



LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN

ELIZABETH N. FRETWELL
CITY MANAGER

July 21, 2011

Mr. John Stewart
Sahara Crossing, LP
8375 West Flamingo Road, Suite #200
Las Vegas, Nevada 89147

RE: EOT-42005 – EXTENSION OF TIME
CITY COUNCIL MEETING OF JULY 20, 2011

Dear Mr. Stewart:

The City Council at a regular meeting held July 20, 2011, APPROVED the request for an Extension of Time of a previously approved Special Use Permit (SUP-27506) FOR A PROPOSED BEER/WINE/COOLER OFF-SALE ESTABLISHMENT WITHIN AN APPROVED 17,307 SQUARE-FOOT GROCERY STORE at 4580 West Sahara Avenue (APN 162-06-411-004), C-1 (Limited Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on July 21, 2011. This approval is subject to:

Planning

1. This Special Use Permit (SUP-27506) shall expire on June 4, 2013 unless another Extension of Time is approved by the City Council.
2. Conformance to the conditions of approval of the Special Use Permit (SUP-27506) and all other site related actions as required by the Department of Planning and department of Public Works.

Sincerely,

A handwritten signature in cursive script, reading "Angela Crolli".

Angela Crolli
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Tom Scorer
Fresh & Easy Neighborhood Market
2120 Park Place, Suite #200
El Segundo, California 90245

Ms. Leni Skaar
Bradshaw & Associates
2315 West Lake Mead Boulevard, Suite #102
North Las Vegas, Nevada 89032

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

July 7, 2011

Mr. John Stewart
Sahara Crossing, LP
8375 West Flamingo Road, Suite #200
Las Vegas, Nevada 89147

**RE: EOT-42005 - EXTENSION OF TIME - SPECIAL USE PERMIT
CITY COUNCIL MEETING OF JULY 20, 2011**

Dear Mr. Stewart:

Please be advised the City Council at its regular meeting on **July 20, 2011** as referred to above, will consider your request. This meeting will be held at 1:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Thursday, July 14, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The City Council requires that you or your representative be present at this meeting.

Sincerely,

Flinn Fagg, AICP
Director
Department of Planning

FF:clb

cc: Mr. Tom Scorer
Fresh & Easy Neighborhood Market
2120 Park Place, Suite #200
El Segundo, California 90245

Ms. Leni Skaar
Bradshaw & Associates
2315 West Lake Mead Boulevard, Suite #102
North Las Vegas, Nevada 89032

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov



City of Las Vegas

ANSEN CLAIM FOR REFUND FORM

AUG 4, 2011

Date prepared

Invoice # : _____
(Invoice # assigned by Finance)

DARLINE REEDER, OSII

Preparer's name

Service Address: _____

Refund Amount:

500.00

FRESH AND EASY NEIGHBORHOOD MARKET

Payee Name

TOM SCORER

Attention to:

2120 PARK PLACE SUITE 200

Address

EL SEGUNDO CA 90245

City, State, Zip Code

Return of Cash Bond?

(click below for "Yes" "No" options)

No

For the following :

EOT-42005

(Application Number and Template Type)

Reason for Refund:

CUSTOMER CHARGED FOR MEETING NOTIFICATION THAT IS
NOT NEEDED, AS CASE IS A NON-PUBLIC ITEM. REFUND PER
STEVE GEBEKE, PLANNING SUPERVISOR

Claimant Signature

Phone Number

**Original Forms must be submitted - no
fax copies will be accepted.**

BELOW FOR DEPARTMENT USE ONLY:

(Refund of a Cash Bond requires two signature approvals)

I certify this demand amount is due the claimant:

I certify this demand amount is due the claimant:

Authorized By

Authorized By

Title

DOUG RANKIN, AICP, PLANNING MANAGER

Title

Date

4 AUG, 2011

Date

Itemized Amounts for Refund:

Item	Fee Amt	% Refund	Refund Amt	Fund/Org	Account	Project	Task	Option
Processing Fee		100%	0.00	007301	261100	EE4100	000	000
Recording of Notice of Zoning			0.00	007301	261100	EE4100	000	000
Notification & Advertising Fee (PH)	500.00	100%	500.00	007301	261100	EE4100	000	000
Notification & Advertising Fee (NM)			0.00	007301	261100	EE4100	000	000
Mailing Labels Fee			0.00	007301	261100	EE4100	000	000
			0.00					
			0.00					
			0.00					

Total Amount to be Refunded:

500.00

Darline Reeder

From: Steve Gebeke
Sent: Monday, June 06, 2011 11:42 AM
To: Darline Reeder
Subject: FW: Partial Refund for EOT-42005

Please issue a partial refund for this case in the amount of \$500. Thanks.

Steve Gebeke, AICP

Planning Supervisor
City of Las Vegas
Department of Planning
(702) 229-5410 Office
(702) 385-7268 Fax

From: Deborah Sullivan
Sent: Monday, June 06, 2011 9:37 AM
To: Steve Gebeke
Subject: Partial Refund for EOT-42005

Steve,

An application for an Extension of Time (EOT-42005) was accepted on 6/2/11 with the wrong fees. The fees should have been \$300.00, yet the applicant was charged and paid \$800.00. They will need to be refunded \$500.00 since an Extension of Time is non-public. Please let me know if you have any questions. Thanks,

Debbie

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



**Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax**

EOT-42005 - EXTENSION OF TIME - SPECIAL USE PERMIT - APPLICANT: FRESH & EASY NEIGHBORHOOD MARKET - OWNER: FACCHINO LABARBERA SAHARA, LLC - Request for an Extension of Time of a previously approved Special Use Permit (SUP-27506) FOR A PROPOSED BEER/WINE/COOLER OFF-SALE ESTABLISHMENT WITHIN AN APPROVED 17,307 SQUARE-FOOT GROCERY STORE at 4580 West Sahara Avenue (APN 162-06-411-004), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

CITY COUNCIL: JULY 20, 2011

CASE PLANNER: DEBBIE SULLIVAN



CONSENT

Comments Due: JUNE 20, 2011

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

EOT Application

Report Date 06/02/2011 04:40 PM

Submitted By

Page 1

A/P # 42005 EXTENSION OF TIME

Application Information

Stages

	Date / Time	By		Date / Time	By
<u>Processed</u>	06/02/2011 15:54	982786	<u>Temp COO</u>		
<u>Approved</u>			<u>COO Issued</u>		
<u>Final</u>			<u>Expires</u>		

Associated Information

<u>Type of Work</u>	<u># Plans</u>	0	<u>Declared Valuation</u>	0.00
<u>Dept of Commerce</u>	<u># Plans</u>	0	<u>Calculated Valuation</u>	0.00
<u>Priority</u>	☒ <u>Auto Reviews</u>	<u>Bill Group</u>	<u>Actual Valuation</u>	0.00

Description of Work

EOT-42005 - EXTENSION OF TIME - SPECIAL USE PERMIT - APPLICANT: FRESH & EASY NEIGHBORHOOD MARKET - OWNER: FACCHINO LABARBERA SAHARA, LLC - Request for an Extension of Time of a previously approved Special Use Permit (SUP-27506) FOR A PROPOSED BEER/WINE/COOLER OFF-SALE ESTABLISHMENT WITHIN AN APPROVED 17,307 SQUARE-FOOT GROCERY STORE at 4580 West Sahara Avenue (APN 162-06-411-004), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

Parent A/P # 27506
Project # 42005 Project/Phase Name FRESH & EASY NEIGHBORHOOD MARK Phase #
Size/Area 6.15 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 16205411004

