



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
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ELIZABETH N. FRETWELL
CITY MANAGER

June 23, 2011

Lamar Central Outdoor, LLC
Attn: Scott Naftzger
1863 Helm Drive
Las Vegas, NV 89119

RE: Conversion of existing Off-Premise Sign at 412 Wilson Avenue (APN 139-27-310-089); SDR-42142

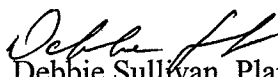
Dear Mr. Naftzger:

It has been determined that the proposed conversion of an existing 14-foot by 48-foot, 65-foot tall Off-Premise Sign (north facing side only) to a digital display unit (LED) located at 412 Wilson Avenue meets the standard for approval as defined in Title 19.12.120 of the Unified Development Code of the city of Las Vegas, subject to the following.

1. Conformance to the submitted site plan and elevations signed and dated 06/15/11.
2. This Minor Site Development Plan Review is final; no additional applications will be required prior to submittal of building permits. A copy of this letter must be included in the building permit package.

If you have any questions, please feel free to contact me at (702) 229-6895.

Sincerely,


Debbie Sullivan, Planner I
Case & Public Planning

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Minor Site Development Plan Review
 Project Address (Location) 412 Wilson Ave.
 Project Name Lamar digital conversion SF Proposed Use _____
 Assessor's Parcel #(s) 139-27-310-089 Ward # 5
 General Plan: existing _____ proposed _____ Zoning: existing M proposed _____
 Commercial Square Footage 672 Floor Area Ratio _____
 Gross Acres 19 Lots/Units _____ Density _____
 Additional Information Digital conversion of an existing off-premise sign

PROPERTY OWNER Rieger 1982 Rev Trust Contact Ronald Rieger
 Address 38 Princeville Lane Phone: _____ Fax: _____
 City Las Vegas State NV Zip 89113
 E-mail Address _____

APPLICANT Lamar Central Outdoor, LLC Contact Scott Naftzger
 Address 1863 Helm Drive Phone: (702) 873-4600 Fax: (702) 873-4344
 City Las Vegas State NV Zip 89119
 E-mail Address snaftzger@lamar.com

REPRESENTATIVE Same as applicant Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____
 E-mail Address _____

Property Owner Signature*

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name

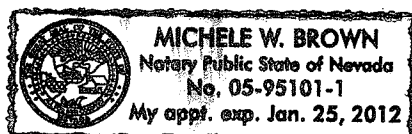
Subscribed and sworn before me

This 22 day of March, 20 10.

Michele W Brown

Notary Public in and for said County and State

Revised 10/27/08



FOR DEPARTMENT USE ONLY

Case #	<u>SDR-42142</u>
Meeting Date:	<u>8/9/11</u>
Total Fee:	<u>\$500.00</u>
Date Received:*	<u>6/15/11</u>
Received By:	<u>D. J. R.</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



LAMAR ADVERTISING COMPANY

June 14, 2011

City of Las Vegas Planning Department
333 North Rancho Drive
Las Vegas, NV 89106

Dear Sir or Madam:

Please accept this justification letter on behalf of Lamar Central Outdoor, LLC for the Site Development Plan Review application to convert an existing static billboard to a digital display.

This application meets all requirements for digital conversion contained City of Las Vegas Development Code. The subject sign is located along the east side of I-15 at 412 Wilson Ave. The dimensions are 14'X48' and the digital sign will be located on the north face of the billboard.

Please feel free to call me with any questions you may have and thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Scott Naftzger", written over a circular stamp or seal.

Scott Naftzger
Lease Manager
Lamar Central Outdoor, LLC

1863 Helm Drive • Las Vegas, Nevada 89119
PH. (702) 873-4600 FAX (702) 873-4344



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: SDR-42142 APN: 139-27-310-089

Name of Property Owner: Rieger 1982 Rev. Trust

Name of Applicant: Lamar Central Outdoor, LLC

Name of Representative: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Ronald H. Rieger

