



CORRECTED LETTER

November 21, 2016

LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

Mr. Andrew Acuna
Summit Grand Canyon, LLC
3425 Cliff Shadows Parkway, Suite #110
Las Vegas, Nevada 89129

**RE: DVN-67391 - ADMINISTRATIVE DEVIATION
ADMINISTRATIVE CYCLE – NOVEMBER 2016**

Dear Mr. Acuna:

The Department of Planning has administratively **APPROVED** a request for an Administrative Deviation TO ALLOW A REAR YARD SETBACK OF 28.48 FEET WHERE 30 FEET IS REQUIRED on 0.24 acres at 4017 Turquoise Falls Street (APN 138-06-413-008), R-D (Single Family Residential-Restricted) Zone, Ward 4 (Anthony), has been considered administratively by the Department of Planning staff.

This action by the Department of Planning staff on November 17, 2016 is final unless a written appeal is filed with the Director of the Department of Planning within ten days of the date of this letter.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", is written over a horizontal line.

Steve Gebeke, AICP
Planning Supervisor
Current Planning

SG:clb

c.c.: Ms. Janna Filipe
Taney Engineering
6030 South Jones Boulevard
Las Vegas, Nevada 89118

CITY OF LAS VEGAS
495 S. MAIN STREET
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov



**LAS VEGAS
CITY COUNCIL**

CAROLYN G. GOODMAN
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ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING

DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 7-1-1

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/city of las vegas

November 17, 2016

Mr. Andrew Acuna
Summit Grand Canyon, LLC
3425 Cliff Shadows Parkway, Suite #110
Las Vegas, Nevada 89129

**RE: DVN-67391 - ADMINISTRATIVE DEVIATION
ADMINISTRATIVE CYCLE – NOVEMBER 2016**

Dear Mr. Acuna:

Your request for an Administrative Deviation TO ALLOW A REAR YARD SETBACK OF 28.48 FEET WHERE 30 FEET IS REQUIRED on 0.24 acres at 4017 Turquoise Falls Street (APN 138-06-413-008), R-D (Single Family Residential-Restricted) Zone, Ward 4 (Anthony), has been considered administratively by the Department of Planning staff.

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Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Current Planning

SG:clb

c.c.: Ms. Janna Filipe
Taney Engineering
6030 South Jones Boulevard
Las Vegas, Nevada 89118

*City of Las Vegas***AGENDA MEMO - PLANNING**

ADMINISTRATIVE REVIEW DATE: NOVEMBER 2016

DEPARTMENT: PLANNING

ITEM DESCRIPTION: APPLICANT: SUMMIT HOMES OF NEVADA, LLC - OWNER:
SUMMIT GRAND CANYON, LLC

**** STAFF RECOMMENDATION(S)****

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
DVN-67391	Staff APPROVES.	

**** NOTIFICATION****NEIGHBORHOOD ASSOCIATIONS NOTIFIED N/ANOTICES MAILED

N/A

JB

Staff Report Page One
November 2016 - Administrative Review Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The applicant is requesting an Administrative Deviation to allow a rear yard setback of 28.48 feet where 30 feet is required at 4017 Turquoise Falls Street.

ANALYSIS

The subject property is located within an R-D (Single Family Residential-Restricted) Zoning District. The property is subject to Title 19.06.065 Development Standards for building placement. The applicant's request represents less than a 5% deviation to the setback and extends less than 15 feet parallel to the property line from which the setback is measured, per Title 19.16.120 meeting the minimum requirements for consideration as an Administrative Deviation.

FINDINGS (DVN-67391)

The request represents less than 10% of the required setback, meeting the minimum requirements for consideration for an Administrative Deviation. The Department of Planning approves the request, as it is minor in nature and will not negatively impact the adjacent residential properties. The Department of Planning administratively approves this request.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc</i>	
11/21/01	The City Council approved a request for an Annexation [A-0006-99(A)] application, which petitioned to annex property generally located at the northwest corner of Alexander Road and Grand Canyon Drive. The Planning Commission recommended approval. The annexation became effective on 11/30/01.
03/02/05	The City Council approved a request for a Rezoning (ZON-5796) from U(Undeveloped) [DR (Desert Rural Density Residential) General Plan designation] to R-PD2 (Residential Planned Development - 2 units per acre) on 5.0 acres adjacent to the northwest corner of Grand Canyon Drive and Alexander Road. The Planning Commission and staff recommended approval of the request.

Staff Report Page Two
November 2016 - Administrative Review Meeting

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc</i>	
03/02/05	The City Council approved a request for a Site Development Plan Review (SDR-5797) for a proposed nine lot single-family residential development on 5.0 acres adjacent to the northwest corner of Grand Canyon Drive and Alexander Road. The Planning Commission and staff recommended approval of the request.
05/12/05	The Planning Commission approved a request for a Tentative Map (TMP-6416) for a nine-lot single-family residential subdivision on 5.0 acres adjacent to the northwest corner of Alexander Road and Grand Canyon Drive. Staff recommended approval of the request.
11/07/07	The City Council approved a request for a Rezoning (ZON-24252) from U (Undeveloped) [DR (Desert Rural Density Residential) Master Plan Designation] to: R-PD2 (Residential Planned Development - 2 Units per Acre) on 5.0 acres adjacent to the northwest corner of Alexander Road and Grand Canyon Drive. The Planning Commission and staff recommended approval of the request.
	The City Council approved a request for a Site Development Plan Review (SDR-24253) for a nine-lot single-family residential development on 5.0 acres adjacent to the northwest corner of Alexander Road and Grand Canyon Drive. The Planning Commission and staff recommended approval of the request.
12/20/07	The Planning Commission approved a request for a Tentative Map (TMP-25273) for a nine-lot single-family residential subdivision on 5.0 acres at the northwest corner of Alexander Road and Grand Canyon Drive. Staff recommended approval of the request.
09/16/15	The City Council approved a request for a General Plan Amendment (GPA-59527) from DR (Desert Rural Density Residential) to R (Rural Density Residential) at 9704 West Alexander Road. The Planning Commission and Staff recommended approval of the request.
	The City Council approved a request for a Rezoning (ZON-59529) from R-PD2 (Residential Planned Development - 2 Units Per Acre) to R-D (Single Family Residential-Restricted) at 9704 West Alexander Road. The Planning Commission and Staff recommended approval of the request.
	The City Council approved a request for a Tentative Map (TMP-59532) for a 12-lot Single-Family Residential Subdivision on 5.00 acres at 9704 West Alexander Road. The Planning Commission and Staff recommended approval of the request.

Staff Report Page Three
November 2016 - Administrative Review Meeting

Most Recent Change of Ownership

10/29/15 A deed was recorded for a change in ownership.

Related Building Permits/Business Licenses

No building permits found for this property.

Pre-Application Meeting

A pre-application meeting was not held, nor was one held.

Neighborhood Meeting

A neighborhood meeting was not held, nor was one held.

Details of Application Request

Site Area

Net Acres 0.24

Surrounding Property	Existing Land Use Per Title 19.12	Planned or Special Land Use Designation	Existing Zoning District
Subject Property	Undeveloped	R (Rural Density Residential)	R-D (Single Family Residential-Restricted)
North	Undeveloped	R (Rural Density Residential)	R-D (Single Family Residential-Restricted)
South	Undeveloped	R (Rural Density Residential)	R-D (Single Family Residential-Restricted)
East	Undeveloped	R (Rural Density Residential)	R-D (Single Family Residential-Restricted)
West	Undeveloped	RL (Residential Low) – Clark County	R-E (Rural Estates Residential) – Clark County

Staff Report Page Four
November 2016 - Administrative Review Meeting

Master Plan Areas	Compliance
No Applicable Master Plan Area	N/A
Special Purpose and Overlay Districts	Compliance
No Applicable Special Purpose or Overlay Districts	N/A
Other Plans or Special Requirements	Compliance
Trails	Y
Las Vegas Redevelopment Plan Area	N/A
Project of Significant Impact (Development Impact Notification Assessment)	N/A
Project of Regional Significance	N/A

DEVELOPMENT STANDARDS

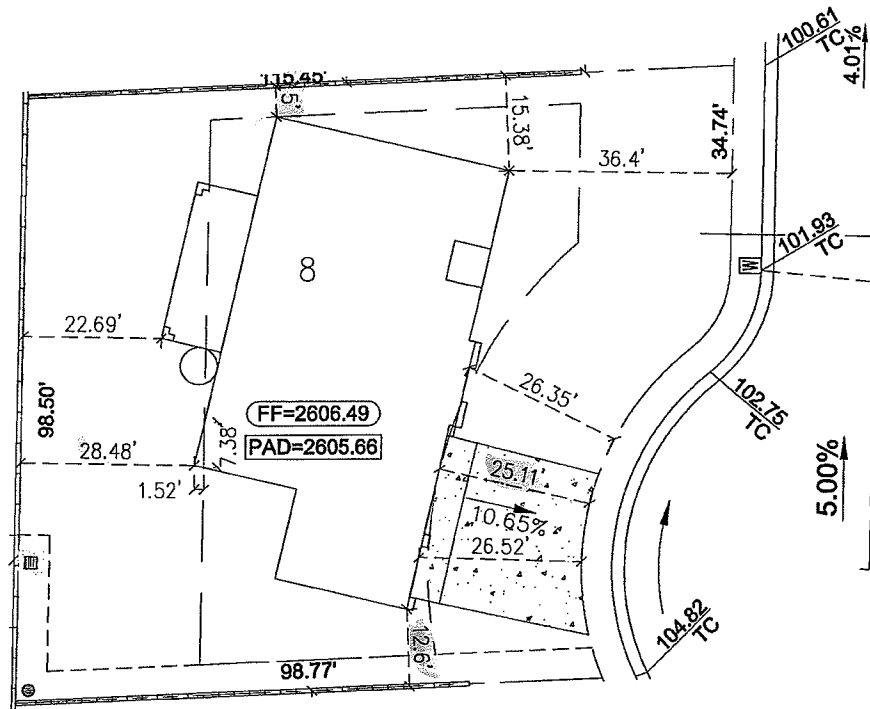
Pursuant to Title 19.06.065 Development Standards, the following standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Width	80 Feet	98 Feet	Y
Min. Setbacks • Rear	30 Feet	28.48 Feet	N*

*Administrative Deviation (DVN-67391) has been requested.



PLAN 3



RECEIVED

OCT 24 2016

DVN-67391

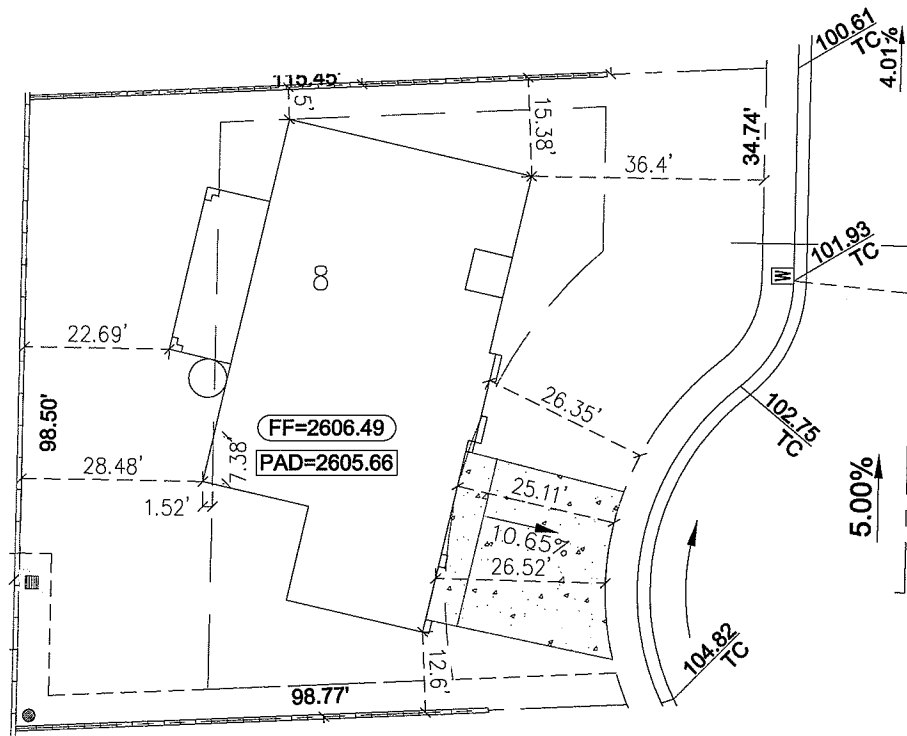
Dept of Planning
City of Las Vegas

GRAND CANYON & ALEXANDER LOT 8 SITE PLAN

DATE: 10/21/16
JOBNO:
PAGE: 1 OF 1



PLAN 3



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OCT 24 2015

Dept of Planning
City of Las Vegas

DVN-67391

11/2016 ADMIN

GRAND CANYON & ALEXANDER LOT 8 SITE PLAN

DATE: 10/21/16
JOBNO:
PAGE: 1 OF 1

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



**Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax**

DVN-67391 - ADMINISTRATIVE DEVIATION - ADMINISTRATIVE - APPLICANT: SUMMIT HOMES OF NEVADA, LLC - OWNER: SUMMIT GRAND CANYON, LLC - For possible action on a request for an Administrative Deviation TO ALLOW A REAR YARD SETBACK OF 28 FEET WHERE 30 FEET IS REQUIRED on 0.24 acres at 4017 Turquoise Falls Street (APN 138-06-413-008), R-D (Single Family Residential-Restricted) Zone, Ward 4 (Anthony).

MINOR REVIEW ADMINISTRATIVE MEETING: **NOVEMBER 15, 2016**

PLANNING SUPERVISOR: **STEVE GEBEKE**



ADMINISTRATIVE

Comments Due: **ASAP**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

**THIS ITEM WILL BE CONSIDERED
ADMINISTRATIVELY AND WILL NOT
APPEAR ON A PLANNING COMMISSION
AGENDA**



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Administrative Deviation
Project Address (Location) Grand Canyon & Alexander 4017 Turquoise Falls St.
Project Name Grand Canyon & Alexander Proposed Use _____
Assessor's Parcel #(s) 138-06-401-006 / 138-06-413-008 Ward # _____
General Plan: existing _____ proposed _____ Zoning: existing R-D proposed _____
Commercial Square Footage _____ Floor Area Ratio _____
Gross Acres _____ Lots/Units _____ Density _____
Additional Information TMP-59535; ZON-59529

PROPERTY OWNER Summit Grand Canyon, LLC Contact Andrew Acuna
Address 3425 Cliff Shadows Pkwy, Suite 110 Phone: 7023658588 Fax: 7029989885
City Las Vegas State NV Zip 89129
E-mail Address andrewa@summithomesnv.com

APPLICANT Summit Homes of Nevada, LLC Contact Andrew Acuna
Address 3425 Cliff Shadows Pkwy, Suite 110 Phone: 7023658588 Fax: 7029989885
City Las Vegas State NV Zip 89129
E-mail Address andrewa@summithomesnv.com

REPRESENTATIVE Taney Engineering Contact Janna Felipe
Address 6030 S. Jones Blvd. Phone: 7023628844 Fax: 7023625233
City Las Vegas State NV Zip 89118
E-mail Address jannaf@taneycorp.com

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Property Owner Signature* [Signature]

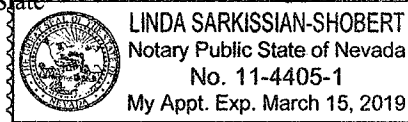
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Nathan White

Subscribed and sworn before me

This 18th day of October, 2016

Notary Public in and for said County and State



Revised 03/28/16

FOR DEPARTMENT USE ONLY

Case # DVN-67391

Meeting Date: Admin

Total Fee: \$300.00

Date Received: 10/24/16

Received By: [Signature]

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

OCT 24 2016
Dept of Planning
City of Las Vegas



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: DVN-67391 APN: 138-06-401-006

Name of Property Owner: Summit Grand Canyon, LLC

Name of Applicant: Summit Homes of Nevada, LLC / Andrew Acuna

Name of Representative: Taney Engineering / Janna Felipe

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

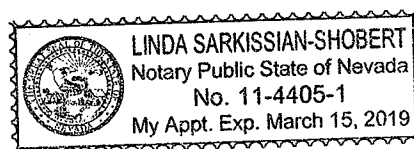
Signature of Property Owner: _____

Print Name: Nathan White

Subscribed and sworn before me

This 1st day of Oct, 2016

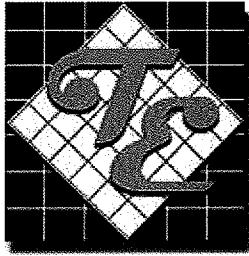
Notary Public in and for said County and State



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City of Las Vegas



TANEY ENGINEERING

6030 SOUTH JONES BLVD.
LAS VEGAS, NV 89118
TELEPHONE: 702-362-8844
FAX: 702-362-5233

October 24, 2016

City of Las Vegas
Department of Planning
333 N. Rancho Drive
Las Vegas, NV 89106

RE: Grand Canyon & Alexander – Administrative Deviation Justification Letter
LOT 8 - APN: 138-06-401-006

To Whom It May Concern:

Taney Engineering, on behalf of Summit Grand Canyon, LLC, is respectfully submitting justification for an administrative deviation application.