Location

Owner/Tenant

Contact ID AC1847388 Name SAHARA CROSSING L P
Mailing Address 8375 W FLAMINGO AVE #200 Organization
City LAS VEGAS State/Province NV
ZIP/PC 89147-4149 Country ☐ Foreign
Day Phone Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

3413 CALLE DEL TORRE
LAS VEGAS, 89102-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

16206411004

Report Date 06/02/2011 04:40 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity APPL Contact ID AC1546914 ☐ Foreign
Effective Expire
Name FRESH & EASY NEIGHBORHOOD MARKET
Day Phone (310)867-0535 x Eve Phone (310)341-1501 x Organization
Pager PIN # Position ATTN: TAX DEPT
Fax Mobile Profession
E-Mail
Address 2120 PARK PLACE #200
EL SEGUNDO, CA 90245-4741
Seasonal Addr

Valid From To
Comments Adam Mayfield

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Primary N Capacity OWNER Contact ID AC1847388 ☐ Foreign
Effective Expire
Name SAHARA CROSSING L P
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 8375 W FLAMINGO AVE #200
LAS VEGAS, NV 89147-4149
Seasonal Addr

Valid From To
Comments No Comments

Report Date 06/02/2011 04:40 PM

Submitted By

Page 3

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Primary Y Capacity OTHER Other REP Contact ID AC576541 ☐ Foreign
Effective Expire
Name BRADSHAW & ASSOCIATES
Day Phone (702)321-5609 x Eve Phone (702)647-6924 x Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 2815 WEST LAKE MEAD
#102
NORTH LAS VEGAS, NV 89032
Seasonal Addr

Valid From To
Comments Leni Skaar

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Report Date 06/02/2011 04:40 PM

Submitted By

Page 4

Contractors

No Contractors

<u>Project #</u>	<u>A/P Type</u>	<u>Status</u>	<u>Stage</u>	<u>Relation</u>
------------------	-----------------	---------------	--------------	-----------------

No children exist for this project

<u>Planning Condition</u>	<u>Description</u>	<u>Effective</u>	<u>Expire</u>	<u>Comments</u>
---------------------------	--------------------	------------------	---------------	-----------------

There is no planning condition for this project.

EXTENSION OF TIME

Y Will this go to the City Council?

Y Will this go DIRECTLY to City Council?

Hearing Type

Public, Non-Public or Admin? PUBLIC

Parent Application Type SUP

Parent Project # 27506

Staff Recommendation

Entitlement Exercised?

Meeting Information

<u>Meeting Grid</u> <u>Meeting Date</u> <u>Comments</u> <u>Added By</u>	<u>Meeting Type</u> <u>Add Date</u>	<u>Meeting Status</u> <u>Modified by</u>	<u>Modified Date</u>	<u>YES Votes</u>	<u>NO Votes</u>	<u>ABSTENTIONS</u>
07/20/2011	CC	SCHEDULED		0	0	0
DDONLEY	06/02/2011	DDONLEY	06/02/2011			

<u>Template Type</u>	<u>A/P #</u>	<u>A/P Type</u>	<u>Status</u>	<u>Stage</u>
----------------------	--------------	-----------------	---------------	--------------

No children exist for this project

<u>Employee</u> <u>Employee ID</u>	<u>Last</u>	<u>First</u>	<u>MI</u>	<u>Comments</u>
---------------------------------------	-------------	--------------	-----------	-----------------

984478	SULLIVAN	DEBORAH	J	Planning x6895
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<u>Log</u> <u>Action</u> <u>Comments</u>	<u>Description</u>	<u>Entered By</u>	<u>Start</u>	<u>Stop</u>	<u>Hours</u>
--	--------------------	-------------------	--------------	-------------	--------------

PAYMNT	CO NAME WHO PICKED UP CONTACT#	890381	06/02/2011 16:18		0.00
	LENI SKAAR;FRESH AND EASY NEIGHBORHOOD MARKET; CK#034925; 702-321-5609;				



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: EXTENSION OF TIME ON EOT-38422
 Project Address (Location) 4580 WEST SAHARA AVENUE, LAS VEGAS, NV 89102
 Project Name fresh & easy neighborhood market Proposed Use GROCERY STORE
 Assessor's Parcel #(s) 162-05411-004 Ward # 1
 General Plan: existing SC proposed SC Zoning: existing C-1 proposed C-1
 Commercial Square Footage 61,125 Floor Area Ratio .05
 Gross Acres 6.15 Lots/Units 1 Density N/A
 Additional Information BEER/WINE/COOLER OFF-SALE ESTABLISHMENT (SUP-27506)

PROPERTY OWNER SAHARA CROSSING, L.P. Contact JOHN STEWART
 Address 8375 WEST FLAMINGO ROAD, SUITE 200 Phone: (702) 368-5800 Fax: (702) 368-5801
 City LAS VEGAS State NV Zip 89147
 E-mail Address jstewart@julietlasvegas.com

APPLICANT fresh & easy neighborhood market Contact TOM SCORER
 Address 2120 PARK PLACE, SUITE 200 Phone: (310) 867-0418 Fax: _____
 City EL SEGUNDO State CA Zip 90245
 E-mail Address tom.scorer@freshandeasy.com

REPRESENTATIVE BRADSHAW & ASSOCIATES Contact LENI SKAAR
 Address 2815 WEST LAKE MEAD BLVD., SUITE 102 Phone: (702) 321-5609 Fax: (702) 647 6924
 City NORTH LAS VEGAS State NV Zip 89032
 E-mail Address leni.skaar@yahoo.com

Property Owner Signature [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

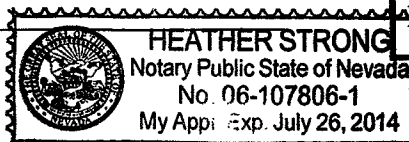
Print Name JOHN STEWART

Subscribed and sworn before me

This 14th day of April, 20 11

[Signature]

Notary Public In and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>EOT-42005</u>
Meeting Date:	<u>7-20-11</u>
Total Fee:	<u>\$ 800.00</u>
Date Received:	<u>6-2-11</u>
Received By:	<u>[Signature]</u>

The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

**DEPARTMENT OF PLANNING****STATEMENT OF FINANCIAL INTEREST**Case Number: **EOT-42005** APN: 162-06-411-004Name of Property Owner: SAHARA CROSSING, L.P.Name of Applicant: fresh & easy neighborhood marketName of Representative: BRADSHAW & ASSOCIATES

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

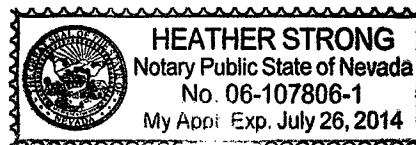
Signature of Property Owner: _____

Print Name: JOHN STEWART

Subscribed and sworn before me

This 14th day of April, 20 11

Notary Public in and for said County and State



May 31, 2011

Dear Madam or Sir,

On behalf of my client, Fresh & Easy Neighborhood Market, I am requesting a 2-year Extension of Time on EOT-38422, which was approved by the City Council on July 21, 2010 and allows a Beer/Wine Cooler Off-Sale Establishment within an approved grocery store at 4580 West Sahara Avenue. The Assessors Parcel Number is 162-06-411-004.

This site is leased by Fresh & Easy Neighborhood Market and has recently been sold to a new owner. It is Fresh & Easy's expectation that this new owner will improve and actively market the entire commercial property in such a manner that the site will become an economically viable location for our Neighborhood Market to operate.

Thank you, for your consideration of this request.

