

LEGEND

[illegible]

750 E. Warm Springs
Suite #280
Las Vegas, NV 89119
(702) 614-5600
(702) 614-5685 fax

SPAGHETTI BOWL
VG03XC041

845 W BONANZA ROAD
LAS VEGAS, NEVADA 89106

01/26/10

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

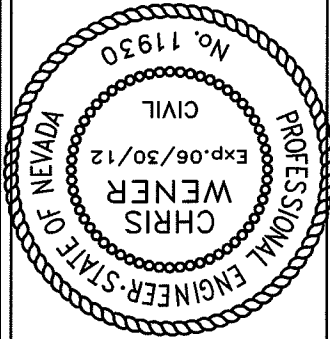
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SURVEYING & ENGINEERING
8905 W POST RD., SUITE 100
LAS VEGAS, NEVADA 89148
PH. (702) 367-7705
FAX (702) 367-8733

=====DRAWN BY:==CHK:==APV:==

C.PANGANIBAN M. CEFALU C. WENER		
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LICENSE:



SITE PLAN

==SHEET NUMBER: REVISION:

1	IV
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XCO41C-MOD

1P, 2P, & 3P	SINGLE POLE, TWO POLE, & THREE POLE	MAX.	MAXIMUM
A/C	AIR CONDITIONING	MECH.	MECHANICAL
ADJ.	ADJUSTABLE	MET.	METAL
APPROX.	APPROXIMATELY	MFR.	MANUFACTURER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MIN.	MINIMUM
AWG	AMERICAN WIRE GAUGE	MISC.	MISCELLANEOUS
A OR AMP.		MGB	MAIN GROUND BUS
BLK.	BLOCK	MOUNTED	MOUNTED
BMR	BASE MOBILE RADIO	N.E.C.	NATIONAL ELECTRICAL CODE
B/S	BUILDING STANDARD	NEUT.	NEUTRAL
CU	COPPER	NOT APPLICABLE	NOT APPLICABLE
C.O.	CONDUIT ONLY	NOT IN CONTRACT	NOT IN CONTRACT
C	CONDUIT SIZED AS NOTED	NOT TO SCALE	NOT TO SCALE
C.B.	CIRCUIT BREAKER	OWNER FURNISHED, CONTRACTOR INSTALLED	
CKT.	CIRCUIT	OD	OUTSIDE DIAMETER
CLG.	CeILING	OPG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
CONC.	CONCRETE	OVH.	OVERHEAD
CONST.	CONSTRUCTION	OVH/OVH	OVERHEAD OVERHEAD TELEPHONE
CONT.	CONTINUOUS	PVC	POLYVINYL CHLORIDE
DBL.	DOUBLE	PLYWD.	PLYWOOD
DIA. Ø	DIAMETER	PR	PROJECT
DIAG.	DIAGONAL	PROJ.	PROJECT
DN	DOWN	PROP.	PROPERTY
DTL.	DETAIL	PT	PRESSURE TREATED
DWG.	DRAWING	RECD.	RECEIVED
DEF.	DUAL ELEMENT FUSES	RM	ROOM
EA.	EACH	R.O.	ROUGH OPENING
EL. ELEV.	ELEVATION	SW.	SWITCH
ELECT.	ELECTRICAL	SHT	SHEET
EQU.	EQUIPMENT	SIM	SIMILAR
EQ.	EQUAL	SPEC.	SPECIFICATION
EX.	EXISTING	SQ.	SQUARE
EX.	EXISTING	STL.	STEEL
EXT.	EXTERIOR	STRUCT.	STRUCTURAL
E.C.	ELECTRICAL CONTRACTOR	SUSP.	SUSPENDED
E6B	ELECTRICAL EQUIPMENT	S.V.	SHEET VINYL
EMT.	ELECTRICAL METALLIC TUBING	STD.	STANDARD
FIN.	FINISH	STRUC.	STRUCTURAL
F.G.	FINISH GRADE	THK.	THICKNESS
FLR.	FLOOR	THRU	THROUGH
FT.	FOOT	T.N.	TOE NAIL
GRC.	GALVANIZED RIGID CONDUIT	TINND	TINNED
G. OR GRD.	GROUND	T.O.A.	TOP OF ANTENNA
GALV.	GALVANIZED	T.O.C.	TOP OF CURB
GC	GENERAL CONTRACTOR	T.O.F.	TOP OF FRODO
GWB	GYP-SUM WALL BOARD	T.O.P.	TOP OF MASONRY
GYP. BD.	GYP-SUM BOARD	T.O.P.	TOP OF SLAB
HARD WD	HARDWOOD	TP.	TYPICAL
HORIZ.	HORIZONTAL	U.O.N.	UNLESS OTHERWISE NOTED
HR	HOOR	UNIFORM BUILDING CODE	
HVAC	HEATING, VENTING AND AIR CONDITIONING	UNDERGROUND POWER	
LB.C.	INTERNATIONAL BUILDING CODE	UNDERGROUND TELEPHONE	
LD.	INSIDE DIA.	VERT.	VERTICAL
IN.	INCH	VF	VERIFY IN FIELD
INFO	INFORMATION	V.C.T.	VINYL COMPOSITE TILE
INSUL.	INSULATION	W.	WITH
INT.	INTERIOR	W/O	WITHOUT
KW.	KILOWATTS	WN	WINDOW
LB(S)	POUND(S)	W.P.	WEATHERPROOF
		XFR	TRANSFER

PROJECT GENERAL NOTES	CONSTRUCTION NOTES
1. THE FACILITY IS AN UNOCCUPIED SPECIALIZED MOBILE RADIO FACILITY. 2. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABORS NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. 3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. 4. THE CONTRACTOR SHALL RECEIVE IN WRITING, AUTHORIZATION DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS. 5. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES, OR REGULATIONS TAKE PRECEDENCE. 6. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS. 7. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT MANAGER AND WITH LANDLORD'S AUTHORIZED REPRESENTATIVE. 8. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS. 9. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR -A10BOW WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION. 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHAPTER 16 OF THE INTERNATIONAL BUILDING CODE REGARDING EARTHQUAKE PIPING, LIGHT FIXTURES, CEILING BUILDING PARTITIONS AND MECHANICAL EQUIPMENT. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL EARTHQUAKE CODES AND REGULATIONS. 11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE SITE AND NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES BEFORE STARTING ANY WORK. 12. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK. 13. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF THE PROJECT MANAGER. 14. KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. 15. CONTRACTOR TO PROVIDE COMPLETE SET OF AS BUILT DRAWINGS WITHIN 10 WORKING DAYS OF PROJECT COMPLETION. 16. CONTRACTOR IS TO SPRAY WITH EPA APPROVED WEED CONTROL PRIOR TO PLACING 4" AGGREGATE BASE GEOTECH FABRIC AND CRUSHED ROCK TYPICAL INSIDE ENTIRE SITE.	1. ELEVATIONS ARE NORTH AMERICAN VERTICAL DATUM 1988. 2. NO SURVEY PERFORMED. SITE MAPPING ONLY. 3. THE ENGINEER SPECULUM SURVEYING & ENGINEERING AND REPRESENTATIVES OF THE OWNER MUST BE NOTIFIED AT LEAST TWO FULL DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT (702) 367-7705. 4. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED. 5. DO NOT SCALE BUILDING DIMENSIONS FROM DRAWINGS. 6. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON DRAWINGS. LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON DRAWINGS. LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON DRAWINGS. LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON DRAWINGS. 7. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES. 8. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION. NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL LOCAL DISHER HOT LINE FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION. 9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK. 10. THE BUILDING DEPARTMENT ISSUING THE BUILDING PERMIT SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK OR AS STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION. 11. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS. 12. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS. 13. STRUCTURAL FILL SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 100% OF MAXIMUM STANDARD PROCTOR DRY DENSITY. 14. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY. 15. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE. 16. ANY FILL PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER. 17. THE GRADES WITHIN THE FENCED IN AREA ARE TO BE ACHIEVED BY COMPACTING CLEAN FILL TO A DENSITY OF 90% OF STANDARD PROCTOR AND REPAVING WITH ASPHALT CONCRETE TO MATCH EXISTING. 18. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR. 19. DRIVEWAY CONSTRUCTION, GRADING AND DRAINAGE WORK SHALL CONFORM TO NEVADA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATION FOR THE ROAD AND BRIDGE CONSTRUCTION", LATEST EDITIONS, AND ALL APPLICABLE PROVISIONS OR LOCAL COUNTY ORDINANCES. 20. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANIES, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION. 21. SPECIAL INSPECTION IF STEEL FABRICATOR IS STATE APPROVED, A SPECIAL INSPECTION IS NOT REQUIRED PER 1704.4 THIRD PARTY INSPECTOR. SPECIAL INSPECTIONS ARE REQUIRED FOR HIGH STRENGTH BOLTING BY 22. CONCRETE: IF THE CONCRETE MIX ACHIEVES ITS DESIGN STRENGTH PRIOR TO 28 DAY BREAK TEST, IT IS ACCEPTABLE FOR FINAL REPORT. 23. COMPRESSIVE STRENGTH TEST SPECIMENS WITH DIMENSIONS OF 4" X 8" MAY BE USED.