Print Name: R. H. RIEGER

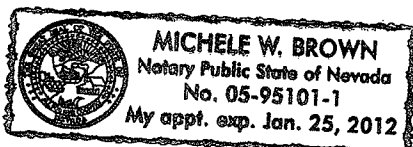
Subscribed and sworn before me

This 22 day of March, 20 10

Michele W. Brown

Notary Public in and for said County and State

Revised 11-14-06



F:\depot\Application Packet\Statement of Financial Interest.pdf

THE



COMPANIES

Lease Addendum

This is the first addendum to that certain lease agreement (257-1094-04) dated April 8, 1996, by and between R. H. Rieger (LESSOR) and Lamar Central Outdoor, LLC, a successor in interest to Ronco Media Inc. (LESSEE) on the property located at 412 Wilson Ave. (APN 139-27-310-089). Where any of the provisions hereinafter conflict with the printed portion of said lease or any other prior agreements, the provisions of this Addendum shall govern. The terms of the lease are amended as follows:

1. LESSEE shall pay LESSOR an annual rental of fourteen thousand four hundred and no/100 (\$14,400.00) dollars paid monthly in advance in equal installments of one thousand two hundred and no/100 (\$1,200.00) dollars or 25% of gross space rent advertising revenue (revenue), whichever is greater. In the event that LESSEE installs a digital display upon the structure, the revenue percentage split shall adjust to 20%. Any percentage rent due shall be paid on or about the second week of the month in which it is due and be based upon the prior month's revenue.
2. The term of this lease shall be extended for a period of five (5) years beyond the original expiration date and shall expire April 30, 2021. In the event that LESSEE installs a digital display upon the structure, the term of this lease shall be extended for a period of fifteen (15) years beyond the original expiration date and shall expire April 30, 2031.
3. Terms of this amendment shall commence April 1, 2011

All other terms and conditions of the original lease shall remain in full force and effect.

LESSOR

R.H. Rieger

A handwritten signature of R.H. Rieger in black ink, written over a horizontal line.

LESSOR

Date

LESSEE

Lamar Central Outdoor, LLC

A handwritten signature of Christopher Prickett in black ink, written over a horizontal line.

Christopher Prickett
Vice President/General Manager

3/3/11

Date

QUITCLAIM DEED

By this instrument dated as of this 22nd day of April, 1998, for a valuable consideration, RONCO MEDIA, INC., a Nevada Corporation does hereby REMISE, RELEASE and FOREVER QUITCLAIM to Ronald H. Rieger and Rose Marie Rieger, Co-Trustees of the Rieger 1982 Revocable Trust, 38 Princeville Lane, Las Vegas, Nevada 89113, the following described real property in the State of Nevada, County of Clark: (6)

SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF

RONCO MEDIA, INC., a Nevada Corporation

BY

Ronald H. Rieger
RONALD H. RIEGER
President

STATE OF NEVADA)

:SS

COUNTY OF CLARK)

On the 22nd day of April, 1998 before me, the undersigned, a Notary Public in and for said County and State, personally appeared Ronald H. Rieger, President of the corporation that executed the foregoing Instrument, and upon oath did depose that he is an officer of said corporation as above designated; that the signature to said Instrument was made by the President of said corporation as indicated after said signature; and that the corporation executed the said Instrument freely and voluntarily and for the uses and purposes therein mentioned.

Fran Goldberg
Notary Public



Return To:

Henry Andrew S.
Box 700 - Suite 700
2000 Paradise Road
Las Vegas, Nevada 89102

EXHIBIT "A"

PARCEL 1

BEING a parcel or tract of land described by legal subdivision as follows, to wit:

BEING the Northeast Quarter (NE $\frac{1}{4}$) of the Southeast Quarter (SE $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of the Northwest Quarter (NW $\frac{1}{4}$) and the Northwest Quarter (NW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of the Northwest Quarter (NW $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$), Section 8, Township 27 South, Range 59 East, M.D.M.

EXCEPTING THEREFROM that portion of land lying right or easterly of the 203.00 foot highway right of way line of Interstate Route 15 as it passes over and across Section 8, Township 27 South, Range 59 East, M.D.M.

Said parcel as conveyed contains an area of 3.29 acres, more or less.

The above described parcel shall have no access in and to Interstate Route 15.

TOGETHER will all and singular the tenements, hereditaments, and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof.

TO HAVE AND TO HOLD all and singular the said premises together with the appurtenances, unto the said GRANTEE and its successors and assigns forever.