Yours truly,


Leni Skaar

RECEIVED

JUN -2 2011

EOT-42005



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

July 22, 2010

Mr. Michael Labarbera
Facchino Labarbera Sahara, LLC
873 Blossom Hill Road
San Jose, California 95123

RE: EOT-38422 - EXTENSION OF TIME
CITY COUNCIL MEETING OF JULY 21, 2010

Dear Mr. Labarbera:

The City Council at a regular meeting held July 21, 2010 APPROVED the request for an Extension of Time of a previously approved Special Use Permit (SUP-27506) FOR A PROPOSED BEER/WINE/COOLER OFF-SALE ESTABLISHMENT WITHIN AN APPROVED 17,307 SQUARE-FOOT GROCERY STORE at 4580 West Sahara Avenue (APN 162-06-411-004), C-1 (Limited Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on July 22, 2010. This approval is subject to:

Planning and Development

1. This Special Use Permit (SUP-27506) shall expire on June 4, 2011 unless another Extension of Time is approved by the City Council.
2. Conformance to the conditions of approval of the Special Use Permit (SUP-27506) and all other site related actions as required by the Planning and Development Department and the Department of Public Works.

Sincerely,

Angela Crolli
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Adam Mayfield
Fresh & Easy Neighborhood Market
2120 Park Place, Suite #200
El Segundo, California 90245

Ms. Leni Skaar
Bradshaw & Associates
2815 West Lake Mead Boulevard, Suite #102
North Las Vegas, Nevada 89032

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
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FM-0044-08-09

RECEIVED

JUN - 2 2011

EOT-42005

Printed with environmentally friendly soy ink.

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Center](#)[Election
Center](#)[Business
Center](#)[Licensing
Center](#)[My Data](#)

SAHARA CROSSING DEVELOPMENT COMPANY

[New Search](#)[Printer Friendly](#)

Business Entity Information			
Status:	Active	File Date:	9/28/
Type:	Domestic Limited-Liability Company	Entity Number:	E047
Qualifying State:	NV	List of Officers Due:	9/30/
Managed By:	Managers	Expiration Date:	
NV Business ID:	NV20101718820	Business License Exp:	9/30/

Registered Agent Information			
Name:	JASON D. AHLSTROM	Address 1:	8375
Address 2:	SUITE 200	City:	LAS
State:	NV	Zip Code:	8914
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	
Mailing Zip Code:			
Agent Type:	Noncommercial Registered Agent		
View all business entities under this registered agent			

Financial Information			
No Par Share Count:	0	Capital Amount:	\$ 0

No stock records found for this company

Officers

Manager - JOHN STEWART

Address 1:	8375 W FLAMINGO ROAD SUITE 200	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89147	Country:	USA
Status:	Active	Email:	

Manager - MADISON B GRAVES II

Address 1:	8375 W FLAMINGO ROAD SUITE 200	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89147	Country:	USA
Status:	Active	Email:	

Manager - JACOB BINGHAM

Address 1:	8375 W FLAMINGO ROAD SUITE 200	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89147	Country:	USA
Status:	Active	Email:	

Manager - JAMES E BETZ

Address 1:	8375 W FLAMINGO ROAD SUITE 200	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89147	Country:	USA
Status:	Active	Email:	

Manager - JUSTIN AHLSTROM

Address 1:	8375 W FLAMINGO ROAD SUITE 200	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89147	Country:	USA
Status:	Active	Email:	

Manager - JASON D AHLSTROM

Address 1:	8375 W FLAMINGO ROAD SUITE 200	Address 2:	
------------	---------------------------------------	------------	--

City:	LAS VEGAS	State:	NV
Zip Code:	89147	Country:	USA
Status:	Active	Email:	

Manager - FRED AHLSTROM

Address 1:	8375 W FLAMINGO ROAD SUITE 200	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89147	Country:	USA
Status:	Active	Email:	

Actions\Amendments

[Click here to view 2 actions\amendments associated with this company](#)

[Information Center](#) | [Election Center](#) | [Business Center](#) | [Licensing Center](#) | [Securities Center](#) | [Online](#)

101 N Carson Street Suite 3 Carson City, NV 89701 | (775) 684-5708
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BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: M18-04194-K-134908

DATE ISSUED: 11/29/07

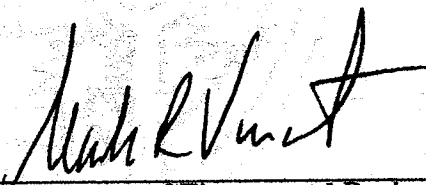
TYPE OF LICENSE: LAND USE CONSULTING

BUSINESS LOCATION: 1833 CRYSTAL CHIMES DR

ISSUE TO: CRYSTAL CANYON CONSULTING LLC

DBA:
CRYSTAL CANYON CONSULTING LLC
1833 CRYSTAL CHIMES DR
LAS VEGAS NV 89106

PRINCIPAL(S)
SKAAR, LENI, MGR 100%


Director, Department of Finance and Business Services

Failure to maintain any required state license renders this Business License invalid.

Post in a conspicuous place.



Inst #: 201010180003381

Fees: \$19.00 N/C Fee: \$25.00

RPTT: \$27157.50 Ex: #

10/18/2010 03:27:01 PM

Receipt #: 544682

Requestor:

FIDELITY NATIONAL TITLE LAS

Recorded By: ADF Pgs: 7

DEBBIE CONWAY

CLARK COUNTY RECORDER

APN: 162-06-411-004

Affix R.P.T.T. \$27,157.50

**WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:**

**SAHARA CROSSING, L.P., A NEVADA LIMITED
PARTNERSHIP**

**8375 W. FLAMINGO AVENUE, SUITE 200
LAS VEGAS, NV 89147**

ESCROW NO: FT100028010/ FC000061-118-TL

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Facchino Properties, Inc., a California corporation and Marie Hedges, a single woman, and Sal P. LaBarbera, as Successor Trustee of The Santina M. LaBarbera Revocable Trust, and Sal P. LaBarbera, a single man

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to

Sahara Crossing, L P , a Nevada limited partnership

all that real property (the "Property") situated in the County of Clark, State of Nevada, bounded and described as follows:

See Exhibit "A" attached hereto and incorporated herein by this reference for complete legal description of the property.

Subject to:

1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

APN: 162-06-411-004

Affix R.P.T.T. \$27,157.50

**WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:**

**SAHARA CROSSING, L.P., A NEVADA LIMITED
PARTNERSHIP
8375 W. FLAMINGO AVENUE, SUITE 200
LAS VEGAS, NV 89147**

ESCROW NO: FT100028010/ FC000061-118-TL

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Facchino Properties, Inc., a California corporation and Marie Hedges, a single woman, and Sal P. LaBarbera, as Successor Trustee of The Santina M. LaBarbera Revocable Trust, and Sal P. LaBarbera, a single man

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to

Sahara Crossing, L P , a Nevada limited partnership

all that real property (the "Property") situated in the County of Clark, State of Nevada, bounded and described as follows:

See Exhibit "A" attached hereto and incorporated herein by this reference for complete legal description of the property.

Subject to: 1. Taxes for the current fiscal year, paid current.
 2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness my/our hand(s) this 13th day of October, 2010.

