CORRECTED LETTER

November 21, 2016

Mr. Andrew Acuna
Summit Grand Canyon, LLC
3425 Cliff Shadows Parkway, Suite #110
Las Vegas, Nevada 89129

RE: DVN-67391 - ADMINISTRATIVE DEVIATION
ADMINISTRATIVE CYCLE – NOVEMBER 2016

Dear Mr. Acuna:

The Department of Planning has administratively ***APPROVED*** a request for an Administrative Deviation TO ALLOW A REAR YARD SETBACK OF 28.48 FEET WHERE 30 FEET IS REQUIRED on 0.24 acres at 4017 Turquoise Falls Street (APN 138-06-413-008), R-D (Single Family Residential-Restricted) Zone, Ward 4 (Anthony), has been considered administratively by the Department of Planning staff.

This action by the Department of Planning staff on November 17, 2016 is final unless a written appeal is filed with the Director of the Department of Planning within ten days of the date of this letter.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Current Planning

SG:clb

c.c.: Ms. Janna Filipe
Taney Engineering
6030 South Jones Boulevard
Las Vegas, Nevada 89118

CITY OF LAS VEGAS
495 S. MAIN STREET
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING

DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
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/city of las vegas

November 17, 2016

Mr. Andrew Acuna
Summit Grand Canyon, LLC
3425 Cliff Shadows Parkway, Suite #110
Las Vegas, Nevada 89129

RE: DVN-67391 - ADMINISTRATIVE DEVIATION
ADMINISTRATIVE CYCLE – NOVEMBER 2016

Dear Mr. Acuna:

Your request for an Administrative Deviation TO ALLOW A REAR YARD SETBACK OF 28.48 FEET WHERE 30 FEET IS REQUIRED on 0.24 acres at 4017 Turquoise Falls Street (APN 138-06-413-008), R-D (Single Family Residential-Restricted) Zone, Ward 4 (Anthony), has been considered administratively by the Department of Planning staff.

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Las Vegas, Nevada 89118

City of Las Vegas

AGENDA MEMO - PLANNING

ADMINISTRATIVE REVIEW DATE: NOVEMBER 2016
DEPARTMENT: PLANNING
ITEM DESCRIPTION: APPLICANT: SUMMIT HOMES OF NEVADA, LLC - OWNER: SUMMIT GRAND CANYON, LLC

** STAFF RECOMMENDATION(S)**

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
DVN-67391	Staff APPROVES.	

** NOTIFICATION**

NEIGHBORHOOD ASSOCIATIONS NOTIFIED N/A

NOTICES MAILED N/A

JB

Staff Report Page One
November 2016 - Administrative Review Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

The applicant is requesting an Administrative Deviation to allow a rear yard setback of 28.48 feet where 30 feet is required at 4017 Turquoise Falls Street.

ANALYSIS

The subject property is located within an R-D (Single Family Residential-Restricted) Zoning District. The property is subject to Title 19.06.065 Development Standards for building placement. The applicant's request represents less than a 5% deviation to the setback and extends less than 15 feet parallel to the property line from which the setback is measured, per Title 19.16.120 meeting the minimum requirements for consideration as an Administrative Deviation.

FINDINGS (DVN-67391)

The request represents less than 10% of the required setback, meeting the minimum requirements for consideration for an Administrative Deviation. The Department of Planning approves the request, as it is minor in nature and will not negatively impact the adjacent residential properties. The Department of Planning administratively approves this request.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc	
11/21/01	The City Council approved a request for an Annexation [A-0006-99(A)] application, which petitioned to annex property generally located at the northwest corner of Alexander Road and Grand Canyon Drive. The Planning Commission recommended approval. The annexation became effective on 11/30/01.
03/02/05	The City Council approved a request for a Rezoning (ZON-5796) from U(Undeveloped) [DR (Desert Rural Density Residential) General Plan designation] to R-PD2 (Residential Planned Development - 2 units per acre) on 5.0 acres adjacent to the northwest corner of Grand Canyon Drive and Alexander Road. The Planning Commission and staff recommended approval of the request.

JB

Related Relevant City Actions by P&D, Fire, Bldg., etc	
03/02/05	The City Council approved a request for a Site Development Plan Review (SDR-5797) for a proposed nine lot single-family residential development on 5.0 acres adjacent to the northwest corner of Grand Canyon Drive and Alexander Road. The Planning Commission and staff recommended approval of the request.
05/12/05	The Planning Commission approved a request for a Tentative Map (TMP-6416) for a nine-lot single-family residential subdivision on 5.0 acres adjacent to the northwest corner of Alexander Road and Grand Canyon Drive. Staff recommended approval of the request.
11/07/07	The City Council approved a request for a Rezoning (ZON-24252) from U (Undeveloped) [DR (Desert Rural Density Residential) Master Plan Designation] to: R-PD2 (Residential Planned Development - 2 Units per Acre) on 5.0 acres adjacent to the northwest corner of Alexander Road and Grand Canyon Drive. The Planning Commission and staff recommended approval of the request.
	The City Council approved a request for a Site Development Plan Review (SDR-24253) for a nine-lot single-family residential development on 5.0 acres adjacent to the northwest corner of Alexander Road and Grand Canyon Drive. The Planning Commission and staff recommended approval of the request.
12/20/07	The Planning Commission approved a request for a Tentative Map (TMP-25273) for a nine-lot single-family residential subdivision on 5.0 acres at the northwest corner of Alexander Road and Grand Canyon Drive. Staff recommended approval of the request.
09/16/15	The City Council approved a request for a General Plan Amendment (GPA-59527) from DR (Desert Rural Density Residential) to R (Rural Density Residential) at 9704 West Alexander Road. The Planning Commission and Staff recommended approval of the request.
	The City Council approved a request for a Rezoning (ZON-59529) from R-PD2 (Residential Planned Development - 2 Units Per Acre) to R-D (Single Family Residential-Restricted) at 9704 West Alexander Road. The Planning Commission and Staff recommended approval of the request.
	The City Council approved a request for a Tentative Map (TMP-59532) for a 12-lot Single-Family Residential Subdivision on 5.00 acres at 9704 West Alexander Road. The Planning Commission and Staff recommended approval of the request.

Staff Report Page Three
November 2016 - Administrative Review Meeting

Most Recent Change of Ownership	
10/29/15	A deed was recorded for a change in ownership.

Related Building Permits/Business Licenses
No building permits found for this property.

Pre-Application Meeting
A pre-application meeting was not held, nor was one held.

Neighborhood Meeting
A neighborhood meeting was not held, nor was one held.

Details of Application Request	
Site Area	
Net Acres	0.24

Surrounding Property	***Existing Land Use Per Title 19.12***	***Planned or Special Land Use Designation***	***Existing Zoning District***
Subject Property	Undeveloped	R (Rural Density Residential)	R-D (Single Family Residential-Restricted)
North	Undeveloped	R (Rural Density Residential)	R-D (Single Family Residential-Restricted)
South	Undeveloped	R (Rural Density Residential)	R-D (Single Family Residential-Restricted)
East	Undeveloped	R (Rural Density Residential)	R-D (Single Family Residential-Restricted)
West	Undeveloped	RL (Residential Low) – Clark County	R-E (Rural Estates Residential) – Clark County

JB

Master Plan Areas	***Compliance***
No Applicable Master Plan Area	N/A
Special Purpose and Overlay Districts	***Compliance***
No Applicable Special Purpose or Overlay Districts	N/A
Other Plans or Special Requirements	***Compliance***
Trails	Y
Las Vegas Redevelopment Plan Area	N/A
Project of Significant Impact (Development Impact Notification Assessment)	N/A
Project of Regional Significance	N/A

DEVELOPMENT STANDARDS

Pursuant to Title 19.06.065 Development Standards, the following standards apply:

Standard	***Required/Allowed***	***Provided***	***Compliance***
Min. Lot Width	80 Feet	98 Feet	Y
Min. Setbacks • Rear	30 Feet	28.48 Feet	N*

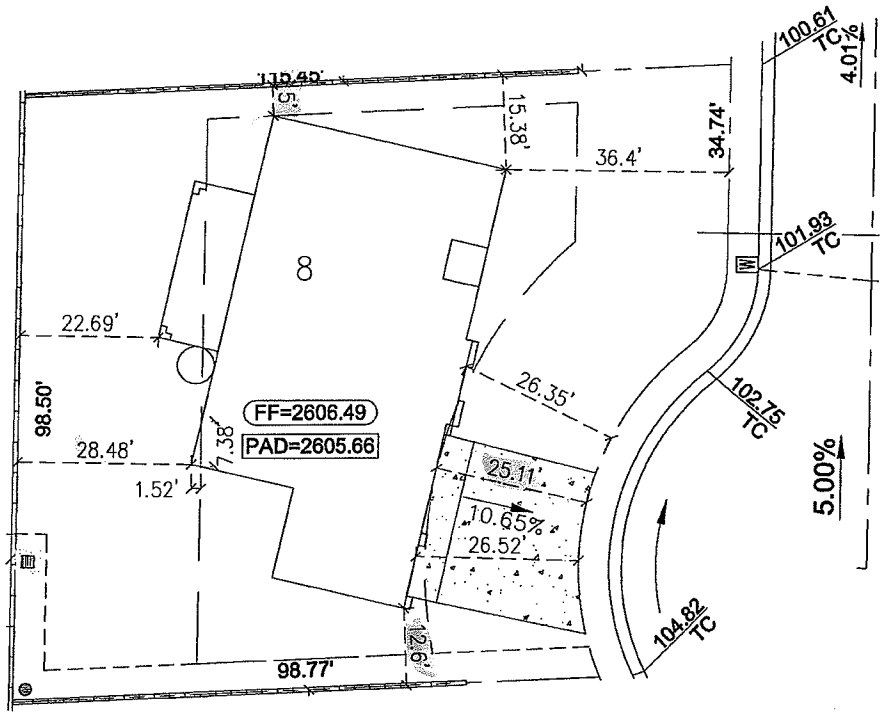
*Administrative Deviation (DVN-67391) has been requested.

JB

TANEY ENGINEERING
6030 S. JONES BOULEVARD
LAS VEGAS, NV 89118
(702) 362-8844 FAX: (702) 362-5233
EST. 2000

NORTH
SCALE: 1"=30'

PLAN 3



RECEIVED
OCT 24 2016
Dept of Planning
City of Las Vegas

DVN-67391

GRAND CANYON & ALEXANDER LOT 8 SITE PLAN

DATE: 10/21/16
JOBNO:
PAGE: 1 OF 1

TANEY ENGINEERING
6030 S. JONES BOULEVARD
LAS VEGAS, NV 89118
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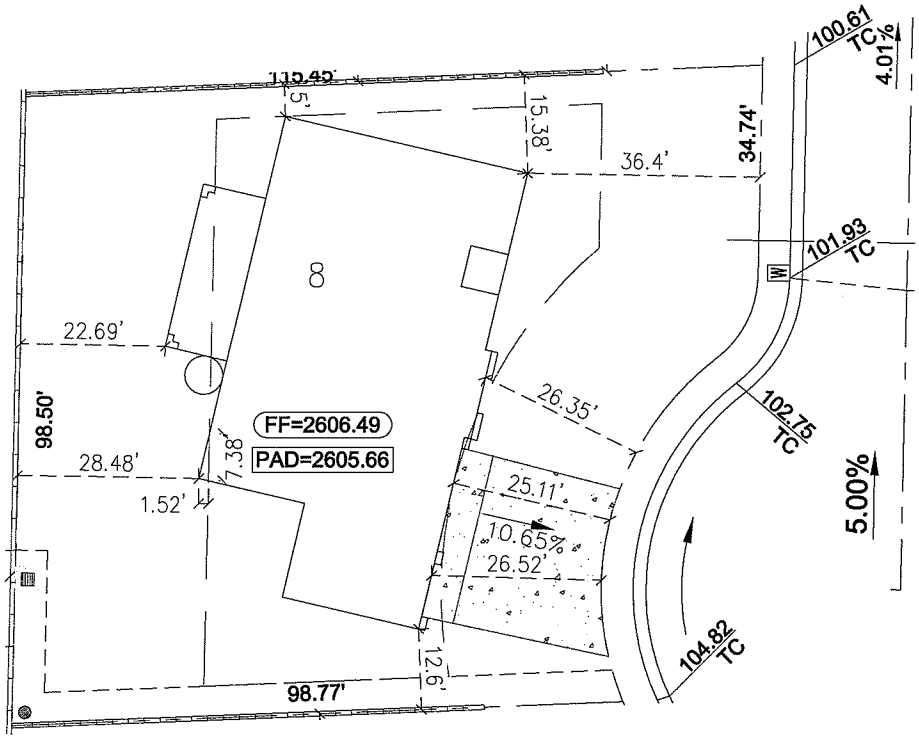

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DVN-67391
11/2016 ADMIN

GRAND CANYON & ALEXANDER LOT 8 SITE PLAN

DATE: 10/21/16
JOBNO:
PAGE: 1 OF 1

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM

Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

DVN-67391 - ADMINISTRATIVE DEVIATION - ADMINISTRATIVE - APPLICANT: SUMMIT HOMES OF NEVADA, LLC - OWNER: SUMMIT GRAND CANYON, LLC *- For possible action on a request for an Administrative Deviation TO ALLOW A REAR YARD SETBACK OF 28 FEET WHERE 30 FEET IS REQUIRED on 0.24 acres at 4017 Turquoise Falls Street (APN 138-06-413-008), R-D (Single Family Residential-Restricted) Zone, Ward 4 (Anthony).*

MINOR REVIEW ADMINISTRATIVE MEETING: ***NOVEMBER 15, 2016***

PLANNING SUPERVISOR: ***STEVE GEBEKE*** ☒ ***ADMINISTRATIVE***

Comments Due: ***ASAP***

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to ***Carman Burney (cburney@lasvegasnevada.gov)****, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.*

LIST COMMENTS BELOW:

THIS ITEM WILL BE CONSIDERED ADMINSTRATIVELY AND WILL NOT APPEAR ON A PLANNING COMMISSION AGENDA

DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Administrative Deviation

Project Address (Location) Grand Canyon & Alexander 4017 Turquoise Falls St.

Project Name Grand Canyon & Alexander **Proposed Use** _____

Assessor's Parcel #(s) 138-06-401-006 / 138-06-413-008 **Ward #** _____

General Plan: existing _____ proposed _____ **Zoning:** existing R-D proposed _____

Commercial Square Footage _____ **Floor Area Ratio** _____

Gross Acres _____ **Lots/Units** _____ **Density** _____

Additional Information TMP-59535; ZON-59529

PROPERTY OWNER Summit Grand Canyon, LLC **Contact** Andrew Acuna

Address 3425 Cliff Shadows Pkwy, Suite 110 **Phone:** 7023658588 **Fax:** 7029989885

City Las Vegas **State** NV **Zip** 89129

E-mail Address andrewa@summithomesnv.com

APPLICANT Summit Homes of Nevada, LLC **Contact** Andrew Acuna

Address 3425 Cliff Shadows Pkwy, Suite 110 **Phone:** 7023658588 **Fax:** 7029989885

City Las Vegas **State** NV **Zip** 89129

E-mail Address andrewa@summithomesnv.com

REPRESENTATIVE Taney Engineering **Contact** Janna Felipe

Address 6030 S. Jones Blvd. **Phone:** 7023628844 **Fax:** 7023625233

City Las Vegas **State** NV **Zip** 89118

E-mail Address jannaf@taneycorp.com

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Property Owner Signature* _____

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Nathan White

Subscribed and sworn before me

This 18th day of October, 20 16.

Notary Public in and for said County and State

LINDA SARKISSIAN-SHOBERT
Notary Public State of Nevada
No. 11-4405-1
My Appt. Exp. March 15, 2019

FOR DEPARTMENT USE ONLY

Case #	DVN-67391
Meeting Date:	Admin
Total Fee:	$300.00
Date Received:*	10/24/16
Received By:	

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

RECEIVED
OCT 24 2016
Dept of Planning
City of Las Vegas

Revised 03/28/16

DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: DVN-67391 APN: 138-06-401-006

Name of Property Owner: Summit Grand Canyon, LLC

Name of Applicant: Summit Homes of Nevada, LLC / Andrew Acuna

Name of Representative: Taney Engineering / Janna Felipe

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ **Yes** ☒ **No**

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: _____

Print Name: Nathan White

Subscribed and sworn before me

This 18th day of October, 2016

_____

Notary Public in and for said County and State

LINDA SARKISSIAN-SHOBERT
Notary Public State of Nevada
No. 11-4405-1
My Appt. Exp. March 15, 2019

RECEIVED

OCT 24 2016

Dept of Planning
City of Las Vegas

Revised 03/28/16

TANEY ENGINEERING
6030 SOUTH JONES BLVD.
LAS VEGAS, NV 89118
TELEPHONE: 702-362-8844
FAX: 702-362-5233

October 24, 2016

City of Las Vegas
Department of Planning
333 N. Rancho Drive
Las Vegas, NV 89106

RE: Grand Canyon & Alexander – Administrative Deviation Justification Letter
LOT 8 - APN: 138-06-401-006

To Whom It May Concern:

Taney Engineering, on behalf of Summit Grand Canyon, LLC, is respectfully submitting justification for an administrative deviation application.

Lot 8: the rear building setback is required to be 30'. At the south westerly corner of the proposed building, we are at 28.48'. We would like to ask for an administrative deviation of the rear setback of 1.52' since we are only encroaching for 7.38' of the entire building width.

