



June 22, 2016

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City Of Las Vegas Department Of Planning Pre-Application Meeting Notes

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Project Name: Reverence Community Recreation Center

Pre-app #: PREAPP2016-004949

APN(s): 137-14-601-002 (portion of)

Ward #: 2 - Beers

Acres: 7.78

Location: W of CC 215, N of Lake Mead Blvd

Pre-app Date: 05/24/16

**Follow-up
Pre-app Date:**

Planner: READY FOR SUBMITTAL

**Location /
Time:** DSC Conference Room 3E - 333 at 4:00 p.m.

Steve Swanton, (702) 229-4714
sswanton@lasvegasnevada.gov

**Submittal
Deadline:** 05/26/16 - no later than 4:00 pm

**Earliest PC / CC
Meeting Dates:** CRG - June 22, 2016

Project Number for application upload: PRJ - 64779

Project Manager email for upload: cgee@gcwengineering.com

APPLICATION(S) REQUIRED	REQUIRED FEES			
	APPLICATION	NOTIFICATION	RECORDATION	SUB-TOTAL
City Referral Group (CRG)	\$ 300.00	\$ 0.00	\$ 30.00	\$ 330.00
SUB-TOTAL:				\$ 330.00
Neighborhood Meeting - NOT REQUIRED	Add applicable neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500 / \$750 / \$1,250			\$ N/A
TOTAL:				\$ 330.00

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting; otherwise, you must make other arrangements for getting the notices mailed.

Please take a few minutes to answer seven short questions about your experience with the City of Las Vegas Department of Planning.

PLEASE TAKE OUR SURVEY AT:
www.lasvegasnevada.gov/pdsurvey



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City of Las Vegas Department of Planning Pre-Application Meeting Notes (Cont.)

Ownership Info:	PN II, INC.		Last Change of Ownership Date: 12/01/06	
	Phone: (702)	Fax: (702)	Email:	
Applicant Info:	PN II, INC.			
	Phone: (702)	Fax: (702)	Email:	
Representative Info:	CINDIE GEE		GCW ENGINEERING	
	Phone: (702) 804-2000	Fax: (702)	Email: cgee@gcwengineering.com	
Use:	Existing:	Undeveloped		
	Proposed:	Community Association Buildings and Facilities		
General Plan:	Existing:	Summerlin		
	Proposed:	No change proposed		
Zoning:	Existing:	P-C (Planned Community)		
	Proposed:	No change proposed		
Special Area, Master Plans, and / or Overlay Districts that Apply:	Village 10, 11, 12 and 26 Development Agreement			
	Special Land Use Designation (per plan, if applicable): COS (Community Open Space)			
☒ Meeting ☐ Email ☐ Conversation Record ☐ Telephone Record				
Between CLV Planning Representative: Steve Swanton, (702) 229-4714				
Name	Organization	Phone	Fax	Email
1. See Representative Information, Above				
2. Paul Fritz	GCW Engineering	702-804-2000		pfritz@gcwengineering.com
3. Roger Bailey	CLV - PW - Dev Co	229-6578	474-7599	
4. Dave Klein	CLV - Fire and Rescue	229-0366	229-0124	
OR: ☐ see Meeting Attendance Sheet				

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City of Las Vegas Department of Planning

Pre-Application Meeting Notes (Cont.)

Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☒ NO
 If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

Applications needed (text tentative, subject to change):

CRG-XXXXX – CITY REFERRAL GROUP – ADMINISTRATIVE – APPLICANT/OWNER: PN II, INC. – For possible action on a request for a Summerlin Site Development Plan Review FOR A PROPOSED SINGLE-STORY, 10,238 SQUARE-FOOT PRIVATE COMMUNITY RECREATION CENTER on a 7.78-acre portion of a 136-acre parcel on the west side of Clark County 215, approximately 2,300 feet north of Lake Mead Boulevard (portion of APN 137-14-601-002), P-C (Planned Community) Zone [COS (Community Open Space) Special Land Use Designation], Ward 2 (Beers) [PRJ-64779].

1. Request: The applicant is proposing to construct a single-story private recreation center at the center of the Reverence development (Summerlin Village 26). A Tentative Map has been approved showing a separate common area (CE W) labeled "Recreation Center." A Final Map has not been recorded. The Summerlin Design Review Committee has reviewed and conditionally approved the conceptual architecture and site plan. The exteriors would consist of stucco and concrete with metal trim, metal roofing and stone veneer.
2. Applicability: Development within this site is subject to the requirements of the Reverence Development Agreement and the Summerlin Development Standards.
3. Parking: Summerlin Development Standards require one space per 250 SF for a "Community Association Building and Facility." Counting only the building floor area, 65 spaces are required, including three ADA accessible spaces. Need to include additional dining space under patios in the parking calculations.
4. Access: from Natural Rock Drive (not yet recorded), which is a private street. Gates are proposed south of the entrance next to a guard shack with two additional parking spaces.
5. Waivers: No waivers or variances appear to be necessary at this time.
6. Mapping required: A condition of approval may require mapping of the lot on which the proposed recreation center is proposed in order to separate it from the overall 136-acre parcel it is currently on.
7. Public Works and Fire will require paved, legal access prior to opening of the recreation center.
8. A drainage study will be required.
9. Hydrants out by the private street are recommended. See attached Fire comments/requirements.
10. Other comments:
 - Provide separate landscape plan with plant legend
 - Provide colored site plan, landscape plan and elevations
 - Include elevation and specifications of rock walls on edge of property.
 - Include justification letter
 - Do not need ceiling plan or roof plan

Relevant Site History:

Related Relevant City Actions by P&D, Fire, Bldg., etc.

02/16/94	The City Council approved the annexation (A-0019-94) of 2528.70 acres generally located west of Hualapai Way between Charleston Boulevard and Cheyenne Avenue (Ordinance #3776). The Planning Commission and staff recommended approval. The annexation became effective 03/16/94. The annexed lands previously zoned R-U (Rural Open Land) in Clark County became N-U (Non-Urban) within the City of Las Vegas.
	The City Council approved a Development Agreement (DA-0002-93) between The Howard Hughes Corporation and the City of Las Vegas for Summerlin Villages 10, 11, 12 and 26 on 2695 acres (166 acres of which were already within City boundaries). The Development Agreement became effective 03/15/94. 05/26/16
	The City Council approved an amendment of a portion of the Southeast Sector of the General Plan (GPA-0046-93) from H (High Density Residential), ML (Medium Low

	Density Residential), PF (Public Facilities), M (Medium Density Residential), SC (Service Commercial), SC/LIR (Service Commercial/Light Industry/Research), S (School) and P (Parks/Recreation/Open Space) to DR (Desert Rural Residential), L (Low Density Residential), ML (Medium Low Density Residential), M (Medium Density Residential), H (High Density Residential), SC (Service Commercial), SC/LIR (Service Commercial/Light Industry/Research), GC (General Commercial), PF (Public Facilities), P (Parks/Recreation/Open Space) and S (School) on 2,528 acres located west of Hualapai Way between Cheyenne Avenue and Charleston Boulevard. The Planning Commission and staff recommended approval. The City Council approved a Rezoning (Z-0135-93) from N-U (Non-Urban) to P-C (Planned Community) of 2,528.70 acres located west of Hualapai Way between Cheyenne Avenue and Charleston Boulevard. The Planning Commission and staff recommended approval.
02/14/96	A four-lot Parcel Map (PM-0041-95) on a portion of the annexation area (2082.89 acres) located west of Hualapai Way between Cheyenne Avenue and Charleston Boulevard was recorded as Parcel Map File 84 Page 70.
09/15/04	The City Council approved a revised Summerlin Development Standards document (DIR-3934), which is still in effect.
06/07/06	The City Referral Group approved a Major Modification (CRG-13659) of Village 26 Development Plan. This action required a revised development plan to show the use, location and size of all open space areas. These revisions were to be included in a Site Development Plan Review preceding the Tentative Map.
10/19/06	A four-lot parcel map (PMP-15485) on 693.91 acres west of Clark County 215 between Lake Mead Boulevard and Cheyenne Avenue was recorded in Parcel Map File 112 Page 94. Parcels 1 and 2 make up Village 26.
11/18/15	The City Council approved a Major Modification (MOD-61039) of an approved Development Plan for Summerlin Village 26 on 300.16 acres at the northwest corner of Lake Mead Boulevard and Clark County 215. The Planning Commission and staff recommended approval. The City Council approved a Tentative Map (TMP-60968) for a master planned village containing 323 single-family residential lots, one multi-family residential lot and 14 large pod lots on 300.16 acres at the northwest corner of Lake Mead Boulevard and Clark County 215. The Planning Commission and staff recommended approval. A Final Map for this area has not been submitted for review.
12/29/15	A Parcel Map (PMP-61340) for four parcels at the northwest corner of Lake Mead Boulevard and Clark County 215 was recorded.
06/14/16	The Planning Commission will consider a request for a Variance (VAR-64311) to allow the street name "Reverence" to coexist with the street name "Reference" where street names that sound alike cannot be used on 285.06 acres at the northwest corner of Clark County 215 and Lake Mead Boulevard.

Related Building Permits/Business Licenses

There are no building permits or business licenses related to this site.

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City of Las Vegas Department of Planning Pre-Application Meeting Notes (Cont.)

Please upload all applicable files for e-plan review when requested to do so. Files will be uploaded into one of the following folders: A-Drawings or A-Documents (see below for required files and which folder to upload them to). All uploaded files must follow the CLVEPLAN File standards found at: http://www.lasvegasnevada.gov/files/CLVEPlan_PD_Naming_Std.pdf. If files are not named correctly or are uploaded to an incorrect folder, the application may be rejected, which may result in a delay in processing the application.

The files uploaded into the A-Drawings Folder must be uploaded as individual sheets.

For blank forms (application, SOFI & DINA/PRS), and additional information regarding justification letter requirements, go to the City of Las Vegas website at: <http://www.lasvegasnevada.gov/> ("I Want To" --> "Apply for --> Planning Applications").