Lot 8: the rear building setback is required to be 30'. At the south westerly corner of the proposed building, we are at 28.48'. We would like to ask for an administrative deviation of the rear setback of 1.52' since we are only encroaching for 7.38' of the entire building width.

We are hopeful that this letter clearly describes the project and the intent of the proposed development. If you have any questions or require any additional information please call 702-362-8844

Sincerely,
TANEY ENGINEERING

Brian Myers, P.E.
Project Manager

DVN-67391
11/2016 ADMIN

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OCT 24 2016

Dept of Planning
City of Las Vegas

100

1.5 27 x 3" STEEL SCOFFIT WITH WALLING ABOVE - CONSTRUCTION MATERIALS INC. MODEL MSV223 OR EQUAL

2.0 24 GA. GALV. METAL SCOFFER 6" x 3" L.

elevation key notes

- 1.5 18" HIGH METAL PANELS
- 2.0 ONE COAT STUCCO OF MIN. LATH OF FOAM INSULATION BOARD
- 2.5 ONE COAT STUCCO OF 6" HIGH X 2" DEEP RIGID FOAM TRIM
- 4.0 THROUGH-WALL SCUPPER



TAKO

GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

ISS.	DATE	RECEIVED
	2012 JUL	RD INVENTA
PROJECT NUMBER PROJECT NAME PROJECT LOCATION PROJECT TYPE PROJECT STATUS PROJECT DESCRIPTION PROJECT CONTACT PROJECT PHONE PROJECT FAX PROJECT EMAIL PROJECT WEBSITE PROJECT ADDRESS PROJECT CITY PROJECT STATE PROJECT ZIP PROJECT COUNTRY PROJECT REGION PROJECT SUB-REGION PROJECT DISTRICT PROJECT SUB-DISTRICT PROJECT WARD PROJECT VILLAGE PROJECT HAMLET PROJECT HOUSEHOLD PROJECT INDIVIDUAL PROJECT GROUP PROJECT ORGANIZATION PROJECT SECTOR PROJECT SUB-SECTOR PROJECT PROGRAM PROJECT SUB-PROGRAM PROJECT ACTIVITY PROJECT SUB-ACTIVITY PROJECT TASK PROJECT SUB-TASK PROJECT STEP PROJECT SUB-STEP PROJECT PHASE PROJECT SUB-PHASE PROJECT MILESTONE PROJECT SUB-MILESTONE PROJECT DELIVERABLE PROJECT SUB-DELIVERABLE PROJECT OUTPUT PROJECT SUB-OUTPUT PROJECT RESULT PROJECT SUB-RESULT PROJECT IMPACT PROJECT SUB-IMPACT PROJECT BENEFIT PROJECT SUB-BENEFIT PROJECT RISK PROJECT SUB-RISK PROJECT ISSUE PROJECT SUB-ISSUE PROJECT PROBLEM PROJECT SUB-PROBLEM PROJECT SOLUTION PROJECT SUB-SOLUTION PROJECT MEASURE 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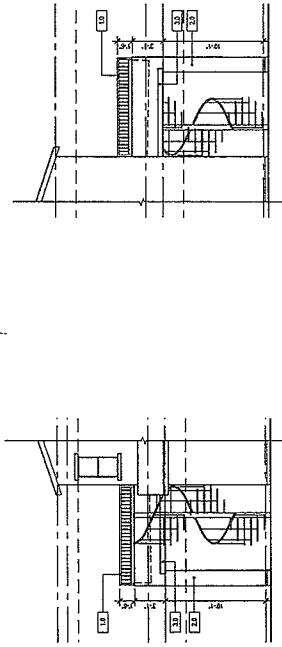
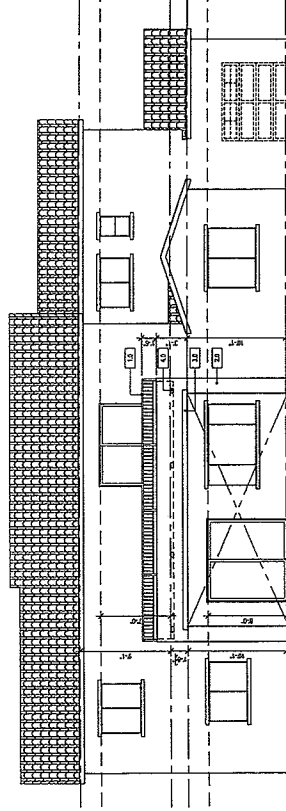
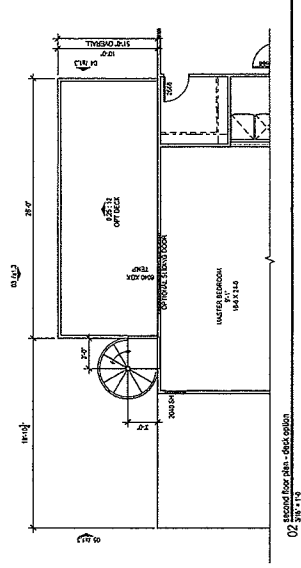
plan 3 patio & deck option

RECEIVED

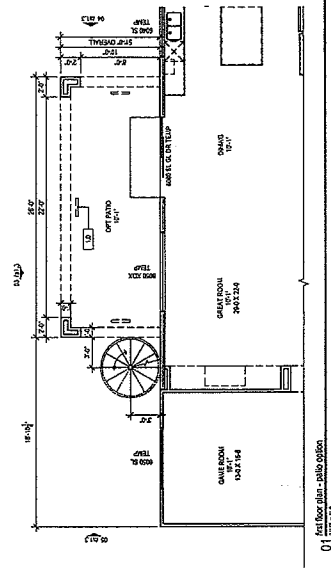
1500

21

Dept of Planning
City of Las Vegas

05 $\frac{\text{side elevation}}{\text{3/4" x 1/2"}}$ 04 $\frac{\text{side elevation}}{215' \times 13'}$ 03 rear elevation
3/22/2018

02 second floor plan - deck option
3'16" x 1'-0"

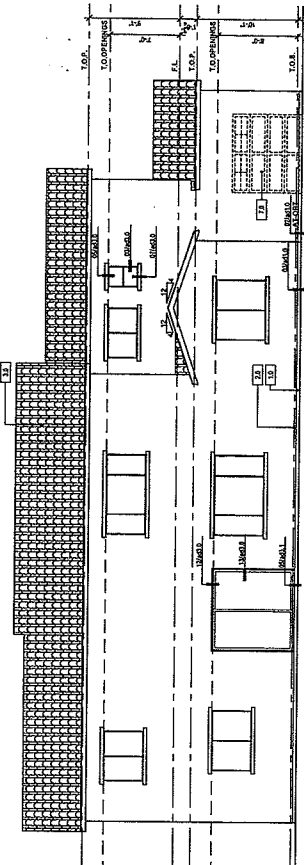


01 first floor plan - patio option

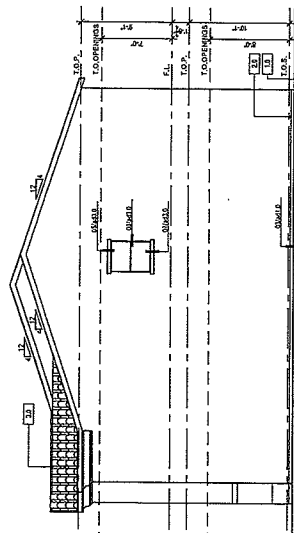
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elevation notes

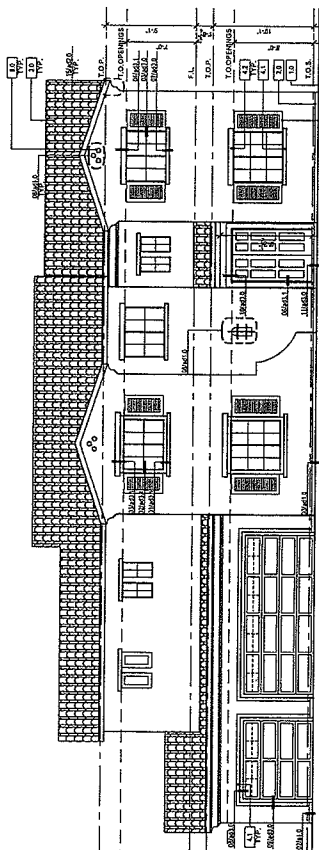
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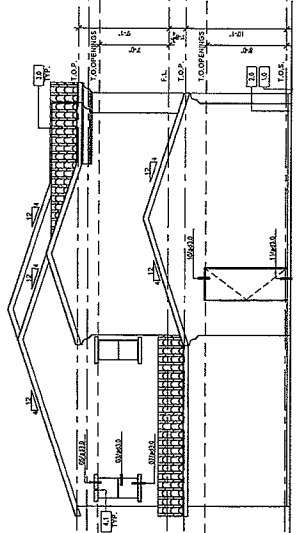
plan 3 rear elevation a



plan 3 rdgt elevation a



plan 3 front elevation a



2 plan 3 loft elevation a
2 ylf = 1.0

plan 3 elevations
option a elevated

2024-2025

City of Las Vegas
Dept of Planning
442.0

GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV



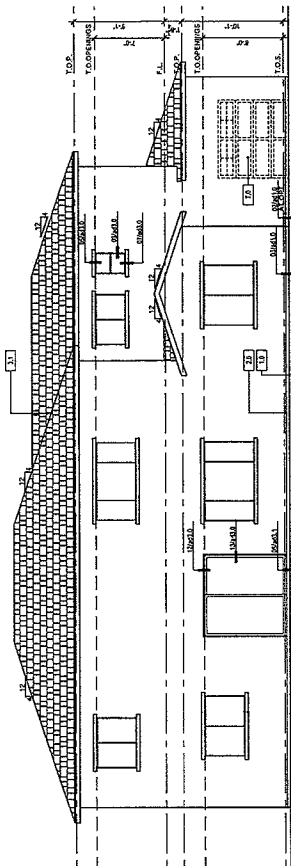
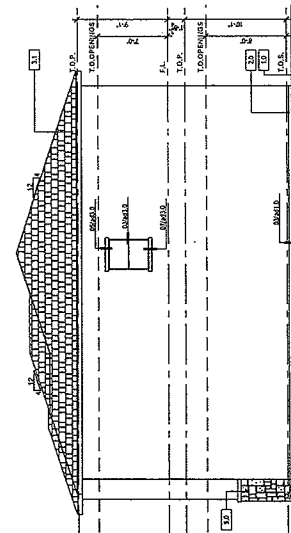
studio 9 ARCHITECTURE

702 800 6500
702 800 6501

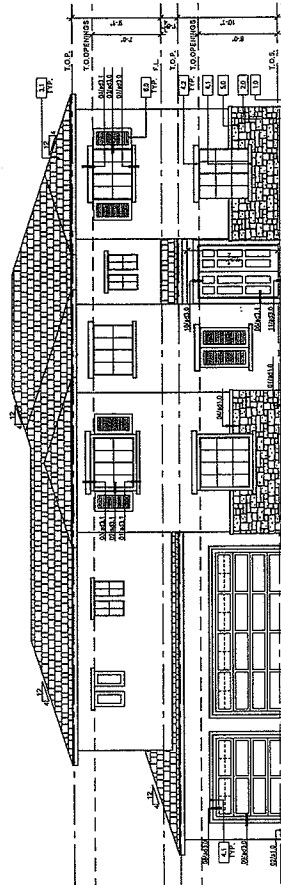
- | | |
|----|--|
| 12 | FRAMED GAUGE |
| 13 | WEEP SCARFED |
| 14 | CONCRETE ROOF TILE IN COMPLIANCE WITH BS-1002 |
| 15 | CONCRETE PLAY EQUIP IN COMPLIANCE WITH BS-1000 |
| 16 | ONE COAT STUCCO SPITAL |
| 17 | ONE COAT STUCCO OVER 4" WIDE ROOF FLASHING |
| 18 | ONE COAT STUCCO OVER 4" WIDE ROOF FLASHING |
| 19 | ONE COAT STUCCO OVER 1" ROOF FLASHING |
| 20 | OPTIONAL ANGLED STONE VESTER |
| 21 | SHUTTER |
| 22 | OPTIONAL GAUGE DOOR |
| 23 | RECREATIVE FURNITURE ACCENT |
| 24 | RECREATIVE FURNITURE ACCENT |
| 25 | RECREATIVE FURNITURE ACCENT |

elevation notes

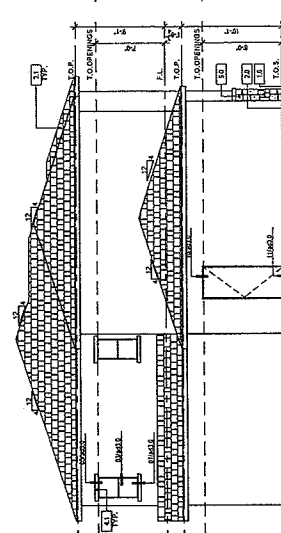
1. THE STREET ADDRESS MUST BE POSTED ON THE SIGN OF THE STREET ADDRESSING THE PROPERTY AND MUST BE PERMANENT.
2. THE STREET ADDRESSING MATERIALS AND METHODS SHALL BE COMPLETED, LEGIBLE, AND CORRECT FOR THE PROPERTY.
3. ALL SIGNAGE SHALL BE PLACED IN A LOCATION THAT IS EASILY OBSERVABLE AND EXTENDING TO A SIX FOOT DISTANCE FROM THE STREET.
4. ALL SIGNAGE SHALL BE PLACED TO THE LEFT OF THE STREET.
5. DO NOT SIGNAGE TO OCCUPY VERMILION LANE FROM THE STREET TO THE VERMILION LANE TO THE STREET.
6. DO NOT SIGNAGE TO OCCUPY VERMILION LANE FROM THE STREET TO THE VERMILION LANE TO THE STREET.
7. DO NOT SIGNAGE TO OCCUPY VERMILION LANE FROM THE STREET TO THE VERMILION LANE TO THE STREET.
8. DO NOT SIGNAGE TO OCCUPY VERMILION LANE FROM THE STREET TO THE VERMILION LANE TO THE STREET.
9. DO NOT SIGNAGE TO OCCUPY VERMILION LANE FROM THE STREET TO THE VERMILION LANE TO THE STREET.
10. DO NOT SIGNAGE TO OCCUPY VERMILION LANE FROM THE STREET TO THE VERMILION LANE TO THE STREET.

plan 3 rear elevation b
3/16/2018

04 plan 3 night elevation to
315' ± 1' ± 4



01 plan 3 front elevation b



02 plan 3 left elevation b
VLS = VLS



GRAND CANYON AND ALEXANDER
ADAVEN HOMES
LAS VEGAS, NV

ADAVEN HOMES
LAS VEGAS, NV

[illegible][illegible]

DATE:	09/27/16
SUBJECT NUMBER:	2015 81

option b

SET NUMBER: 00724200

Dea21 Planning
City of Las Vegas

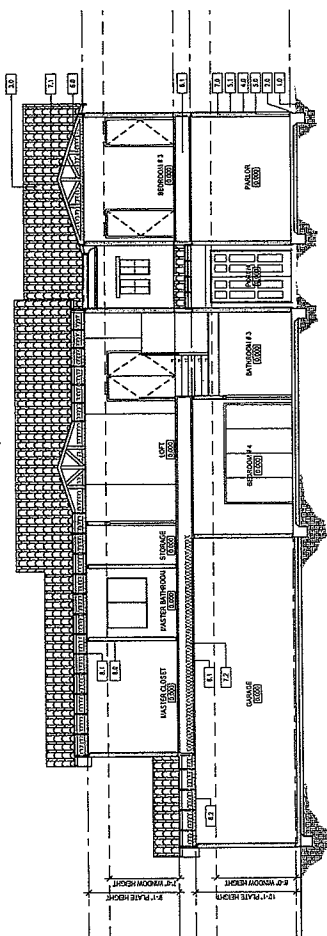


GRAND CANYON AND ALEXANDER
ADAVEN HOMES
LAS VEGAS, NV

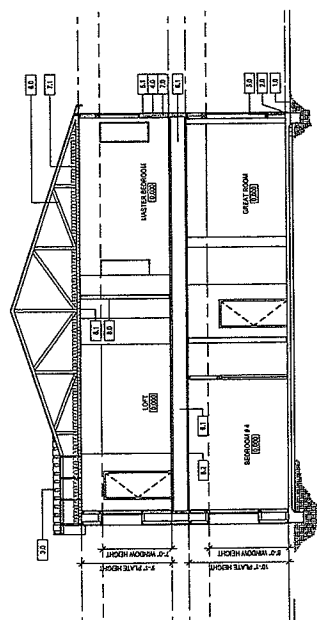
19	FINISHED GARAGE
18	WATER SCOPE
17	CONCRETE ROOF TOP (SEE 1100)
16	CONCRETE ROOF TOP (SEE 1100)
15	CONCRETE ROOF TOP (SEE 1100)
14	CONCRETE ROOF TOP (SEE 1100)
13	CONCRETE ROOF TOP (SEE 1100)
12	CONCRETE ROOF TOP (SEE 1100)
11	CONCRETE ROOF TOP (SEE 1100)
10	CONCRETE ROOF TOP (SEE 1100)
9	CONCRETE ROOF TOP (SEE 1100)
8	CONCRETE ROOF TOP (SEE 1100)
7	CONCRETE ROOF TOP (SEE 1100)
6	CONCRETE ROOF TOP (SEE 1100)
5	CONCRETE ROOF TOP (SEE 1100)
4	CONCRETE ROOF TOP (SEE 1100)
3	CONCRETE ROOF TOP (SEE 1100)
2	CONCRETE ROOF TOP (SEE 1100)
1	CONCRETE ROOF TOP (SEE 1100)

[illegible]

- [illegible]



02 section
var. 17A



11 section

ED. DATE _____ OR SECTION _____
 8027.14 NO SUBMITAL

1. The first step is to identify the problem. In this case, the problem is that the system is not working properly.

PROJECT NUMBER:	2015 01
PLOT DATE:	02 27 16

ORGANIZING
RESEARCHERS

SEP 24 1968
OFFICIALS

Dept of Planning
City of Las Vegas

Inst #: 20151029-0000464
Fees: \$19.00 N/C Fee: \$0.00
RPTT: \$3830.10 Ex: #
10/29/2015 08:10:55 AM
Receipt #: 2592419
Requestor:
LAWYERS TITLE OF NEVADA HEN
Recorded By: DXI Pgs: 4
DEBBIE CONWAY
CLARK COUNTY RECORDER

APN: 138-06-401-006

RPTT: \$ 3830.10

When Recorded Mail To
And Mail Tax Statements To:
Summit Grand Canyon LLC, A Delaware Limited Liability Company
601 Carlson Parkway, Suite 200
Minnetonka, MN 55305

GRANT, BARGAIN AND SALE DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

DP 20130503 Alexander LLC, A Nevada Limited Liability Company

do(es) hereby GRANT, BARGAIN AND SELL to

Summit Grand Canyon LLC, A Delaware Limited Liability Company

the real property situate in the County of Clark, State of Nevada, described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF FOR COMPLETE
LEGAL DESCRIPTION

RECEIVED

OCT 24 2015

Dept of Planning
City of Las Vegas

Subject to:

1. All general and special taxes for the current fiscal year.
2. Covenants, Conditions, Restrictions, Reservations, Rights, Rights of way and Easements now of record.