We are hopeful that this letter clearly describes the project and the intent of the proposed development. If you have any questions or require any additional information please call 702-362-8844

Sincerely,
TANEY ENGINEERING

Brian Myers, P.E.
Project Manager

DVN-67391
11/2016 ADMIN

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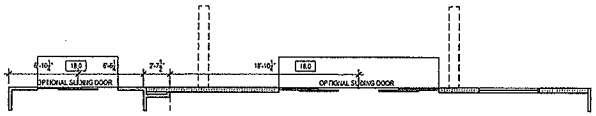
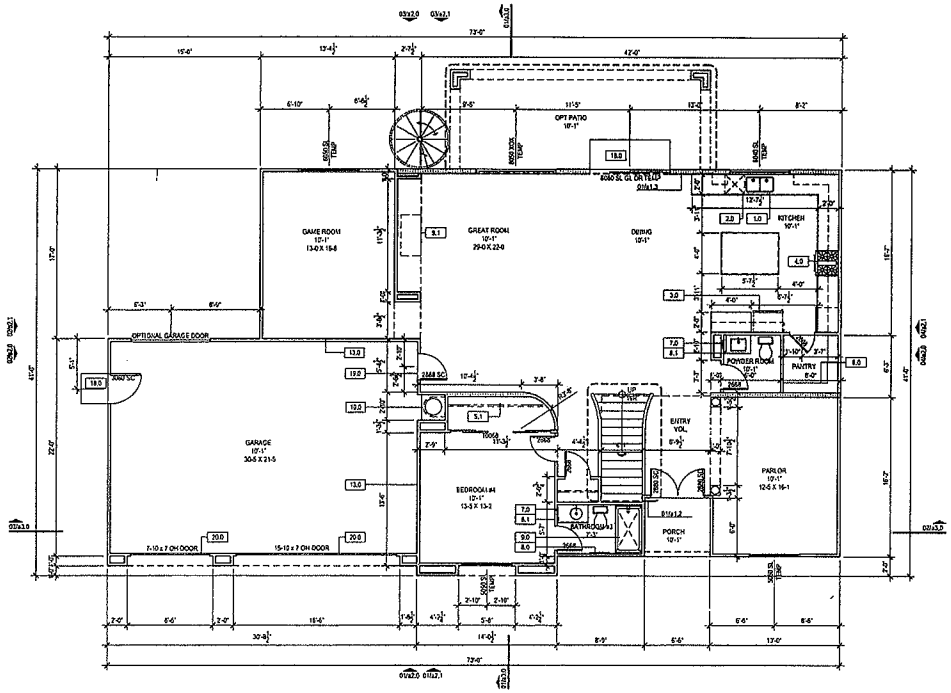
Dept of Planning
City of Las Vegas



02 optional sliding door
3/16" = 1'-0



01 first floor plan
3/16" = 1'-0

DVN-67391
11/2016 ADMIN

floor plan key notes

1.0 33 X 21 DOUBLE SINK WITH GARBAGE DISPOSAL.
2.0 DISHWASHER (24" W. X 24" D. IN AIR GAP). VERIFY DIMENSIONS WITH MANUFACTURER.
3.0 39" WIDE CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE-MAKER).
4.0 30" GAS RANGE WITH HOOD, LIGHT AND FAN ABOVE.
5.0 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
5.1 SHELF & POLE.
6.0 PANTRY 10' 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
7.0 RECESSED MEDICINE CABINET.
8.0 TOWEL BAR. PROVIDE 2X8 BLOCKING @ +40" A.F.F..
8.1 TOWEL RING. PROVIDE 2X8 BLOCKING @ +44" A.F.F..
9.0 32" X 60" TUB / SHOWER COMBO
9.1 OPTIONAL 4' LINEAR FIREPLACE: KHOLVP500 HARDIAS DIRECT VENT. INSTALL PER MANUFACTURER SPECIFICATION.
9.2 DARCY 11242 TUB & SHOWER SUITE.
9.3 DARCY 42" X 60" TUB
9.4 42" x 60" SHOWER: PREFABRICATED SHOWER PAN. FINISH WALLS W/ TILE OVER ½" FIBER CEMENT BACKER BD TO 72" HIGH MIN.
9.5 TEMPERED GLASS SHOWER ENCLOSURE. FINISH WALLS W/ TILE OVER ½" CEMENT BACKER BOARD TO 72" HIGH MINIMUM AT WALK-IN SHOWER.
10.0 WATER HEATER ON 18" PLATFORM W/ SEISMIC STRAPS. PROVIDE PRESSURE RELIEF VALVE W/ DRAIN TO TO OUTSIDE. COMBUSTION AIR AND VENT TO OUTSIDE.
10.1 3" DIA. PIPE COLUMN, CONCRETE FILLED, EXTENDING 36" ABOVE SLAB AND 24" INTO FOOTING. SEE DETAIL 07/A01.0.
11.0 22" X 30" ATTIC ACCESS MIN. W/ 30" MIN. CLEAR HEADROOM. PROVIDE SWITCHED LIGHT, 110V OUTLET AND 24" PLATFORM TO FAU WITH 30" WORKSPACE.
11.1 AC CONDENSER ON CONCRETE PAD. (VERIFY SIZE AND LOCATION)
12.0 WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS. (RECESSED GARAGE BOX IN GARAGE FIRE RATED WALL SHALL BE METAL). PROVIDE DRAIN PAN W/ DRAIN @ SECOND FLOOR LOCATION.
12.1 DRYER SPACE: PROVIDE DRYER VENT TO OUTSIDE 14' MAX. LENGTH WITH 2 ELBOWS MAX. OR U.N.O. PER MECHANICAL DRAWINGS.
13.0 SEPARATION REQUIREMENT - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN ½" GYP. BD. APPLIED TO THE GARAGE SIDE.
GARAGE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY MIN. ½" TYPE X GYP. BD. OR EQUAL. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYP. BD.
13.1 ½" GYPSUM BOARD AT WALLS AND CEILING AT USEABLE SPACE UNDER STAIRS.
13.2 DRAFTSTOP AT FLOOR/CEILING ASSEMBLY (R.R.C. R50.12) - REFER TO DETAIL 09/A04.0.
14.0 LOW WALL @ 34 ½" A.F.F.. VERIFY HEIGHT WITH CABINET SUPPLIER.
15.0 36" H. DRYWALL GUARDRAIL - 1/2" DRYWALL OVER 2X WOOD FRAMING
16.0 HANDRAIL @ 34" A.F.F..
17.0 SOFFIT AT 7'-1" A.F.F. TO BOTTOM OF FRAMING
18.0 CONCRETE LANDING: MINIMUM DIMENSIONS TO BE WIDTH OF DOOR, 3'-0" DEEP IN DIRECTION OF TRAVEL, SLOPED AT .25/12 (2%) AWAY FROM DOOR. PER 2013 NC 311, LANDINGS SHALL BE 1-1/2" MAX. BELOW TOP OF SLAB AT ENTRY; ALL OTHER LANDINGS SHALL BE 7-3/4" MAX. BELOW TOP OF SLAB.
19.0 SOLID CORE WOOD DOOR, MIN. 1 3/8" THICK, EQUIPPED W/ A SELF-CLOSING DEVICE.
20.0 GARAGE DOORS SHALL BE TESTED IN ACCORDANCE WI EITHER ASTM E330 OR ANSI/DASMA 108 AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.
21.0 1-HR RATED WALL ASSEMBLY IN COMPLIANCE WITH ICC-ESR 2729 SECTION 4.4.2 SECOND ASSEMBLY.

floor plan notes

1. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISHED FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQ FT WITH THE MINIMUM OPENABLE WIDTH OF 20" AND THE MINIMUM OPENABLE HEIGHT OF 24". THE EGRESS/EXIT DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS (U.B.C. R310.1).
2. SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH (U.P.C. 411.6)
3. ALL NEW GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED SHOWING THE U-VALUE.
4. ALL GLAZING SHALL COMPLY WITH U.B.C. AND LOCAL ORDINANCES. REFER TO THE ENERGY COMPLIANCE STATEMENT FOR ALL GLAZING REQUIREMENTS.
5. WINDOWS ADJACENT TO TUBS, SHOWERS AND TUB/SHOWERS, STAIRWAYS OR ADJACENT TO AND WITHIN 24" OF EITHER EDGE OF DOOR SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC PER U.R.C. GLASS TO BE ETCHED.
6. ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
7. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. HOT ATTIC TO VENT IN THOSE CONDITIONS. VERIFY WITH EVERY COMPLIANCE STATEMENT.
8. PROVIDE A MINIMUM OF 10 U.L. VAPOR BARRIER UNDER ALL POURED IN PLACE CONCRETE FLOOR SLAB WHERE SLAB SERVES AS THE FLOOR FOR INTERIOR ENVIRONMENT.
9. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
10. FINISH THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATE EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR REMAINING ABOVE AND A CEILING REMAINING BELOW DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CONDITIONS (U.R.C. R302.12).
CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
10.1. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN WEB OR PERFORATED MEMBERS.
11. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATION IN ACCORDANCE WITH (R.C. R602).
11.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
11.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
11.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
11.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILINGS.
11.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
11.4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
11.5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, COMPLY WITH (U.R.C. R1003.19).
12. A GAS OR WOOD-BURNING FIREPLACE, A CAUTION SIGN THAT SAYS "CAUTION: DAMPER MUST BE PERMANENTLY BLOCKED OPEN IF GAS IS SUPPLIED TO THIS FIREPLACE." THE LETTERS MUST BE A MINIMUM 3/8" INCH IN HEIGHT.
13. SKYLIGHTS SHALL COMPLY WITH (U.R.C. R308.6).
14. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BASED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD. (U.R.C. TABLE R 702.3.5)
15. UNLESS OTHERWISE PERMITTED BY U.R.C. R316.5 OR R316.6, FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER OF A 15MMUM 1/2" GYPSUM WALL BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER MATERIAL (U.R.C. R316.4).

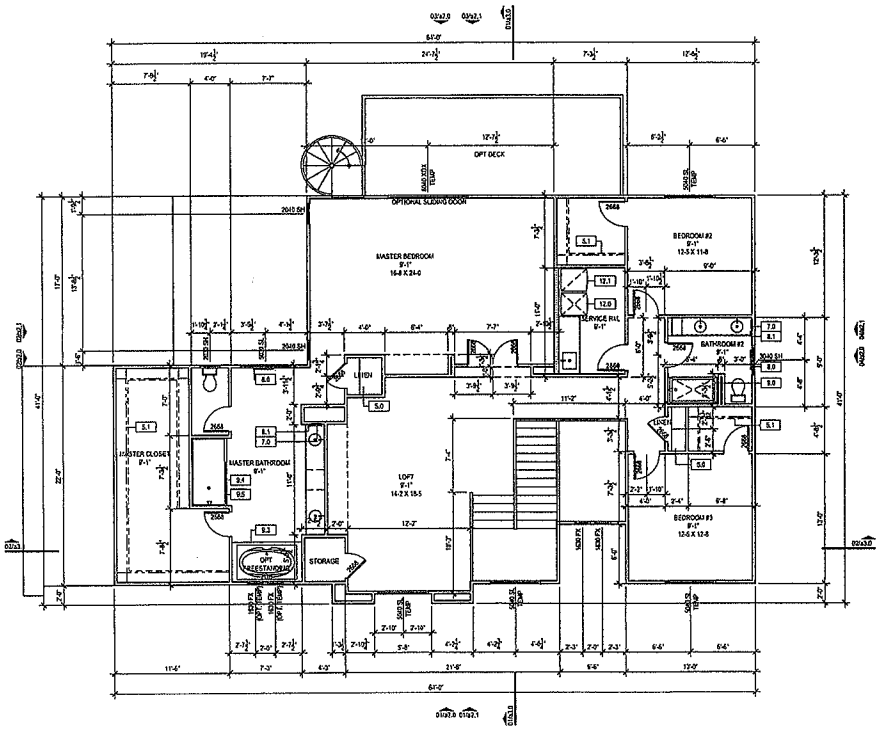
ARCHITECT:
studio g ARCHITECTURE
1070 WHITNEY MESA DRIVE
HENDERSON, NEVADA 89014
P: 702 802 8300
F: 702 802 8301
www.studiogarchitecture.com

STAMP: MICHAEL A. GIANNINI REGISTERED ARCHITECT NO. 6416 STATE OF NEVADA
DATE EXPIRES JUNE 30

GRAND CANYON AND ALEXANDER
ADAVEN HOMES
LAS VEGAS, NV

NO.	DATE	DESCRIPTION
	09.27.16	BD SUBMITTAL

PLOT DATE: 09.27.16
PROJECT NUMBER: 2015.61
DRAWING: plan 3 first floor plan and option
SHEET NUMBER: a1.0



02 second floor plan
3/16" = 1'-0"

DVN-67391
11/2016 ADMIN

floor plan key notes

1.0 32 X 21 DOUBLE SINK WITH GARBAGE DISPOSAL.
2.0 DISHWASHER (24" W., X 24" D. W/ AIR GAP). VERIFY DIMENSIONS WITH MANUFACTURER.
3.0 36" WIDE CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE-MAKER).
4.0 30" GAS RANGE WITH HOOD, LIGHT AND FAN ABOVE.
5.0 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
5.1 SHELF & POLE.
6.0 PANTRY W/ 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
7.0 RECESSED MEDICINE CABINET.
8.0 TOWEL BAR. PROVIDE 2X6 BLOCKING @ +40" A.F.F..
8.1 TOWEL RING. PROVIDE 2X6 BLOCKING @ +44" A.F.F..
9.0 32" X 60" TUB / SHOWER COMBO
9.1 OPTIONAL 4" LINEAR FIREPLACE: KNOLVP500 VARIOUS DIRECT VENT. INSTALL PER MANUFACTURER SPECIFICATION.
9.2 DARCY 10342 TUB & SHOWER SUITE.
9.3 DARCY 42" X 60" TUB
9.4 42" x 60" SHOWER: PREFABRICATED SHOWER PAN, FINISH WALLS W/ TILE OVER ½" FIBER CEMENT BACKER BD TO 72" HIGH MIN.
9.5 TEMPERED GLASS SHOWER ENCLOSURE. FINISH WALLS W/ TILE OVER ½" CEMENT BACKER BOARD TO 72" HIGH MINIMUM AT WALK-IN SHOWER.
10.0 WATER HEATER ON 18" PLATFORM W/ SEISMIC STRAPS. PROVIDE PRESSURE RELIEF VALVE W/ DRAIN TO TO OUTSIDE. COMBUSTION AIR AND VENT TO OUTSIDE.
10.1 2" DIA. PIPE COLUMN, CONCRETE FILLED, EXTENDING 36" ABOVE SLAB AND 24" INTO FOOTING. SEE DETAIL 07A01.0.
11.0 22" X 30" ATTIC ACCESS W/ W. 30" MIN. CLEAR HEADROOM. PROVIDE SWITCHED LIGHT, 110V OUTLET AND 24" PLATFORM TO FAU WITH 30" WORKSPACE.
11.1 AC CONDENSER ON CONCRETE PAD. (VERIFY SIZE AND LOCATION)
12.0 WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS. (RECESSED GARAGE BOX IN GARAGE FIRE RATED WALL SHALL BE UNIQUE). PROVIDE DRAIN PAN W/ DRAIN @ SECOND FLOOR LOCATION.
12.1 DRYER SPACE: PROVIDE DRYER VENT TO OUTSIDE 14' MAX. LENGTH WITH 2 ELBOWS MAX. OR U.N.O. PER MECHANICAL DRAWINGS.
13.0 SEPARATION REQUIREMENT - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN ½" GYP. BD. APPLIED TO THE GARAGE SIDE.
GARAGES SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN ½" TYPE X GYP. BD. OR EQUAL. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYP. BD.
13.1 ½" GYPSUM BOARD AT WALLS AND CEILING AT USEABLE SPACE UNDER STAIRS.
13.2 DRAFTSTOP AT FLOOR / CEILING ASSEMBLY (R.R.C. R50.12) - REFER TO DETAIL 06A01.0.
14.0 LOW WALL @ 34 ½" A.F.F.. VERIFY HEIGHT WITH CABINET SUPPLIER.
15.0 34" H. DRYWALL GUARDRAIL - 1/2" DRYWALL OVER 2X WOOD FRAMING
16.0 HANDRAIL @ 34" A.F.F..
17.0 SOFFIT AT 7'-1" A.F.F. TO BOTTOM OF FRAMING
18.0 CONCRETE LANDING: MINIMUM DIMENSIONS TO BE WIDTH OF DOOR, 2'-0" DEEP IN DIRECTION OF TRAVEL, SLOPED AT .25/FT (2%) AWAY FROM DOOR. PER 2012 IRC 311, LANDINGS SHALL BE 1-1/2" MAX. BELOW TOP OF SLAB AT ENTRY; ALL OTHER LANDINGS SHALL BE 7-3/4" MAX. BELOW TOP OF SLAB.
19.0 SOLID CORE WOOD DOOR, MIN. 1 3/8" THICK, EQUIPPED W/ A SELF-CLOSING DEVICE.
20.0 GARAGE DOORS SHALL BE TESTED IN ACCORDANCE W/ EITHER ASTM E330 OR ANSI/DASMA 108 AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.
21.0 1-HR RATED WALL ASSEMBLY IN COMPLIANCE WITH ICC-ESR 2729 SECTION 4.4.2 SECOND ASSEMBLY.

floor plan notes

1. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISHED FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQ FT WITH THE MINIMUM OPERABLE WIDTH OF 20" AND THE MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS (R.R.C. R310.1).
2. SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH (U.P.C. 411.0)
3. ALL IGDV GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED SHOWING THE U-VALUE.
4. ALL GLAZING SHALL COMPLY WITH I.R.C. AND LOCAL ORDINANCES. REFER TO THE ENERGY COMPLIANCE STATEMENT FOR ALL GLAZING REQUIREMENTS.
5. WINDOWS ADJACENT TO TUBS, SHOWERS AND TUB/SHOWERS, STAIRWAYS OR ADJACENT TO AND WITHIN 24" OF EITHER EDGE OF DOOR SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC PER I.R.C. GLASS TO BE ETCHED.
6. ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
7. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. HOT ATTIC TO VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.
8. PROVIDE A MINIMUM OF 10 MIL. VAPOR BARRIER UNDER ALL POURED IN PLACE CONCRETE FLOOR SLAB WHERE SLAB SERVES AS THE FLOOR FOR INTERIOR EARTHEN GRADE.
9. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
10. WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATE EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CONDITIONS (I.R.C. R302.12).
CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
10.1. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN WEB OR PERFORATED MEMBERS.
11. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATION IN ACCORDANCE WITH I.R.C. R602.8:
11.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS:
11.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
11.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
11.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILINGS.
11.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
11.4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
11.5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, COMPLY WITH (I.R.C. R1003.19).
12. A GAS OR WOOD-BURNING FIREPLACE. A CAUTION SIGN THAT SATES "CAUTION: DAMPER MUST BE PERMANENTLY BLOCKED OPEN IF GAS IS SUPPLIED TO THIS FIREPLACE." THE LETTERS MUST BE A MINIMUM 3/8" INCH IN HEIGHT.
13. SKYLIGHTS SHALL COMPLY WITH (I.R.C. R308.6).
14. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BASED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD. (I.R.C. TABLE R702.3.5)
15. UNLESS OTHERWISE PERMITTED BY I.R.C. R316.5 OR R316.6, FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER OF A MINIMUM 1/2" GYPSUM WALL BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER MATERIAL (I.R.C. R316.4).