Assessor's Parcel No. 237-08-101-006 (600-680-003)

PARCEL 2

BEING a parcel or tract of land described by legal subdivision as follows, to wit:

BEING the Southwest Quarter (SW $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of the Northwest Quarter (NW $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) and the Southeast Quarter (SE $\frac{1}{4}$) of the Southeast Quarter (SE $\frac{1}{4}$) of the Northeast Quarter (NE $\frac{1}{4}$) of the Northwest Quarter (NW $\frac{1}{4}$), Section 8, Township 27 South, Range 59 East, M.D.M.

EXCEPTING THEREFROM that portion of land lying right or easterly of the 203.00 foot highway right of way line of Interstate Route 15 as it passes over and across Section 8, Township 27 South, Range 59 East, M.D.M.

Said parcel as conveyed contains an area of 2.93 acres, more or less.

The above described parcel shall have no access in and to Interstate Route 15.

TOGETHER will all and singular the tenements, hereditaments, and appurtenances thereto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof.

TO HAVE AND TO HOLD all and singular the said premises together with the appurtenances, unto the said GRANTEE and its successors and assigns forever.

Assessor's Parcel No. 237-08-101-007 (600-680-010)

PARCEL 3

That portion of the West Half of Government Lot 4, Section 1, Township 21 South, Range 61 East, M.D.B. & M., Clark County, Nevada, more particularly described as follows: COMMENCING at the Northwest corner of Government Lot 4, being the Northwest corner of Section 1, Township 21 South, Range 61 East, M.D.B.&M., thence Southerly along the West line of said Government Lot 4 a distance of 50 feet to its intersection with the South boundary of the right of way of Charleston Boulevard as the same is now established; thence South 89°49' East along the South boundary of Charleston Boulevard a distance of 52 feet more or less to a point in the said South line of Charleston Boulevard lying immediately North of the Center of the existing artesian well designated as #219 on the map of Las Vegas Artesian Basin by the State Engineer of Nevada, said point being the true point of beginning; thence continuing East along the South line of Charleston Boulevard a distance of 12.5 feet to a point; thence South and parallel with the said West line of said Government Lot 4 a distance of 125 feet to a point; thence West and parallel with the South line of said Charleston Boulevard a distance of 25 feet to a point; thence North and parallel with the aforementioned West line of Government Lot 4 a distance of 125 feet to a point in the said South line of Charleston Boulevard; thence East along the last mentioned South line a distance of 12.5 feet to the point of beginning.

EXCEPTING THEREFROM those portions of said land as conveyed to the City of Las Vegas, Nevada by Documents No. 479434 recorded December 31, 1964 and No. 323739 recorded September 17, 1973.

Also known as 2100 E. Charleston Boulevard, Las Vegas, Nevada

Assessor's Parcel No. 162-01-101-001

PARCEL 4

That portion of Lot One (1) as shown by map thereof on file in File 4 of Parcel Maps, Page 40, of Official Records, Clark County, Nevada, being a portion of the Northeast Quarter (NE $\frac{1}{4}$) of the Northwest Quarter (NW $\frac{1}{4}$) of Section 7, Township 21 South, Range 61 East, MDB&M, described as follows:

BEING the West 9.99 feet of the East 189.81 feet of the South 327.46 feet of the North 402.46 feet of the North Half (N $\frac{1}{2}$) of the Northeast Quarter (NE $\frac{1}{4}$) of the Northwest Quarter (NW $\frac{1}{4}$) of said Section 7, according to a Record of Survey Map performed by Nelson E. Myer, Registered Land Surveyor of the State of Nevada, dated August 11, 1981.

Assessor's Parcel No. 162-07-101-012

PARCEL 5

BEING a portion of Lots 2, 3, 4, 5, 6, 7, 8, 9, and 10 in Block 11 of AMENDED ORIGINAL PLAT OF LAS VEGAS TOWNSITE as shown by map thereof on file in Book 1 of Plats, Page 17B, in the Office of the County Recorder of Clark County, Nevada, and being more particularly described by metes and bounds as follows, to wit:

BEGINNING at a point on the southerly right of way line of Interstate Route 15, 202.00 feet right of and at right angles to the "B" centerline, Project I-015-1(7)43, at Highway Engineer's Station "B" 520+53.33 P.O.T., said point more fully described as bearing S. 55° 48' 41" E. a distance of 1472.06 feet from the west quarter corner of Section 27, T.20S., R.61E., M.D.M., thence N. 57° 44' 07" E. a distance of 88.08 feet; thence from a tangent which bears the last described course, curving to the right with a radius of 50.00 feet through an angle of 108° 21' 19", an arc distance of 94.56 feet; thence S. 01° 39' 12" E. a distance of 59.13 feet; thence S. 88° 19' 02" W. a distance of 228.19 feet; thence N. 57° 23' 41" E. a distance of 91.03 feet to the POINT OF BEGINNING.