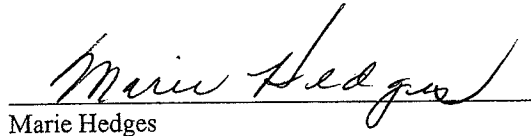
SELLERS:

Facchino Properties, Inc., a California corporation



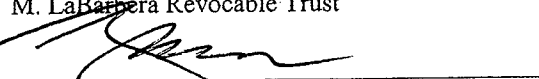
By: Robert B. Facchino II

Its:



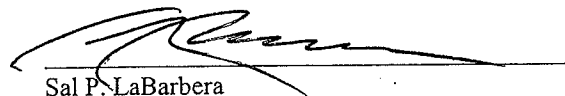
Marie Hedges

Sal P. LaBarbera, Successor Trustee of The Santina
M. LaBarbera Revocable Trust



By: Sal P. LaBarbera

Its: Successor Trustee

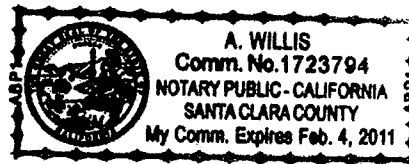


Sal P. LaBarbera

STATE OF Ca } ss:
COUNTY OF Santa Clara

On this 10/13/10
appeared before me, a Notary Public,
ROBERT B. FACCHINO, II as
of Facchino Properties, Inc., a California
corporation
personally known or proven to me to be the
person(s) whose name(s) is subscribed to
the above instrument, who acknowledged that
he/she/they executed the instrument for the
purposes therein contained.

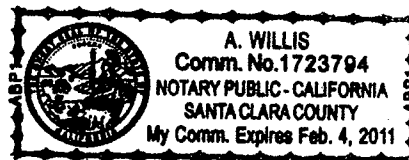
[Signature]
Notary Public
My commission expires: 2/4/11



STATE OF Ca } ss:
COUNTY OF Santa Clara

On this 10/14/10
appeared before me, a Notary Public,
Marie Hedges
personally known or proven to me to be the
person(s) whose name(s) is subscribed to
the above instrument, who acknowledged that
he/she/they executed the instrument for the
purposes therein contained.

[Signature]
Notary Public
My commission expires: 2/4/11



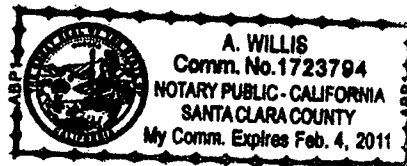
Escrow No. FT100028010/ FC000061 - 118 - TL
Grant, Bargain, Sale Deed....Continued

STATE OF Ca } ss:
COUNTY OF Santa Clara

On this 10/18/10
appeared before me, a Notary Public,
Sal P. LaBarbera, Individually
personally known or proven to me to be the
person(s) whose name(s) (is) are subscribed to
the above instrument, who acknowledged that
he/she/they executed the instrument for the
purposes therein contained.

A. Willis
Notary Public

My commission expires: 2/4/11



STATE OF Ca } ss:
COUNTY OF Santa Clara

On this 10/18/10
appeared before me, a Notary Public,
Sal P. LaBarbera, as Successor Trustee of The Santina M.
LaBarbera Revocable Trust
personally known or proven to me to be the
person(s) whose name(s) (is) are subscribed to
the above instrument, who acknowledged that
he/she/they executed the instrument for the
purposes therein contained.

A. Willis
Notary Public

My commission expires: 2/4/11

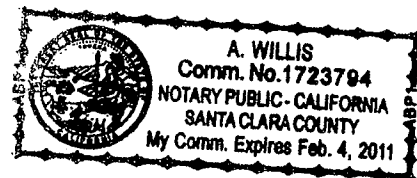


Exhibit "A"

PARCEL I:

Lot One (1) in Block One (1) of SAHARA MARKETPLACE, a Commercial Subdivision, as shown by map thereof on file in Book 73 of Plats, Page 82, in the Office of the County Recorder of Clark County, Nevada.

EXCEPTING THEREFROM the following portion of said land:

That portion of the Southeast Quarter (SE ¼) of the Southwest Quarter (SW ¼) of Section 6, Township 21 South, Range 61 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

COMMENCING at the South Quarter Corner (S ¼ Cor.) of said Section 6; Thence North 89°31'42" West along the South line of said Section 6, a distance of 670.03 feet; Thence North 00°28'18" East, a distance of 75.00 feet to a point on the Northerly right-of-way line of Sahara Avenue, said point being the Southeast Corner (SE Cor.) of "Sahara Marketplace", as shown by map thereof on file in Book 73 of Plats, Page 82, in the Office of the Clark County Recorder; Thence continuing North 00°28'18" East, a distance of 23.84 feet; Thence North 89°31'42" West, a distance of 6.00 feet to the Point of Beginning; Thence continuing North 89°31'42" West, a distance of 32.75 feet; Thence South 00°28'18" West, a distance of 10.67 feet; Thence North 89°31'42" West, a distance of 60.00 feet; Thence South 00°28'18" West, a distance of 10.00 feet; Thence North 89°31'42" West, a distance of 37.00 feet; Thence North 00°28'18" East, a distance of 115.33 feet; Thence South 89°31'42" East, a distance of 83.00 feet; Thence North 00°28'18" East, a distance of 6.67 feet; Thence South 89°31'42" East, a distance of 46.75 feet; Thence South 00°28'18" West, a distance of 101.33 feet to the Point of Beginning.

Said land also being described in that certain Record of Survey on file in File 82 of Surveys, Page 60, recorded May 29, 1996 in Book 960529 as Instrument No. 01118 of Official Records.

FURTHER EXCEPTING THEREFROM the following portion of said land:

Being a portion of Lot One (1) Block One (1) of that certain Commercial Subdivision known as "Sahara Marketplace", recorded on May 15, 1996 at the Office of the Clark County Recorder in Book 73 of Plats, Page 82, located in the Southwest Quarter (SW ¼) of Section 6, Township 21 South, Range 61 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

COMMENCING at the Southwest Corner (SW Cor.) of said Lot One (1), same being on the North right-of-way of Sahara Avenue; Thence South 89°31'42" East, along said North right-of-way, 6.45 feet; Thence North 00°28'18" East, departing said North right-of-way, 12.00 feet to the Point of Beginning; Thence North 00°28'18" East, 157.13 feet; Thence

