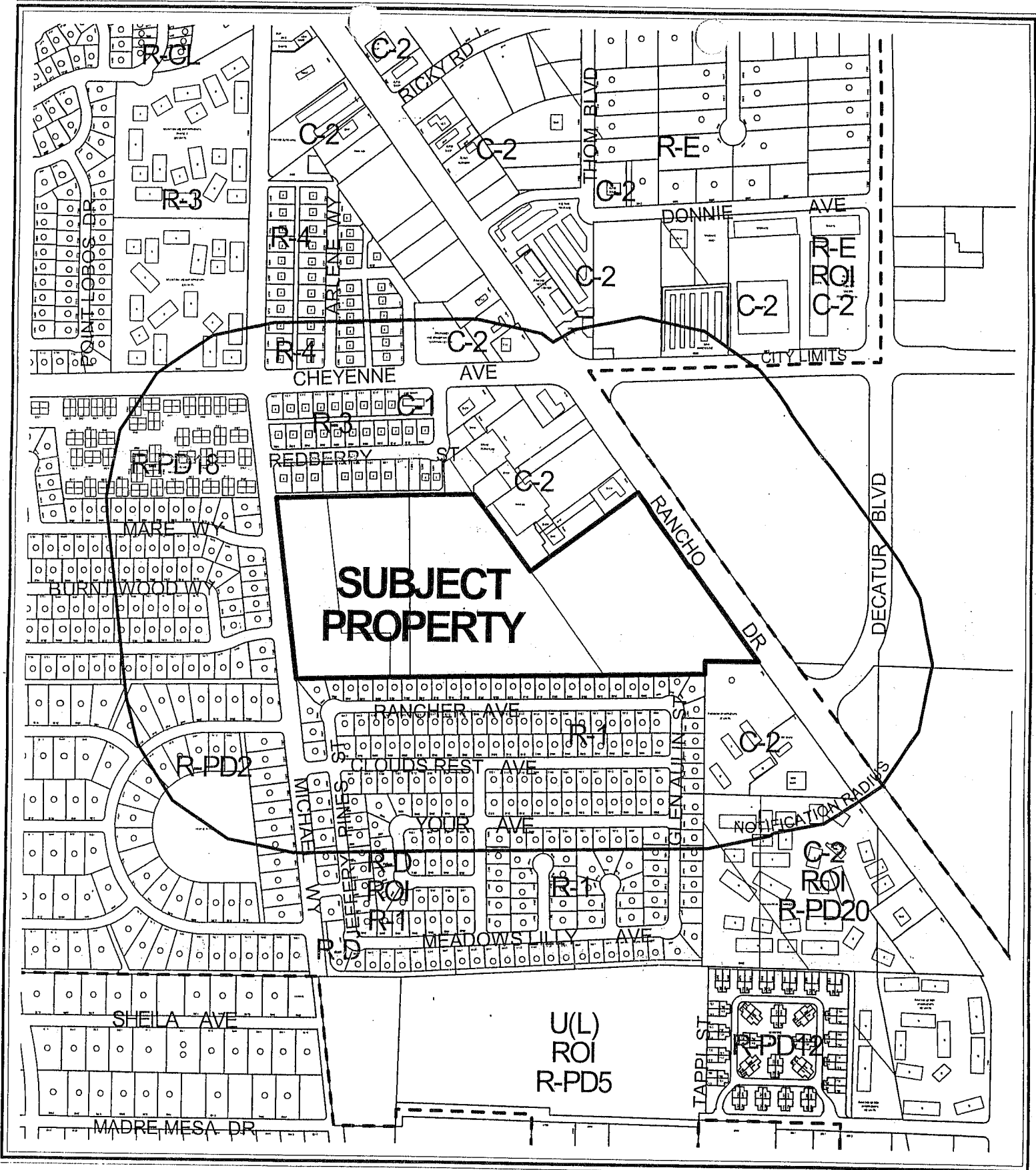
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CITY CLERK

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CASE: Z-0090-95(5) & Z-0036-97(2)

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL) AND
R-E (RESIDENCE ESTATES)

UNDER RESOLUTION OF INTENT TO: C-M (COMMERCIAL/INDUSTRIAL)



PROPERTY OWNERS

PROTESTS

1. _____
2. _____
3. _____
4. _____
5. _____
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11. _____
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20. _____

APPROVALS

FILE NO.: _____

July/99

7/29

Dear Sir:

In regards to the notice we received in case Z-90-95(3) and Z-36-97(1), we do hereby approve of this very much. Not only will it be a huge improvement environmentally, it will also be a plus for the area. Again, we do approve.

Also would they be putting another block wall up so it would be a double wall with ours?

Sincerely
Marianne M. Stokes

P.S. The reason I ask about the double wall is because when we bought our home we were told they were planning on building behind us and they would be planting tall trees and put up another wall.

Mr & Mrs Robert Stokes
5112 Rancher Ave
Las Vegas NV. 89108

396-3658

RECEIVED

99 JUL 27 AM 9:34

DEVELOPMENT

Z-90-95(3) A
+ Z-36-97(1) A



September 26, 2001

Mr. Ernest A. Becker, Jr.
Becker & Sons
50 South Jones Boulevard, Suite 100
Las Vegas, Nevada 89107

RE: Z-0090-95(5) & Z-0036-97(2) – REQUIRED TWO YEAR REVIEW – SITE
DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF SEPTEMBER 19, 2001

Dear Mr. Becker:

The City Council at a regular meeting held September 19, 2001 APPROVED the request for a Required Two Year Review on an approved Site Development Plan Review for urban off-site improvements and the perimeter block wall located between Michael Way and Rancho Drive, north of Smoke Ranch Road and south of Cheyenne Avenue (APN: 138-13-512-002), C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office). The Notice of Final Action was filed with the Las Vegas City Clerk on September 20, 2001. This approval is subject to:

1. An Avigation Easement shall be recorded, in a form acceptable to the Clark County Department of Aviation, prior to the issuance of development permits for this site as required by the Planning and Development Department.
2. The applicant shall file form 7460-1 "Notice of Proposed Construction or Alteration" with the FAA, and receive a permit from the Clark County Director of Aviation prior to the construction of any building on this site. Proof of filing and approval must be presented to the Planning and Development Department prior to the issuance of permits.
3. Construct the full width driveway on Rancho Drive concurrent with the first phase of development anywhere on this site, and construct appropriate on-site paving to provide for two-way traffic between Rancho Drive and each phase of development as required by the Department of Public Works.
4. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.

MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
GARY REESE
(MAYOR PRO-TEM)

MICHAEL J. McDONALD
LARRY BROWN
LYNETTE B. McDONALD
LAWRENCE WEEKLY
MICHAEL MACK

CITY MANAGER
VIRGINIA VALENTINE

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

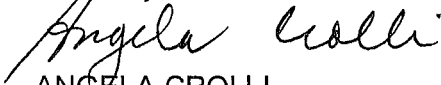
VOICE 702.229.6011
TDD 702.386.9108
www.ci.las-vegas.nv.us

5. Provide to the City Collections System Engineer a sewer relocation and abandonment plan for the existing sewer lines and easements prior to the issuance of any building permits. All sewer lines conflicting with new construction shall be removed and relocated and all existing easements shall be vacated and re-granted for the new sewer lines prior to the issuance of any building permits for any buildings or structures overlying the existing sewer easements as required by the Department of Public Works. No buildings will be permitted to encroach within existing public sewer easements.
6. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site, whichever may occur first as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer. This condition supersedes condition #14 of Z-36-97 and condition #19 of Z-90-95.
7. Site development to comply with all applicable conditions of approval for Z-0090-95, Z-0036-97, the Insight Aircenter Rancho Commercial Subdivision (if applicable), and all other applicable site-related actions as required by the Department of Public Works.
8. All development shall be in conformance with the site plan (as amended by the above conditions) and building elevations.
9. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning and Development Department and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
10. A landscaping plan must first be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
11. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets.
12. All City Code requirements and design standards of all City departments must be satisfied.

Mr. Ernest A. Becker, Jr.
Z-0090-95(5) & Z-0036-97-(2) – Page Three
September 26, 2001

13. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply shall be installed and shall be functioning prior to construction of any combustible structures.
14. Where new mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.
15. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

Sincerely,



ANGELA CROLLI
DEPUTY CITY CLERK II for
BARBARA JO RONEMUS, CITY CLERK

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: SEPTEMBER 19, 2001

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

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DISCUSSION

SUBJECT:

REQUIRED TWO YEAR REVIEW - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - Z-0090-95(5) and Z-0036-97(2) - BECKER & SONS - Required Two Year Review on an approved Site Development Plan Review for urban off-site improvements and the perimeter block wall located between Michael Way and Rancho Drive, north of Smoke Ranch Road and south of Cheyenne Avenue (APN: 138-13-512-002), C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Ward 5 (Weekly). Staff recommends APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

Hearing Officer Meeting

City Council Meeting

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

Hearing Officer Meeting

City Council Meeting

RECOMMENDATION:

Staff recommends APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

WEEKLY – APPROVED subject to conditions – UNANIMOUS

MINUTES:

MAYOR GOODMAN declared the Public Hearing open.

TODD FARLOW, 240 North 19th Street, commented that if a block wall were constructed, he would hate to have it look like the wall on Bonanza Road. COUNCILMAN WEEKLY explained that the conditions were established several years ago and this item is before the Council to satisfy the required two-year review.

JIM DEMARK, 5420 Mare Way, lives across the street from this site and would like to see the block wall built as soon as possible.

CITY COUNCIL MEETING OF SEPTEMBER 19, 2001
Planning & Development Department
Item 140 – Z-0090-95(5) & Z-0036-97(2)

MINUTES – Continued:

No one appeared in opposition.

There was no further discussion.

MAYOR GOODMAN declared the Public Hearing closed.

(4:55 – 4:58)

5-4185

CONDITIONS:

1. An Avigation Easement shall be recorded, in a form acceptable to the Clark County Department of Aviation, prior to the issuance of development permits for this site as required by the Planning and Development Department.
2. The applicant shall file form 7460-1 "Notice of Proposed Construction or Alteration" with the FAA, and receive a permit from the Clark County Director of Aviation prior to the construction of any building on this site. Proof of filing and approval must be presented to the Planning and Development Department prior to the issuance of permits.
3. Construct the full width driveway on Rancho Drive concurrent with the first phase of development anywhere on this site, and construct appropriate on-site paving to provide for two-way traffic between Rancho Drive and each phase of development as required by the Department of Public Works.
4. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
5. Provide to the City Collections System Engineer a sewer relocation and abandonment plan for the existing sewer lines and easements prior to the issuance of any building permits. All sewer lines conflicting with new construction shall be removed and relocated and all existing easements shall be vacated and re-granted for the new sewer lines prior to the issuance of any building permits for any buildings or structures overlying the existing sewer easements as required by the Department of Public Works. No buildings will be permitted to encroach within existing public sewer easements.

CITY COUNCIL MEETING OF SEPTEMBER 19, 2001
Planning & Development Department
Item 140 – Z-0090-95(5) & Z-0036-97(2)

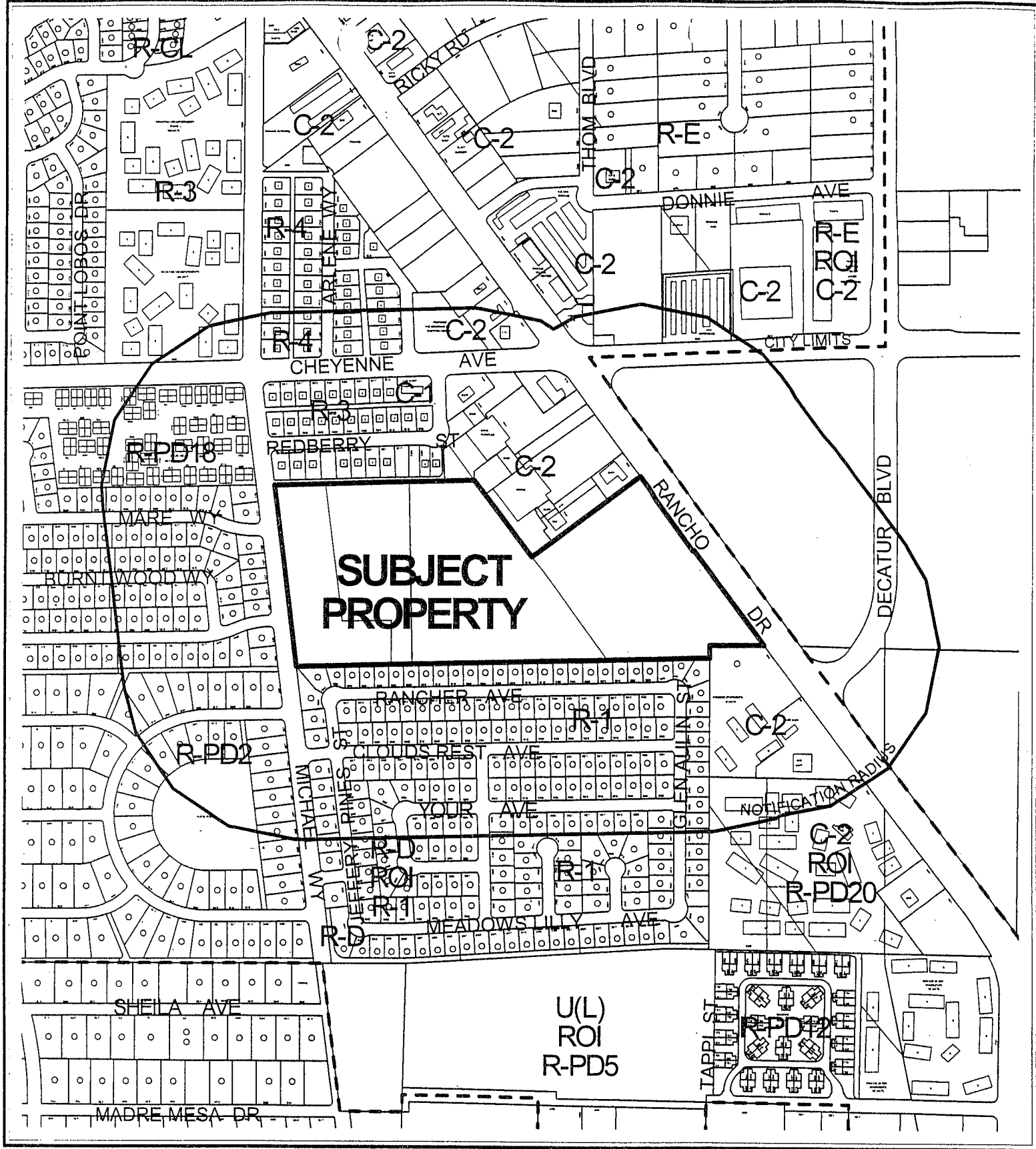
CONDITIONS – Continued:

6. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site, whichever may occur first as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer. This condition supersedes condition #14 of Z-36-97 and condition #19 of Z-90-95.
7. Site development to comply with all applicable conditions of approval for Z-0090-95, Z-0036-97, the Insight Aircenter Rancho Commercial Subdivision (if applicable), and all other applicable site-related actions as required by the Department of Public Works.
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CITY COUNCIL MEETING OF SEPTEMBER 19, 2001
Planning & Development Department
Item 140 – Z-0090-95(5) & Z-0036-97(2)

CONDITIONS – Continued:

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CASE: Z-0090-95(5) & Z-0036-97(2)

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL) AND
R-E (RESIDENCE ESTATES)

UNDER RESOLUTION OF INTENT TO: C-M (COMMERCIAL/INDUSTRIAL)



AGENDA MEMO

CITY COUNCIL MEETING DATE: SEPTEMBER 19, 2001

DEPARTMENT: PLANNING AND DEVELOPMENT DEPARTMENT

ITEM DESCRIPTION: Z-0090-95(5) and Z-0036-97(2) - Becker & Sons

**** CONDITIONS ****

Staff recommends APPROVAL, subject to:

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**** STAFF REPORT ****

APPLICATION REQUEST

This is a request for a Required Two-Year Review of an approved delay of on-site and off-site improvements which were required as conditions of approval for an approved Site Development Plan Review for a 328,121 square foot professional plaza on a 30.22 acre site located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue.

BACKGROUND DATA:

- 12/20/95 The City Council approved a Rezoning of the eastern portion of the property to C-M (Commercial/Industrial) for a proposed commercial center, office/warehouse development and mini-storage facility (Z-0090-95).
- 01/22/97 The City Council approved the first Extension of Time of the Rezoning of the eastern portion of the property [Z-0090-95(1)].
- 08/11/97 The City Council approved a Rezoning of the western portion of this property to O (Office) and C-M (Commercial/Industrial) for a proposed office/warehouse development (Z-0036-97). This zoning was approved without an expiration date.
- 09/15/99 The City Council approved the Site Development Plan Review for a 328,121 square foot professional plaza and a delay of on-site and off-site improvements required as conditions of approval [Z-0090-95(3)]. The approval of a delay of on-site and off-site improvements was subject to a two-year review by the City Council.
- 03/01/00 The City Council approved the third Extension of Time of the Rezoning of the eastern portion of this property [Z-0090-95(4)].

FINDINGS

Staff finds that the applicant has begun construction of the first phase of development, and has as of August 31, 2001 completed construction of half-street improvements on Michael Way and on Rancho Drive adjacent to this site as required by the Department of Public Works. Therefore, staff finds that the applicant has complied with the timing of the required conditions of approval per the previous approval of the Site Development Plan Review [Z-0090-95(3)].

PC NOTICES MAILED: 270

APPROVALS: 0

PROTESTS: 1



September 7, 2001

Mr. Ernest A. Becker, Jr.
Becker & Sons
50 South Jones Boulevard, Suite 100
Las Vegas, Nevada 89107

RE: Z-0090-95(5) & Z-0036-97(2) - REQUIRED TWO YEAR REVIEW -
SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Becker:

Please be advised your request, as referred to above, will be considered by the City Council at its regular meeting on September 19, 2001. This meeting will be held at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations and any conditions related to your application may be obtained prior to the meeting from the Planning and Development Department, Current Planning Division, at the Development Services Center, 731 South Fourth Street, or you may obtain this information by calling 229-6301.

The City Council requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Glore".

Chris Glore, Planning Supervisor
Planning and Development Department
Current Planning Division

CG:sd

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TDD 702.386.9108
www.ci.las-vegas.nv.us

NOTICE OF PUBLIC HEARING

REQUIRED TWO YEAR REVIEW - SITE DEVELOPMENT PLAN REVIEW

MEETING: CITY COUNCIL
DATE: SEPTEMBER 19, 2001
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LOCATION: COUNCIL CHAMBERS, CITY HALL
400 STEWART AVENUE
LAS VEGAS, NEVADA

Z-0090-95(5) and Z-0036-97(2)

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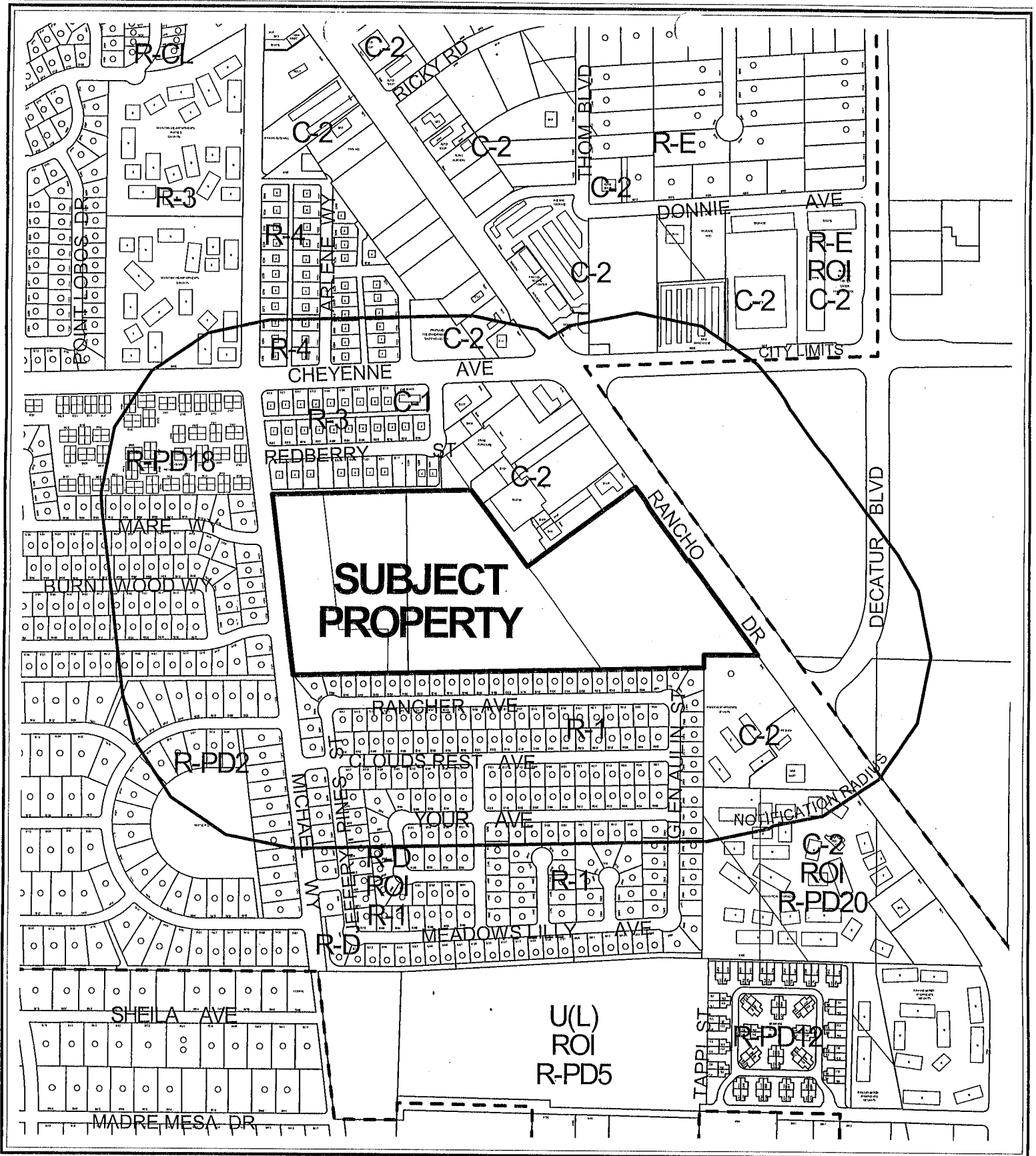
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BARBARA JO RONEMUS
CITY CLERK

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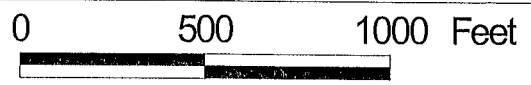


CASE: Z-0090-95(5) & Z-0036-97(2)

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL) AND R-E (RESIDENCE ESTATES)

UNDER RESOLUTION OF INTENT TO: C-M (COMMERCIAL/INDUSTRIAL)



Case Number: Z-0036-97(2)

Printed on : 7/24/2001 1:43:44 PM

Case Keywords :

Accepted : 7/23/2001

Public Hearing : Y

Meeting Date : 9/19/2001

Meeting Type : C

200 Scale Map :

Size :

Lots :

Request : Z-0090-95(5) & Z-0036-97(2) - Required Two Year Review on an approved Site Development Plan Review for urban off-site improvements and perimeter block wall located between Michael Way and Rancho Drive, north of Smoke Ranch Road and south of Cheyenne Avenue (APN: 138-13-512-002), C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Ward 5 (Weekly).

Location :

Proposed :

Notice :

Comments :

Parcel : 138 13 504 001 PT NW4NE4 13 20 60 BECKER & SONS

Owner/Applicant/Contacts

OWNER BECKER & SONS
50 S JONES BLVD #100
LAS VEGAS NV 89107-2673;

Actions/Conditions :



MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
GARY REESE
(MAYOR PRO-TEM)

MICHAEL J. McDONALD
LARRY BROWN
LYNETTE B. McDONALD
LAWRENCE WEEKLY
MICHAEL MACK

CITY MANAGER
VIRGINIA VALENTINE

July 24, 2001

Mr. Ernest A. Becker, Jr.
Becker & Sons
50 South Jones Boulevard, Suite 100
Las Vegas, Nevada 89107

RE: Z-0090-95(5) & Z-0036-97(2) - REQUIRED TWO YEAR REVIEW -
SITE DEVELOPMENT PLAN REVIEW.

Dear Mr. Becker:

Our records indicate the above referenced action will be scheduled for the September 19, 2001 City Council meeting, at which time the Council may recommend that the use be discontinued.

We need two, 24 x 36 site plans, and two, 8½ x 11 site plans and elevations of the site as it currently exists. In addition to the site plans required, we also need the enclosed Statement of Financial Interest form completed and notarized. Please come to our offices located at 731 South Fourth Street no later than August 24, 2001 to pay the required notification cost of \$150.00, submit the required site plans and Statement of Financial Interest form. **Failure to submit the above mentioned items may result in immediate discontinuance of the use for this site.**

If you have any questions, please feel free to contact me at (702) 229-6301.

Sincerely,

A handwritten signature in dark ink, appearing to read "Chris Glore".

Chris Glore, Planning Supervisor
Planning and Development Department
Current Planning Division

CG:rlr

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TDD 702.386.9108
www.ci.las-vegas.nv.us



June 12, 2000

Mr. Bob Ginzer
City of Las Vegas
Department of Planning & Zoning
731 South Fourth Street
Las Vegas, Nevada 89101-2986

RE: Z-90-95 (3) & Z-36-97(1)
(West of Rancho, South of Cheyenne)

Dear Bob:

Enclosed please find a copy of the determination from the Federal Aviation Administration verifying that the construction at the above project does not exceed obstruction standards and would not be a hazard to air navigation and that no easement will be required.