It is the intent of this instrument to convey and does convey all that land lying southerly of the right highway right of way line for I-015-1(7)43.

The above described parcel shall have no access in and to Interstate Route 15.

TOGETHER will all and singular the tenements, hereditaments, and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof.

TO HAVE AND TO HOLD all and singular the said premises together with the appurtenances, unto the said GRANTEE and its successors and assigns forever.

Assessor's Parcel No. 139-27-310-089

CLARK COUNTY, NEVADA
JUDITH A. VANDEVER, RECORDER
RECORDED AT REQUEST OF:
MONSEY ANDREWS ET AL
84-23-98 16:35 JVB 6
OFFICIAL RECORDS
BOOK: 988423 INST: 01862
FEE: 12.00 RPT: EX0000



DEPARTMENT OF BUILDING & SAFETY-CITY OF LAS VEGAS, NEVADA

FOR INSPECTION CALL 229-2071

Approved Plans Must Be on Job Site During Construction

JOB ADDRESS 412 W WILSON AV

MAP NO. 2325-73 DATE ISSUED 5/14/08

DESCR. OF WORK RELOCATION OF BILLBOARD SIGN

CONTRACTOR LAMAR ADVERTISING

LAMAR OUTDOOR ADVERTISING

OWNER

NOTICE: DO NOT COVER WORK REQUIRING INSPECTION UNTIL INSPECTION IS MADE. REQUIRED INSPECTION MAY VARY FROM THOSE DESIGNATED BELOW.

DESCRIPTION	TYPE	PERMIT NO.
BUILDING		08000156
ELECTRICAL		08000156

INSPECT	DESCRIPTION	APPROVED	DATE
☐ 101	FOOTING, LAYOUT, REBAR, ZONING		
☐ 201	UNDERGROUND ELECTRIC		
☐ 203	UNDER GROUND		
☐ 407	UNDER SLAB PLUMBING		
☐ 103	STEM WALL-FORMS & REBAR		
☐ 105	PRE SLAB		
☐ 131	WALL GROUT & STEEL		

Pour No Concrete Until Above is Signed

☐ 107	ROOF SHEATHING		
☐ 109	SHEAR		
☐ 220	ROUGH ELECTRICAL		
☐ 223	LOW VOLTAGE ELECTRIC		
☐ 320	ROUGH MECHANICAL		
☐ 420	ROUGH PLUMBING-TOP OUT		
☐ 120	FRAMING		
☐ 123	INSULATION		
☐ 126	HOOD SHAFT		

Do Not Sheetrock Until Above is Approved

☐ 125	DRYWALL NAILING		
☐ 127	CEILING GRID		
☐ 129	EXTERIOR LATH		
☐ 405	BUILDING SEWER (YARD LINES)		
☐ 240	FINAL ELECTRICAL		
☐ 340	FINAL MECHANICAL		
☐ 423	FINAL GAS TEST		
☐ 440	FINAL PLUMBING		
☐ 140	FINAL BUILDING		
☐ 150	OTHER BUILDING		
☐ 225	SIGN INSPECTION		
☐ 231	SERVICE CHANGE		
☐ 235	EMERGENCY ELECTRICAL TEST		
☐ 239	POLE/CONST. POWER		
☐ 250	OTHER ELECTRICAL		
☐ 305	HOOD		
☐ 323	MECHANICAL GAS LINE		
☐ 350	OTHER MECHANICAL		
☐			
☐			