Item Required?		FILE TYPE:	UPLOAD TO / NAMING EX:
YES	NO		
☒	☐	APPLICATION(S) electronically signed off through CLVEPLAN after applicant upload. **NOTE: Staff reserves the right to require upload of signed notarized documents as a supplement to EPLAN	A-DOCUMENTS PRJ64779_AP001
☐	☒	STATEMENT OF FINANCIAL INTEREST (SOFI) (if applicable) (see http://www.clarkecountynv.gov/DocumentCenter/View/1000)	A-DOCUMENTS PRJ64779_SF001
☒	☐	JUSTIFICATION LETTER (a single letter addressing all related applications in detail)	A-DOCUMENTS PRJ64779_JF001
☒	☐	GRANT DEED AND LEGAL DESCRIPTION (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)	A-DOCUMENTS PRJ64779_DG001
☐	☒	DEVELOPMENT IMPACT NOTICE AND ASSESSMENT (DINA) / PROJECT OF REGIONAL SIGNIFICANCE (PRS) FORM	A-DOCUMENTS PRJ64779_DIN01
☒	☐	Cop(ies) of approval letter(s) for Summerlin Design Review Committee	A-DOCUMENTS PRJ64779_AL001
☒	☐	SITE PLAN – One color, one B/W version - North arrow, bar scale, graphic scale and vicinity map All property lines and present dimensions labeled All building setbacks labeled All adjacent existing land uses and street names labeled All points of ingress and egress shown - ADA accessibility requirements shown/labeled - Parking Calculation: ➢ Parking standard(s) utilized: Community Association Buildings and Facilities ➢ Parking space count and typical dimensions labeled ➢ _____ # regular + _____ # compact (30% max) + _____ # handicap = _____ Total All free-standing sign locations shown and heights and sizes noted	A-DRAWINGS PRJ64779_SP001
☒	☐	LANDSCAPE PLAN – One color, one B/W version - North arrow, bar scale, graphic scale, and vicinity map All property lines and present dimensions labeled All required perimeter landscape planters shown All required parking lot fingers/islands shown - Quantity, size, species/variety of all trees, shrubs, and ground cover in table format	A-DRAWINGS PRJ64779_LP001
☒	☐	BUILDING ELEVATIONS – One color, one B/W version - Graphic scale, bar scale and building dimensions labeled - North, south, east, and west elevations of all buildings All building materials and colors noted All wall sign locations shown and sizes noted	A-DRAWINGS PRJ64779_EV001
☐	☒	CONCEPTUAL SITE PLAN (CSP) (if applicable) (see http://www.clarkecountynv.gov/DocumentCenter/View/1000)	A-DRAWINGS PRJ64779_CS001

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☒	☐	FLOOR PLANS – B/W only • Graphic scale, bar scale and building dimensions labeled • North arrow, scale (to include a graphic scale) • All building entrances/exits shown • Use of all rooms noted/labeled • Maximum Occupancy (per I.B.C.) • Seating Capacity (where applicable)	A-DRAWINGS PRJ64779_FP001
☒	☐	STREET SECTIONS – B/W only • Depict section from ROW line to ROW line • Graphic scale with all dimensions listed • Indicate whether full or half-street improvements will be completed • Indicate areas of landscaping and any perimeter walls	A-DRAWINGS PRJ64779_ST001
☒	☐	PERIMETER WALL DETAILS AND ELEVATIONS – B/W only For existing and proposed perimeter walls , including the height of retaining and screen walls and step-backs. Provide elevations that indicate overall height, color, material, and texture of the walls	A-DRAWINGS PRJ64779_TW001
THIS FORM <u>MUST</u> ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.			

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**Applications MUST BE submitted by 4:00 P.M. on CLOSING DAYS,
or by 5:00 P.M. on NON-CLOSING DAYS. Call (702) 229-6301 for additional information**



DEPARTMENT OF PLANNING

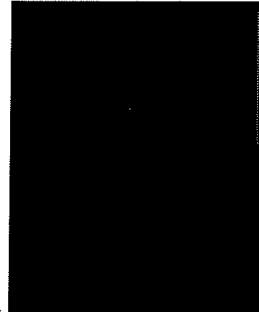
2016 City Referral Group Meeting Schedule

Closing Date	Meeting Date
December 17, 2015	January 13, 2016
December 31, 2015	January 27, 2016
January 14, 2016	February 10, 2016
January 28, 2016	February 24, 2016
February 11, 2016	March 9, 2016
February 25, 2016	March 23, 2016
March 17, 2016	April 13, 2016
March 31, 2016	April 27, 2016
April 14, 2016	May 11, 2016
April 28, 2016	May 25, 2016
May 12, 2016	June 8, 2016
May 26, 2016	June 22, 2016
June 16, 2016	July 13, 2016
June 30, 2016	July 27, 2016
July 14, 2016	August 10, 2016
July 28, 2016	August 24, 2016
August 18, 2016	September 14, 2016
September 1, 2016	September 28, 2016
September 15, 2016	October 12, 2016
September 29, 2016	October 26, 2016
October 13, 2016	November 9, 2016
October 27, 2016	November 23, 2016
November 10, 2016	December 14, 2016
November 23, 2016	December 28, 2016
December 15, 2016	January 11, 2017
December 29, 2016	January 25, 2017

*CRG MEETINGS ARE HELD THE 2ND AND 4TH WEDNESDAY OF EACH MONTH EXCEPT WHERE NOTED ABOVE

Applications MUST BE submitted by 4:00 P.M. on CLOSING DAYS
Applications WILL BE accepted until 5:00 P.M. on NON-CLOSING DAYS
All meetings will be held at 2:00 P.M. unless otherwise noted
Call (702) 229-6301 for additional information

PRJ-64779
05/26/16



PRJ-64779
05/26/16

Recreation Center
Landscape Concept

15' 30'

scale 1:30"

date: 5.12.16

05/26/16

andersonbaron
plan · design · achieve
30 n. mcclintock drive, ste 1
chandler, arizona 85226
ph 480.699.7936 f.480.699.7986

Pulte

THESE DRAWINGS ARE PREPARED BY SHJ STUDIO
AND ARE NOT TO BE USED FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN PERMISSION FROM SHJ STUDIO IN WRITING.
FLOORPLAN © SHJ STUDIO INC. 2016

KEYED NOTES

1. PLANTER - PER LANDSCAPE
2. PAVING/HARDSCAPE - PER LANDSCAPE
3. FLOORING - PER LANDSCAPE
4. FLOORING GLASS WALL
5. T.V.
6. UNIFORM WARDROBE
7. POOL BAR/BEER FRIDGE - PER LANDSCAPE
8. POOL ACCESS GATE - PER LANDSCAPE
9. ADA SHOWER
10. ADA TOILET
11. ADA DOOR ASSIST CONTROL
12. DECORATIVE SCREEN WALL - PER INTERIORS
13. 12" x 12" x 1/2" GLASS - PER INTERIORS
14. 12" x 12" x 1/2" GLASS - PER INTERIORS
15. DRY VESTIBULE - PER INTERIORS
16. 12" x 12" x 1/2" GLASS - PER INTERIORS
17. TOILET PARTITION - PER INTERIORS
18. FRAMELESS OSCURE GLASS PARTITION/DOOR
19. MIRROR WALL - PER INTERIORS
20. STONE/FRONT GLAZING
21. STONE/FRONT GLAZING
22. THINK-CUT STONE VENTILATOR - TYPICAL
23. 12" x 12" x 1/2" GLASS - PER INTERIORS
24. INTERNAL COLUMN BOARD FORMED CAST IN PLACE CONCRETE
25. REFRIGERATOR
26. TILED STEEL ROOF ACCESS LADDER

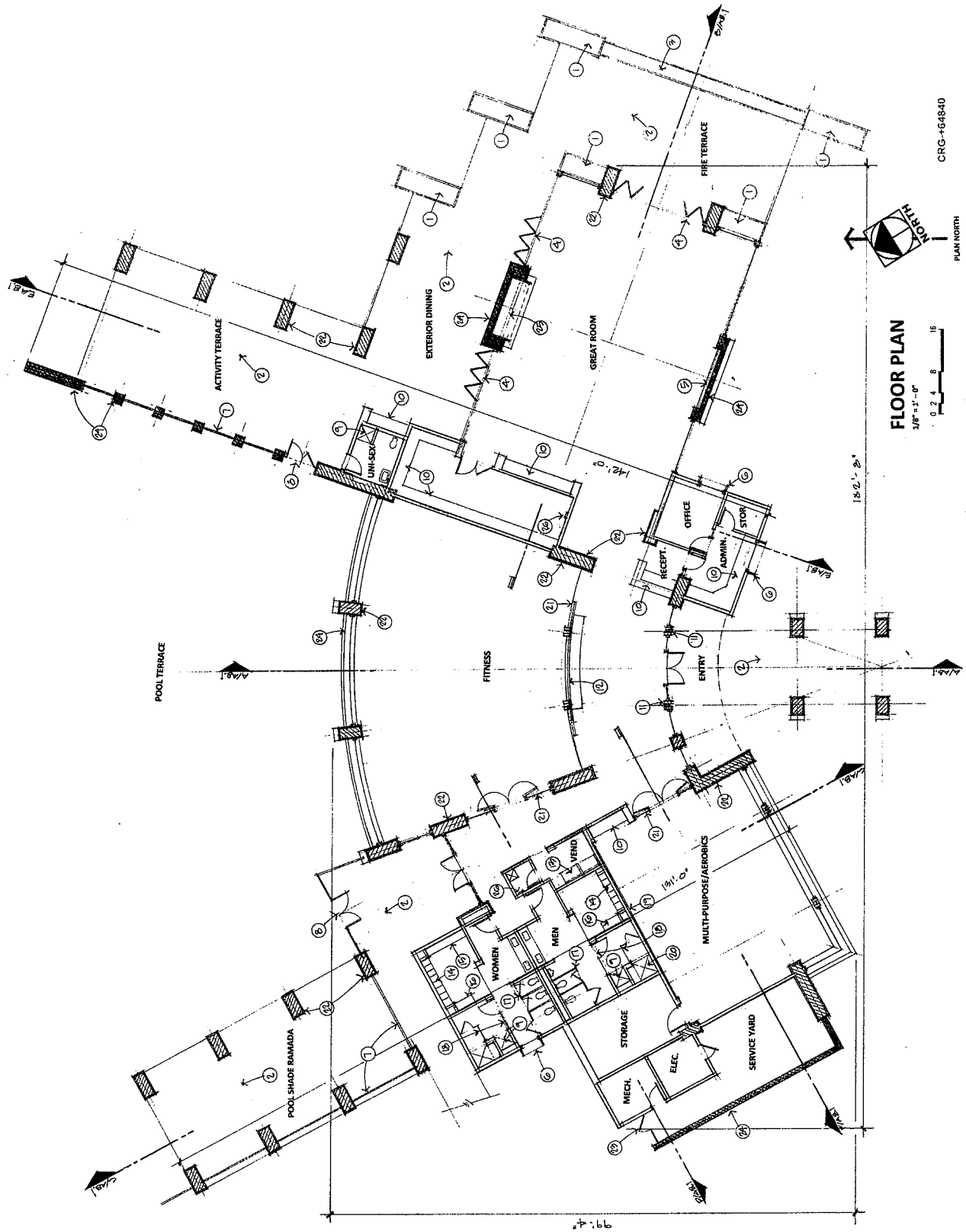
SCHEMATIC DESIGN
PRELIMINARY
NOT FOR CONSTRUCTION

REVISION

REFERENCE
AT SUMMERLIN
AMENITY CENTER

SHJ STUDIO
1101 E. McDowell Ave. #300
Phoenix, Arizona 85014
Phone: 602.248.4817
Fax: 602.248.4867
email: info@shjstudio.com