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DATE EXPIRES 06-30-2017

GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

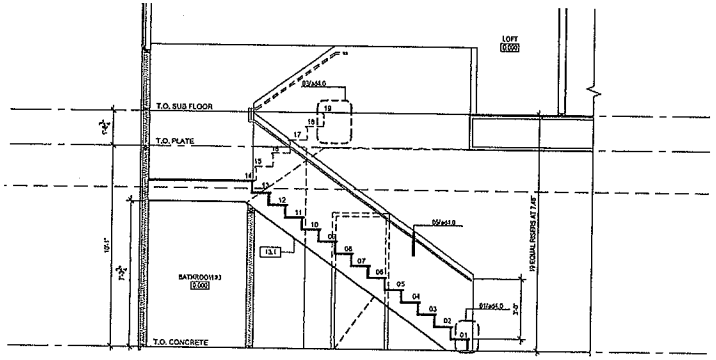
PLOT DATE: 09 27 16

PROJECT NUMBER: 2015 61

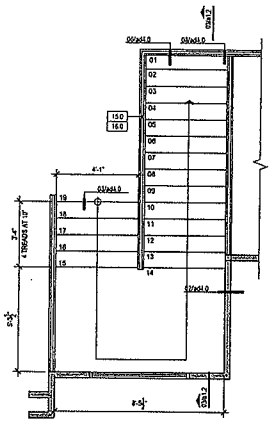
DRAWING:
plan 3 second floor plan

RECEIVED
OCT 24 2016
Dept of Planning
City of Las Vegas

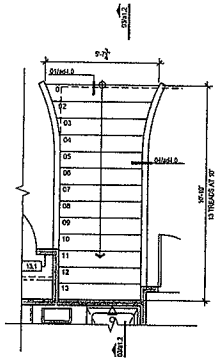
SHEET NUMBER:
a1.1



03 stair section
3/8" = 1'-0



02 enlarged stair plan - 2nd floor
3/8" = 1'-0



01 enlarged stair plan - 1st floor
3/8" = 1'-0

floor plan key notes

1.0 33 X 21 DOUBLE SINK WITH GARBAGE DISPOSAL.
2.0 DISHWASHER (24" W, X 24" D, W/ AIR GAP). VERIFY DIMENSIONS WITH MANUFACTURER.
3.0 39" WIDE CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER B/B AND SHUT-OFF FOR ICE-MAKER).
4.0 30" GAS RANGE WITH HOOD, LIGHT AND FAN ABOVE.
5.0 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
5.1 SHELF & POLE.
6.0 PANTRY W/ 6 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
7.0 RECESSED MEDICINE CABINET.
8.0 TOWEL BAR. PROVIDE 2X8 BLOCKING @ +10" A.F.F..
8.1 TOWEL RING. PROVIDE 2X8 BLOCKING @ +44" A.F.F..
9.0 32" X 60" TUB / SHOWER COMBO
9.1 OPTIONAL 6' LINEAR FIREPLACE: KHDLVP500 HARDIAS DIRECT VENT. INSTALL PER MANUFACTURER SPECIFICATION.
9.2 DARCY 10243 TUB & SHOWER SUITE.
9.3 DARCY 42" X 60" TUB
9.4 42" x 60" SHOWER: PREFABRICATED SHOWER PAN. FINISH WALLS W/ TILE OVER ½" FIBER CEMENT BACKER BO TO 72" HIGH MIN.
9.5 TEMPERED GLASS SHOWER ENCLOSURE. FINISH WALLS W/ TILE OVER ½" CEMENT BACKER BOARD TO 72" HIGH MINIMUM AT WALK-IN SHOWER.
10.0 WATER HEATER ON 18" PLATFORM W/ SEISMIC STRAPS. PROVIDE PRESSURE RELIEF VALVE W/ DRAIN TO TO OUTSIDE. COMBUSTION AIR AND VENT TO OUTSIDE.
10.1 3" DIA. PIPE COLUMN. CONCRETE FILLED. EXTENDING 36" ABOVE SLAB AND 24" INTO FOOTING. SEE DETAIL 01/A01.0.
11.0 22" X 30" ATTIC ACCESS MIN. W/ 30" MIN. CLEAR HEADROOM. PROVIDE SWITCHED LIGHT, 110V OUTLET AND 24" PLATFORM TO FAU WITH 30" WORKSPACE.
11.1 AC CONDENSER ON CONCRETE PAD. (VERIFY SIZE AND LOCATION)
12.0 WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS. (RECESSED GARAGE BOX IN GARAGE FIRE RATED WALL SHALL BE METAL). PROVIDE DRAIN PAN W/ DRAIN @ SECOND FLOOR LOCATION.
12.1 DRYER SPACE: PROVIDE DRYER VENT TO OUTSIDE 14' MAX. LENGTH WITH 2 ELBOWS MAX. OR U.N.O. PER MECHANICAL DRAWINGS.
13.0 SEPARATION REQUIREMENT - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN ½" GYP. BD. APPLIED TO THE GARAGE SIDE. GARAGES SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN ½" TYPE X GYP. BD. OR EQUAL. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYP. BD.
13.1 ½" GYPSUM BOARD AT WALLS AND CEILING AT USEABLE SPACE UNDER STAIRS.
13.2 DRAFTSTOP AT FLOOR / CEILING ASSEMBLY (U.R.C. R50.13) - REFER TO DETAIL 00/a04.0.
14.0 LOW WALL @ 34 ½" A.F.F.. VERIFY HEIGHT WITH CABINET SUPPLIER.
15.0 36" H. DRYWALL GUARDRAIL - 1/2" DRYWALL OVER 2X WOOD FRAMING
16.0 HANDRAIL @ 36" A.F.F..
17.0 SOFFIT AT 7'-1" A.F.F. TO BOTTOM OF FRAMING
18.0 CONCRETE LANDING: MINIMUM DIMENSIONS TO BE WIDTH OF DOOR, 3'-0" DEEP IN DIRECTION OF TRAVEL. SLOPED AT .25/12 (2%) AWAY FROM DOOR. PER 2012 IRC 311, LANDINGS SHALL BE 1-1/2" MAX. BELOW TOP OF SLAB AT ENTRY; ALL OTHER LANDINGS SHALL BE 7-3/4" MAX. BELOW TOP OF SLAB.
19.0 SOLID CORE WOOD DOOR, 1-3/8" THICK, EQUIPPED W/ A SELF-CLOSING DEVICE.
20.0 GARAGE DOORS SHALL BE TESTED IN ACCORDANCE W/ EITHER ASTM E330 OR ANSI/DASMA 108 AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.
21.0 1-HR RATED WALL ASSEMBLY IN COMPLIANCE WITH ICC-ESR 2729 SECTION 4.4.2 SECOND ASSEMBLY.

floor plan notes

1. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISHED FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQ FT WITH THE MINIMUM OPERABLE WIDTH OF 20" AND THE MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS (R.R.C. R310.1).
2. SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH (U.P.C. 411.0)
3. ALL NEW GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED SHOWING THE U-VALUE.
4. ALL GLAZING SHALL COMPLY WITH I.R.C. AND LOCAL ORDINANCES. REFER TO THE ENERGY COMPLIANCE STATEMENT FOR ALL GLAZING REQUIREMENTS.
5. WINDOWS ADJACENT TO TUBS, SHOWERS AND TUB/SHOWERS, STAIRWAYS OR ADJACENT TO AND WITH 24" OF EITHER EDGE OF DOOR SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC PER U.R.C. GLASS TO BE ETCHED.
6. ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
7. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FALLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. NOT ATTIC TO VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.
8. PROVIDE A MINIMUM OF 10 MIL. VAPOR BARRIER UNDER ALL POURED IN PLACE CONCRETE FLOOR SLAB WHERE SLAB SERVES AS THE FLOOR FOR INTERIOR ENVIRONMENT.
9. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
10. WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATE EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW DRAFTSTOPPING SHALL BE PROVIDED BY FLOOR CEILING ASSEMBLIES UNDER THE FOLLOWING CONDITIONS (U.R.C. R302.12).
CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
10.1. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN WEB OR PERFORATED MEMBERS.
11. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT SPACES (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS IN ACCORDANCE WITH I.R.C. R602.8:
11.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS:
11.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
11.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
11.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILINGS.
11.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
11.4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
11.5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, COMPLY WITH (U.R.C. R1003.19).
12. A GAS OR WOOD-BURNING FIREPLACE, A CAUTION SIGN THAT STATES "CAUTION: DAMPER MUST BE PERMANENTLY BLOCKED OPEN IF GAS IS SUPPLIED TO THIS FIREPLACE." THE LETTERS MUST BE A MINIMUM 3/8" INCH IN HEIGHT.
13. SKYLIGHTS SHALL COMPLY WITH (U.R.C. R308.6).
14. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BASED TEXTURE FINISHES TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT DRYWALL ADDITIONS ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD. (U.R.C. TABLE R 702.3.5)
15. UNLESS OTHERWISE PERMITTED BY U.R.C. R316.5 OR R316.6, FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER OF A MINIMUM 1/2" GYPSUM WALL BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER MATERIAL (U.R.C. R316.4).

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STATE OF NEVADA
REGISTERED ARCHITECT

GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

NO.	DATE	DESCRIPTION
	09.27.16	BID SUBMITTAL

PLOT DATE: 09.27.16

PROJECT NUMBER: 2015.61

DRAWING:
plan 3
enlarged stair plans

SHEET NUMBER:
a1.2

floor plan key notes

1.0 22" x 3" STEEL SOFFIT VENT IN CEILING ABOVE - CONSTRUCTION METALS INC., MODEL 85V223 OR EQUAL

2.0 24 GA. GALV. METAL SCUPPER, 6"W x 3"H.

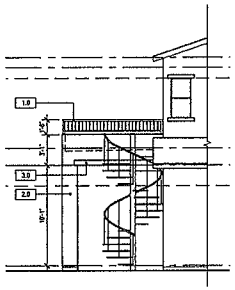
elevation key notes

1.0 18" HIGH METAL RAILING

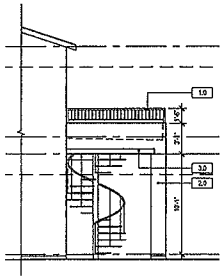
2.0 ONE COAT STUCCO OF MTL LATH OV FOAM INSULATION BOARD

3.0 ONE COAT STUCCO OF 6" HIGH X 2" DEEP RIGID FOAM TRIM

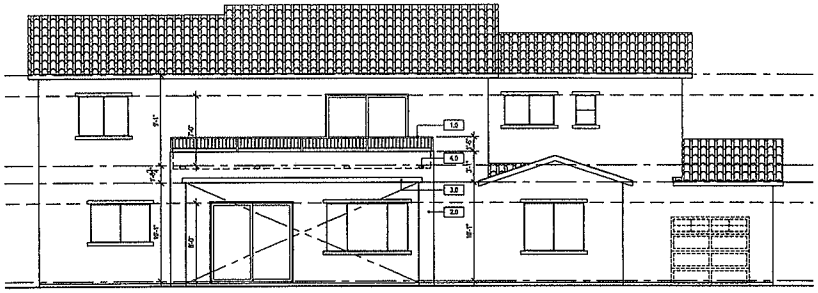
4.0 THROUGH - WALL SCUPPER



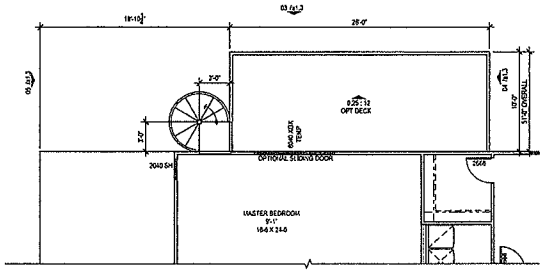
05 side elevation
3/16" = 1'-0



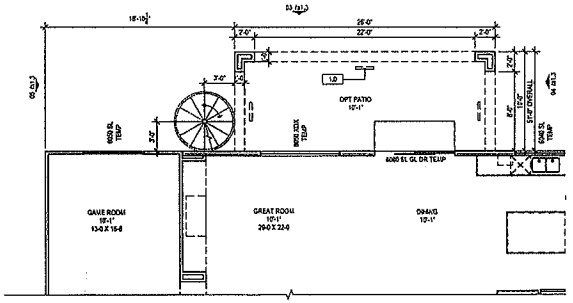
04 side elevation
3/16" = 1'-0



03 rear elevation
3/16" = 1'-0



02 second floor plan - deck option
3/16" = 1'-0



01 first floor plan - patio option
3/16" = 1'-0

ARCHITECT:

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GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

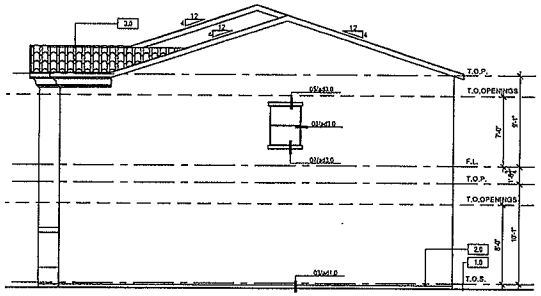
PLOT DATE: 09 27 16

PROJECT NUMBER: 2015 61

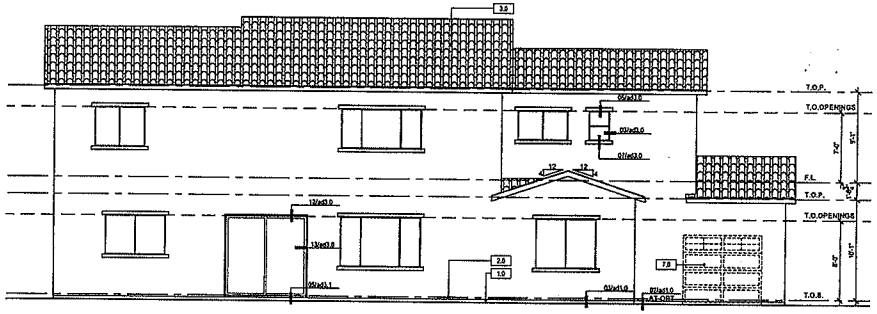
DRAWING:
plan 3 patio & deck option

RECEIVED

SHEET NUMBER:
A1.3



04 plan 3 right elevation a
3/16" = 1'-0



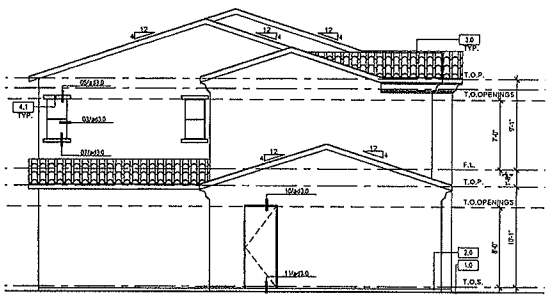
03 plan 3 rear elevation a
3/16" = 1'-0

elevation key notes

1.0 FINISHED GRADE.
2.0 WEEP SCREED.
3.0 CONCRETE "S" ROOF TILE IN COMPLIANCE WITH ESR-1900.
3.1 CONCRETE FLAT ROOF TILE IN COMPLIANCE WITH ESR-1900.
4.0 ONE COAT STUCCO SYSTEM.
4.1 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TRIM.
4.2 ONE COAT STUCCO OVER 6" WIDE RIGID FOAM TRIM.
4.3 1 COAT STUCCO OVER 1" RIGID FOAM WRAP
5.0 OPTIONAL ADHERED STONE VENEER.
6.0 SHUTTER.
7.0 OPTIONAL GARAGE DOOR.
8.0 DECORATIVE FOAM ACCENT.
9.1 DECORATIVE METAL AT STUCCO REGESS.

elevation notes

1. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
2. ONLY APPROVED STUCCO MATERIALS AND METHODS WILL BE ACCEPTABLE. SUBMIT SPECIFICATION FOR APPROVAL. 1-COAT STUCCO SYSTEM COMPLIANT WITH NCE ER-1607.
3. ALL STUB WALLS AND CEILINGS EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYPSUM BOARD PRIOR TO SOFFIT INSTALLATION.
4. DUCT TERMINATION TO OCCUR MINIMUM 10'-0" FROM WINDOW OR DOOR OPENING INTO DWELLING UNIT.
5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
6. REFER TO DETAIL 6/A0-3.0 FOR TYPICAL WINDOW FLASHING INSTALLATION.
7. ALL BOX COLUMNS AND "POP-OUTS" SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
8. PROVIDED (2) LAYERS OF GRADE 'D' BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
9. ALL VERTICAL PLASTER SURFACES 3" OR MORE IN DEPTH WILL RECEIVE ICE AND WATER SHIELD (TYVEK BASEBOARD) LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
10. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE PILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. DO NOT ATTIC VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.