INSPECT	DESCRIPTION	APPROVED	DATE
☐ 401	ON SITE SEWER (MAIN)		
☐ 403	ON SITE WATER		
☐ 441	IRRIGATION		
☐ 450	OTHER PLUMBING		
☐ 501	UNDER/ABOVE GROUND TANK		
☐ 503	HOOD SYSTEM		
☐ 505	UNDERGROUND FINAL/FLOW		
☐ 507	SPRINKLER SYSTEM HYDRO/OVERHD		
☐ 509	FIRE ALARM SYSTEM		
☐ 513	EXTINGUISHING SYSTEM		
☐ 516	MEDICAL GAS		
☐ 517	LIQUID PETROLEUM GAS		
☐ 519	SUPERVISION/MONITORING		
☐ 540	FINAL FIRE		
☐ 543	KICKER/FLUSH (FIRE)		
☐ 545	UNDERGROUND HYDRO (FIRE)		
☐ 550	OTHER FIRE		
☐ 640	FINAL PLANNING		
☐ 650	OTHER		
☐ 901	POOL PRE-GUNITE		
☐ 903	POOL POOL GAS TEST		
☐ 905	POOL PRE-DECK		
☐ 910	POOL PRE-PLASTER/FINAL		
☐ 913	TRAILER		
☐ 938	CERT. OF COMPLETION		
☐ 939	TEMP CERT OF OCCUPANCY		
☐ 940	CERT. OF OCCUPANCY		
☐ 950	OTHER POOL		
☐			

Planning Dept.
(229-6301)

Const. Serv.
(229-6337)

Fire Serv.
(229-2071)

Bldg. Dept.
(229-2071)

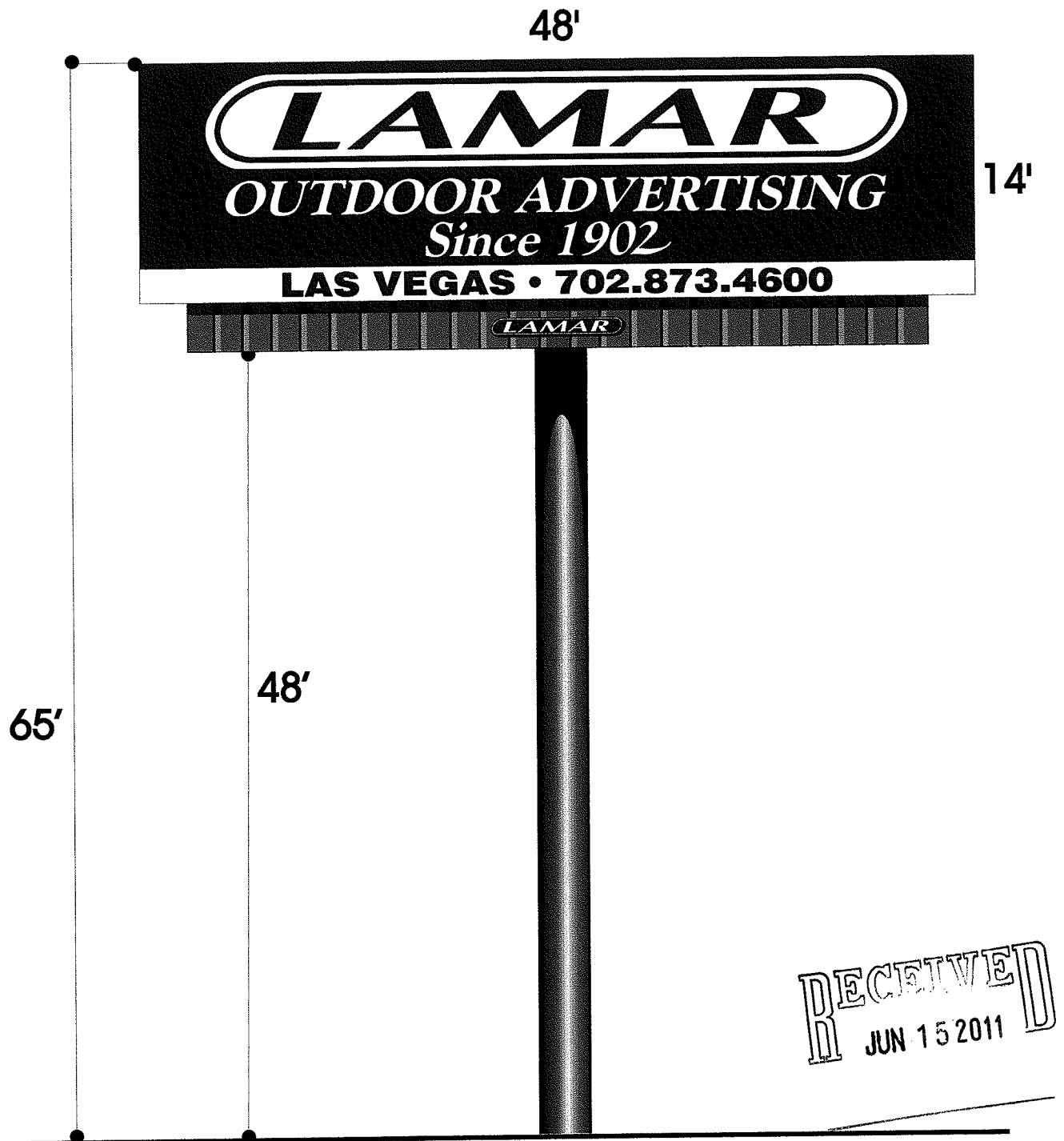
Dennis Rogers
6:30-6:45
229-2569
229-6769