FLOOR PLAN - NOTED
PROJECT: 779
DATE: 04/01/2016
PROJ. NO.: 1402
DRAWN: CJ
A2.1



FLOOR PLAN
3/8" = 1' - 0"

CRG-464840

PLAN NORTH

THESE DRAWINGS ARE THE PROPERTY OF SRJ STUDIO AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SRJ STUDIO. ANY VIOLATION OF THESE TERMS WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

KEYED NOTES

1. POOL BARRIER FENCING AND GATE PER
2. LANDSCAPE
3. FINISHED FLOOR ELEVATION @ 0'-0"
4. PREPARED SHEET METAL FASCIA
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SCHEMATIC DESIGN
PRELIMINARY
NOT FOR CONSTRUCTION

REVERENCE
AT SUMNERLIN
AMENITY CENTER

SRJ STUDIO
1111 E. Main Street, Suite 100
Phoenix, AZ 85004
Phone: 602.248.4912
Fax: 602.248.4913
Email: info@srjstudio.com

EXTERIOR ELEVATIONS

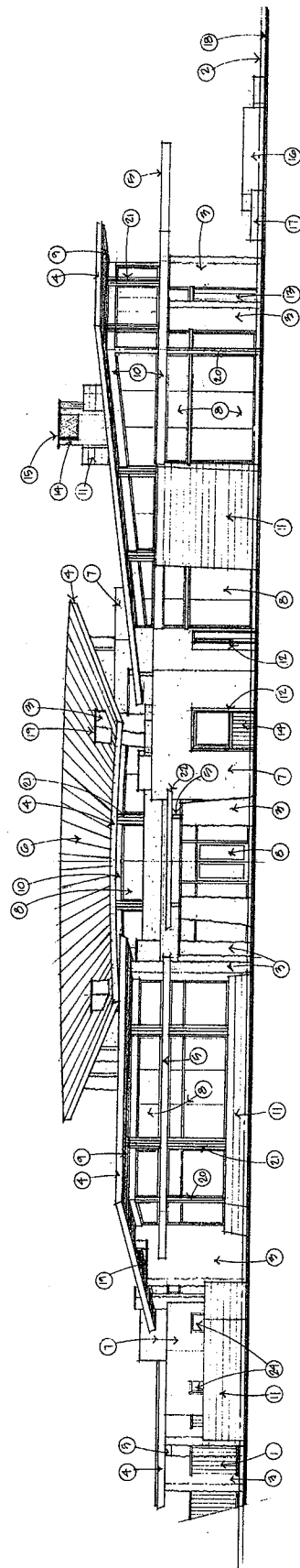
PROJ. NO. 64779
DATE: 05/25/16

DATE: 04/07/2016
PROJ. NO.: 64012
DRAWN: CJ

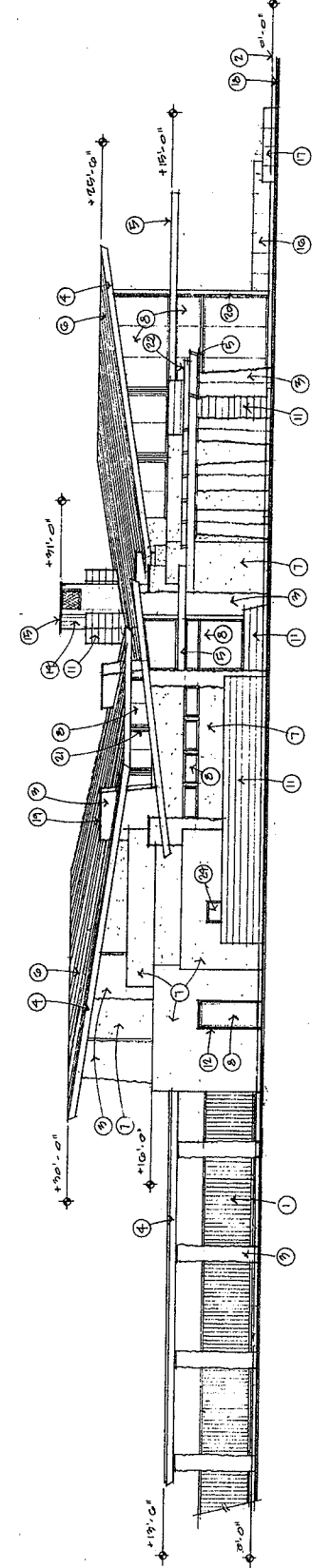
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CRG-64840

0 2 4 8 16



FRONT - SOUTH
1/8" = 1'-0"



RIGHT SIDE - EAST
1/8" = 1'-0"

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KEYED NOTES

1. POOL BARRIER FENCING AND GATE KIR
2. LANDSCAPE
3. CONCRETE FLOOR ELEVATION @ 4'-0"
4. ADHERED PINK CUT NATURAL STONE VENEER
5. PREFINISHED SHEET METAL FASADA
6. PAINTED STEEL BEAM
7. INSULATED STUCCO SYSTEM
8. INSULATED ALUMINUM STOREFRONT
9. STAINED 1 x 6 T&G WOOD SOFFIT
10. PAINTED TUBE STEEL HEADER
11. 1/2" ALUMINUM BOARD FORMED CAST-IN PLACE CONCRETE
12. STEEL WINDOW SURROUND
13. INSULATED ALUMINUM/GLASS FOLDING WALL
14. PREFINISHED SHEET METAL WALL PANEL
15. STEEL CHIMNEY CAP
16. 1/2" ALUMINUM BOARD FORMED CAST-IN PLACE CONCRETE
17. PLANTER PER LANDSCAPE
18. ASPHALT FINISHED GRADE
19. ASPHALT FINISHED STEEL PLATE WALL CAP
20. STEEL COLUMN PAIR TUBE STEEL COLUMNS
21. PAINTED TUBE STEEL LATTICE
22. HOLLOW METAL DOOR & FRAME

SCHEMATIC DESIGN
PRELIMINARY
NOT FOR CONSTRUCTION

REVISION

**REVERENCE
AT SUMMERLIN
AMENITY CENTER**

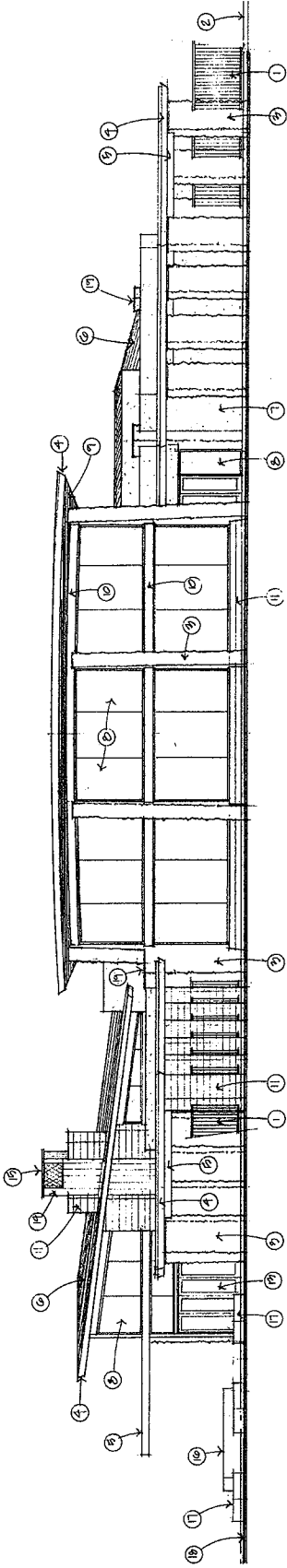
SHJ STUDIO
1110 E. McDowell Ave. #200
Phoenix, Arizona 85014
phone 602-248-9912
fax 602-248-9917
email info@shjstudio.com

EXTERIOR ELEVATIONS
PROJECT: 779
DATE: 03/28/16

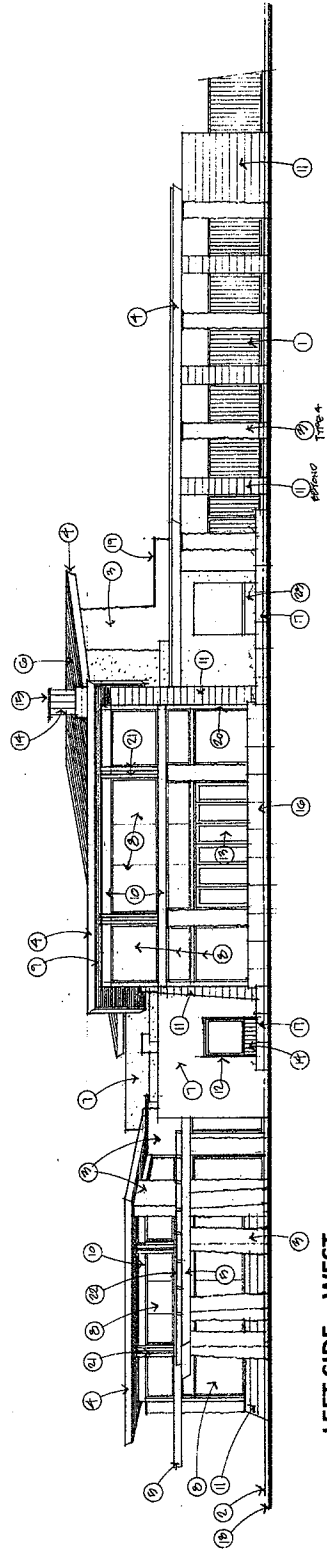
DATE: 04/02/2016
PROJ. NO.: 1402
SHEET: 1 OF 1
A7.2

CRC-64840

0 2 4 8 16



REAR - NORTH
1/8" = 1'-0"



LEFT SIDE - WEST
1/8" = 1'-0"