02 plan 3 left elevation a
3/16" = 1'-0

01 plan 3 front elevation a
3/16" = 1'-0

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MICHAEL A. GARDNER
REGISTERED
No. 6615
STATE OF NEVADA
SITE PLANNER MARVIN

GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

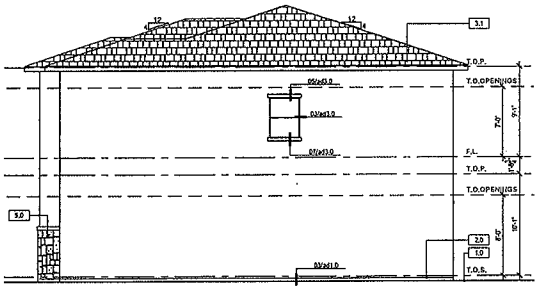
NO.	DATE	DESCRIPTION
	09.27.16	ED SUBMITTAL

PLOT DATE: 09.27.16

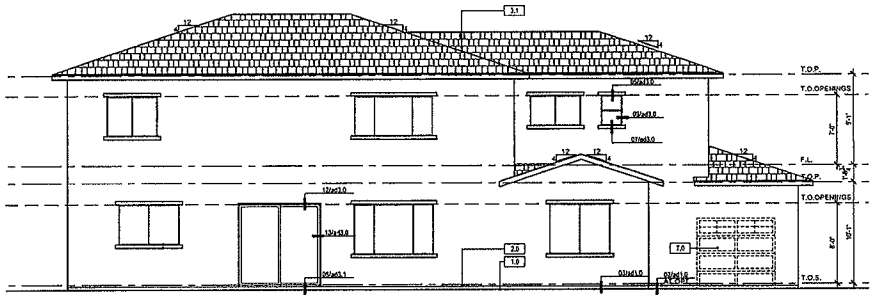
PROJECT NUMBER: 2013.01

DRAWING:
plan 3 elevations
option a

SHEET NUMBER:
a2.0



04 plan 3 right elevation b
3/16" = 1'-0



03 plan 3 rear elevation b
3/16" = 1'-0

elevation key notes

1.0 FINISHED GRADE.
2.0 WEEP SCREED.
3.0 CONCRETE 'S' ROOF TILE IN COMPLIANCE WITH ESR-1900.
3.1 CONCRETE FLAT ROOF TILE IN COMPLIANCE WITH ESR-1900.
4.0 ONE COAT STUCCO SYSTEM.
4.1 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TRIM.
4.2 ONE COAT STUCCO OVER 6" WIDE RIGID FOAM TRIM.
4.3 1 COAT STUCCO OVER 1" RIGID FOAM WRAP
5.0 OPTIONAL ADHERED STONE VENEER.
6.0 SHUTTER.
7.0 OPTIONAL GARAGE DOOR.
8.0 DECORATIVE FOAM ACCENT.
8.1 DECORATIVE METAL AT STUCCO RECESS.

elevation notes

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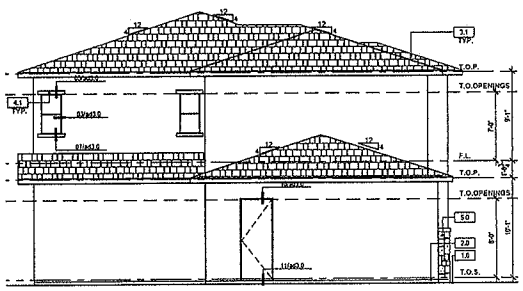
2. ONLY APPROVED STUCCO MATERIALS AND METHODS WILL BE ACCEPTABLE. SUBMIT SPECIFICATION FOR APPROVAL. 1-COAT STUCCO SYSTEM COMPLIANT WITH ICHESA-1001.
3. ALL STUD WALLS AND CEILINGS EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYPSUM BOARD PRIOR TO SOFFIT INSTALLATION.
4. DUCT TERMINATION TO DOCUMENT MINIMUM 10'-0" FROM WINDOW OR DOOR OPENING INTO DWELLING UNIT.
5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
6. REFER TO DETAIL 01AD-3.0 FOR TYPICAL WINDOW FLASHING INSTALLATION.
7. ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
8. PROVIDED (2) LAYERS OF GRADE 'D' BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
9. ALL VERTICAL PLASTER SURFACES 3" OR MORE IN DEPTH WILL RECEIVE ICE AND WATER SHIELD WEATHERBOARD LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
10. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. DO NOT ATTIC VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.



02 plan 3 left elevation b
3/16" = 1'-0

01 plan 3 front elevation b
3/16" = 1'-0

ARCHITECT:
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a 1979 WHITNEY MESA DRIVE, HENDERSON, NEVADA 89014
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w www.studiogarchitecture.com

STAMP:
MICHAEL A. GARDNER ARCHITECT NO. 5616 STATE OF NEVADA
DATE ISSUED 10.08.2014

GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

NO.	DATE	DESCRIPTION
	09.27.16	SD SUBMITTAL

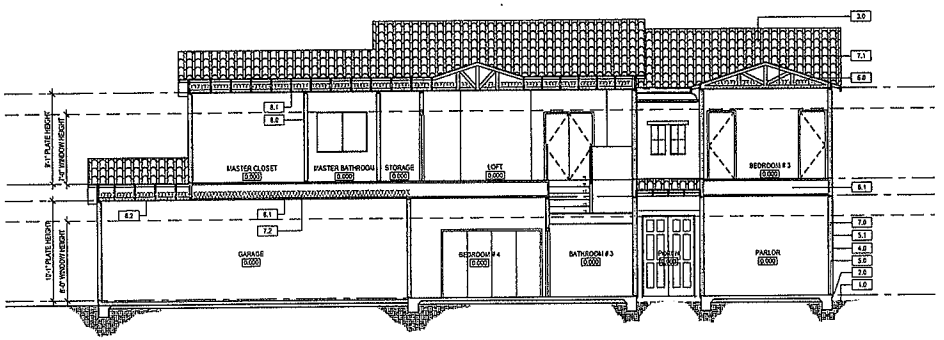
PLOT DATE: 09.27.16

PROJECT NUMBER: 2015.01

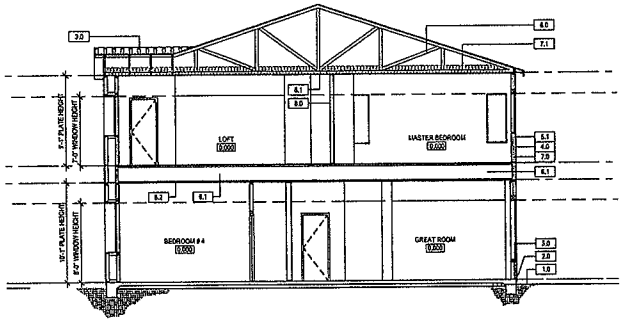
DRAWING:
plan & elevations
option b

RECEIVED
OCT 24 2016
Dept. of Planning
City of Las Vegas

SHEET NUMBER:
a2.1



02 section 3/16" = 1'-0



01 section 3/16" = 1'-0

section key notes

1.0 FINISHED GRADE.
2.0 WEEP SCREED.
3.0 CONCRETE ROOF TILE (ESR-1900).
4.0 ONE COAT STUCCO SYSTEM.
5.0 2X PRESSURE-TREATED OR REDWOOD SILL PLATE.
5.1 2X FRM/DIG @ 16" O.C. U.N.O. ON STRUCTURAL PLANS.
6.0 PREMANUFACTURED ROOF TRUSSES @ 24" O.C. U.N.O. ON STRUCTURAL PLANS.
6.1 PREMANUFACTURED FLOOR TRUSSES @ 24" O.C. U.N.O. ON STRUCTURAL PLANS.
7.0 EXTERIOR 2X4 WALL INSULATION: R-13
7.1 ROOF INSULATION: R-30
7.2 FLOOR INSULATION: R-19
7.3 EXTERIOR 2X6 WALL INSULATION: R-19
8.0 ½" GYPSUM BOARD.
8.1 ½" GYPSUM BOARD CEILING RATED OR ½" GYPSUM BOARD.
8.2 ½" TYPE X GYPSUM BOARD.

section notes

1. BUILDING SECTIONS ARE FOR THE DEPICTION OF THE BASIC BUILDING DESIGN, INCLUDING THE VERTICAL AND HORIZONTAL SPACE AND DIMENSIONS. THESE BUILDING SECTIONS ARE NOT INTENDED TO BE USED FOR STRUCTURAL ELEMENTS SUCH AS BEAMS, FOOTINGS, GRADE BEAMS, ETC. DESIGN OR LOCATIONS. REFER TO STRUCTURAL DRAWINGS AND ENGINEERED DETAILS FOR SPECIFIC DESIGN AND CONSTRUCTION REQUIREMENTS.

2. TOP OF ROOF, UNDERSIDE OF RIDGE, PLATE HEIGHTS, NATURAL GRADE HEIGHT AND ANY OTHER VERTICAL CONTROL DIMENSION SHOWN ON THE SECTIONS OR ELEVATIONS ARE TO BE FIELD VERIFIED BY GENERAL CONTRACTOR WITH A STAKE OUT BEFORE ERECTION OF ROOF FRAMING ELEMENTS. CLIENT IS TO BE NOTIFIED IF THERE ARE ANY DISCREPANCIES OR CONFLICTS WITH PLANNING DEPARTMENT OR HOMEOWNERS ASSOCIATION BUILDING HEIGHTS AND/OR SETBACKS REQUIREMENTS. GENERAL CONTRACTOR ASSUMES ALL LIABILITY AND COSTS OF LOWERING ROOF FRAMING IF STRUCTURE IS ERECTED BEFORE STAKE OUT CONFIRMATIONS ARE COMPLETED.

3. PROVIDE INSULATION AS FOLLOWS:

   - EXTERIOR 2X4 WALLS R-13
   - EXTERIOR 2X6 WALLS R-19
   - ROOFS R-30
   - RAISED WOOD FLOORS R-19

   * CONFIRM INSULATION REQUIREMENTS WITH ENERGY COMPLIANCE STATEMENT.

4. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATION IN ACCORDANCE WITH I.R.C. R602.8:

   4.1 IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS:
   4.1.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS
   4.1.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
   4.2 AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILINGS.
   4.3 IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
   4.4 AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

5. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BASED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD. (I.R.C. TABLE R 702.3.5)

6. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION PER IRC.

7. REFER TO FLOOR PLAN FOR CEILING HEIGHTS, DIMENSIONS AND SPECIFICATIONS.

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W www.studiogarchitect.com

STAMP:
MICHAEL A. GHOSN
REGISTERED ARCHITECT
No. 6516
STATE OF NEVADA
DATE EXPIRES 06-30-2011

GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

NO.	DATE	DESCRIPTION
	03 27 15	RD SUBMITTAL

PLOT DATE: 03 27 15

PROJECT NUMBER: 2015 01

DRAWING: Re-Submitted

OCT 2 4 2015

SHEET NUMBER: a3.0

Dept of Planning
City of Las Vegas

Inst #: 20151029-0000464
Fees: $19.00 N/C Fee: $0.00
RPTT: $3830.10 Ex: #
10/29/2015 08:10:55 AM
Receipt #: 2592419
Requestor:
LAWYERS TITLE OF NEVADA HEN
Recorded By: DXI Pgs: 4
DEBBIE CONWAY
CLARK COUNTY RECORDER

APN: 138-06-401-006

RPTT: $3830.10

When Recorded Mail To
And Mail Tax Statements To:
Summit Grand Canyon LLC, A Delaware Limited Liability Company
601 Carlson Parkway, Suite 200
Minnetonka, MN 55305

GRANT, BARGAIN AND SALE DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

DP 20130503 Alexander LLC, A Nevada Limited Liability Company

do(es) hereby GRANT, BARGAIN AND SELL to

Summit Grand Canyon LLC, A Delaware Limited Liability Company

the real property situate in the County of Clark, State of Nevada, described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF FOR COMPLETE LEGAL DESCRIPTION

Subject to:

1. All general and special taxes for the current fiscal year.
2. Covenants, Conditions, Restrictions, Reservations, Rights, Rights of way and Easements now of record.

Together with all tenements, hereditaments and appurtenances, including easements and water rights, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof.

DP 20130503 Alexander LLC, A Nevada Limited Liability Company

Stephen J. Byrne, President

STATE OF NEVADA

COUNTY OF CLARK

On OCTOBER 27, 2015, personally appeared before me, a Notary Public, STEPHEN J BYRNE, PRESIDENT OF CAPSOURCE, INC, MGR, personally known (or proven) to me to be the person(s) whose name (s) is/are subscribed to the within instrument who acknowledged that he/she/they executed the instrument.

Susan J. Bopp

Notary Public in and for said County and State

SUSAN J. BOPP
NOTARY PUBLIC, STATE OF NEVADA
My Commission Expires: 8-20-2017
Certificate No: 93-5217-1

Exhibit "A"

All that certain real property situated in the County of Clark, State of Nevada, described as follows:

The East Half (E ½) of the Southeast Quarter (SE ¼) of the Southeast Quarter (SE ¼) of the Southwest Quarter (SW ¼) of Section 6, Township 20 South, Range 60 East, M.D.B. & M.

STATE OF NEVADA
DECLARATION OF VALUE FORM

1. **Assessor Parcel Number(s)**
   a. 138-06-401-006
   b. _____
   c. _____
   d. _____

2. **Type of Property:**
   a. ☒ Vacant Land b. ☐ Single Fam Res
   c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
   e. ☐ Apt. Bldg f. ☐ Comm'l/Ind'l
   g. ☐ Agricultural h. ☐ Mobile Home
   i. ☐Other _____

FOR RECORDER'S OPTIONAL USE ONLY
Book: _____ Page: _____
Date of Recording: _____
Notes:

3. **Total Value/Sales Price of Property:** $**751,000.00**
   Deed in Lieu of Foreclosure Only (value of property) ($_____)
   Transfer Tax Value: $751,000.00
   Real Property Transfer Tax Due: **$3,830.10**

4. **If Exemption Claimed:**
   a. Transfer Tax Exemption, per NRS 375.090, Section _____
   b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: _____%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month.

Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature _____ **Capacity** GRANTOR

Signature _____ **Capacity** _____

SELLER (GRANTOR) INFORMATION (REQUIRED)	**BUYER (GRANTEE) INFORMATION** (REQUIRED)
Print Name: DP 20130503 Alexander LLC, A Nevada Limited Liability Company	Print Name: Summit Grand Canyon LLC, A Delaware Limited Liability Company and Summit Grand Canyon LLC, A Delaware Limited Liability Company
Address: 2009 E. Windmill Lane	Address: 601 Carlson Parkway, Suite 200
City/State/Zip: Las Vegas, NV 89123	City/State/Zip: Minnetonka, MN 55305

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Lawyers Title of Nevada
2600 Paseo Verde Parkway #100,
Henderson, NV 89074

Escrow #: 03313810-330-D33
Escrow Officer: Debbie Novotny

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

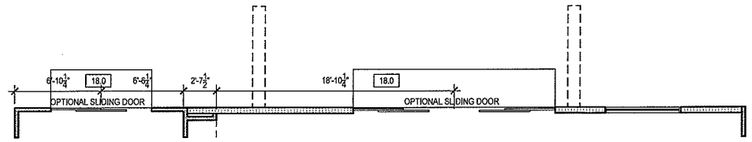
APN: 138-06-401-006

LEGAL DESCRIPTION

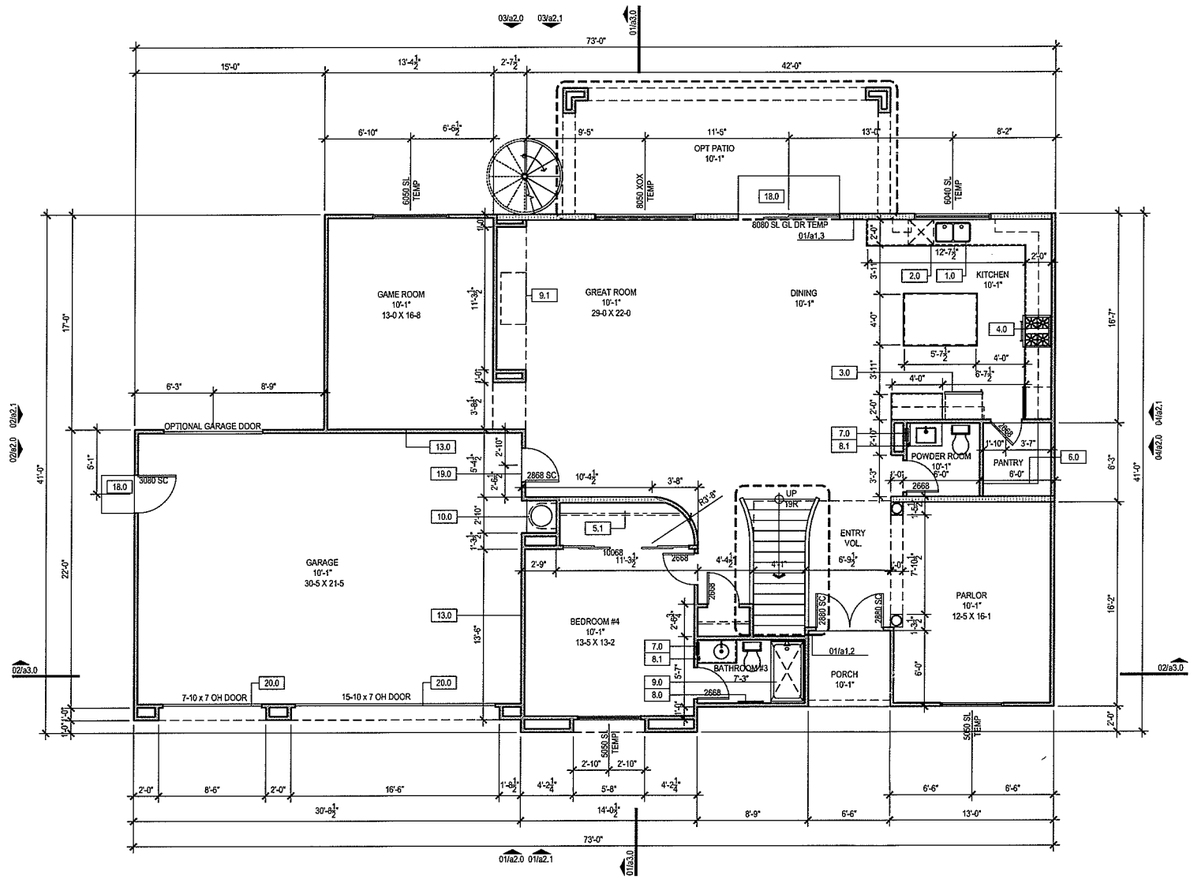
THE EAST HALF (E 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 6, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B. & M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER (SW 1/4) OF SECTION 6, BEING THE CENTERLINE INTERSECTION OF ALEXANDER ROAD AND GRAND CANYON DRIVE; THENCE ALONG THE SOUTHERLY LINE THEREOF AND SAID CENTERLINE OF ALEXANDER ROAD, SOUTH 87°30'00" WEST, A DISTANCE OF 325.70 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE ALONG THE WESTERLY LINE THEREOF TO AND ALONG THE EASTERLY BOUNDARY LINE OF "THE FINAL PLAT OF LONE VISTA RANCH" RECORDED IN BOOK 127 PAGE 48 OF PLATS, CLARK COUNTY, NEVADA, OFFICIAL RECORDS, NORTH 0°56'43" EAST, A DISTANCE OF 666.29 FEET TO THE NORTH COMMON CORNER THEREOF; THENCE ALONG THE NORTHERLY LINE THEREOF, NORTH 87°42'48" EAST, A DISTANCE OF 325.27 FEET TO THE NORTHEAST CORNER THEREOF, BEING ON THE CENTERLINE OF SAID GRAND CANYON DRIVE; THENCE ALONG THE EASTERLY LINE THEREOF AND SAID CENTERLINE, SOUTH 0°54'51" WEST, A DISTANCE OF 665.06 FEET TO SAID POINT OF BEGINNING.