POST THIS CARD ON FRONT

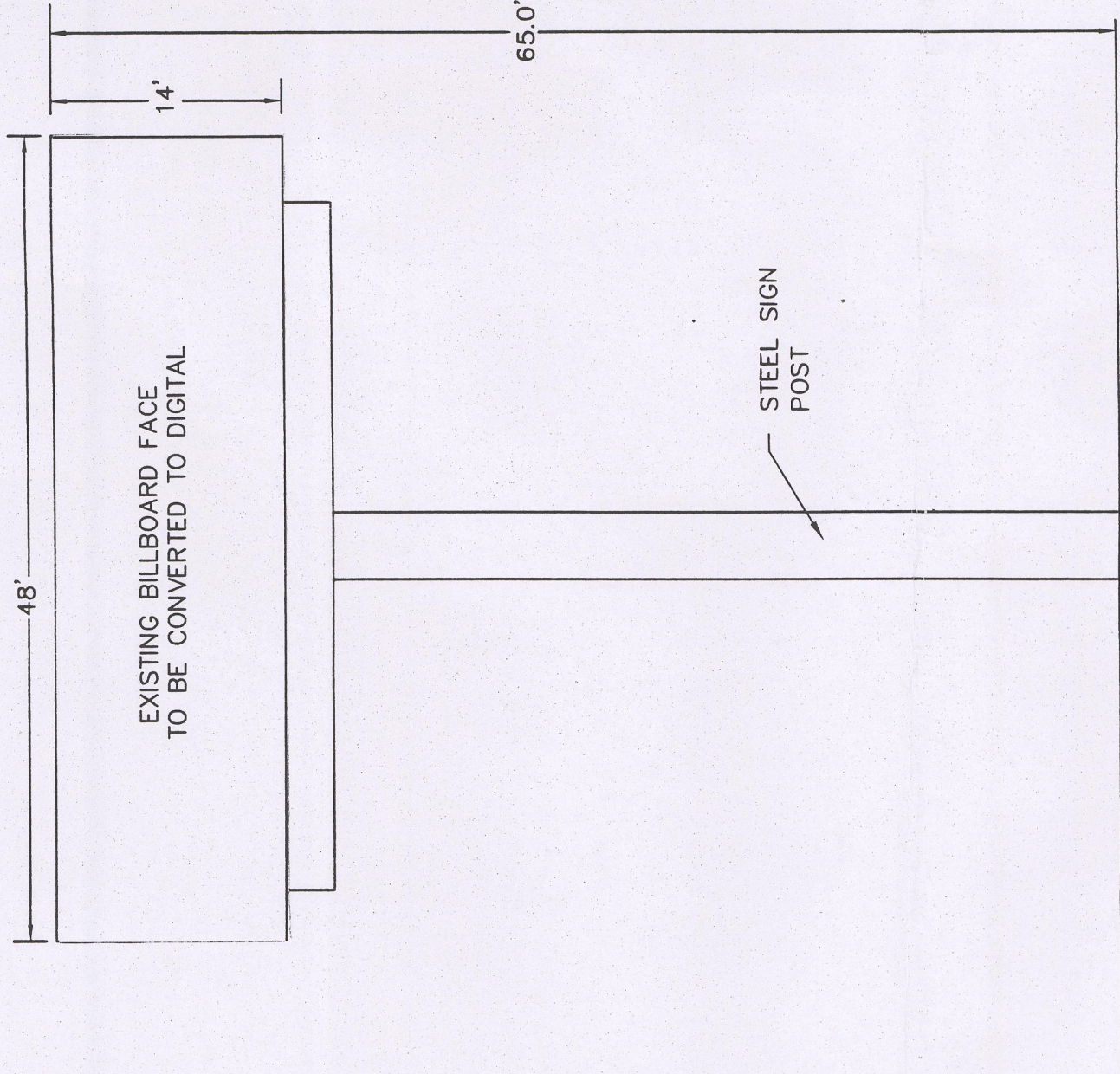
FOR SCHEDULING ASSISTANCE CALL: 229-6914