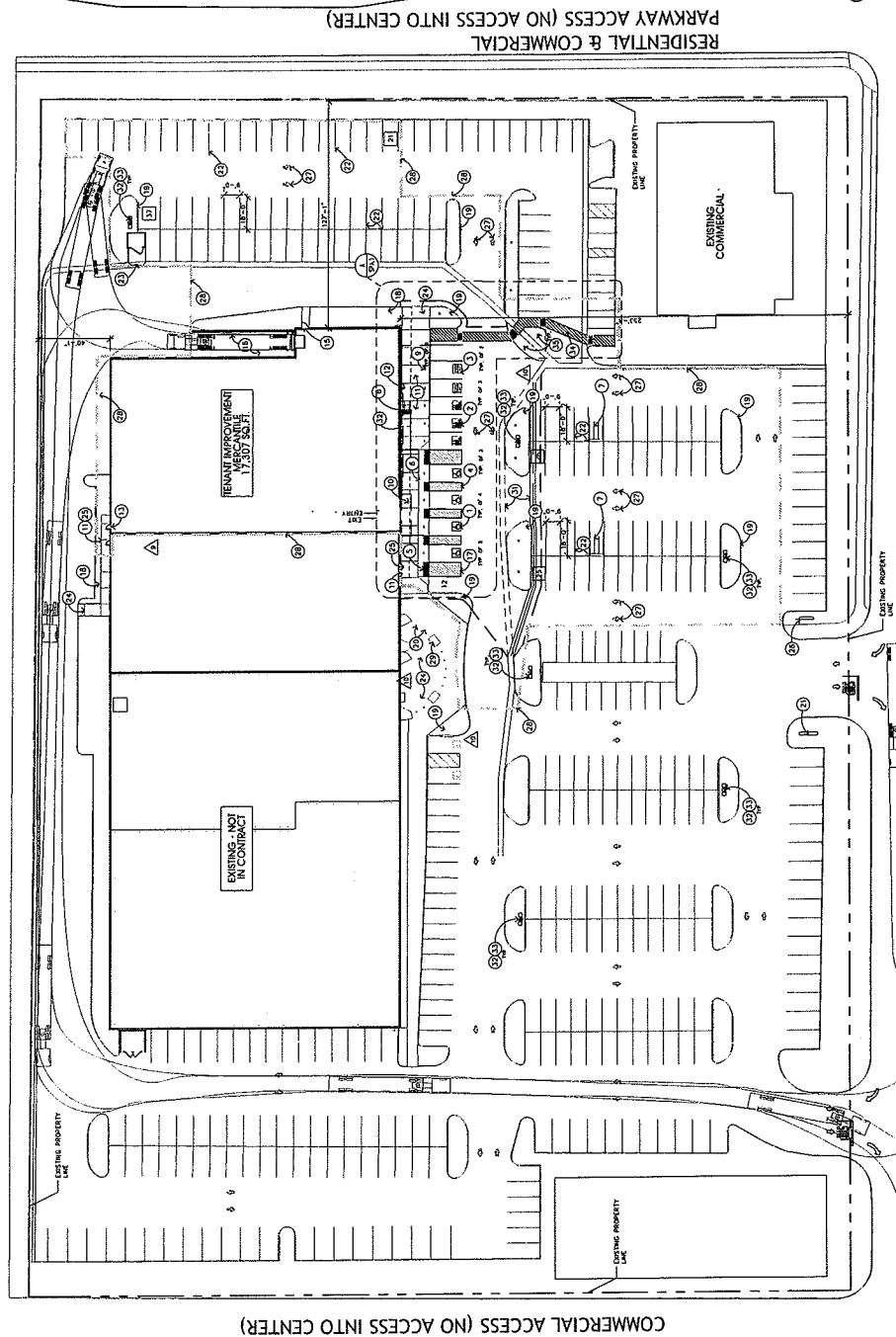
South 89°31'42" East, 18.67 feet; Thence South 00°28'18" West, 10.00 feet; Thence South 89° 31'42" East, 38.50 feet; Thence South 00°28'18" West, 147.13 feet; Thence North 89°31'42" West, 57.17 feet to the Point of Beginning.

Said land also being described in that certain Record of Survey on file in File 85 of Surveys, Page 61, recorded October 28, 1996 in Book 961028 as Instrument No. 00684 of Official Records.

PARCEL II:

Non-exclusive, perpetual, appurtenant easements for those purposes set forth in that certain Declaration of Covenants, Easements and Certain Rights, Privileges and Restrictions dated May 30, 1995 and recorded June 1, 1995 in Book 950601 as Instrument No. 01039 of Official Records, as amended by that certain First Amendment to Declaration of Covenants, Easements and Certain Rights, Privileges and Restrictions dated July 15, 1996 and recorded August 9, 1996 in Book 960809 as Document No. 00752 of Official Records.

RESIDENTIAL



COMMERCIAL

RESIDENTIAL & COMMERCIAL
PARKWAY ACCESS (NO ACCESS INTO CENTER)

WEST SAHARA AVE.

north

SITE PLAN

22

SPA

SHOPPING CENTER SITE PLAN

STORE # LV020091NE01

STORE # 1V070091NF01

LAS VEGAS, NV
SHOPPING CENTER

SPIN SITE

KEY NOTES:

- [illegible]

SITE DATA:

DATE	DESCRIPTION	AMOUNT	BALANCE
01/15/2008	PERMIT	100.00	100.00
03/15/2008	CLINT REV & DA	100.00	200.00
06/03/2008	PLAN COORDINATION	100.00	300.00
06/18/2008	ADDITIONAL CITY COMMENTS	100.00	400.00
06/01/2008	VALUE ENGINEERING REVISIONS	100.00	500.00
06/12/2008	SECOND REVISIONS	100.00	600.00
06/12/2008	THIRD REVISIONS	100.00	700.00
06/12/2008	FOURTH REVISIONS	100.00	800.00
06/12/2008	FIFTH REVISIONS	100.00	900.00
06/12/2008	SIXTH REVISIONS	100.00	1000.00
06/12/2008	SEVENTH REVISIONS	100.00	1100.00
06/12/2008	EIGHTH REVISIONS	100.00	1200.00
06/12/2008	NINTH REVISIONS	100.00	1300.00
06/12/2008	TENTH REVISIONS	100.00	1400.00
06/12/2008	ELEVENTH REVISIONS	100.00	1500.00
06/12/2008	TWELFTH REVISIONS	100.00	1600.00
06/12/2008	THIRTEENTH REVISIONS	100.00	1700.00
06/12/2008	FOURTEENTH REVISIONS	100.00	1800.00
06/12/2008	FIFTEENTH REVISIONS	100.00	1900.00
06/12/2008	SIXTEENTH REVISIONS	100.00	2000.00
06/12/2008	SEVENTEENTH REVISIONS	100.00	2100.00
06/12/2008	EIGHTEENTH REVISIONS	100.00	2200.00
06/12/2008	NINETEENTH REVISIONS	100.00	2300.00
06/12/2008	TWENTIETH REVISIONS	100.00	2400.00
06/12/2008	PERMIT	100.00	2500.00



STORE # 1V070091NF01

SAHARA and DECATUR
4580 W. SAHARA AVE.
LAS VEGAS, NV

**VEGAS, IN
SHOPPING CENTER**

SPIN SITE

SPA

SITE PLAN

22

SPA

SHOPPING CENTER

SITE PLAN

22

SPA

SHOPPING CENTER

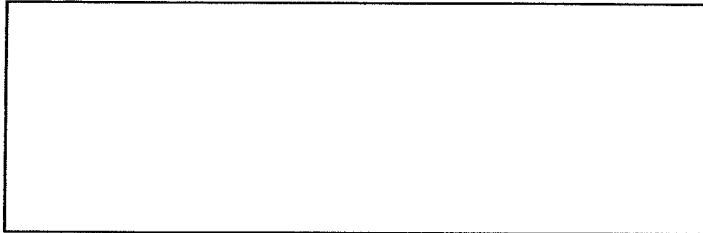
SITE PLAN

480 SOUTH BOULEVARD
SUITE 200
LAS VEGAS, NV 89102
TEL: 702-335-1200
FAX: 702-335-1202



RHL
RICHARD H. LAMSON
ARCHITECT
117 NORTH LAS VEGAS BLVD.
SUITE 200
LAS VEGAS, NV 89101
TEL: 702-335-1200
FAX: 702-335-1202

JOHN W. JOHNSON, ARCHITECT
1137 NORTH JACOBSON BLVD.
PETALUMA, CALIFORNIA 94954
P 707/763-1680
F 707/763-1688

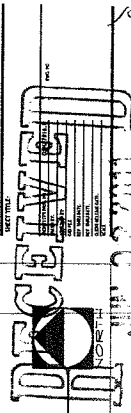


NO.	DATE	DESCRIPTION
1	10/1/00	ISSUED FOR PERMIT
2	10/1/00	REVISED
3	10/1/00	REVISED
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8	10/1/00	REVISED
9	10/1/00	REVISED
10	10/1/00	REVISED