KEYED NOTES

1. PAVING/PAVEMENT FOR LANDSCAPE
2. PAINT 16.5 X 4 TUBE STEEL
3. PAINT 6.5 X 10 TUBE STEEL
4. PAINT 6.5 X 10 TUBE STEEL LAGUNA
5. ALUMINUM EXTRUSION WINDOW/DOOR SYSTEM
6. INSULATED FLOOR AND GLAZING @ EXTERIOR
7. TWO INCHES FIBER ROOFING
8. BATT INSULATION R-35 @ ROOF AND R-21 @ WALL
9. PAINTED 5/8" O.D. R.I.D.
10. PAINT STEEL AREA DOOR
11. ROUND OFF CORNERS
12. 1/2" CONCRETE ON GRADE OVER 15 MIL VAPOR BARRIER
13. STAIR SPACED 13" OVER BLACK FABRIC CORRUM
14. 1/2" CONCRETE ON GRADE OVER 15 MIL VAPOR BARRIER
15. WOOD PILING/BEAMS FOR STRUCTURAL
16. PREPARED METAL ROOFING OVER INSULATION
17. 1/2" CONCRETE ON GRADE OVER 15 MIL VAPOR BARRIER
17. STAIR 1 X 6 T & G OVERSTRAKES, INCLUDE CONTINUOUS WOOD FLOOR FORMED CAST IN PLACE CONCRETE
19. REINFORCED FLOOR FOR LANDSCAPE
20. REINFORCED STUCCO SYSTEM ON GLASS WALL
21. WALL/PARTITION
22. 1/2" CONCRETE ON GRADE OVER 15 MIL VAPOR BARRIER
23. PAINT 12 X 14 TUBE STEEL
24. PAINT 12 X 14 TUBE STEEL SUN LOUVERS AT 12" O.C.
25. 1/2" CONCRETE ON GRADE OVER 15 MIL VAPOR BARRIER
26. WINDOW WALL
27. SOUND BATT INSULATION
28. INSULATED FLOOR AND GLAZING @ EXTERIOR
29. APPROX. APPLIED SYNTHETIC STUCCO FINISH ON INTERIOR
31. INSURFED ACORTIAL GIRD CEILING PER REVISIONS
32. SUSPENDED GIRD FUTURE FOR ELECTRICAL
33. STEEL WINDOW @ EXTERIOR WALL PANELING

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION

**REVERENCE
AT SUMMERLIN
AMENITY CENTER**

FHS
STUDIO

1110 E. Missouri Ave #380
Phoenix, Arizona 85014
phone 602-248-4912
facsimile 602-248-4967
email info@ghstudio.com

BUILDING SECTIONS

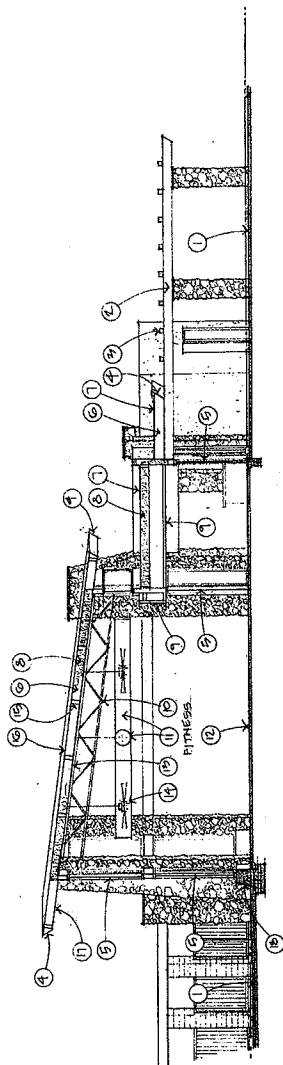
CRG-64840

PRJ-04779

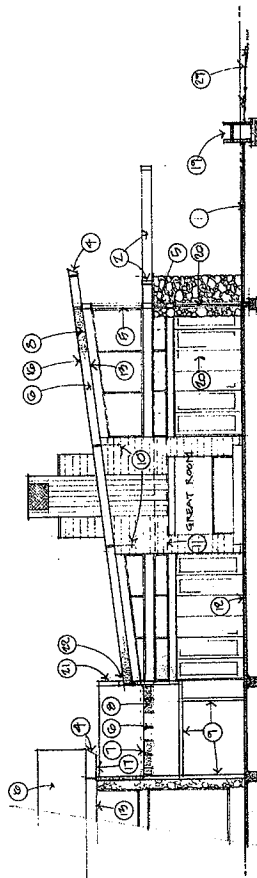
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4/01/2016

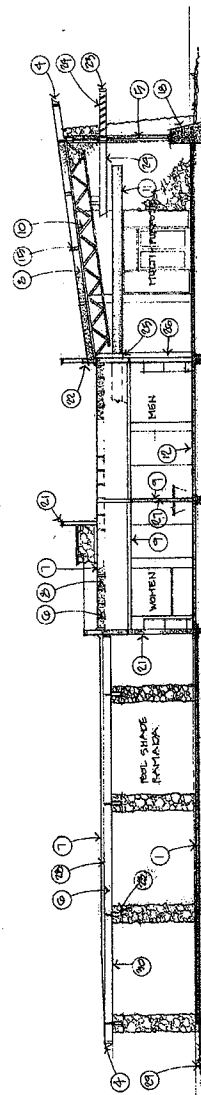
A8.1



SECTION A
 $1/8" = 1' - 0"$



SECTION B
1/8" = 1' - 0"



SECTION C
1/8" = 1' - 0"

THESE DRAWINGS ARE THE PROPERTY OF SHJ STUDIO. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SHJ STUDIO INC. 2016

KEYED NOTES

1. PAINTING/LANDSCAPE PER LANDSCAPE
2. PAINT 1/2" X 4" TUBE STEEL
3. PAINT 1/2" X 4" TUBE STEEL LATTICE @ 4" O.C.
4. ALUM. STORM/FRONT WINDOW/DOOR SYSTEM
5. ALUM. STORM/FRONT WINDOW/DOOR SYSTEM
6. INSULATED FRAME & GLAZING @ EXTERIOR
7. INSULATED FRAME & GLAZING @ EXTERIOR
8. BATT INSULATION R-28 @ ROOF AND R-21 @ WALLS
9. PAINTED 5/8" GYP BOARD
10. PAINT STEEL BAR JOIST
11. SOUND G.I. AC DUCT
12. PAINTED 1/2" X 4" TUBE STEEL LATTICE @ 4" O.C.
13. STAIN SPACED 1 X 6 OVER BLACK FABRIC SCHEM
14. STAIN SPACED 1 X 6 OVER BLACK FABRIC SCHEM
15. WOOD UNDERLAMENT OVER PLY WID
16. PREFINISHED METAL ROOFING OVER SELF
17. STAIN 1 X 6 T & G @ OVERHANGS INCLUDE
18. CONTINUOUS 2" VENT SCREED
19. 1/2" GYP BOARD FORMED CAST IN
20. 1/2" GYP BOARD FORMED CAST IN
21. 1/2" GYP BOARD FORMED CAST IN
22. THROUGH WALL ROOF DRAIN SCUPPERS
23. THROUGH WALL ROOF DRAIN SCUPPERS
24. PAINT 1/2" X 4" TUBE STEEL SUN LOUVERS AT 12" O.C.
25. PAINT 1/2" X 4" TUBE STEEL SUN LOVERS AT 12" O.C.
26. MIRROR WALL
27. SOUND BATT INSULATION
28. BATT INSULATION
29. DIRECT APPLIED SYNTHETIC STUCCO FINISH ON
30. DIRECT APPLIED SYNTHETIC STUCCO FINISH ON
31. 1/2" GYP BOARD
32. SUPPLEMENT LIGHT FIXTURE PER ELECTRICAL
33. STEEL WINDOW SURROUND
34. PREFINISHED SHEET METAL WALL PANELING

SCHEMATIC DESIGN
PRELIMINARY
NOT FOR CONSTRUCTION

REVISION

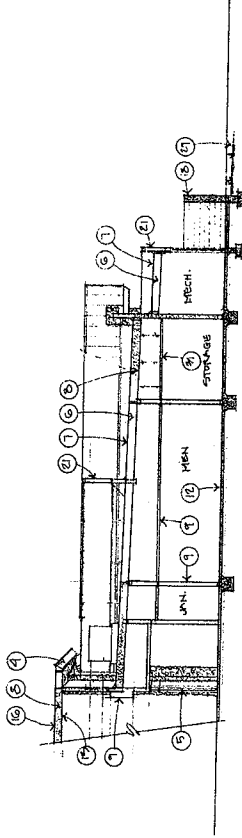
REVERENCE
AT SUMMERLIN
AMENITY CENTER

SHJ STUDIO
1111 E. Missouri Ave #300
Phoenix, AZ 85014
phone 602-248-4912
fax 602-248-4917
email info@shjstudio.com

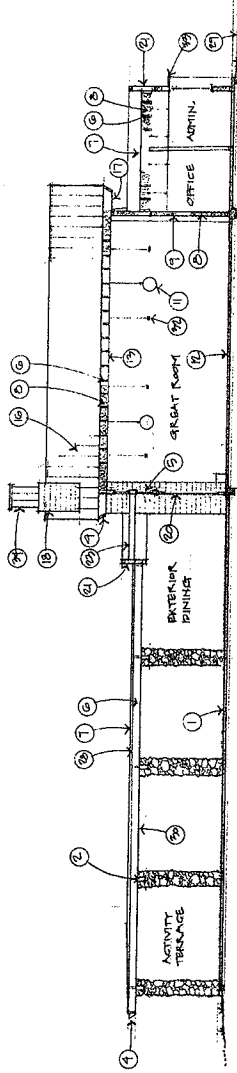
PHJ-64779
05/23/16

DATE: 04/01/2016
PROJ. NO.: 1402
DRAWN: CJ

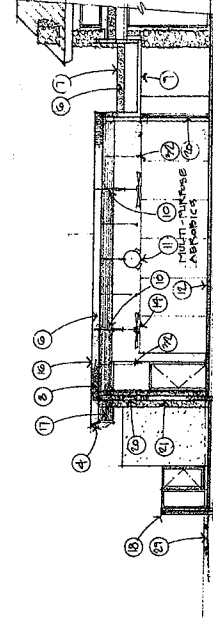
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SECTION D
1/8" = 1'-0"



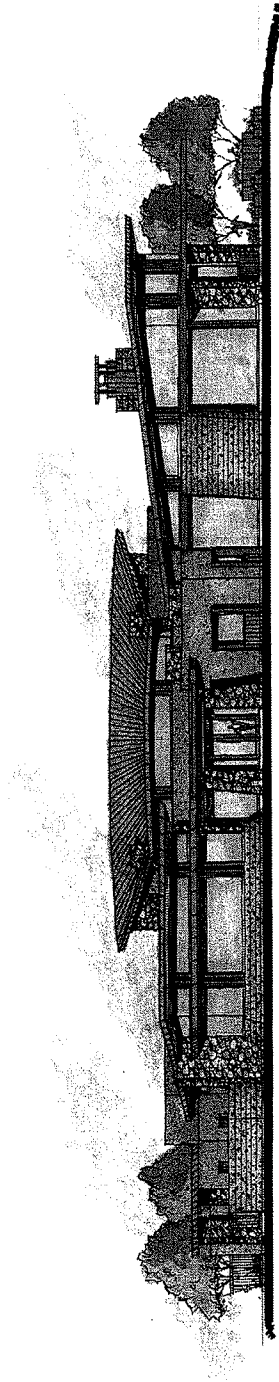
SECTION E
1/8" = 1'-0"



