

APN: 162 07 512 010
SITE AREA: 0.58 ACRES (25,265 SF)
ZONING: C-1 (LIMITED COMMERCIAL DISTRICT)
SUBDIVISION: LAS VERDES HGTS 6 UNIT #5
LOT BLOCK: LOT:1 BLOCK:1

C-STORE AREA: 2,400 SF
FUEL CANOPY (UNDER SEPARATE PERMIT) : 3,674 SF
LOT COVERAGE: 25%

CONVENIENCE STORE: 1 SPACE PER 250 SF

CONVENIENCE STORE: 2,400 SF/250± 96 SPACES

TOTAL REQUIRED: 10 SPACES
TOTAL PROVIDED: 12 SPACES.

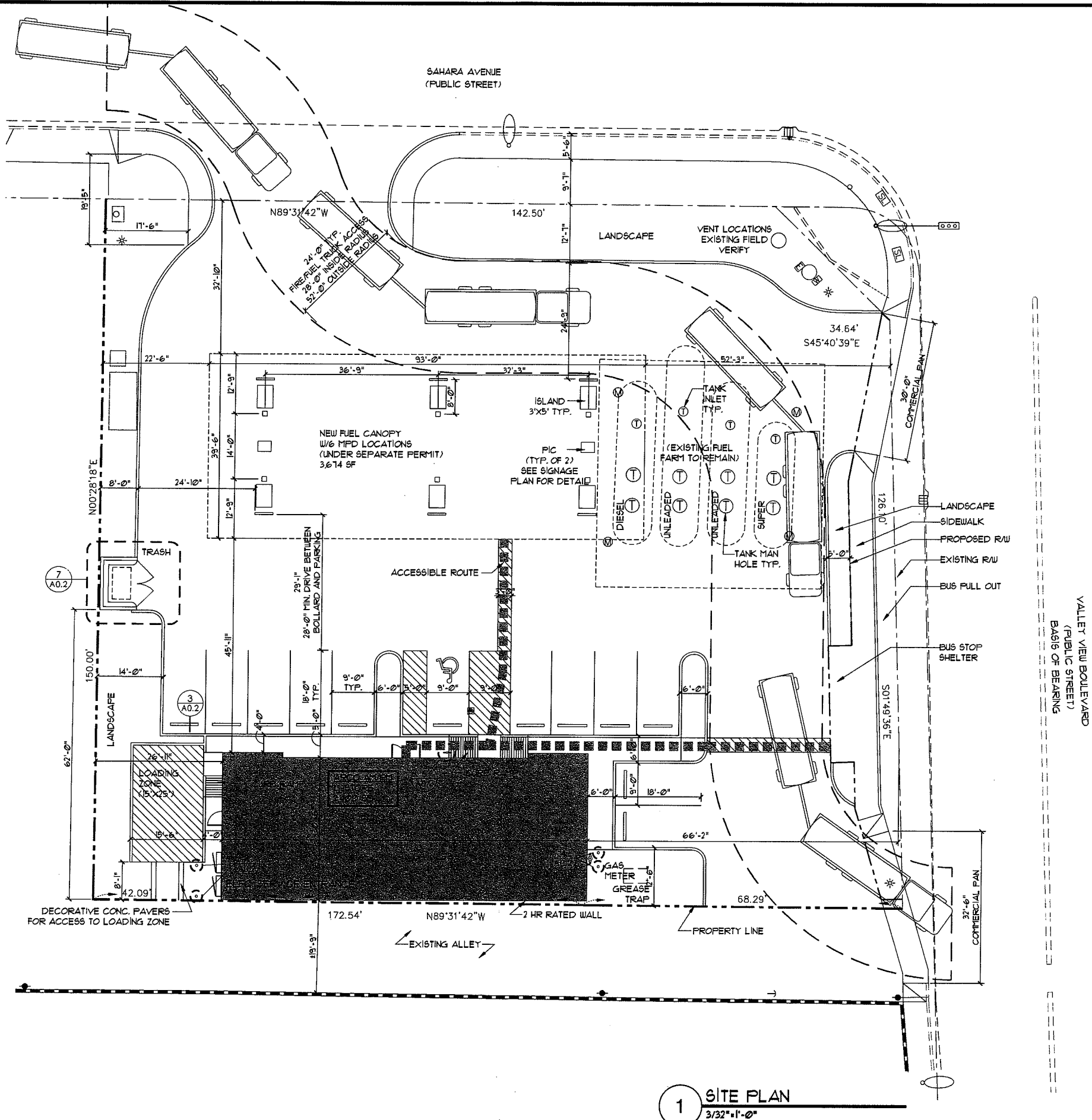
•11 REGULAR SPACES. 1 VAN ACCESSIBLE SPACE AS APPROVED

1. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES FORTY
-EIGHT HOURS PRIOR TO EXCAVATION.

2. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE ENGINEERED GRADING REQUIREMENTS OF THE 2006 INTERNATIONAL BUILDING CODE AS AMENDED BY THE SOUTHERN NEVADA AMENDMENTS.

3. ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 2% IN ALL DIRECTIONS.

4. ALL ACCESSIBLE ROUTES ARE TO BE STRIPED AND HAVE ALL SLOPES IN THE DIRECTION OF TRAVEL 5% MAXIMUM WITH CROSS SLOPES OF 2% MAXIMUM.



1 SITE PLAN
3/32"=1'-0"

gk³ Architecture
ARCHITECTURE • PLANNING • INTERIOR DESIGN

2111 EDGEWOOD AVENUE
LAS VEGAS, NEVADA 89102
Tel. (702) 932-0455 • Fax (702) 932-0456
Mobile (702) 250-9416

- kervin@gk3architecture.com
- garrie@gk3architecture.com

WWW.GK3ARCHITECTURE.COM

OWNERS:

WAGIH KAMAR
2901 N. RANCHO DR.
LAS VEGAS, NV
89130
TEL.:
(702) 533-3013



PROJECT:

**C-STORE
REBUILD
3701 WEST
SAHARA AVE
LAS VEGAS, NV
89102
APN: 162 07 512 010**

SEAL:

[illegible]

SHEET TITLE:

SITE PLAN

SCALE:

DATE: _____

ISSUED FOR:

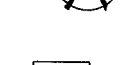
SHEET.