XC041C-MOD 1	T2																																													
SHEET NUMBER: _____ REVISION: _____																																														
ABBREVIATIONS, LEGEND, GENERAL & CONSTRUCTION NOTES																																														
SHEET TITLE: _____																																														
 PROFESSIONAL ENGINEER - STATE OF NEVADA CHRIS WENER CIVIL No. 11930 Exp. 06/30/12																																														
LICENSURE: _____																																														
C.P. PANGANIYAN M. CEFALU C. WENER DRAWN BY: CHK.: APV.:																																														
SPECTRUM SURVEYING & ENGINEERING 8905 W POST RD., SUITE 100 LAS VEGAS, NEVADA 89148 PH. (702) 367-7705 FAX (702) 367-8733																																														
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	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;"></th> <th style="width: 15%;">01/26/11</th> <th style="width: 15%;">10/19/10</th> <th style="width: 15%;">90% CONSTRUCTION</th> <th style="width: 15%;">C.P.</th> </tr> </thead> <tbody> <tr> <td></td> <td style="text-align: center;"> </td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		01/26/11	10/19/10	90% CONSTRUCTION	C.P.																																								
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750 E. Warm Springs Suite #280 Las Vegas, NV 89119 (702) 614-5600 (702) 614-5685 fax																																														
 Sprint																																														



THE PROPOSED PROJECT INCLUDES:

- REPLACEMENT OF (1) EXISTING SPRINT PANEL ANTENNA MOUNTED ON AN EXISTING GROUND CASTLE 75'-0" MONOPOLE
- EXISTING ANTENNA CONFIGURATION - (7) ANTENNAS
- PROPOSED ANTENNA CONFIGURATION - (6) ANTENNAS



PROJECT INFORMATION
 EQUIPMENT LOCATION: ☒ OUTDOOR ☐ INDOOR
 EQUIPMENT SHELTER: ☐ YES ☒ NO
 ANTENNA LOCATION:
☐ NEW MONOPOLE
☐ SELF SUPPORT TOWER
☒ EXISTING MONOPOLE
☐ ROOF TOP
☐ EXISTING TOWER
☐ OTHER

HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.

APN: 139-28-801-008
 CITY OF LAS VEGAS
 JURISDICTION:
 CURRENT ZONING: INDUSTRIAL DISTRICT (M)
 CONSTRUCTION TYPE: V-8
 OCCUPANCY TYPE: S-2
 AREA OF CONSTRUCTION: N/A

S G PROPERTIES LLC
 845 W BONANZA RD
 LAS VEGAS, NEVADA 89106

OWNER:
 PROPERTY INFORMATION

SITE NUMBER/NAME: 880953 SFGTTBOW
 CONTACT: RANDY ROBB
 PHONE: (702) 349-3477

TOWER OWNER: CROWN CASTLE
 32 EXECUTIVE PARK, SUITE 100
 IRVINE, CALIFORNIA 92614

LANDLORD INFORMATION
 CONTACTS: ALEX MACYAR
 (702) 475-6233
 750 EAST WARM SPRINGS ROAD SUITE #280
 LAS VEGAS, NEVADA 89119
 SPRINT

APPLICANT/LESSEE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.	1. INTERNATIONAL BUILDING CODE 2006 W/STATE AMENDMENTS 2. UNIFORM MECHANICAL CODE 2006 3. ANSI/AIA-222-F LIFE SAFETY CODE 4. UNIFORM PLUMBING CODE 2006 5. NATIONAL ELECTRICAL CODE 2005 6. LOCAL BUILDING CODE(S) 7. CITY AND/OR COUNTY ORDINANCES 8. UNIFORM FIRE CODE 2003
CODE COMPLIANCE	
SPECIAL INSPECTIONS ARE REQUIRED FOR THE TYPES OF WORK DESCRIBED BELOW.	
1. HIGH-STRENGTH BOLTS. 2. WELDING, FIELD WELDING OF STRUCTURAL STEEL AND REINFORCING STEEL. (IF REQUIRED) 3. STRUCTURAL STEEL. (IF REQUIRED) 4. CONCRETE: REINFORCING STEEL AND PLACEMENT. 5. CONCRETE WITH DESIGN GREATER THAN 2500 PSI. 6. PILE, PIER OR CAISSON FOUNDATIONS. 7. SOILS: SITE PREPARATION, FILL PLACEMENT, IN-PLACE DENSITY.	
SPECIAL INSPECTIONS	
CIVIL ENGINEER SPECTRUM SURVEYING & ENGINEERING 8905 W POST RD., SUITE 100 LAS VEGAS, NEVADA 89148 CHRIS WENNER PHONE: (702) 367-7705 FAX: (702) 367-8733	
STRUCTURAL ENGINEER: T.B.O.	
ELECTRICAL ENGINEER: N/A	
SURVEYOR: N/A	

[illegible]

APPROVAL LIST		
TITLE	SIGNATURE	DATE
RF ENGINEER		
REAL ESTATE		
PROPERTY OWNER		
ZONING APPROVAL		
CONSTRUCTION DIRECTOR		
ADDITIONAL APPROVAL		

SPAGHETTI BOWL
VG03XC041
845 W BONANZA ROAD
LAS VEGAS, NEVADA 89106

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845 W BONANZA ROAD
LAS VEGAS, NEVADA 89106

01/26/11

CONSTRUCTION

REV.: DATE: DESCRIPTION:

0	10/19/10	90% CONSTRUCTION
1	01/26/11	100% CONSTRUCTION

PLANS PREPARED BY:

SPECTRUM
SURVEYING & ENGINEERING
8905 W POST RD., SUITE 100
LAS VEGAS, NEVADA 89148
PH. (702) 367-7705
FAX (702) 367-8733