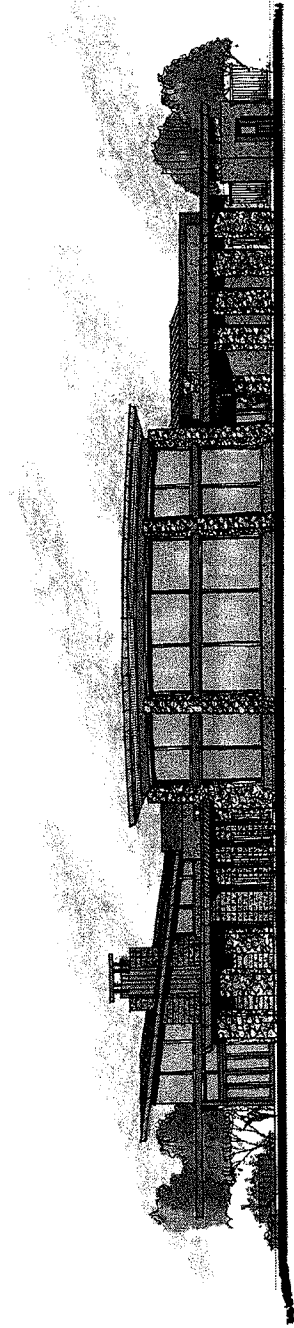
SECTION F
1/8" = 1'-0"

CRG-64840

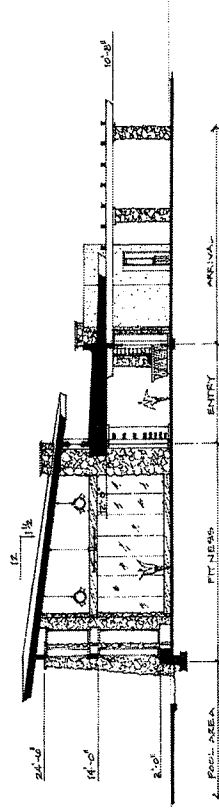
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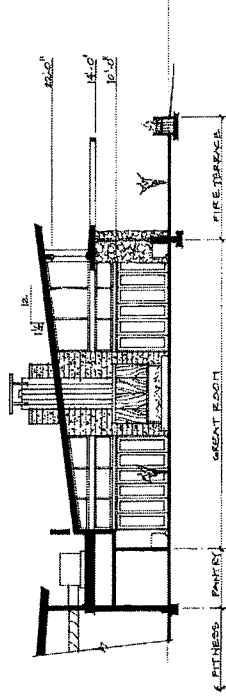
SOUTH (FRONT) ELEVATION



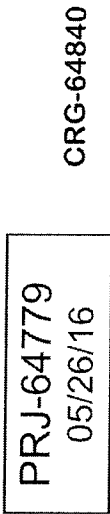
NORTH (REAR) ELEVATION



SECTION/ELEVATION-Fitness



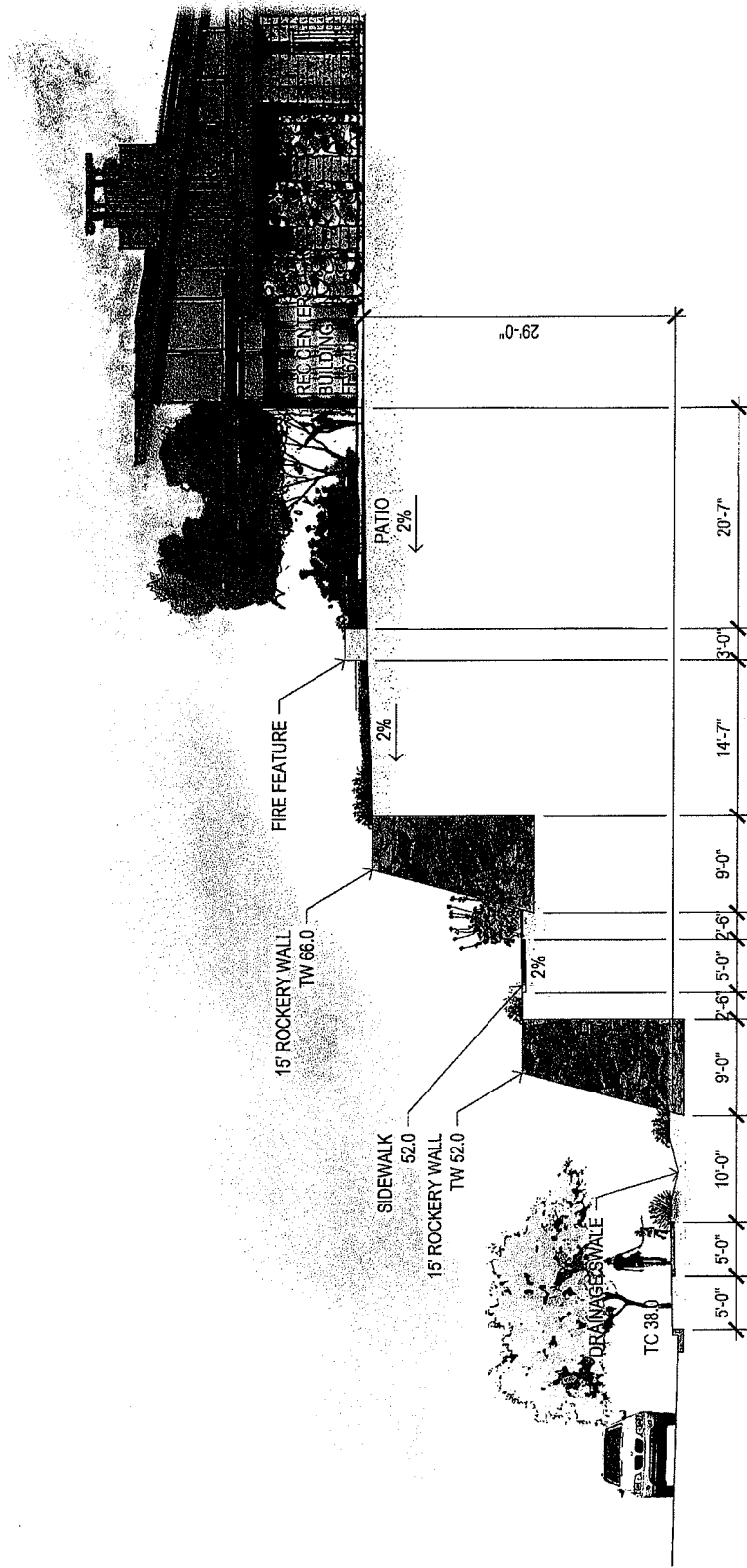
SECTION/ELEVATION-Great Room



Pulte Homes

Recreation Center Section C-C
East Boundary at Sta 32+00

andersonbaron
plan • design • achieve
30 n. mcclintock drive, ste 1
chandler, arizona 85226
ph. 480.899.7936 f. 480.699.7486



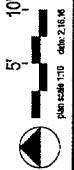
PRJ-64779
05/26/16

CRG-64840



REVERENCE

Recreation Center Section B-B
at Desert Hope Sta 86+50



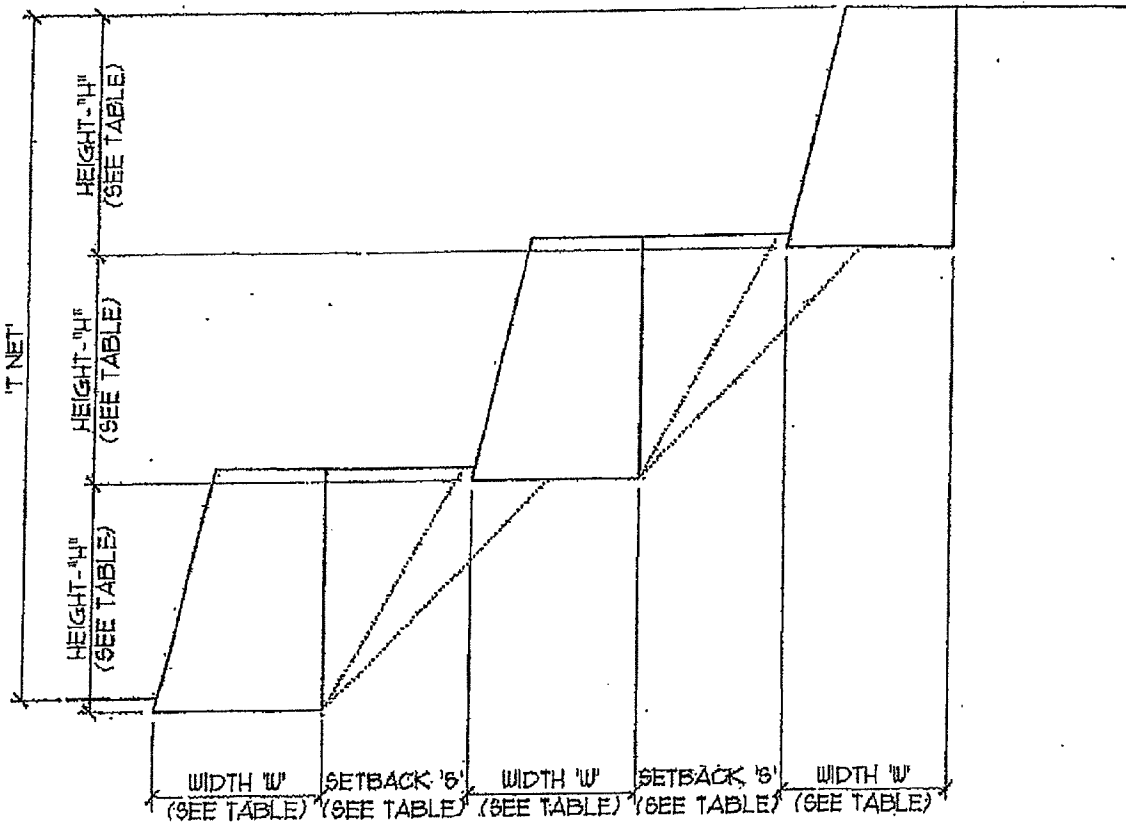
andersonbaron
plan - design - achieve
11000 N. 19th Ave., Suite 100
Phoenix, Arizona 85021
PH 480.698.7955 FAX 480.698.7966