This fulfills Item 3 of your Site Development Plan Review letter dated October 13, 1999.

Thank you for your cooperation. If you have any questions, please do not hesitate to call.

Yours truly,

BECKER & SONS

Ernest A. Becker, Jr.
Agent

Federal Aviation Administration
Western/Pacific Region, AWP-520
P. O. Box 92007 WWPC
Los Angeles, CA 90009

AERONAUTICAL STUDY
No: 00-AWP-1135-OE

ISSUED DATE: 06/06/00

ERNEST A. BECKER, JR.
BECKER & SONS LLC
50 S. JONES BLVD., STE 100
LAS VEGAS, NV 89107

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has completed an aeronautical study under the provisions of 49 U.S.C., Section 44718 and, if applicable, Title 14 of the Code of Federal Regulations, part 77, concerning:

Description: 30 ACRE INDUSTRIAL COMPLEX, WEST OF RANCHO RD. NO.
OF MOSSMAN AVE, SO. OF CHEYENE
Location: LAS VEGAS NV
Latitude: 36-12-52.98 NAD 83
Longitude: 115-12-36.41
Heights: 44 feet above ground level (AGL)
2278 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking and/or lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory Circular 70/7460-1K.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 12/06/01 unless:

- (a) extended, revised or terminated by the issuing office or
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case the determination expires on the date prescribed by the FCC for completion of construction or on the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE POSTMARKED OR DELIVERED TO THIS OFFICE AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE.

This determination is based, in part, on the foregoing description which



MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
MICHAEL J. McDONALD
(MAYOR PRO-TEM)
GARY REESE
LARRY BROWN
LYNETTE B. McDONALD

CITY MANAGER
VIRGINIA VALENTINE

October 13, 1999

Mr. Ernest A. Becker, Jr.
Becker & Sons
50 South Jones Boulevard, Suite 100
Las Vegas, Nevada 89107

RE: SITE DEVELOPMENT PLAN REVIEW - Z-90-95(3) AND Z-36-97(1)

Dear Mr. Becker:

The City Council at a regular meeting held September 15, 1999 APPROVED the request for a Site Development Plan Review on property located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA; AND TO ALLOW A DELAY OF ON-SITE AND OFF-SITE IMPROVEMENTS WHICH WERE REQUIRED AS CONDITIONS OF APPROVAL, C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Size: 30.22 Acres, Ward 4 (Brown), APN: 138-13-504-005. The Notice of Final Action was filed with the Las Vegas City Clerk on September 16, 1999. This approval is subject to:

1. The City Council shall review the urban off-site improvements and perimeter block wall conditions in two years.
2. A temporary chain link fence shall be constructed along Michael Way as part of the first phase of development of this site.
3. An Avigation Easement shall be recorded, in a form acceptable to the Clark County Department of Aviation, prior to the issuance of development permits for this site as required by the Planning and Development Department.
4. The applicant shall file form 7460-1 "Notice of Proposed Construction or Alteration" with the FAA, and receive a permit from the Clark County Director of Aviation prior to the construction of any building on this site. Proof of filing and approval must be presented to the Planning and Development Department prior to the issuance of permits.
5. Construction of paving only on Michael Way shall commence within one year of approval of this action by the City Council. Failure to comply with this condition shall result in this item being reconsidered by the City Council. This condition superseded Condition #10 of Z-36-97 and Condition #3 of Z-90-95(1).

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TDD 702.386.9108
www.ci.las-vegas.nv.us

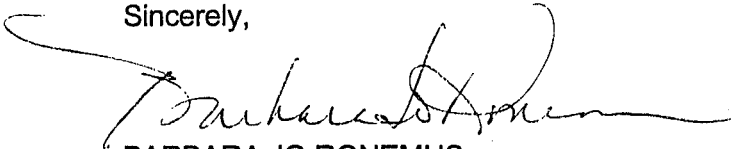
Mr. Ernest A. Becker, Jr.
Z-90-95(3) and Z-36-97(1) - Page Two
October 13, 1999

6. Construct all incomplete half-street improvements on Rancho Drive adjacent to this entire overall site concurrent with the first phase of development that abuts the Rancho Drive corridor as required by the Department of Public Works.
7. Construct the full width driveway on Rancho Drive concurrent with the first phase of development anywhere on this site, and construct appropriate on-site paving to provide for two-way traffic between Rancho Drive and each phase of development as required by the Department of Public Works.
8. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
9. Provide to the City Collections System Engineer a sewer relocation and abandonment plan for the existing sewer lines and easements prior to the issuance of any building permits. All sewer lines conflicting with new construction shall be removed and relocated and all existing easements shall be vacated and re-granted for the new sewer lines prior to the issuance of any building permits for any buildings or structures overlying the existing sewer easements as required by the Department of Public Works. No buildings will be permitted to encroach within existing public sewer easements.
10. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site, whichever may occur first as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer. This condition supersedes condition #14 of Z-36-97 and condition #19 of Z-90-95.
11. Site development to comply with all applicable conditions of approval for Z-90-95, Z-36-97, the Insight Aircenter Rancho Commercial Subdivision (if applicable), and all other applicable site-related actions as required by the Department of Public Works.
12. All development shall be in conformance with the site plan (as amended by the above conditions) and building elevations.

Mr. Ernest A. Becker, Jr.
Z-90-95(3) and Z-36-97(1) - Page Three
October 13, 1999

13. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning and Development Department and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
14. A landscaping plan must first be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
15. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets.
16. All City Code requirements and design standards of all City departments must be satisfied.
17. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply shall be installed and shall be functioning prior to construction of any combustible structures.
18. Where new mains are extended along streets and fire hydrants are not needed of protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.
19. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

Sincerely,


BARBARA JO RONEMUS
City Clerk

/ac

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services
Land Development Services

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: September 15, 1999

DEPARTMENT: Planning and Development

Agenda Item No.:

DIRECTOR: Willard Tim Chow

☐

CONSENT

☒

DISCUSSION

SUBJECT:

ABEYANCE ITEM - Z-90-95(3) AND Z-36-97(1) - BECKER & SONS - Request for a Site Development Plan Review on property located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA; AND TO ALLOW A DELAY OF ON-SITE AND OFF-SITE IMPROVEMENTS WHICH WERE REQUIRED AS CONDITIONS OF APPROVAL, C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Size: 30.22 Acres, Ward 4 (Brown), APN: 138-13-504-005.

Fiscal Impact

☐

No Impact

Amount:

☐

Budget Funds Available

Dept./Division:

☐

Augmentation Required

Funding Source:

PURPOSE/BACKGROUND:

PROTESTS BEFORE:

Planning Commission

1

Board of Zoning Adjustment

City Council

Concerns

APPROVALS BEFORE:

Planning Commission

0

Board of Zoning Adjustment

City Council

RECOMMENDATION:

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

AGENDA MEMO

CITY COUNCIL MEETING DATE: September 15, 1999

DEPARTMENT: Planning and Development Department

ITEM DESCRIPTION: ABEYANCE ITEM - Z-90-95(3) and Z-36-97(1) - Becker & Sons

THIS ITEM WAS HELD IN ABEYANCE FROM THE SEPTEMBER 1, 1999 CITY COUNCIL MEETING AT THE APPLICANT'S REQUEST.

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL, subject to:

1. A temporary chain link fence shall be constructed along Michael Way as part of the first phase of development of this site.
2. An Avigation Easement shall be recorded, in a form acceptable to the Clark County Department of Aviation, prior to the issuance of development permits for this site as required by the Planning and Development Department.
3. The applicant shall file form 7460-1 "Notice of Proposed Construction or Alteration" with the FAA, and receive a permit from the Clark County Director of Aviation prior to the construction of any building on this site. Proof of filing and approval must be presented to the Planning and Development Department prior to the issuance of permits.
4. Construct half-street improvements on Michael Way adjacent to this site concurrent with the first phase of development anywhere on this site as required by the Department of Public Works. Construction of Michael Way improvements shall commence within 360 days of approval of this action by the City Council. Failure to comply with this condition shall result in this item being reconsidered by the City Council. This Condition supersedes Condition #10 of Z-36-97 and Condition #3 of Z-90-95(1).
5. Construct all incomplete half-street improvements on Rancho Drive adjacent to this entire overall site concurrent with the first phase of development that abuts the Rancho Drive corridor as required by the Department of Public Works.
6. Construct the full width driveway on Rancho Drive concurrent with the first phase of development anywhere on this site, and construct appropriate on-site paving to provide for two-way traffic between Rancho Drive and each phase of development as required by the Department of Public Works.
7. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.

AGENDA MEMO

CITY COUNCIL MEETING DATE: September 15, 1999

DEPARTMENT: Planning and Development Department

ITEM DESCRIPTION: ABEYANCE ITEM - Z-90-95(3) and Z-36-97(1) - Becker & Sons

8. Provide to the City Collections System Engineer a sewer relocation and abandonment plan for the existing sewer lines and easements prior to the issuance of any building permits. All sewer lines conflicting with new construction shall be removed and relocated and all existing easements shall be vacated and re-granted for the new sewer lines prior to the issuance of any building permits for any buildings or structures overlying the existing sewer easements as required by the Department of Public Works. No buildings will be permitted to encroach within existing public sewer easements.
9. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site, whichever may occur first as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer. This condition supersedes condition #14 of Z-36-97 and condition #19 of Z-90-95.
10. Site development to comply with all applicable conditions of approval for Z-90-95, Z-36-97, the Insight Aircenter Rancho Commercial Subdivision (if applicable), and all other applicable site-related actions as required by the Department of Public Works.
11. All development shall be in conformance with the site plan (as amended by the above conditions) and building elevations.
12. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning and Development Department and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
13. A landscaping plan must first be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
14. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets.

AGENDA MEMO

CITY COUNCIL MEETING DATE: September 15, 1999

DEPARTMENT: Planning and Development Department

ITEM DESCRIPTION: ABEYANCE ITEM - Z-90-95(3) and Z-36-97(1) - Becker & Sons

15. All City Code requirements and design standards of all City departments must be satisfied.
16. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply shall be installed and shall be functioning prior to construction of any combustible structures.
17. Where new mains are extended along streets and fire hydrants are not needed of protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.
18. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

APPLICATION REQUEST:

This is a request for a Site Development Plan Review for a proposed 328,121 square foot professional plaza on a 30.22 acre site located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, and to allow a delay of on-site and off-site improvements which were required as conditions of approval.

BACKGROUND DATA:

- 12/20/95 The City Council approved a Rezoning of the eastern portion of this property to C-M (Commercial/Industrial) for a commercial center, office/warehouse development and mini-storage facility (Z-90-95).
- 01/22/97 The City Council approved the first Extension of Time of the Rezoning of the eastern portion of this property [Z-90-95(1)].
- 08/11/97 The City Council approved a Rezoning of the western portion of this property to O (Office) and C-M (Commercial/Industrial) for an office/warehouse development (Z-36-97). This zoning was approved without an expiration date.

AGENDA MEMO

CITY COUNCIL MEETING DATE: September 15, 1999

DEPARTMENT: Planning and Development Department

ITEM DESCRIPTION: ABEYANCE ITEM - Z-90-95(3) and Z-36-97(1) - Becker & Sons

01/25/99 The City Council approved the second Extension of Time of the Rezoning of the eastern portion of this property [Z-90-95(2)]. This approval will expire on January 25, 2000.

DETAILS OF APPLICATION REQUEST:

OVERALL SITE:

Site Area:	30.22	Acres
Building Area:	328,121	Square Feet
Parking Required:	953	Spaces
Parking Provided:	1,403	Spaces

PHASE 1:

Site Area (Phase 1):	6.09	Acres
Building Area(Phase 1):	52,148	Square Feet
Building Height:	24	Feet
Residential Adjacency Required:	72	Feet (South Property Line)
Residential Adjacency Provided:	75	Feet (South Property Line)
Parking Required:	66	Spaces
Parking Provided:	186	Spaces

The overall site plan indicates this project is proposed to be developed in seven phases. A specific plan for Phase 1 has been submitted as part of this application. Phase 1 will consist of a one story office warehouse building located approximately 580 feet east of Michael Way. Access is provided by a 40 foot wide drive to Rancho. Landscaping for Phase 1 will be placed within six foot wide planters along both sides of the entry from Rancho Drive, within eight foot wide planters along portions of the north and south property lines, and in a temporary eight foot wide planter along the west edge of the building. The applicant indicates this temporary landscaping will buffer the residential development to the west, and will be removed and replaced with a permanent planter when construction of Phase 6 begins.

The elevations depict a 24 foot high building with a built-up roof. The building exteriors consist of tilt-up concrete panels. Metal roll-up doors are shown on the northeast and southwest elevations.

AGENDA MEMO

CITY COUNCIL MEETING DATE: September 15, 1999

DEPARTMENT: Planning and Development Department

ITEM DESCRIPTION: ABEYANCE ITEM - Z-90-95(3) and Z-36-97(1) - Becker & Sons

EXISTING ZONING:

Subject Property: C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office)

North: R-3 (Medium Density Residential)

South: R-1 (Single Family Residential)

East: C-2 (General Commercial)

West: R-1 (Single Family Residential)

EXISTING LAND USE:

Subject Property: Undeveloped

North: Apartments

South: Single Family Dwellings

East: Commercial

West: Single Family Dwellings

PLANNED LAND USE:

Subject Property: SC (Service Commercial) and LI/R (Light Industry/Research)

North: M (Medium Density Residential)

South: L (Low Density Residential)

East: City of North Las Vegas

West: L (Low Density Residential)

FINDINGS:

The development of this site for commercial and offices purposes is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan. The subject site is physically suited for the type and intensity of land use being proposed.

AGENDA MEMO

CITY COUNCIL MEETING DATE: September 15, 1999

DEPARTMENT: Planning and Development Department

ITEM DESCRIPTION: ABEYANCE ITEM - Z-90-95(3) and Z-36-97(1) - Becker & Sons

However, staff notes that Condition No. 4 of Z-36-97 required the placement of a 10 foot wide landscape planter along Michael Way, as well as the construction of an eight foot high block wall. These improvements, as well as the construction of the street improvements on Michael Way were to be completed as part of the first phase of development of this site. The applicant is now proposing to delay these improvements until Phase Six. Staff believes the wall, landscaping and street improvements are necessary to buffer the single family subdivision to the west, and recommends that these improvements not be deferred until a later phase.

On July 27TH, staff received a letter from the Clark County Department of Aviation indicating that these properties will be subject to potentially significant aircraft noise from aircraft utilizing the North Las Vegas Airport. Therefore, any approval of this project should be subject to the signing of an Aviation Easement by the developer. This issue has been addressed as condition number two of staff's recommendation. In addition, because of the proximity of this site to the airport, the Federal Aviation Administration (FAA) requires that any building construction on this site receive a permit from the Clark County Department of Aviation prior to construction. This issue has been addressed as condition number three of staff's recommendation

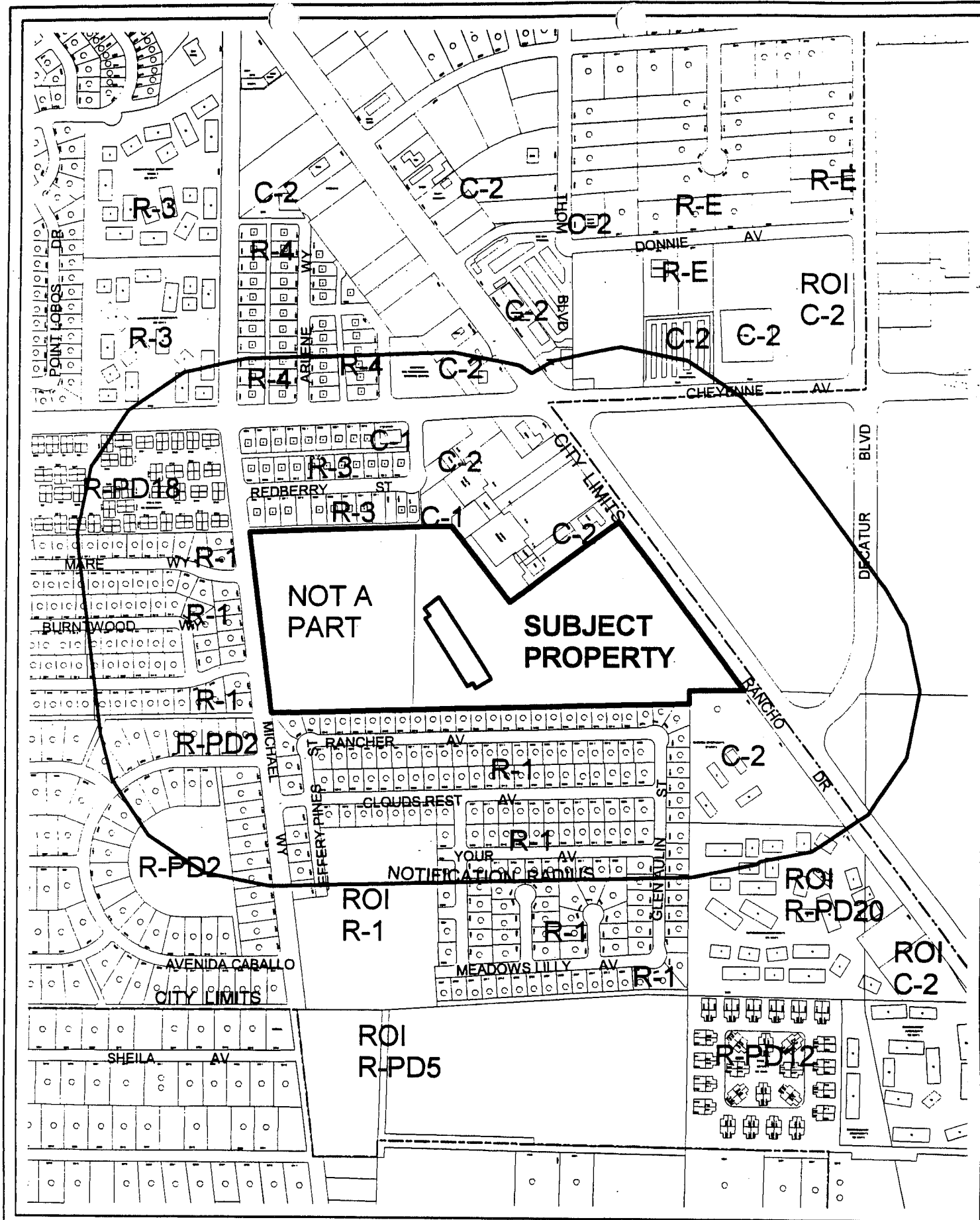
The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: 270

APPROVALS: 0

PROTESTS: 1

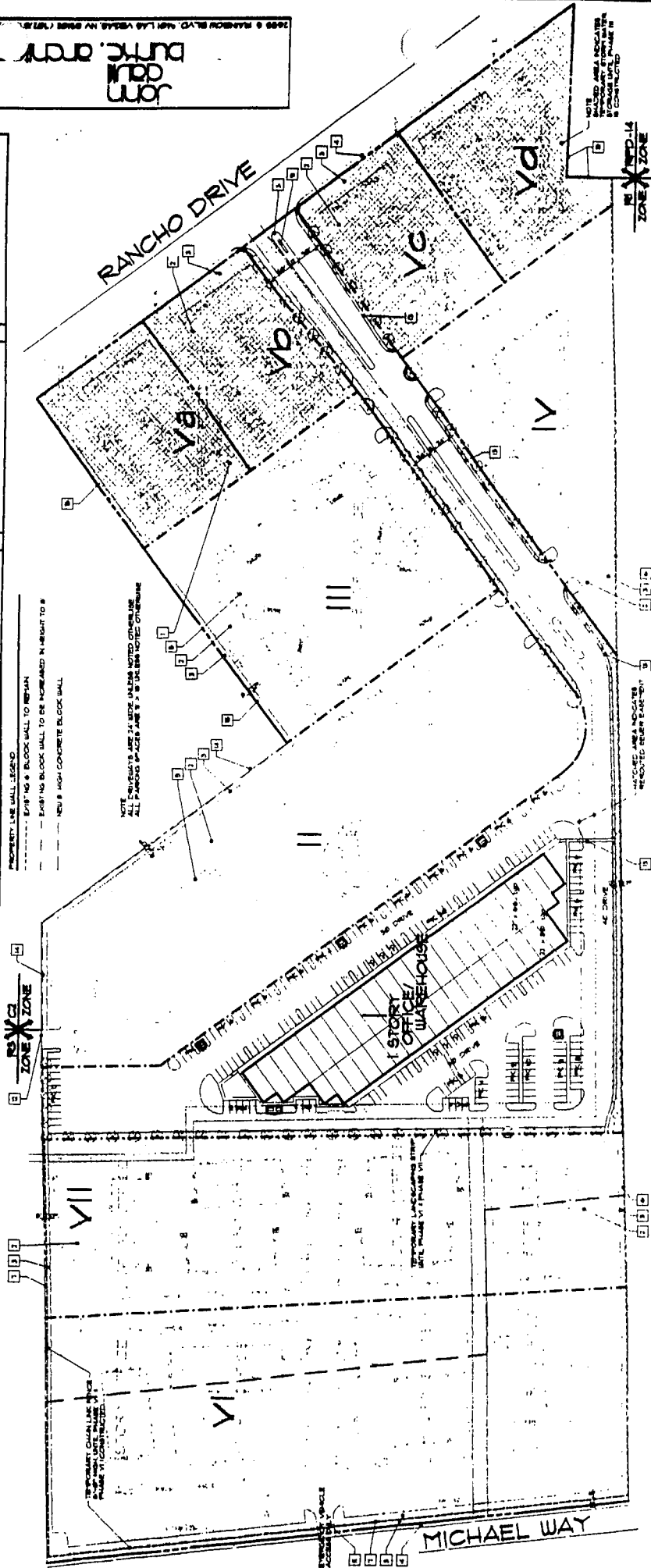
SEE ATTACHED LOCATION MAP



CASE: Z-90-95(3) and Z-36-97(1)
 RADIUS: 750 FT



KEYNOTES

[illegible]

SITE DEVELOPMENT PLAN

SCALE 1" = 60'-0"

Z-90-95(3)

Z-36-97(1)

REVISED

Cheyenne - Rancho
Professional Plaza
for: Becker & Sons, GP
City of Las Vegas Nevada

DATE	date
NO.	proj. no.
	drawn by
	chkd. by

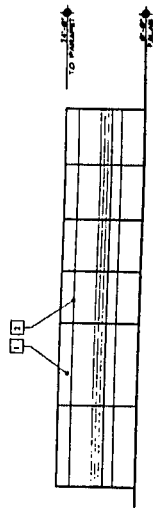
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7-29-99 PC

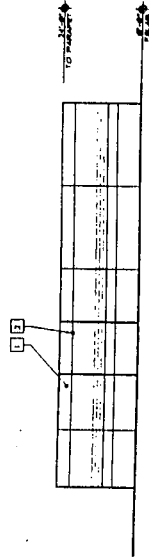
STAFF

Z-90-95(3)

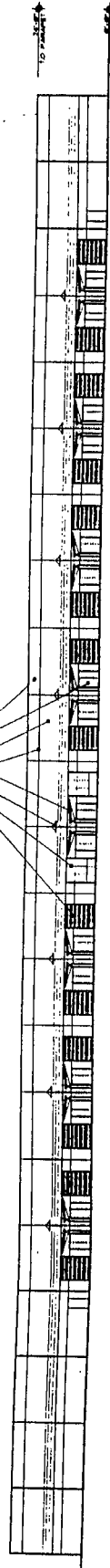
7-29-99 PC



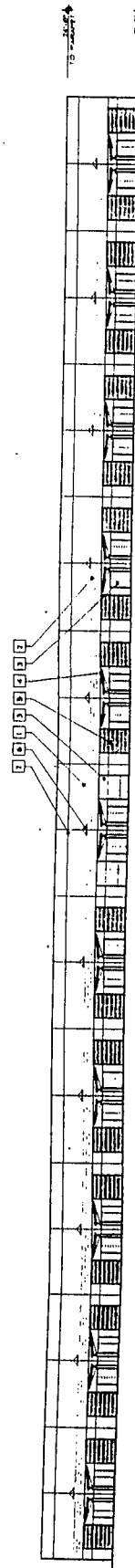
④ NORTHWEST ELEVATION
SCALE: 1/16" = 1'-0"



③ SOUTHEAST ELEVATION
SCALE: 1/16" = 1'-0"



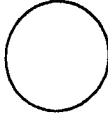
② SOUTHWEST ELEVATION
SCALE: 1/16" = 1'-0"



① NORTHEAST ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES

- ① GRABATION
- ② PAINTED CONCRETE PANEL
- ③ CURVED CONCRETE JOINT
- ④ ALUMINUM STATION
- ⑤ DECORATIVE STEEL JAMB
- ⑥ PAINTED ROLL-UP DOOR
- ⑦ DECORATIVE LIGHT FIXTURE



REVISIONS

JOHN
DAHL
ARCHITECTS
P.C.
1000 S. RANCHO BLVD., SUITE 100 LAS VEGAS, NV 89102 (702) 735-4444

Chenenne - Rancho
Professional Plaza
For: Becker & Sons, GP
City of Las Vegas
Nevada

date	proj. no.	dwg. by	chkd. by

sheet no.
A3

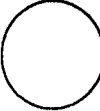
Sheet no. A4

date	pro. no.	chkd. by
10/10/99	1000	1000
10/10/99	1000	1000

Cheyenne - Rancho Professional Plaza
for: Becker & Bone, GP
Nevada
City of Las Vegas