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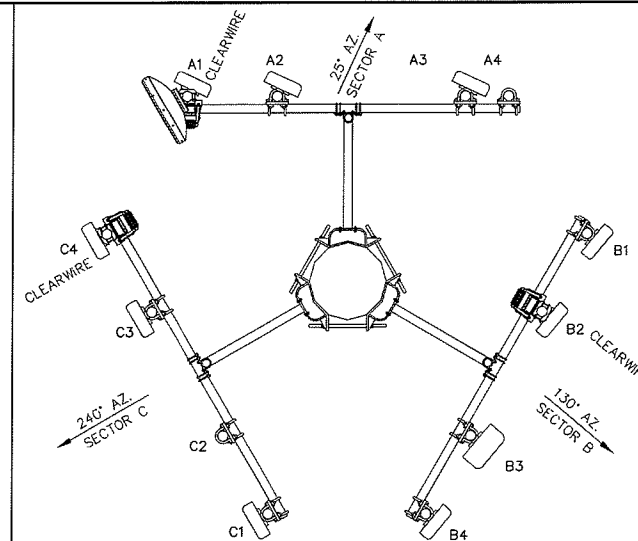
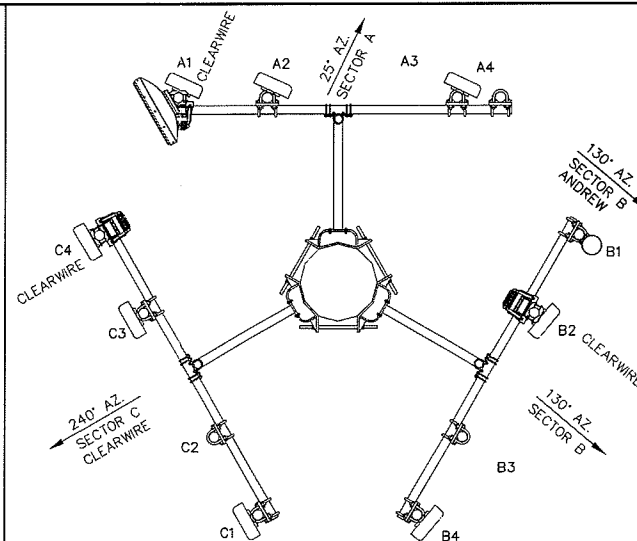
JUN 14 2017

City of Las Vegas

TITLE SHEET

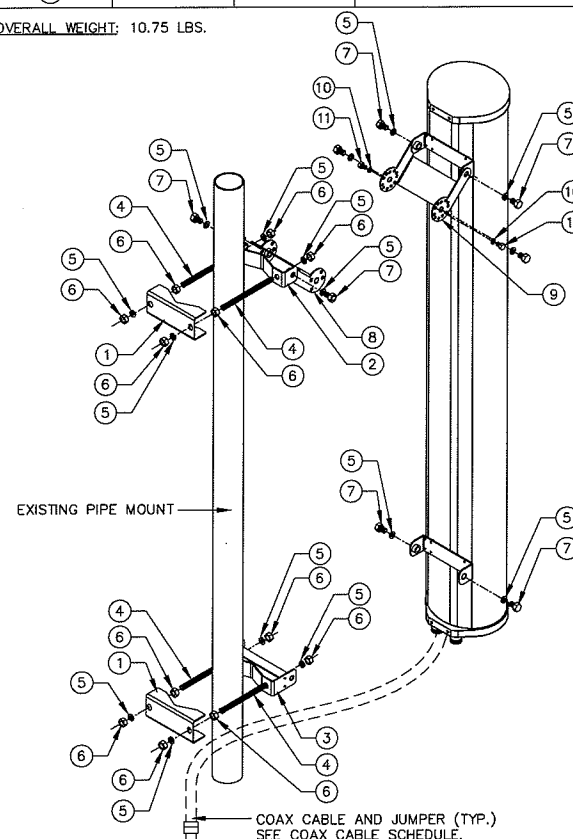
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KC041C-MOD



ITEM	PART NO.	QTY.	DESCRIPTION
①	601553-1	2	BRACKET, CLAMP
②	601539-1	1	ADAPTER, POLE
③	802355-4	1	ADAPTER, POLE LOWER
④	ROD190003	4	1/2" X 7" THREADED ROD
⑤	WSH150003	12	1/2" SPLIT WASHER
⑥	NUT150001	12	1/2" HEX HEAD NUT
⑦	BLT140002	6	1/2" X 1" HEX HEAD BOLT
⑧	601730-1	1	BRACKET, DOWNTILT POLE
⑨	601735-1	1	BRACKET, DOWNTILT, ANTENNA
⑩	WSH150006	2	5/16" SPLIT WASHER
⑪	BLT140004	2	5/16" HEX HEAD BOLT

OVERALL WEIGHT: 10.75 LBS.



SECTOR	POSITION	MANUFACTURER	MODEL	☉	AZIMUTH	MECH. DOWNTILT	ELECT. DOWNTILT	COAX	SIZE
A- CURRENT CONFIGURATION	1 (CLEARWIRE)	EXISTING	EXISTING	75'-0"	25°				
	2 (REMAIN)	EXISTING	EXISTING	75'-0"	25°				
	3 (EMPTY)	—	—	—	—				
	4 (REMAIN)	EXISTING	EXISTING	75'-0"	25°				
A- PROPOSED CONFIGURATION	1 (REMAIN)	EXISTING	EXISTING	75'-0"	25°				
	2 (REMAIN)	EXISTING	EXISTING	75'-0"	25°				
	3 (EMPTY)	—	—	—	—				
	4 (REMAIN)	EXISTING	EXISTING	75'-0"	25°				
B - CURRENT CONFIGURATION	1 (TO BE REPLACED)	EXISTING	EXISTING	75'-0"	130°				
	2 (CLEARWIRE)	EXISTING	EXISTING	75'-0"	130°				
	3 (TO BE REMOVE)	EXISTING	EXISTING	75'-0"	130°				
	4 (REMAIN)	EXISTING	EXISTING	75'-0"	130°				
B - PROPOSED CONFIGURATION	1 (REPLACEMENT)	ANDREW	SBH-2D6516	75'-0"	130°	0	6	2	1-1/4"
	2 (REMAIN)	EXISTING	EXISTING	75'-0"	130°				
	3 (EMPTY)	—	—	—	—				
	4 (REMAIN)	EXISTING	EXISTING	75'-0"	130°				
C - CURRENT CONFIGURATION	1 (REMAIN)	EXISTING	EXISTING	75'-0"	240°				
	2 (EMPTY)	—	—	—	—				
	3 (REMAIN)	EXISTING	EXISTING	75'-0"	240°				
	4 (CLEARWIRE)	EXISTING	EXISTING	75'-0"	240°				
C - PROPOSED CONFIGURATION	1 (REMAIN)	EXISTING	EXISTING	75'-0"	240°				
	2 (EMPTY)	—	—	—	—				
	3 (REMAIN)	EXISTING	EXISTING	75'-0"	240°				
	4 (REMAIN)	EXISTING	EXISTING	75'-0"	240°				



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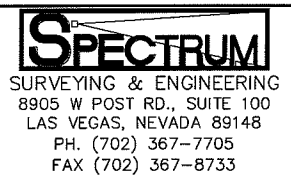
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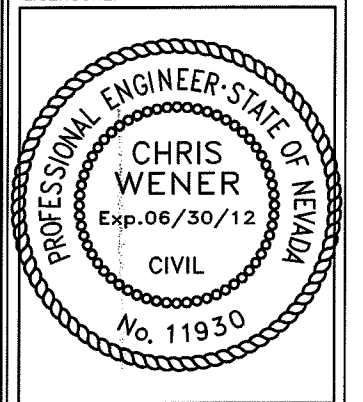
PLANS PREPARED BY:==