JOB NO. 764-205-001

DATE 05/25/2016

PROJECT RECREATION CENTER AT REVERENCE SHEET 01 OF 01

SUBJECT ROCK RETAINING WALLS DESIGNED CHECKED



NOTES:

1. SEE "STACKED WALL SCHEDULE" FOR DIMENSIONS
2. SEE SECTION 1, "ROCK WALL SECTION" FOR INDIVIDUAL WALL REQUIREMENTS

PRJ-64779

05/26/16

CRG-64840

L. R. NELSON CONSULTING ENGINEERSJOB NO. 0DATE PROJECT Rock WallsSHEET OF SUBJECT DESIGNED CHECKED

H	Lb	Lt	Xbar	Lb-Xbar	S	S'
17	10	6.3	4.16	5.85	11.15	11.00
15	9	6.9	3.77	5.23	9.77	10.00
12	7	4.6	2.93	4.07	7.93	8.00
9	5	3.3	2.11	2.89	6.11	6.00
6	3.3	2.3	1.43	1.90	4.10	4.00
3	2	1.6	0.91	1.09	1.91	2.00

3 Stacked Walls 1 ft embedment

H	W	S	L	Tnet
17	10	11.00	52	48
15	9	10.00	47	42
12	7	8.00	37	33
9	5	6.00	27	24
6	3.33	4.00	17.99	15
3	2	2.00	10	6

2 Stacked Walls 1 ft embedment

H	W	S	L	Tnet
17	10	11.00	31	32
15	9	10.00	28	28
12	7	8.00	22	22
9	5	6.00	16	16
6	3.33	4.00	10.66	10
3	2	2.00	6	4

1 Stacked Walls 1 ft embedment

H	W	S	L	Tnet
17	10	11.00	10	16
15	9	10.00	9	14
12	7	8.00	7	11
9	5	6.00	5	8
6	3.33	4.00	3.33	5
3	2	2.00	2	2

PRJ-64779
05/26/16

CRG-64840



**LAS VEGAS
CITY COUNCIL**

CAROLYN G. GOODMAN
MAYOR

STEVEN D. ROSS
MAYOR PRO TEM

LOIS TARKANIAN
RICKI Y. BARLOW
STAVROS S. ANTHONY
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

June 23, 2016

Brenin Anderson
PNII, Inc.
7255 South Tenaya Way, Suite #200
Las Vegas, Nevada 89113

Re: CRG-64840 [PRJ-64779] - CITY REFERRAL GROUP

Dear Applicant:

Your request for a Summerlin Site Development Plan Review FOR A PROPOSED SINGLE-STORY, 10,238 SQUARE-FOOT PRIVATE COMMUNITY RECREATION CENTER on a 7.78-acre portion of a 136-acre parcel on the west side of Clark County 215, approximately 2,300 feet north of Lake Mead Boulevard (portion of APN 137-14-601-002), P-C (Planned Community) Zone [COS (Community Open Space) Special Land Use Designation], Ward 4 (Anthony) [PRJ-64779] was considered by the City Referral Group on Wednesday, June 22, 2016.

The City Referral Group **APPROVED** your request subject to the following conditions:

Department of Planning

1. Conformance with the Summerlin Villages 10, 11, 12 and 26 Development Agreement and the Summerlin Development Standards.
2. All development shall be in conformance with the site plan, landscape plan, building elevations and floor plans date stamped 05/26/16, except as amended by conditions herein.
3. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING

DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 7-1-1

www.lasvegasnevada.gov



/city of las vegas

5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device. Provide a full landscape legend denoting species type, size and number of plants. The plan must also provide the amount of turfed area relative to the total landscaped area.
6. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
7. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

8. All appropriate off-site improvements, including sidewalks, shall be in place on Desert Hope Drive adjacent to this site prior to occupancy of this site.
9. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
10. All landscaping and private improvements installed with this project shall be situated and maintained so as not to create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections. No structures and no trees or vegetation taller than three feet shall be allowed within the existing public sewer easement as shown on the approved site plan.
11. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.

Brenin Anderson
CRG-64840 [PRJ-64779] - Page Three
June 23, 2016

12. Site development to comply with all applicable conditions of approval for Summerlin Village 26, TMP-60968, TMP-64418 and all other applicable Summerlin Standards.

This action by the City Referral Group on June 22, 2016 is final unless a written appeal is filed with the Director of the Department of Planning within ten (10) days of the date of the City Referral Group's decision.

Sincerely,

A handwritten signature in black ink, appearing to read "Swanton", with a stylized flourish at the end.

Steven Swanton, AICP
Senior Planner
Department of Planning
Case Planning Division

SS:clb

cc: Ms. Cindie Cee
GC Wallace, Inc.
1555 South Rainbow Boulevard
Las Vegas, Nevada 89146

City of Las Vegas

AGENDA MEMO - PLANNING

CITY REFERRAL GROUP MEETING DATE: JUNE 22, 2016

DEPARTMENT: PLANNING

ITEM DESCRIPTION: APPLICANT/OWNER: PN II, INC.

**** STAFF RECOMMENDATION(S) ****

<i>CASE NUMBER</i>	<i>RECOMMENDATION</i>	<i>REQUIRED FOR APPROVAL</i>
CRG-64840	Staff APPROVES, subject to conditions:	

**** NOTIFICATION ****

APPROVALS 0

PROTESTS 0

**** CONDITIONS ****

CRG-64840 CONDITIONS

Department of Planning

1. Conformance with the Summerlin Villages 10, 11, 12 and 26 Development Agreement and the Summerlin Development Standards.
2. All development shall be in conformance with the site plan, landscape plan, building elevations and floor plans date stamped 05/26/16, except as amended by conditions herein.

SS

Conditions Page Two
June 2016 - City Referral Group

3. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device. Provide a full landscape legend denoting species type, size and number of plants. The plan must also provide the amount of turf area relative to the total landscaped area.
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7. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

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Conditions Page Three
June 2016 - City Referral Group

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12. Site development to comply with all applicable conditions of approval for Summerlin Village 26, TMP-60968, TMP-64418 and all other applicable Summerlin Standards.

Staff Report Page One
June 2016 - City Referral Group

**** STAFF REPORT ****

APPLICANT:	PN II, Inc.
LOCATION:	Approximately 875 feet west of CC 215 and 2,300 feet north of Lake Mead Boulevard (portion of APN 137-14-601-002)

PROJECT DESCRIPTION

The applicant is proposing to construct a single-story, 10,238 square-foot private recreation center at the center of the Reverence development (Summerlin Village 26). A Tentative Map has been approved showing a separate common area (CE W) labeled "Recreation Center" for this purpose, but no Final Map has been recorded yet to define the boundaries of this project. The site will contain multipurpose indoor fitness facilities and large rooms for gathering and dining. A swimming pool, lap pool, four pickle ball courts, walking trails and turf areas are proposed outside the principal building.

ANALYSIS

The site is located within Summerlin Village 26, which is subject to the requirements of the Summerlin Development Standards and an existing development agreement between Howard Hughes Properties, Limited Partnership (now The Howard Hughes Company, LLC) and the City of Las Vegas (Summerlin Villages 10, 11, 12 and 26). The subject parcel is designated for Community Open Space. A private recreation center (termed "Community Association Buildings and Facilities" by the Summerlin Development Standards) is a permitted use in the Community Open Space land use category. The entire village is undeveloped at this time.

A Tentative Map (TMP-60968) has been approved showing a separate common area (CE W) labeled "Recreation Center" for this purpose. A Final Map has not been recorded. This is not a requirement prior to construction; however, this review assumes the property lines would not move closer to the interior than they are currently proposed.

Access to the site is from Natural Rock Drive (not yet recorded), which is a private street. Gates are proposed south of the entrance next to a guard shack with two additional parking spaces.

Summerlin Development Standards require one space per 250 square feet for "Community Association Buildings and Facilities." Including outdoor dining and patio seating areas, 58 parking spaces are required for the site; the applicant is providing 83 spaces with four handicap accessible spaces in conformance with applicable standards.

Staff Report Page Two
June 2016 - City Referral Group

Landscaping is widely varied and consists of shade trees at random intervals interspersed around the perimeter, and shade trees in the parking lot. A total of 160 large trees are proposed. The technical landscape plan will need to provide additional details, including a plant legend, dimensions and total turf area, as the plan is conceptual and is subject to change. Landscaping is appropriate for the area and will provide adequate buffering from future adjacent residential uses.

The Summerlin Design Review Committee has reviewed and conditionally approved the conceptual architecture and site plan. The exteriors would consist of stucco and concrete with metal trim, metal roofing and stone veneer. The building will be located approximately 30 feet above a drainage swale, with a series of rockery walls for retaining and sidewalks on the terraces in between. The walls are set back from the property lines and are not considered perimeter walls.

FINDINGS (CRG-64840)

The development is compatible with both the Community Open Space land use category on this future parcel and with future residential uses on neighboring parcels. The project has received prior approval from the Summerlin Design Review Committee. The development is in conformance with the Summerlin Development Standards. Staff therefore approves the development with conditions.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
02/16/94	The City Council approved the annexation (A-0019-94) of 2528.70 acres generally located west of Hualapai Way between Charleston Boulevard and Cheyenne Avenue (Ordinance #3776). The Planning Commission and staff recommended approval. The annexation became effective 03/16/94. The annexed lands previously zoned R-U (Rural Open Land) in Clark County became N-U (Non-Urban) within the City of Las Vegas.
	The City Council approved a Development Agreement (DA-0002-93) between The Howard Hughes Corporation and the City of Las Vegas for Summerlin Villages 10, 11, 12 and 26 on 2695 acres (166 acres of which were already within city boundaries). The Development Agreement became effective 03/15/94.