A0.1

GENERAL PLANTING NOTES:

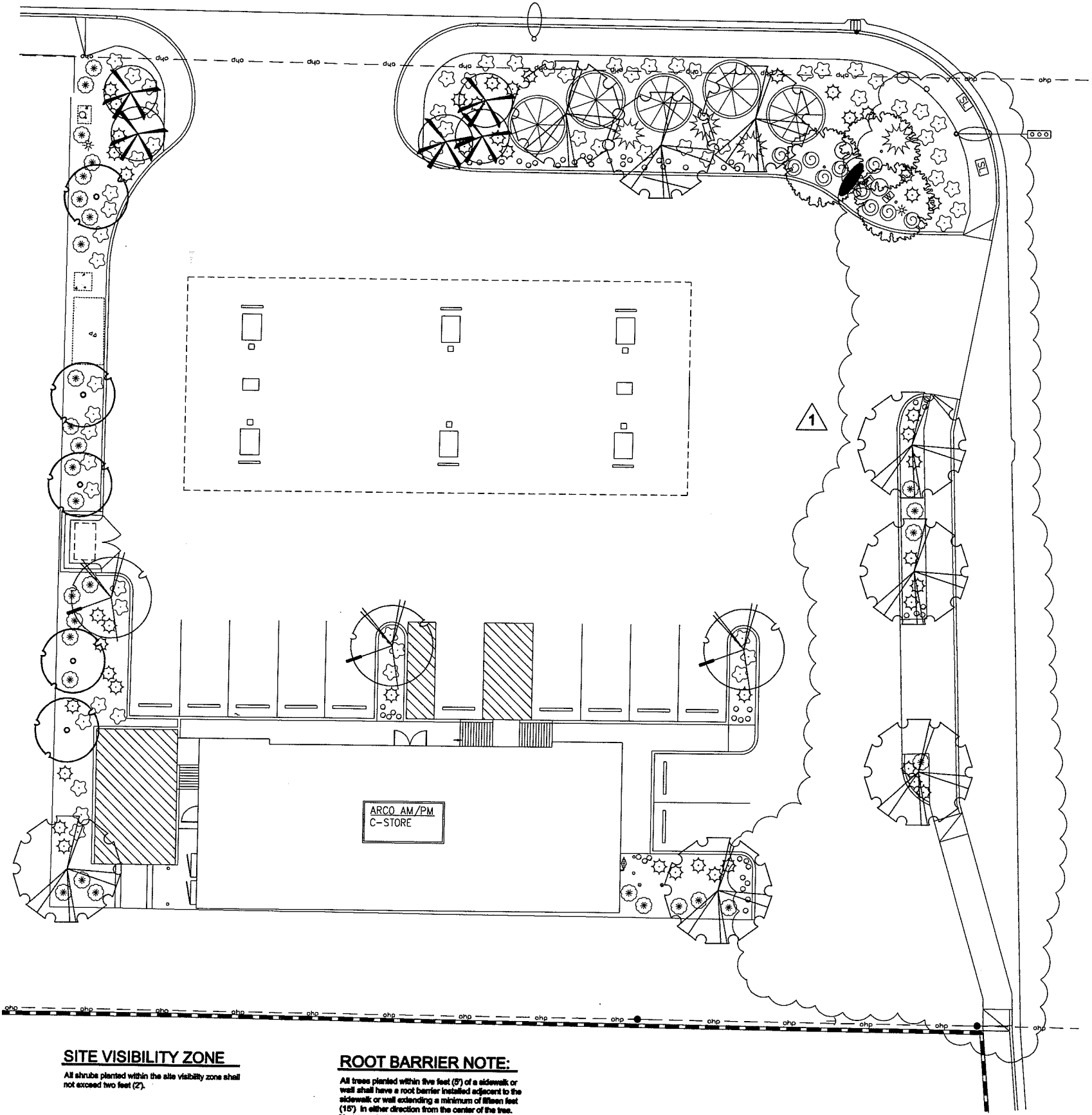
1. The contractor shall carefully study the drawings, and shall carefully examine the site, and shall be aware of all existing work and conditions that could possibly affect his work.
2. Contractor to verify all conditions and any discrepancy is to be reported to the Owner prior to work in that area.
3. Contractor shall verify the location of all underground utilities.
4. Contractor is responsible for all permits, coordination, scheduling, utility verification and damage to other trades and/or utilities.
5. The contractor shall comply with all laws, rules and regulations of all authorities having jurisdiction over the premises, the contractor shall obtain all necessary permits for this work.
6. Contractor shall be responsible for rough grades surrounding all structures, walks and site amenity areas. Landscape contractor shall provide finish grading in planting areas to insure positive drainage away from all structures.
7. Plant quantities on the plant schedule are for convenience of the contractor only. Verify counts.
8. All plant material shall conform to nursery standards according to American Association of Nurserymen, Inc. and shall be free from all pests, eggs, diseases, and shall be representative of species in size, quality, form, color and not root bound, damaged or substandard in any way.
9. 10% of each plant material species shall be tagged with botanical name from the nursery or supplier; tags shall remain on plant material until final acceptance.
10. Landscape contractor shall install decomposed granite in all planter areas. Prior to installation of decomposed granite, apply one application of pre-emergent herbicide (Surflan or Equal). After placement of decomposed granite, apply a second application of pre-emergent herbicide over decomposed granite. Apply pre-emergent herbicide following manufacturer's recommendation.
11. When caliche is encountered during planting pit excavation: If impervious layer is less than 6" thick, remove completely. If layer is 6"-18" thick, punch a hole through the layer. Place a 4" diameter PVC pipe chimney filled with 3/8" pea gravel through the caliche layer to the bottom of planting pit. If layer is greater than 18" enlarge the planting pit as indicated in the details.
12. Prior to commencement of maintenance period contractor shall submit a watering/maintenance schedule to the Landscape Architect for approval.

PLANTING SYMBOL LEGEND

SYMBOL	BOTANICAL/COMMON NAME	SYMBOL	BOTANICAL/COMMON NAME
	MULGA TREE		BLUE RANGER
	SHOESTRING ACACIA		CREEPING ACACIA
	DESERT MUSEUM PALO VERDE		SIERRA GOLD DALEA
	RIO SALADO DESERT WILLOW		NEW GOLD LANTANA
	MEXICAN FAN PALM		GERMANDER
	DECOMPOSED GRANITE IN ALL PLANTER AREAS, 2" DEEP		DESERT SPOON
			RED YUCCA
			ANGELITA DAISY