DRAWN BY: CHK.: APV.:

C.PANGANIBAN	M. CEFALU	C. WENER
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LICENSURE: =



SHEET TITLE: =

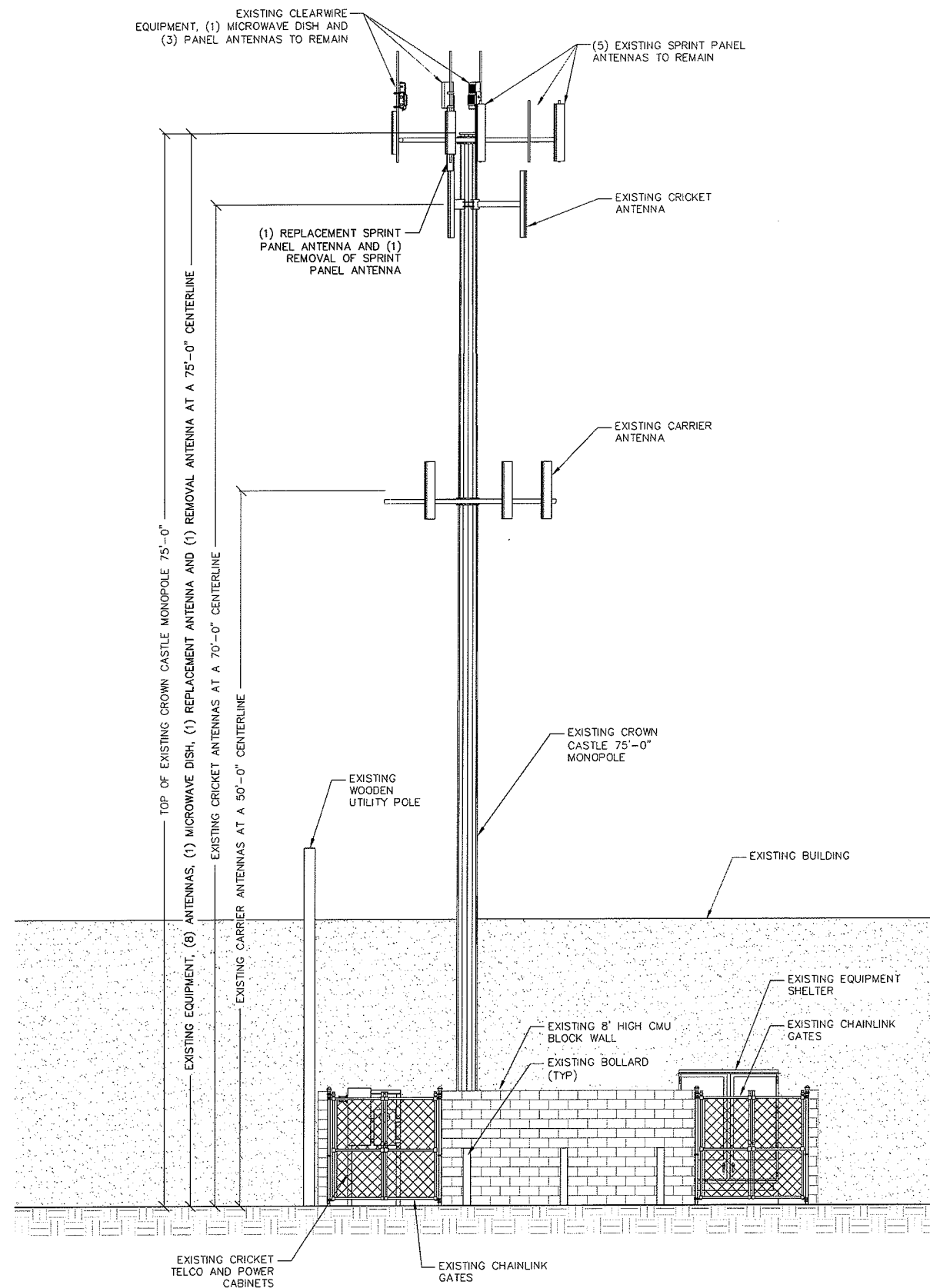
ANTENNA AND CABLE SCHEDULE, ANTENNA LAYOUTS & DETAILS

SHEET NUMBER: _____ REVISION: _____

A5

1

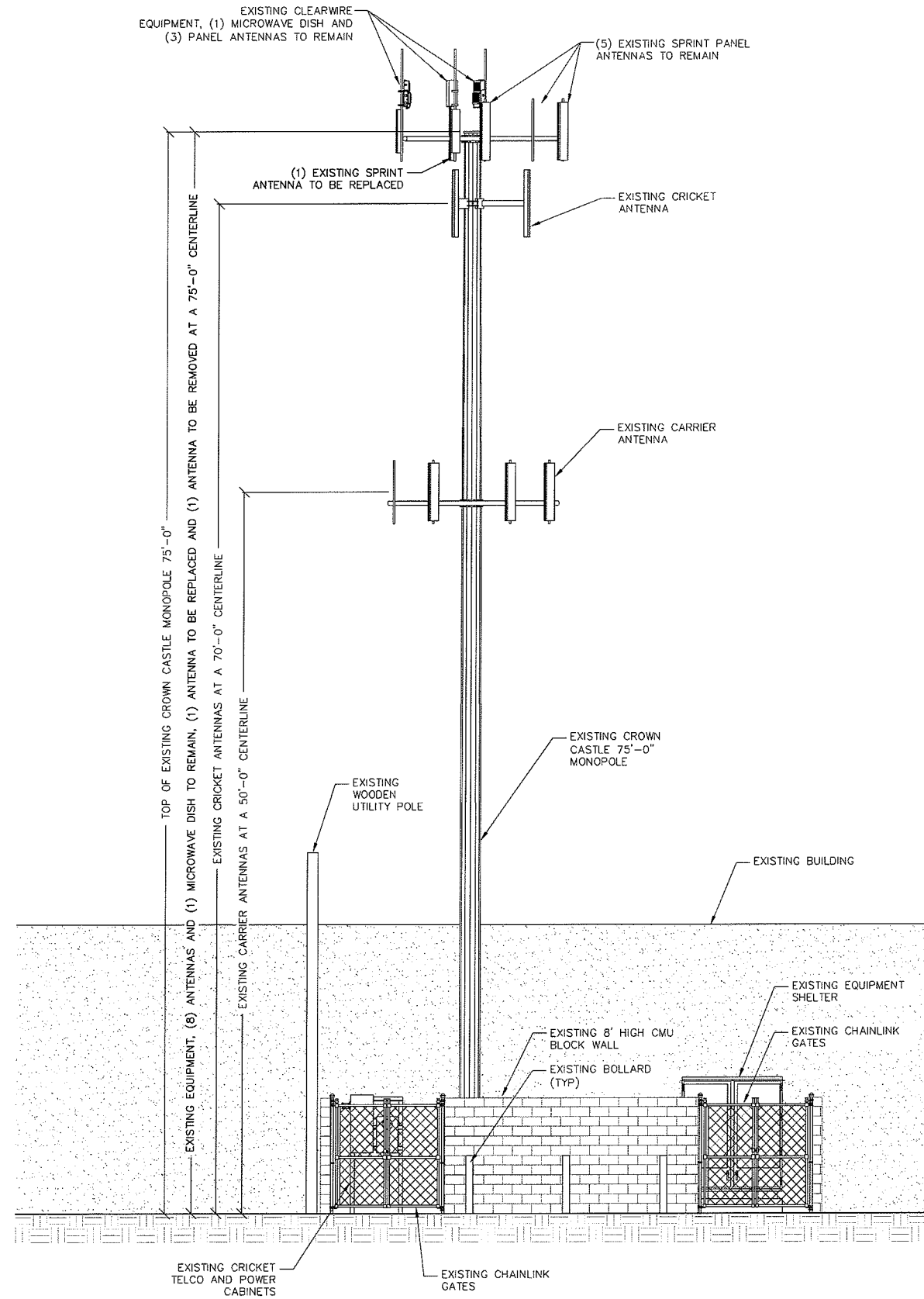
C041C-MOD



PROPOSED WEST ELEVATION

SCALE:
1" = 10'