Staff Report Page Three
June 2016 - City Referral Group

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
02/16/94	The City Council approved an amendment of a portion of the Southeast Sector of the General Plan (GPA-0046-93) from H (High Density Residential), ML (Medium Low Density Residential), PF (Public Facilities), M (Medium Density Residential), SC (Service Commercial), SC/LIR (Service Commercial/Light Industry/Research), S (School) and - P (Parks/Recreation/Open Space) to DR (Desert Rural Residential), L (Low Density Residential), ML (Medium Low Density Residential), M (Medium Density Residential), H (High Density Residential), SC (Service Commercial), SC/LIR (Service Commercial/Light Industry/Research), GC (General Commercial), PF (Public Facilities), P (Parks/Recreation/Open Space) and S (School) on 2,528 acres located west of Hualapai Way between Cheyenne Avenue and Charleston Boulevard. The Planning Commission and staff recommended approval. The City Council approved a Rezoning (Z-0135-93) from N-U (Non-Urban) to P-C (Planned Community) of 2,528.70 acres located west of Hualapai Way between Cheyenne Avenue and Charleston Boulevard. The Planning Commission and staff recommended approval.
02/14/96	A four-lot Parcel Map (PM-0041-95) on a portion of the annexation area (2082.89 acres) located west of Hualapai Way between Cheyenne Avenue and Charleston Boulevard was recorded as Parcel Map File 84 Page 70.
09/15/04	The City Council approved a revised Summerlin Development Standards document (DIR-3934), which is still in effect.
06/07/06	The City Referral Group approved a Major Modification (CRG-13659) of Village 26 Development Plan. This action required a revised development plan to show the use, location and size of all open space areas. These revisions were to be included in a Site Development Plan Review preceding the Tentative Map.
10/19/06	A four-lot parcel map (PMP-15485) on 693.91 acres west of Clark County 215 between Lake Mead Boulevard and Cheyenne Avenue was recorded in Parcel Map File 112 Page 94. Parcels 1 and 2 make up Village 26.
11/18/15	The City Council approved a Major Modification (MOD-61039) of an approved Development Plan for Summerlin Village 26 on 300.16 acres at the northwest corner of Lake Mead Boulevard and Clark County 215. The Planning Commission and staff recommended approval. The City Council approved a Tentative Map (TMP-60968) for a master planned village containing 323 single-family residential lots, one multi-family residential lot and 14 large pod lots on 300.16 acres at the northwest corner of Lake Mead Boulevard and Clark County 215. The Planning Commission and staff recommended approval. A Final Map for this area has not been submitted for review.
12/29/15	A Parcel Map (PMP-61340) for four parcels at the northwest corner of Lake Mead Boulevard and Clark County 215 was recorded.

Staff Report Page Four
June 2016 - City Referral Group

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/14/16	The Planning Commission approved a Variance (VAR-64311) to allow the street name "Reverence" to coexist with the street name "Reference" where street names that sound alike cannot be used on 285.06 acres at the northwest corner of Clark County 215 and Lake Mead Boulevard. Staff recommended denial.
	The Planning Commission approved a Tentative Map (TMP-64418) for a 148-lot single-family residential subdivision (Summerlin Village 26-Reverence Phase 2) on 46.09 acres on the west side of Clark County 215, approximately 1,200 feet north of Lake Mead Boulevard. Staff recommended approval.

<i>Most Recent Change of Ownership</i>	
12/01/06	A deed was recorded for a change in ownership.

<i>Related Building Permits/Business Licenses</i>	
There are no building permits or business licenses related to this site.	

<i>Pre-Application Meeting</i>	
05/24/16	Submittal requirements were discussed for a Summerlin Site Development Plan Review for City Referral Group review. No major site issues were discussed.

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	7.78

<i>Surrounding Property</i>	<i>Existing Land Use Per Title 19.04</i>	<i>Planned or Special Land Use Designation</i>	<i>Existing Zoning District</i>
Subject Property	Undeveloped	COS (Community Open Space)	P-C (Planned Community)
North	Undeveloped	SF3 (Single Family Detached)	P-C (Planned Community)
South	Clark County 215	ROW (Right-of-Way)	ROW (Right-of-Way)
East	Undeveloped	SF3 (Single Family Detached)	P-C (Planned Community)
West	Undeveloped	SF3 (Single Family Detached)	P-C (Planned Community)

Staff Report Page Five
June 2016 - City Referral Group

<i>Master Plan Areas</i>	<i>Compliance</i>
Summerlin	Y
<i>Special Purpose and Overlay Districts</i>	<i>Compliance</i>
P-C (Planned Community) District	Y
Trails	N/A
Development Impact Notification Assessment	N/A
Project of Regional Significance	N/A

DEVELOPMENT STANDARDS

Pursuant to the Summerlin Development Standards, setbacks, building heights and general development criteria are determined during the Site Plan Review process. The following criteria are proposed for the subject property:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	338,897 SF
Min. Lot Width	270 Feet
Min. Setbacks	
• Front	256 Feet
• Side	52 Feet
• Corner	89 Feet
• Rear	459 Feet
Max. Lot Coverage	4.25 %
Max. Building Height	31 Feet
Trash Enclosure	Screened, Gated, w/ a Roof or Trellis
Mech. Equipment	Screened
Wall Height	Up to 15 feet (stepped) set back from the proposed north, south and east property lines

Review the following from the Summerlin Development Standards for compliance

<i>Residential Adjacency Standards</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
1:1.5 bulk plane slope (E elevation)	46 Feet	317 Feet	Y
1:1.5 bulk plane slope (W elevation)	46 Feet	504 Feet	Y
1:1.5 bulk plane slope (N elevation)	20 Feet	52 Feet	Y
1:1.5 bulk plane slope (S elevation)	20 Feet	133 Feet	Y

Staff Report Page Six
June 2016 - City Referral Group

<i>Landscaping and Open Space Standards</i>	
	Provided
Buffer Trees:	
• North	16 Trees
• South	40 Trees
• East	0 Trees
• West	0 Trees
TOTAL PERIMETER TREES	56 Trees
Parking Area Trees	23 Trees
LANDSCAPE BUFFER WIDTHS	
Min. Zone Width:	
• North	40 Feet
• South	65 Feet
• East	120 Feet
• West	145 Feet

<i>Street Name</i>	<i>Functional Classification of Street(s)</i>	<i>Governing Document</i>	<i>Actual Street Width (Feet)</i>	<i>Compliance with Street Section</i>
Desert Hope Drive	Neighborhood Collector Level 1	Village 26 Tentative Map/ Summerlin Improvement Standards	44	N/A
Natural Rock Drive	Neighborhood Collector Level 1	Village 26 Tentative Map/ Summerlin Improvement Standards	44	N/A

Pursuant to the Summerlin Development Standards, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Community Association Buildings and Facilities	10,238 SF	1 space per 250 SF GFA	40.95				
Dining Area and Fire Terrace	4,160 SF	1 space per 250 SF GFA	16.64				
TOTAL	14,398 SF		57.59				
TOTAL SPACES REQUIRED			58		83		Y
Regular and Handicap Spaces Required			55	3	79	4	Y

CITY OF LAS VEGAS

CITY REFERRAL GROUP COMMENT FORM

Roger Bailey	Engineering Planning – Public Works
Mary Wulff	Right-of-Way – Public Works
Oh-Sang Kwon	Flood Control – Public Works
Rick Schroder	Traffic Engineering – Public Works
Joe Pena	Sanitary Sewers – Public Works
David Klein	Fire Protection Engineering
David Guerra	Land Development
Rod Clark	Plans Check
Vicky Skilbred	Council Liaison
John Bear	Council Liaison



Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 474-7463 fax

CRG-64840 - CITY REFERRAL GROUP - ADMINISTRATIVE - APPLICANT/OWNER: PN II, INC. - For possible action on a request for a Summerlin Site Development Plan Review FOR A PROPOSED SINGLE-STORY, 10,238 SQUARE-FOOT PRIVATE COMMUNITY RECREATION CENTER on a 7.78-acre portion of a 136-acre parcel on the west side of Clark County 215, approximately 2,300 feet north of Lake Mead Boulevard (portion of APN 137-14-601-002), P-C (Planned Community) Zone [COS (Community Open Space) Special Land Use Designation], Ward 4 (Anthony) [PRJ-64779].

CITY REFERRAL GROUP: JUNE 22, 2016

CASE PLANNER: STEVE SWANTON



ADMINISTRATIVE

Comments Due:

ASAP

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Steve Swanton (sswanton@lasvegasnevadaa.gov), the person responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:



May 4, 2016

Dustin Manning
Pulte Group
8345 W. Sunset Road
Las Vegas, Nevada 89113

Re: SDRC Recreation Center Conceptual Architecture Conditional Approval – *Reverence* by Pulte Homes, Summerlin Village 26

Dear Dustin,

The Summerlin Residential Design Review Committee (SDRC) has reviewed your Recreation Center Conceptual Architecture for *Reverence*. The plans have been approved with the following conditions:

1. Continue to work with the SDRC and provide additional submittals with more detail as they become available.

While refining the drawings please consider the following items:

1. Show equipment location on the roof, identify how tall the parapet must be to screen and/or show more detail for the equipment screen noted.
2. Note that all roofing material is to be tan or grey, not white.
3. Note the stucco finish to be light dash or smoother.
4. Provide material samples.

The recreation center site plan and grading plan will be reviewed separately. Please contact us if you have questions or need clarification.

Sincerely,

Betty Shevorski
Senior Architect, SDRC

The Howard Hughes Corporation
10801 W. Charleston Boulevard, Suite 300
Las Vegas, Nevada 89135
(702) 791-4000

PRJ-64779 05/26/16

CRG-64840



764-205-001

May 25, 2016

Mr. Steve Swanton
Senior Planner
City of Las Vegas, Department of Planning
333 North Rancho Drive
Las Vegas, Nevada 89106

RE: VILLAGE 26 REVERENCE COMMUNITY CENTER (APN: 137-14-601-002)

Steve:

On behalf of our client, PN II, Inc., we respectfully request your acceptance and review of the following CRG application:

REVERENCE COMMUNITY CENTER

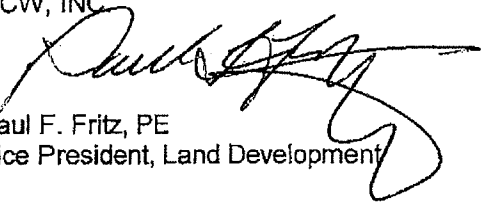
The Community Center consists of about 7.78 acres within the overall master plan. The center will provide multi-purpose, fitness, dining and great rooms for the community. The center also provides outdoor pools, pickle ball courts, lawn areas, a walking trail and activity terraces. The site is elevated and has rockery walls surrounding and below a portion of the site perimeter which are consistent with the overall reverence master plan. The site has 83 parking stalls where 58 are required.

The proposed development is consistent with the current Summerlin and Reverence Master Plans, and we do not anticipate the need for waivers at this time. We have been through the Summerlin Non-Residential Design Review process and have received approval.

Please contact me at (702) 804-2155 with any questions or comments you may have regarding this application. Thank you for your time and consideration in this matter.

Cordially,

GCW, INC


Paul F. Fritz, PE
Vice President, Land Development

CRG-64840

1555 South Rainbow Boulevard
Las Vegas, Nevada 89146

☎ 702.804.2000
F 702.804.2299


info@gcwengineering.com
gcwengineering.com

PRJ-64779



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: CRG-64840 APN: 137-14-601-002

Name of Property Owner: PN II, Inc.

Name of Applicant: PN II, Inc.