1000 S. RANCHO BLVD, 1000 S. LAS VEGAS, NV 89102 (702) 735-4444
burtc, architect
John Burtc

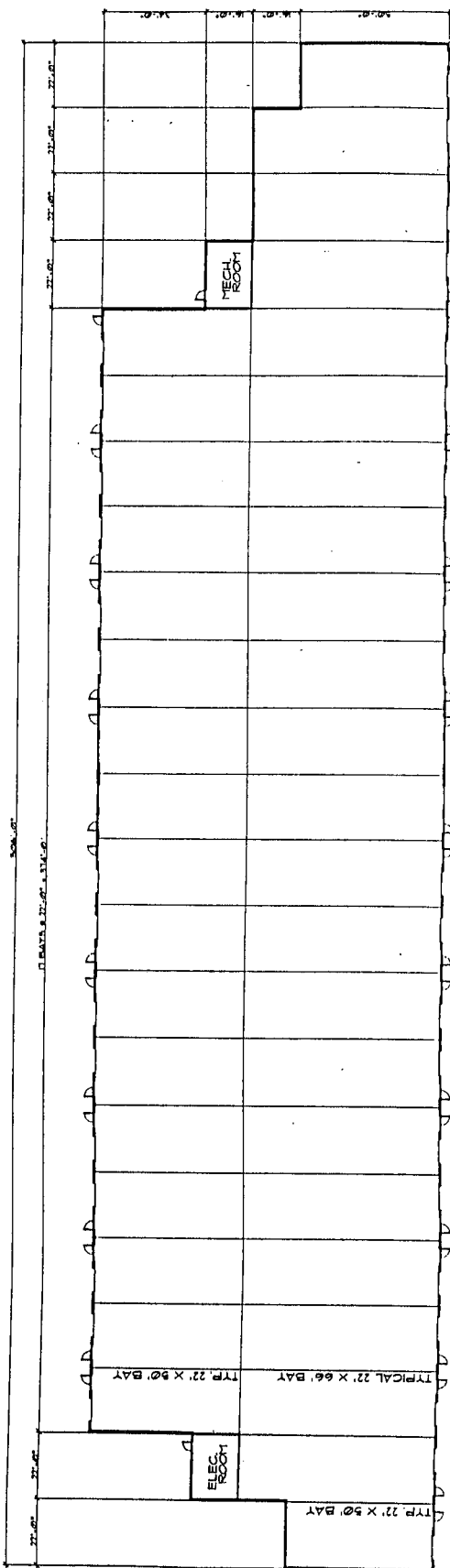
Revisions



LEASEABLE AREA: 51392 SF
GROSS LEASEABLE: 52096 SF

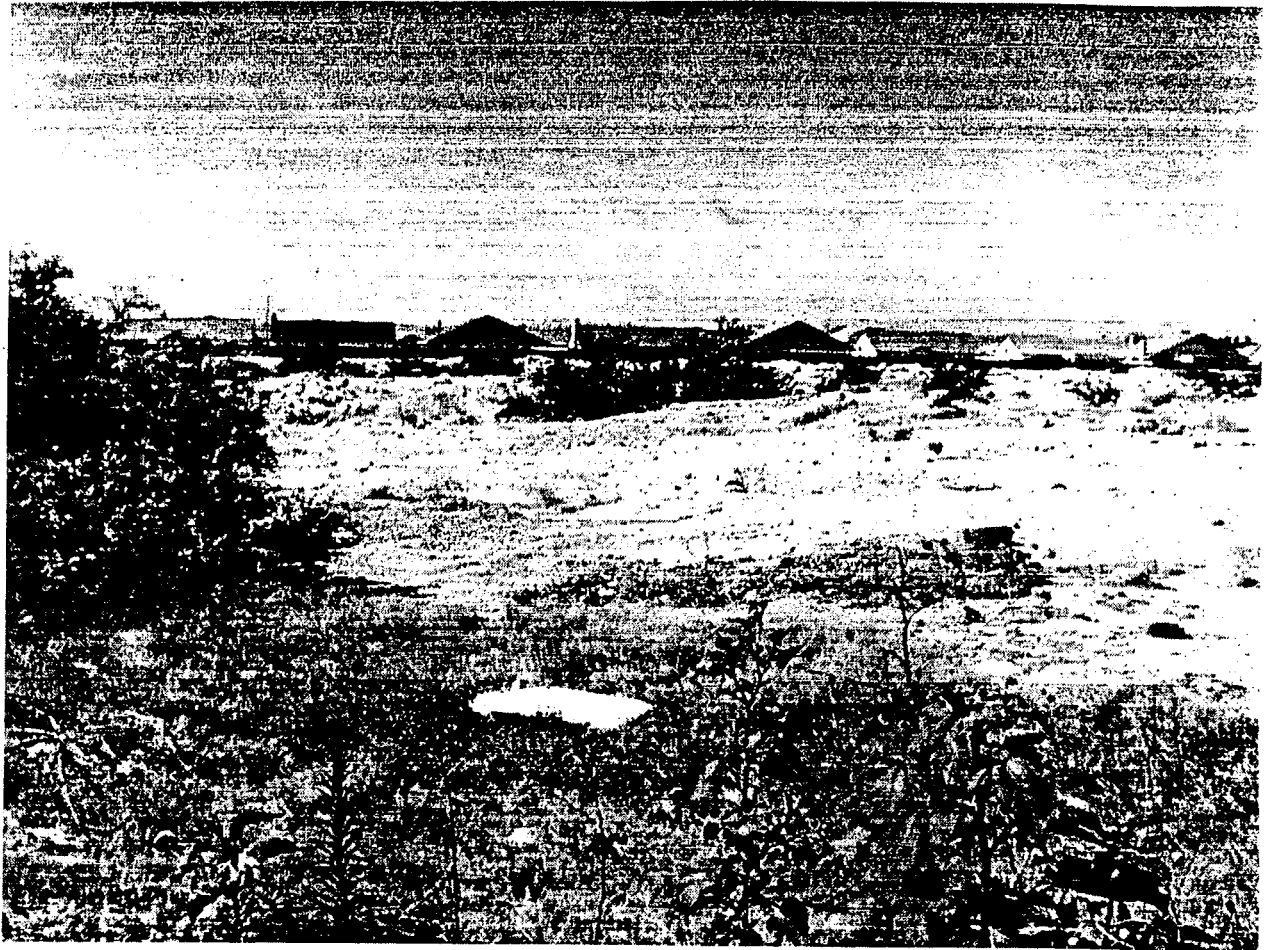
FLOOR PLAN

SCALE: 1/8" = 1'-0"

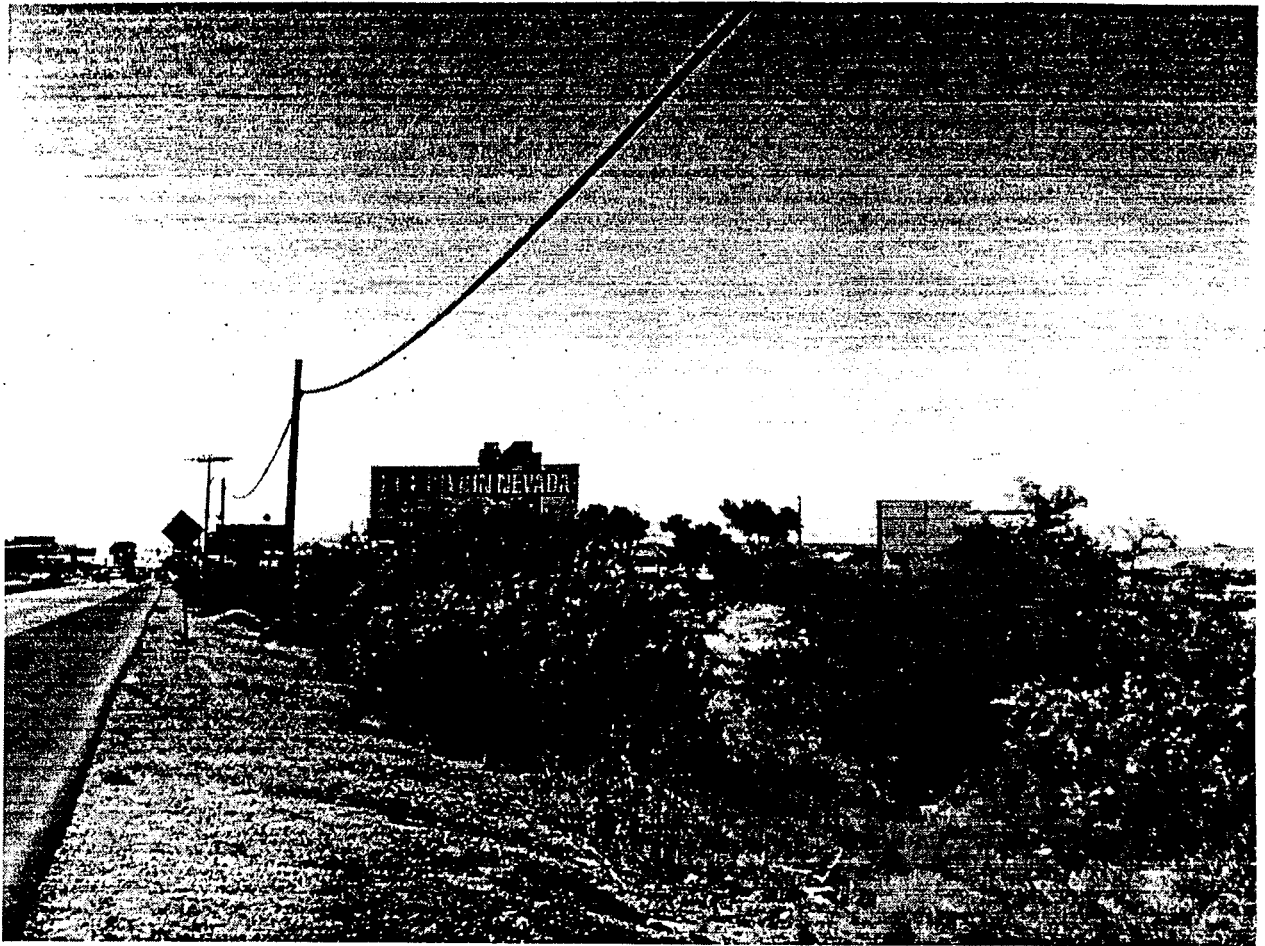


STAFF
Z-90-95(3)
7-29-99 PC

KEYNOTES	
#	DESCRIPTION
1	1000
2	1000



Z-90-95(3)



Z-90-95(3)



Z-90-95(3)



September 2, 1999

MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
MICHAEL J. McDONALD
(MAYOR PRO-TEM)
GARY REESE
LARRY BROWN
LYNETTE B. McDONALD

CITY MANAGER
VIRGINIA VALENTINE

Mr. Ernest A. Becker, Jr.
Becker & Sons
50 South Jones Boulevard, Suite 100
Las Vegas, Nevada 89107

RE: SITE DEVELOPMENT PLAN REVIEW - Z-90-95(3) AND Z-36-97(1)

Dear Mr. Becker:

The City Council at a regular meeting held September 1, 1999 HELD IN ABEYANCE the request for a Site Development Plan Review on property located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA; AND TO ALLOW A DELAY OF ON-SITE AND OFF-SITE IMPROVEMENTS WHICH WERE REQUIRED AS CONDITIONS OF APPROVAL, C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Size: 30.22 Acres, Ward 4 (Brown), APN: 138-13-504-005.

This item will be heard during the 1:00 p.m. Planning and Development Discussion portion of the September 15, 1999 City Council Meeting. It is recommended that you or your representative be in attendance at this meeting. If you or your representative choose not to attend, the City Council may act in your absence without your input.

Sincerely,

A handwritten signature in cursive script, reading "Beverly K. Bridges".

BEVERLY K. BRIDGES
Chief Deputy City Clerk

/ac

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services
Land Development Services

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TDD 702.386.9108
www.ci.las-vegas.nv.us

CITY COUNCIL

MEETING OF

September 1, 1999

City of Las Vegas

AGENDA & MINUTES

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COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

109

PLANNING & DEVELOPMENT DEPARTMENT - DISCUSSION

SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

Request for a Site Development Plan Review on property located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA; AND TO ALLOW A DELAY OF ON-SITE AND OFF-SITE IMPROVEMENTS WHICH WERE REQUIRED AS CONDITIONS OF APPROVAL, C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Size: 30.22 Acres, Ward 4 (Brown), APN: 138-13-504-005.

NOTICES MAILED: 270 BY PLANNING DEPT

APPROVALS: 0

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 0

PROTESTS: 1

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 1

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL, subject to:

1. A temporary chain link fence shall be constructed along Michael Way as part of the first phase of development of this site.

M. McDONALD - Motion to bring forward and HOLD IN ABEYANCE Item 101 [U-60-99], Item 102 [U-61-99], Item 103 [Z-17-90(30), Item 118 [U-71-99], Item 120 [U-73-99], Item 121 [U-74-99] to 10/6/99, Item 109 [Z-90-95(3) and Z-36-97(1)], Item 117 [U-6-98(3)], Item 126 [Z-41-99] to 9/15/99 and Accept the WITHDRAWAL Without Prejudice of Item 124 [Z-38-99] - UNANIMOUS

There was no further related discussion.

(1:27 - 1:40)

2 - 1

CITY COUNCIL

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COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

PLANNING & DEVELOPMENT DEPARTMENT - DISCUSSION

ABEYANCE to 9/15/99

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

2. An Avigation Easement shall be recorded, in a form acceptable to the Clark County Department of Aviation, prior to the issuance of development permits for this site as required by the Planning and Development Department.

3. The applicant shall file form 7460-1 "Notice of Proposed Construction or Alteration" with the FAA, and receive a permit from the Clark County Director of Aviation prior to the construction of any building on this site. Proof of filing and approval must be presented to the Planning and Development Department prior to the issuance of permits.

4. Construct half-street improvements on Michael Way adjacent to this site concurrent with the first phase of development anywhere on this site as required by the Department of Public Works. Construction of Michael Way improvements shall commence within 360 days of approval of this action by the City Council. Failure to comply with this condition shall result in this item being reconsidered by the City Council. This Condition supersedes Condition #10 of Z-36-97 and Condition #3 of Z-90-95(1).

5. Construct all incomplete half-street improvements on Rancho Drive adjacent to this entire overall site concurrent with the first phase of development that abuts the Rancho Drive corridor as required by the Department of Public Works.

6. Construct the full width driveway on Rancho Drive concurrent with the first phase of development anywhere on this site, and construct appropriate on-site paving to provide for two-way traffic between Rancho Drive and each phase of development as required by the Department of Public Works.

CITY COUNCIL

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City of Las Vegas

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COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

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PLANNING & DEVELOPMENT DEPARTMENT - DISCUSSION

ABEYANCE to 9/15/99

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

7. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.

8. Provide to the City Collections System Engineer a sewer relocation and abandonment plan for the existing sewer lines and easements prior to the issuance of any building permits. All sewer lines conflicting with new construction shall be removed and relocated and all existing easements shall be vacated and re-granted for the new sewer lines prior to the issuance of any building permits for any buildings or structures overlying the existing sewer easements as required by the Department of Public Works. No buildings will be permitted to encroach within existing public sewer easements.

9. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site, whichever may occur first as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary

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PLANNING & DEVELOPMENT DEPARTMENT - DISCUSSION

ABEYANCE to 9/15/99

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer. This condition supersedes condition #14 of Z-36-97 and condition #19 of Z-90-95.

10. Site development to comply with all applicable conditions of approval for Z-90-95, Z-36-97, the Insight Aircenter Rancho Commercial Subdivision (if applicable), and all other applicable site-related actions as required by the Department of Public Works.

11. All development shall be in conformance with the site plan (as amended by the above conditions) and building elevations.

12. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning and Development Department and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

13. A landscaping plan must first be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

14. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets.

CITY COUNCIL

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COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

PLANNING & DEVELOPMENT DEPARTMENT - DISCUSSION

ABEYANCE to 9/15/99

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

15. All City Code requirements and design standards of all City departments must be satisfied.

16. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply shall be installed and shall be functioning prior to construction of any combustible structures.

17. Where new mains are extended along streets and fire hydrants are not needed of protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.

18. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This is a request for a Site Development Plan Review for a proposed 328,121 square foot professional plaza on a 30.22 acre site located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, and to allow a delay of on-site and off-site improvements which were required as conditions of approval.

BACKGROUND DATA:

- 12/20/95 The City Council approved a Rezoning of the eastern portion of this property to C-M (Commercial/Industrial) for a commercial center, office/warehouse development and mini-storage facility (Z-90-95).
- 01/22/97 The City Council approved the first Extension of Time of the Rezoning of the eastern portion of this property [Z-90-95(1)].
- 08/11/97 The City Council approved a Rezoning of the western portion of this property to O (Office) and C-M (Commercial/Industrial) for an office/warehouse development (Z-36-97). This zoning was approved without an expiration date.
- 01/25/99 The City Council approved the second Extension of Time of the Rezoning of the eastern portion of this property [Z-90-95(2)]. This approval will expire on January 25, 2000.

DETAILS OF APPLICATION REQUEST:

OVERALL SITE:

Site Area:	30.22	Acres
Building Area:	328,121	Square Feet
Parking Required:	953	Spaces
Parking Provided:	1,403	Spaces

Agenda Item

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AGENDA DOCUMENTATION

TO:
THE CITY COUNCIL

FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT

SUBJECT: SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

PURPOSE/BACKGROUND

PHASE 1:

Site Area (Phase 1):	6.09 Acres
Building Area(Phase 1):	52,148 Square Feet
Building Height:	24 Feet
Residential Adjacency Required:	72 Feet (South Property Line)
Residential Adjacency Provided:	75 Feet (South Property Line)
Parking Required:	66 Spaces
Parking Provided:	186 Spaces

The overall site plan indicates this project is proposed to be developed in seven phases. A specific plan for Phase 1 has been submitted as part of this application. Phase 1 will consist of a one story office warehouse building located approximately 580 feet east of Michael Way. Access is provided by a 40 foot wide drive to Rancho. Landscaping for Phase 1 will be placed within six foot wide planters along both sides of the entry from Rancho Drive, within eight foot wide planters along portions of the north and south property lines, and in a temporary eight foot wide planter along the west edge of the building. The applicant indicates this temporary landscaping will buffer the residential development to the west, and will be removed and replaced with a permanent planter when construction of Phase 6 begins.

The elevations depict a 24 foot high building with a built-up roof. The building exteriors consist of tilt-up concrete panels. Metal roll-up doors are shown on the northeast and southwest elevations.

EXISTING ZONING:

Subject Property:	C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office)
North:	R-3 (Medium Density Residential)
South:	R-1 (Single Family Residential)
East:	C-2 (General Commercial)
West:	R-1 (Single Family Residential)

Agenda Item

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AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
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SUBJECT: SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

PURPOSE/BACKGROUND

EXISTING LAND USE:

Subject Property: Undeveloped
North: Apartments
South: Single Family Dwellings
East: Commercial
West: Single Family Dwellings

PLANNED LAND USE:

Subject Property: SC (Service Commercial) and LI/R (Light Industry/Research)
North: M (Medium Density Residential)
South: L (Low Density Residential)
East: City of North Las Vegas
West: L (Low Density Residential)

FINDINGS:

The development of this site for commercial and offices purposes is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan. The subject site is physically suited for the type and intensity of land use being proposed.

However, staff notes that Condition No. 4 of Z-36-97 required the placement of a 10 foot wide landscape planter along Michael Way, as well as the construction of an eight foot high block wall. These improvements, as well as the construction of the street improvements on Michael Way were to be completed as part of the first phase of development of this site. The applicant is now proposing to delay these improvements until Phase Six. Staff believes the wall, landscaping and street improvements are necessary to buffer the single family subdivision to the west, and recommends that these improvements not be deferred until a later phase.

Agenda Item

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AGENDA DOCUMENTATION

TO: THE CITY COUNCIL

FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT

SUBJECT: SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

PURPOSE/BACKGROUND

On July 27TH, staff received a letter from the Clark County Department of Aviation indicating that these properties will be subject to potentially significant aircraft noise from aircraft utilizing the North Las Vegas Airport. Therefore, any approval of this project should be subject to the signing of an Avigation Easement by the developer. This issue has been addressed as condition number two of staff's recommendation. In addition, because of the proximity of this site to the airport, the Federal Aviation Administration (FAA) requires that any building construction on this site receive a permit from the Clark County Department of Aviation prior to construction. This issue has been addressed as condition number three of staff's recommendation

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: 270

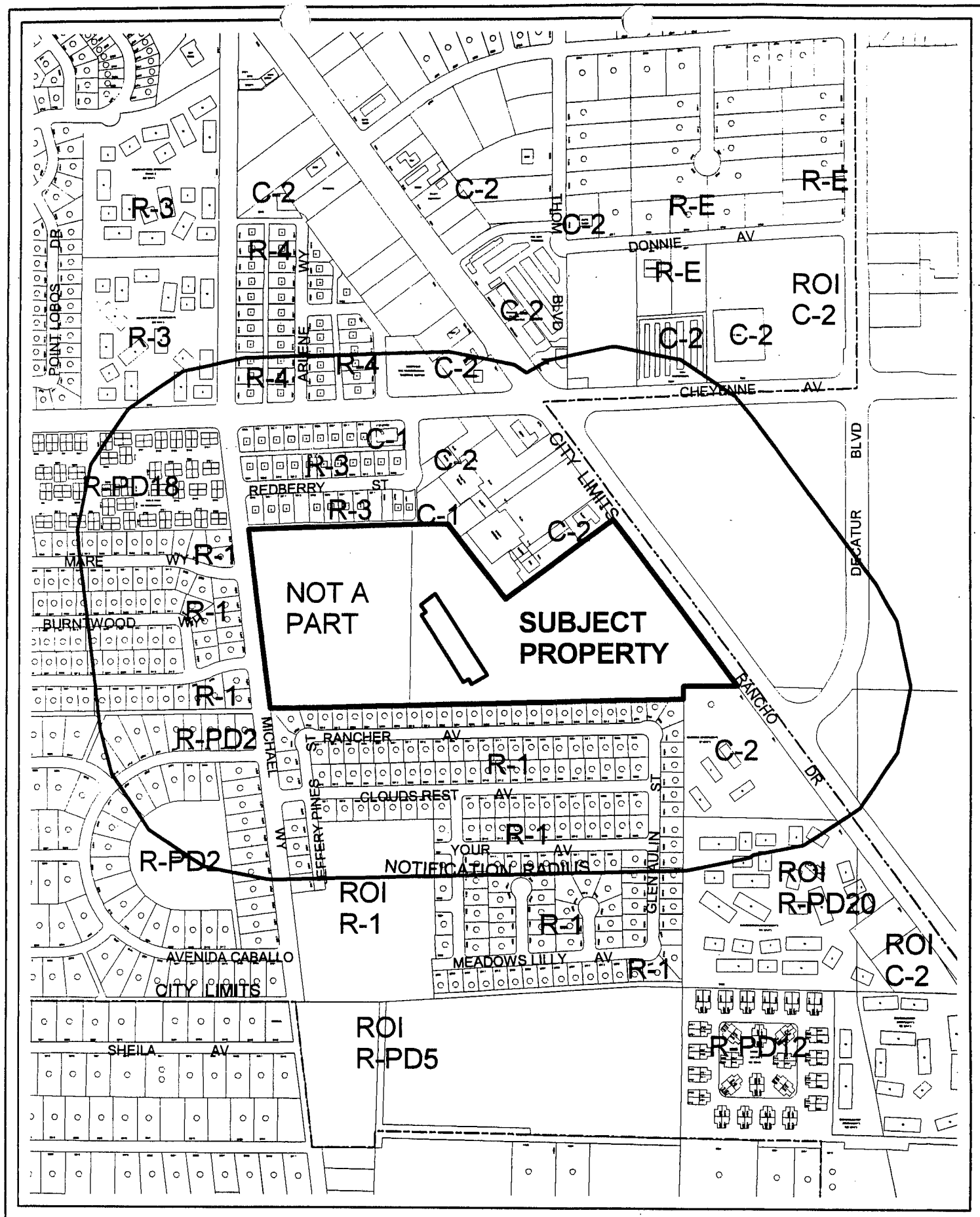
APPROVALS: 0

PROTESTS: 1

SEE ATTACHED LOCATION MAP

Agenda Item

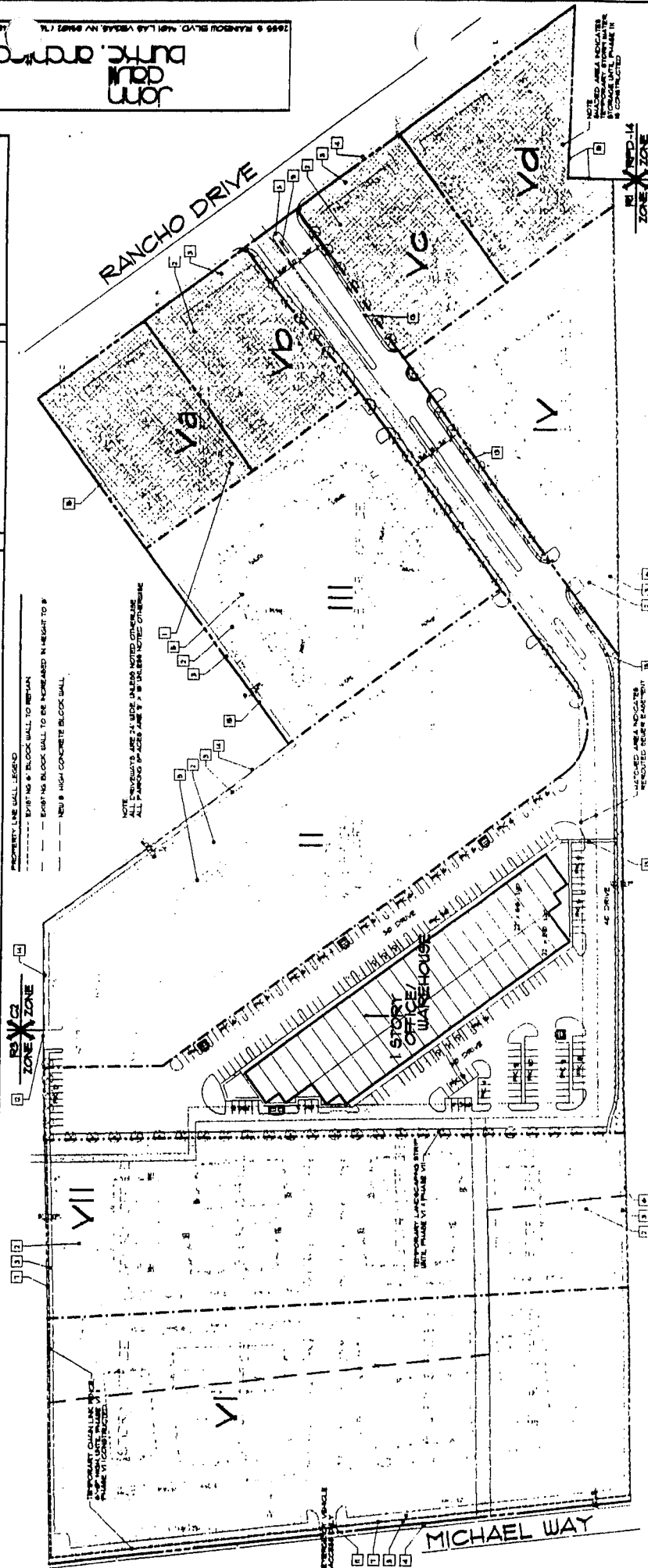
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CASE: Z-90-95(3) and Z-36-97(1)
 RADIUS: 750 FT