LY020091NE01

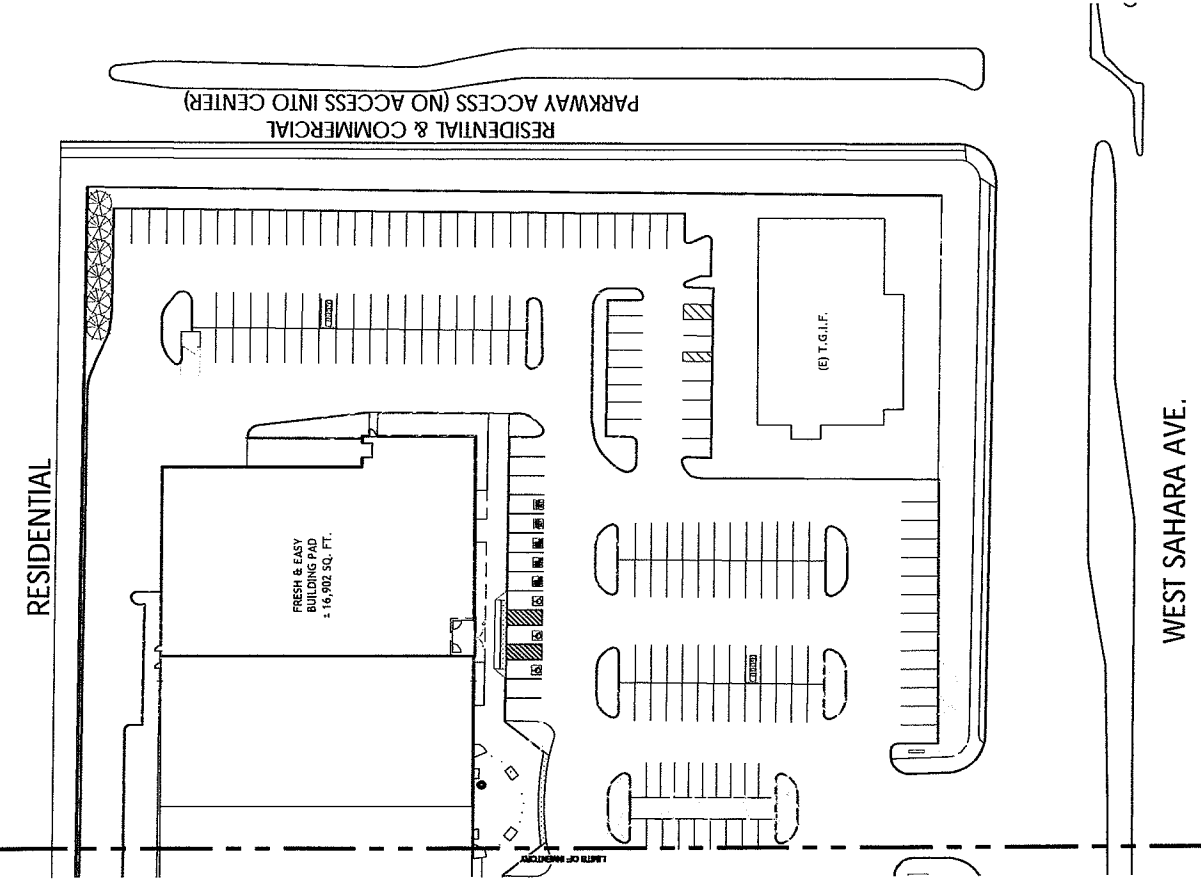
SAHARA and DECATUR
5055 W. SAHARA AVE.
LAS VEGAS, NV



Scanned

WZUNINO & ASSOCIATES
LAND PLANNING
201 South Loop West
Suite 200
Las Vegas, NV 89102
702-335-1200

PLANT SCHEDULE	
SYMBOL	BOTANICAL NAME
EXISTING TREES	
	EXISTING MEXICAN FAI PALM
	EXISTING MONDEL PINE
	EXISTING OLEANDER
	EXISTING GLOSSY PRIVET
	EXISTING WESTERN REDBUD
	EXISTING HAWTHORN
	EXISTING WASHINGTONIA ROBUSTA
	EXISTING PINUS ELDERICA
	EXISTING NERUM OLEANDER
	EXISTING LIGUSTRUM LUCIDUM
	EXISTING CERCIS OCCIDENTALIS
	EXISTING RAPHAELIS

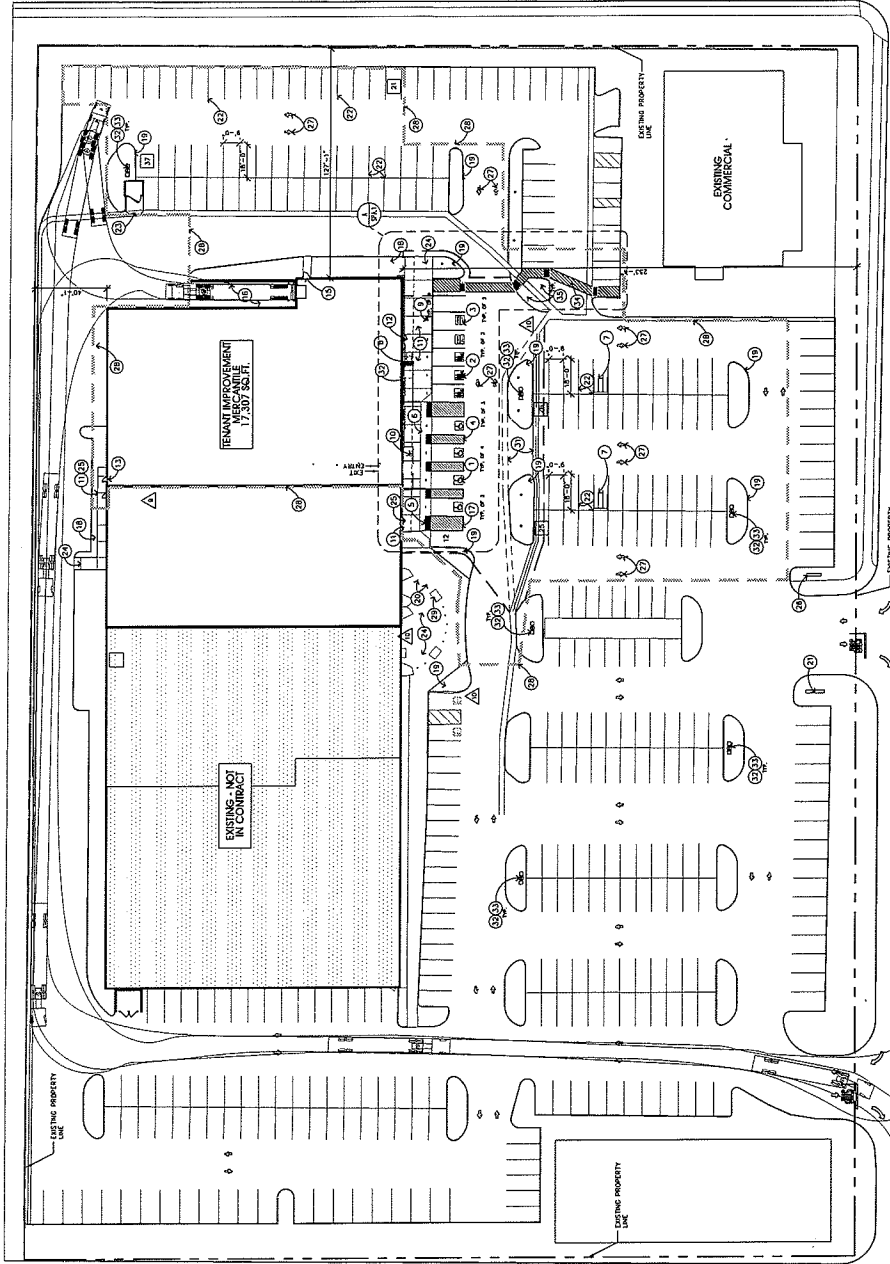


EXISTING TREE INVENTORY PLAN
SCALE: SCALE

EOT-42005

[illegible]

RESIDENTIAL



COMMERCIAL ACCESS (NO ACCESS INTO CENTER)

RESIDENTIAL & COMMERCIAL
PARKWAY ACCESS (NO ACCESS INTO CENTER)

COMMERCIAL

WEST SAHARA AVE.