2310-002 1/00

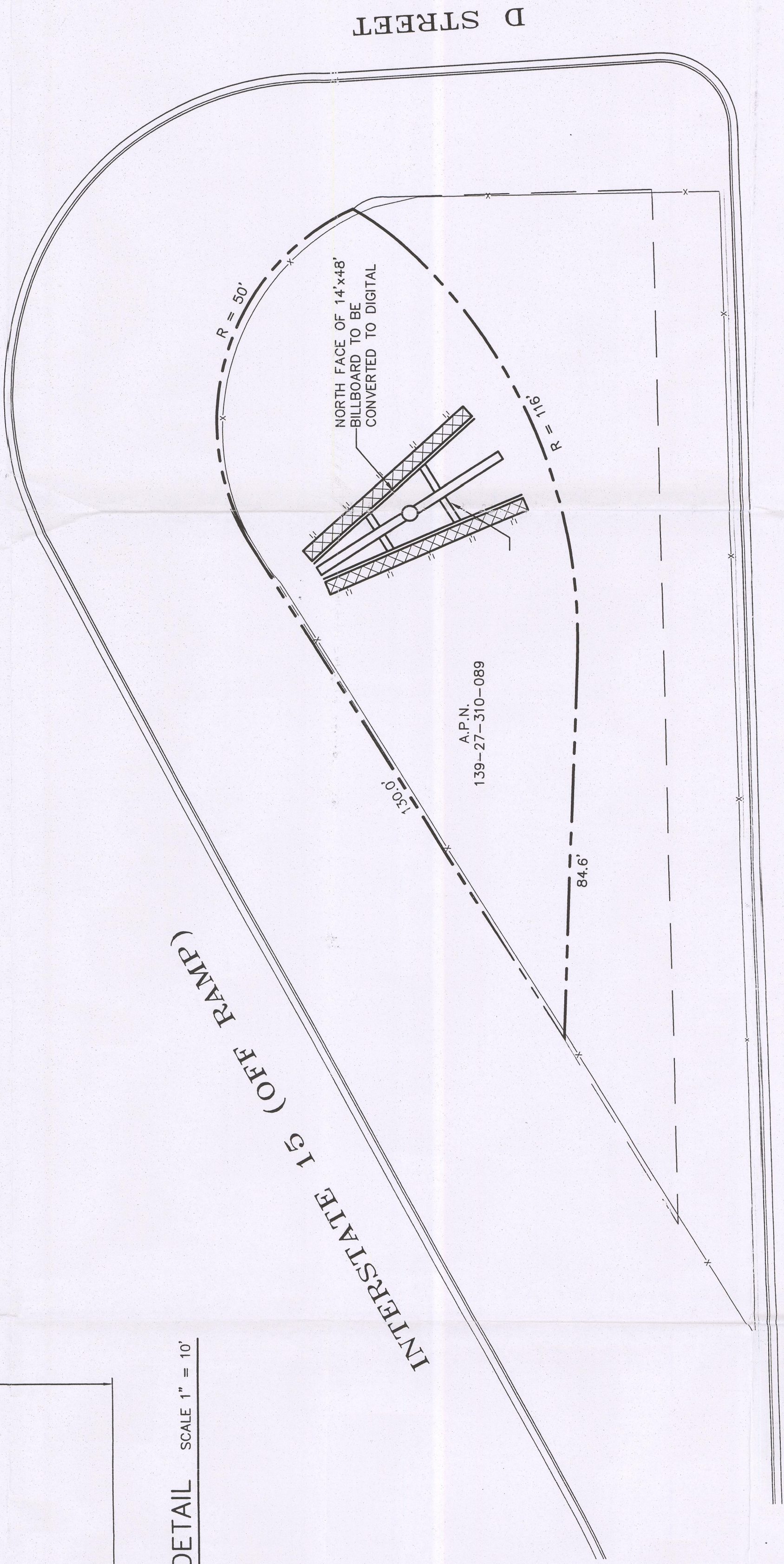
BRING HARD CARD WITH FIRE, CONST. SERV. & PLANNING APPROVALS SIGNED OFF TO BLDG. & SAFETY FOR CERTIFICATE OF OCCUPANCY ISSUANCE (Commercial Only)