SAID PARCEL CONTAINS 4.97 ACRES, MORE OR LESS.



02 optional sliding door
3/16" = 1'-0



01 first floor plan
3/16" = 1'-0

DVN-67391
11/2016 ADMIN

floor plan key notes

1.0 32 X 21 DOUBLE SINK WITH GARBAGE DISPOSAL.
2.0 DISHWASHER (24" W. X 24" D. W/ AIR GAP) . VERIFY DIMENSIONS WITH MANUFACTURER.
3.0 39" WIDE CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE-MAKER).
4.0 30" GAS RANGE WITH HOOD, LIGHT AND FAN ABOVE.
5.0 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
5.1 SHELF & POLE.
6.0 PANTRY W/ 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.
7.0 RECESSED MEDICINE CABINET.
8.0 TOWEL BAR. PROVIDE 2X6 BLOCKING @ +60" A.F.F..
8.1 TOWEL RING. PROVIDE 2X6 BLOCKING @ +44" A.F.F..
9.0 32" X 60" TUB / SHOWER COMBO
9.1 OPTIONAL 4' LINEAR FIREPLACE: KHDLVP500 MARQUIS DIRECT VENT. INSTALL PER MANUFACTURER SPECIFICATION.
9.2 DARCY 10242 TUB & SHOWER SUITE.
9.3 DARCY 42" X 60" TUB
9.4 42" x 80" SHOWER: PREFABRICATED SHOWER PAN. FINISH WALLS W/ TILE OVER ½" FIBER CEMENT BACKER BD TO 72" HIGH MIN.
9.5 TEMPERED GLASS SHOWER ENCLOSURE. FINISH WALLS W/ TILE OVER ½" CEMENT BACKER BOARD TO 72" HIGH MINIMUM AT WALK-IN SHOWER.
10.0 WATER HEATER ON 18" PLATFORM W/ SEISMIC STRAPS. PROVIDE PRESSURE RELIEF VALVE W/ DRAIN TO TO OUTSIDE. COMBUSTION AIR AND VENT TO OUTSIDE.
10.1 3" DIA. PIPE COLUMN, CONCRETE FILLED, EXTENDING 36" ABOVE SLAB AND 24" INTO FOOTING. SEE DETAIL 07/AD1.0.
11.0 22" X 30" ATTIC ACCESS MIN. W/ 30" MIN. CLEAR HEADROOM . PROVIDE SWITCHED LIGHT, 110V OUTLET AND 24" PLATFORM TO FAU WITH 30" WORKSPACE.
11.1 AC CONDENSER ON CONCRETE PAD. (VERIFY SIZE AND LOCATION)
12.0 WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS. (RECESSED GARAGE BOX IN GARAGE FIRE RATED WALL SHALL BE METAL). PROVIDE DRAIN PAN W/ DRAIN @ SECOND FLOOR LOCATION.
12.1 DRYER SPACE: PROVIDE DRYER VENT TO OUTSIDE 14' MAX. LENGTH WITH 2 ELBOWS MAX. OR U.N.O. PER MECHANICAL DRAWINGS.
13.0 SEPARATION REQUIREMENT - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN ½" GYP. BD. APPLIED TO THE GARAGE SIDE. GARAGES SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY MIN. ⅝" TYPE X GYP. BD. OR EQUAL, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYP. BD.
13.1 ½" GYPSUM BOARD AT WALLS AND CEILING AT USEABLE SPACE UNDER STAIRS.
13.2 DRAFTSTOP AT FLOOR / CEILING ASSEMBLY (I.R.C. R50.12) - REFER TO DETAIL 06/a94.0.
14.0 LOW WALL @ 34½" A.F.F.. VERIFY HEIGHT WITH CABINET SUPPLIER.
15.0 38" H. DRYWALL GUARDRAIL - 1/2" DRYWALL OVER 2X WOOD FRAMING
16.0 HANDRAIL @ 36" A.F.F..
17.0 SOFFIT AT 7'-1" A.F.F. TO BOTTOM OF FRAMING
18.0 CONCRETE LANDING: MINIMUM DIMENSIONS TO BE WIDTH OF DOOR, 3'-0" DEEP IN DIRECTION OF TRAVEL, SLOPED AT .25/12 (2%) AWAY FROM DOOR. PER 2012 IRC 311, LANDINGS SHALL BE 1-1/2" MAX. BELOW TOP OF SLAB AT ENTRY; ALL OTHER LANDINGS SHALL BE 7-3/4" MAX. BELOW TOP OF SLAB.
19.0 SOLID CORE WOOD DOOR, MIN. 1 3/8" THICK, EQUIPPED W/ A SELF-CLOSING DEVICE.
20.0 GARAGE DOORS SHALL BE TESTED IN ACCORDANCE W/ EITHER ASTM E330 OR ANSI/DASMA 108 AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.
21.0 1-HR RATED WALL ASSEMBLY IN COMPLIANCE WITH ICC-ESR 2729 SECTION 4.4.2 SECOND ASSEMBLY.

floor plan notes

1. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISHED FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQ FT WITH THE MINIMUM OPERABLE WIDTH OF 20" AND THE MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS (I.R.C. R310.1).
2. SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH (U.P.C. 411.0)
3. ALL NEW GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED SHOWING THE U-VALUE.
4. ALL GLAZING SHALL COMPLY WITH I.R.C. AND LOCAL ORDINANCES. REFER TO THE ENERGY COMPLIANCE STATEMENT FOR ALL GLAZING REQUIREMENTS.
5. WINDOWS ADJACENT TO TUBS, SHOWERS AND TUB/SHOWERS, STAIRWAYS OR ADJACENT TO AND WITH 24" OF EITHER EDGE OF DOOR SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC PER I.R.C. GLASS TO BE ETCHED.
6. ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
7. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. NOT ATTIC TO VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.
8. PROVIDE A MINIMUM OF 10 MIL. VAPOR BARRIER UNDER ALL POURED IN PLACE CONCRETE FLOOR SLAB WHERE SLAB SERVES AS THE FLOOR FOR INTERIOR ENVIRONMENT.
9. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
10. WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/ CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATE EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/ CEILING ASSEMBLIES UNDER THE FOLLOWING CONDITIONS (I.P.C. R302.12).
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10.1. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN WEB OR PERFORATED MEMBERS.
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11.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS:
11.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
11.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
11.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILINGS.
11.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
11.4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
11.5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, COMPLY WITH (I.R.C. R1003.19).
12. A GAS OR WOOD-BURNING FIREPLACE. A CAUTION SIGN THAT SATES "CAUTION: DAMPER MUST BE PERMANENTLY BLOCKED OPEN IF GAS IS SUPPLIED TO THIS FIREPLACE." THE LETTERS MUST BE A MINIMUM 3/8" INCH IN HEIGHT.
13. SKYLIGHTS SHALL COMPLY WITH (I.R.C. R308.6).
14. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BASED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD. (I.R.C. TABLE R 702.3.5)
15. UNLESS OTHERWISE PERMITTED BY I.R.C. R316.5 OR R316.6, FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER OF A MINIMUM 1/2" GYPSUM WALL BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER MATERIAL (I.R.C. R316.4).

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GRAND CANYON AND ALEXANDER
ADAVEN HOMES
LAS VEGAS, NV

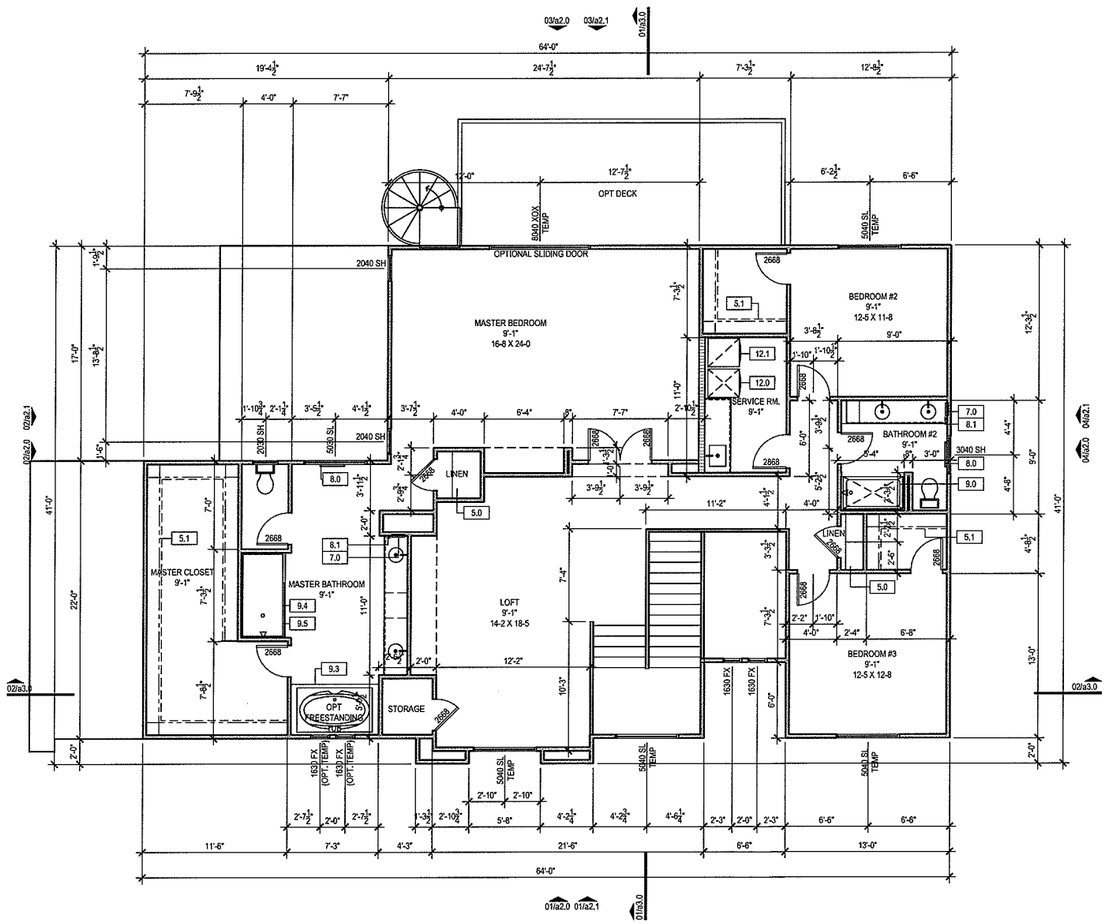
NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

PROJECT NUMBER: 2015 61

DRAWING:
plan 3 first floor plan and option

SHEET NUMBER:
a1.0



02 second floor plan
3/16" = 1'-0

DVN-67391

floor plan key notes

1.0 32 X 21 DOUBLE SINK WITH GARBAGE DISPOSAL.

2.0 DISHWASHER (24" W. X 24" D. W/ AIR GAP) . VERIFY DIMENSIONS WITH MANUFACTURER.

3.0 39" WIDE CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE-MAKER).

4.0 30" GAS RANGE WITH HOOD, LIGHT AND FAN ABOVE.

5.0 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.

5.1 SHELF & POLE.

6.0 PANTRY W/ 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.

7.0 RECESSED MEDICINE CABINET.

8.0 TOWEL BAR. PROVIDE 2X6 BLOCKING @ +40" A.F.F..

8.1 TOWEL RING. PROVIDE 2X6 BLOCKING @ +44" A.F.F..

9.0 32" X 60" TUB / SHOWER COMBO

9.1 OPTIONAL 4' LINEAR FIREPLACE: KHDLVP500 MARQUIS DIRECT VENT. INSTALL PER MANUFACTURER SPECIFICATION.

9.2 DARCY 10242 TUB & SHOWER SUITE.

9.3 DARCY 42" X 60" TUB

9.4 42" x 60" SHOWER: PREFABRICATED SHOWER PAN. FINISH WALLS W/ TILE OVER ½" FIBER CEMENT BACKER BD TO 72" HIGH MIN.

9.5 TEMPERED GLASS SHOWER ENCLOSURE. FINISH WALLS W/ TILE OVER ½" CEMENT BACKER BOARD TO 72" HIGH MINIMUM AT WALK-IN SHOWER.

10.0 WATER HEATER ON 18" PLATFORM W/ SEISMIC STRAPS. PROVIDE PRESSURE RELIEF VALVE W/ DRAIN TO TO OUTSIDE. COMBUSTION AIR AND VENT TO OUTSIDE.

10.1 3" DIA. PIPE COLUMN, CONCRETE FILLED, EXTENDING 36" ABOVE SLAB AND 24" INTO FOOTING. SEE DETAIL 07/AD1.0.

11.0 22" X 30" ATTIC ACCESS MIN. W/ 30" MIN. CLEAR HEADROOM . PROVIDE SWITCHED LIGHT, 110V OUTLET AND 24" PLATFORM TO FAU WITH 30" WORKSPACE.

11.1 AC CONDENSER ON CONCRETE PAD. (VERIFY SIZE AND LOCATION)

12.0 WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS. (RECESSED GARAGE BOX IN GARAGE FIRE RATED WALL SHALL BE METAL). PROVIDE DRAIN PAN W/ DRAIN @ SECOND FLOOR LOCATION.

12.1 DRYER SPACE: PROVIDE DRYER VENT TO OUTSIDE 14' MAX. LENGTH WITH 2 ELBOWS MAX. OR U.N.O. PER MECHANICAL DRAWINGS.

13.0 SEPARATION REQUIREMENT - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN ½" GYP. BD. APPLIED TO THE GARAGE SIDE. GARAGES SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY MIN. ⅝" TYPE X GYP. BD. OR EQUAL. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYP. BD.

13.1 ½" GYPSUM BOARD AT WALLS AND CEILING AT USEABLE SPACE UNDER STAIRS.

13.2 DRAFTSTOP AT FLOOR / CEILING ASSEMBLY (I.R.C. R50.12) - REFER TO DETAIL 06/as4.0.

14.0 LOW WALL @ 34 ½" A.F.F.. VERIFY HEIGHT WITH CABINET SUPPLIER.

15.0 38" H. DRYWALL GUARDRAIL - 1/2" DRYWALL OVER 2X WOOD FRAMING

16.0 HANDRAIL @ 36" A.F.F..

17.0 SOFFIT AT 7'-1" A.F.F. TO BOTTOM OF FRAMING

18.0 CONCRETE LANDING: MINIMUM DIMENSIONS TO BE WIDTH OF DOOR, 3'-0" DEEP IN DIRECTION OF TRAVEL, SLOPED AT .25/12 (2%) AWAY FROM DOOR. PER 2012 IRC 311, LANDINGS SHALL BE 1-1/2" MAX. BELOW TOP OF SLAB AT ENTRY; ALL OTHER LANDINGS SHALL BE 7-3/4" MAX. BELOW TOP OF SLAB.

19.0 SOLID CORE WOOD DOOR, MIN. 1 3/8" THICK, EQUIPPED W/ A SELF-CLOSING DEVICE.

20.0 GARAGE DOORS SHALL BE TESTED IN ACCORDANCE W/ EITHER ASTM E330 OR ANSI/DASMA 108 AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.

21.0 1-HR RATED WALL ASSEMBLY IN COMPLIANCE WITH ICC-ESR 2729 SECTION 4.4.2 SECOND ASSEMBLY.

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6. ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
7. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS, NOT ATTIC TO VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.
8. PROVIDE A MINIMUM OF 10 MIL. VAPOR BARRIER UNDER ALL POURED IN PLACE CONCRETE FLOOR SLAB WHERE SLAB SERVES AS THE FLOOR FOR INTERIOR ENVIRONMENT.
9. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
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    11.5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, COMPLY WITH (I.R.C. R1003.19).
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GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

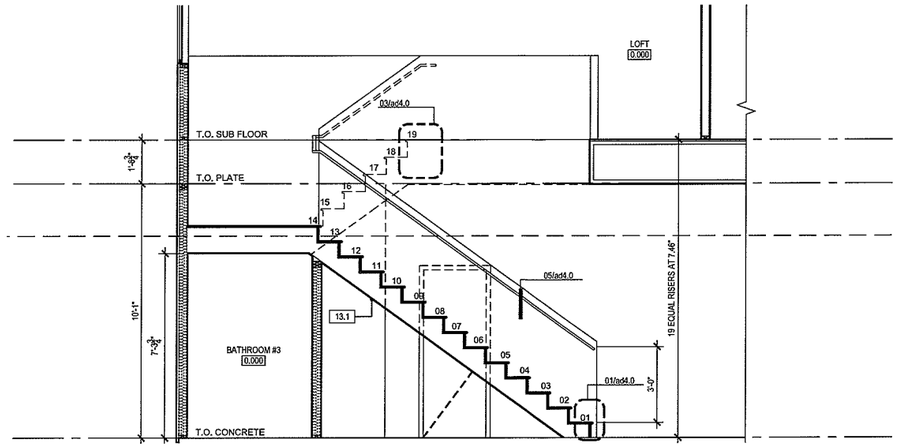
NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

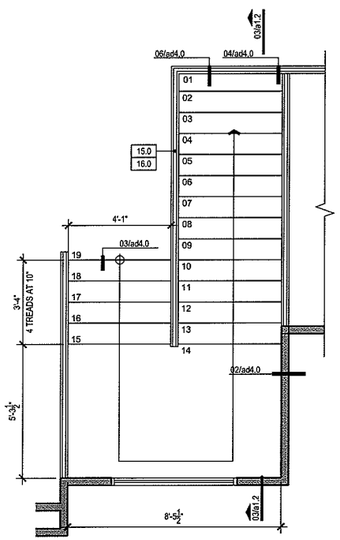
PROJECT NUMBER: 2015 61

DRAWING: plan 3 second floor plan

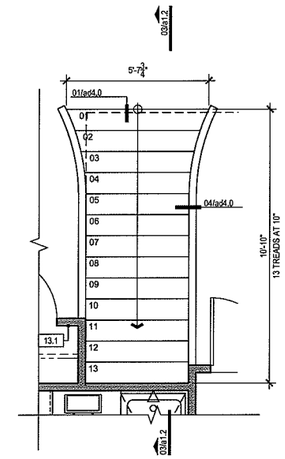
SHEET NUMBER: a1.1



03 stair section
3/8" = 1'-0



02 enlarged stair plan - 2nd floor
3/8" = 1'-0



01 enlarged stair plan - 1st floor
3/8" = 1'-0

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    11.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILINGS.
    11.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
    11.4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
    11.5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, COMPLY WITH (I.R.C. R1003.19).
12. A GAS OR WOOD-BURNING FIREPLACE, A CAUTION SIGN THAT SATES "CAUTION: DAMPER MUST BE PERMANENTLY BLOCKED OPEN IF GAS IS SUPPLIED TO THIS FIREPLACE." THE LETTERS MUST BE A MINIMUM 3/8" INCH IN HEIGHT.
13. SKYLIGHTS SHALL COMPLY WITH (I.R.C. R308.6).
14. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BASED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD. (I.R.C. TABLE R 702.3.5)
15. UNLESS OTHERWISE PERMITTED BY I.R.C. R316.5 OR R316.6, FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER OF A MINIMUM 1/2" GYPSUM WALL BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER MATERIAL (I.R.C. R316.4).