BOTANICAL NAME	COMMON NAME	QTY	SIZE (MINIMUM)	COND	DTL	REMARKS
TREES						
Acacia aneura	MULGA TREE	5	1 1/2" 7' 4'	24" BOX	2A-3	TREE STANDARD
Acacia stenophylla	SHOESTRING ACACIA	3	1 1/2" 8' 4'	24" BOX	2A-3	TREE STANDARD
Parthenociss x 'Desert Museum'	DESERT MUSEUM PALO VERDE	8	1 1/2" 8' 8'	24" BOX	1A-3	MULTI-TRUNKED
Chilopsis leishanensis 'Pink Dew'	RIO SALADO DESERT WILLOW	3	1" 8' 4'	24" BOX	1A-3	MULTI-TRUNKED
Washingtonia robusta	MEXICAN FAN PALM	5		BARE ROOT	1A-3	1-4' 3-10' 1-12'
SHRUBS						
Leucophyllum zygophyllum	BLUE RANGER	28	12" 12"	5 GAL.	3A-3	
Acacia redolens 'Desert Carpet'	CREEPING ACACIA	5	12" 12"	5 GAL.	3A-3	
Dalea capitata 'Sierra Gold'	SIERRA GOLD DALEA	10	8" 12"	1 GAL.	3A-3	
Lantana x 'New Gold'	NEW GOLD LANTANA	30	12" 12"	5 GAL.	3A-3	
Teucrium chamaedrys	GERMANDER	0	9" 9"	1 GAL.	3A-3	
Desfontainia wheeleri	DESERT SPOON	4	12" 12"	5 GAL.	3A-3	
Hesperaloe parviflora	RED YUCCA	35	12" 12"	5 GAL.	3A-3	
Hymenocallis aurea	ANGELITA DAISY	71	8" 8"	1 GAL.	3A-3	

PLANT SCHEDULE NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY, EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL PLANTS MUST HAVE NURSERY TAG SHOWING TRADEMARK.



SITE VISIBILITY ZONE

All shrubs planted within the site visibility zone shall not exceed two feet (2').

ROOT BARRIER NOTE:

All trees planted within five feet (5') of a sidewalk or wall shall have a root barrier installed adjacent to the sidewalk or wall extending a minimum of fifteen feet (15') in either direction from the center of the tree. No trees shall be planted within three feet (3') of the Right of Way (ROW).

PLANTING PLAN

SCALE 1" = 10'-0"



CLV# 42306

MMA Mariotti Landscape Architecture
P.O. Box 93562
Las Vegas Nevada 89193
Tel 702.269.7806 Fax 702.269.7538

M.F.E.I.N.C.
955 TEMPLE VIEW DR.
LAS VEGAS, NV 89110
TEL: (702) 375-7084
FAX: (702) 452-2058

PLANTING PLAN
CONVENCE STORE
SAHARA AVE AND VALLEY VIEW BLVD
LAS VEGAS, NEVADA 89102

REVISIONS	number	date	description
1	7/18/11		RYO BUS SHELTER

21125	project number
5/10/11	date
ETM	drawn
RDH	checked

Sheet Number
L-1



LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN

ELIZABETH N. FRETWELL
CITY MANAGER

September 8, 2011

Mr. Wagih Kamar
2020 Red Rock Street
Las Vegas, Nevada 89146

RE: EOT-42575 – EXTENSION OF TIME
CITY COUNCIL MEETING OF SEPTEMBER 7, 2011

Dear Mr. Kamar:

The City Council at a regular meeting held September 7, 2011, APPROVED the request for an Extension of Time of a previously approved Variance (VAR-34008) TO ALLOW A ZERO-FOOT SIDE YARD SETBACK WHERE 10 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A RESIDENTIAL ADJACENCY SETBACK OF 20 FEET WHERE 57 FEET IS REQUIRED on 0.58 acres at 3701 West Sahara Avenue (APN 162-07-512-010), C-1 (Limited Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on September 8, 2011. This approval is subject to:

Planning

1. This Variance (VAR-34008) shall expire on October 7, 2013 unless another extension of time is approved by the City Council.
2. Conformance to the conditions of approval of the Variance (VAR-34008) and all other site related actions as required by the Department of Planning and Department of Public Works.

Sincerely,

A handwritten signature in black ink, appearing to read "Lean Coleman".

Lean Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Ms. Gemie Knisely
GK3 Architecture
2111 Edgewood Avenue
Las Vegas, Nevada 89102

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov



ARCO at 3701 W. Sahara Avenue (SDR-34010)

Date: 08/31/11

Reviewer: Steve Gebeke, Planning Supervisor

Reason for Revision: Provision of a bus turnout and shelter on Valley View Boulevard

Additional Info:

The site plan is revised to depict a bus turnout and shelter on Valley View Blvd., south of Sahara Avenue. The single driveway shown in the plans originally approved will be replaced with two driveways on either side of the shelter area. Landscaping is revised along Valley View only to create two planter areas north and south of the shelter, with trees and shrubs per Title 19.08.

Staff is administratively approving this revision as the addition of the bus turnout and shelter is need at this location, and the impact to the site is minimal. Landscaping will be provided to comply with Title 19.08 where possible. The reduction in landscape buffer width along Valley View is approved as consistent with Title 19.14.090 Nonconformity Resulting from City Action.

Conditions:

1. Conformance to the site plan and landscape plan date stamped 08/30/11.



August 25, 2011

Mr. Wagih Kamar
2020 Red Rock Street
Las Vegas, Nevada 89146

**RE: EOT-42575 - EXTENSION OF TIME RELATED TO EOT-42573
AND EOT-42574 - VARIANCE
CITY COUNCIL MEETING OF SEPTEMBER 7, 2011**

Dear Mr. Kamar:

Please be advised the City Council at its regular meeting on **September 7, 2011** as referred to above, will consider your request. This meeting will be held at 1:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Thursday, September 1, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The City Council requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Flinn Fagg".

Flinn Fagg, AICP
Director
Department of Planning

FF:clb

cc: Ms. Gemie Knisely
GK3 Architecture
2111 Edgewood Avenue
Las Vegas, Nevada 89102

LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
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ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov



Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BJA*
CC: Nancy Almanzan, Right-of-Way; Dennis Moyer, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: July 21, 2011
Re: **EOT-42575** Wagih W. Kamar 3701 W. Sahara Ave.
Request for an Extension of Time of a Previously approved Variance (VAR-34008)

COMMENTS:

We have no comment on the Request for an Extension of Time of a previously approved Variance (VAR-34008) to allow a zero-foot side yard setback where 10 feet is the minimum required and to allow a Residential Adjacency setback of 20 feet where 57 feet is required at 3701 West Sahara Avenue.