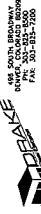
SITE PLAN
SCALE: 1" = 30'-0"

north



JUN 02 2011

EOT-42005



Stantec
Sustainable Infrastructure Inc.
1000 W. Sahara Ave., Suite 1000
Las Vegas, NV 89102-1000
Tel: 702.333.1000 Fax: 702.333.1001

KEY NOTES:

1. ALL EXISTING PAVING SHALL - SEE DETAIL R/10/1
2. NEW EXISTING PAVING SHALL - SEE DETAIL R/10/1
3. NEW EXISTING PAVING SHALL - SEE DETAIL R/10/1
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34. NEW EXISTING PAVING SHALL - SEE DETAIL R/10/1
35. NEW EXISTING PAVING SHALL - SEE DETAIL R/10/1

SITE DATA:

DATE	05/17/2008	PROJECT	SAHARA and DECATUR
CLIENT	SAHARA and DECATUR	CLIENT REV. & DATE	05/17/2008
DESIGNER	STANTEC	DESIGNER REV. & DATE	05/17/2008
REVIEWER	STANTEC	REVIEWER REV. & DATE	05/17/2008
APPROVER	STANTEC	APPROVER REV. & DATE	05/17/2008
DATE	05/17/2008	PROJECT	SAHARA and DECATUR
CLIENT	SAHARA and DECATUR	CLIENT REV. & DATE	05/17/2008
DESIGNER	STANTEC	DESIGNER REV. & DATE	05/17/2008
REVIEWER	STANTEC	REVIEWER REV. & DATE	05/17/2008
APPROVER	STANTEC	APPROVER REV. & DATE	05/17/2008



STORE # 11030301NE01

SAHARA and DECATUR
4580 W. SAHARA AVE.
LAS VEGAS, NV

SHOPPING CENTER
SITE PLAN

SCALE: 1" = 30'-0"

SPA

400 SOUTH BROADWAY
SUITE 200
LAS VEGAS, NV 89101
TEL: 702-455-1000
FAX: 702-455-1720



RHL GROUP INC.
DESIGN MANAGEMENT SERVICES
117 NORTH JARDIN BLVD.
PETALUMA, CALIFORNIA 94954
P 707/765-1660
F 707/765-1968

JOHN W. JOHNSON, ARCHITECT
1137 NORTH JARDIN BLVD.
PETALUMA, CALIFORNIA 94954
P 707/765-1660
F 707/765-1968

SAHARA and DECATUR
5055 W. SAHARA AVE.
LAS VEGAS, NV

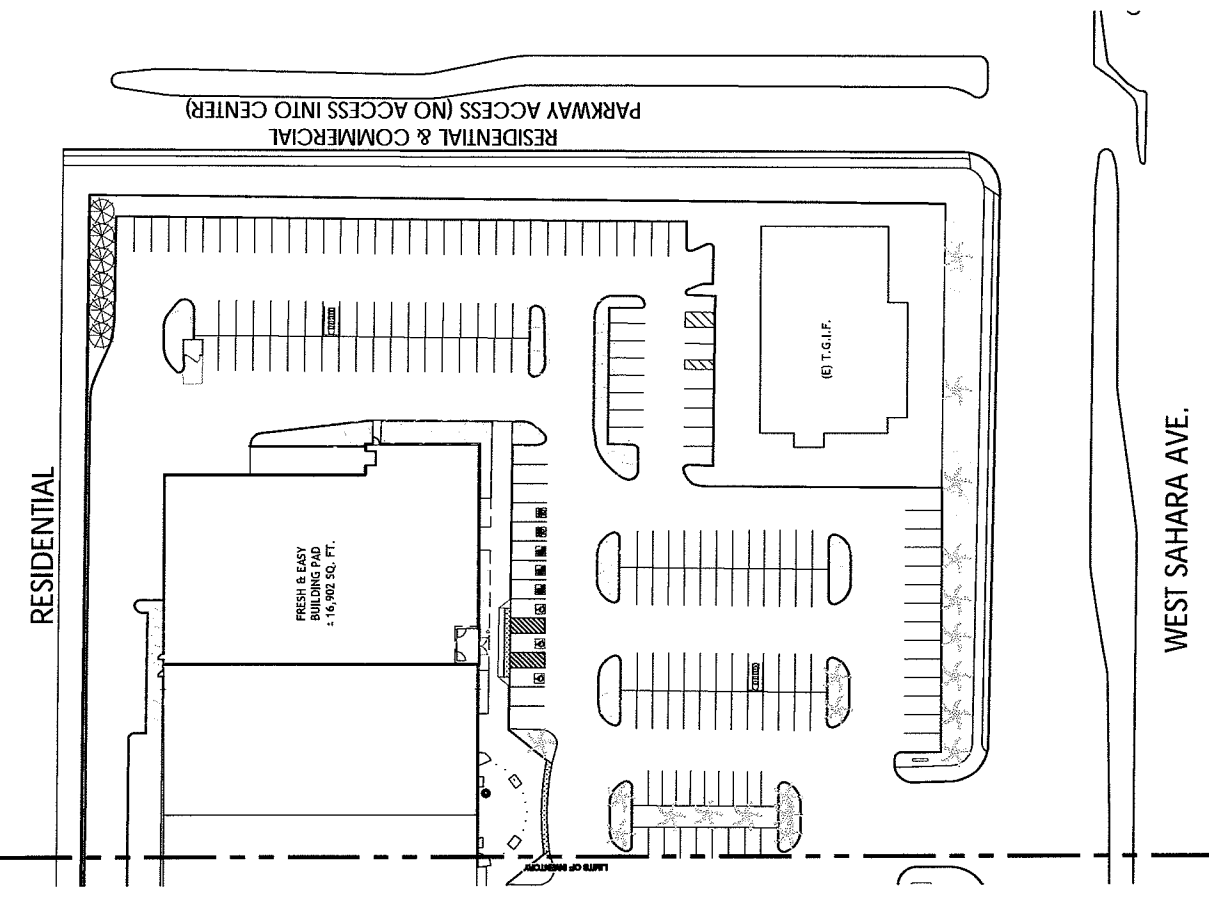
fresh & easy

LY020091NE01

WZUNINO & ASSOCIATES
LANDSCAPE ARCHITECTURE
2711 South Loop West
Suite 200
Houston, Texas 77058
Tel: 713/865-1234
Fax: 713/865-1235
www.wzunino.com