Together with all tenements, hereditaments and appurtenances, including easements and water rights, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof.

**DP 20130503 Alexander LLC, A Nevada
Limited Liability Company**



Stephen J. Byrne, President

STATE OF NEVADA

COUNTY OF CLARK

On OCTOBER 27, 2015, personally appeared before me, a Notary Public,
STEPHEN J. BYRNE, PRESIDENT OF CAPSOURCE, INC. UGR, personally known (or proven) to
me to be the person(s) whose name (s) is/are subscribed to the within instrument who
acknowledged that he/she/they executed the instrument.



Notary Public in and for said County and State

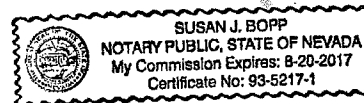


Exhibit "A"

All that certain real property situated in the County of Clark, State of Nevada, described as follows:

The East Half (E ½) of the Southeast Quarter (SE ¼) of the Southeast Quarter (SE ¼) of the Southwest Quarter (SW ¼) of Section 6, Township 20 South, Range 60 East, M.D.B. & M.

ASSESSOR'S COPY

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

- a. 138-06-401-006
b. _____
c. _____
d. _____

2. Type of Property:

- a. ☒ Vacant Land b. ☐ Single Fam Res
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg f. ☐ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
i. ☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. Total Value/Sales Price of Property:

\$751,000.00

Deed in Lieu of Foreclosure Only (value of property) (\$ _____)

Transfer Tax Value: **\$751,000.00**

Real Property Transfer Tax Due: **\$3,830.10**

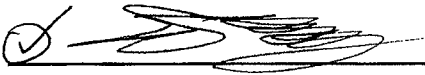
4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090, Section _____
b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month.

Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature  Capacity GRANTOR

Signature _____ Capacity _____

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: DP 20130503 Alexander LLC, A Nevada Limited Liability Company

Address: 2009 E. Windmill Lane

City/State/Zip: Las Vegas, NV 89123

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: Summit Grand Canyon LLC, A Delaware Limited Liability Company and Summit Grand Canyon LLC, A Delaware Limited Liability Company

Address: 601 Carlson Parkway, Suite 200

City/State/Zip: Minnetonka, MN 55305

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Lawyers Title of Nevada
2600 Paseo Verde Parkway #100,
Henderson, NV 89074

Escrow #: 03313810-330-D33
Escrow Officer: Debbie Novotny

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

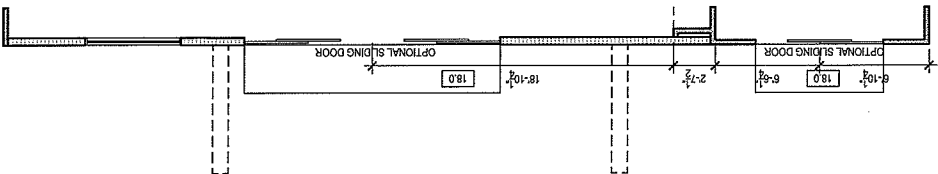
APN: 138-06-401-006

LEGAL DESCRIPTION

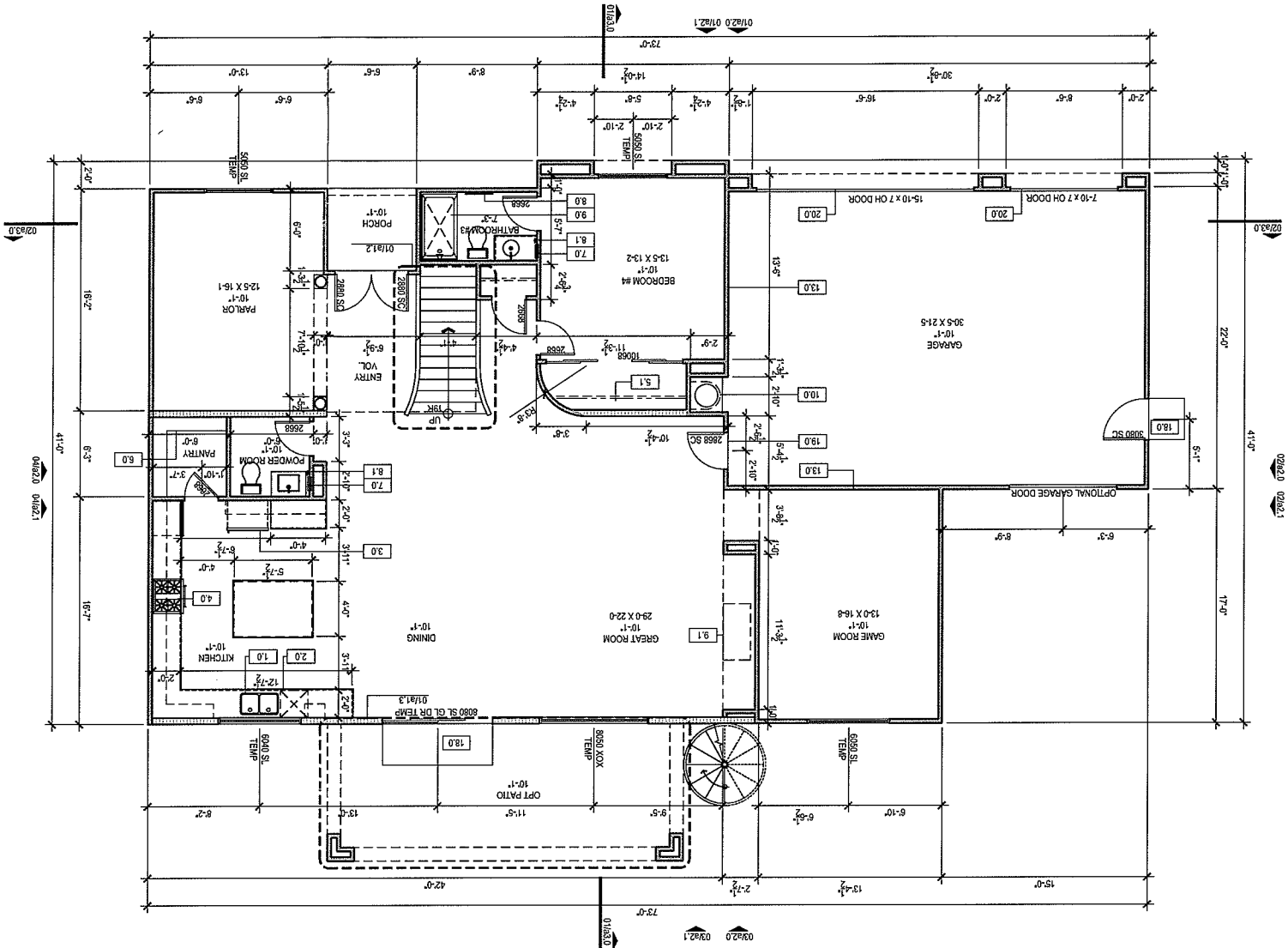
THE EAST HALF (E 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 6, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B. & M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER (SW 1/4) OF SECTION 6, BEING THE CENTERLINE INTERSECTION OF ALEXANDER ROAD AND GRAND CANYON DRIVE; THENCE ALONG THE SOUTHERLY LINE THEREOF AND SAID CENTERLINE OF ALEXANDER ROAD, SOUTH 87°30'00" WEST, A DISTANCE OF 325.70 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE ALONG THE WESTERLY LINE THEREOF TO AND ALONG THE EASTERLY BOUNDARY LINE OF "THE FINAL PLAT OF LONE VISTA RANCH" RECORDED IN BOOK 127 PAGE 48 OF PLATS, CLARK COUNTY, NEVADA, OFFICIAL RECORDS, NORTH 0°56'43" EAST, A DISTANCE OF 666.29 FEET TO THE NORTH COMMON CORNER THEREOF; THENCE ALONG THE NORTHERLY LINE THEREOF, NORTH 87°42'48" EAST, A DISTANCE OF 325.27 FEET TO THE NORTHEAST CORNER THEREOF, BEING ON THE CENTERLINE OF SAID GRAND CANYON DRIVE; THENCE ALONG THE EASTERLY LINE THEREOF AND SAID CENTERLINE, SOUTH 0°54'51" WEST, A DISTANCE OF 665.06 FEET TO SAID POINT OF BEGINNING.

SAID PARCEL CONTAINS 4.97 ACRES, MORE OR LESS.



02 optional sliding door



01 first floor plan

DVN-67391

11/2016 ADMIN

1. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE AND THE MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS (I.R.C. R310.1).
2. SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH (I.R.C. A11.0).
3. ALL NEW GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED SHOWING THE COMPLIANCE STATEMENT FOR ALL GLAZING REQUIREMENTS. REFER TO THE ENERGY WINDOWS ADJACENT TO TUBS, SHOWERS AND TUBSHOWERS, STAIRWAYS OR ADJACENT TO AND WITH 24" OR EITHER EDGE OF DOOR SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC PER I.R.C. GLASS TO BE EJECTED.
4. ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. NOT ATTIC VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.
5. FLOOR SLAB WHERE SLAB SERVES AS THE FLOOR FOR INTERIOR ENVIRONMENT. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
6. WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF A CONCEALED SPACE DOES NOT EXCEED 1.00 SQ. FT. ABOVE THE CEILING ASSEMBLY.
7. DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS, WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING ASSEMBLY BELOW.
8. DRAFTSTOPS SHALL BE PROVIDED IN FLOOR CEILING ASSEMBLY UNDER THE FOLLOWING CONDITIONS (I.R.C. R302.12):
 - CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
 - 10.1. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN WEB OR PERFORATED MEMBERS.
9. FIRE-STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN THE SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - 11.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - 11.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
10. AT ALL INTERCONNECTIONS BETWEEN CONCEALED, PERFORATED CEILING AND COVE SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, GROPPED CEILING AND COVE CEILING.
11. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
12. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
13. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, COMPLY WITH (I.R.C. R1003.19).
14. A GAS OR WOOD-BURNING FIREPLACE A CAUTION SIGN THAT STATES "CAUTION: DAMPER MUST BE PERMANENTLY BLOCKED OPEN IF GAS IS SUPPLIED TO THIS FIREPLACE." THE LETTERS MUST BE A MINIMUM 3/8" INCH IN HEIGHT.
15. SKYLIGHTS SHALL COMPLY WITH (I.R.C. R308.6).
16. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILING FRAMED AT 24" ON CENTERS AND TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG WHERE WATER-DAMAGED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO RESIST CEILING OR INCREASED 0.03" GYPSUM BOARD, (I.R.C. TABLE R 702.5.3).
17. UNLESS OTHERWISE PERMITTED BY I.R.C. R602.6, FORM PLASTER SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER OF A MINIMUM 1/2" GYPSUM WALL BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER MATERIAL (I.R.C. R318.4).

floor plan notes

1. 210. FURNITURED WALL ASSEMBLY IN COMPLIANCE WITH ICC-ESR 2729 SECTION 4.4.2 SECOND ASSEMBLY.
2. 200. GARAGE DOORS SHALL BE TESTED IN ACCORDANCE WITH EITHER ASTM E330 OR AISI/ASMA 108.
3. 190. SOLID CORE WOOD DOOR, MIN. 1 3/8" THICK, EQUIPPED W/ A SELF-CLOSING DEVICE.
4. 180. SHALL BE 7'-3 1/4" MAX. BELOW TOP OF SLAB.
5. 170. SHALL BE 1'-1 1/2" MAX. BELOW TOP OF SLAB AT ENTRY; ALL OTHER LANDINGS.
6. 160. DIRECTION OF TRAVEL, SLOPED AT 25/12 (2%) AWAY FROM DOOR. PER 2012 IRC.
7. 150. CONCRETE LANDINGS: MINIMUM DIMENSIONS TO BE WIDTH OF DOOR, 3'-0" DEEP IN SOFFIT AT 7'-1" A.F.F. TO BOTTOM OF FRAMING.
8. 140. HORIZONTAL @ 36" A.F.F.
9. 130. 38" H. DRYWALL GUARDRAIL - 1/2" DRYWALL OVER 2X WOOD FRAMING.
10. 120. LOW WALL @ 34 1/2" A.F.F. VERIFY HEIGHT WITH CABINET SUPPLIER.
11. 110. DRAFTSTOP AT FLOOR/CEILING ASSEMBLY (I.R.C. R50.12) - REFER TO DETAIL 06/04/0.
12. 100. 1/2" GYPSUM BOARD AT WALLS AND CEILING AT USEABLE SPACE UNDER STAIRS.
13. 90. THAN 1/2" GYP. BD.
14. 80. STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS GYP. BD. OR EQUAL, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY. THE GARAGE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY MIN. 1/2" TYPE X AND ITS ATTIC BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GARAGE SIDE.
15. 70. SEPARATION REQUIREMENT - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE OR UNO. PER MECHANICAL DRAWINGS.
16. 60. DRYER SPACE: PROVIDE DRYER VENT TO OUTSIDE 14" MAX. LENGTH WITH 2 ELBOWS MAX. DRAIN @ SECOND FLOOR LOCATION.
17. 50. WASHER SPACE: PROVIDE RECESSED SHOWER PAN, FINISH WALLS W/ TILE OVER 1/2" FIBER CEMENT BACKER BO TO 72" HIGH MIN.
18. 40. AC CONDENSER ON CONCRETE PAD. (VERIFY SIZE AND LOCATION).
19. 30. 110V OUTLET AND 24" PLATFORM TO PAU WITH 30" WORKSPACE.
20. 20. 22" X 30" ATTIC ACCESS MIN. W/ 30" MIN. CLEAR HEADROOM. PROVIDE SWITCHED LIGHT, FOOTING. SEE DETAIL 07/01/0.
21. 10. 3" DIA. PIPE COLUMN, CONCRETE FILLED, EXTENDING 36" ABOVE SLAB AND 24" INTO WATER HEATER ON 18" PLATFORM W/ SEISMIC STRAPS. PROVIDE PRESSURE RELIEF VALVE W/ DRAIN TO OUTSIDE. COMBUSTION AIR AND VENT TO OUTSIDE.
22. 5. TEMPERED GLASS SHOWER ENCLOSURE. FINISH WALLS W/ TILE OVER 1/2" CEMENT BACKER BOARD TO 72" HIGH MINIMUM AT WALK-IN SHOWER.
23. 4. CEMENT BACKER BO TO 72" HIGH MIN.
24. 3. DARC 42" X 60" TUB.
25. 2. DARC 1024" TUB & SHOWER SUITE.
26. 1. MANUFACTURER'S SPECIFICATION.
27. OPTIONAL 4" LINEAR FIREPLACE: KNIGHTSP500 MARQUIS DIRECT VENT. INSTALL PER MANUFACTURER'S SPECIFICATION.
28. 32" X 60" TUB / SHOWER COMBO.
29. TOWEL RING. PROVIDE 2X6 BLOCKING @ +44" A.F.F.
30. TOWEL BAR. PROVIDE 2X6 BLOCKING @ +40" A.F.F.
31. RECESSED MEDICINE CABINET.
32. PANTRY W/ 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
33. SHELF & POLE.
34. 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
35. GAS RANGE WITH HOOD, LIGHT AND PAN ABOVE.
36. SHUT-OFF FOR ICE MAKER.
37. 36" WIDE CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND DISHWASHER 12" W. X 24" D. W/ AIR GAP). VERIFY DIMENSIONS WITH MANUFACTURER.
38. 32 X 21 DOUBLE SINK WITH GARAGE DISPOSAL.