KEYNOTES

[illegible]

SITE DEVELOPMENT PLAN

SCALE 1" = 60'-0"

Z-90-95(3)

Z-36-97(1)

REVISED

Cheyenne - Rancho
Professional Plaza
for: Becker & Sons, GP Nevada
City of Las Vegas

6-7-1-98	date
9807	proj. no.
	drawn by
	chkd. by

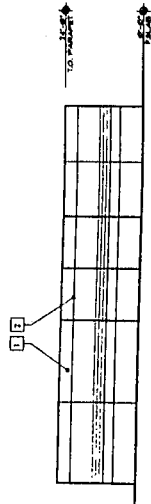
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7-29-99 PC

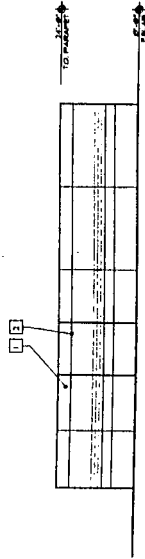
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Z-90-95(3)

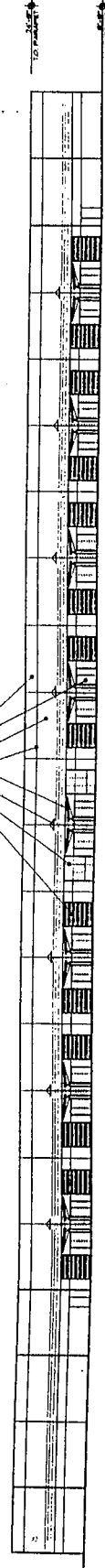
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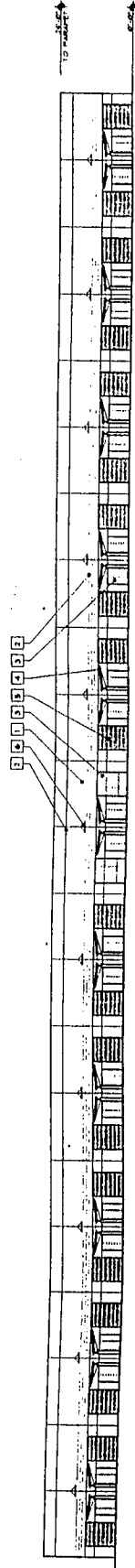
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SCALE: 1/16" = 1'-0"



3 SOUTHEAST ELEVATION
SCALE: 1/16" = 1'-0"



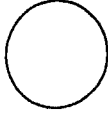
2 SOUTHWEST ELEVATION
SCALE: 1/16" = 1'-0"



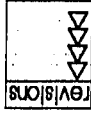
1 NORTHEAST ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES

- CONSTRUCTION
- PAINTED CONCRETE PANEL
- CHARRED CONCRETE JOINT
- ALUMINUM SIGNMOUNT
- DECORATIVE METAL ANVING
- PAINTED ROLL-UP DOOR
- DECORATIVE LIGHT FIXTURE



Revisions



jon
dau
burtch, architects
1055 S. RAINBOW BLVD., 4TH FLOOR LAS VEGAS, NV 89101 (702) 736-4663

Cheyenne - Rancho
Professional Plaza
for: Becker & Sons, GP
City of Las Vegas
Nevada

date	11/11/99
proj. no.	99-01
dwg. by	
chkd. by	

sheet no. A3

KEYNOTES	
•	description
•	beginnings

SCALE: 1/16" = 1'-0"

LEASEABLE AREA: 51392 SF.

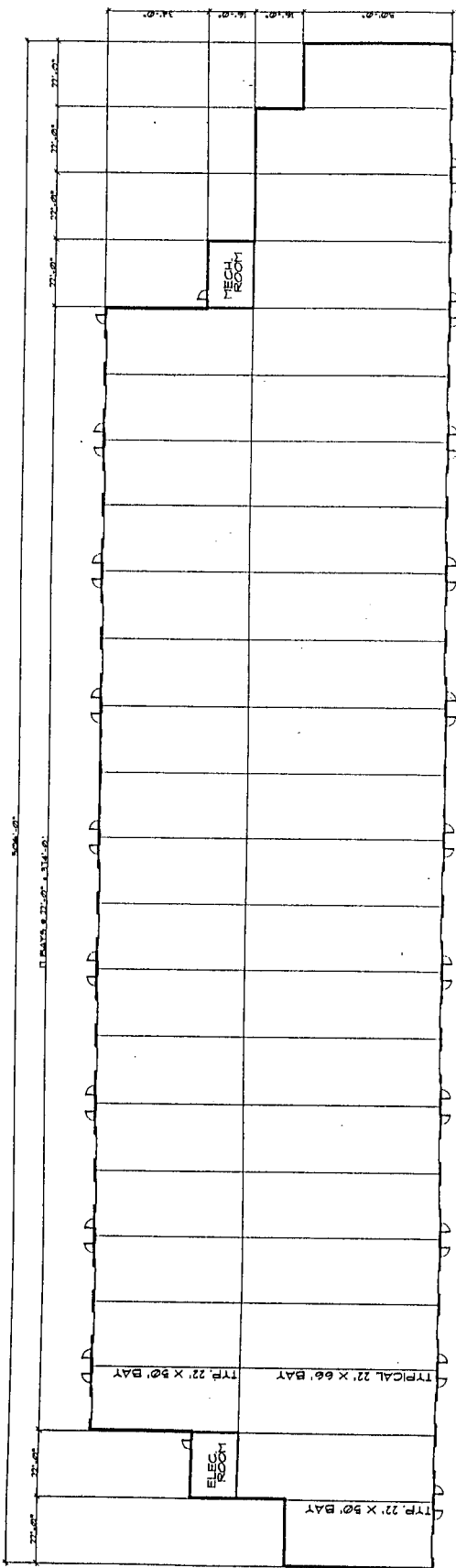
GROSS LEASEABLE: 52,096 SF.

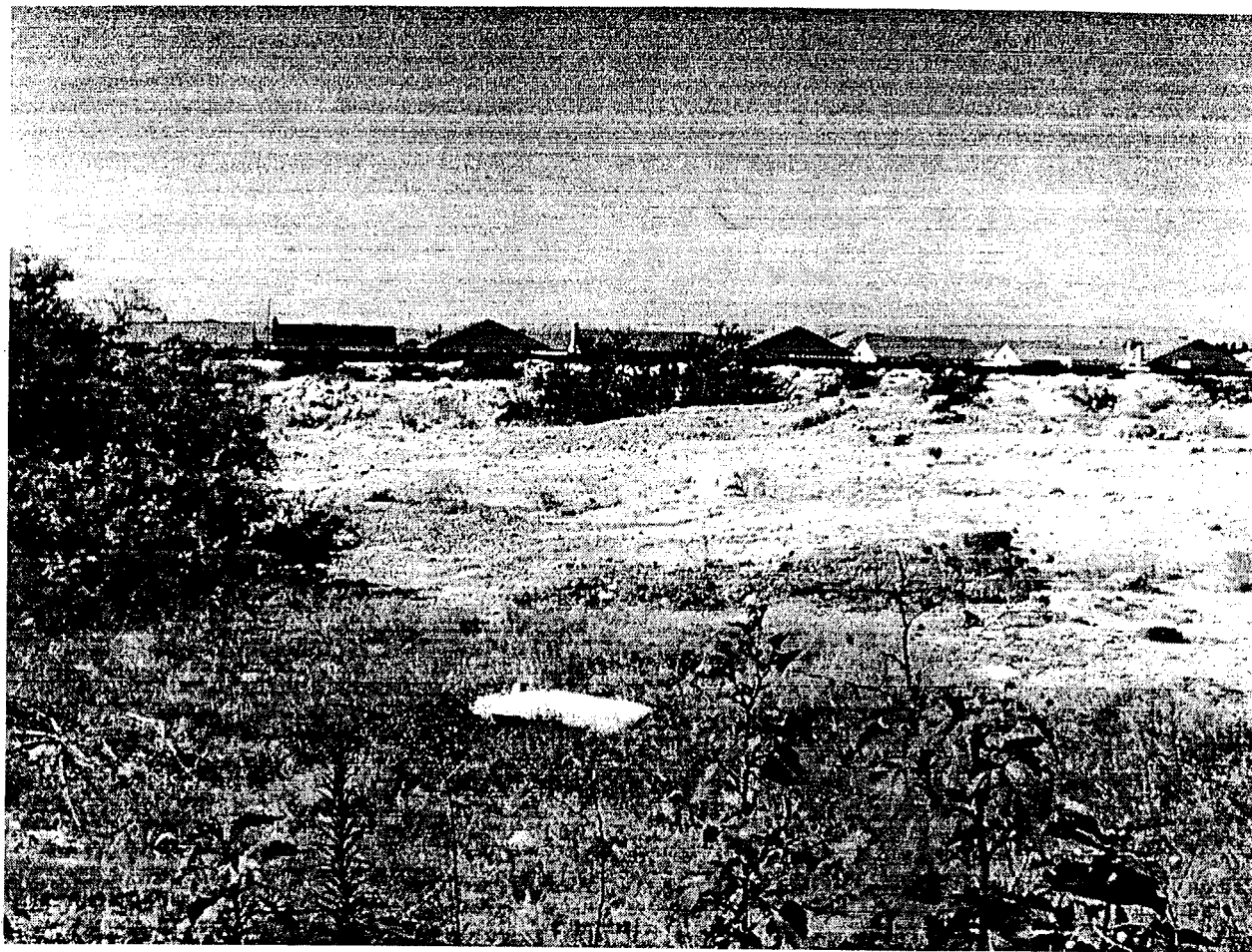
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date	8/2/96
proj. no.	1944
drwn. by	
chkd. by	

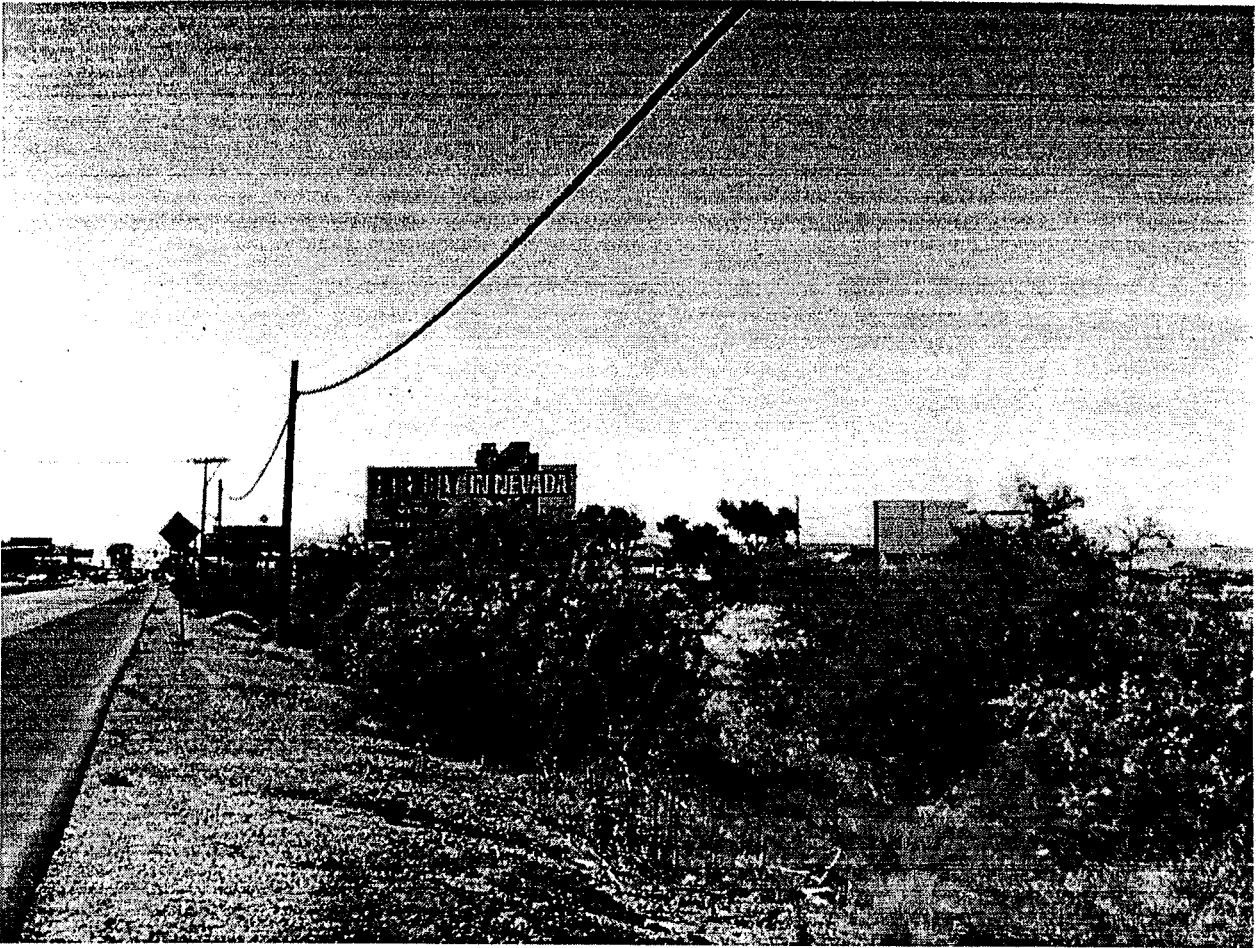
Cheyenne - Rancho
Professional Plaza
for: Becker & Sons, GP
City of Las Vegas
Nevada

JOHN DEBARTOLO
PURCH, and filled

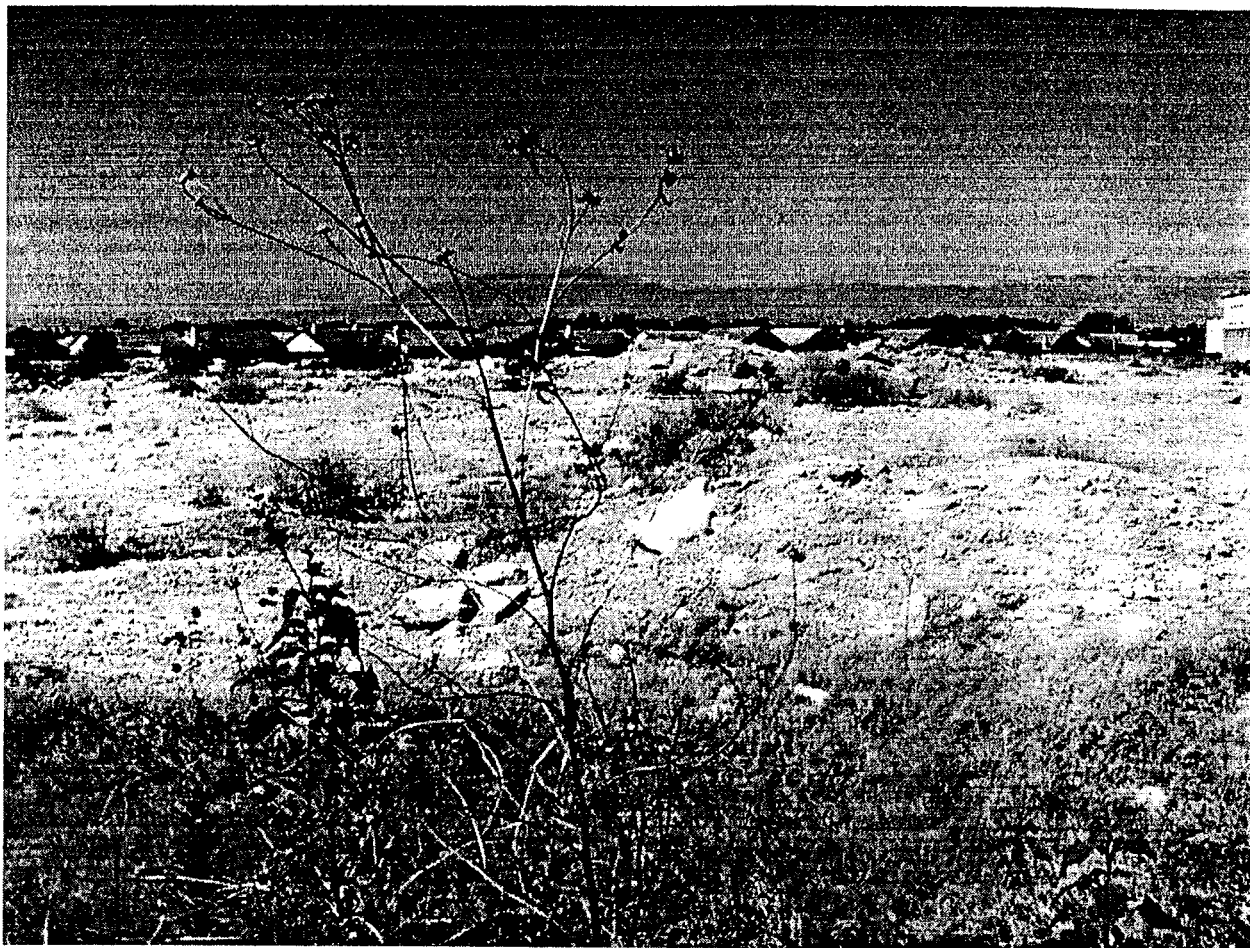




Z-90-95(3)



Z-90-95(3)



Z-90-95(3)



August 3, 1999

Mr. Ernest A. Becker, Jr.
Becker & Sons
50 South Jones Boulevard, Suite 100
Las Vegas, Nevada 89107

RE: SITE DEVELOPMENT PLAN REVIEW - Z-90-95(3) AND Z-36-97(1)

Dear Mr. Becker:

Your request for a Site Development Plan Review on property located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA; AND TO ALLOW A DELAY OF ON-SITE AND OFF-SITE IMPROVEMENTS WHICH WERE REQUIRED AS CONDITIONS OF APPROVAL, C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Size: 30.22 Acres, Ward 4 (Brown), APN: 138-13-504-005, was considered by the Planning Commission on July 29, 1999.

The Planning Commission voted to recommend APPROVAL of your request, subject to the following:

1. A temporary chain link fence shall be constructed along Michael Way as part of the first phase of development of this site.
2. An Avigation Easement shall be recorded, in a form acceptable to the Clark County Department of Aviation, prior to the issuance of development permits for this site as required by the Planning and Development Department.
3. The applicant shall file form 7460-1 "Notice of Proposed Construction or Alteration" with the FAA, and receive a permit from the Clark County Director of Aviation prior to the construction of any building on this site. Proof of filing and approval must be presented to the Planning and Development Department prior to the issuance of permits.
4. Construct half-street improvements on Michael Way adjacent to this site concurrent with the first phase of development anywhere on this site as required by the Department of Public Works. Construction of Michael Way improvements shall commence within 360 days of approval of this action by the City Council. Failure to comply with this condition shall result in this item being reconsidered by the City Council. This Condition supersedes Condition #10 of Z-36-97 and Condition #3 of Z-90-95(1).
5. Construct all incomplete half-street improvements on Rancho Drive adjacent to this entire overall site concurrent with the first phase of development that abuts the Rancho Drive corridor as required by the Department of Public Works.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TDD 702.386.9108
www.ci.las-vegas.nv.us

Mr. Ernest A. Becker, Jr.
August 3, 1999
Z-90-95(3) and Z-36-97(1) - Page Two

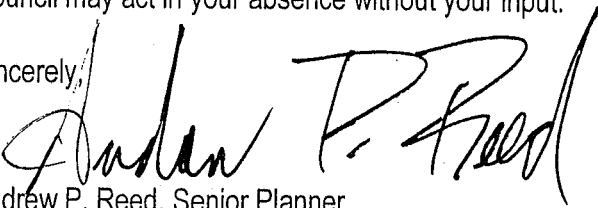
6. Construct the full width driveway on Rancho Drive concurrent with the first phase of development anywhere on this site, and construct appropriate on-site paving to provide for two-way traffic between Rancho Drive and each phase of development as required by the Department of Public Works.
7. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
8. Provide to the City Collections System Engineer a sewer relocation and abandonment plan for the existing sewer lines and easements prior to the issuance of any building permits. All sewer lines conflicting with new construction shall be removed and relocated and all existing easements shall be vacated and re-granted for the new sewer lines prior to the issuance of any building permits for any buildings or structures overlying the existing sewer easements as required by the Department of Public Works. No buildings will be permitted to encroach within existing public sewer easements.
9. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site, whichever may occur first as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer. This condition supersedes condition #14 of Z-36-97 and condition #19 of Z-90-95.
10. Site development to comply with all applicable conditions of approval for Z-90-95, Z-36-97, the Insight Aircenter Rancho Commercial Subdivision (if applicable), and all other applicable site-related actions as required by the Department of Public Works.
11. All development shall be in conformance with the site plan (as amended by the above conditions) and building elevations.

Mr. Ernest A. Becker, Jr.
August 3, 1999
Z-90-95(3) and Z-36-97(1) - Page Three

12. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning and Development Department and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
13. A landscaping plan must first be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
14. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets.
15. All City Code requirements and design standards of all City departments must be satisfied.
16. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply shall be installed and shall be functioning prior to construction of any combustible structures.
17. Where new mains are extended along streets and fire hydrants are not needed of protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.
18. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

This item will be considered by the City Council on September 1, 1999, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative choose not to attend, the City Council may act in your absence without your input.

Sincerely,



Andrew P. Reed, Senior Planner
Current Planning Division

APR:sd

SPECIAL PLANNING COMMISSION

MEETING OF
JULY 29, 1999

City of Las Vegas

AGENDA & MINUTES

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COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

C-12.

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

Request for a Site Development Plan Review on property located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA; AND TO ALLOW A DELAY OF ON-SITE AND OFF-SITE IMPROVEMENTS WHICH WERE REQUIRED AS CONDITIONS OF APPROVAL, C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Size: 30.22 Acres, Ward 4 (Brown), APN: 138-13-504-005.

NOTICES MAILED: 270

APPROVALS: 1
1 Speaker

PROTESTS: 0

STAFF RECOMMENDATION: APPROVAL,
subject to:

1. As required by Condition No. 4 of Z-36-97, an eight foot high block wall (set back 10 feet for landscaping) and a 10 foot wide landscape planter shall be constructed along Michael Way as part of the first phase of development of this site.
2. An Avigation Easement shall be recorded, in a form acceptable to the Clark County Department of Aviation, prior to the issuance of development permits for this site as required by the Planning and Development Department.
3. The applicant shall file form 7460-1 "Notice of Proposed Construction or Alteration" with the FAA, and receive a permit from the Clark County Director of Aviation prior to the construction of any building on this site. Proof of filing and approval must be presented to the Planning and Development Department prior to the issuance of permits.

Mack -

APPROVED, SUBJECT TO STAFF'S CONDITIONS, WITH CONDITION NO. 1 AMENDED TO REPLACE THE EIGHT FOOT HIGH BLOCK WALL WITH A CHAIN LINK FENCE AND LANDSCAPING ABSOLVED, CONDITION NO. 4 AMENDED TO COMMENCE WITHIN 360 DAYS OF APPROVAL OF THIS ACTION BY THE CITY COUNCIL.

Motion carried with Buckley abstaining from voting because the applicant is a client of his law firm. (Quinn excused)

ANDREW REED, Planning and Development Department, stated the overall site plan indicates this project is to be built in seven phases. The plan for Phase 1 has been submitted as part of this application. Phase 1 will consist of a one story office warehouse building located approximately 580 feet east of Michael Way. Access is provided by a 40 foot wide drive to Rancho. Landscaping for Phase 1 will be placed within six foot wide planters along both sides of the entry from Rancho Drive, within eight foot wide planters along portions of the north and south property lines, and in a temporary eight foot wide planter along the west edge of the building. The applicant indicates this temporary landscaping will buffer the residential development to the west, and will be removed and replaced with a permanent planter when construction of Phase 6 begins.