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME
★	EXISTING WASHINGTONIA ROBUSTA	EXISTING MEXICAN FAN PALM
○	EXISTING PINUS ELDARICA	EXISTING MONDEL PINE
●	EXISTING OLIVARIA OLEANDER	EXISTING OLEANDER
✱	EXISTING LIGUSTRUM LUCIDUM	EXISTING GLOSSY PRIVET
✱	EXISTING CERCIS OCCIDENTALIS	EXISTING WESTERN REDBUD
✱	EXISTING RAPHAELIS	EXISTING HAWTHORN



fresh & easy

LY020091NE01

SAHARA and DECATUR
5055 W. SAHARA AVE.
LAS VEGAS, NV

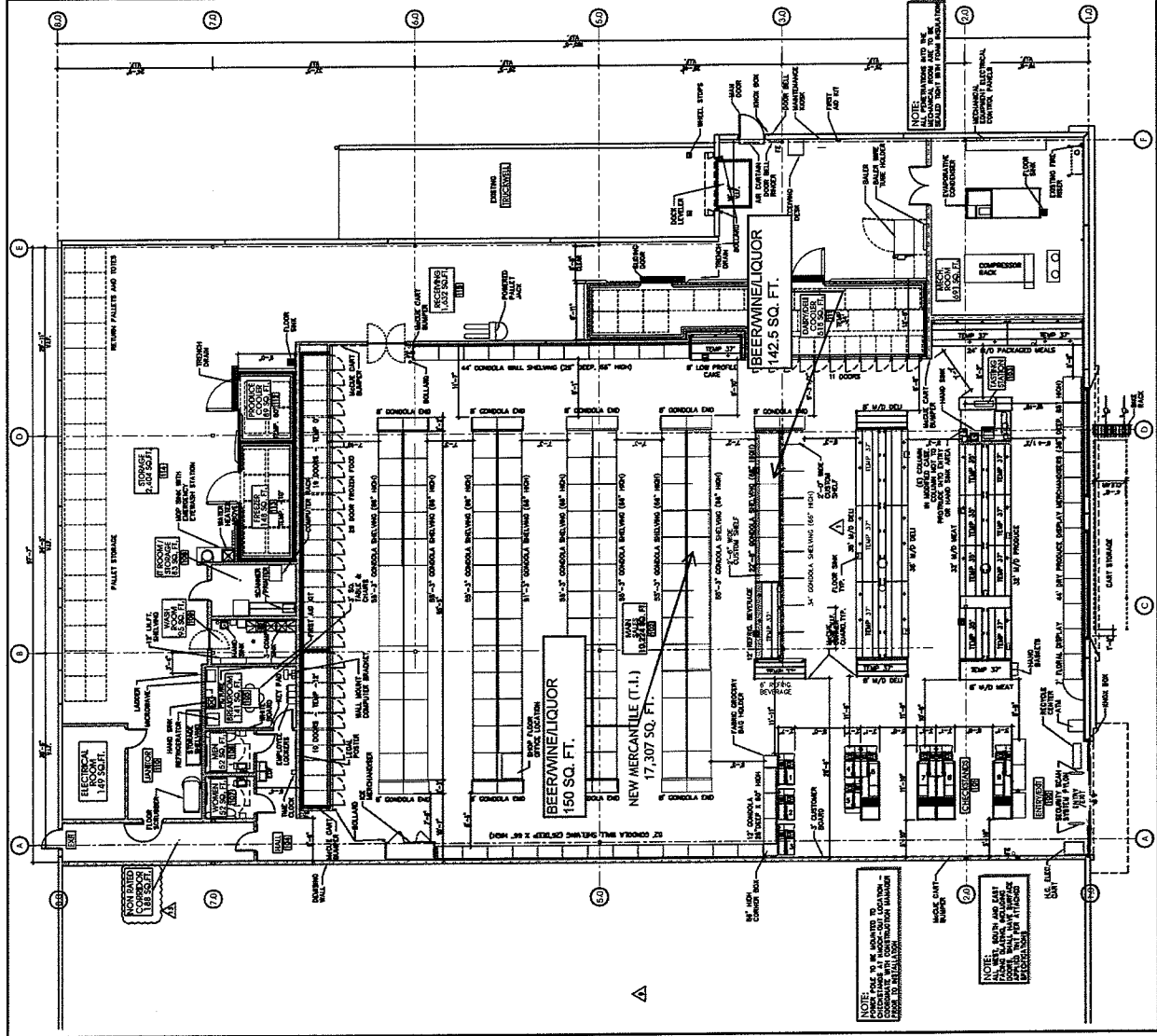
DATE: 11/10/2011

EXISTING TREE INVENTORY PLAN
SCALE: 1/8" = 1'-0"

EOT-42005

STORE LOCATION: 4580 W. SAHARA AVE., LAS VEGAS, NV 89101 PROJECT: SAHARA and DECATUR 4580 W. SAHARA AVE., LAS VEGAS, NV 89101	
DATE: 07/17/2008 DRAWN BY: J. B. B. & S. A. B. CHECKED BY: J. B. B. & S. A. B. 08/17/2008 08/17/2008 08/17/2008	STORE # 1000000001 SAHARA and DECATUR 4580 W. SAHARA AVE. LAS VEGAS, NV 89101
F1 02 2011	

FIXTURE PLAN SUMMARY			
ITEM	DESCRIPTION	QUANTITY	REMARKS
1	BEERWINE LIQUOR	150 SQ. FT.	
2	NEW MERCHANTILE (T.I.)	17,307 SQ. FT.	
3	BEERWINE LIQUOR	142.5 SQ. FT.	
4	BEERWINE LIQUOR	142.5 SQ. FT.	
5	BEERWINE LIQUOR	142.5 SQ. FT.	
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70	BEERWINE LIQUOR	142.5 SQ. FT.	
71	BEERWINE LIQUOR	142.5 SQ. FT.	
72	BEERWINE LIQUOR	142.5 SQ. FT.	
73	BEERWINE LIQUOR	142.5 SQ. FT.	
74	BEERWINE LIQUOR	142.5 SQ. FT.	
75	BEERWINE LIQUOR	142.5 SQ. FT.	
76	BEERWINE LIQUOR	142.5 SQ. FT.	
77	BEERWINE LIQUOR	142.5 SQ. FT.	
78	BEERWINE LIQUOR	142.5 SQ. FT.	
79	BEERWINE LIQUOR	142.5 SQ. FT.	
80	BEERWINE LIQUOR	142.5 SQ. FT.	
81	BEERWINE LIQUOR	142.5 SQ. FT.	
82	BEERWINE LIQUOR	142.5 SQ. FT.	
83	BEERWINE LIQUOR	142.5 SQ. FT.	
84	BEERWINE LIQUOR	142.5 SQ. FT.	
85	BEERWINE LIQUOR	142.5 SQ. FT.	
86	BEERWINE LIQUOR	142.5 SQ. FT.	
87	BEERWINE LIQUOR	142.5 SQ. FT.	
88	BEERWINE LIQUOR	142.5 SQ. FT.	
89	BEERWINE LIQUOR	142.5 SQ. FT.	
90	BEERWINE LIQUOR	142.5 SQ. FT.	
91	BEERWINE LIQUOR	142.5 SQ. FT.	
92	BEERWINE LIQUOR	142.5 SQ. FT.	
93	BEERWINE LIQUOR	142.5 SQ. FT.	
94	BEERWINE LIQUOR	142.5 SQ. FT.	
95	BEERWINE LIQUOR	142.5 SQ. FT.	
96	BEERWINE LIQUOR	142.5 SQ. FT.	
97	BEERWINE LIQUOR	142.5 SQ. FT.	
98	BEERWINE LIQUOR	142.5 SQ. FT.	
99	BEERWINE LIQUOR	142.5 SQ. FT.	
100	BEERWINE LIQUOR	142.5 SQ. FT.	



A. FIXTURE PLAN

EOT-42005

JUN 02 2011