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

EOT-42575 - EXTENSION OF TIME - VARIANCE - APPLICANT/OWNER: WAGIH W. KAMAR - For possible action on a request for an Extension of Time of a previously approved Variance (VAR-34008) TO ALLOW A ZERO-FOOT SIDE YARD SETBACK WHERE 10 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A RESIDENTIAL ADJACENCY SETBACK OF 20 FEET WHERE 57 FEET IS REQUIRED on 0.58 acres at 3701 West Sahara Avenue (APN 162-07-512-010), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

CITY COUNCIL: SEPTEMBER 7, 2011

CASE PLANNER: DEBBIE SULLIVAN



PUBLIC HEARING

Comments Due: AUGUST 10, 2011

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

EOT Application

Report Date 07/20/2011 08:09 AM

Submitted By

Page 1

A/P # 42575 EXTENSION OF TIME

Application Information

Stages

	<u>Date / Time</u>	<u>By</u>		<u>Date / Time</u>	<u>By</u>
<u>Processed</u>	07/19/2011 15:54	983510	<u>Temp COO</u>		
<u>Approved</u>			<u>COO Issued</u>		
<u>Final</u>			<u>Expires</u>		

Associated Information

<u>Type of Work</u>	<u># Plans</u>	0
<u>Dept of Commerce</u>	<u># Plans</u>	0
<u>Priority</u>	☒ <u>Auto Reviews</u>	<u>Bill Group</u>

Valuation

<u>Declared Valuation</u>	0.00
<u>Calculated Valuation</u>	0.00
<u>Actual Valuation</u>	0.00

Description of Work

EOT-42575 - EXTENSION OF TIME - VARIANCE - APPLICANT/OWNER: WAGIH W. KAMAR - For possible action on a request for an Extension of Time of a previously approved Variance (VAR-34008) TO ALLOW A ZERO-FOOT SIDE YARD SETBACK WHERE 10 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A RESIDENTIAL ADJACENCY SETBACK OF 20 FEET WHERE 57 FEET IS REQUIRED on 0.58 acres at 3701 West Sahara Avenue (APN 162-07-512-010), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

<u>Parent A/P #</u>	34008	<u>Project/Phase Name</u>	ARCO AM/PM	<u>Phase #</u>	
<u>Project #</u>	42575	<u>Size Description</u>		<u>Subdivision Code</u>	
<u>Size/Area</u>	0.58 ACRE	<u>Proposed Start</u>		<u>% Completed</u>	0.00
<u>Proposed Stop</u>					
<u>% Complete Formula</u>					

Property/Site Information

Parcel 16207512010Location

Owner/Tenant

<u>Contact ID</u>	AC1801599	<u>Name</u>	MR K S L V L L C	<u>Organization</u>	
<u>Mailing Address</u>	1625 S DECATUR BLVD			<u>State/Province</u>	NV
<u>City</u>	LAS VEGAS			<u>Country</u>	☐ Foreign
<u>ZIP/PC</u>	89102-8514			<u>Evening Phone</u>	
<u>Day Phone</u>				<u>Mobile #</u>	
<u>Fax</u>					

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

3701 W SAHARA AVE
LAS VEGAS, 89102-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

16207512010

Report Date 07/20/2011 08:09 AM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1801599 ☐ Foreign
Effective Expire
Name MR K S L V L L C
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 1625 S DECATUR BLVD
LAS VEGAS, NV 89102-8514
Seasonal Addr

Valid From To
Comments No Comments
CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Primary Y Capacity OTHER Other REP Contact ID AC1602094 ☐ Foreign
Effective Expire
Name GK3 ARCHITECTURE
Day Phone (702)932-0455 x Eve Phone Organization
Pager PIN # Position
Fax (702)932-0456 Mobile Profession
E-Mail
Address 2111 EDGEWOOD AVE
LAS VEGAS, NV 89102
Seasonal Addr

Valid From To
Comments Gemie Knisely

Report Date 07/20/2011 08:09 AM

Submitted By

Page 3

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Contractors

No Contractors

Project # A/P Type Status Stage Relation

No children exist for this project

Planning Condition Description Effective Expire Comments

There is no planning condition for this project.

EXTENSION OF TIME

Y Will this go to the City Council?

Y Will this go DIRECTLY to City Council?

Hearing Type

Public, Non-Public or Admin? NON-PUBLIC

Parent Application Type VAR

Parent Project # 34008

Staff Recommendation

Entitlement Exercised?

Meeting Information

Meeting Grid
Meeting Date
Comments
Added By

Meeting Type
Add Date

Meeting Status
Modified by

Modified Date

YES Votes

NO Votes

ABSTENTIONS

09/07/2011 CC SCHEDULED

0

0

0

BSTICKA 07/19/2011

Report Date 07/20/2011 08:09 AM

Submitted By

Page 4

Meeting Grid	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Meeting Date	Add Date	Modified by	Modified Date		
Comments					
Added By					

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee				
Employee ID	Last	First	Mi	Comments
984478	SULLIVAN	DEBORAH	J	Planning x6895

Log	Description	Entered By	Start	Stop	Hours
Action	Comments				

PAYMNT	CO NAME WHO PICKED UP CONTACT#	890381	07/19/2011 16:13		0.00
	GEMIE KNISELY; GK3 ARCHITECTURE; MC CC; 702-932-0445;				



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: EDT FOR VAR-34008
 Project Address (Location) 3701 W SAHARA AVE
 Project Name ARCO Am/pm Proposed Use C-Store
 Assessor's Parcel #(s) 162-07-512-010 Ward #
 General Plan: existing proposed Zoning: existing C-1 proposed C-1
 Commercial Square Footage 2400 Floor Area Ratio 25%
 Gross Acres 0.58 Lots/Units 1 Density
 Additional Information 2400 SF C-Store w/6 pump gas canopy

PROPERTY OWNER WAGIH W KAMAR Contact Wagih KAMAR
 Address 2020 Red Rock St Phone: 702 5333813 Fax: 702 848 5109
 City LAS Vegas 89146 State NEVADA Zip 89146
 E-mail Address WAGIH55@GMAIL.COM

APPLICANT owner Contact
 Address Phone: Fax:
 City State Zip
 E-mail Address

REPRESENTATIVE GK3 Architecture Contact Gemie Knisely
 Address 2111 Edgewood Phone: 932 0455 Fax: 932 0456
 City LV State NV Zip 89102
 E-mail Address gemie@gk3architecture.com

RECEIVED

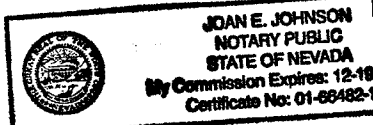
FOR DEPARTMENT USE ONLY

Property Owner Signature* [Signature] JUL 19 2011
 Print Name WAGIH KAMAR City of Las Vegas

Subscribed and sworn before me
 This 18th day of July, 20 11

Notary Public in and for said County and State

Case #	<u>EDT-42575</u>
Meeting Date:	<u>9/7/11</u>
Total Fee:	<u>\$300</u>
Date Received:*	<u>7/19/11</u>
Received By:	<u>[Signature]</u>



*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.





DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **EOT-42575** APN: 162 07512 010

Name of Property Owner: Wagih Kamar

Name of Applicant: Owner

Name of Representative: Gemie Knisely

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

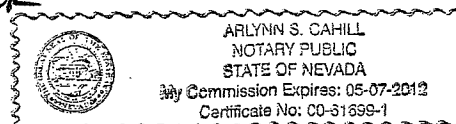
Signature of Property Owner: Wagih Kamar

Print Name: Wagih Kamar

Subscribed and sworn before me

State of Nevada County of Clark
This 14 day of July, 2011

My S. Cas
Notary Public in and for said County and State



RECEIVED

JUL 19 2011

City of Las Vegas



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL,
CITY MANAGER



October 12, 2009

Mr. Thanh Pham
Pham Capital, LLC
3701 West Sahara Avenue
Las Vegas, Nevada 89102

RE: VAR-34008 - VARIANCE
CITY COUNCIL MEETING OF OCTOBER 7, 2009
SUP-34006 AND SDR-34010

Dear Mr. Pham:

The City Council at a regular meeting held October 7, 2009, APPROVED the request for a Variance TO ALLOW A ZERO-FOOT SIDE YARD SETBACK WHERE 10 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A RESIDENTIAL ADJACENCY SETBACK OF 20 FEET WHERE 57 FEET IS REQUIRED on 0.58 acres at the southwest corner of Sahara Avenue and Valley View Boulevard (APN 162-07-512-010), C-1 (Limited Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on October 8, 2009. This approval is subject to:

Planning and Development

1. Approval of and conformance to the conditions for Special Use Permit (SUP-34006) and Site Development Plan Review (SDR-34010), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

Sincerely,

Gabriela Portillo-Brenner
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. James R. Adams
American West Petroleum
8681 W. Sahara Avenue, Ste. #280
Las Vegas, Nevada 89117

Mr. Ken Ballard
Suzana Rutar Architect
1950 E. Warm Springs Road
Las Vegas, Nevada 89119

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JUL 19 2011

EOT-42575

City of Las Vegas

Printed with environmentally friendly soy ink.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

2111 Edgewood Ave. • Las Vegas, NV 89102
Phone: 702 932 0455 Fax: 702 932 0456



ARCHITECTURE • PLANNING • INTERIOR DESIGN

July 19, 2011

City of Las Vegas
Planning & Development Department
731 S. Fourth Street
Las Vegas, NV 89101

Justification Statement for 3701 West Sahara

Ladies and Gentlemen:

GK³ Architecture, on behalf of Mr. K, S LV LLC is requesting the review and approval of an extension of time for: SDR-34010, SUP-34006 and VAR-34008 for the rebuild of the South West corner of Sahara Ave. and Valley View Blvd. The site design includes a 6 pump Gas Station with a 2,400 SF convenience store. The existing auto maintenance building and canopy will be removed and new structures will be built. The site design is consistent with originally approved plans. The building entrance, site parking and fuel canopy face Sahara Ave. The site layout utilizes the building to buffer the traffic from the single family residential to the South. The project meets City of Las Vegas parking and landscape requirements.

The building permit application was submitted 06-27-2011, the permit application numbers are: 190713 and 190714. Since obtaining original approval 10-27-2009, the current owner has completed the purchase the property, obtained Arco Am/Pm franchise approval and has had the construction documents completed. The project is scheduled to begin construction with-in 6 months time and be fully improved with-in 1 year. This site plan conforms with the development pattern in the surrounding area and is an appropriate use for this corner site. The benefits for the project are to support the goals of the City of Las Vegas by creating a stable, identifiable and functional commercial district. The uses are supportive and compatible with the neighboring land uses and this will be an asset to the area.

The approval of the proposed design would not constitute a grant of any special privilege. The building would not allow a use or activity which is not permitted without a special use permit in the C-1 Zone, and would pose no adverse effect to public health, safety, or welfare.

Thank you for your consideration of these matters.

Sincerely,

A handwritten signature in cursive script that reads 'Gemie M. Knisely'.

Gemie M. Knisely, RA

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JUL 19 2011

City of Las Vegas

gk³

ARCHITECTURE • PLANNING • INTERIOR DESIGN

USA 3856 Badgerbrook St., Las Vegas, NV 89129 Tel. 702.932-0455 Fax 702.932.0456

EMAIL kevin@gk3architecture.com • gemie@gk3architecture

EOT-42575

MR. K, S LV LLC**Business Entity Information**

Status:	Active	File Date:	9/11/2009
Type:	Domestic Limited-Liability Company	Entity Number:	E0490212009-0
Qualifying State:	NV	List of Officers Due:	9/30/2011
Managed By:	Managing Members	Expiration Date:	
NV Business ID:	NV20091042453	Business License Exp:	9/30/2011

Registered Agent Information

Name:	CRISTY LYNN KAMAR	Address 1:	1625 S. DECATUR BLVD.
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89102
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Noncommercial Registered Agent		

Financial Information

No Par Share Count:	0	Capital Amount:	\$ 0
No stock records found for this company			

Officers☐ Include Inactive Officers

Managing Member - WAGIH W KAMAR			
Address 1:	1625 S. DECATUR BL	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89102	Country:	
Status:	Active	Email:	

Actions\Amendments

Action Type:	Articles of Organization		
Document Number:	20090676847-49	# of Pages:	1
File Date:	9/11/2009	Effective Date:	
(No notes for this action)			
Action Type:	Initial List		
Document Number:	20100409158-80	# of Pages:	1
File Date:	6/07/2010	Effective Date:	
(No notes for this action)			
Action Type:	Amended List		
Document Number:	20100422878-74	# of Pages:	1
File Date:	6/11/2010	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20100840686-15	# of Pages:	1
File Date:	11/08/2010	Effective Date:	
(No notes for this action)			

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City of Las Vegas

A.P.N.: 162-07-512-010
File No: NCS-410549-HHLV (mf)
R.P.T.T.: \$6,267.90 C

Inst #: 201006290000595
Fees: \$15.00 N/C Fee: \$0.00
RPTT: \$6267.90 Ex: #
06/29/2010 08:12:13 AM
Receipt #: 405997
Requestor:
FIRST AMERICAN TITLE HOWARD
Recorded By: GWC Pgs: 3
DEBBIE CONWAY
CLARK COUNTY RECORDER

When Recorded Mail To: Mail Tax Statements To:
Mr. K, S LV, LLC
1625 S. Decatur Blvd
Las Vegas, NV 89102

GRANT, BARGAIN and SALE DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Pham Capital LLC, a Nevada limited liability company

do(es) hereby *GRANT, BARGAIN and SELL* to

Mr. K, S LV, LLC, a Nevada limited liability company

the real property situate in the County of Clark, State of Nevada, described as follows:

LOTS ONE (1), TWO (2), AND THE EASTERLY 42.09 FEET OF THREE (3) IN BLOCK ONE (1) OF LAS VERDES HEIGHTS 6, UNIT NO. 5, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 8 OF PLATS, PAGE 88, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.