This site is suited for the type and intensity of land use being proposed. However, staff notes that in Condition No. 4 of Z-36-97, which was one of the original zone changes for this site, it requires the placement of a ten foot wide landscape planter along Michael Way, as well as construction of any eight foot high block wall. These improvements, as well as the construction of the street improvements on Michael Way, will be completed as part of the first phase of development of this site. The applicant is now proposing to delay these improvements until Phase 6. Staff believes the wall, landscaping and street improvements are necessary to buffer the single family subdivision to the west and recommended that these improvements not be deferred until a later phase.

Staff recommended approval, subject to the conditions.

SPECIAL PLANNING COMMISSION

MEETING OF
JULY 29, 1999

City of Las Vegas

AGENDA & MINUTES

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COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

4. Construct half-street improvements on Michael Way adjacent to this site concurrent with the first phase of development anywhere on this site as required by the Department of Public Works. Construction of Michael Way improvements shall commence within 180 days of approval of this action by the City Council. Failure to comply with this condition shall result in this item being reconsidered by the City Council. This Condition supersedes Condition #10 of Z-36-97 and Condition #3 of Z-90-95(1).

5. Construct all incomplete half-street improvements on Rancho Drive adjacent to this entire overall site concurrent with the first phase of development that abuts the Rancho Drive corridor as required by the Department of Public Works.

6. Construct the full width driveway on Rancho Drive concurrent with the first phase of development anywhere on this site, and construct appropriate on-site paving to provide for two-way traffic between Rancho Drive and each phase of development as required by the Department of Public Works.

7. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.

BARRY BECKER, 50 South Jones Boulevard, Suite 100, appeared to represent the application. He objected to the ten foot landscape strip along Michael Way and putting in the wall at the beginning of the construction. This is a large development that will take many years for completion. Phase 1 is approximately 780 feet from the residents to the west. The landscape buffer of trees on the west end of the project will be adequate. There is approximately 300 feet that has to be put in to improve Michael Way, which they would like to do in Phase I. One of the conditions of an Extension of Time required those improvements to be done in 180 days, but that is not enough time. He concurred with all the conditions, except Condition No. 1. They would like to be relieved from the requirement for the wall and landscaping until the adjoining phase is done and allowed 360 days to complete the half-street improvements on Michael Way.

VICE CHAIRMAN GALATI declared the Public Hearing open.

JIM DEMARRE, 5420 Mare Way, appeared in favor. Originally, one of the conditions the neighbors agreed to in order to drop their protest was that the westerly portion of the property, which is not a portion of the application, be a portion of it. They want the wall and landscape buffer on Michael Way at the time construction starts so that there will not be construction traffic through the residential neighborhood. The issue was not whether the 400 foot setback to where the project would start is visually compatible, but whether construction traffic is going to use Michael Way when that portion of the project commences development. He wants to preserve the residential neighborhood directly west of the property. The residents agree to this project as long as Michael Way is eliminated.

COMMISSIONER GORDON objected to speakers appearing before the Planning Commission representing unnamed individuals and not providing any documentation in writing. It would add more credence if the speaker would indicate the name of the person they represent.

SPECIAL PLANNING COMMISSION

MEETING OF
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COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

8. Provide to the City Collections System Engineer a sewer relocation and abandonment plan for the existing sewer lines and easements prior to the issuance of any building permits. All sewer lines conflicting with new construction shall be removed and relocated and all existing easements shall be vacated and re-granted for the new sewer lines prior to the issuance of any building permits for any buildings or structures overlying the existing sewer easements as required by the Department of Public Works. No buildings will be permitted to encroach within existing public sewer easements.

9. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved Drainage Plan/Study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer. This condition supersedes condition #14 of Z-36-97 and condition #19 of Z-90-95.

JIM DEMARRE responded that a petition was presented at the time of the original rezoning two years ago.

VICE CHAIRMAN GALATI declared the Public Hearing closed.

MR. BECKER appeared in rebuttal. The residents main concern in the past was that construction traffic, etc., does not enter and exit this project on Michael Way. They would be willing to install a chain link fence for the period of construction. He was fearful that a block wall would be vandalized during construction. He also objected to the landscaping requirement. In regard to Condition No. 4, he would like 360 days to finish the improvements on Michael Way.

MR. REED explained that in Condition No. 2 the County Department of Aviation has a slope requirement for any construction near the North Las Vegas Airport, so they want to see proposed heights of buildings before they would agree to sign off on the Development Permit.

MR. BECKER did not feel that would be a problem since most of this project is single stories. In addition, construction traffic will be off Rancho Drive.

To be heard by the City Council on 9/1/99.

(8:45) 2 - 2800

SPECIAL PLANNING COMMISSION

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JULY 29, 1999

City of Las Vegas

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Page 68

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

APPROVED

10. Site development to comply with all applicable Conditions of Approval for Z-90-95, Z-36-97, the Insight Aircenter Rancho Commercial Subdivision (if applicable), and all other applicable site-related actions as required by the Department of Public Works.

11. All development shall be in conformance with the site plan (as amended by the above conditions) and building elevations.

12. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning and Development Department and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

13. A landscaping plan must first be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

14. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets.

15. All City Code requirements and design standards of all City departments must be satisfied.

16. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply shall be installed and shall be functioning prior to construction of any combustible structures.

SPECIAL PLANNING COMMISSION

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COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

Z-90-95(3) AND Z-36-97(1) - BECKER & SONS

APPROVED

17. Where new mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.

18. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

7/29/99 SPECIAL PLANNING COMMISSION

- C-12. Z-90-95(3) AND Z-36-97(1) - BECKER & SONS - Request for a Site Development Plan Review on property located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA; AND TO ALLOW A DELAY OF ON-SITE AND OFF-SITE IMPROVEMENTS WHICH WERE REQUIRED AS CONDITIONS OF APPROVAL, C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Size: 30.22 Acres, Ward 4 (Brown), APN: 138-13-504-005.

PUBLIC HEARING

C.C.: 9/1/99

STAFF RECOMMENDATION: APPROVAL, SUBJECT TO CONDITIONS.

APPLICATION REQUEST:

This is a request for a Site Development Plan Review for a proposed 328,121 square foot professional plaza on a 30.22 acre site located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, and to allow a delay of on-site and off-site improvements which were required as conditions of approval.

BACKGROUND DATA:

- 12/20/95 The City Council approved a Rezoning of the eastern portion of this property to C-M (Commercial/Industrial) for a commercial center, office/warehouse development and mini-storage facility (Z-90-95).
- 01/22/97 The City Council approved the first Extension of Time of the Rezoning of the eastern portion of this property [Z-90-95(1)].
- 08/11/97 The City Council approved a Rezoning of the western portion of this property to O (Office) and C-M (Commercial/Industrial) for an office/warehouse development (Z-36-97). This zoning was approved without an expiration date.
- 01/25/99 The City Council approved the second Extension of Time of the Rezoning of the eastern portion of this property [Z-90-95(2)]. This approval will expire on January 25, 2000.

DETAILS OF APPLICATION REQUEST:

OVERALL SITE:

Site Area:	30.22	Acres
Building Area:	328,121	Square Feet
Parking Required:	953	Spaces
Parking Provided:	1,403	Spaces

PHASE 1:

Site Area (Phase 1):	6.09 Acres
Building Area(Phase 1):	52,148 Square Feet
Building Height:	24 Feet
Residential Adjacency Required:	72 Feet (South Property Line)
Residential Adjacency Provided:	75 Feet (South Property Line)
Parking Required:	66 Spaces
Parking Provided:	186 Spaces

The overall site plan indicates this project is proposed to be developed in seven phases. A specific plan for Phase 1 has been submitted as part of this application. Phase 1 will consist of a one story office warehouse building located approximately 580 feet east of Michael Way. Access is provided by a 40 foot wide drive to Rancho. Landscaping for Phase 1 will be placed within six foot wide planters along both sides of the entry from Rancho Drive, within eight foot wide planters along portions of the north and south property lines, and in a temporary eight foot wide planter along the west edge of the building. The applicant indicates this temporary landscaping will buffer the residential development to the west, and will be removed and replaced with a permanent planter when construction of Phase 6 begins.

The elevations depict a 24 foot high building with a built-up roof. The building exteriors consist of tilt-up concrete panels. Metal roll-up doors are shown on the northeast and southwest elevations.

EXISTING ZONING:

Subject Property:	C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-M (Commercial/Industrial) and O (Office)
North:	R-3 (Medium Density Residential)
South:	R-1 (Single Family Residential)
East:	C-2 (General Commercial)
West:	R-1 (Single Family Residential)

EXISTING LAND USE:

Subject Property:	Undeveloped
North:	Apartments
South:	Single Family Dwellings
East:	Commercial
West:	Single Family Dwellings

PLANNED LAND USE:

Subject Property:	SC (Service Commercial) and LI/R (Light Industry/Research)
North:	M (Medium Density Residential)
South:	L (Low Density Residential)
East:	City of North Las Vegas
West:	L (Low Density Residential)

FINDINGS:

The development of this site for commercial and offices purposes is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan. The subject site is physically suited for the type and intensity of land use being proposed.

However, staff notes that Condition No. 4 of Z-36-97 required the placement of a 10 foot wide landscape planter along Michael Way, as well as the construction of an eight foot high block wall. These improvements, as well as the construction of the street improvements on Michael Way were to be completed as part of the first phase of development of this site. The applicant is now proposing to delay these improvements until Phase Six. Staff believes the wall, landscaping and street improvements are necessary to buffer the single family subdivision to the west, and recommends that these improvements not be deferred until a later phase.

On July 27TH staff received a letter from the Clark County Department of Aviation indicating that these properties will be subject to potentially significant aircraft noise from aircraft utilizing the North Las Vegas Airport. Therefore, any approval of this project should be subject to the signing of an Avigation Easement by the developer. This issue has been addressed as condition number two of staff's recommendation. In addition, because of the proximity of this site to the airport, the Federal Aviation Administration (FAA) requires that any building construction on this site receive a permit from the Clark County Department of Aviation prior to construction. This issue has been addressed as condition number three of staff's recommendation

STAFF RECOMMENDATION: **APPROVAL**, subject to:

1. As required by Condition No. 4 of Z-36-97, an eight foot high block wall (setback 10 feet for landscaping) and a 10 foot wide landscape planter shall be constructed along Michael Way as part of the first phase of development of this site.
2. An Avigation Easement shall be recorded, in a form acceptable to the Clark County Department of Aviation, prior to the issuance of development permits for this site as required by the Planning and Development Department.

3. The applicant shall file form 7460-1 "Notice of Proposed Construction or Alteration" with the FAA, and receive a permit from the Clark County Director of Aviation prior to the construction of any building on this site. Proof of filing and approval must be presented to the Planning and Development Department prior to the issuance of permits.
4. Construct half-street improvements on Michael Way adjacent to this site concurrent with the first phase of development anywhere on this site as required by the Department of Public Works. Construction of Michael Way improvements shall commence within 180 days of approval of this action by the City Council. Failure to comply with this condition shall result in this item being reconsidered by the City Council. This Condition supersedes Condition #10 of Z-36-97 and Condition #3 of Z-90-95(1).
5. Construct all incomplete half-street improvements on Rancho Drive adjacent to this entire overall site concurrent with the first phase of development that abuts the Rancho Drive corridor as required by the Department of Public Works.
6. Construct the full width driveway on Rancho Drive concurrent with the first phase of development anywhere on this site, and construct appropriate on-site paving to provide for two-way traffic between Rancho Drive and each phase of development as required by the Department of Public Works.
7. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
8. Provide to the City Collections System Engineer a sewer relocation and abandonment plan for the existing sewer lines and easements prior to the issuance of any building permits. All sewer lines conflicting with new construction shall be removed and relocated and all existing easements shall be vacated and re-granted for the new sewer lines prior to the issuance of any building permits for any buildings or structures overlying the existing sewer easements as required by the Department of Public Works. No buildings will be permitted to encroach within existing public sewer easements.
9. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site, whichever may occur first as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer. This condition supersedes condition #14 of Z-36-97 and condition #19 of Z-90-95.

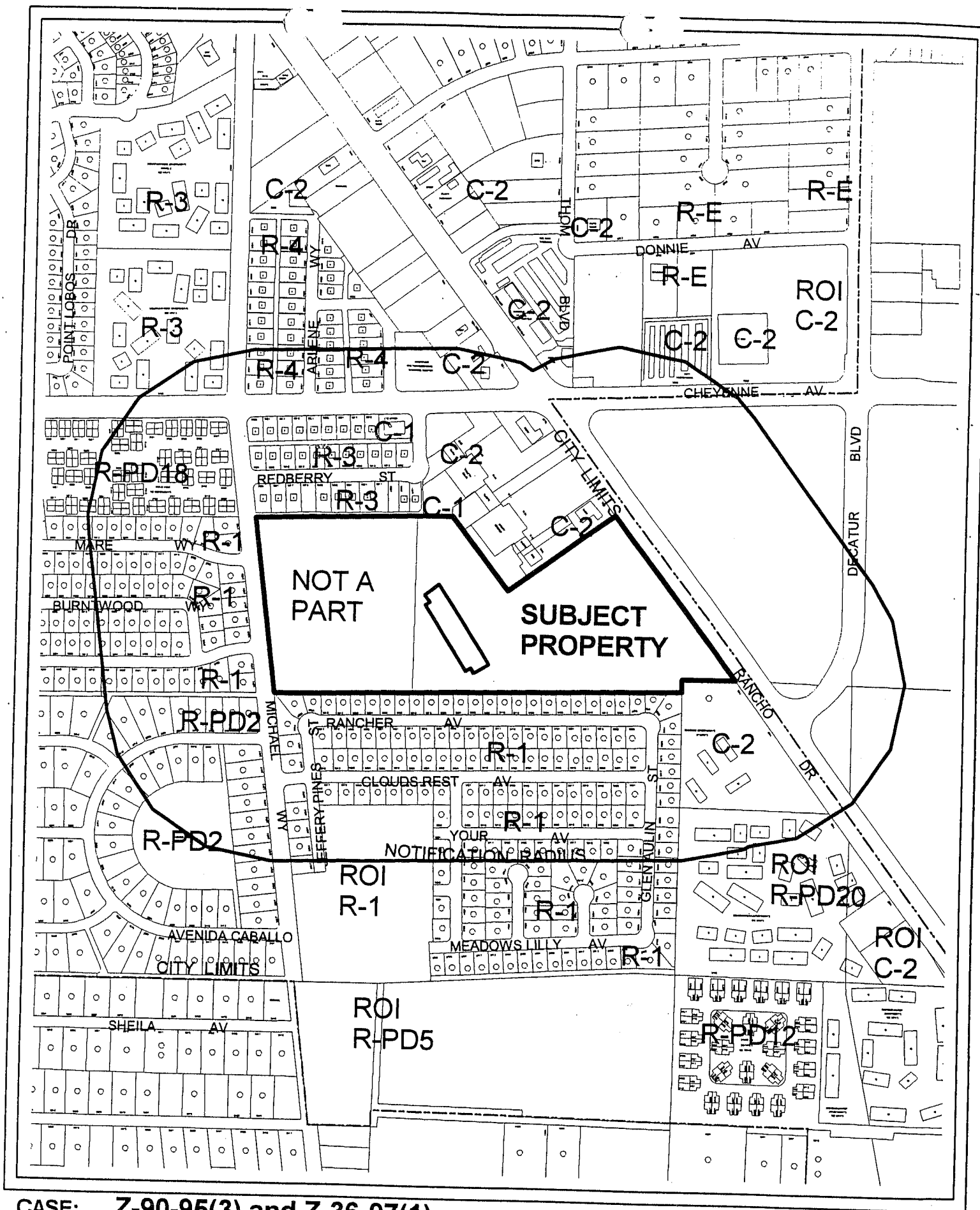
C-12. Z-90-95(3) & Z-36-97(1) - Page Five

10. Site development to comply with all applicable conditions of approval for Z-90-95, Z-36-97, the Insight Aircenter Rancho Commercial Subdivision (if applicable), and all other applicable site-related actions as required by the Department of Public Works.
11. All development shall be in conformance with the site plan (as amended by the above conditions) and building elevations.
12. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning and Development Department and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
13. A landscaping plan must first be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
14. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets.
15. All City Code requirements and design standards of all City departments must be satisfied.
16. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply shall be installed and shall be functioning prior to construction of any combustible structures.
17. Where new mains are extended along streets and fire hydrants are not needed of protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.
18. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

NOTICES MAILED: 270

APPROVALS: 1

PROTESTS: 0



CASE: Z-90-95(3) and Z-36-97(1)
RADIUS: 750 FT

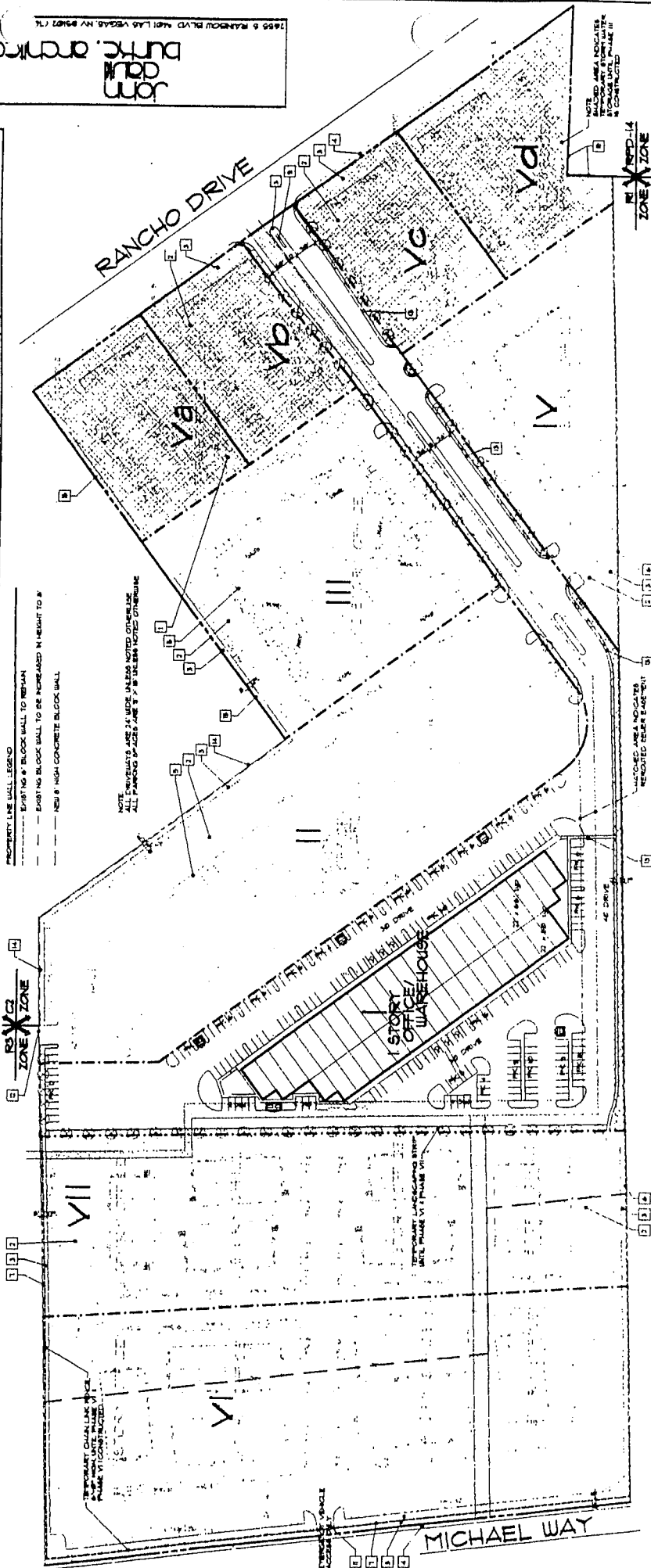


KEYNOTES

[illegible]

KEYNOTES

#	Description
1	6" HIGH CONCRETE BLOCK WALL ENDING ON WALK OF SIDE W/ GATE WITH STIMPED METAL PLATING & LIFT UP LOCK/LATCH
2	7' AC. PAVING
3	LANDSCAPED AREA
4	CONCRETE BOWTIE/CURB 1' GUTTER AS PER CITY OF LOS ANGELES
5	4" CONCRETE BOWTIE/MIDCOURT FINISH
6	8'-0" HIGH CONCRETE BLOCK WALL (ENDING HANDICAP ACCESSIBLE)
7	PYLON SIGN
8	HANDICAP CURBS RAMP
9	GRASSY GATE



SITE DEVELOPMENT PLAN

SCALE: 1" = 60'-0"

Z-90-95(3)

Z-36-97(1)

REVISÉ

**Cheyenne - Rancho
Professional Plaza**
for: Becker & Sons, GP
City of Las Vegas Nevada

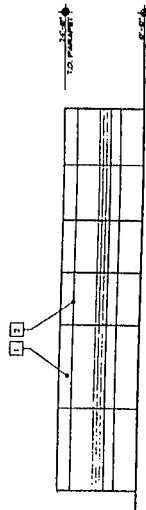
date	sheet no.
proj. no.	A7
drawn by	
chkd. by	

7-29-99 PC

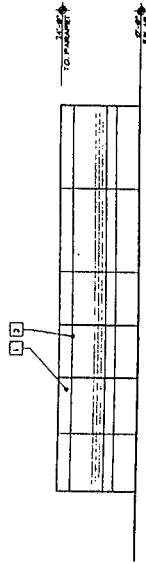
STAFF

Z-90-95(3)

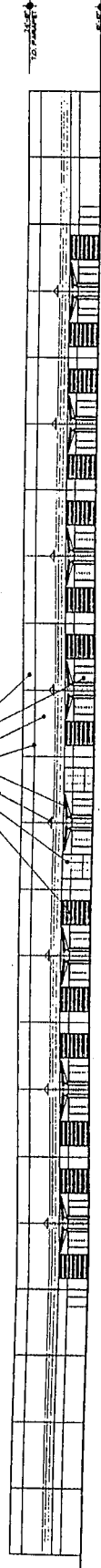
7-29-99 PC



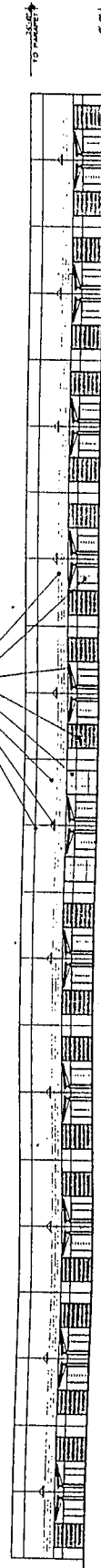
④ NORTHWEST ELEVATION
SCALE: 1/16" = 1'-0"



③ SOUTHEAST ELEVATION
SCALE: 1/16" = 1'-0"

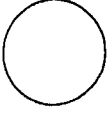


② SOUTHWEST ELEVATION
SCALE: 1/16" = 1'-0"



① NORTHEAST ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES	
1	DESCRIPTION
2	PAINTED CONCRETE PANEL
3	PAINTED CONCRETE PANEL
4	PAINTED CONCRETE PANEL
5	PAINTED CONCRETE PANEL
6	PAINTED CONCRETE PANEL
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10	PAINTED CONCRETE PANEL



NO.	DATE	DESCRIPTION
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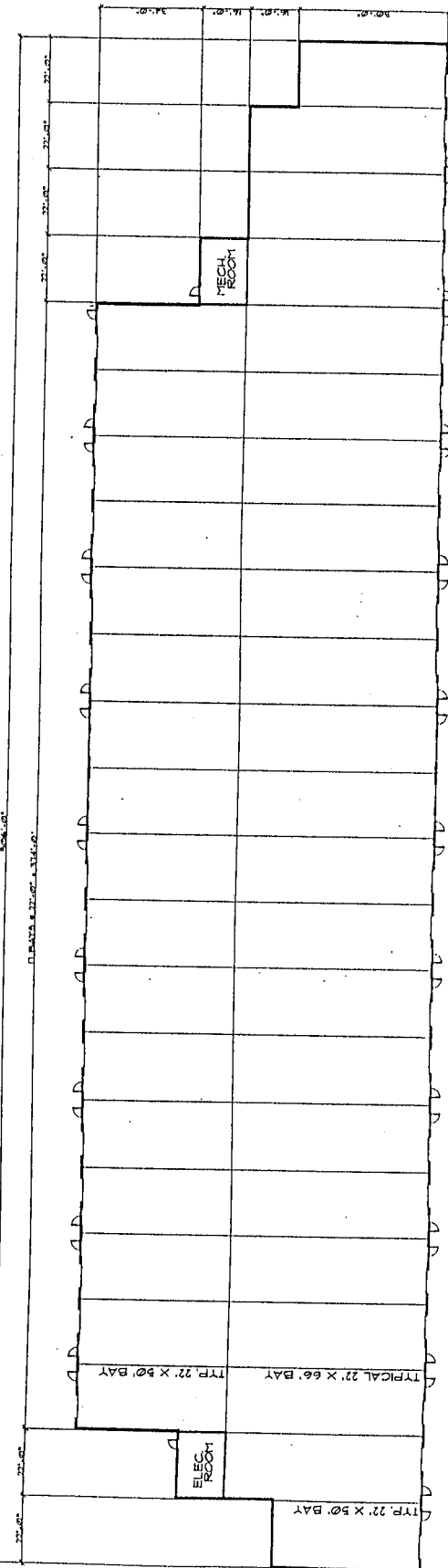
JOHN
DAVIS
ARCHITECTS
P.C.
1055 S. RAINBOW BLVD., 4TH FLOOR, LAS VEGAS, NV 89102 (702) 376-4065

Cheyenne - Rancho
Professional Plaza
for: Becker & Bone, GP
City of Las Vegas
Nevada

DATE	BY	PROJ. NO.	CHKD. BY

Sheet no. A3

7-29-99 PC



7 FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEASEABLE AREA: 51392 SF.
GROSS LEASEABLE: 52096 SF.

Sheet no.