ELEVATION (NO SCALE)



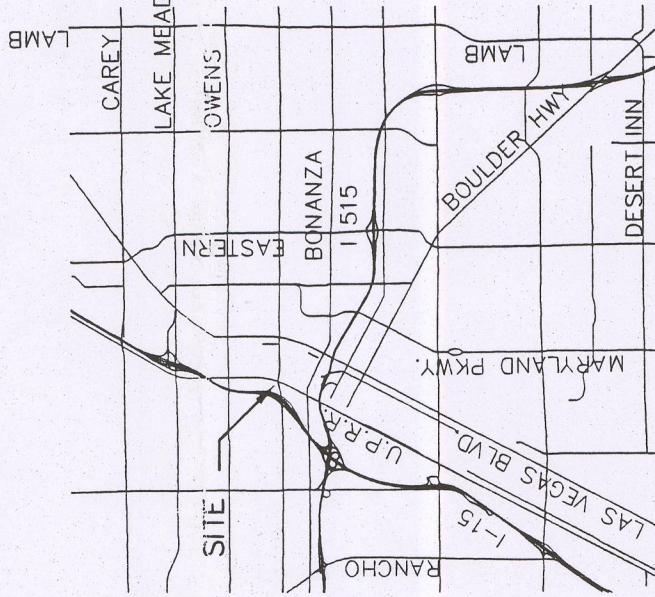
ELEVATION DETAIL SCALE 1" = 10'



WILSON AVENUE

INTERSTATE 15 (OFF RAMP)

- LEGEND
- STREET CENTERLINE
 - PROPERTY LINE
 - FORMER PROPERTY LINE
 - CHAIN LINK FENCE



VICINITY MAP NO SCALE

ZONING

M - INDUSTRIAL

LAMAR OUTDOOR ADVERTISING

873-4600

OWNER: RIEGER 1982 REVOCABLE TRUST

SITE LOCATION:

412 WILSON AVE.

GENERAL NOTES

- NOT WITHIN 300 FOOT RADIUS OF ANOTHER OFF PREMISE BILLBOARD.
- NOT WITHIN 100 FOOT OF AN ON-PREMISE SIGN ON ADJOINING PROPERTY.
- NOT WITHIN 300 FOOT RADIUS OF RESIDENTIAL PROPERTY.
- NO PARKING SPACES WILL BE TAKEN FOR THIS LOCATION.

RECEIVED
JUN 15 2011

SHEET
1
20
PROJ. NO.
LAMAR05-BDY01

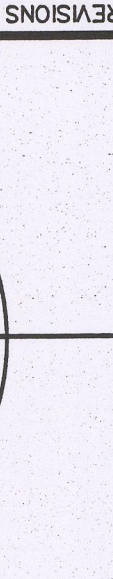


BILLBOARD REMODEL PLAN
A.P.N. 139-27-310-089
CITY OF LAS VEGAS
TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.
CLARK COUNTY, NEVADA
A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 27.

BAUGHMAN & TURNER, INC.
CIVIL ENGINEERS
1210 HINSON STREET
LAS VEGAS, NEVADA 89102
Ph. (702) 870-8771
Fax (702) 878-2695
LAND PLANNERS
LAND SURVEYORS
CHECK JAB
DRAWN JAB
DESIGN JAB

DATE 02/29/08
SCALE 1"=20'

PREPARED FOR : LAMAR ADVERTISING



SCALE 1" = 20'