TOGETHER WITH THAT PORTION OF THE FRONTAGE ROAD LYING EAST OF THE NORTHERLY EXTENSION OF THE WEST LINE OF THE EASTERLY 42.09 FEET OF SAID LOT THREE (3) AND BEING NORTH OF AND ADJOINING THE NORTH LINE OF SAID LOTS ONE (1), TWO (2) AND THREE (3) AS SAID ROAD WAS VACATED BY THAT CERTAIN ORDER OF VACATION RECORDED SEPTEMBER 1, 1964 IN BOOK 566 AS DOCUMENT NO. 455978, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF LAS VEGAS FOR ROAD AND HIGHWAY PURPOSES, AS CONVEYED BY DEED RECORDED MARCH 27, 1969 IN BOOK 939 AS DOCUMENT NO. 753740, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

FURTHER EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF LAS VEGAS FOR ROAD PURPOSES, AS CONVEYED BY DEED RECORDED JULY 19, 1996 IN BOOK 960719 AS DOCUMENT NO. 01784, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

Subject to

1. All general and special taxes for the current fiscal year.

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City of Las Vegas

2. Covenants, Conditions, Restrictions, Reservations, Rights, Rights of Way and Easements now of record.

TOGETHER with all tenements, hereditaments and appurtenances, including easements and water rights, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof.

Date: 06/07/2010

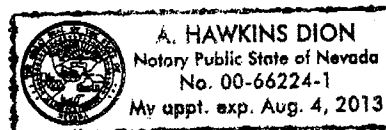
Pham Capital LLC, a Nevada limited liability company

By: Thanh T. Pham
Its: Managing Member

STATE OF **NEVADA**)
) : ss.
COUNTY OF **CLARK**)

This instrument was acknowledged before me on June 25, 2010 by Thanh T. Pham, manager of Pham Capital LLC, a Nevada limited liability company.

A. Hawkins Dion
Notary Public
(My commission expires: Aug 4, 2013)



A. Hawkins Dion
No. 00-66224-1

This Notary Acknowledgement is attached to that certain Grant, Bargain Sale Deed dated **June 07, 2010** under Escrow No. **NCS-410549-HHLV**.

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**STATE OF NEVADA
DECLARATION OF VALUE**

1. Assessor Parcel Number(s)

- a) 162-07-512-010
b) _____
c) _____
d) _____

2. Type of Property

- a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☐ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
i) ☒ Other Service Station

FOR RECORDERS OPTIONAL USE

Book _____ Page: _____
Date of Recording: _____
Notes: _____

3. a) Total Value/Sales Price of Property: \$1,229,000.00
b) Deed in Lieu of Foreclosure Only (value of) (\$)
c) Transfer Tax Value: \$1,229,000.00
d) Real Property Transfer Tax Due \$6,267.90

4. **If Exemption Claimed:**

- a. Transfer Tax Exemption, per 375.090, Section: _____
b. Explain reason for exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: [Signature]
Signature: [Signature]

Capacity: Grantee
Capacity: Grantor

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: Pham Capital LLC
Address: 71 Ocean Harbour Lane
City: Las Vegas
State: NV Zip: 89148

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: Mr. K, S LV, LLC
Address: 1625 S. Decatur Blvd
City: Las Vegas
State: NV Zip: 89102

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

First American Title Insurance
Company National Commercial

Print Name: Services
Address: 2490 Paseo Verde Parkway, #100
City: Henderson

File Number: NCS-410549-HHLV mf/mf
State: NV Zip: 89074

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

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JUL 19 2011

City of Las Vegas

SITE INFORMATION:

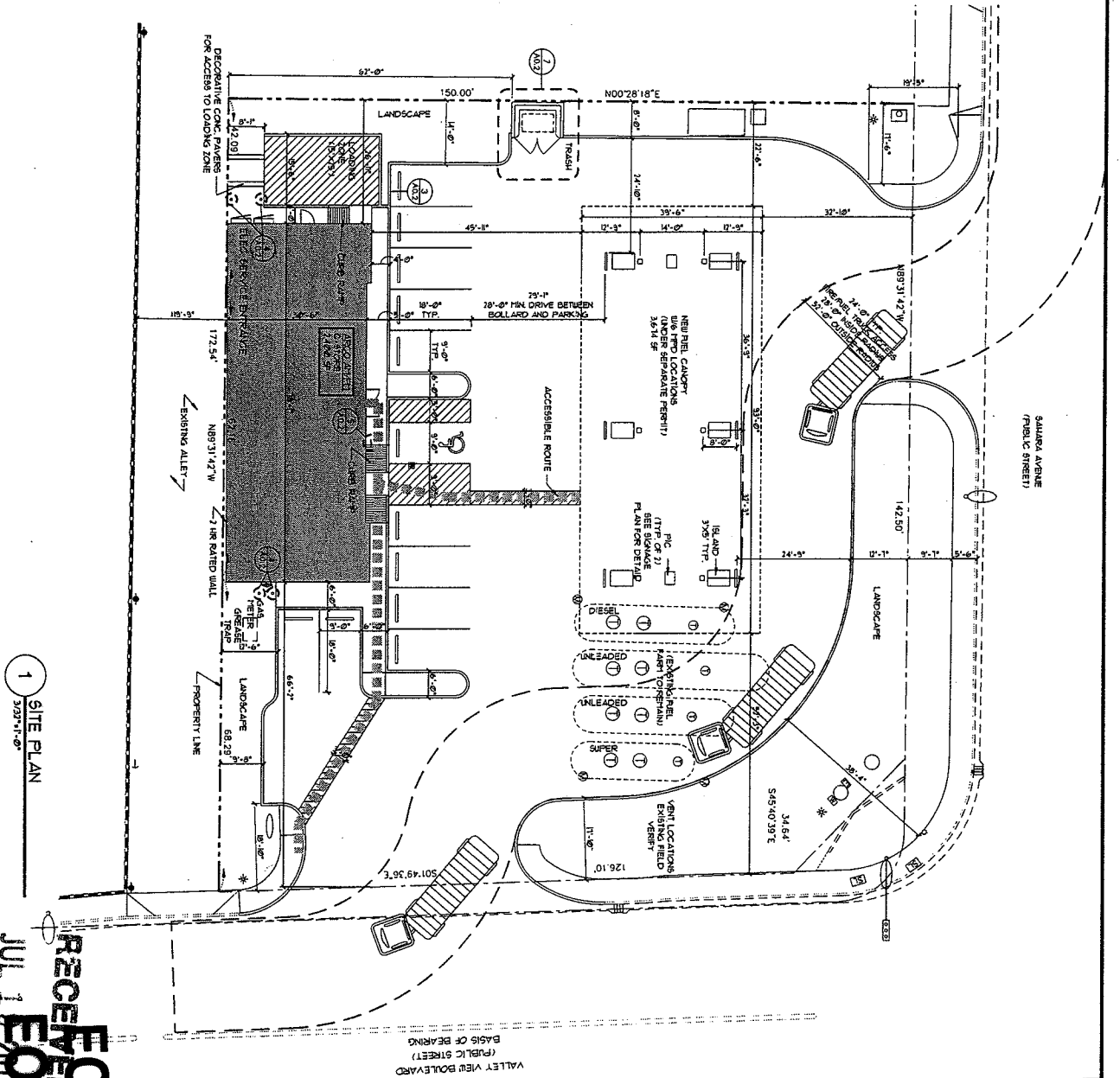
SITE NO. 07-02-000
 ADDRESS: 3701 WEST SAHARA AVE, LAS VEGAS, NV 89102
 ZONING: C-1 (UNITED COMMERCIAL DISTRICT)
 REVISION: LAS VEGAS, NV 89102
 LOT BLOCK: LOT 1 (BLOCK)
 C-STORE AREA: 2,400 SF
 FUEL CANOPY (UNDER SEPARATE PERMIT): 3,614 SF
 LOT COVERAGE: 75%