2



EXISTING WEST ELEVATION

SCALE:
1" = 10'

1

Sprint

Together with Nextel
750 E. WARM SPRINGS
SUITE #280
LAS VEGAS, NV 89119
(702) 614-5600
(702) 614-5685 FAX

PROJECT INFORMATION:

SPAGHETTI BOWL
VG03XC041

845 W BONANZA ROAD
LAS VEGAS, NEVADA 89106

CURRENT ISSUE DATE:

01/26/11

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

1	01/26/11	100% CONSTRUCTION	B.J.
0	10/19/10	90% CONSTRUCTION	C.P.

PLANS PREPARED BY:

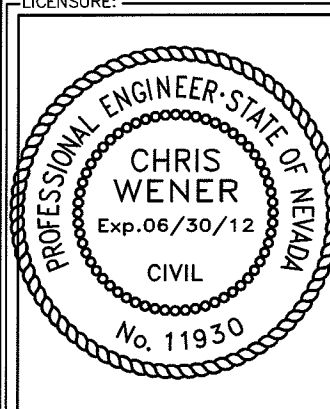
SPECTRUM

SURVEYING & ENGINEERING
8905 W POST RD., SUITE 100
LAS VEGAS, NEVADA 89148
PH. (702) 367-7705
FAX (702) 367-8733

DRAWN BY: CHK.: APV.:

C. PANGANIBAN M. CEFALU C. WENER

LICENSURE:



SHEET TITLE:

EXISTING AND PROPOSED
WEST ELEVATION

SHEET NUMBER: REVISION:

A4

1

XC041C-MOD

PROJECT INFORMATION:

SPAGHETTI BOWL
VG03XC041

845 W BONANZA ROAD
LAS VEGAS, NEVADA 89106

CURRENT ISSUE DATE:

01/26/11

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

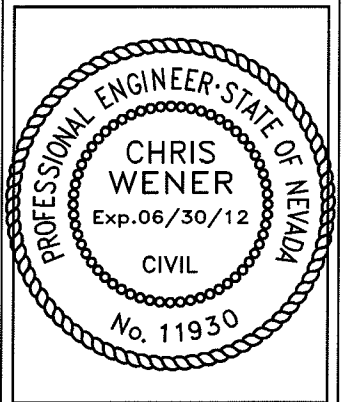
1	01/26/11	100% CONSTRUCTION	B.J.
0	10/19/10	90% CONSTRUCTION	C.P.

PLANS PREPARED BY:

SPECTRUM
SURVEYING & ENGINEERING
8905 W POST RD., SUITE 100
LAS VEGAS, NEVADA 89148
PH. (702) 367-7705
FAX (702) 367-8733

DRAWN BY: CHK.: APV.:
C.PANGANIBAN M. CEFALU C. WENER

LICENSURE:



SHEET TITLE:

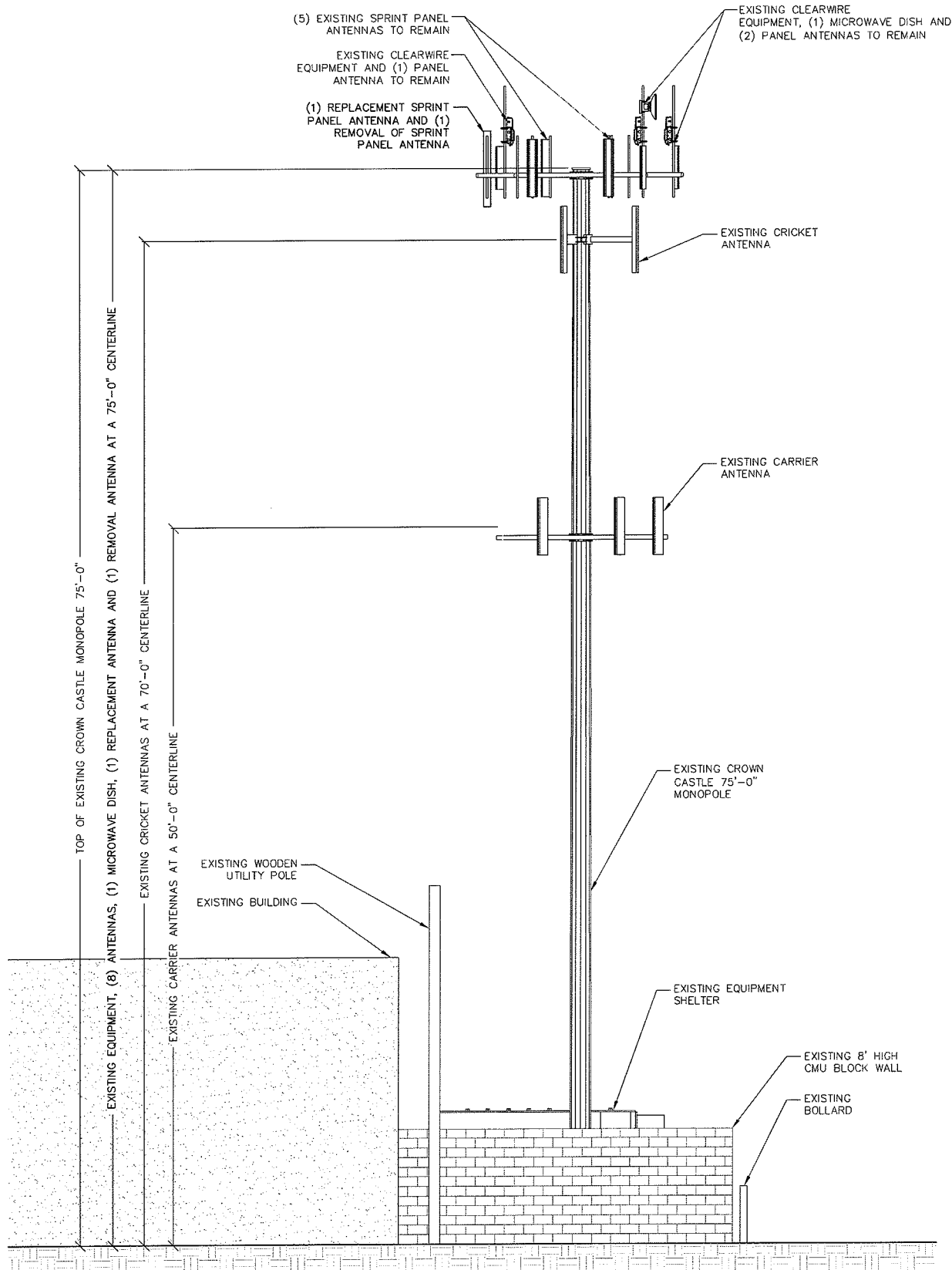
EXISTING AND PROPOSED
NORTH ELEVATION

SHEET NUMBER: REVISION:

A3

1

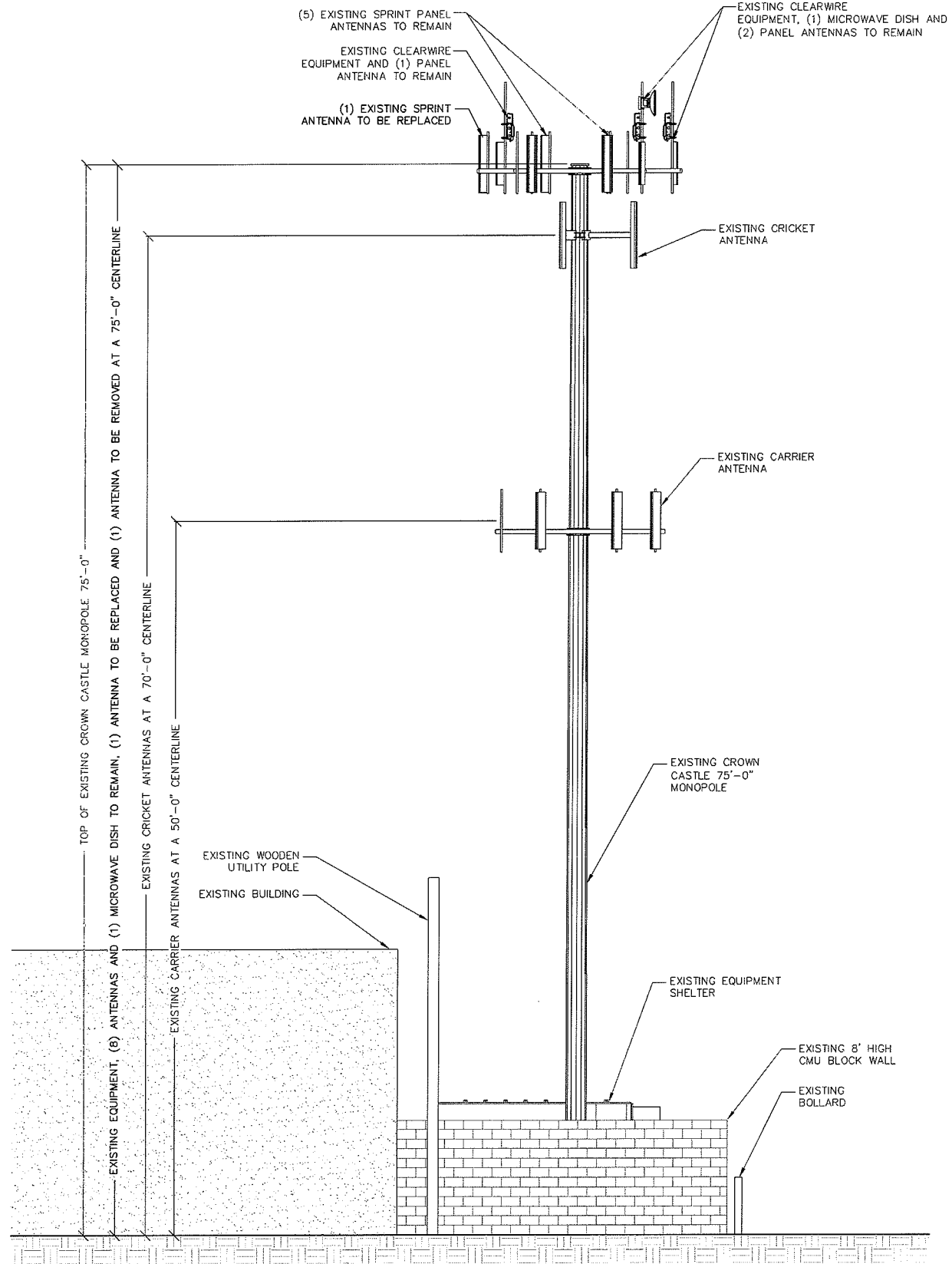
XC041C-MOD



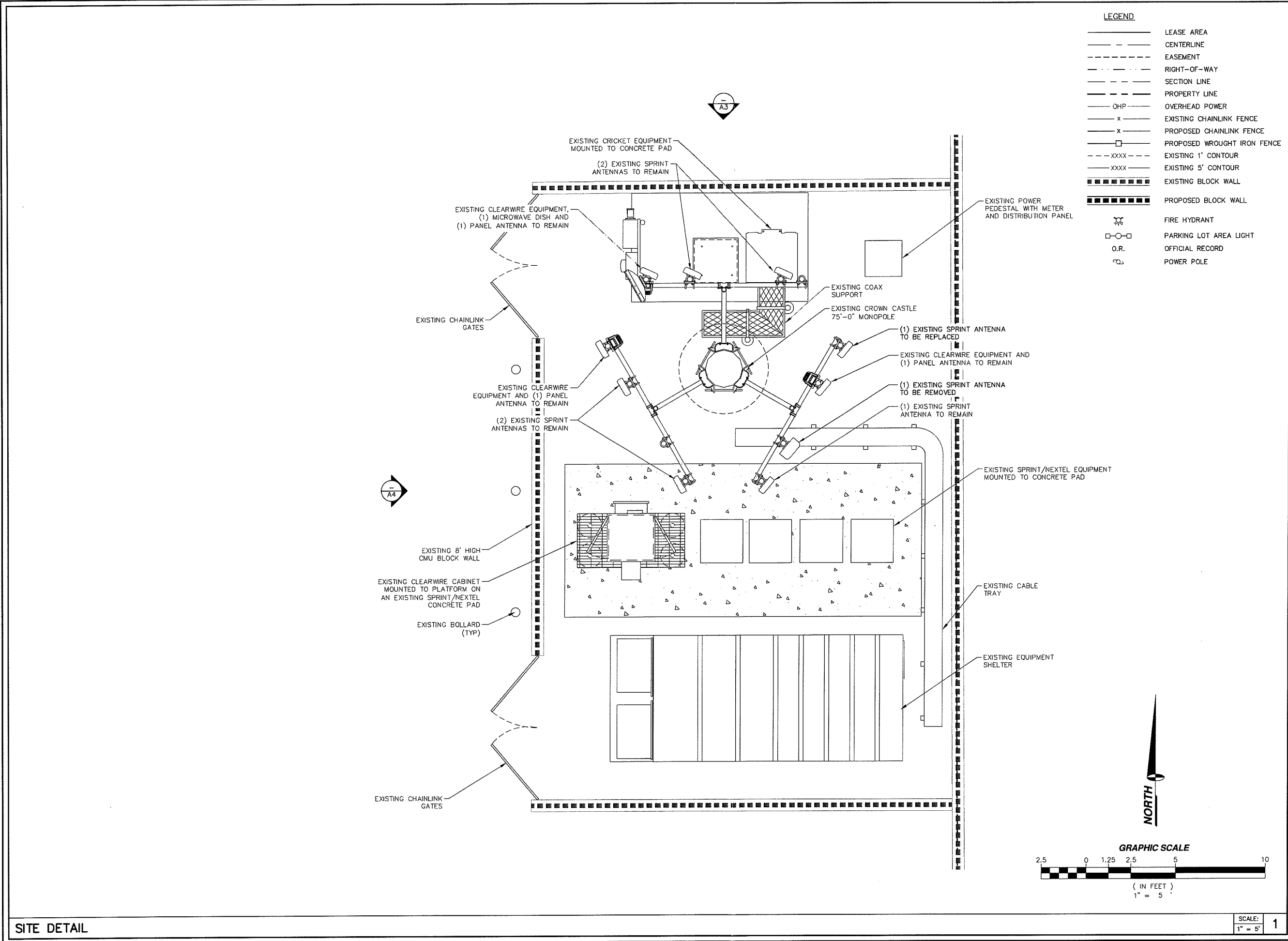
PROPOSED NORTH ELEVATION

SCALE: 1" = 10' 2

EXISTING NORTH ELEVATION



SCALE: 1" = 10' 1



750 E. WARM SPRINGS
SUITE #280
LAS VEGAS, NV 89119
(702) 614-5600
(702) 614-5685 FAX

PROJECT INFORMATION:

SPAGHETTI BOWL
VG03XC041

845 W BONANZA ROAD
LAS VEGAS, NEVADA 89106

CURRENT ISSUE DATE:

01/26/11

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

PLANS PREPARED BY:

SURVEYING & ENGINEERING
8905 W POST RD., SUITE 100
LAS VEGAS, NEVADA 89148
PH. (702) 367-7705
FAX (702) 367-8733

DRAWN BY: CHK.: APV.:

C. PANGANIBAN M. CEFALU C. WENER

LICENSE:

SHEET TITLE:

SITE DETAIL, ANTENNA
AND CABLE SCHEDULE
AND ANTENNA LAYOUT

SHEET NUMBER: REVISION:

A2 1

XC041C-MOD



June 22, 2011

Spectrum Surveying & Engineering
Attn: Tracy Cline
8905 West Post Road, Suite 100
Las Vegas, Nevada 89148

RE: Cell Facility for Sprint (APN 139-28-801-008) located at 845 West Bonanza Road; SDR-42132

Dear Mr. Cline:

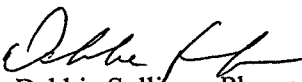
It has been determined that the removal of one (1) existing antenna and replacement of an existing antenna with a new panel antenna at the 75-foot centerline of an existing Wireless Communication Facility, Non-Stealth Design (Monopole) located at 845 West Bonanza Road meets the standard for approval as defined in Title 19.12.010 and 19.18.020 of the Unified Development Code of the city of Las Vegas, subject to the following.

1. Conformance to the submitted site plan and elevations date-stamped June 14, 2011.
2. This approval shall be void one year from the date of final approval, unless a building permit has been issued for the proposed installation. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Any equipment located on the outside of the shelter and or building shall be painted to match the color of the exterior wall.
4. The wireless communications facility and its associated equipment and screening shall be properly maintained and kept free of graffiti at all times by the monopole owner. Failure to perform the required maintenance may result in fines and/or removal of the facility and its associated equipment. If abandoned, the property owner must obtain a demolition permit to remove the equipment within thirty (30) days of abandonment. All equipment must then be removed within six (6) months after operations at the site cease.

A Special Use Permit application will not be required prior to submittal of building permits. A copy of this letter must be included in the permit package.

If you have any questions, please contact me at (702) 229-6895.

Sincerely,


Debbie Sullivan, Planner I
Case and Public Planning

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Wireless Communications Facility, Non-Stealth Design
 Project Address (Location) 845 W. Bonanza Rd., Las Vegas, Nevada 89106
 Project Name Sprint site VG03XC041 Spaghetti Bowl Proposed Use _____
 Assessor's Parcel #(s) 139-28-801-008 Ward # 5
 General Plan: existing _____ proposed _____ Zoning: existing M proposed n/a
 Commercial Square Footage n/a Floor Area Ratio n/a
 Gross Acres 0.9 Lots/Units n/a Density n/a
 Additional Information Replace antennas on an existing communications tower.

PROPERTY OWNER S.G. Properties, LLC Contact Gary W. Crowe
 Address 9132 Golden Eagle Drive Phone: _____ Fax: _____
 City Las Vegas State Nevada Zip 89134
 E-mail Address kro@earthlink.net

APPLICANT Sprint Contact Alex Magyar
 Address 750 E. Warm Springs Road, Suite 280 Phone: 702-475-6233 Fax: 702-475-6283
 City Las Vegas State Nevada Zip 89119
 E-mail Address alex.magyar@sprint.com

REPRESENTATIVE Spectrum Surveying & Engineering, Inc. Contact Tracy Cline
 Address 8905 West Post Road, Suite 100 Phone: 702-539-2249 Fax: 702-367-8733
 City Las Vegas State Nevada Zip 89148
 E-mail Address tcline@spectrumse.com

S. G. Properties, LLC

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Gary Crowe, its Managing Member

Subscribed and sworn before me

This 3rd day of June, 20 11.

[Signature]

Notary Public in and for said County and State

ALMA L. MILLS
NOTARY PUBLIC
STATE OF IDAHO

Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	<u>502-42132</u>
Meeting Date	<u>7-9-11</u>
Total Fee:	<u>500</u>
Date Received:*	<u>6-14-11</u>
Received By:	<u>FS</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



8905 West Post Road, Suite 100
Las Vegas, Nevada 89148
telephone: (702) 367-7705 ext 219
facsimile (702) 367-8733
mobile (702) 539-2249

June 9, 2011

City of Las Vegas, Planning & Development Department
Attn: Flinn Fagg, Acting Director
333 N. Rancho Drive
Las Vegas, Nevada 89106

re: Conditional Use Permit Application; APN 139-28-801-008; Sprint site VG03XC041

Mr. Fagg,

Pursuant to Section 19A.04.040(C) of the Zoning Code of the City of Las Vegas, enclosed please find an application for a Wireless Communications Facility, Non-Stealth Design, at 845 W. Bonanza Rd., Las Vegas, Nevada 89106. The project consists of removing two (2) antennas from an existing monopole-type wireless communications facility, and installing one (1) new antenna. The new antenna would be slightly larger than the one it replaces. I have enclosed drawings that illustrate the project and a photographic simulation of the proposed installation.

The project qualifies for administrative approval for the following reasons:

- It is "[a]n antenna that is to be co-located on an existing antenna tower..."
- "The design and location of the proposed facility must be deemed by the Director to be compatible with surrounding uses, and the facility must include appropriate screening and landscaping to ensure such compatibility." A finding of "compatibility" was made when the existing tower was approved, there has been no material change in the surrounding area since that finding, and there would be no material change to the appearance of the facility.

Please contact me if I may assist your consideration in any way.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tracy Cline', written over a horizontal line.

Tracy Cline
tcline@spectrumse.com

RECEIVED

JUN 14 2011

City of Las Vegas

S.G. PROPERTIES, LLC

Business Entity Information			
Status:	Active	File Date:	4/19/2000
Type:	Domestic Limited-Liability Company	Entity Number:	LLC3740-2000
Qualifying State:	NV	List of Officers Due:	4/30/2011
Managed By:	Managers	Expiration Date:	4/19/2030
NV Business ID:	NV20001035013	Business License Exp:	4/30/2011

Registered Agent Information			
Name:	KEMP, JONES & COULTHARD, LLP	Address 1:	3800 HOWARD HUGHES PKWY 17TH FL
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89169
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Commercial Registered Agent - Limited-Liability Limited Partnership		
Jurisdiction:	CLARK COUNTY, NEVADA	Status:	Active

Financial Information	
No Par Share Count:	0
Capital Amount:	\$ 0
No stock records found for this company	

Officers		☐ Include Inactive Officers	
Managing Member - SHEILA C BUNKER			
Address 1:	855 W. BONANZA	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89106	Country:	
Status:	Active	Email:	
Managing Member - GARY W CROWE			
Address 1:	855 W. BONANZA	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89106	Country:	
Status:	Active	Email:	