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STATE OF NEVADA
DATE SIGNED: 09-24-2011

GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

PROJECT NUMBER: 2015 61

DRAWING:
plan 3
enlarged stair plans

SHEET NUMBER: a1.2

floor plan key notes

###

1.0 22" x 3" STEEL SOFFIT VENT IN CEILING ABOVE - CONSTRUCTION METALS INC., MODEL #SV223 OR EQUAL

2.0 24 GA. GALV. METAL SCUPPER, 6"W x 3"H.

elevation key notes

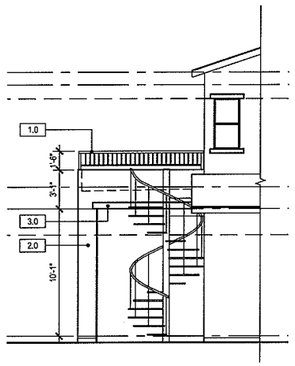
###

1.0 18" HIGH METAL RAILING

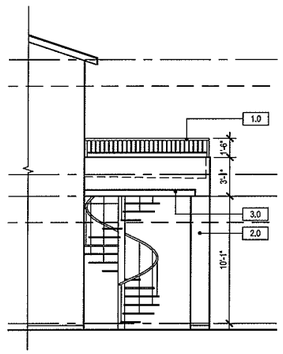
2.0 ONE COAT STUCCO O/ MTL LATH O/ FOAM INSULATION BOARD

3.0 ONE COAT STUCCO O/ 6" HIGH X 2" DEEP RIGID FOAM TRIM

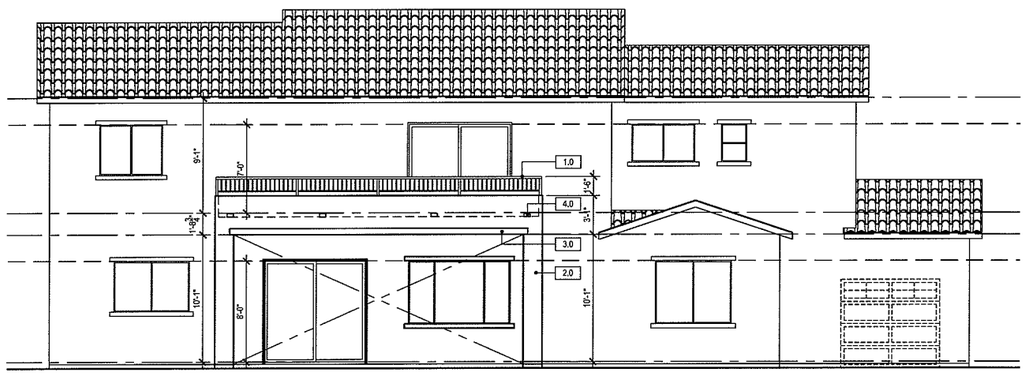
4.0 THROUGH - WALL SCUPPER



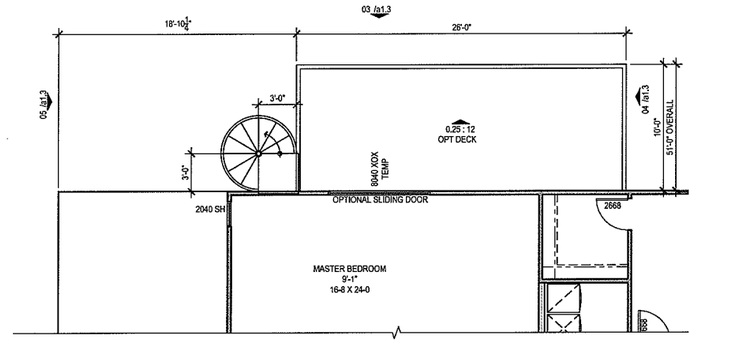
05 side elevation
3/16" = 1'-0



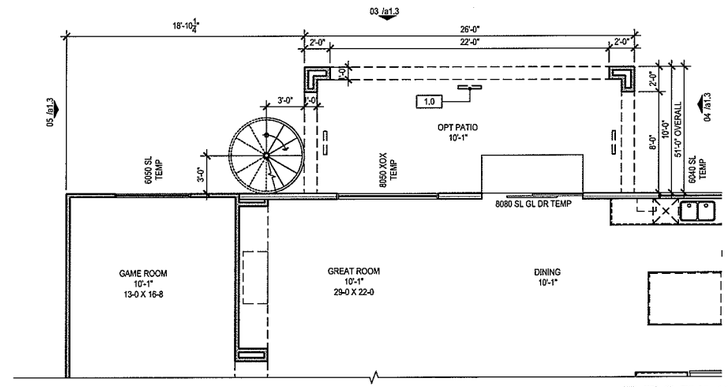
04 side elevation
3/16" = 1'-0



03 rear elevation
3/16" = 1'-0



02 second floor plan - deck option
3/16" = 1'-0



01 first floor plan - patio option
3/16" = 1'-0

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LAS VEGAS, NV

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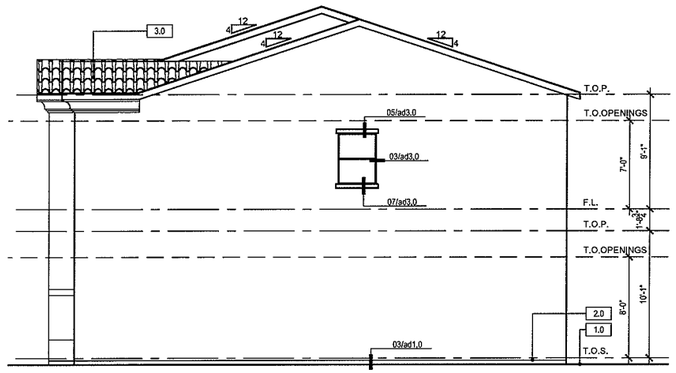
PLOT DATE: 09 27 16

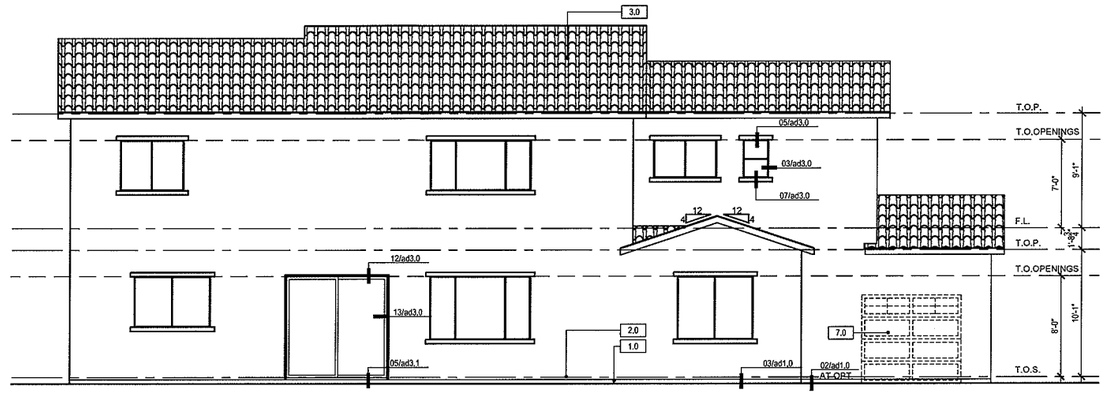
PROJECT NUMBER: 2015 61

DRAWING:
plan 3 patio & deck option

SHEET NUMBER:
a1.3



04 plan 3 right elevation a
3/16" = 1'-0



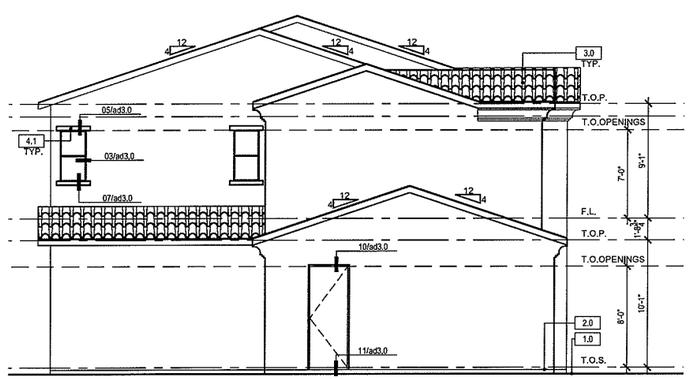
03 plan 3 rear elevation a
3/16" = 1'-0

elevation key notes

1.0 FINISHED GRADE.
2.0 WEEP SCREED.
3.0 CONCRETE 'S' ROOF TILE IN COMPLIANCE WITH ESR-1900.
3.1 CONCRETE FLAT ROOF TILE IN COMPLIANCE WITH ESR-1900.
4.0 ONE COAT STUCCO SYSTEM.
4.1 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TRIM.
4.2 ONE COAT STUCCO OVER 6" WIDE RIGID FOAM TRIM.
4.3 1 COAT STUCCO OVER 1" RIGID FOAM WRAP
5.0 OPTIONAL ADHERED STONE VENEER.
6.0 SHUTTER.
7.0 OPTIONAL GARAGE DOOR.
8.0 DECORATIVE FOAM ACCENT.
8.1 DECORATIVE METAL AT STUCCO RECESS.

elevation notes

1. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
2. ONLY APPROVED STUCCO MATERIALS AND METHODS WILL BE ACCEPTABLE. SUBMIT SPECIFICATION FOR APPROVAL. 1-COAT STUCCO SYSTEM COMPLIANT WITH ICHESR-1607.
3. ALL STUD WALLS AND CEILINGS EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYPSUM BOARD PRIOR TO SOFFIT INSTALLATION.
4. DUCT TERMINATION TO OCCUR MINIMUM 10'-0" FROM WINDOW OR DOOR OPENING INTO DWELLING UNIT.
5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
6. REFER TO DETAIL 01AD-3.0 FOR TYPICAL WINDOW FLASHING INSTALLATION.
7. ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
8. PROVIDED (2) LAYERS OF GRADE 'D' BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
9. ALL VERTICAL PLASTER SURFACES 3" OR MORE IN DEPTH WILL RECEIVE ICE AND WATER SHIELD WEATHERBOARD LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
10. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. DO NOT ATTIC VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.



02 plan 3 left elevation a
3/16" = 1'-0

01 plan 3 front elevation a
3/16" = 1'-0

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GRAND CANYON AND ALEXANDER
ADAVEN HOMES
LAS VEGAS, NV

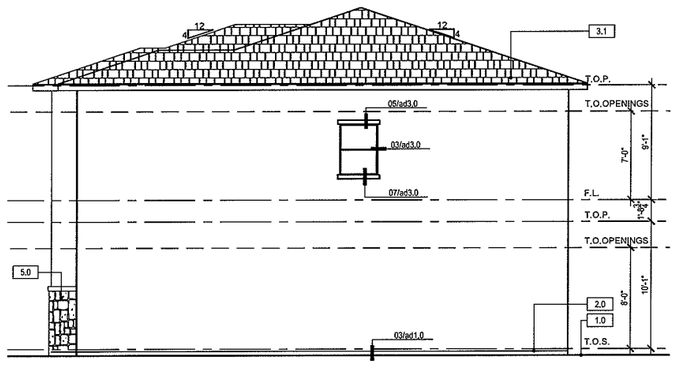
NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

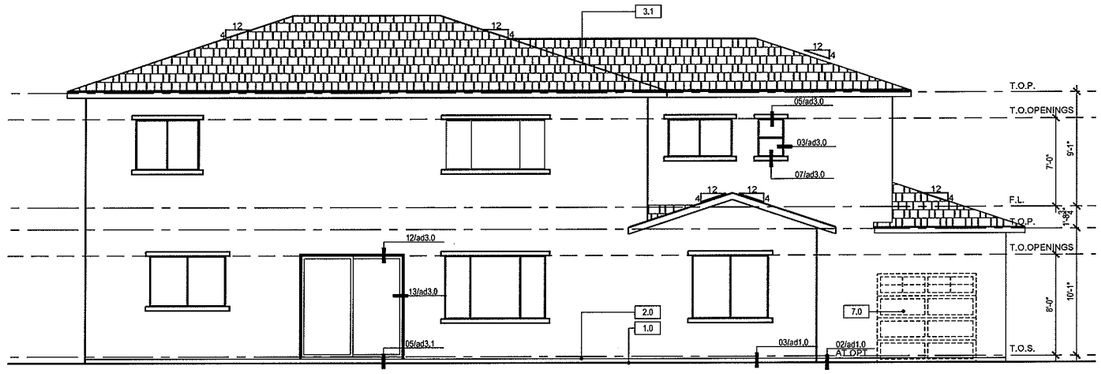
PROJECT NUMBER: 2015 61

DRAWING:
plan 3 elevations
option a

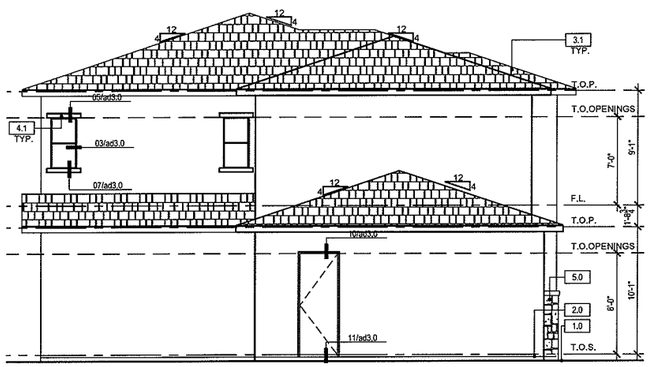
SHEET NUMBER:
a2.0



04 plan 3 right elevation b
3/16" = 1'-0



03 plan 3 rear elevation b
3/16" = 1'-0



02 plan 3 left elevation b
3/16" = 1'-0

01 plan 3 front elevation b
3/16" = 1'-0

elevation key notes

1.0 FINISHED GRADE.
2.0 WEEP SCREED.
3.0 CONCRETE 'S' ROOF TILE IN COMPLIANCE WITH ESR-1900.
3.1 CONCRETE FLAT ROOF TILE IN COMPLIANCE WITH ESR-1900.
4.0 ONE COAT STUCCO SYSTEM.
4.1 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TRIM.
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4.3 1 COAT STUCCO OVER 1" RIGID FOAM WRAP
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6.0 SHUTTER.
7.0 OPTIONAL GARAGE DOOR.
8.0 DECORATIVE FOAM ACCENT.
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5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
6. REFER TO DETAIL 01AD-3.0 FOR TYPICAL WINDOW FLASHING INSTALLATION.
7. ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
8. PROVIDED (2) LAYERS OF GRADE 'D' BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
9. ALL VERTICAL PLASTER SURFACES 3" OR MORE IN DEPTH WILL RECEIVE ICE AND WATER SHIELD WEATHERBOARD LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
10. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. DO NOT ATTIC VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.

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GRAND CANYON AND ALEXANDER
ADAVEN HOMES
LAS VEGAS, NV

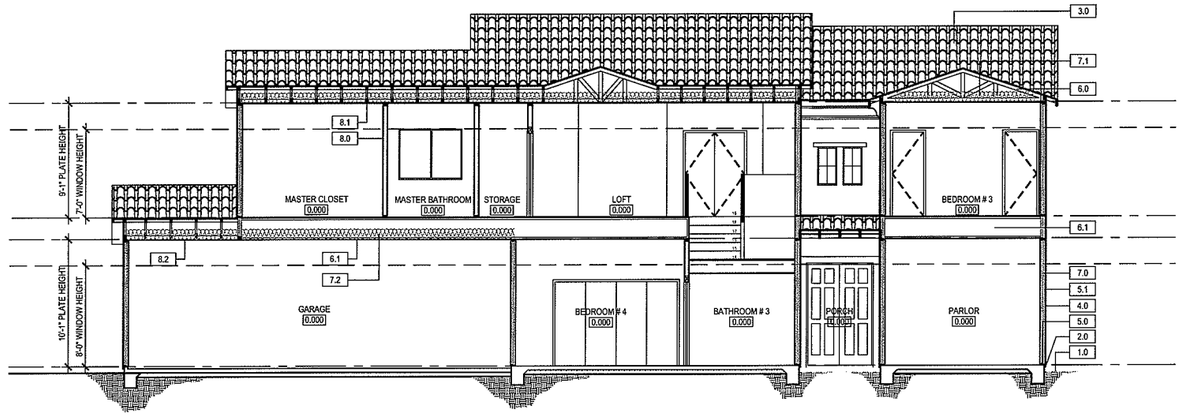
NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

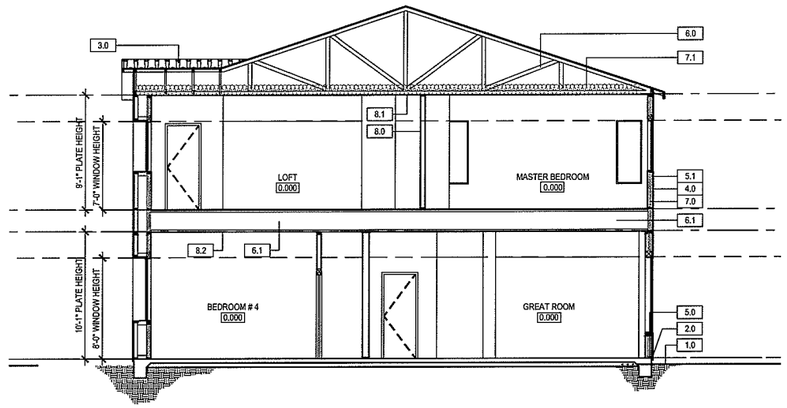
PROJECT NUMBER: 2015 61

DRAWING:
plan 3 elevations
option b

SHEET NUMBER:
a2.1



02 section
3/16" = 1'-0



01 section
3/16" = 1'-0

section key notes

###

1.0 FINISHED GRADE.
2.0 WEEP SCREED.
3.0 CONCRETE ROOF TILE (ESR-1900).
4.0 ONE COAT STUCCO SYSTEM.
5.0 2X PRESSURE-TREATED OR REDWOOD SILL PLATE.
5.1 2X FRAMING @ 16" O.C. U.N.O. ON STRUCTURAL PLANS.
6.0 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C. U.N.O. ON STRUCTURAL PLANS.
6.1 PRE-MANUFACTURED FLOOR TRUSSES @ 24" O.C. U.N.O. ON STRUCTURAL PLANS.
7.0 EXTERIOR 2X4 WALL INSULATION: R-13
7.1 ROOF INSULATION: R-30
7.2 FLOOR INSULATION: R-19
7.3 EXTERIOR 2X6 WALL INSULATION: R-19
8.0 5/8" GYPSUM BOARD.
8.1 5/8" GYPSUM BOARD CEILING RATED OR 5/8" GYPSUM BOARD.
8.2 5/8" TYPE X GYPSUM BOARD.

section notes

1. BUILDING SECTIONS ARE FOR THE DEPICTION OF THE BASIC BUILDING DESIGN, INCLUDING THE VERTICAL AND HORIZONTAL SPACE AND DIMENSIONS. THESE BUILDING SECTIONS ARE NOT INTENDED TO BE USED FOR STRUCTURAL ELEMENTS SUCH AS BEAMS, FOOTINGS, GRADE BEAMS, ETC. DESIGN OR LOCATIONS. REFER TO STRUCTURAL DRAWINGS AND ENLARGED DETAILS FOR SPECIFIC DESIGN AND CONSTRUCTION REQUIREMENTS.