PARKING ANALYSIS:

CONVENIENCE STORE: 1 SPACE PER 250 SF
 7,100 SF/250 = 28 SPACES
 TOTAL REQUIRED: 28 SPACES
 TOTAL PROVIDED: 28 SPACES
 IF REGULAR SPACES, 1 VAN ACCESSIBLE SPACE AS APPROVED

GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES PRIOR TO EXCAVATION.
2. ALL EXCAVATIONS SHALL BE DONE IN ACCORDANCE WITH THE ENGINEERED GRADING REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODE AS APPLIED BY THE SOUTHERN NEVADA APPLICANTS.
3. ACCESSIBLE PARKING SPACES, ACCESSIBLE AIR, ES, AND PASSENGER LOADING ZONES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1% IN ALL DIRECTIONS.
4. ALL ACCESSIBLE ROUTES ARE TO BE SIGNED AND HAVE ALL SLOPES IN THE DIRECTION OF TRAVEL 5% MAXIMUM WITH CROSS SLOPES OF 2% MAXIMUM.



1 SITE PLAN
 3/27/11-07

RECEIVED
 JUL 1 2011
 EOT-42575
 EOT-425740.1

City of Las Vegas
 EOT-42573

gk3 gk3 architecture 2111 EDWARDS AVENUE SUITE 100 LAS VEGAS, NV 89102 PHONE: (702) 333-3073 WWW.GK3ARCHITECTURE.COM		CHARTER: WAGH KAMAR 2801 N. RANCHO DR. LAS VEGAS, NV 89102 (702) 533-3073 A/E/C: 07-01-000
PROJECT: C-STORE REBUILD 3701 WEST SAHARA AVE LAS VEGAS, NV 89102 A/E/C: 07-01-000		SCALE: AS NOTED
SHEET NO. 1 SITE PLAN		
REVISION NO. DESCRIPTION	DATE: 07-01-11 BY: G.S.	

gk³ architecture
STUDIO • INTERIOR • EXTERIOR

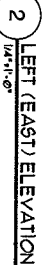
[illegible]

FOT-4257

EOT 13E702.1

as
LOT 43573

EOT-42573



PE279-117

Page 71

EOT-42575 A2.1

EOT-42574

EOT-42573



1

8
Apt. 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 91

CC

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EOT-42573

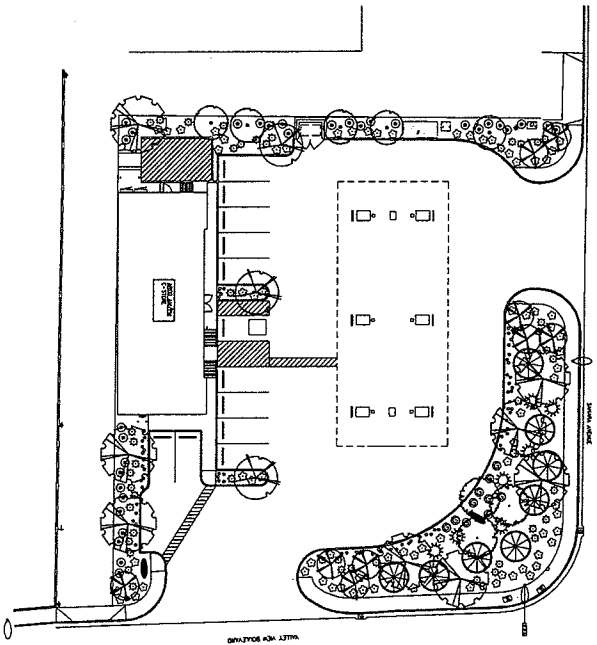
[illegible]

All trees planted within the first (1') of a sublimic or well shall have a root barrier installed adjacent to the sublimic or well extending a minimum of eleven feet (11') in either direction from the center of the tree. No trees shall be planted within three feet (3') of the Right of Way (ROW).

All articles placed within the slow velocity zone shall not exceed two feet (2').