floor plan key notes

GRAND CANYON AND ALEXANDER

ADAM HOMES

LAS VEGAS, NV

ARCHITECT:

studio g architecture

1879 WARREN MESA DRIVE
HERNDEN, NEVADA 89014
P 702.880.8500
F 702.880.8501
WWW.STUDIOGARCHITECTURE.COM



NO.	DATE	DESCRIPTION
02	27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

PROJECT NUMBER: 2015 61

plan 3 first floor plan

RECEIVED

and option

11/2016 ADMIN

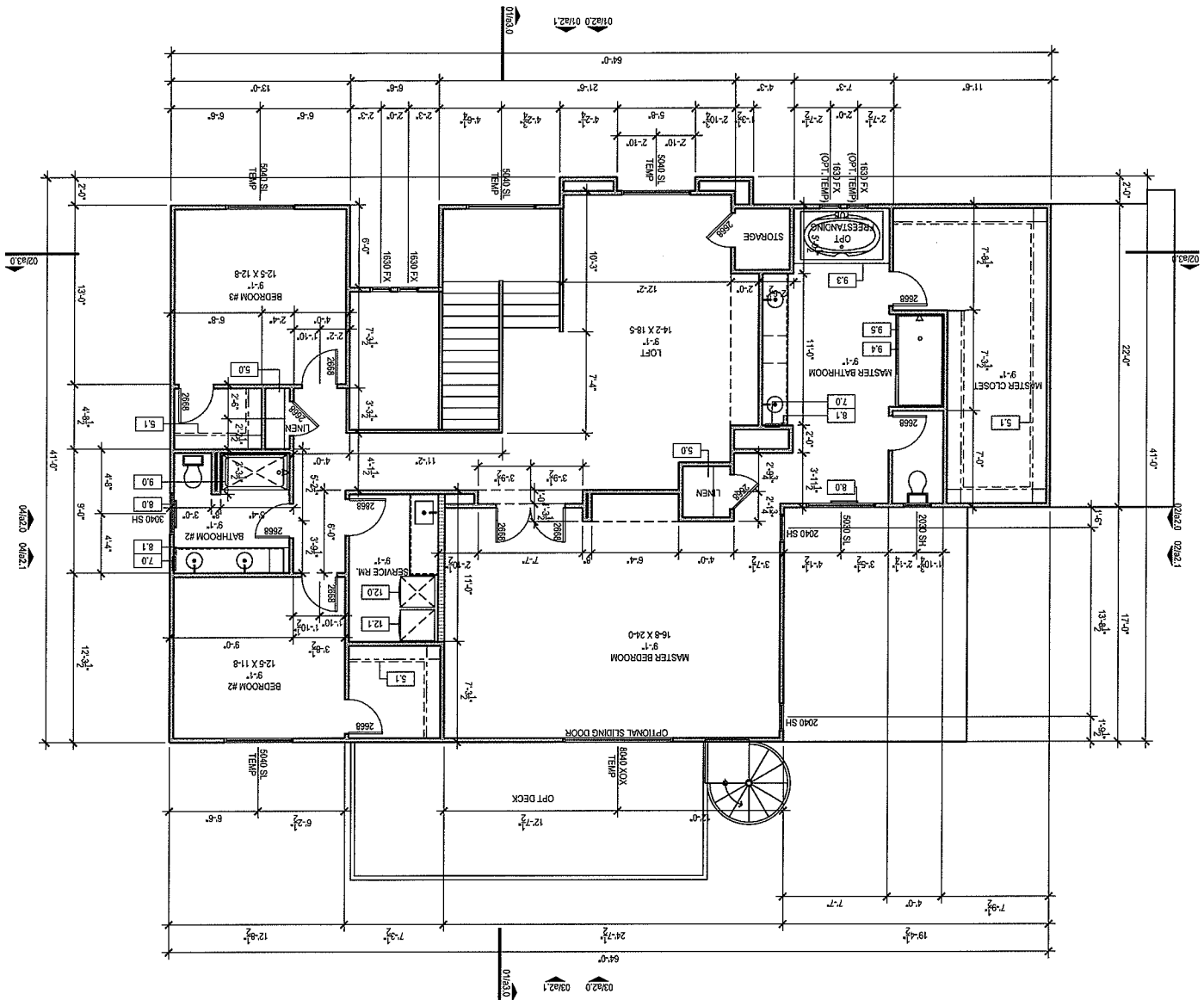
City of Las Vegas

Dept of Planning

OCT 24 2016

11/2016 ADMIN

DVN-67391



floor plan key notes

- | | |
|------|---|
| 21.0 | 1-1/4" RATED WALL ASSEMBLY IN COMPLIANCE WITH ICC-ESR 2739 SECTION 4.4.2 SECOND ASSEMBLY. |
| 20.0 | 108 AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/ASHRAE 108. |
| 19.0 | SOLID CORE WOOD DOOR, MIN. 1 3/8" THICK, EQUIPPED W/ SELF-CLOSING DEVICE. |
| 18.0 | SHALL BE 2 1/4" MAX. BELOW TOP OF SLAB. |
| 17.0 | 11 LINDINGS SHALL BE 1-1/4" MAX. BELOW TOP OF SLAB AT ENTRY; ALL OTHER LANDINGS |
| 16.0 | DIRECTION OF TRAVEL, STAIRS, 25/12 (25% HORIZONTAL, 75% VERTICAL) RAMP, PER 202 DEEP IN |
| 15.0 | CONCRETE LANDING, MINIMUM DIMENSIONS TO THE WIDTH OF DOOR, 3/4" DEEP IN |
| 14.0 | SLOTT AT 7 1/4" A.F.F., TO BOTTOM OF FRAMING |
| 13.0 | HANDRAIL @ 38" A.F.F. |
| 12.0 | 3/8" HORIZONTAL WALL @ 34" A.F.F., VERIFY HEIGHT WITH CABINET SUPPLIER |
| 11.0 | 1/2" DRYWALL OVER 2X WOOD FRAMING |
| 10.0 | GRAFTSTOP AT FLOOR/CEILING ASSEMBLY (I.R.C. R501.2) - REFER TO DETAIL 0604.0. |
| 9.0 | CEILING BOARD AT WALLS AND CEILING AT USABLE SPACE UNDER STAIRS. |
| 8.0 | TYPE X, 5/8" OR EQUIV., WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE |
| 7.0 | STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS |
| 6.0 | AND BE ATTED BY NOT LESS THAN 3/4" A.P.P. APPLIED TO THE GARAGE SPACE |
| 5.0 | SEPARATION REQUIREMENT - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE |
| 4.0 | OR U.N.O. PER MECHANICAL DRAWINGS. |
| 3.0 | DRAIN SPACE, PROVIDE DRAIN VENT TO OUTSIDE, 14 MAX. LENGTH WITH 2 ELBOWS W/ |
| 2.0 | ELBOWS & SECOND FLOOR LOCATION. |
| 1.0 | WASHER SPACE IN GARAGE, FINE MATED WALL, SHALL BE METAL). PROVIDE DRAIN PAN W/ |
| 0.0 | AC CONDENSER ON CONCRETE PAD. (VERIFY SIZE AND LOCATION) |
| 21.0 | 10" OUTLET AND 2" PLUMB TO 3/4" MIN. CLEARE HEADROOM. PROVIDE SWITCHED LIGHT. |
| 20.0 | 22" X 30" TYP. ACCESS MIN. W/ 3/4" MIN. CLEARE HEADROOM. PROVIDE SWITCHED LIGHT. |
| 19.0 | FOOTING. SEE DETAIL 0701.0. |
| 18.0 | 3/4" A.P.P. CONCRETE RETLTD. EXTENDING 36" ABOVE SLAB AND 24" INTO |
| 17.0 | WATER HEATER ON 1/4" PLATFORM W/ SEISMIC STRAPS. PROVIDE PRESSURE RELIEF VALVE |
| 16.0 | BOARD TO 27" HIGH MINIMUM AT WALL-CORNER COVER. |
| 15.0 | TEMPERED GLASS SHOWN ENCLOSED. FINISH WALLS W/ TILE OVER 3/4" CEMENT BACKER |
| 14.0 | CEMENT BACKER BD TO 27" HIGH MIN. |
| 13.0 | CEMENT BACKER, PREPARED BACKER PAN, FINISH WALLS W/ TILE OVER 3/4" FIBER |
| 12.0 | DATCH 42" X 60" TUB |
| 11.0 | DATCH 10242 TUB & SHOWER SUITE. |
| 10.0 | MANUFACTURER SPECIFICATION. |
| 9.0 | OPTIONAL 4" SHOWER SPECIFICATION. KIDNEYPOOL MARQUIS DIRECT VENT, INSTALL PER |
| 8.0 | 22" X 60" TUB, SHOWER COMBO |
| 7.0 | TOWER RING. PROVIDE 2X6 BLOCKING @ 44" A.F.F.. |
| 6.0 | TOWER BAR. PROVIDE 2X6 BLOCKING @ 44" A.F.F.. |
| 5.0 | NECESSARY MEDICINE CABINET. |
| 4.0 | PANTRY W/ 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH. |
| 3.0 | SHELF & POLE. |
| 2.0 | 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH. |
| 1.0 | 3/4" GAR. RANGE WITH HOOD, LIGHT AND FAN ABOVE. |
| 0.0 | SHUT-OFF FOR ICE MAKERY. |
| 21.0 | 30" WIDE CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND |
| 20.0 | DISPENSER (24" W. X 24" W. W/ AIR GAP). VERIFY DIMENSIONS WITH MANUFACTURER |
| 19.0 | 24" X 24" DOUBLE SINK WITH WASTAGE DISPOSAL. |

floor plan notes

- [illegible]

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DRAWING:
plan & second floor plan

NO.	DATE	DESCRIPTION
	09.27.16	BO SUBMITTAL

[illegible]

NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

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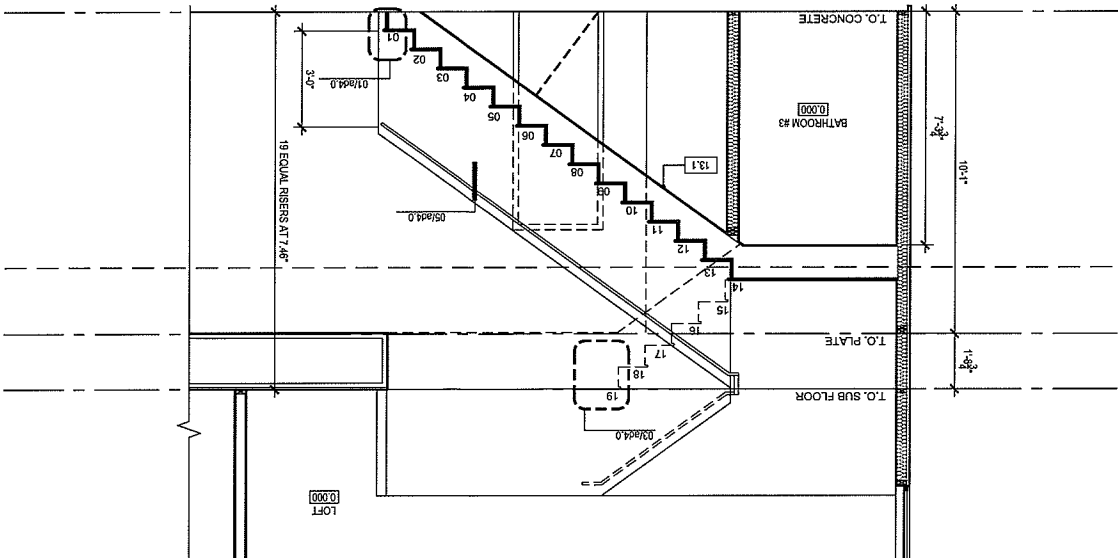
floor plan key notes

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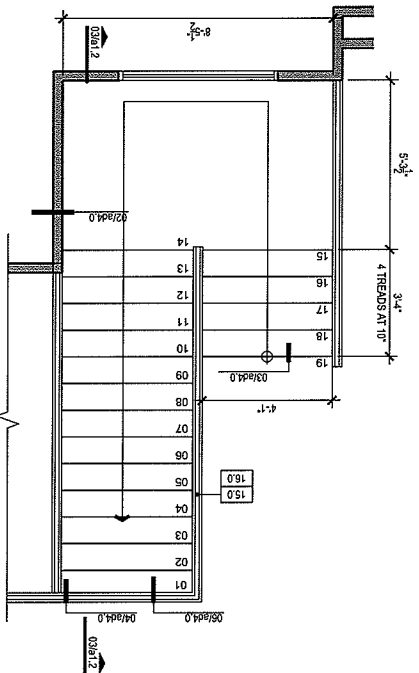
floor plan notes

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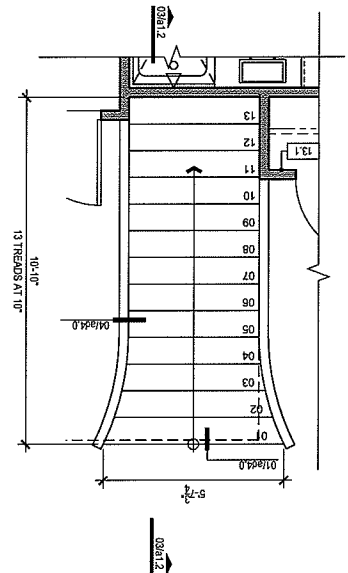
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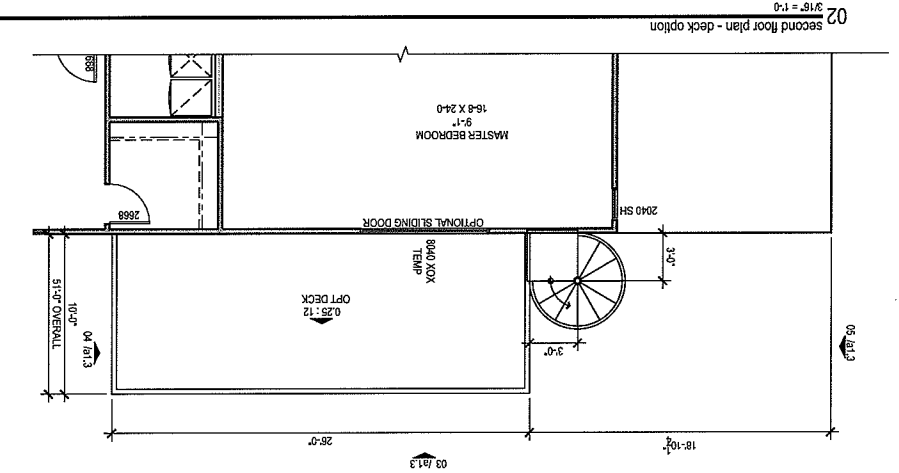
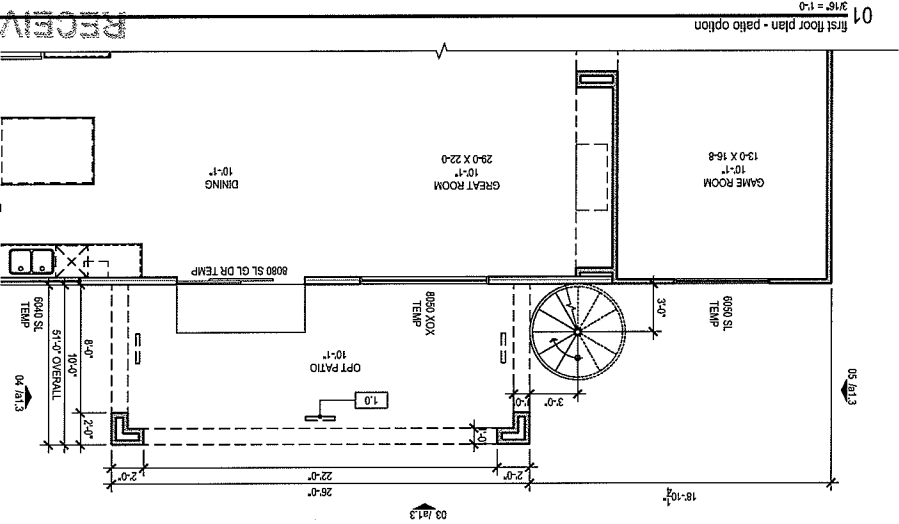
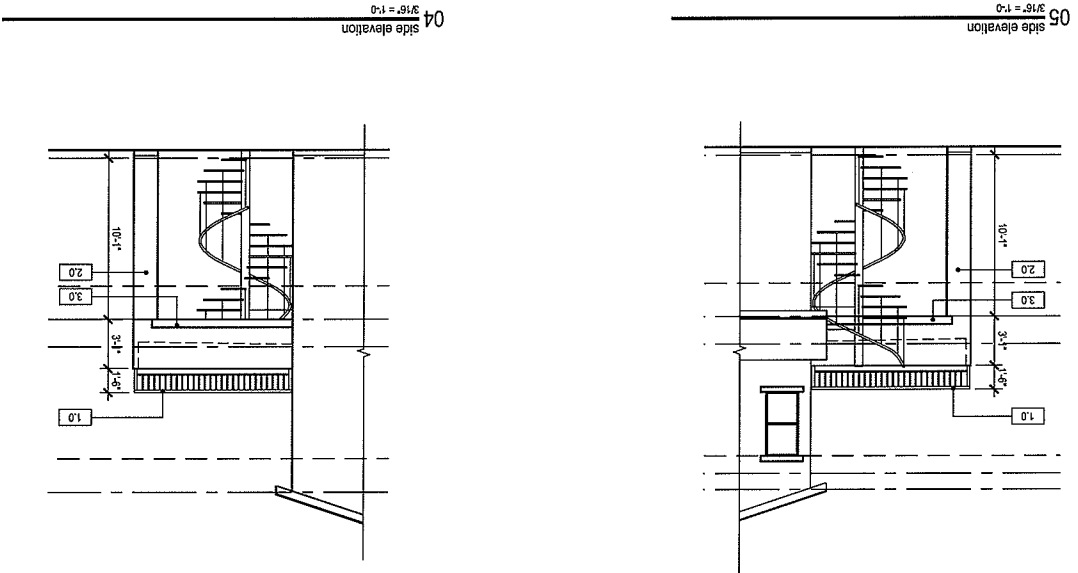
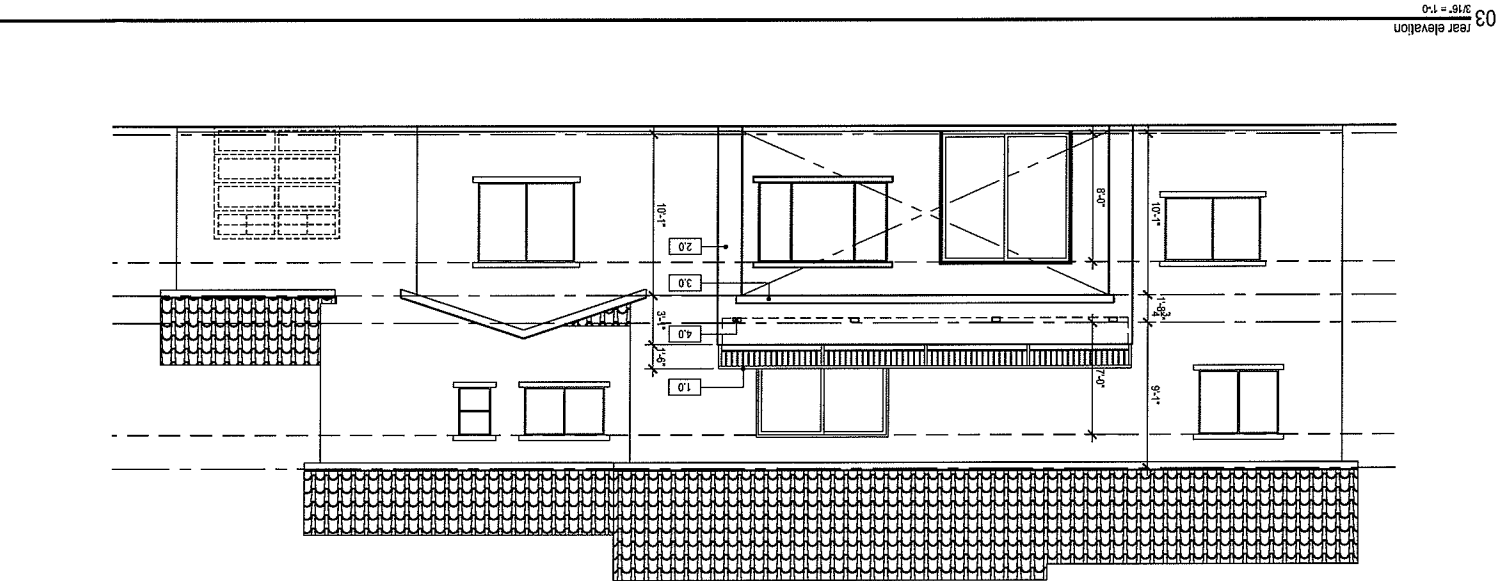