△△

date	2015/6
proj. no.	1000
drawn by	...
chkd. by	...

Chyenne - Rancho
Professional Plaza
For: Becker & Sons, GP
City of Las Vegas
Nevada

JOHN
DANIEL
BUNTHE, arrested

REVISED
11/1/81

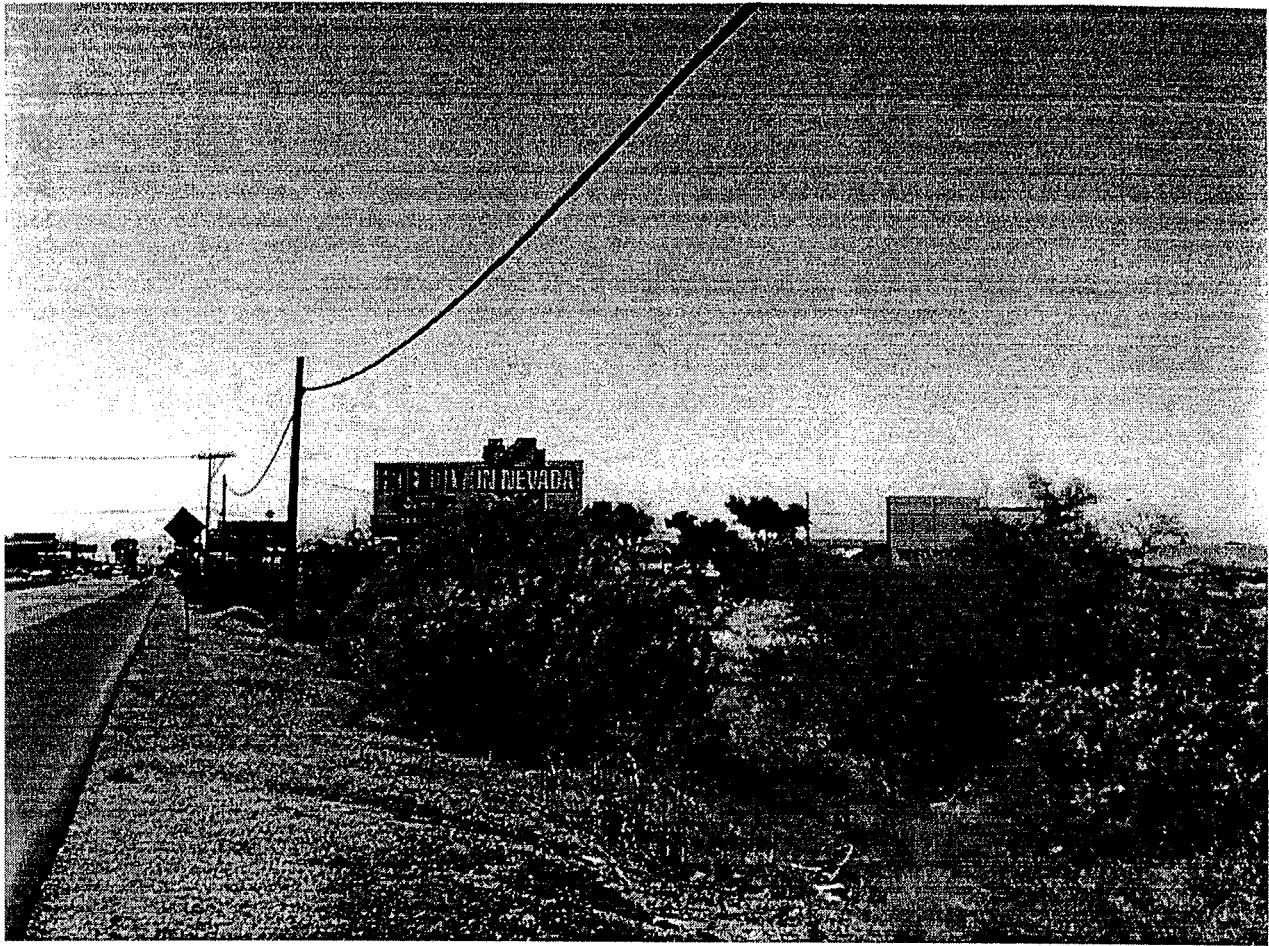
KEYNOTES

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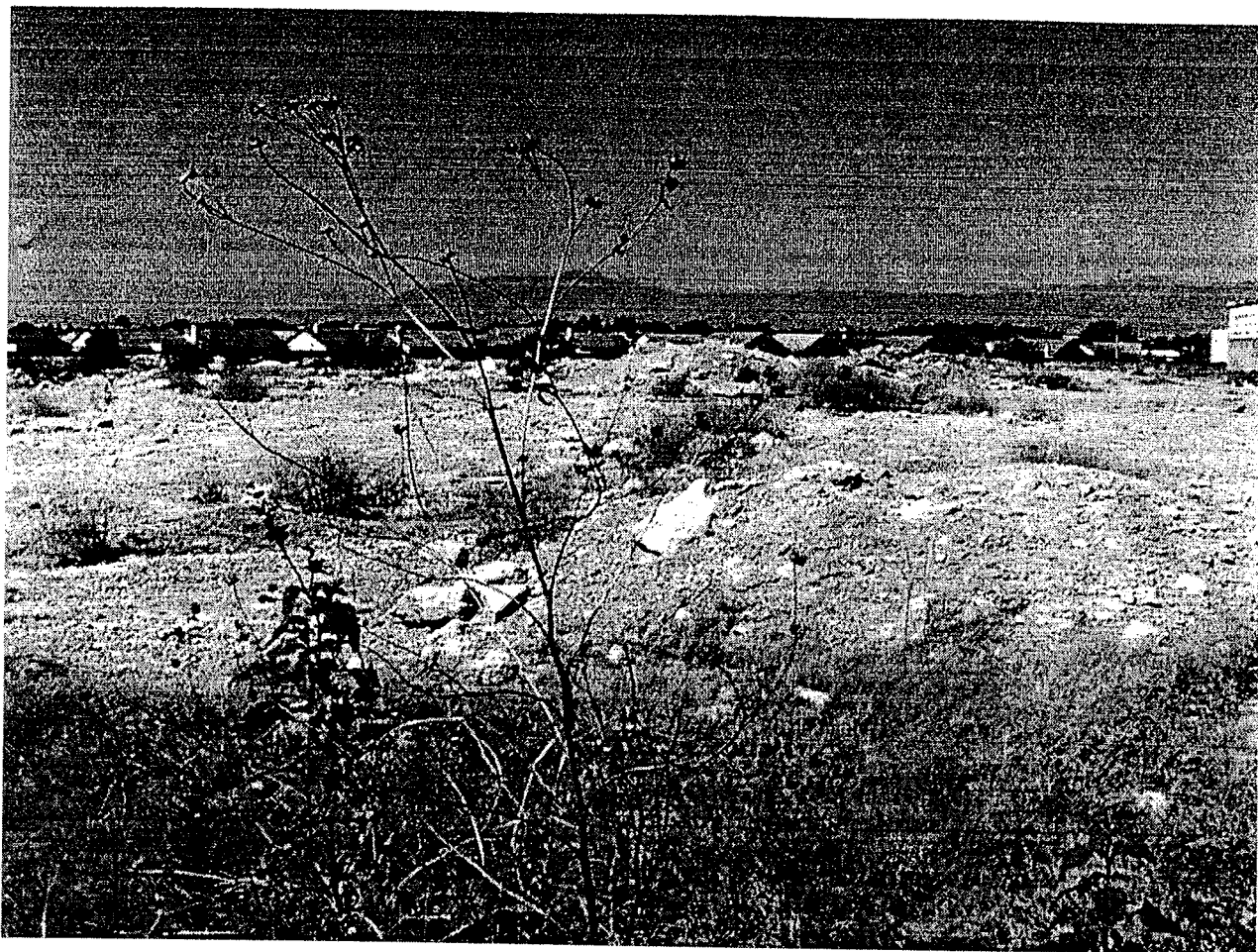
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Z-90-95(3)



Z-90-95(3)



Z-90-95(3)

July 1979

7/29

Dear Sir:

In regards to the notice we received in case Z-90-95(3) and Z-36-97(1), we do hereby approve of this very much. Not only will it be a huge improvement environmentally, it will also be a plus for the area. Again, we do approve.

Also would they be putting another linked wall up so it would be a double wall with ours?

Sincerely
Marianne M. Stokes

P.S. The reason I ask about the double wall is because when we bought our home we were told they were planning on building behind us and they would be planting tall trees and put up another wall.

Mr & Mrs Robert Stokes
5112 Rancher Ave
Las Vegas NV. 89108

396-3658

Z-90-95(3) A
+ Z-36-97(1) A

RECEIVED
JUL 27 AM 9:36
CLERK

PLANNING &
DEVELOPMENT
DEPARTMENT



DEVELOPMENT
SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TDD 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.ci.las-vegas.nv.us

Mayor
Oscar Goodman

Councilmembers
Arnie Adamsen
Michael J. McDonald
Gary Reese
Larry Brown

City Manager
Virginia Valentine

Planning Commission
Michael Buckley
Craig S. Galati
Hank Gordon
Michael Mack
Marilyn Moran
Stephen Quinn
Leni Skaar

Board of Zoning Adjustment
Roberta S. Boyers
Elisa Del Prado
Byron A. Goynes
Michael Mack
Mark Solomon

July 16, 1999

Mr. Ernest A. Becker, Jr.
Becker & Sons
50 South Jones Boulevard, Suite 100
Las Vegas, Nevada 89107

RE: SITE DEVELOPMENT PLAN REVIEW - Z-90-95(3) AND Z-36-97(1)

Dear Applicant:

Please be advised that your request for the above referenced item has been rescheduled as a result of poor weather conditions from the Planning Commission's regularly scheduled meeting of July 8, 1999 to Thursday, **July 29, 1999** at 6:00 p.m. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

You should have already received a copy of staff's recommendations and any conditions related to your application. If you did not receive these documents, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Andrew P. Reed, Senior Planner
Current Planning Division

APR:sd

Enclosure



PLANNING &
DEVELOPMENT
DEPARTMENT



DEVELOPMENT
SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TDD 702-386-9108

Voice:

Administration 229-6353

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www.ci.las-vegas.nv.us

Mayor
Oscar Goodman

Councilmen
Arnie Adamsen
Michael J. McDonald
Gary Reese
Larry Brown

City Manager
Virginia Valentine

Planning Commission:

Michael Buckley
Craig S. Galati
Hank Gordon
Michael Mack
Marilyn Moran
Stephen Quinn
Leni Skaar

Board of Zoning Adjustment:

Roberta S. Boyers
Elisa Del Prado
Byron A. Goynes
Michael Mack
Mark Solomon

July 2, 1999

Mr. Ernest A. Becker, Jr.
Becker & Sons
50 South Jones Boulevard, Suite 100
Las Vegas, Nevada 89107

RE: SITE DEVELOPMENT PLAN REVIEW - Z-90-95(3) AND Z-36-97(1)

Dear Applicant:

Enclosed please find a copy of the Planning and Development Department's **DRAFT** staff's recommendations and any conditions related to your application. This item will be considered by the City Planning Commission at its regular meeting on **July 8, 1999** at 6:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

The Planning Commission requires that you or your representative be present at this meeting.

If you have questions regarding the recommendation or related conditions as indicated, please contact me at (702) 229-6301.

Sincerely,

Andrew P. Reed, Senior Planner
Current Planning Division

APR:sd

Enclosure



PLANNING &
DEVELOPMENT



Development
Services Center
731 S. Fourth Street
Las Vegas, NV 89101

TDD 702-386-9108
Voice:
Administration 229-6353
Comp Planning 229-6022
Current Planning 229-6301
www.ci.las-vegas.nv.us

June 25, 1999

Mr. Ernest A. Becker, Jr.
Becker & Sons
50 South Jones Boulevard, Suite 100
Las Vegas, Nevada 89107

RE: SITE DEVELOPMENT PLAN REVIEW - Z-90-95(3) AND Z-36-97(1)

Dear Mr. Becker:

Please be advised your request, as referred to above, will be considered by the City Planning Commission at its regular meeting on **July 8, 1999**. This meeting will be held at 6:00 P. M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations and any conditions related to your application will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Andrew P. Reed, Senior Planner
Current Planning Division

APR:sd

Enclosure

Mayor
Jan Lavery Jones

Councilmen
Arnie Adamsen
Michael J. McDonald
Gary Reese
Larry Brown

City Manager
Virginia Valentine



Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Richard D. Goecke, Director Department of Public Works
CC: Cheri Edelman, Development Coordination; Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Rita Lumos, Survey (FM, PM, & A's only)
Date: June 25, 1999
Re: **Z-90-95(3)** Becker & Sons S. of Cheyenne Ave., between Michael Way & Rancho Dr.
Site Development Plan Review for a proposed 328,121 sq. ft. professional plaza

CONDITIONS OF APPROVAL:

1. Construct half-street improvements on Michael Way adjacent to this site concurrent with the first phase of development anywhere on this site as required by the Department of Public Works. Construction of Michael Way improvements shall commence within 180 days of approval of this action by the City Council. Failure to comply with this condition shall result in this item being reconsidered by the City Council. This condition supersedes condition #10 of Z-36-97 and condition #3 of Z-90-95(1).
2. Construct all incomplete half-street improvements on Rancho Drive adjacent to this entire overall site concurrent with the first phase of development that abuts the Rancho Drive corridor as required by the Department of Public Works.
3. Construct the full width driveway on Rancho Drive concurrent with the first phase of development anywhere on this site, and construct appropriate on-site paving to provide for two-way traffic between Rancho Drive and each phase of development as required by the Department of Public Works.
4. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
6. Provide to the City Collections System Engineer a sewer relocation and abandonment plan for the existing sewer lines and easements prior to the issuance of any building permits. All sewer lines conflicting with new construction shall be removed and relocated and all existing easements shall be vacated and re-granted for the new sewer lines prior to the issuance of any building permits for any buildings or structures overlying the existing sewer easements as required by the Department of Public Works. No buildings will be permitted to encroach within existing public sewer easements.
7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site, whichever may occur first as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer. This condition supersedes condition #14 of Z-36-97 and condition #19 of Z-90-95.
8. Site development to comply with all applicable conditions of approval for Z-90-95, Z-36-97, the Insight Aircenter Rancho Commercial Subdivision (if applicable), and all other applicable site-related actions as required by the Department of Public Works.

COMMENTS:

- a. We question whether it would be more accurate to identify this item as "Z-90-95(3) and Z-36-97(1)" since Z-36-97 appears to be the active zoning case for the west half of this site.

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: JULY 8, 1999
TIME: 6:00 P.M.
LOCATION: COUNCIL CHAMBERS, CITY HALL
400 STEWART AVENUE
LAS VEGAS, NEVADA

Z-90-95(3) AND Z-36-97(1)

REQUEST BY BECKER & SONS FOR A SITE DEVELOPMENT PLAN REVIEW ON PROPERTY LOCATED BETWEEN MICHAEL WAY AND RANCHO DRIVE NORTH OF SMOKE RANCH ROAD AND SOUTH OF CHEYENNE AVENUE, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA; AND TO ALLOW A DELAY OF ON-SITE AND OFF-SITE IMPROVEMENTS WHICH WERE REQUIRED AS CONDITIONS OF APPROVAL, C-2 (GENERAL COMMERCIAL) AND R-E (RESIDENCE ESTATES) ZONES UNDER RESOLUTION OF INTENT TO C-M (COMMERCIAL/INDUSTRIAL) AND O (OFFICE), SIZE: 30.22 ACRES, WARD 4 (BROWN), APN: 138-13-504-005.

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF THE NORTH HALF (N½) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M. D. B. & M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call 229-6301 (TDD 386-9108) www.ci.las-vegas.nv.us.

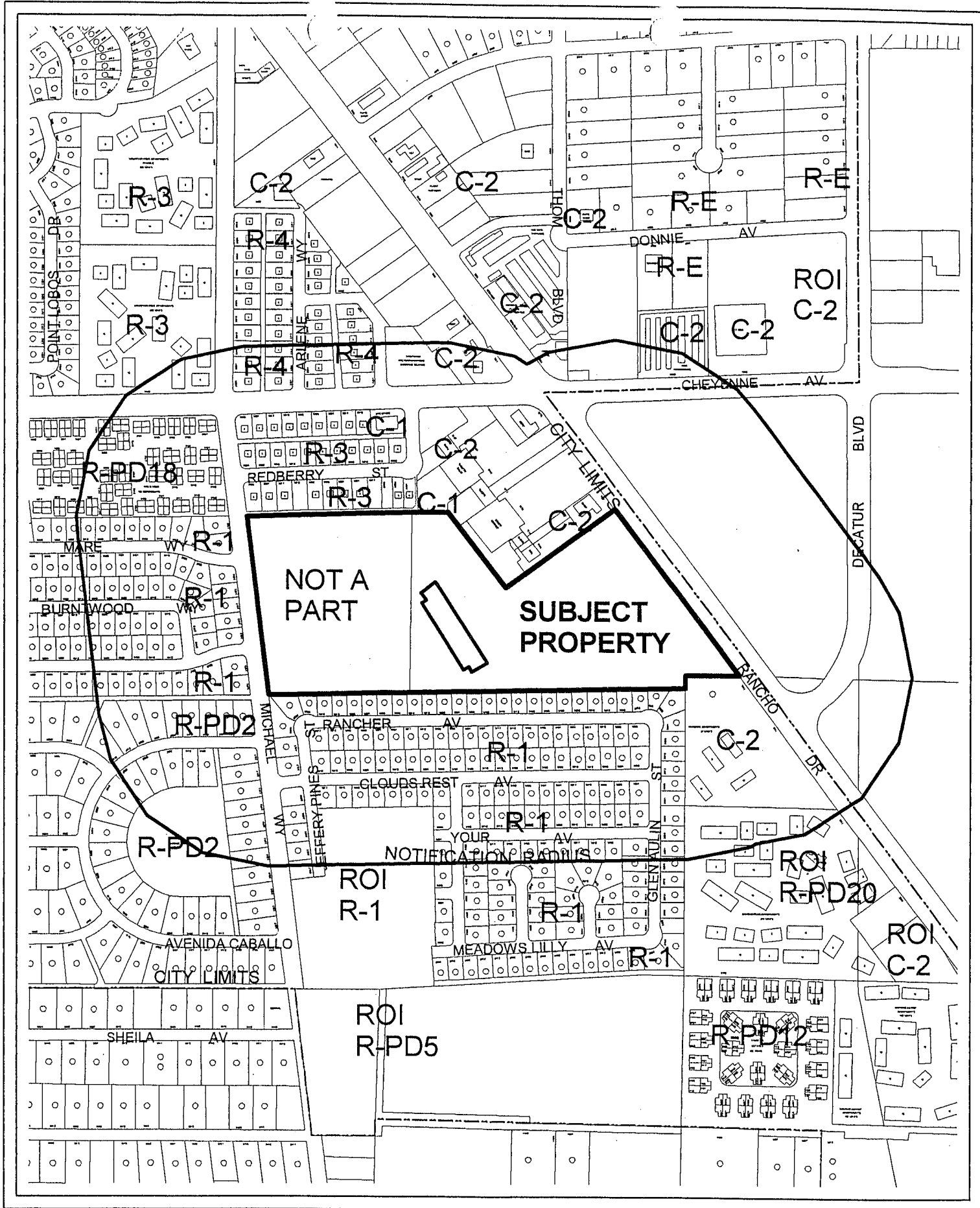
PLANNING AND DEVELOPMENT DEPARTMENT
CITY OF LAS VEGAS



A handwritten signature in black ink, reading "Andrew P. Reed". The signature is stylized with large, flowing letters.

ANDREW P. REED, SENIOR PLANNER
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: Z-90-95(3) and Z-36-97(1)
 RADIUS: 750 FT



NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: JULY 8, 1999
TIME: 6:00 P.M.
LOCATION: COUNCIL CHAMBERS, CITY HALL
400 STEWART AVENUE
LAS VEGAS, NEVADA

Z-90-95(3) and Z-36-97(1)

REQUEST BY BECKER & SONS FOR A SITE DEVELOPMENT PLAN REVIEW ON PROPERTY LOCATED BETWEEN MICHAEL WAY AND RANCHO DRIVE NORTH OF SMOKE RANCH ROAD AND SOUTH OF CHEYENNE AVENUE, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA, C-2 (GENERAL COMMERCIAL) AND R-E (RESIDENCE ESTATES) ZONES UNDER RESOLUTION OF INTENT TO C-M (COMMERCIAL/INDUSTRIAL) AND O (OFFICE), SIZE: 30.22 ACRES, WARD 4 (BROWN), APN: 138-13-504-005.

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF THE NORTH HALF (N½) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M. D. B. & M.

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[Handwritten signature]

PLANNING AND DEVELOPMENT DEPARTMENT
CITY OF LAS VEGAS

DRAFT

ANDREW P. REED, SENIOR PLANNER
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENTS

FROM: **PLANNING AND DEVELOPMENT**

2-90-95(3)

HAND DELIVERED

COMPREHENSIVE PLANNING	MARC CASTAGNOLA	DSC
COMPREHENSIVE PLANNING	STEVE VAN GORP	DSC
* DEVELOPMENT COORDINATION - DPW	GARY REID	DSC
* FLOOD CONTROL - DPW	GREG McDERMOTT	DSC
* LAND DEVELOPMENT - DPW	JUDY CALVO	DSC
PERMITS / INSPECTIONS	GEORGE GARDNER	DSC
* RIGHT-OF-WAY - DPW	CAROLYN CAVINESS	DSC
* SANITARY SEWERS - DPW	DAVE McGONEGLE	DSC
* TRAFFIC ENGINEERING - DPW	GARY PHILLIPS/MARC ESCOBEDO	DSC

SENT VIA COURIER OR INTER-OFFICE MAIL

CITY CENTRE DEVELOPMENT CORP (2)	STACEY LIED	300 S. 4 th STREET, SUITE #905
REDEVELOPMENT AGENCY	JEFF MARESH	5 TH STREET SCHOOL
* ELECTRICAL SERVICES - DPW	DONALD K. BEHUNIN	3104 BONANZA RD.
FIRE PREVENTION	JEFF DONAHUE	500 CASINO CTR.
FIRE SERVICES - COMMUNICATIONS	MELANIE DOBOSH	500 CASINO CTR.
METRO - CRIME PREVENTION	BILL TURLOCK	601 FREMONT-2 ND FL.
METRO - INTERGOVERNMENTAL SVCS	STAN OLSEN	714 SOUTH FOURTH
SID / STREET REHAB / TRAFFIC - DPW	M. THOMPSON/ B. HAMP/ E. FOLK	420 N. 4 th STREET
* SURVEY - DPW	RITA LUMOS	415 N. 7 TH STREET

SENT VIA "U. S." MAIL

CLARK COUNTY HEALTH DISTRICT
CLARK COUNTY SCHOOL DISTRICT
CLARK COUNTY ZONING
DIVISION OF WATER RESOURCES
FEDERAL HOUSING ADMINISTRATION (2 TENTATIVE MAPS)
LAS VEGAS VALLEY WATER DISTRICT
NEVADA POWER COMPANY
SOUTHWEST GAS CORPORATION
SPRINT-CENTRAL TELEPHONE - NEVADA
UNITED STATES POSTAL SERVICE

(revised 4/7/99)

* ONLY THOSE INDICATED WITH A STAR ARE TO ROUTE TO GARY REID, SR ENG. TECH
ALL OTHER DIVISIONS PLEASE ROUTE TO PLANNING AND DEVELOPMENT

**DEVELOPMENT REVIEW TEAM MEETING
JUNE 23, 1999**

8:30 AM to 12:00 PM

Planning & Development Conference Room 2B, Second Floor
Development Services Center

Z-90-95(3) - BECKER & SONS - Request for a Site Development Plan Review on property located between Michael Way and Rancho Drive north of Smoke Ranch Road and south of Cheyenne Avenue, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA, C-2 (General Commercial) and R-E (Residence Estates) under Resolution of Intent to C-M (Commercial/Industrial) and O (Office), Size: 30.22 Acres, Ward 4(Brown), APN: 138-13-504-005.

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M. D. B. & M.

PLANNING COMMISSION: JULY 8, 1999

CITY COUNCIL: AUGUST 9, 1999

CASE PLANNER: ANDY REED - 229-6882



PUBLIC HEARING

Comments Due: **JUNE 23, 1999**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet, at the DRT meeting or e-mail to SHELLEY DINICOLA, the agenda tech responsible for this case.

COMMENTS: _____

DEVELOPMENT REVIEW TEAM MEETING

JUNE 23, 1999

8:30 AM to 12:00 PM

L-13-2

Planning & Development Conference Room 2B, Second Floor
Development Services Center

Z-90-95(3) - BECKER & SONS - Request for a Site Development Plan Review on property located between Michael Way and Rancho ~~Drive~~ Road north of Smoke Ranch Road and south of Cheyenne Avenue, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA, ~~C-M (Commercial/Industrial) Zone, Size: 30.22 Acres, Ward 4 (Brown), APN: 138-13-504-005.~~
~~And Office Zone~~

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M. D. B. & M.