2. TOP OF RIDGE, MIDPOINT OF RIDGE, PLATE HEIGHTS, NATURAL GRADE HEIGHT AND ANY OTHER VERTICAL CONTROL DIMENSION SHOWN ON THE SECTIONS OR ELEVATIONS ARE TO BE FIELD VERIFIED BY GENERAL CONTRACTOR WITH A STRING LINE BEFORE ERECTION OF ROOF FRAMING ELEMENTS. CLIENT IS TO BE NOTIFIED IF THERE ARE ANY DISCREPANCIES OR CONFLICTS WITH PLANNING DEPARTMENT OR HOMEOWNERS ASSOCIATION BUILDING HEIGHTS AND/OR ENVELOPE REQUIREMENTS. GENERAL CONTRACTOR ASSUMES ALL LIABILITY AND COSTS OF LOWERING ROOF FRAMING IF STRUCTURE IS ERECTED BEFORE STRING LINE CONFIRMATIONS ARE COMPLETED.

3. PROVIDE INSULATION AS FOLLOWS:

   - EXTERIOR 2X4 WALLS R-13
   - EXTERIOR 2X6 WALLS R-19
   - ROOFS R-30
   - RAISED WOOD FLOORS R-19

   - CONFIRM INSULATION REQUIREMENTS WITH ENERGY COMPLIANCE STATEMENT.

4. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATION IN ACCORDANCE WITH I.R.C. R602.8:

   4.1 IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS:
   4.1.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS
   4.1.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
   4.2 AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILINGS.
   4.3 IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
   4.4 AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

5. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BASED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD. (I.R.C. TABLE R 702.3.5)

6. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION PER IRC.

7. REFER TO FLOOR PLAN FOR CEILING HEIGHTS, DIMENSIONS AND SPECIFICATIONS.

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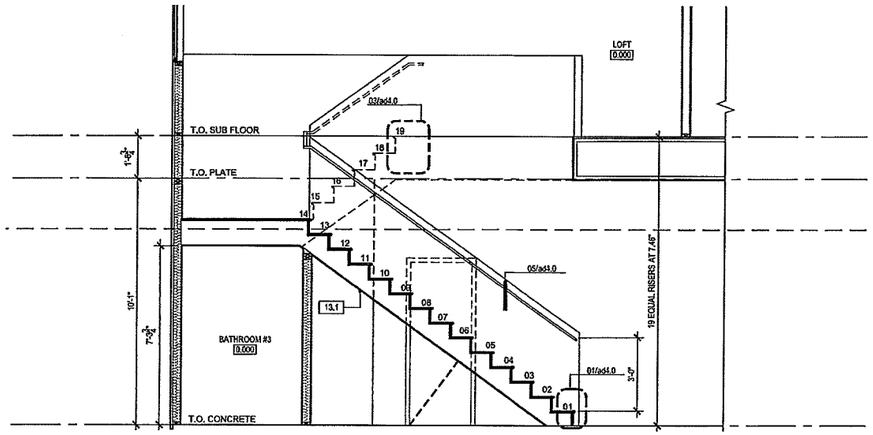
NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

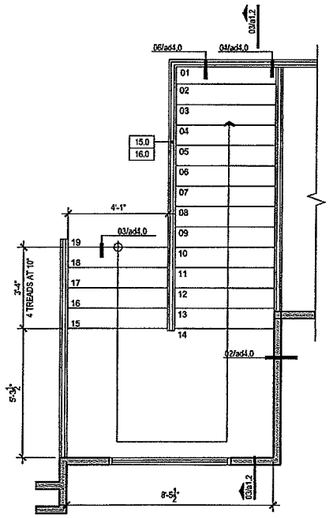
PROJECT NUMBER: 2015 61

DRAWING:
plan 3 sections

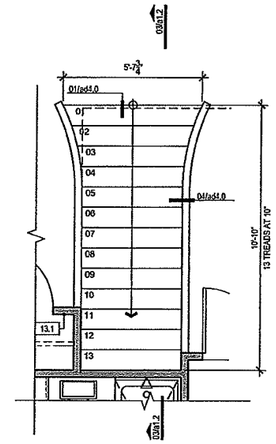
SHEET NUMBER:
a3.0



03 stair section
3/8" = 1'-0



02 enlarged stair plan - 2nd floor
3/8" = 1'-0



01 enlarged stair plan - 1st floor
3/8" = 1'-0

floor plan key notes

SSS

1.0 32 X 21 DOUBLE SINK WITH GARBAGE DISPOSAL.

2.0 DISHWASHER (24" W. X 24" D. W/ AIR GAP). VERIFY DIMENSIONS WITH MANUFACTURER.

3.0 39" WIDE CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE-MAKER).

4.0 30" GAS RANGE WITH HOOD, LIGHT AND FAN ABOVE.

5.0 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.

5.1 SHELF & POLE.

6.0 PANTRY W/ 5 SHELVES EQUALLY SPACED. SEE PLANS FOR WIDTH.

7.0 RECESSED MEDICINE CABINET.

8.0 TOWEL BAR. PROVIDE 2X8 BLOCKING @ +40" A.F.F..

8.1 TOWEL RING. PROVIDE 2X8 BLOCKING @ +44" A.F.F..

9.0 32" X 60" TUB / SHOWER COMBO

9.1 OPTIONAL 4' LINEAR FIREPLACE: KHDLVP500 MARQUIS DIRECT VENT. INSTALL PER MANUFACTURER SPECIFICATION.

9.2 DARCY 10342 TUB & SHOWER SUITE.

9.3 DARCY 42" X 60" TUB

9.4 42" x 80" SHOWER: PREFABRICATED SHOWER PAN. FINISH WALLS W/ TILE OVER ½" FIBER CEMENT BACKER BD TO 72" HIGH MIN.

9.5 TEMPERED GLASS SHOWER ENCLOSURE. FINISH WALLS W/ TILE OVER ½" CEMENT BACKER BOARD TO 72" HIGH MINIMUM AT WALK-IN SHOWER.

10.0 WATER HEATER ON 18" PLATFORM W/ SEISMIC STRAPS. PROVIDE PRESSURE RELIEF VALVE W/ DRAIN TO TO OUTSIDE. COMBUSTION AIR AND VENT TO OUTSIDE.

10.1 3" DIA. PIPE COLUMN, CONCRETE FILLED, EXTENDING 36" ABOVE SLAB AND 24" INTO FOOTING. SEE DETAIL 6/AD1.0.

11.0 22" X 30" ATTIC ACCESS MIN. W/ 30" MIN. CLEAR HEADROOM. PROVIDE SWITCHED LIGHT, 110V OUTLET AND 24" PLATFORM TO FAU WITH 30" WORKSPACE.

11.1 AC CONDENSER ON CONCRETE PAD. (VERIFY SIZE AND LOCATION)

12.0 WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS. (RECESSED GARAGE BOX IN GARAGE FIRE RATED WALL SHALL BE METAL). PROVIDE DRAIN PAN W/ DRAIN @ SECOND FLOOR LOCATION.

12.1 DRYER SPACE: PROVIDE DRYER VENT TO OUTSIDE 14' MAX. LENGTH WITH 2 ELBOWS MAX. OR U.N.O. PER MECHANICAL DRAWINGS.

13.0 SEPARATION REQUIREMENT - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY NOT LESS THAN ½ GYP. BD. APPLIED TO THE GARAGE SIDE. GARAGES SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY MIN. ½ TYPE X GYP. BD. OR EQUAL. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½ GYP. BD.

13.1 ½ GYPSUM BOARD AT WALLS AND CEILING AT USEABLE SPACE UNDER STAIRS.

13.2 DRAFTSTOP AT FLOOR / CEILING ASSEMBLY (I.R.C. R50.12) - REFER TO DETAIL 09/a54.0.

14.0 LOW WALL @ 34 ½ A.F.F.. VERIFY HEIGHT WITH CABINET SUPPLIER.

15.0 38" H. DRYWALL GUARDRAIL - 1/2" DRYWALL OVER 2X WOOD FRAMING

16.0 HANDRAIL @ 36" A.F.F..

17.0 SOFFIT AT 7'-1" A.F.F. TO BOTTOM OF FRAMING

18.0 CONCRETE LANDING: MINIMUM DIMENSIONS TO BE WIDTH OF DOOR, 3'-0" DEEP IN DIRECTION OF TRAVEL, SLOPED AT .25/12 (2%) AWAY FROM DOOR. PER 2012 IRC 311, LANDINGS SHALL BE 1-1/2" MAX. BELOW TOP OF SLAB AT ENTRY; ALL OTHER LANDINGS SHALL BE 7-3/4" MAX. BELOW TOP OF SLAB.

19.0 SOLID CORE WOOD DOOR, MIN. 1 3/8" THICK, EQUIPPED W/ A SELF-CLOSING DEVICE.

20.0 GARAGE DOORS SHALL BE TESTED IN ACCORDANCE W/ EITHER ASTM E330 OR ANSI/DASMA 108 AND SHALL MEET THE ACCEPTANCE CRITERIA OF ANSI/DASMA 108.

21.0 1-HR RATED WALL ASSEMBLY IN COMPLIANCE WITH ICC-ESR 2729 SECTION 4.4.2 SECOND ASSEMBLY.

floor plan notes

1. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISHED FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQ.FT WITH THE MINIMUM OPERABLE WIDTH OF 20" AND THE MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS (I.R.C. R310.1).
2. SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH (U.P.C. 411.0)
3. ALL NEW GLAZING WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED SHOWING THE U-VALUE.
4. ALL GLAZING SHALL COMPLY WITH I.R.C. AND LOCAL ORDINANCES. REFER TO THE ENERGY COMPLIANCE STATEMENT FOR ALL GLAZING REQUIREMENTS.
5. WINDOWS ADJACENT TO TUBS, SHOWERS AND TUB/SHOWERS, STAIRWAYS OR ADJACENT TO AND WITH 24" OF EITHER EDGE OF DOOR SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC PER I.R.C. GLASS TO BE ETCHED.
6. ALL EXTERIOR DOORS OF CONDITIONED SPACES SHALL BE FULLY WEATHER STRIPPED.
7. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. NOT ATTIC TO VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.
8. PROVIDE A MINIMUM OF 10 MIL. VAPOR BARRIER UNDER ALL POURED IN PLACE CONCRETE FLOOR SLAB WHERE SLAB SERVES AS THE FLOOR FOR INTERIOR ENVIRONMENT.
9. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
10. WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/ CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATE EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/ CEILING ASSEMBLIES UNDER THE FOLLOWING CONDITIONS (I.R.C. R302.12).
    CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
    10.1. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN WEB OR PERFORATED MEMBERS.
11. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATION IN ACCORDANCE WITH I.R.C. R602.8:
    11.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS:
        11.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
        11.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
    11.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILINGS.
    11.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
    11.4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
    11.5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, COMPLY WITH (I.R.C. R1003.19).
12. A GAS OR WOOD-BURNING FIREPLACE, A CAUTION SIGN THAT SATES "CAUTION: DAMPER MUST BE PERMANENTLY BLOCKED OPEN IF GAS IS SUPPLIED TO THIS FIREPLACE." THE LETTERS MUST BE A MINIMUM 3/8" INCH IN HEIGHT.
13. SKYLIGHTS SHALL COMPLY WITH (I.R.C. R308.6).
14. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BASED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD. (I.R.C. TABLE R 702.3.5)
15. UNLESS OTHERWISE PERMITTED BY I.R.C. R316.5 OR R316.6, FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY AN APPROVED THERMAL BARRIER OF A MINIMUM 1/2" GYPSUM WALL BOARD OR AN APPROVED FINISH MATERIAL EQUIVALENT TO A THERMAL BARRIER MATERIAL (I.R.C. R316.4).

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DATE 9-27-16

GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

PROJECT NUMBER: 2015 61

DRAWING:
plan 3
enlarged stair plans

SHEET NUMBER:

floor plan key notes

1.0 22" x 3" STEEL SOFFIT VENT IN CEILING ABOVE - CONSTRUCTION METALS INC., MODEL #SV223 OR EQUAL

2.0 24 GA. GALV. METAL SCUPPER, 6"W x 3"HL

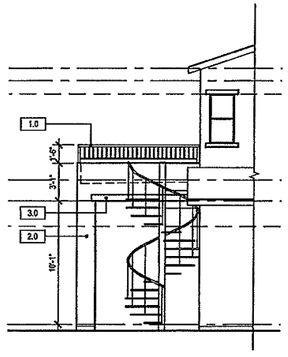
elevation key notes

1.0 18" HIGH METAL RAILING

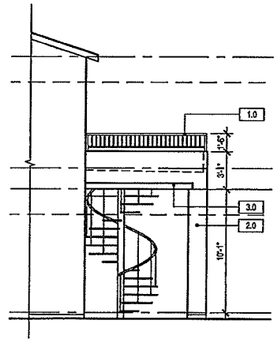
2.0 ONE COAT STUCCO O/ MTL LATH O/ FOAM INSULATION BOARD

3.0 ONE COAT STUCCO O/ 6" HIGH X 2" DEEP RIGID FOAM TRIM

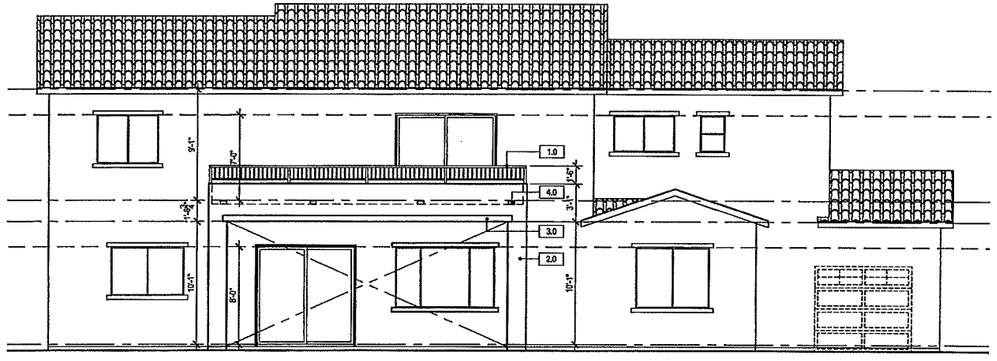
4.0 THROUGH - WALL SCUPPER



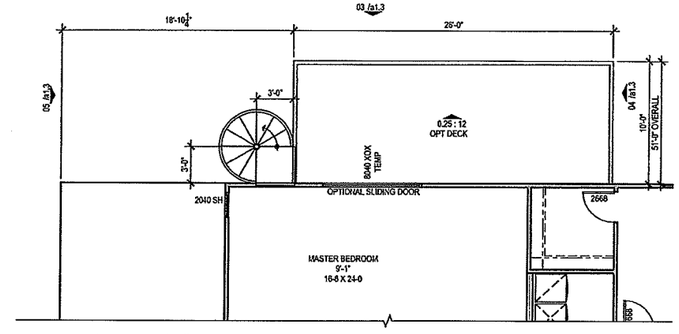
05 side elevation
3/16" = 1'-0



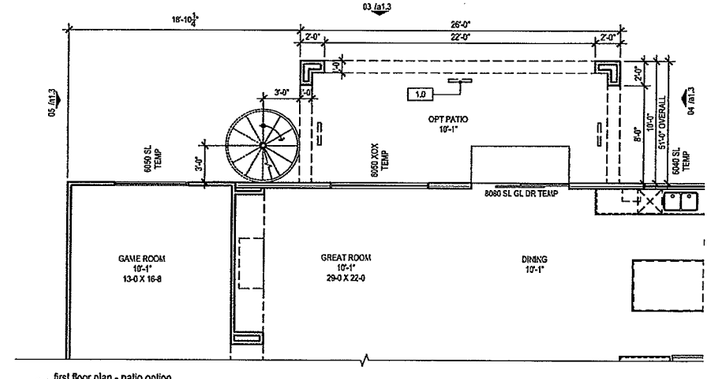
04 side elevation
3/16" = 1'-0



03 rear elevation
3/16" = 1'-0



02 second floor plan - deck option
3/16" = 1'-0



01 first floor plan - patio option
3/16" = 1'-0

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City of Las Vegas

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ADAVEN HOMES
LAS VEGAS, NV

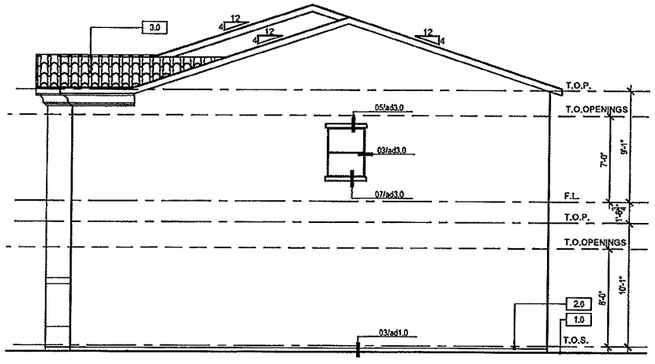
NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