Name of Representative: GCW, Inc./Cindie Gee

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

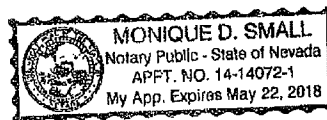
Signature of Property Owner: _____

Print Name: BRENN ANDERSON

Subscribed and sworn before me

This 17th day of March, 2016

Monique D. Small
Notary Public in and for said County and State



PRJ-64779



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: CITY REFERRAL GROUP SITE DEVELOPMENT PLAN REVIEW
 Project Address (Location) CHEYENNE & I-215
 Project Name THE RECREATION CENTER AT REVERENCE Proposed Use PC
 Assessor's Parcel #(s) 137-14-601-002 Ward # 4
 General Plan: existing _____ proposed _____ Zoning: existing PC proposed PC
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 136.59 Lots/Units 1 Density _____
 Additional Information _____

PROPERTY OWNER PN II, INC. Contact Brenin Anderson
 Address 7255 South Tenaya Way #200 Phone: (702) 804-7554 Fax: (702) 914-3107
 City Las Vegas State Nevada Zip 89113
 E-mail Address Brenin.Anderson@PulteGroup.com

APPLICANT PN II, INC. Contact Brenin Anderson
 Address 7255 South Tenaya Way #200 Phone: (702) 804-7554 Fax: (702) 914-3107
 City Las Vegas State Nevada Zip 89113
 E-mail Address Brenin.Anderson@PulteGroup.com

REPRESENTATIVE GCW, INC. Contact Cindie Gee
 Address 1555 South Rainbow Phone: (702) 804-2107 Fax: (702) 804-2299
 City Las Vegas State Nevada Zip 89146
 E-mail Address cgee@gcwengineering.com

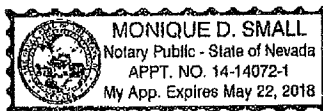
I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Property Owner Signature* [Signature]
 * An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name BRENIN ANDERSON

Subscribed and sworn before me
 This 17th day of March, 2016.
[Signature]

Notary Public in and for said County and State

Revised 10/27/08



FOR DEPARTMENT USE ONLY

Case # CRG-64840
 Meeting Date: 06/22/16 CRG
 Total Fee: _____
 Date Received: * _____
 Received By: _____

*The application will not be deemed complete until the submitted materials are reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



Las Vegas Fire & Rescue
Fire Prevention Division
Pre-Application Consultation
333N Rancho Dr. Suite 500
Las Vegas NV, 89106
(702) 229-0366 / Fax: (702) 229-0124

Date: 2016-05-24

Pre-Ap # 2016-004949

Requirements for: Reverence Recreation Center

Address/Parcel: 13714601002

Applicant / Contractor Name: GCWallace /Pulte Group

Proposed Project type: Commerical Stories: 1 Square Feet 10,238

Project overview New recreation center in Summerlin West

Change of Use? No Occupancy Type?* Multiple Fire Protection Report/Technical Assistance per IFC 104 No

Fire Department Access required per IFC 503 Yes Fire apparatus access roads shall have a minimum width of not less than 24 feet .Turning radius shall be 28 ft inside turning radius and 52 ft outside turning radius.

Water Supplies/Fire Hydrants required per IFC 507 Yes Minimum fire flow requirements shall be in accordance with IFC Appendix B based on type of construction, required fire protection systems and similar.

Fire Protection Systems required per IFC 903 Yes Fire protection system shall be required based on proposed use, sq. footage or other code requirements. System shall be installed by a licensed State of Nevada fire protection contractor.

Fire Alarm System(s) required per IFC 907 No Fire alarm systems shall be required due to occupancy type and load or other code requirements. System shall be installed by a licensed state of Nevada fire alarm Contractor.

Fire apparatus access gates and barriers Yes Access gates shall be approved prior to installation and shall be a minimum of 20 feet width in accordance with IFC 503.6 and Appendix M108

Access to Fire Department Equipment Yes Access to all Fire Department Connections, hydrants, ingress to buildings shall be in accordance with IFC 504

Special Systems or Equipment

Comments 1.Verify hose lay distance with LVFR On Civil drawings.
2. Any commercial cooking operations shall protected as required by IFC section 609/610

* Official Occupancy Classification to be determined by Design Professional and Confirmed by Building & Safety.

NOTE: Additional requirements may apply. This form reflects general requirements based on information provided at time of Consultation

CLV Planning Staff Assigned: Steve Swanton

LVFR Staff Assigned: David F. Klein

For any Fire Department questions please contact:
David F. Klein PRJ-64779
Deputy Fire Marshal/Fire Protection Engineering Section
Las Vegas Fire & Rescue
(702) 229-0336

APN: 137-14-501-003
137-13-101-003

ESCROW: 05-11-0581-LAP

WHEN RECORDED, MAIL TAX STATEMENT
AND RETURN TO:

PN II, INC., c/o PULTE HOMES OF NEVADA
8345 W. Sunset Road
Las Vegas, Nevada 89113
Attention: Don Boettcher

20061201-0002030

Fee: \$16.00 RPTT: \$627,300.00
N/C Fee: \$0.00

12/01/2006 09:37:38
T20060210929

Requestor:
NEVADA TITLE COMPANY

Charles Harvey COO
Clark County Recorder Pgs: 4

(Space above line for Recorder's use only)

GRANT BARGAIN AND SALE DEED

THE HOWARD HUGHES CORPORATION, a Delaware corporation, as the "Grantor" (hereinafter referred to as "Hughes"), does hereby Grant, Bargain, Sell and Convey to PN II, INC., a Nevada corporation, dba PULTE HOMES OF NEVADA, as the "Grantee" (hereinafter referred to as "Purchaser") the real property in the City of Las Vegas (the "City"), State of Nevada (hereinafter referred to as the "Property") described on Attachment "A" attached hereto and incorporated herein by this reference.

RESERVING UNTO Hughes, its successors and assigns, together with the right to grant and transfer all or a portion of the same, as follows:

A. Any and all oil, oil rights, minerals, mineral rights, natural gas rights, and other hydrocarbons by whatsoever name known, geothermal steam, and all products derived from any of the foregoing, that may be within or under the Property beneath a depth of five hundred feet (500'), but without, however, any right to enter upon or in any way disturb the surface of the Property or any area within five hundred feet (500') from the surface of the Property in the exercise of such rights.

B. Any and all water rights or interests therein, no matter how acquired by Hughes, and owned or used by Hughes in connection with or with respect to the Property, or within or under the Property, together with the right and power to explore, drill, redrill, remove and store the same from the Property or to divert or otherwise utilize such water rights or interests on any other property owned or leased by Hughes, whether such water rights shall be riparian, overlying, appropriative, percolating, littoral, prescriptive, adjudicated, statutory or contractual; but without, however, any right to enter upon or in any way disturb the surface of the Property or any area within five hundred feet (500') from the surface of the Property in the exercise of such rights.

C. Non-exclusive easements in gross on, over, under or across the Property for the purposes of installation, emplacement, replacement and maintenance of electric, telephone, cable television, water, gas, sanitary sewer lines, drainage facilities or any other utilities, together with the right to enter upon the Property (without unreasonably interfering with Purchaser's reasonable use and enjoyment thereof) in order to service, maintain, repair, reconstruct, relocate or replace any of such lines or facilities. Such easement shall terminate with respect to any lots shown on a recorded final subdivision map at the time of recordation of such map.

D. Non-exclusive easements in gross on, over, under or across the Property for the purposes of installation and maintenance of the digital broadband communications network described as Summerlin Telecommunications System in the Purchase Agreement, so long as Hughes' activity pursuant to this easement does not unreasonably interfere with the Purchaser's construction of its development project on the Property.

SUBJECT TO:

1. General and special taxes and assessments for the current fiscal tax year and any and all unpaid bonds and/or assessments.

2. All covenants, conditions, restrictions, reservations, rights, right-of-way and easements recorded against the Property prior to or concurrently with this GBS Deed, and all other matters of record or apparent.

IN WITNESS WHEREOF, Hughes has caused this instrument to be executed on the date hereinafter written.

Dated as of December 1, 2006

HUGHES:

THE HOWARD HUGHES CORPORATION,
a Delaware corporation

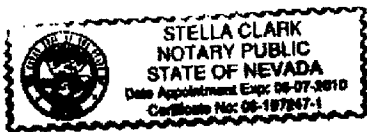
By: 

Name: KEVIN T. ORROCK

Title: Top Division Executive

STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

This instrument was acknowledged before me on Nov. 16, 2006, by
KEVIN T. ORROCK as Top Division Executive
of THE HOWARD HUGHES CORPORATION.




Notary Public

Escrow No.: 05-11-0581-LAP

EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL ONE (1):

THAT PORTION OF SECTIONS 13 AND 14, TOWNSHIP 20, RANGE 59 EAST,
M.D.B. & M., DESCRIBED AS FOLLOWS:

PARCEL 1 AS SHOWN BY MAP THEREOF IN FILE 112 OF PARCEL MAPS,
PAGE 94, IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY,
NEVADA.

PRJ-64779

05/26/16

**State of Nevada
Declaration of Value**

1. Assessor Parcel Number(s)

- a) 137-14-501-003, 137-13-101-003
b) _____
c) _____
d) _____

52



2. Type of Property:

- ☒ a) Vacant Land ☐ b) Sgl. Fam. Residence
☐ c) Condo/Twnhse ☐ d) 2-4 Plex
☐ e) Apt. Bldg. ☐ f) Comm'l/Ind'l
☐ g) Agricultural ☐ h) Mobile Home
☐ i) Other _____

FOR RECORDER'S OPTIONAL USE ONLY	
Document/Instrument #:	_____
Book:	Page: _____
Date of Recording:	_____
Notes:	_____

3. Total Value/Sales Price of Property

\$123,000,000.00

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

\$123,000,000.00

Real Property Transfer Tax Due

\$627,300.00

4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090,
Section: _____
- b. Explain Reason for
Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____

Capacity: GRANTOR/SELLER

Signature: _____
SELLER (GRANTOR) INFORMATION
(REQUIRED)

Signature: _____
BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: Howard Hughes Corporation

Print Name: PN II, Inc., dba Pulte Homes of Nevada

Address: 10000 West Charleston Blvd.,
Suite 200

Address: 8345 W Sunset Road

City/State/Zip: Las Vegas, NV 89135

City/State/Zip: Las Vegas, NV 89113

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

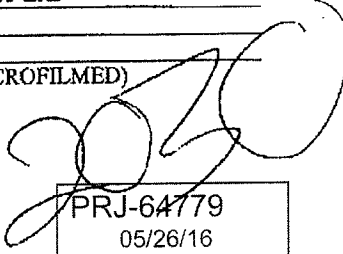
Print Name: Nevada Title Company

Esc. #: 05-11-0581-LAP

Address: 2500 N Buffalo, Suite 150

City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)


PRJ-64779
05/26/16