02 enlarged stair plan - 2nd floor
3/8" = 1'-0"



enlarged stair plan - 1st floor





- floor plan key notes
- 1.0 1/2" HIGH METAL RAILING
 - 2.0 ONE COAT STUCCO OR MITL LATH / FOM INSULATION BOARD
 - 3.0 ONE COAT STUCCO OR 6" DEEP RIGID FOAM TRIM
 - 4.0 THROUGH - WALL SCUPPER
 - 2.0 24 GALV. METAL SCUPPER, 6" WY x 3'H
 - 1.0 22" x 3" STEEL SOFFIT VENT IN CEILING ABOVE - CONSTRUCTION METALS INC., MODEL #SV223 OR EQUAL
- elevation key notes
- 1.0 1/2" HIGH METAL RAILING
 - 2.0 ONE COAT STUCCO OR MITL LATH / FOM INSULATION BOARD
 - 3.0 ONE COAT STUCCO OR 6" DEEP RIGID FOAM TRIM
 - 4.0 THROUGH - WALL SCUPPER

NO. DATE DESCRIPTION

09 27 16	RD SUBMITTAL
2015 61	

PROJECT NUMBER: 2015 61

PLOT DATE: 09 27 16

DRAWING: plan 3 patio & deck option

SHEET NUMBER: a1.3

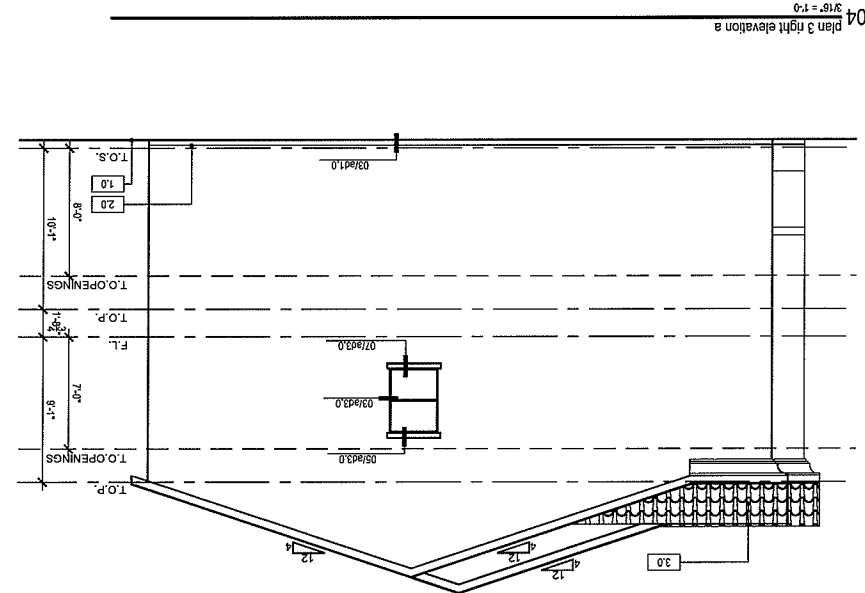
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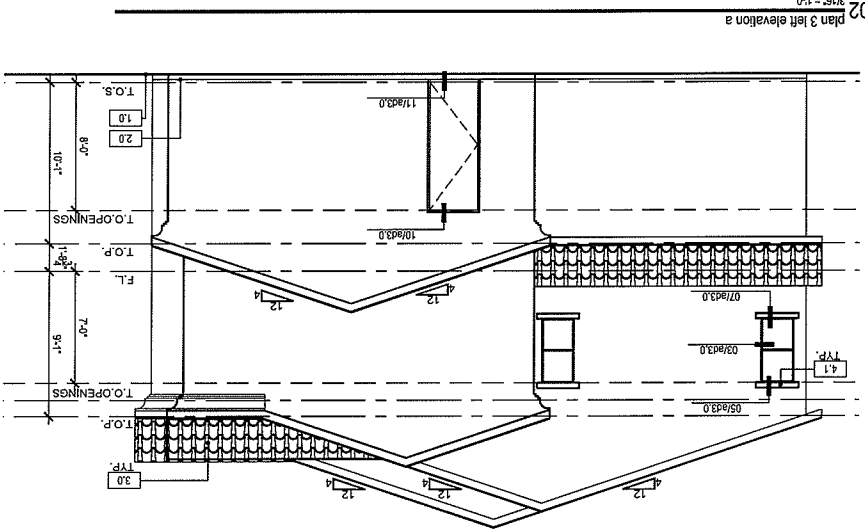
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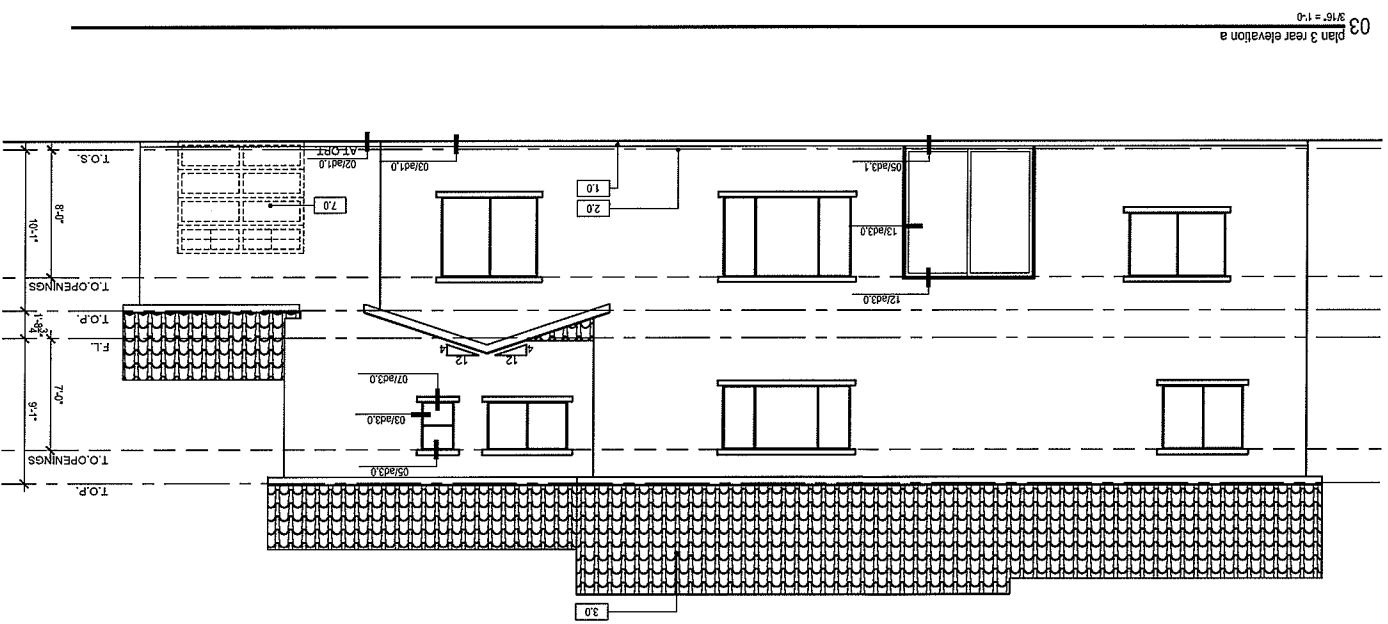
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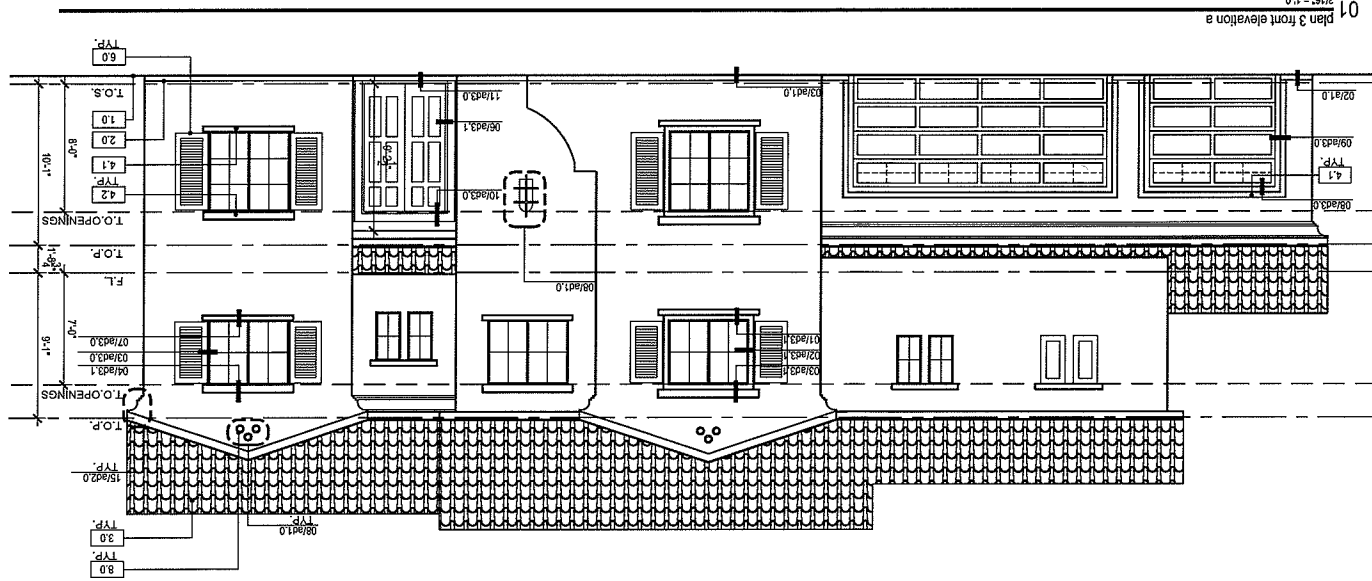
04 Plan 3 right elevation a
3/16" = 1'-0"



02 Plan 3 left elevation a
3/16" = 1'-0"



03 Plan 3 rear elevation a
3/16" = 1'-0"



01 Plan 3 front elevation a
3/16" = 1'-0"

- elevation key notes
- 1. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET.
 - 2. ONLY APPROVED STUCCO MATERIALS AND METHODS WILL BE ACCEPTABLE. SUBMIT SPECIFICATION FOR APPROVAL.
 - 3. 1-COAT STUCCO SYSTEM COMPLIANT WITH ICC-ES E-1607.
 - 4. ALL STUD WALLS AND CEILINGS EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYPSUM BOARD PRIOR TO SOFFIT INSTALLATION.
 - 5. DUCT TERMINATION TO OCCUR MINIMUM 10'-0" FROM WINDOW OR DOOR OPENING INTO DWELLING UNIT.
 - 6. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
 - 7. REFER TO DETAIL 01A-D-3.0 FOR TYPICAL WINDOW FLASHING INSTALLATION.
 - 8. ALL BOX COLUMNS AND POP-OUTS SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
 - 9. PROVIDED (2) LAYERS OF GRADE "D" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTENSION PLASTER.
 - 10. WILL RECEIVE ICE AND WATER SHIELD WEATHERBOARD LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
 - 11. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. DO NOT ATTIC VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.

- elevation notes
- 1. FINISHED GRADE.
 - 2. WEIR SCORED.
 - 3. CONCRETE "S" ROOF TILE IN COMPLIANCE WITH ESR-1900.
 - 4. ONE COAT STUCCO SYSTEM.
 - 5. ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TRIM.
 - 6. ONE COAT STUCCO OVER 6" WIDE RIGID FOAM TRIM.
 - 7. 1 COAT STUCCO OVER 1" RIGID FOAM WRAP.
 - 8. 4.3. OPTIONAL ADHERED STONE VENEER.
 - 9. SHUTTER.
 - 10. OPTIONAL GARGLE DOOR.
 - 11. DECORATIVE FOAM ACCENT.
 - 12. DECORATIVE METAL AT STUCCO RECESS.