MUSA TISE
 SHOOTING MOCA
 DESERT MARSHAL PALO VERDE
 NO MUSA DESERT YELLOW
 MEXICAN PALM PALM
 DECARPES GRASS IN ALL
 PALM PALM, 7 PEEP

BLUE RANGER	
CREEPING ACICHA	
SIERRA GOLD DALEY	
NEW GOLD LANTANA	
GERBANDER	
DESERT SPOON	
RED YUCCA	
ANGELITA DUSY	

[illegible]

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PLANTING PLAN JUL 19 2011
JUL 19 2011
JUL 19 2011

Sheet Number
L-1

21128
project number
8/10/11
date
ETM
drawn
RCM
checked

REVISIONS		
number	date	description

PLANTING PLAN

CONVIENCE STORE
SAHARA AVE AND VALLEY VIEW BLVD
LAS VEGAS, NEVADA 89102

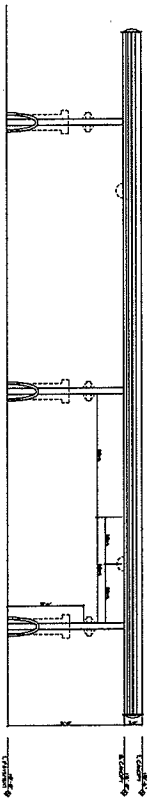
MFE INC.
955 TEMPLE VIEW DR.
LAS VEGAS, NV 89110
TEL.: (702) 375-7084
FAX: (702) 452-2058



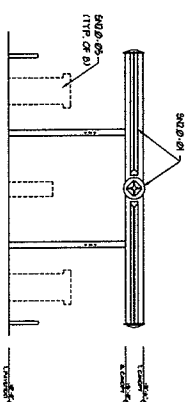
MLA Marriott Landscape Architects
P.O. Box 93562
Las Vegas Nevada 89193
Tel 702.269.7808 Fax 702.269.7538

EOT-42575

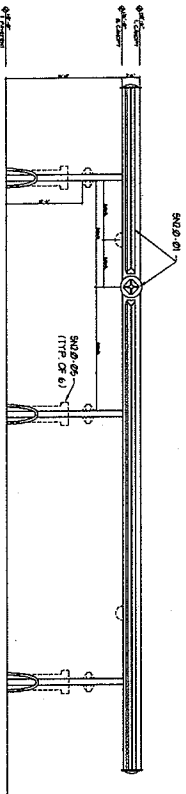
EOT-42574 SPOTLIGHT
EOT-42573



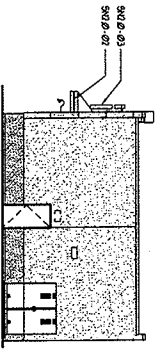
7 SOUTH CANOPY ELEVATION
1/8" = 1'-0"



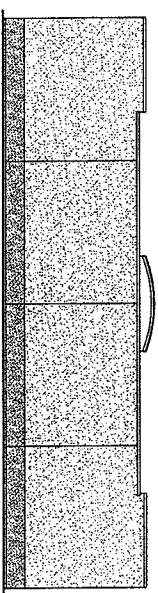
8 EAST CANOPY ELEVATION
1/8" = 1'-0"
(NO SPARK ON WEST ELEVATION)



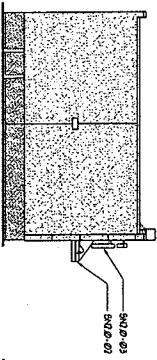
6 NORTH CANOPY ELEVATION
1/8" = 1'-0"



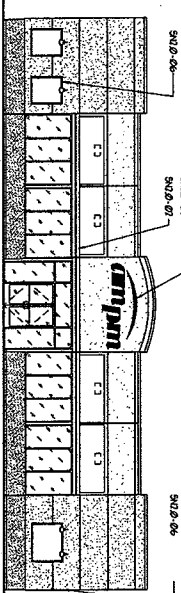
5 WEST BUILDING ELEVATION
1/8" = 1'-0"



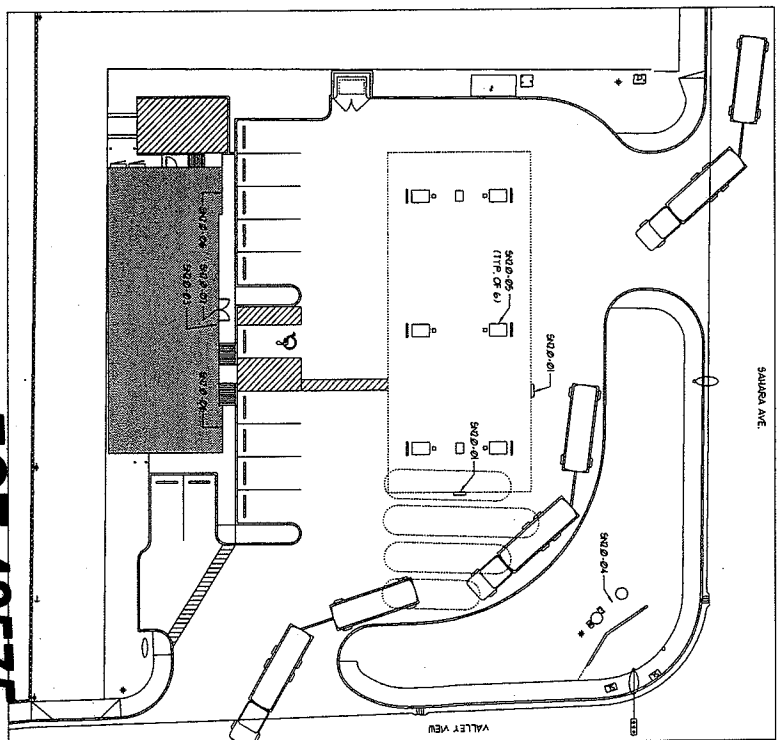
4 NORTH BUILDING ELEVATION
1/8" = 1'-0"



3 EAST BUILDING ELEVATION
1/8" = 1'-0"



2 SOUTH BUILDING ELEVATION
1/8" = 1'-0"



1 SITE PLAN
1/8" = 1'-0"

gk3
architects
7111 BREXWOOD AVENUE
SUITE 100
LAS VEGAS, NV 89128
TEL: (702) 353-3033
WWW.GK3ARCHITECTURE.COM

am pm
WAGH KAMAR
2920 N. RANCHO DR.
LAS VEGAS, NV
89130
TEL: (702) 353-3033

PROJECT:
C-STORE
REBUILD
3701 WEST
SAHARA AVE
LAS VEGAS, NV
APR. 16, 07 507 000

NO.	DESCRIPTION
1	REVISION
2	REVISION
3	REVISION
4	REVISION
5	REVISION
6	REVISION
7	REVISION
8	REVISION
9	REVISION
10	REVISION

SIGNAGE PLAN
SCALE: AS NOTED
DATE: 08-01-11
DRAWN BY: [signature]
CHECKED BY: [signature]
DATE: 08-01-11
PROJECT: [signature]

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EOT-42575
EOT-42574
SN1.0
City of Las Vegas
EOT-42573