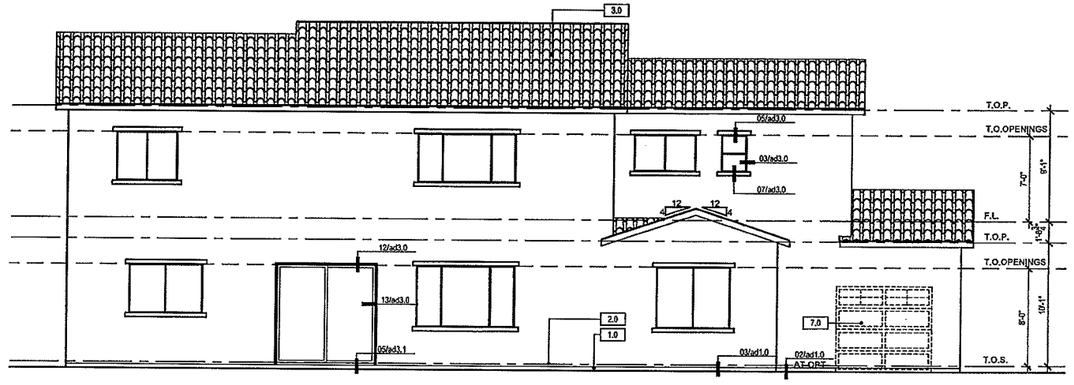
PROJECT NUMBER: 2015 61

DRAWING:
plan 3 patio & deck option

SHEET NUMBER:
a1.3



04 plan 3 right elevation a
3/16" = 1'-0



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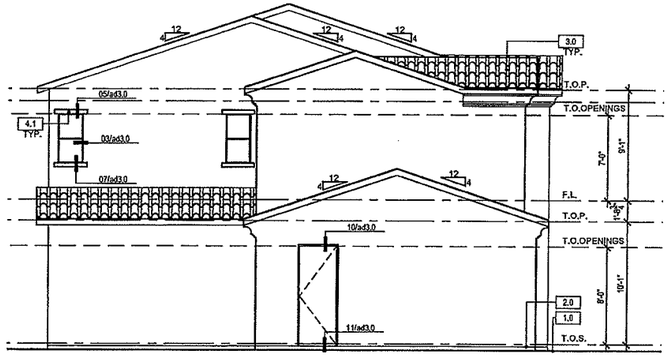

02 plan 3 left elevation a
3/16" = 1'-0

01 plan 3 front elevation a
3/16" = 1'-0

elevation key notes

808

1.0 FINISHED GRADE.
2.0 WEEP SCREED.
3.0 CONCRETE 'S' ROOF TILE IN COMPLIANCE WITH ESR-1900.
3.1 CONCRETE FLAT ROOF TILE IN COMPLIANCE WITH ESR-1900.
4.0 ONE COAT STUCCO SYSTEM.
4.1 ONE COAT STUCCO OVER 4" WIDE RIGID FOAM TRIM.
4.2 ONE COAT STUCCO OVER 6" WIDE RIGID FOAM TRIM.
4.3 1 COAT STUCCO OVER 1" RIGID FOAM WRAP
5.0 OPTIONAL ADHERED STONE VENEER.
6.0 SHUTTER.
7.0 OPTIONAL GARAGE DOOR.
8.0 DECORATIVE FOAM ACCENT.
8.1 DECORATIVE METAL AT STUCCO RECESS.

elevation notes

1. THE STREET ADDRESS SHALL BE POSTED ON THE BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY AND MUST BE ILLUMINATED.
2. ONLY APPROVED STUCCO MATERIALS AND METHODS WILL BE ACCEPTABLE. SUBMIT SPECIFICATION FOR APPROVAL. 1-COAT STUCCO SYSTEM COMPLIANT WITH ICHESR-1607.
3. ALL STUD WALLS AND CEILINGS EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYPSUM BOARD PRIOR TO SOFFIT INSTALLATION.
4. DUCT TERMINATION TO OCCUR MINIMUM 10'-0" FROM WINDOW OR DOOR OPENING INTO DWELLING UNIT.
5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
6. REFER TO DETAIL 01AD-3.0 FOR TYPICAL WINDOW FLASHING INSTALLATION.
7. ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
8. PROVIDED (2) LAYERS OF GRADE 'D' BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
9. ALL VERTICAL PLASTER SURFACES 3" OR MORE IN DEPTH WILL RECEIVE ICE AND WATER SHIELD WEATHERBOARD LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
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GRAND CANYON AND ALEXANDER

ADAVEN HOMES
LAS VEGAS, NV

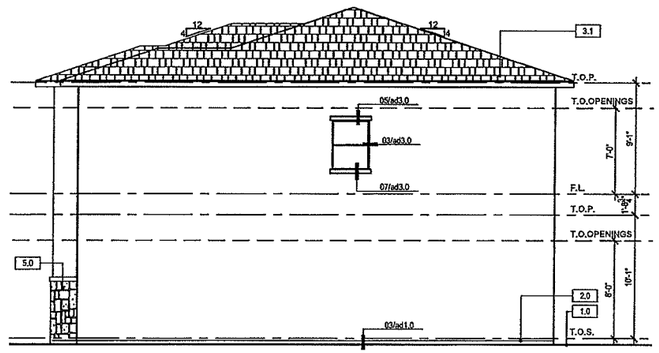
NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

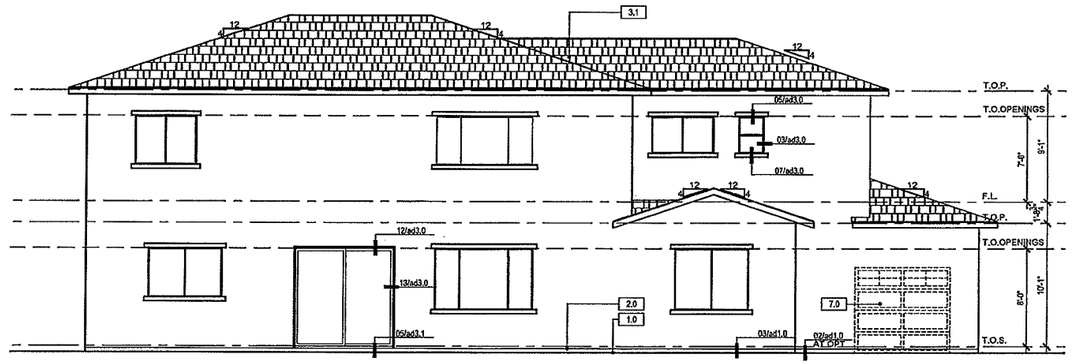
PROJECT NUMBER: 2015 61

DRAWING:
plan 3 elevations
option a

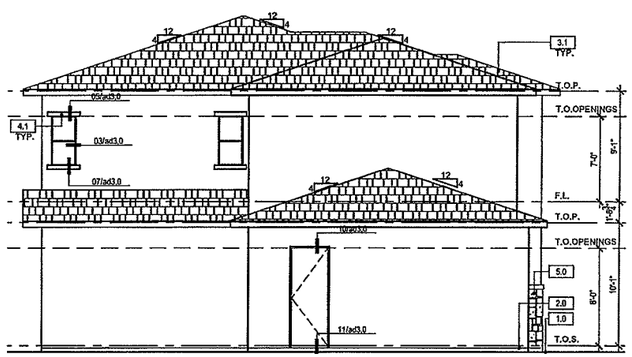
SHEET NUMBER:
a2.0



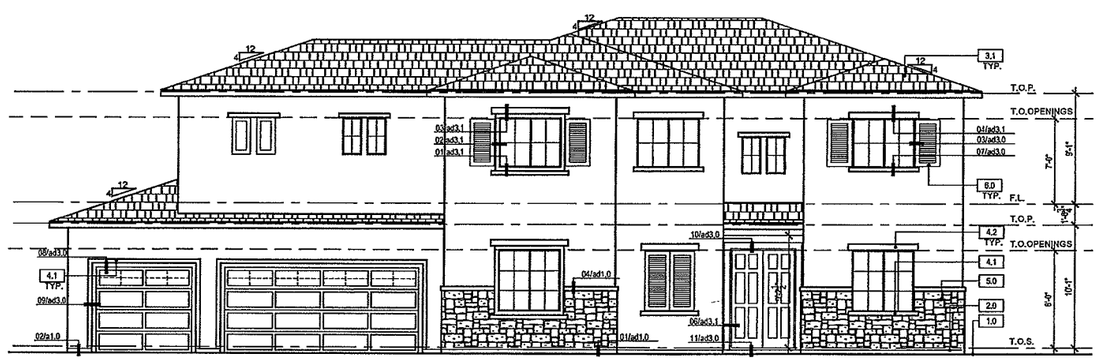
04 plan 3 right elevation b
3/16" = 1'-0



03 plan 3 rear elevation b
3/16" = 1'-0



02 plan 3 left elevation b
3/16" = 1'-0



01 plan 3 front elevation b
3/16" = 1'-0

elevation key notes

1.0 FINISHED GRADE.
2.0 WEEP SCREED.
3.0 CONCRETE 'S' ROOF TILE IN COMPLIANCE WITH ESR-1900.
3.1 CONCRETE FLAT ROOF TILE IN COMPLIANCE WITH ESR-1900.
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elevation notes

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2. ONLY APPROVED STUCCO MATERIALS AND METHODS WILL BE ACCEPTABLE. SUBMIT SPECIFICATION FOR APPROVAL. 1-COAT STUCCO SYSTEM COMPLIANT WITH ICHES/R-1607.
3. ALL STUD WALLS AND CEILINGS EXTENDING INTO A SOFFIT WILL BE PRE-BOARDED WITH RATED GYPSUM BOARD PRIOR TO SOFFIT INSTALLATION.
4. DUCT TERMINATION TO OCCUR MINIMUM 10'-0" FROM WINDOW OR DOOR OPENING INTO DWELLING UNIT.
5. ALL VERTICAL DIMENSIONS SHOWN ARE FROM THE INTERIOR TOP OF SHEATHING AT THE FIRST OR SECOND FLOOR.
6. REFER TO DETAIL 01AD-3.0 FOR TYPICAL WINDOW FLASHING INSTALLATION.
7. ALL BOX COLUMNS AND 'POP-OUTS' SHALL REMAIN OPEN AT TOP PLATE LINE TO ALLOW FOR VENTILATION.
8. PROVIDED (2) LAYERS OF GRADE 'D' BUILDING PAPER AT WOOD SHEATHED WALLS RECEIVING EXTERIOR PLASTER.
9. ALL VERTICAL PLASTER SURFACES 3" OR MORE IN DEPTH WILL RECEIVE ICE AND WATER SHIELD WEATHERBOARD LAPPED 6" MINIMUM WITH BUILDING PAPER PRIOR TO THE APPLICATION OF WIRE LATH AND PLASTER.
10. PROVIDE INSULATION EQUAL TO R-19 IN EXTERIOR WALLS, R-30 IN THE FLOOR AND R-30 IN ATTIC. ATTIC INSULATION TO BE FILLED TO TOP OF SHEATHING IN FLAT ROOF CONDITIONS. DO NOT ATTIC VENT IN THOSE CONDITIONS. VERIFY WITH ENERGY COMPLIANCE STATEMENT.

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ADAVEN HOMES
LAS VEGAS, NV

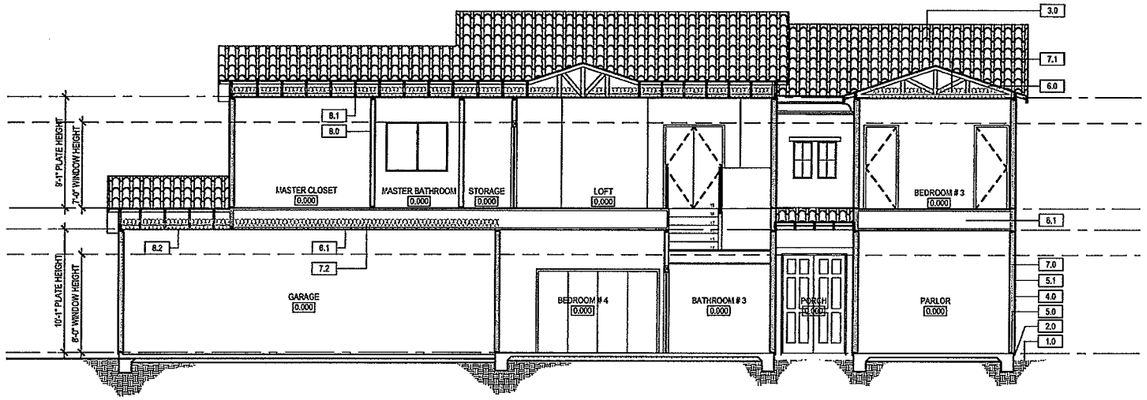
NO.	DATE	DESCRIPTION
	09 27 16	BD SUBMITTAL

PLOT DATE: 09 27 16

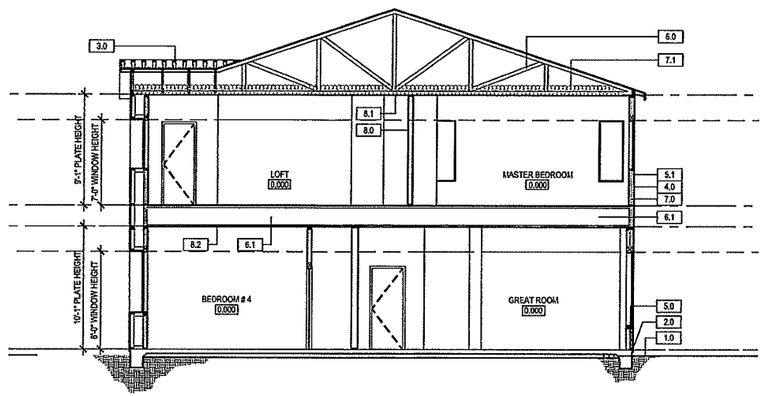
PROJECT NUMBER: 2015 61

DRAWING:
plan 3 elevations
option b

SHEET NUMBER:
a2.1



02 section
3/16" = 1'-0



01 section
3/16" = 1'-0

section key notes

###

1.0 FINISHED GRADE.
2.0 WEEP SCREED.
3.0 CONCRETE ROOF TILE (ESR-1900).
4.0 ONE COAT STUCCO SYSTEM.
5.0 2X PRESSURE-TREATED OR REDWOOD SILL PLATE.
5.1 2X FRAMING @ 16" O.C. U.N.O. ON STRUCTURAL PLANS.
6.0 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C. U.N.O. ON STRUCTURAL PLANS.
6.1 PRE-MANUFACTURED FLOOR TRUSSES @ 24" O.C. U.N.O. ON STRUCTURAL PLANS.
7.0 EXTERIOR 2X4 WALL INSULATION: R-13
7.1 ROOF INSULATION: R-30
7.2 FLOOR INSULATION: R-19
7.3 EXTERIOR 2X6 WALL INSULATION: R-19
8.0 $\frac{5}{8}$" GYPSUM BOARD.
8.1 $\frac{5}{8}$" GYPSUM BOARD CEILING RATED OR $\frac{5}{8}$" GYPSUM BOARD.
8.2 $\frac{5}{8}$" TYPE X GYPSUM BOARD.

section notes

1. BUILDING SECTIONS ARE FOR THE DEPICTION OF THE BASIC BUILDING DESIGN, INCLUDING THE VERTICAL AND HORIZONTAL SPACE AND DIMENSIONS. THESE BUILDING SECTIONS ARE NOT INTENDED TO BE USED FOR STRUCTURAL ELEMENTS SUCH AS BEAMS, FOOTINGS, GRADE BEAMS, ETC. DESIGN OR LOCATIONS. REFER TO STRUCTURAL DRAWINGS AND ENLARGED DETAILS FOR SPECIFIC DESIGN AND CONSTRUCTION REQUIREMENTS.

2. TOP OF RIDGE, MIDPOINT OF RIDGE, PLATE HEIGHTS, NATURAL GRADE HEIGHT AND ANY OTHER VERTICAL CONTROL DIMENSION SHOWN ON THE SECTIONS OR ELEVATIONS ARE TO BE FIELD VERIFIED BY GENERAL CONTRACTOR WITH A STRING LINE BEFORE ERECTION OF ROOF FRAMING ELEMENTS. CLIENT IS TO BE NOTIFIED IF THERE ARE ANY DISCREPANCIES OR CONFLICTS WITH PLANNING DEPARTMENT OR HOMEOWNERS ASSOCIATION BUILDING HEIGHTS AND/OR ENVELOPE REQUIREMENTS. GENERAL CONTRACTOR ASSUMES ALL LIABILITY AND COSTS OF LOWERING ROOF FRAMING IF STRUCTURE IS ERECTED BEFORE STRING LINE CONFIRMATIONS ARE COMPLETED.

3. PROVIDE INSULATION AS FOLLOWS:

   - EXTERIOR 2X4 WALLS R-13
   - EXTERIOR 2X6 WALLS R-19
   - ROOFS R-30
   - RAISED WOOD FLOORS R-19

   - CONFIRM INSULATION REQUIREMENTS WITH ENERGY COMPLIANCE STATEMENT.

4. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATION IN ACCORDANCE WITH I.R.C. R602.8:

   4.1 IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS:
   4.1.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS
   4.1.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
   4.2 AT ALL INTERCONNECTIONS BETWEEN CONCEALED, VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROPPED CEILING AND COVE CEILINGS.
   4.3 IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
   4.4 AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

5. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE WATER-BASED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING OR INCREASED TO 5/8" GYPSUM BOARD. (I.R.C. TABLE R 702.3.5)

6. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION PER IRC.

7. REFER TO FLOOR PLAN FOR CEILING HEIGHTS, DIMENSIONS AND SPECIFICATIONS.

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LAS VEGAS, NV

NO.	DATE	DESCRIPTION
	09 27 15	BD SUBMITTAL

PLOT DATE: 09 27 15

PROJECT NUMBER: 201561

DRAWING:
plan 3 sections

SHEET NUMBER:
a3.0