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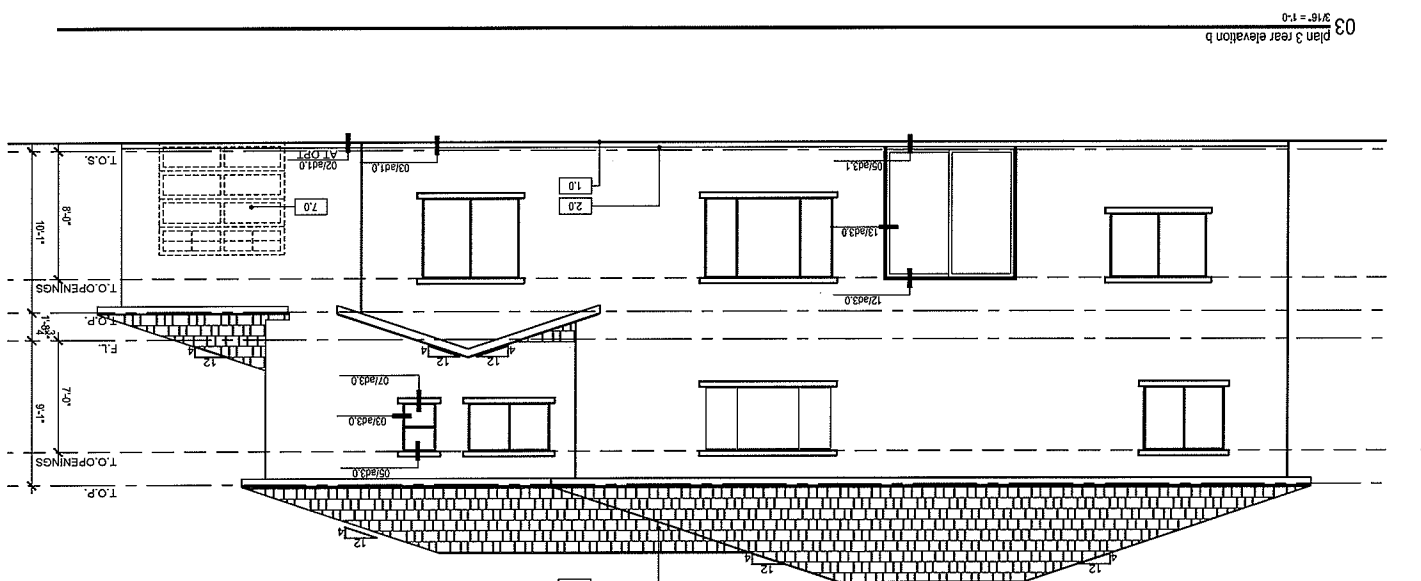
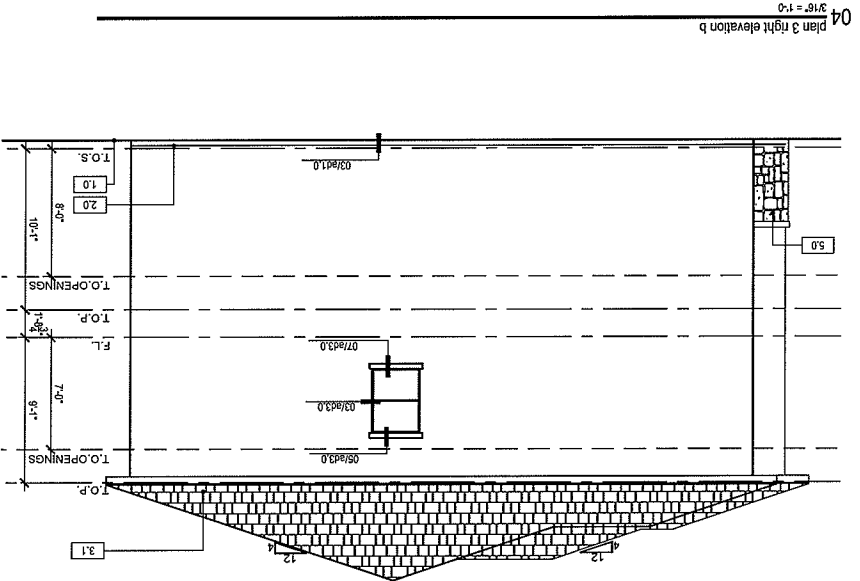
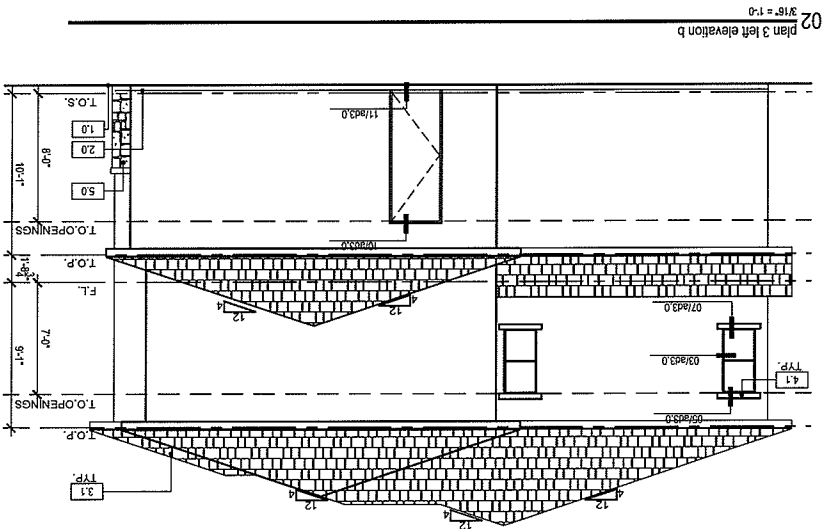


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NO.	DATE	DESCRIPTION
1	09 27 16	PD SUBMITTAL

PLOT DATE: 09 27 16
PROJECT NUMBER: 2015 61
DRAWING: plan 3 elevations
option a
SHEET NUMBER: a2.0

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- elevation key notes
- 1.0 FINISHED GRADE.
 - 2.0 WEEP SCREED.
 - 3.0 CONCRETE 4" ROOF TILE IN COMPLIANCE WITH ESR-1900.
 - 3.1 CONCRETE FLAT ROOF TILE IN COMPLIANCE WITH ESR-1900.
 - 4.0 ONE COAT STUCCO SYSTEM.
 - 4.1 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TBM.
 - 4.2 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TBM.
 - 4.3 1 COAT STUCCO OVER 4" RIGID FOAM TBM.
 - 5.0 OPTIONAL ADHERED STONE VENEER.
 - 6.0 SHUTTER.
 - 7.0 OPTIONAL GARAGE DOOR.
 - 8.0 DECORATIVE FORM ACCENT.
 - 8.1 DECORATIVE METAL AT STUCCO RECESS.

- elevation notes
- 1. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
 - 2. ONLY APPROVED STUCCO MATERIALS AND METHODS WILL BE ACCEPTABLE. SUBMIT SPECIFICATION FOR APPROVAL.
 - 3. ALL STUCCO WALLS AND CEILINGS EXTENDING INTO A SOFFIT WILL BE PROTECTED WITH RATED GYPSUM BOARD PRIOR TO SOFFIT INSTALLATION.
 - 4. DUCT TERMINATION TO OCCUR MINIMUM 10'-0" FROM WINDOW OR DOOR OPENING INTO DWELLING UNIT.
 - 5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
 - 6. REFER TO DETAIL 01A-3.0 FOR TYPICAL WINDOW FLASHING INSTALLATION.
 - 7. ALL BOX COLUMNS AND POP-OUTS SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
 - 8. WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER AT PROVIDE 121 LAYERS OF GRADE 7 BUILDING PAPER AT LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
 - 9. ALL VERTICAL PLASTER SURFACES 7' OR MORE IN DEPTH WILL RECEIVE ICE AND WATER SHIELD WEATHERBOARD.
 - 10. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS. R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. DO NOT ATTIC VENT IN THESE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.

GRAND CANYON AND ALEXANDER

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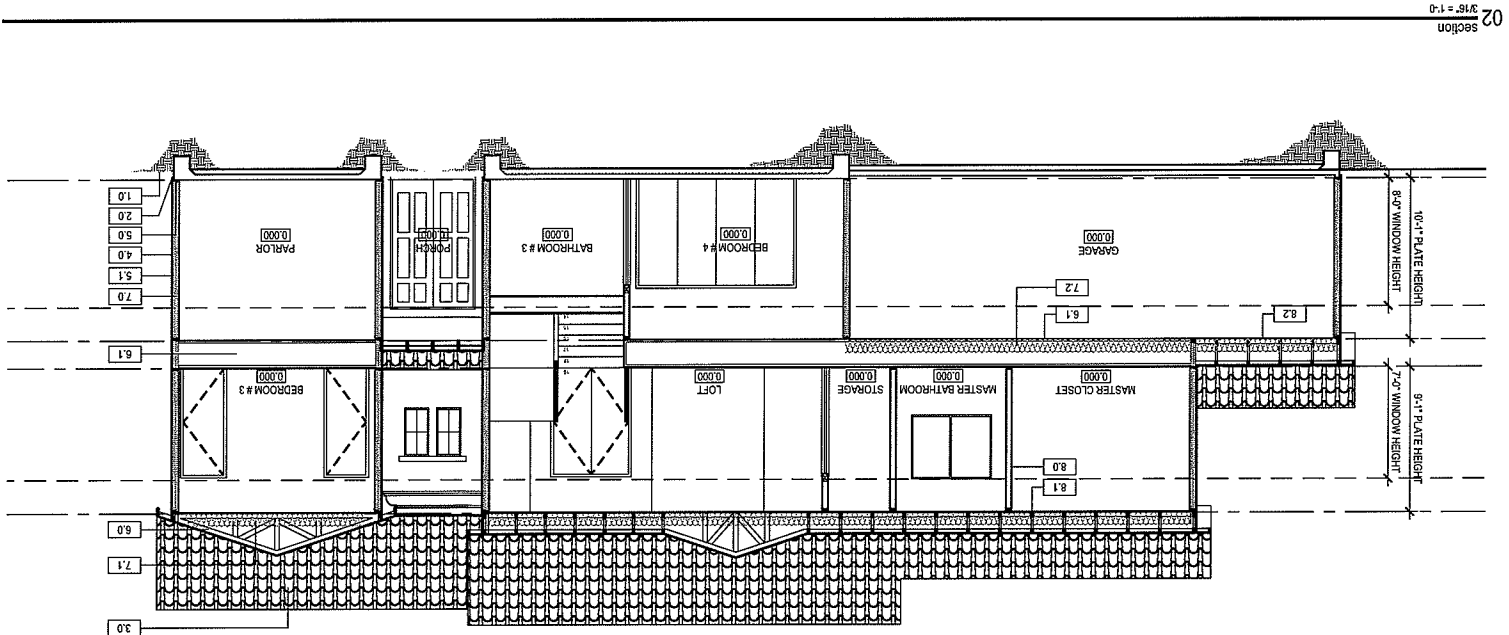
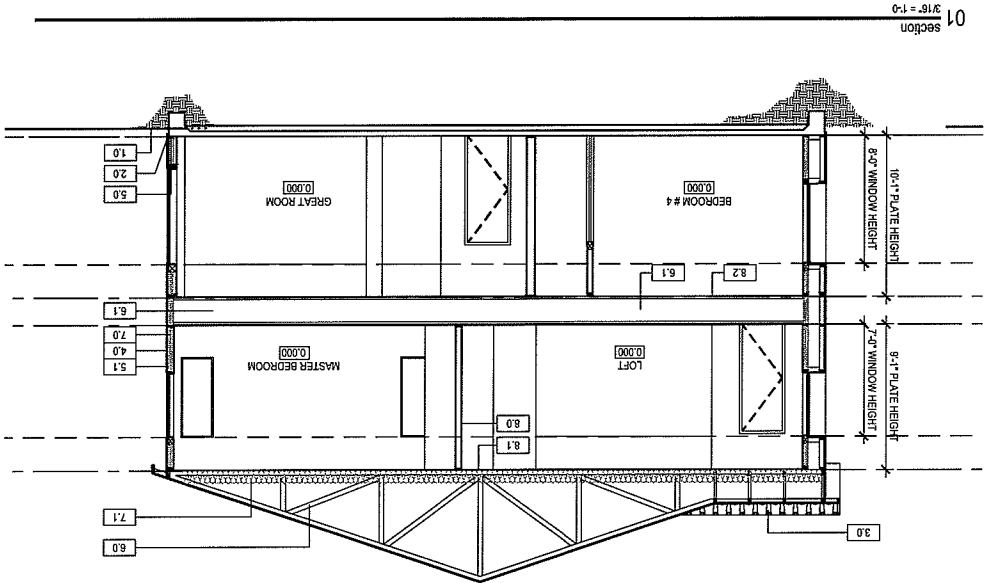
NO.	DATE	DESCRIPTION
1	09 22 16	NO SUBMITTAL

PROJECT NUMBER: 2015 61

PLOT DATE: 09 22 16

DRAWING: plan 3 elevations
option b

SHEET NUMBER: a2.1



section key notes

1. BUILDING SECTIONS ARE FOR THE DEPICTION OF THE BASIC BUILDING DESIGN, INCLUDING THE VERTICAL AND HORIZONTAL SPACE AND DIMENSIONS. THESE BUILDING SECTIONS ARE NOT INTENDED TO BE USED FOR STRUCTURAL ELEMENTS SUCH AS BEAMS, FOOTINGS, GRADE BEAMS, ETC. DESIGN OR LOCATIONS. REFER TO STRUCTURAL DRAWINGS AND ENLARGED DETAILS FOR SPECIFIC DESIGN AND CONSTRUCTION REQUIREMENTS.
2. TOP OF ROOF: MIDPOINT OF ROOF. PLATE HEIGHTS, NATURAL GRADE HEIGHT AND ANY OTHER VERTICAL CONTROL DIMENSIONS SHOWN ON THE SECTIONS OR ELEVATIONS ARE TO BE FIELD VERIFIED BY GENERAL CONTRACTOR WITH A STRONG TIE SECTION OR ROOF FRAMING ELEMENTS. CLIENT IS TO BE NOTIFIED IF THERE ARE ANY DISCREPANCIES OR CONFLICTS WITH PLANNING DEPARTMENT OR HOMEOWNERS ASSOCIATION BUILDING HEIGHTS AND/OR ELEVATION REQUIREMENTS. GENERAL CONTRACTOR IS ERECTED BEFORE LIGHTING AND COSTS OF LOWERING ROOF FRAMING IF STRUCTURE IS ERECTED BEFORE STRING LINE CONFIRMATIONS ARE COMPLETED.
3. PROVIDE INSULATION AS FOLLOWS:
 - EXTERIOR 2X4 WALLS R-13
 - EXTERIOR 2X6 WALLS R-19
 - ROOF R-30
 - RAISED WOOD FLOORS R-19
4. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE BARRIER BETWEEN SPACES AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATION IN ACCORDANCE WITH I.R.C. 602.2:
 - 4.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FLURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - 4.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
 - 4.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
 - 4.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILING
 - 4.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RAIL
 - 4.4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
5. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BARRED JOISTING FRAMING IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE 5/8" RESISTANT CEILING OR INCASED TO 5/8" GYPSUM BOARD. (I.R.C. TABLE R 702.2.5)
6. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION PER IRC.
7. REFER TO FLOOR PLAN FOR CEILING HEIGHTS, DIMENSIONS AND SPECIFICATIONS.

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NO.	DATE	DESCRIPTION
09 27 16	09 27 16	BD SUBMITTAL

PLOT DATE:

PROJECT NUMBER:

2015 61

DRAWING:

plan 3 sections

SHEET NUMBER:

a3.0

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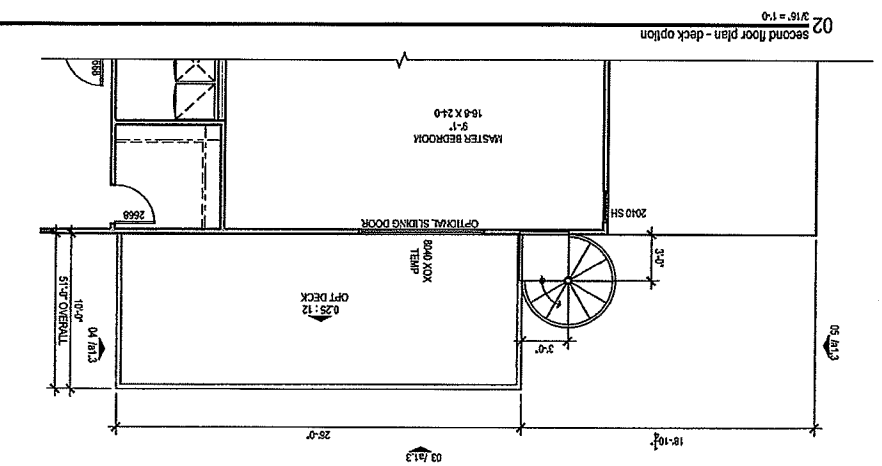
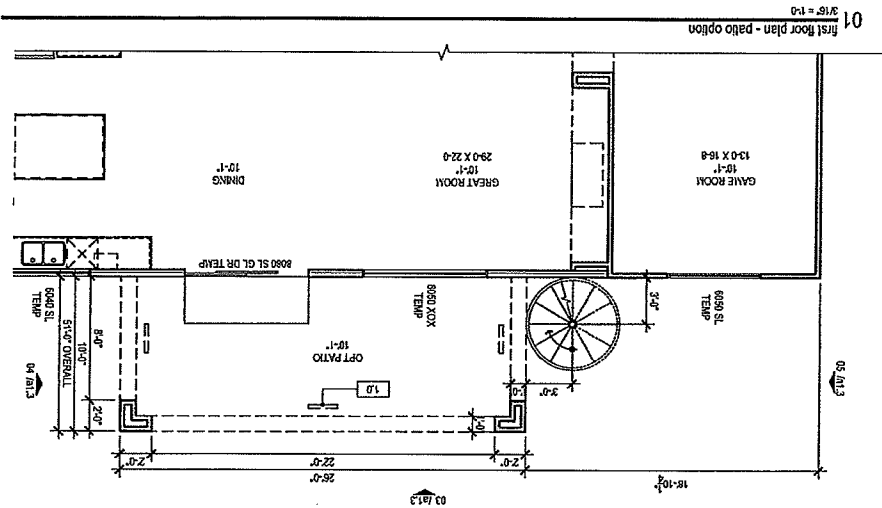
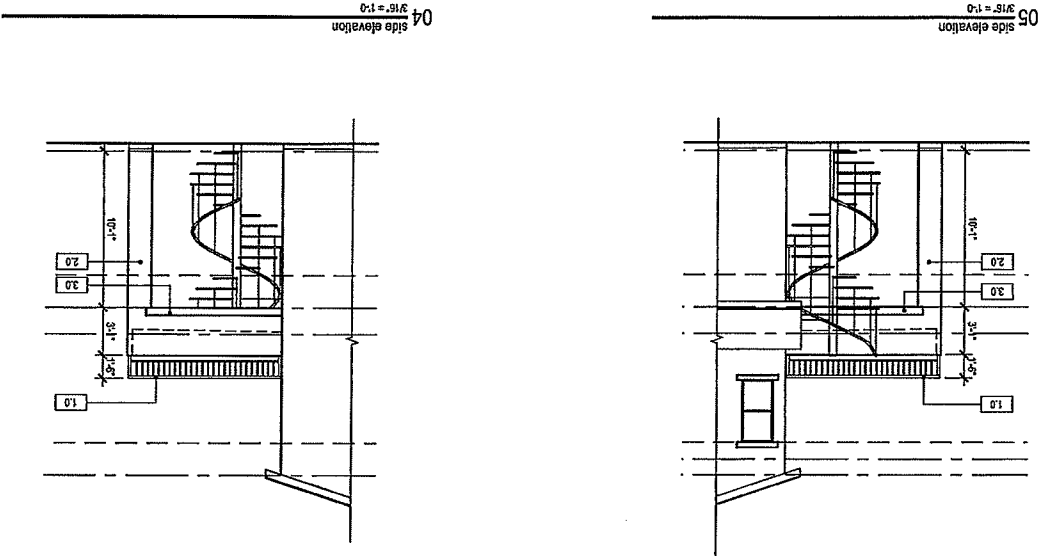
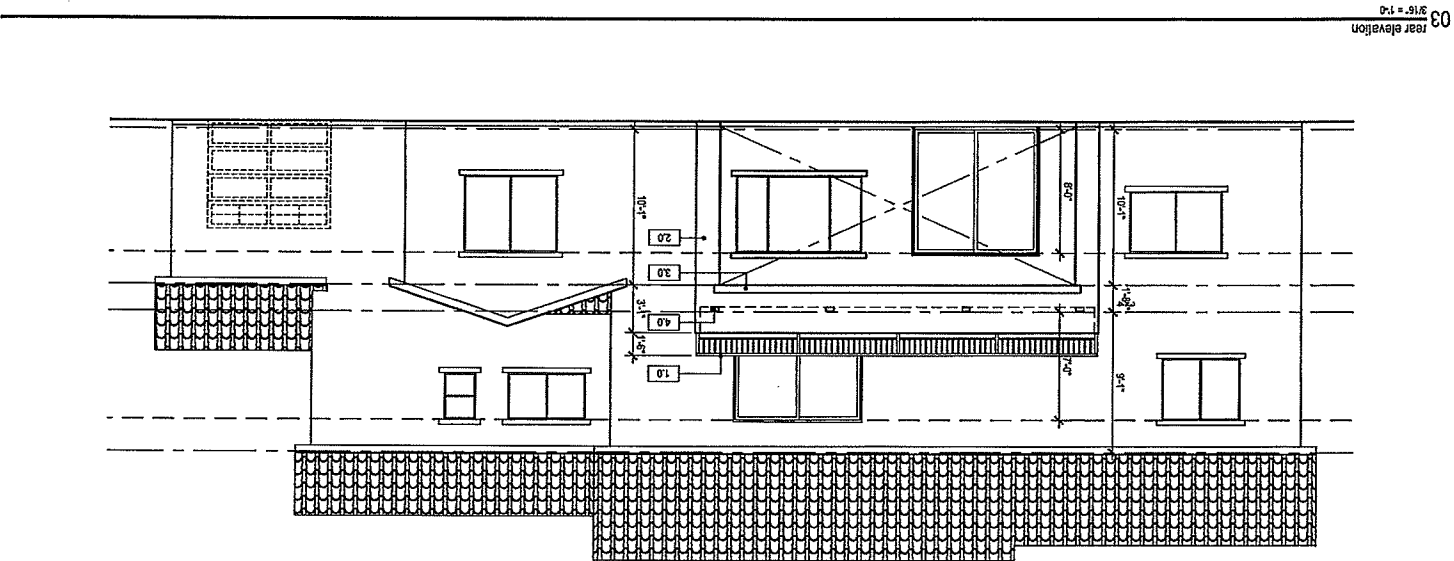
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- elevation key notes
- 1.0 18" HIGH METAL WALLING
 - 2.0 ONE COAT STUCCO OR 1/2" LATH OR FOAM INSULATION BOARD
 - 3.0 ONE COAT STUCCO OR HIGH X 2" DEEP RIGID FOAM TRIM
 - 4.0 THROUGH - WALL SCUPPER

- floor plan key notes
- 1.0 22" x 3" STEEL SCOFFIT VENT IN CEILING ABOVE - CONSTRUCTION METALS BKG. MODEL #SY223 OR EQUAL
 - 2.0 24 GA. GALV. METAL SCUPPER, 6" W x 3" H

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01	09/27/16	RD SUBMITTAL
02	09/27/16	RD SUBMITTAL
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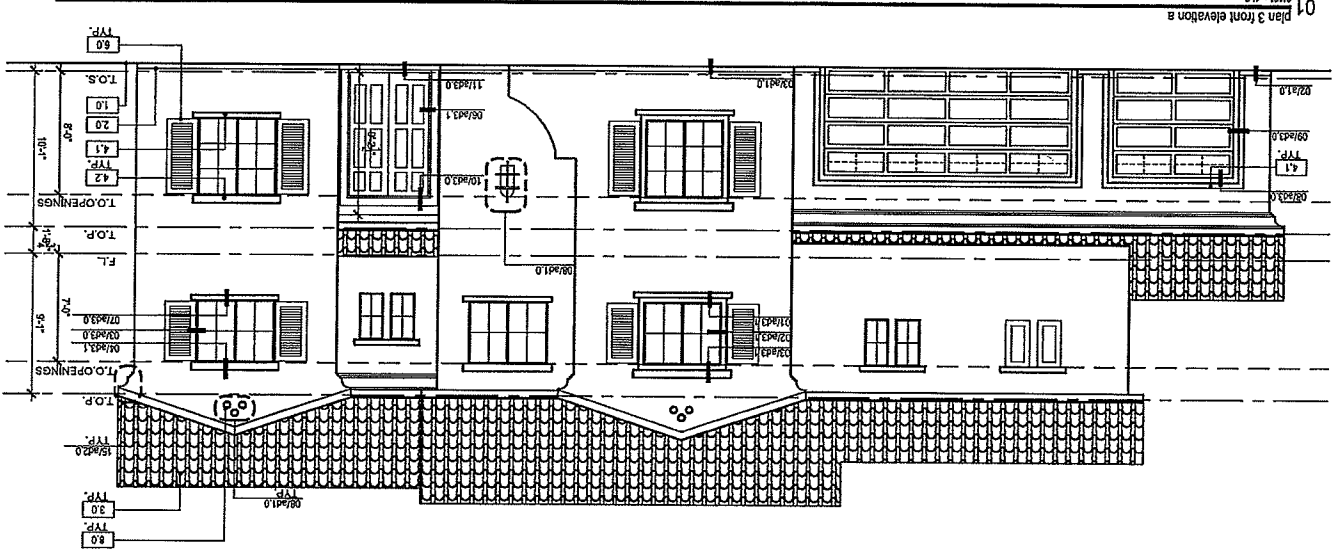
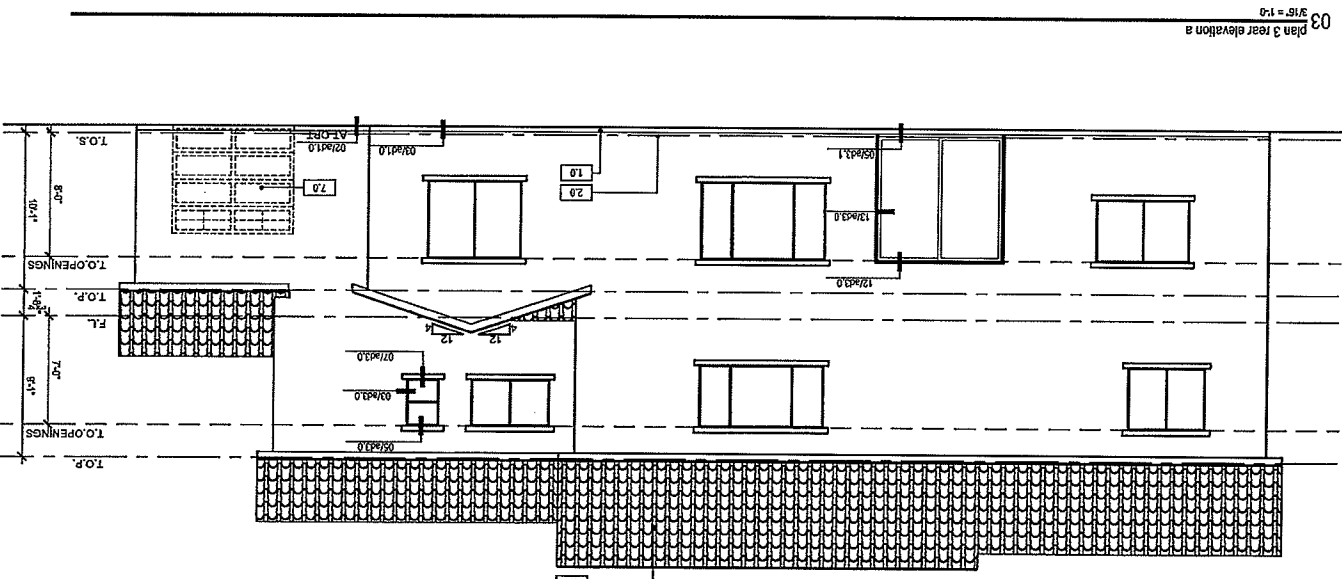
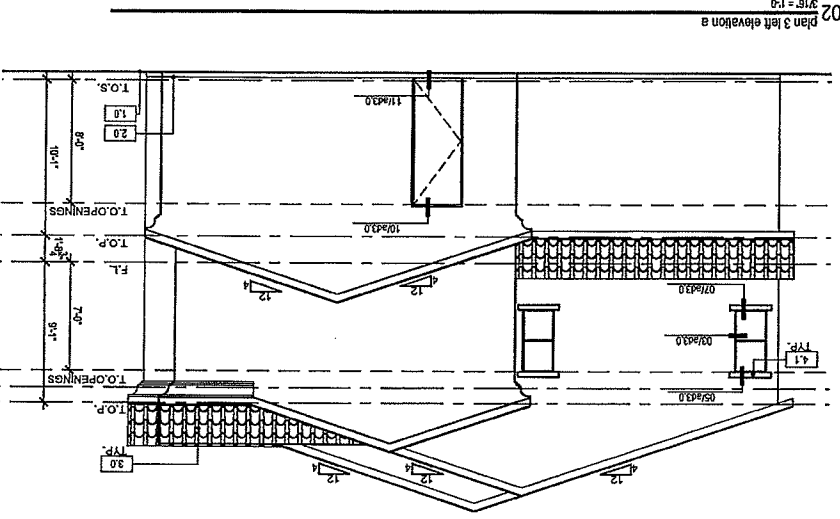
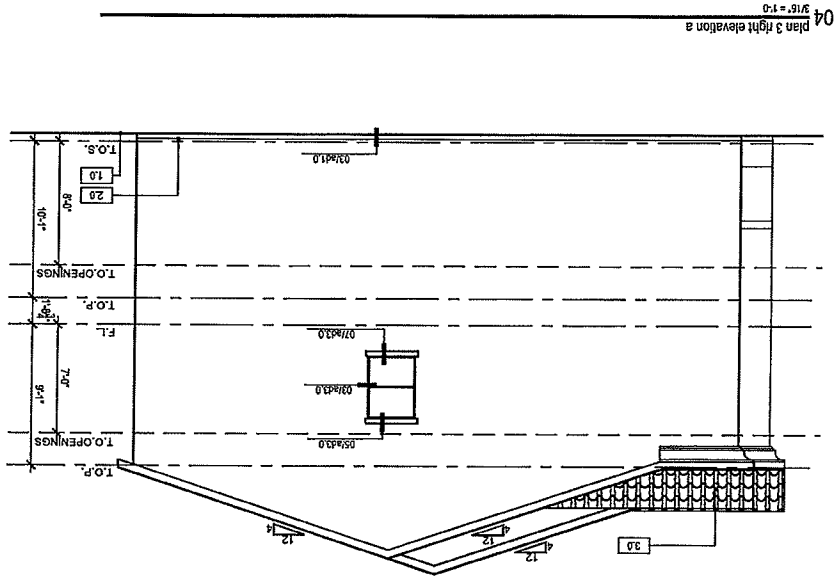
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GRAND CANYON AND ALEXANDER
ADAVEN HOMES
LAS VEGAS, NV

a1.3



- elevation key notes
1. FINISHED GRADE.
 2. WEEP SCREED.
 3. CONCRETE 5" ROOF TILE IN COMPLIANCE WITH ESR-1900.
 - 4.1 ONE COAT STUCCO SYSTEM.
 - 4.2 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TRIM.
 - 4.3 ONE COAT STUCCO OVER 6" WIDE RIGID FOAM TRIM.
 - 4.4 ONE COAT STUCCO OVER 1" RIGID FOAM WRAP.
 - 5.0 OPTIONAL ADHESED STONE VENEER.
 - 6.0 SHUTTER.
 - 7.0 OPTIONAL GARAGE DOOR.
 - 8.0 DECORATIVE FOAM ACCENT.
 - 8.1 DECORATIVE METAL AT STUCCO RECESS.

- elevation notes
1. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING STREET FRONTATION TO BE PLACED LEGIBLY FROM THE ADJACENT LOT.
 2. ONLY APPROVED STUCCO MATERIALS AND METHODS SHALL BE ACCEPTABLE. SUBMIT SPECIFICATION FOR APPROVAL.
 3. ALL STUCCO WALLS AND CEILING EXTENDING INTO A SOFFIT SHALL BE PRE-BOARDED WITH RATED GYPSUM BOARD PRIOR TO SOFFIT INSTALLATION.
 4. DUCT TERMINATION TO OCCUR WITHIN 10'-0" FROM WINDOW OR DOOR OPENING INTO DWELLING UNIT.
 5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
 6. REFER TO DETAIL D140-3.0 FOR TYPICAL WINDOW FLASHING INSTALLATION.
 7. ALL BOX COLUMNS AND POP-OUTS SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
 8. PROVIDE 1/2" LANTERNS OR GRADE "V" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
 9. ALL VERTICAL PLASTER SURFACES 3" OR MORE IN DEPTH SHALL RECEIVE ICE AND WATER SHIELD WEATHERBOARD LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
 10. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS. PROVIDE INSULATION EQUAL TO R-30 IN ATTIC. ATTIC INSULATION TO BE FILL TO TOP OF SHEATHING IN PLAT ROOF CONDITIONS. DO NOT ATTIC VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.