Actions\Amendments			
Action Type:	Articles of Organization		
Document Number:	LLC3740-2000-001	# of Pages:	7
File Date:	4/19/2000	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	LLC3740-2000-005	# of Pages:	1
File Date:	4/14/2001	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	LLC3740-2000-004	# of Pages:	1
File Date:	4/16/2002	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	LLC3740-2000-003	# of Pages:	1
File Date:	3/26/2003	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	LLC3740-2000-002	# of Pages:	1
File Date:	4/21/2004	Effective Date:	
List of Officers for 2004 to 2005			
Action Type:	Annual List		
Document Number:	20050098790-20	# of Pages:	1
File Date:	3/21/2005	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20060159277-29	# of Pages:	1
File Date:	3/13/2006	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20070243740-59	# of Pages:	1
File Date:	4/05/2007	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20080252541-59	# of Pages:	1
File Date:	4/10/2008	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20090389351-60	# of Pages:	1
File Date:	4/28/2009	Effective Date:	
09-10			
Action Type:	Annual List		
Document Number:	20100335125-22	# of Pages:	1

RECEIVED**JUN 14 2011****City of Las Vegas**

20081222-0004359

Fee: \$17.00 RPTT: EX#009
N/C Fee: \$25.00
12/22/2008 14:13:06
T20080317685
Requestor:
NEVADA TITLE LAS VEGAS
Debbie Conway SUO
Clark County Recorder Pgs: 5

APN: 139-28-801-008

R.P.T.T. Exempt 4- Grantor's own 100% of grantee LLC

WHEN RECORDED MAIL TO:

JONES VARGAS
3773 Howard Hughes Parkway
Third Floor South
Las Vegas, Nevada 89169
Attention: Kris Ballard

**MAIL TAX STATEMENTS TO
GRANTEE'S ADDRESS:**

S.G. Properties, LLC
9132 Golden Eagle Drive
Las Vegas, Nevada 89134
Attn: Gary W. Crowe

GRANT, BARGAIN, SALE DEED

Gary W. Crowe and Susan R. Crowe as Husband and Wife as to an undivided 50% interest and Sheila C. Bunker and Martin A. Bunker as Husband and Wife as to an undivided 50% interest, all as Joint Tenants (collectively, "Grantor"), do hereby Grant, Bargain, Sell and Convey to S.G. Properties, LLC, a Nevada limited liability company ("Grantee"), all that real property situated in Clark County, Nevada, described as follows (hereinafter, the "Property");

**SEE LEGAL DESCRIPTION ATTACHED HERTO AND MADE A PART
HEREOF AS EXHIBIT "A"**

TOGETHER WITH all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

SUBJECT TO current taxes and assessments and existing liens, encumbrances, rights-of-way, easements, restrictions, reservations and other matters of record.

RECEIVED
JUN 14 2011
City of Las Vegas

In Witness Whereof, this Grant, Bargain, Sale Deed has been executed as of this 12th day
of December, 2008.

Gary W. Crowe
Gary W. Crowe

Susan R. Crowe
Susan R. Crowe

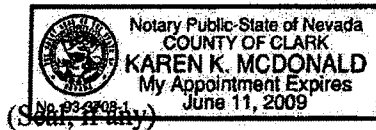
Sheila C. Bunker
Sheila C. Bunker

Martin A. Bunker
Martin A. Bunker

ASSESSOR'S COPY

STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

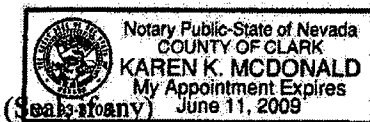
This instrument was acknowledged before me on December 12, 2008, by Gary W. Crowe.



Karen K. McDonald
(Signature of Notarial Officer)

STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

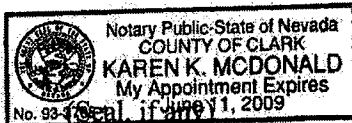
This instrument was acknowledged before me on December 12, 2008, by Susan R. Crowe.



Karen K. McDonald
(Signature of Notarial Officer)

STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

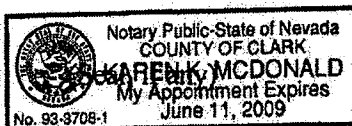
This instrument was acknowledged before me on December 12, 2008, by Sheila C. Bunker.



Karen K. McDonald
(Signature of Notarial Officer)

STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

This instrument was acknowledged before me on December 12, 2008, by Martin A. Bunker.



Karen K. McDonald
(Signature of Notarial Officer)

EXHIBIT "A"
TO GRANT BARGAIN SALE DEED

DESCRIPTION OF THE PROPERTY

THAT PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.B.&M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT MARKED BY A BRASS TACK SET IN A CONCRETE MONUMENT AT THE NORTHEAST (NE) CORNER OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SAID SECTION;

THENCE ALONG THE EAST LINE OF SAID SECTION SOUTH $0^{\circ}11'47''$ WEST, 30.02 FEET TO A POINT IN A BRASS CAP IN A MONUMENT SET IN THE SOUTH LINE OF BONANZA ROAD, 80 FEET WIDE;

THENCE ALONG SAID SOUTH LINE $89^{\circ}16'56''$ WEST, 599.36 FEET TO THE NORTHEAST (NE) CORNER OF THAT CERTAIN PARCEL OF LAND CONVEYED TO STANDARD WHOLESALE SUPPLY CO., INC., BY DEED RECORDED AUGUST 26, 1955, IN BOOK 66, AS DOCUMENT NO. 55605 OF OFFICIAL RECORDS OF SAID COUNTY, SAID NORTHEAST (NE) CORNER BEING THE TRUE POINT OF BEGINNING;

THENCE SOUTH $0^{\circ}43'04''$ EAST, 270.00 FEET ALONG THE EAST LINE OF THE SAID CONVEYED PARCEL TO THE SOUTHEAST (SE) CORNER THEREOF;

THENCE SOUTH $89^{\circ}16'56''$ WEST, 150.00 FEET;

THENCE NORTH $0^{\circ}43'04''$ WEST, 270.00 FEET TO A POINT IN SAID SOUTH LINE OF BONANZA ROAD, DISTANT THEREON SOUTH $89^{\circ}15'56''$ WEST, 150.00 FEET FROM THE TRUE POINT OF BEGINNING;

THENCE NORTH $89^{\circ}16'56''$ EAST, 150.00 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF LAS VEGAS BY DEED RECORDED JANUARY 31, 1957 IN BOOK 119 OF OFFICIAL RECORDS AS DOCUMENT NO. 98508.

RECORDED

JUN 14 2011

City of Las Vegas

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

a. 139-28-801-008
b. _____
c. _____
d. _____

2. Type of Property:

a. ☐ Vacant Land b. ☐ Single Fam. Res.
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg f. ☒ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
Other _____

FOR RECORDER'S OPTIONAL USE ONLY	
Book: _____	Page: _____
Date of Recording: _____	
Notes: <u>op agree ok car</u>	

3. a. Total Value/Sales Price of Property \$ _____
b. Deed in Lieu of Foreclosure Only (value of property) (_____)
c. Transfer Tax Value: \$ _____
d. Real Property Transfer Tax Due \$ 0.00

4. If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section 9
b. Explain Reason for Exemption: Grantors own 100% of the Grantee LLC.

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature [Signature] Capacity Grantor

Signature [Signature] Capacity Grantee

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: Gary Crowe, et al.
Address: 9132 Golden Eagle Drive
City: Las Vegas
State: NV Zip: 89134

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: S.G. Properties, LLC
Address: 9132 Golden Eagle Drive
City: Las Vegas
State: NV Zip: 89134

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Jones Vargas Escrow #: _____
Address: 3773 Howard Hughes Pkwy., 3rd Fl. S.
City: Las Vegas State: NV Zip: 89169

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

RECEIVED

JUN 14 2011

City of Las Vegas