PLANNING COMMISSION: JULY 8, 1999

CITY COUNCIL: AUGUST 9, 1999

CASE PLANNER: ANDY REED - 229-6882



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Comments Due: **JUNE 23, 1999**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet, at the DRT meeting or e-mail to SHELLEY DINICOLA, the agenda tech responsible for this case.

COMMENTS:

DRAFT

JVM
A Reed

C-2 (General Commercial) and
R-E (Residence Estates)
Under ROI to
C-M (Commercial/Industrial)
and O (Office)

Parcel No. 138 13 504 005
Geographic: PT N2 NE4 13 20 60
Document: 11431102102 01
Recorded: 11/5/79

Situs Address:
Tax ID: 200
Entity Name:
Last Update: 3/3/99

Owner Description:
 BECKER & SONS
 50 S JONES BLVD #100
 LAS VEGAS NV 89107-2673

Legal Description:
 PT N2 NE4 SEC 13 20 60

- GIS Map
- County Map
- New Case
- Print Screen
- Help
- Close

Zoning and Case Files | In Progress Address | County Land Use | Parcel Comments

Current Zoning

Zoning	Case Num	La
▶ C-2		
R-E		

RDI

RDI	Case Num
▶ C-M	Z-36-97
O	Z-36-97

Cases History

Case	Meeting Date	Cz
▶ TM-37-98	7/23/98	
FM-32-98	11/5/98	
Z-90-95(2)	12/17/98	
Z-90-95 (3)	7/8/99	

Map: L-13-2

Set Backs:

Front 00
Rear 00
Side
Corner 00

Case Keywords :

Accepted : 5/27/99

Public Hearing : Y

Meeting Date : 7/8/99

Meeting Type : P

200 Scale Map :

Size : 30.22

Lots :

Request : Z-90-95(3) - BECKER & SONS - Request for a Site Development Plan Review on property located between Michael Way and Rancho Road north of Smoke Ranch and south of Cheyenne, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA, C-M (Commercial/Industrial) Zone, Size: 30.22 Acres, Ward 4(Brown), APN: 138-13-504-005.

Location : between michael way and rancho north of smoke ranch south of cheyenne

Proposed :

Notice :

Comments :

Parcel : 138 13 504 005 PT N2 NE4 13 20 60 BECKER & SONS

Owner/Applicant/Contacts

REPRESENTED BY BECKER & SONS 50 S JONES BLVD #100 LAS VEGAS NV 89107 Ernest A. Becker, Jr.; 878-1903

OWNER BECKER & SONS 50 S JONES BLVD #100 LAS VEGAS NV 89107 Ernest A. Becker, Jr.; 878-1903

APPLICANT BECKER & SONS 50 S JONES BLVD #100 LAS VEGAS NV 89107 Ernest A. Becker, Jr.; 878-1903

Actions/Conditions :



PLANNING AND DEVELOPMENT DEPARTMENT

APPLICATION/PETITION FORM

Date: _____

APPLICATION/PETITION FOR: SDPR

(Type of Action Requested)

Project Address (Location): Between Michael Way and Rancho Road North of Smoke Ranch
South of CheyenneProposed Use: C-M Assessor's Parcel No(s): 138-13-504-005Project Name: RANCHO CHEYENNE PROFESSIONAL PLAZAExisting General Plan Designation: C-M U/R Proposed General Plan Designation: C-MExisting Zoning: C-M Proposed Zoning: C-M Ward No.: 4Commercial Sq. Ft.: 328,121 square feet Floor Area Ratio: _____Gross Acres: 30.22 Lots/Units: _____ Density: _____

Additional Information: _____

APPLICANT INFORMATION:

Property Owner(s): Becker & SonsContact: Ernest A. Becker, Jr.Address: 50 S. Jones Boulevard, Suite 100Tel: 878-1903 Fax: 878-1057City: Las Vegas,State: NV Zip: 89107Applicant: BECKER & SONSContact: Ernest A. Becker, Jr.Address: 50 S. Jones Boulevard, Suite 100Tel: 878-1903 Fax: 878-1057City: Las Vegas,State: NV Zip: 89107Represented By: Ernest A. Becker, Jr.Contact: Ernest A. Becker, Jr.Address: 50 S. Jones Boulevard, Suite 100Tel: 878-1903 Fax: 878-1057City: Las Vegas,State: NV Zip: 89107SIGNATURE OF PROPERTY OWNER(S) OR AUTHORIZED AGENT
(SIGN AND PRINT OR TYPE NAME) BECKER & SONS

PROPERTY OWNER(S): _____

Print First & Last Name: Ernest A. Becker, Jr. - AgentSubscribed and sworn before me this 11th day of May 19 99

FOR DEPARTMENT USE ONLY

Case No.: Z-90-95(3)Meeting Date: 7/8/99

No. Signs Required: _____ No. Provided: _____

Map No.: L-13-2Total Fee(s): 400.00Receipt No.: 34979Date Accepted: 5/27/99Accepted By: [Signature]ANNE W. MONGER
Notary Public - Nevada
My appt. exp. Mar. 7, 2001
No. 97-0201-1



May 14, 1999

City of Las Vegas
Department of Planning & Zoning
400 East Stewart Avenue
Las Vegas, Nevada 89101

RE: Z-46-97 / Z-90-95 / Z-90-95(2)
(West of Rancho, South of Cheyenne)

Dear Sirs:

This application is being submitted to change and clarify the above zoning and plot plan review applications and combine them into one application for the entire 30-acre parcel.

We have had three meetings with staff as the original approved plan was found to be too costly to construct. Coming to an agreement with the staff, we have plotted out the entire 30 acres and have divided construction into phases as the infrastructure has not yet been constructed for the Ranch Detention Basin and there is still a great amount of water flow by and on this site. Part of the property is going to be used as it is today to absorb the flooding during storms until the above is completed.

We have laid everything out in phases and labeled which improvements are to be installed and completed with each phase of development.

We would appreciate the staff, planning commission and City council, approving the project as set forth as it will make it much easier for the property to be developed.

Thank you for your cooperation. If you have any questions, please do not hesitate to call.

Yours truly,

BECKER & SONS

Ernest A. Becker, Jr.
Agent

AMC P.T.T. 1,106.60

651822

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That TED MOSSMAN AND SAHLA MOSSMAN, husband and wife

in consideration of \$ 10.00 the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to BECKER AND SONS, A NEVADA PARTNERSHIP

all that real property situate in the _____ County of CLARK
State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF BY THIS SPECIFIC REFERENCE FOR
LEGAL DESCRIPTION.



Real Property
Transfer Tax
206.60



Real Property
Transfer Tax
900.00

SUBJECT TO: 1. Taxes for the fiscal year 1976-77.
2. Rights of way, reservations, restrictions, easements and conditions
of record.

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Witness OUR hands this 27th day of December 1976.

TED MOSSMAN *Ted Mossman*

SAHLA MOSSMAN

Sahla Mossman

STATE OF NEVADA
County of CLARK

On this 28th day of December 1976

personally appeared before me, a Notary Public in and for said

County and State, Ted Mossman and

Sahla Mossman

ESCROW NO. T-62643

WHEN RECORDED MAIL TO: Ernest A. Becker,
6115 Clarice Street, Las Vegas, Nevada 89107

I have to all to be the person or persons described in and who executed
the foregoing instrument, who acknowledged to me that they
executed the same freely and voluntarily and for the uses and
purposes therein expressed.

Anne W. Anderson

ANNE W. ANDERSON
Notary Public, State of Nevada
COUNTY OF CLARK
My Commission Expires August 2, 1977

E-14

PLANNING AND DEVELOPMENT DEPARTMENT

SUBMITTAL CHECKLIST

APPLICATION:

- ☒ APPLICATION IS COMPLETELY FILLED OUT, SIGNED AND NOTARIZED BY THE PROPERTY OWNER(S) OR AUTHORIZED AGENT (WHEN APPLICABLE).
- ☒ GRANT DEED WHICH MATCHES THE OWNER'S NAME ON THE APPLICATION AND LEGAL DESCRIPTION (LEGAL DESCRIPTION ON DISK FOR REZONINGS AND GENERAL PLAN AMENDMENTS).
- ☒ CORRECT FEES \$ 4000⁰⁰ PUBLIC HEARING REQUIRED.
- ☒ JUSTIFICATION LETTER DESCRIBING THE REQUEST AND WHY THE REQUEST SHOULD BE GRANTED.
- ☒ TRAFFIC IMPACT ANALYSIS (NORTHWEST AREA) T.I.A. (IF APPLICABLE) \$
- ☒ 8 1/2 x 11 REDUCED COPY (ONE FOR EACH PLAN SUBMITTED).
- ☒ COLORED, ROLLED PLANS (ONE SITE PLAN, ELEVATION, AND LANDSCAPE PLAN)
- ☐ EXPLANATION AND DISTRIBUTION OF SIGN POSTING FORM AND RESPONSIBILITIES.
NOT REQUIRED.

SITE PLAN:

- | | |
|--|---|
| ☒ PROPERTY LINES CALLED OUT | ☒ PARKING SPACES |
| ☒ PLAN SIZE (11x17 TO 24x36) | ☒ INGRESS / EGRESS |
| ☒ DIMENSIONS (ACTUAL) | ☒ ADJACENT LAND USES /STREETS |
| ☒ STREET NAME(S) | ☒ LANDSCAPE AREAS |
| ☒ INDICATE SATISFACTION OF ADA / ANSI ACCESSIBILITY REQUIREMENTS (IF APPLICABLE) | |

PLAN LEGEND :

- | | |
|--|---|
| ☒ NORTH ARROW | ☒ BUILDING SIZE / SQ. FT. |
| ☒ PARKING ANALYSIS | ☒ PROPERTY SIZE / SQ. FT. |
| ☒ VICINITY MAP | ☒ FLOOR / AREA RATIO |
| ☒ SCALE | ☒ DENSITY |

BUILDING ELEVATIONS (Of all sides of all buildings on site):

- ☒ ALL BUILDING MATERIALS AND COLORS ARE CALLED OUT
- ☒ DIMENSIONS / SCALE
- ☒ DIRECTION OF ELEVATION

PHOTOGRAPHS MAY BE SUBMITTED FOR EXISTING PROJECTS ONLY WHEN NO OUTSIDE CHANGES ARE PROPOSED

LANDSCAPE PLANS:

PROVIDED FOR
PHASE ONE

PLAN LEGEND:

- | | |
|--|---|
| ☒ TYPE AND SIZE OF GROUND COVER CALLED OUT <u>SUFFICIENT</u> | ☒ REFLECTS SPECIFIC PLANT MATERIAL / SIZE |
| ☒ LANDSCAPE / PARKING FINGER DIMENSIONS & PLANT MATERIAL | ☒ NORTH ARROW |
| | ☒ SCALE |

PHOTOGRAPHS MAY BE SUBMITTED FOR EXISTING PROJECTS ONLY WHEN NO OUTSIDE CHANGES ARE PROPOSED

FLOOR PLANS:

- | | | | |
|--|---|---|--|
| ☒ DIMENSIONS | ☒ NORTH ARROW | ☒ ENTRANCES / EXITS | ☒ USE OF ROOMS |
| ☒ SEATING CAPACITY (WHEN APPLICABLE) | | ☒ MAXIMUM OCCUPANCY (PER UNIFORM FIRE CODE) | |

SPECIAL REVIEW AREA APPROVAL LETTER: ☐

NOT REQUIRED

REVIEWED BY: [Signature]

DATE: 5/27/99.

PLANNING AND DEVELOPMENT DEPARTMENT

PRE - APPLICATION CONFERENCE CHECKLIST

PAGE 1 of 2

On 5/27/99 a pre-application conference was held with ERNE BECKER JR
regarding property located at CHEYENNE RANCHO. It was determined that the following application(s)
will be required: PUBLIC HEARING.

Application: SITE DEVELOPMENT
REVIEW

Use: OFFICE/RETAIL COMPLEX

Application: _____

Use: _____

Application: _____

Use: _____

The following items were discussed with the applicant and / or his agent:

Filing deadline: 6/8/99 2PM

Possible meeting date: 7/8/99 PC

Traffic Impact Analysis (NW Area only) Required

Not Required

Already on File _____

Current Zoning: COMM C-M/O

Do the Residential Adjacency Standards apply? Yes No

Adjacent Uses: N: COMM

S: COMM

E: COMM

W: RES.

Is this property located within a special notification area? Yes _____ No X

If yes, identify area:

- ☐ CCDC
- ☐ Historic Preservation **
- ☐ Town Center
- ☐ Peccole Ranch HOA *
- ☐ West Las Vegas Plan **
- ☐ West Sahara HOA
- ☐ Other _____

Is this property located within a Master Planned District? Yes _____ No X

If yes, identify area:

- ☐ Rio Vista Plaza
- ☐ Lone Mountain
- ☐ Union Pacific
- ☐ Las Vegas Medical District *
- ☐ Las Vegas Redevelopment Area
- ☐ Downtown Master Plan
- ☐ Summerlin **
- ☐ Las Vegas Technology Center **
- ☐ Other _____

* Special Review Area Approval letter required prior to request being heard by the Planning Commission.

** Special Review Area Approval letter required to be submitted at time of application submittal.

T-62643

EXHIBIT "A"

Being a portion of the North Half (N $\frac{1}{2}$) of the Northeast Quarter (NE $\frac{1}{4}$) of Section 13, Township 20 South, Range 60 East, M. D. B. & M., Clark County, State of Nevada, described as follows:

PARCEL I:

BEGINNING at the Southwest Corner of the Northwest Quarter (NW $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of said Section 13;
 Thence South 89°35'00" West, along the South line of the Northeast Quarter (NE $\frac{1}{4}$) of the Northwest Quarter (NW $\frac{1}{4}$) of said Section 13, a distance of 35.17 feet;
 Thence departing said South line North 06°42'43" West, 200.98 feet;
 Thence North 89°35'00" East, 35.17 feet to a point on the Westerly line of the Northwest Quarter (NW $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of said Section 13;
 Thence North 06°42'43" West, along said Westerly line, 200.98 feet;
 Thence departing said line North 88°56'48" East, 1154.92 feet;
 Thence South 36°24'48" East, 490.68 feet to a point on the Southerly line of the Northeast Quarter (NE $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of said Section 13;
 Thence South 88°56'48" West, along said Southerly line, 100.83 feet to the Southeast Corner of the Northwest Quarter (NW $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of said Section 13;
 Thence continuing South 88°56'48" West, along the Southerly line thereof 1298.65 feet to the Southwest Corner thereof, being the TRUE POINT OF BEGINNING.

PARCEL II:

COMMENCING at the Northwest Corner of the Northeast Quarter (NE $\frac{1}{4}$) of said Section 13;
 Thence North 87°47'36" East, along the North line thereof, 603.85 feet to the TRUE POINT OF BEGINNING;
 Thence continuing North 87°47'36" East, 107.63 feet to a point of the Westerly right-of-way line of U. S. HIGHWAY NO. 95;
 Thence South 36°26'48" East, along said Right-of-Way line, 1548.35 feet;
 Thence departing said Right-of-Way line, North 88°36'58" West, 234.85 feet;
 Thence South 00°26'31" West, 61.60 feet, to a point on the South line of the North Half (N $\frac{1}{2}$) of the Northeast Quarter (NE $\frac{1}{4}$) of said Section 13;
 Thence South 88°56'48" West, along said South line 444.71 feet;
 Thence departing said line North 36°24'48" West, 970.33 feet;
 Thence South 88°56'48" West, 280.78 feet;
 Thence North 06°42'43" West, 461.50 feet;
 Thence North 36°26'48" West, 60.48 feet to the TRUE POINT OF BEGINNING.

PARCEL III:

COMMENCING at the Southwest Corner of the Northwest Quarter (NW $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of said Section 13;
 Thence North 06°42'43" West, along the Westerly line thereof, 401.96 feet to the TRUE POINT OF BEGINNING;
 Thence continuing North 06°42'43" West, 392.92 feet;
 Thence North 88°56'48" East, 915.86 feet;
 Thence South 36°26'48" East, 479.65 feet;
 Thence South 88°56'48" West, 1154.92 feet to the TRUE POINT OF BEGINNING.

PARCEL IV:

BEGINNING at the Northwest Corner of the Northwest Quarter (NW $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of said Section 13;
 Thence North 87°47'36" East, along the North line thereof, 603.85 feet;
 Thence departing said North line, South 36°26'48" East, 60.48 feet;
 Thence South 06°42'43" East, 461.50 feet;
 Thence South 88°56'48" West, 635.08 feet to a point on the West line of the Northwest Quarter (NW $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of said Section 13;
 Thence North 06°42'43" West, along said West line 498.83 feet to the TRUE POINT OF BEGINNING.

EXHIBIT "A" CONTD.PARCEL V:

The Northeast Quarter (NE $\frac{1}{4}$) of the Northwest Quarter (NW $\frac{1}{4}$) of Section 13,
Township 20 South, Range 60 East, M. D. B. & M., Clark County, State of Nevada.

EXCEPTING THEREFROM the South 200.00 feet of the East 35.00 feet thereof.

S. Am.
J. M.

651822
INST. NO. 692
OFFICIAL RECORD BOOK NO.
RECORDED AT REQUEST OF
LAWYERS TITLE OF LAS VEGAS, INC.
DEC 29 4 07 PM '76
CLARK COUNTY NEVADA
JOAN L. WINT RECORDER
FEE 5.00
DEPUTY *ant*

BOOK 697

656406

GRANT, BARGAIN, SALE DEED

THIS INSTRUMENT, WITNESSETH, That

FREMONT WEST SHOPPING CENTER, A Nevada Partnership

in consideration of \$ 10.00

the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to

BECKER & SONS, A Nevada Partnership

all that real property situate in the City of Las Vegas

County of Clark

State of Nevada, bounded and described as follows:

SEE ATTACHED EXHIBIT "A"

DIA-050-024

SUBJECT TO: 1. Taxes for the fiscal year 1976-1977.
2. Rights of way, reservations, restrictions, easements and conditions of record

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Witness his hand and seal this 12th day of January, 1977, at Las Vegas, Nevada.

FREMONT WEST SHOPPING CENTER

Ernest A. Becker, Jr., Agent

STATE OF NEVADA

County of CLARK

On this 12th day of January, 1977

personally appeared before me, a Notary Public in and for said

County and State,

Ernest A. Becker, Jr.

My Commission Expires March 7, 1977

I, the undersigned, do hereby certify that the foregoing instrument, who acknowledged to me that he executed the same freely and voluntarily and for the purposes therein mentioned.

Notary Public in and for said County and State.

ANNE W. ANDERSON

Notary Public—State of Nevada

COUNTY OF CLARK

My Commission Expires March 7, 1977

ESCROW NO: 165127

WHEN RECORDED MAIL TO: BECKER & SONS

6115 Clarice Avenue, Las Vegas, NV 89107

E-14

BOOK 697

656406

EXHIBIT "A"

Being a portion of the North Half (N 1/2) of the Northeast Quarter (NE 1/4) of Section 13, Township 20 South, Range 60 East, M.D.B. & M., Clark County, State of Nevada, described as follows:

Beginning at the Southwest Corner of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of said Section 13;
Thence South 89°35'00" West, along the South line of the Northeast Quarter (NE 1/4) of the Northwest Quarter (NW 1/4) of said Section 13, a distance of 35.17 feet;
Thence departing said South line North 06°42'43" West, 200.98 feet;
Thence North 89°35'00" East, 35.17 feet to a point on the Westerly line of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of said Section 13;
Thence North 06°42'43" West, along said Westerly line, 200.98 feet;
Thence departing said line North 88°56'48" East, 1154.92 feet;
Thence South 36°24'48" East, 490.68 feet to a point on the Southerly line of the Northeast Quarter (NE 1/4) of the Northeast Quarter (NE 1/4) of said Section 13;
Thence South 88°56'48" West, along said Southerly line, 100.83 feet to the Southeast Corner of the Northwest Quarter (NW 1/4) of the Northeast Quarter (NE 1/4) of said Section 13;
Thence continuing South 88°56'48" West, along the Southerly line thereof 1298.65 feet to the Southwest Corner thereof, being the TRUE POINT OF BEGINNING.

656406
INST. NO. 697
OFFICIAL RECORD BOOK NO.
RECORDED AT REQUEST OF

LAWYERS TITLE OF LAS VEGAS, INC.

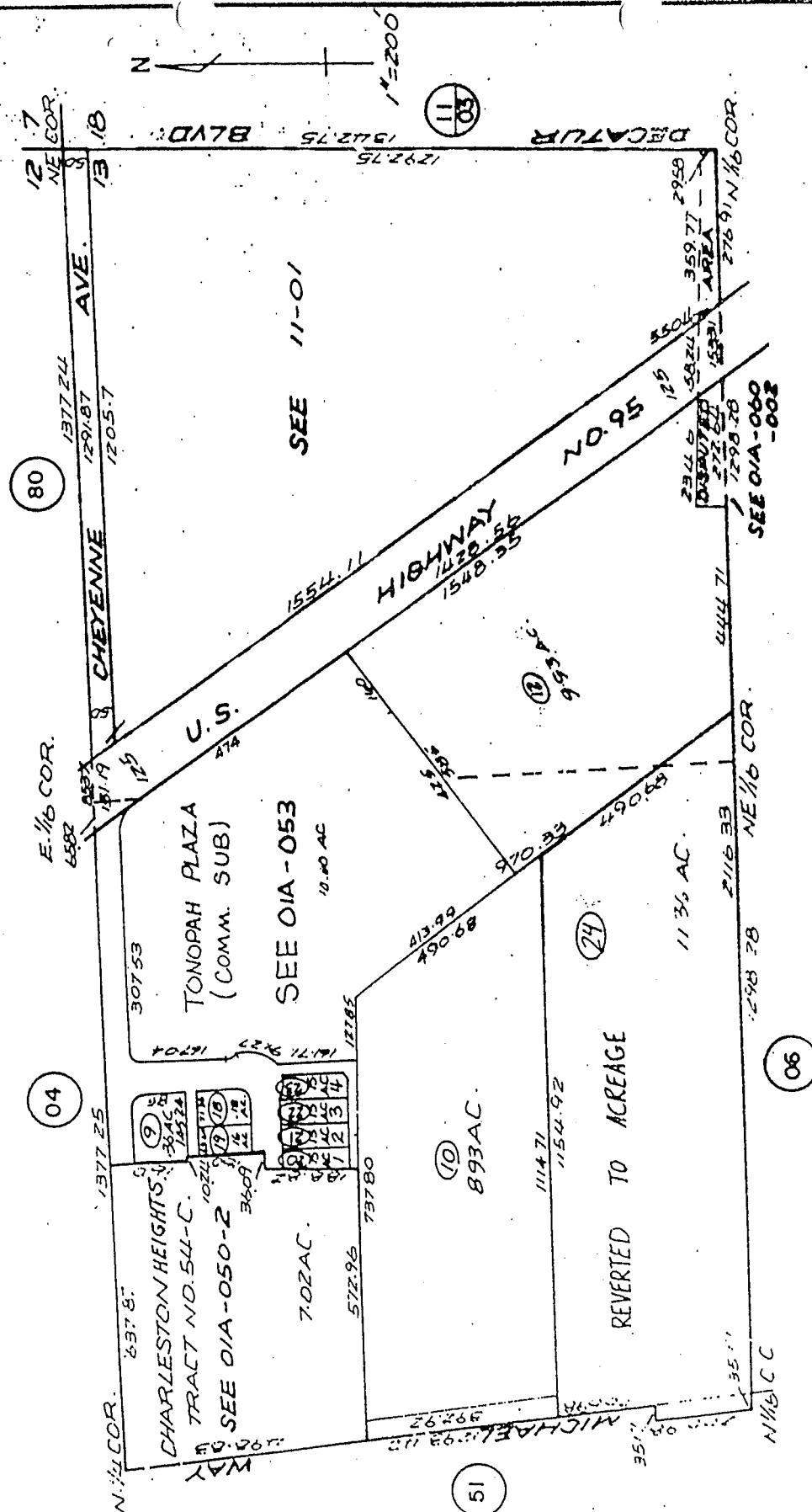
JAN 13 3:51 PM '77

CLARK COUNTY NEVADA
JOAN L. SWIFT RECORDER

FEE 2.00 DEPUTY

PT. N2 NE4 SEC.13 T-20S R-60E

IA-05



LVC CODE-200

BOOK 1143

Alfred R. P. T. S.

1102102

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That BECKER AND SONS, A PARTNERSHIP

in consideration of \$ 10.00 the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to BECKER AND SONS, A PARTNERSHIP

all that real property situate in the _____ County of CLARK
State of Nevada, bounded and described as follows:

That portion of the Northeast-Quarter (NE 1/4) of Section 13, Township 20 South, Range 60 East, M. D. B. & M., more particularly described as PARCEL I shown by PARCEL MAP in File 28, page 82, recorded on November 2, 1979, as Document No. 1101847, Book 1142, of Official Records, Clark County, Nevada.

RESERVING THEREFROM TO BECKER AND SONS, A PARTNERSHIP, all the mineral, oil and gas rights on the property hereinabove described, they forming no part of this conveyance. Further, with no right of entry on the above described premises insofar as mineral, oil and gas rights are concerned.

OIA-050-10
-12

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness its hand this 16th day of October 19 79.

BECKER AND SONS, A PARTNERSHIP

BY ERNEST A. BECKER, Agent

STATE OF Nevada
County of Clark

On this 1st day of November 19 79.

personally appeared before me, a Notary Public in and for said County, and State, Ernest A. Becker, Jr. agent for said partnership

known to me to be the person described in and who executed the foregoing instrument, who acknowledged to me that he executed the same freely and voluntarily, and for the uses and purposes therein mentioned.