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GRAND CANYON AND ALEXANDER ADAVEN HOMES LAS VEGAS, NV

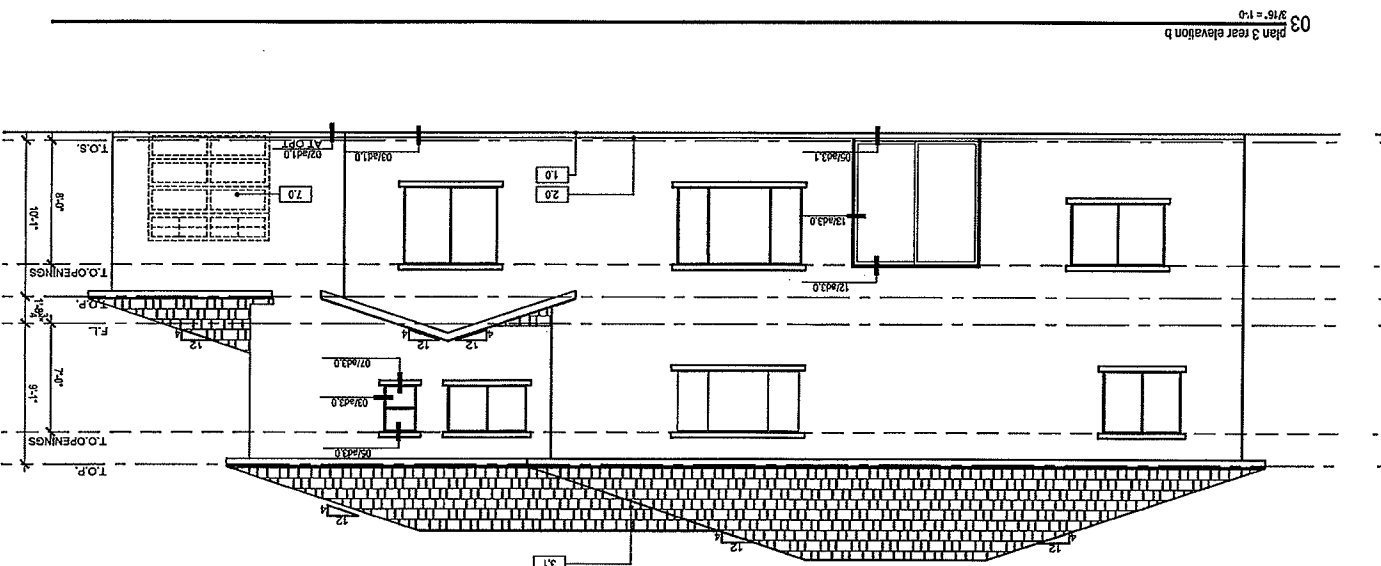
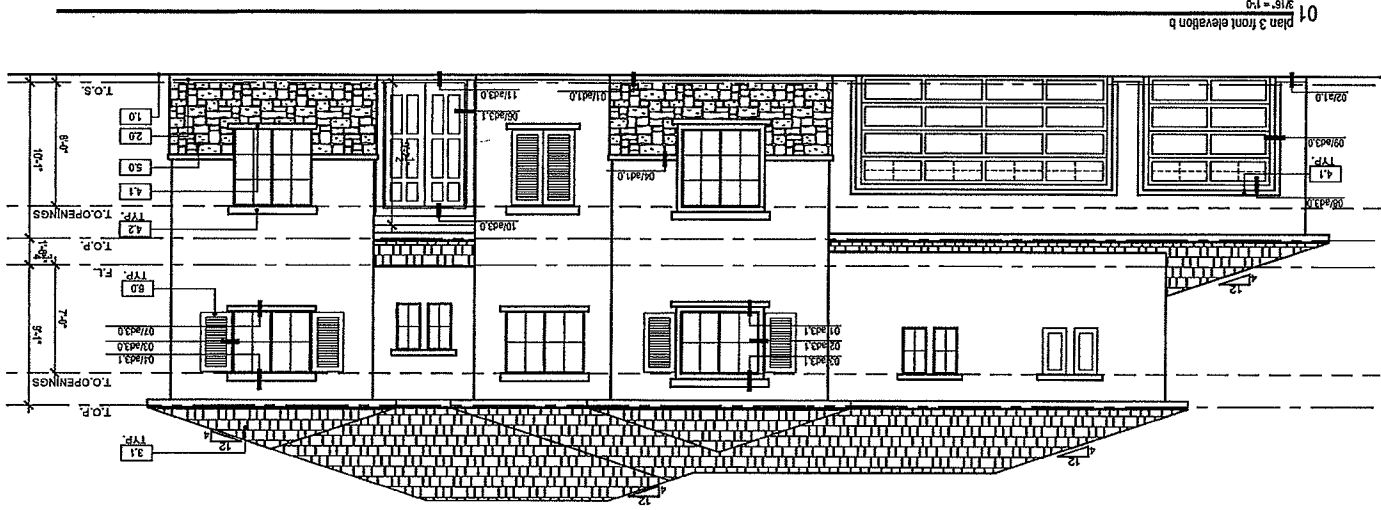
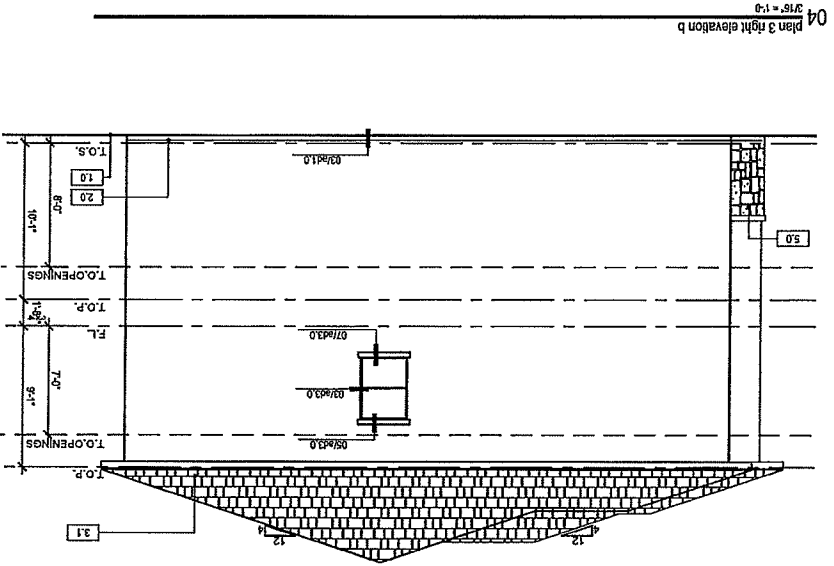
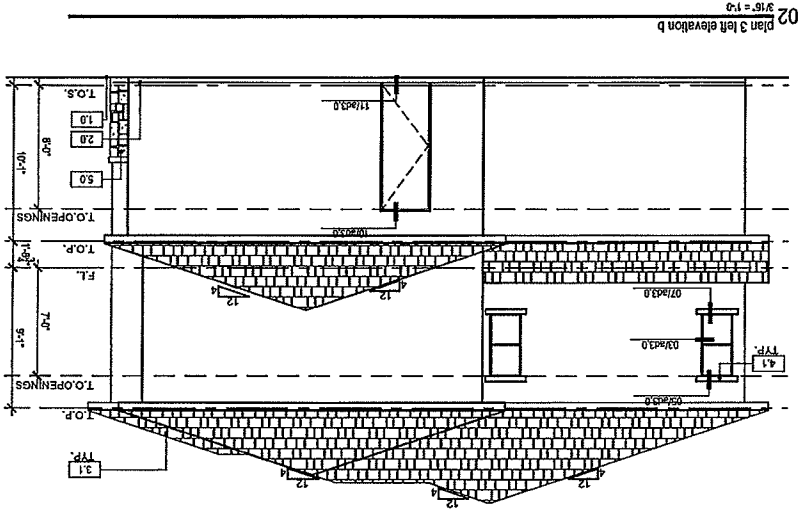
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PLOT DATE: 09-27-16
PROJECT NUMBER: 2015-61
DRAWING: plan 3 elevations
option a

SHEET NUMBER:

a2.0

RECEIVED
OCT 24 2016
City of Las Vegas
Dept of Planning



- elevation notes
1. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING STREET FRONTING TO BE PLACED ABOVE THE MAIN STREET FRONTING.
 2. ONLY APPROVED STUCCO MATERIALS AND METHODS WILL BE ALLOWED.
 3. ALL STUD WALLS AND CEILING EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYPSUM BOARD PRIOR TO SOFFIT INSTALLATION.
 4. DUCT TERMINATION TO OCCUR MINIMUM 12" FROM WINDOW OR DOOR OPENING INTO DWELLING UNIT.
 5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
 6. REFER TO DETAIL 010-10 FOR TYPICAL WINDOW FLASHING INSTALLATION.
 7. ALL BOX COLUMNS AND POP OUTS SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
 8. PROVIDE (2) LAYERS OF GRADE 5" BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
 9. ALL RECESSED AND WATER SHED WEATHERBOARD WILL RECEIVE MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
 10. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS. R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FLEED TO TOP OF SHEATHING IN PLAT ROOF CONDITIONS. DO NOT ATTIC VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.

- elevation key notes
- 1.0 FINISHED GRADE.
 - 2.0 WEEP SCREED.
 - 3.0 CONCRETE 8" ROOF TILE IN COMPLIANCE WITH ESR-1900.
 - 4.0 ONE COAT STUCCO SYSTEM.
 - 4.1 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TRAIL.
 - 4.2 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TRAIL.
 - 4.3 ONE COAT STUCCO OVER 1" RIGID FOAM WRAP.
 - 5.0 OPTIONAL ADHERED STONE VENEER.
 - 6.0 SHUTTER.
 - 7.0 OPTIONAL GARAGE DOOR.
 - 8.0 DECORATIVE METAL AT STUCCO RECESS.

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PROJECT NUMBER: 2015 61

DRAWING: plan 3 elevations

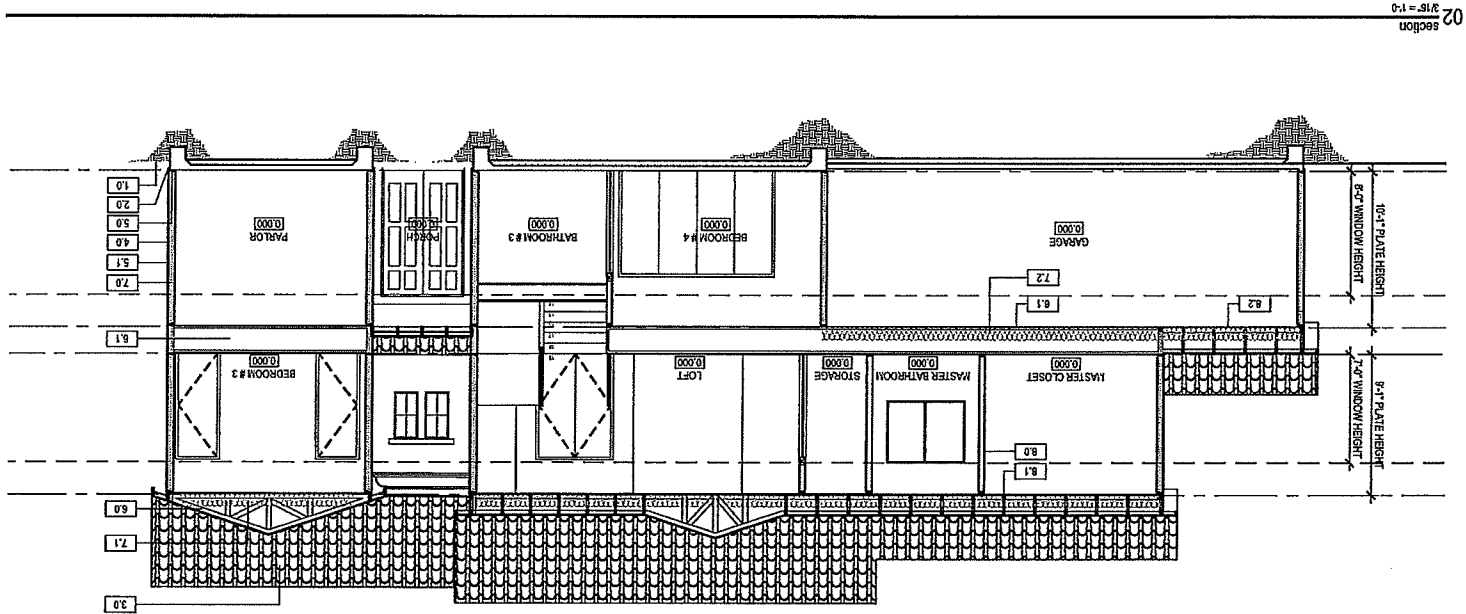
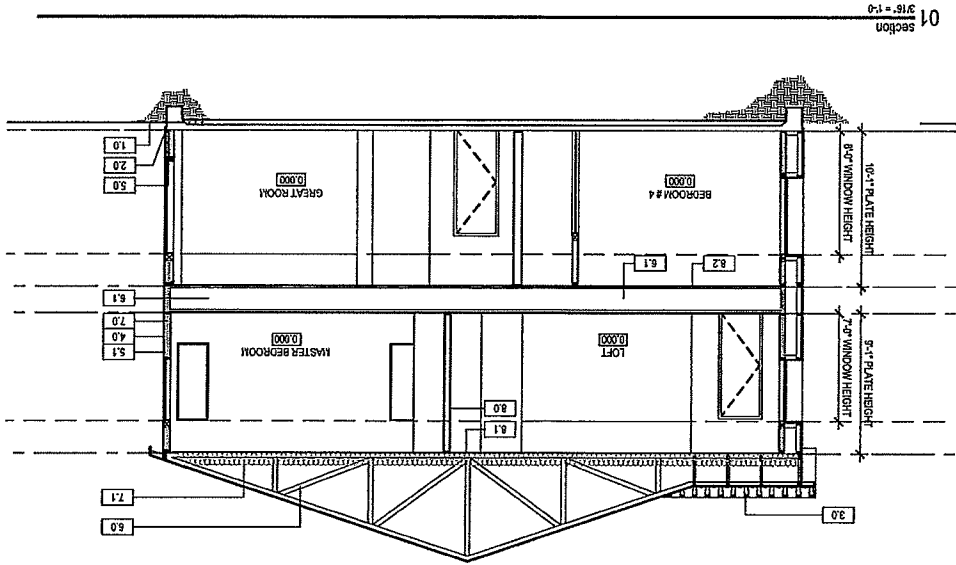
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ADAMEN HOMES
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- section key notes

1. BUILDING SECTIONS ARE FOR THE DEFINITION OF THE BASIC BUILDING DESIGN, INCLUDING THE VERTICAL AND HORIZONTAL SPACES AND DIMENSIONS. THESE BUILDING SECTIONS ARE NOT INTENDED TO BE USED FOR STRUCTURAL ELEMENTS SUCH AS BEAMS, FOOTINGS, GRADE BEAMS, ETC. DESIGN OR LOCATIONS. REFER TO STRUCTURAL DRAWINGS AND ENGINEER DETAILS FOR SPECIFIC DESIGN AND CONSTRUCTION REQUIREMENTS.

2. TOP OF RIDGE, MECHANICAL PLATE HEIGHTS, NATURAL GRADE HEIGHT AND ANY OTHER VERTICAL CONTROL DIMENSION SHOWN ON THE SECTIONS OR ELEVATIONS ARE TO BE FIELD VERIFIED BY GENERAL CONTRACTOR WITH A STRING LINE BEFORE ERECTION OF ROOF FRAMING ELEMENTS. CLERK IS TO BE MONITORED IF THERE ARE ANY DISCREPANCIES OR CONFLICTS WITH PLANNING DEPARTMENT OR DIMENSIONING ASSOCIATION BUILDING CODES. COSTS OF LOWERING ROOF FRAMING IF STRUCTURE IS ERECTED BEFORE STAGING LINE CONSTRUCTION ARE COMPLETED.

3. PROVIDE INSULATION AS FOLLOWS:
 - * EXTERIOR 2X6 WALLS R-19
 - * EXTERIOR 2X6 WALLS R-19
 - * ROOFS R-30
 - * RAISED WOOD FLOORS R-19

4. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICALLY AND HORIZONTALLY AND TO ROOM AND EFFECTIVE BARRIER BETWEEN STORAGE AND BETWEEN TOP STORY AND ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATION IN ACCORDANCE WITH IBC, 602.2:
 - * CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FLARED SPACES & PARALLEL ROOFS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - 4.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - 4.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
 - 4.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, CHOPPED CEILING AND COVE CEILING.
 - 4.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - 4.4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

5. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILING FLARED AT 24" ON CENTER AND WHERE VENTS, DUCTS, TESTING RUNS, TO BE APPLIED, OR WHEREN IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE 5/8" RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD, (I.R.C. TABLE R 702.3.5)

6. ALL VERTICAL OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIVISION PER IBC.

7. REFER TO FLOOR PLAN FOR CEILING HEIGHTS, DIMENSIONS AND SPECIFICATIONS.
- section notes

1. BUILDING SECTIONS ARE FOR THE DEFINITION OF THE BASIC BUILDING DESIGN, INCLUDING THE VERTICAL AND HORIZONTAL SPACES AND DIMENSIONS. THESE BUILDING SECTIONS ARE NOT INTENDED TO BE USED FOR STRUCTURAL ELEMENTS SUCH AS BEAMS, FOOTINGS, GRADE BEAMS, ETC. DESIGN OR LOCATIONS. REFER TO STRUCTURAL DRAWINGS AND ENGINEER DETAILS FOR SPECIFIC DESIGN AND CONSTRUCTION REQUIREMENTS.

2. TOP OF RIDGE, MECHANICAL PLATE HEIGHTS, NATURAL GRADE HEIGHT AND ANY OTHER VERTICAL CONTROL DIMENSION SHOWN ON THE SECTIONS OR ELEVATIONS ARE TO BE FIELD VERIFIED BY GENERAL CONTRACTOR WITH A STRING LINE BEFORE ERECTION OF ROOF FRAMING ELEMENTS. CLERK IS TO BE MONITORED IF THERE ARE ANY DISCREPANCIES OR CONFLICTS WITH PLANNING DEPARTMENT OR DIMENSIONING ASSOCIATION BUILDING CODES. COSTS OF LOWERING ROOF FRAMING IF STRUCTURE IS ERECTED BEFORE STAGING LINE CONSTRUCTION ARE COMPLETED.

3. PROVIDE INSULATION AS FOLLOWS:
 - * EXTERIOR 2X6 WALLS R-19
 - * EXTERIOR 2X6 WALLS R-19
 - * ROOFS R-30
 - * RAISED WOOD FLOORS R-19

4. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICALLY AND HORIZONTALLY AND TO ROOM AND EFFECTIVE BARRIER BETWEEN STORAGE AND BETWEEN TOP STORY AND ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATION IN ACCORDANCE WITH IBC, 602.2:
 - * CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FLARED SPACES & PARALLEL ROOFS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - 4.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - 4.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
 - 4.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, CHOPPED CEILING AND COVE CEILING.
 - 4.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - 4.4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

5. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILING FLARED AT 24" ON CENTER AND WHERE VENTS, DUCTS, TESTING RUNS, TO BE APPLIED, OR WHEREN IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE 5/8" RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD, (I.R.C. TABLE R 702.3.5)

6. ALL VERTICAL OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIVISION PER IBC.

7. REFER TO FLOOR PLAN FOR CEILING HEIGHTS, DIMENSIONS AND SPECIFICATIONS.

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