Alice Hoffman
Notary Public in and for said County and State

Notary Public - State of Nevada
CLARK COUNTY
Alice Hoffman
My Commission Expires Mar. 20, 1982

ESCROW NO. 82144-AH

WHEN RECORDED MAIL TO: Becker and Sons,
50 S. Jones - #100, Las Vegas, NV. 89107

CLARK COUNTY NEVADA
JOAN L. SWIFT, RECORDER
RECORDED AT REQUEST OF
LAWYERS TITLE OF LAS VEGAS, INC.
Nov 5 9 38 AM '79
300
REC'D DEPUTY
OFFICIAL RECORDS
BOOK INSTRUMENT
1148

1102102

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: SPECIAL PLANNING COMMISSION
DATE: JULY 29, 1999
TIME: 6:00 P.M.
LOCATION: COUNCIL CHAMBERS, CITY HALL
400 STEWART AVENUE
LAS VEGAS, NEVADA

Z-90-95(3) AND Z-36-97(1)

REQUEST BY BECKER & SONS FOR A SITE DEVELOPMENT PLAN REVIEW ON PROPERTY LOCATED BETWEEN MICHAEL WAY AND RANCHO DRIVE NORTH OF SMOKE RANCH ROAD AND SOUTH OF CHEYENNE AVENUE, FOR A PROPOSED 328,121 SQUARE FOOT PROFESSIONAL PLAZA; AND TO ALLOW A DELAY OF ON-SITE AND OFF-SITE IMPROVEMENTS WHICH WERE REQUIRED AS CONDITIONS OF APPROVAL, C-2 (GENERAL COMMERCIAL) AND R-E (RESIDENCE ESTATES) ZONES UNDER RESOLUTION OF INTENT TO C-M (COMMERCIAL/INDUSTRIAL) AND O (OFFICE), SIZE: 30.22 ACRES, WARD 4 (BROWN), APN: 138-13-504-005.

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M. D. B. & M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call 229-6301 (TDD 386-9108) www.ci.las-vegas.nv.us.

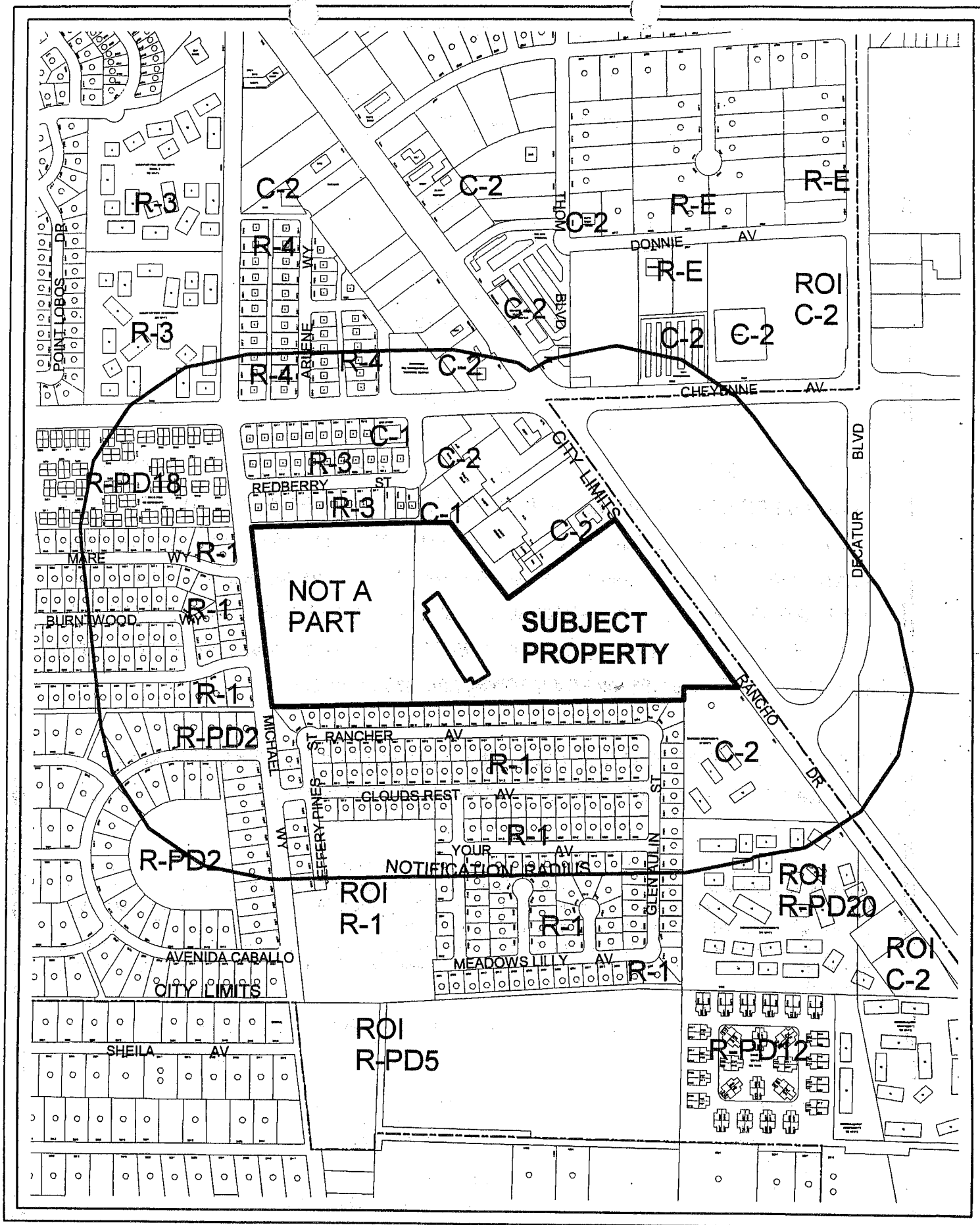


SEE LOCATION MAP ON REVERSE SIDE

PLANNING AND DEVELOPMENT DEPARTMENT
CITY OF LAS VEGAS

A handwritten signature in black ink, reading "Andrew P. Reed".

ANDREW P. REED, SENIOR PLANNER
CURRENT PLANNING DIVISION



CASE: Z-90-95(3) and Z-36-97(1)
RADIUS: 750 FT



NOTICE OF PUBLIC HEARING

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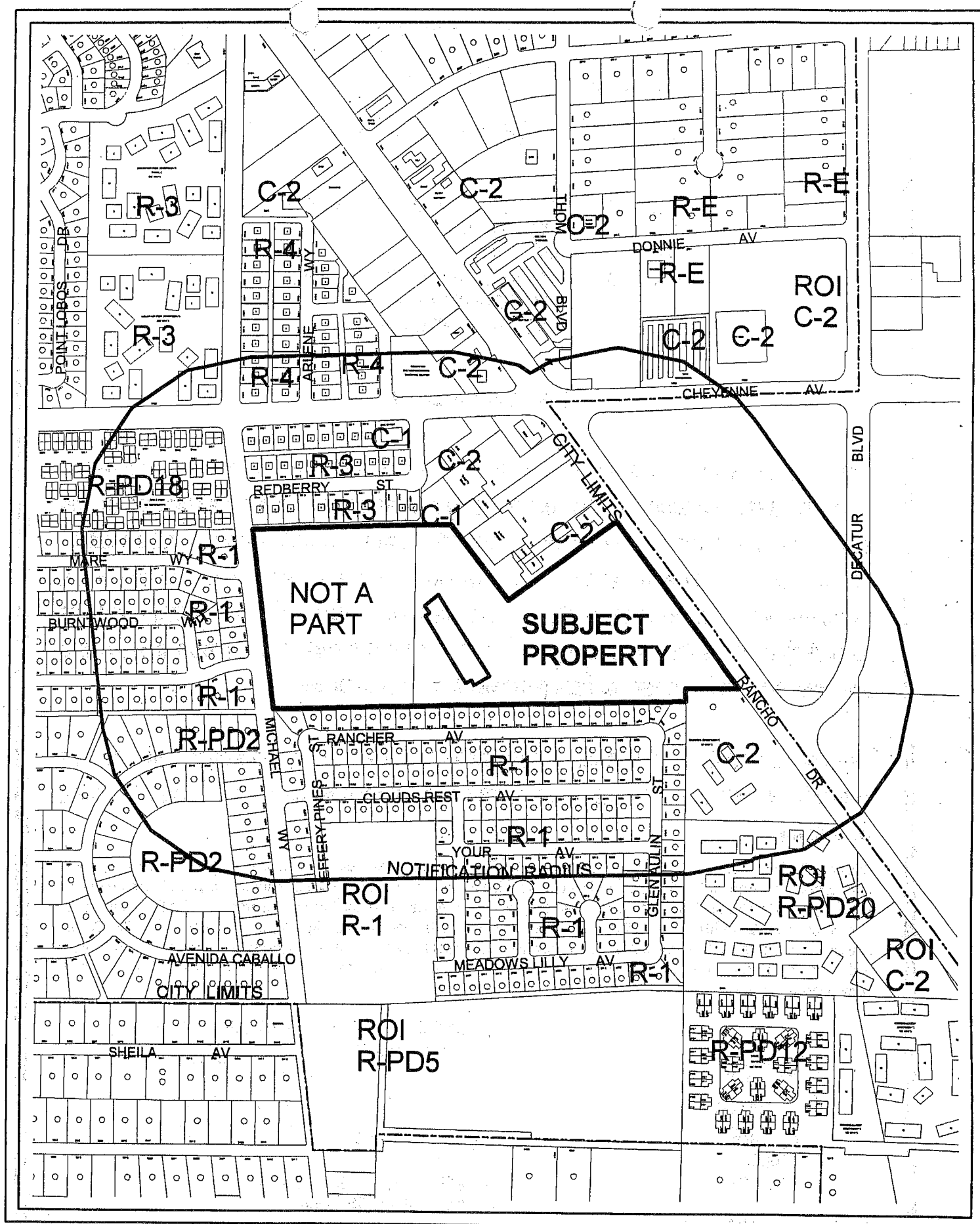


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PLANNING AND DEVELOPMENT DEPARTMENT
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CASE: Z-90-95(3) and Z-36-97(1)
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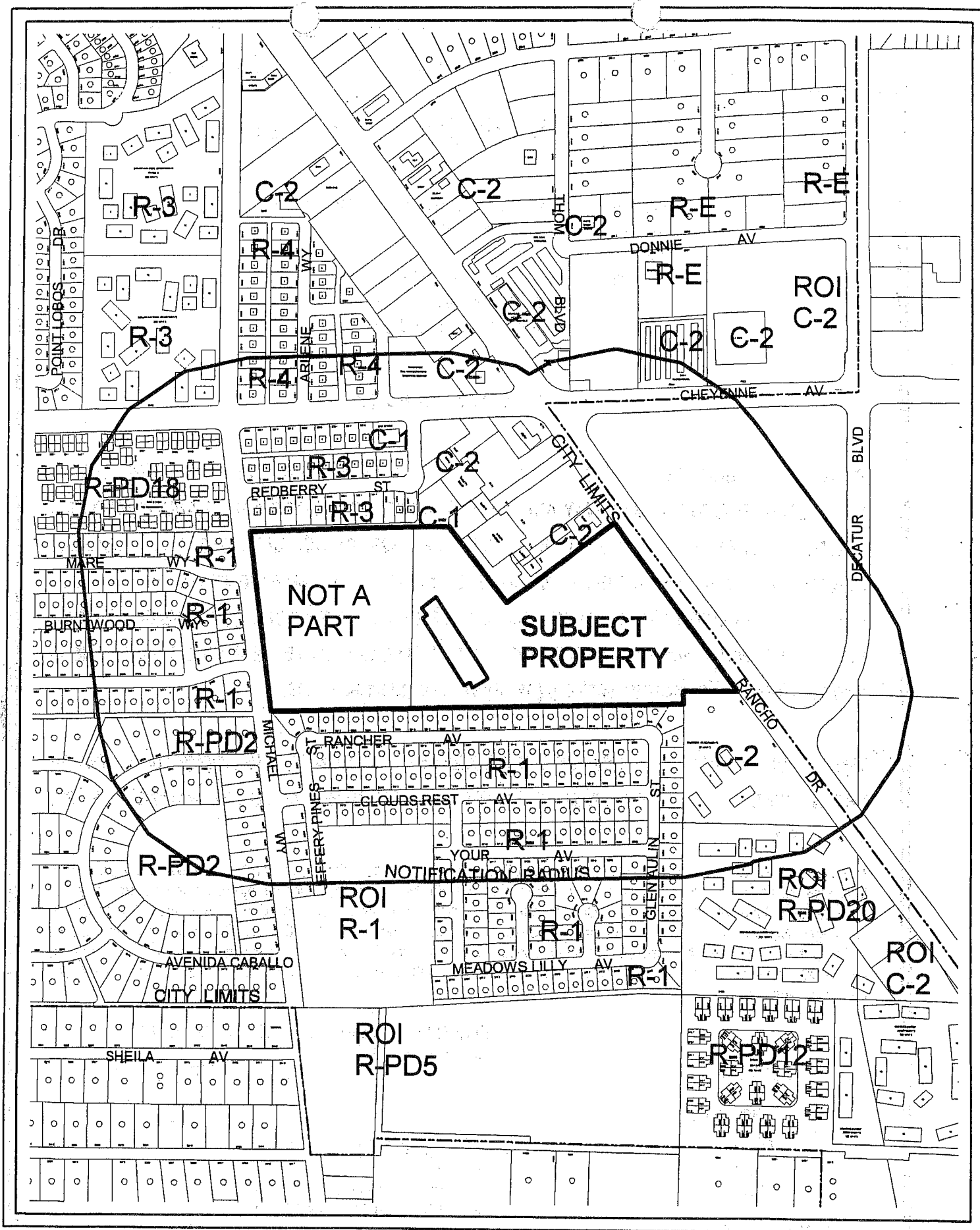


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CASE: Z-90-95(3) and Z-36-97(1)
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Z-90-95(3) AND Z-36-97(1)

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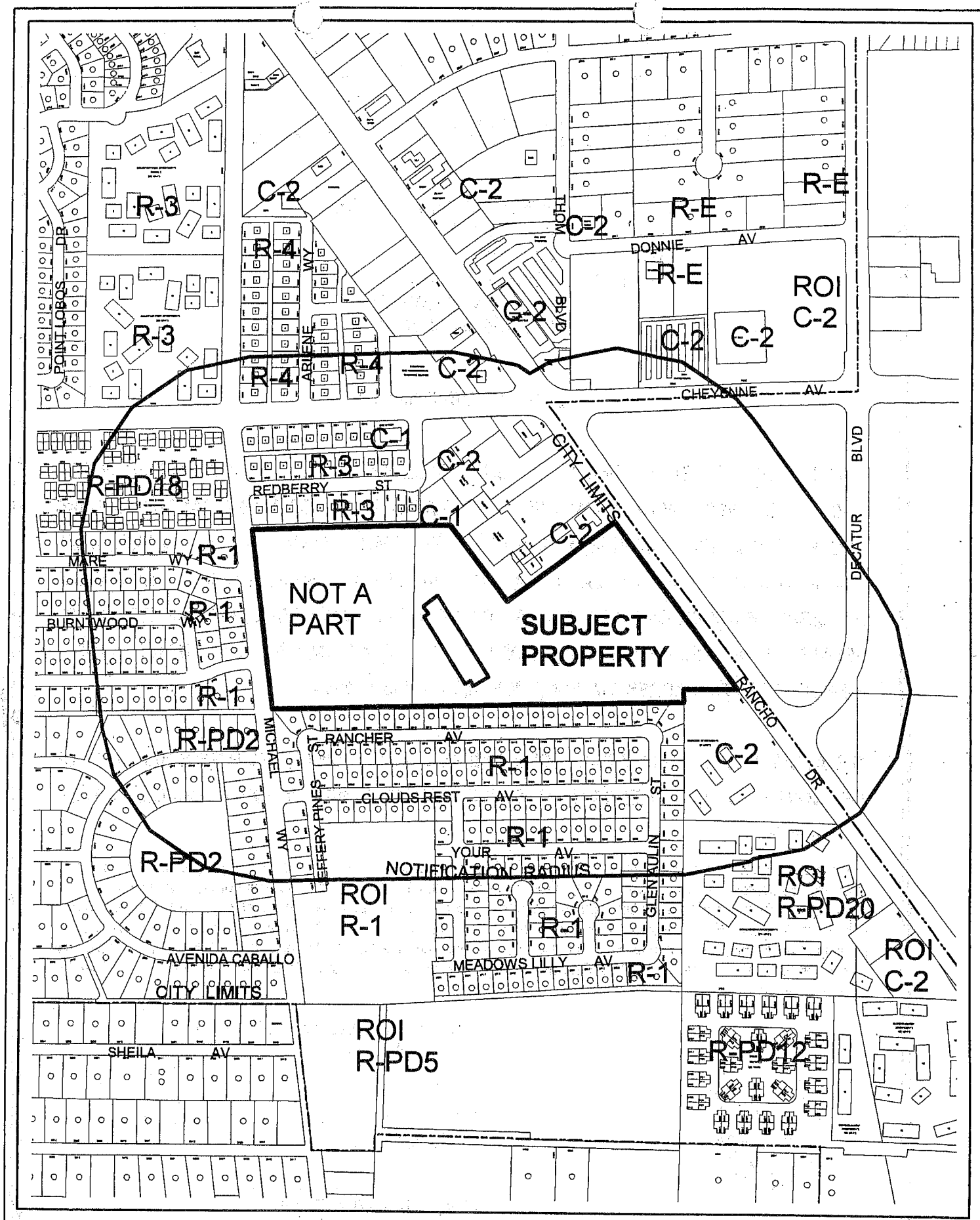


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CITY OF LAS VEGAS

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CASE: Z-90-95(3) and Z-36-97(1)
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MEETING: SPECIAL PLANNING COMMISSION
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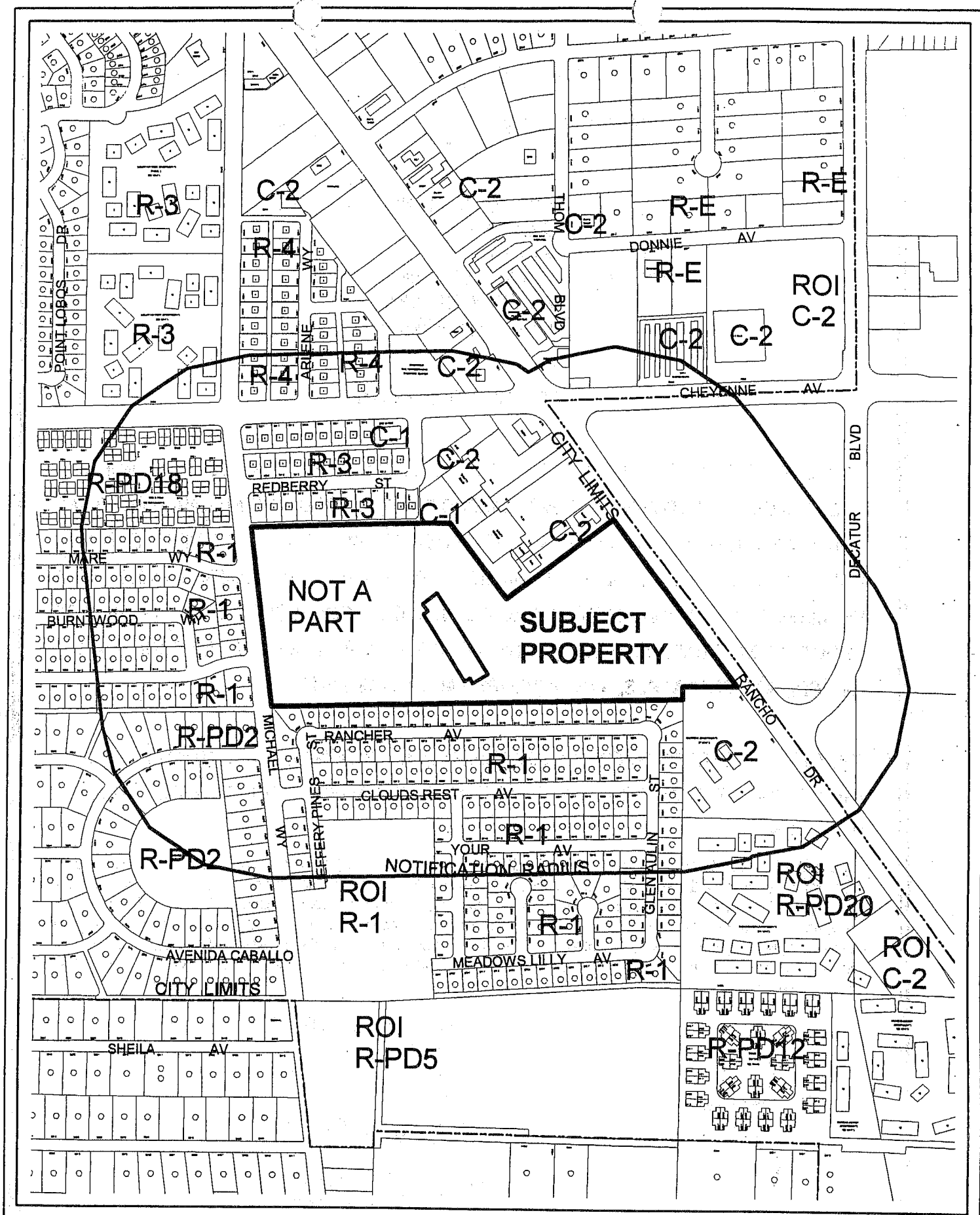


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PLANNING AND DEVELOPMENT DEPARTMENT
CITY OF LAS VEGAS

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CURRENT PLANNING DIVISION



CASE: Z-90-95(3) and Z-36-97(1)
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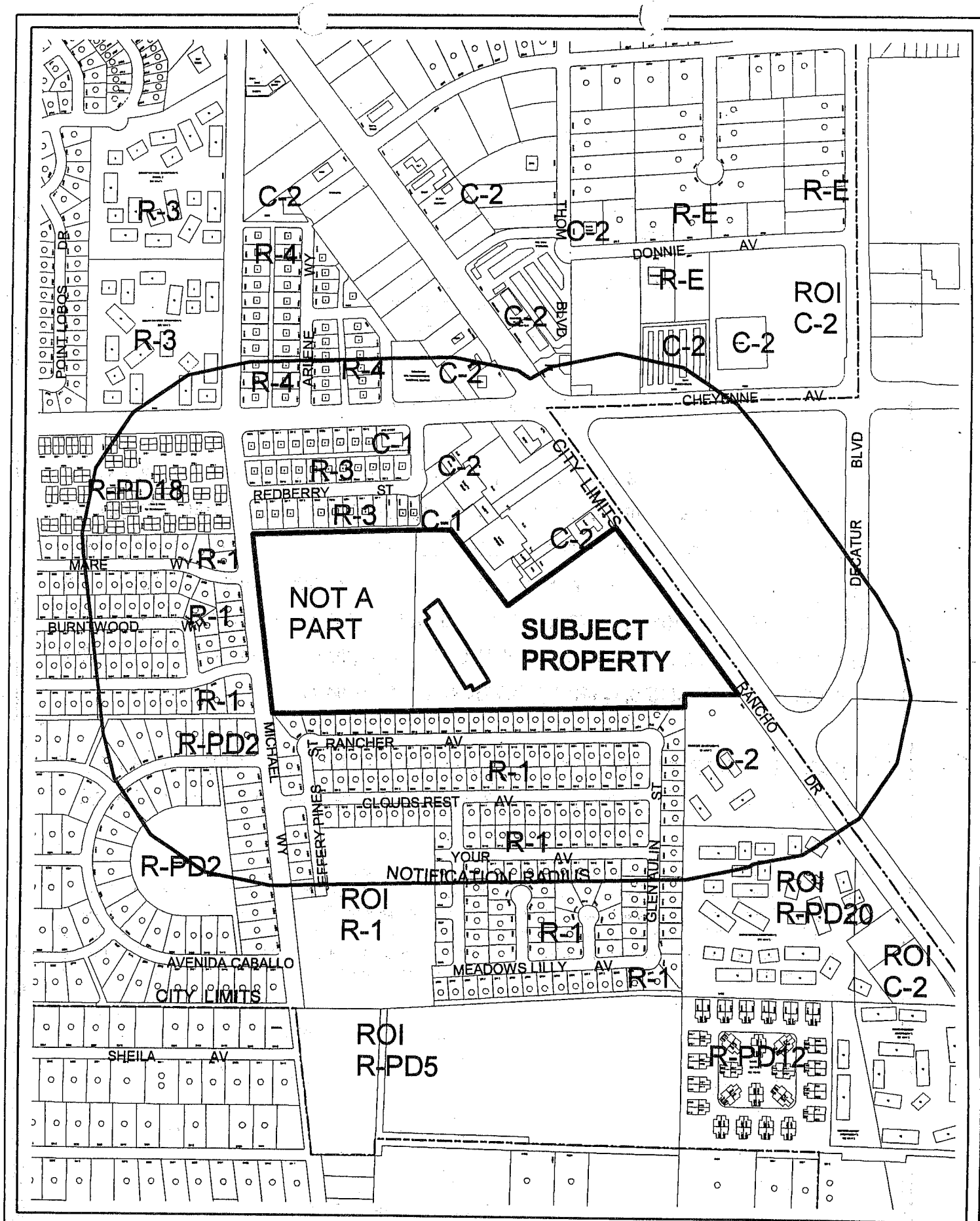


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CASE: Z-90-95(3) and Z-36-97(1)
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