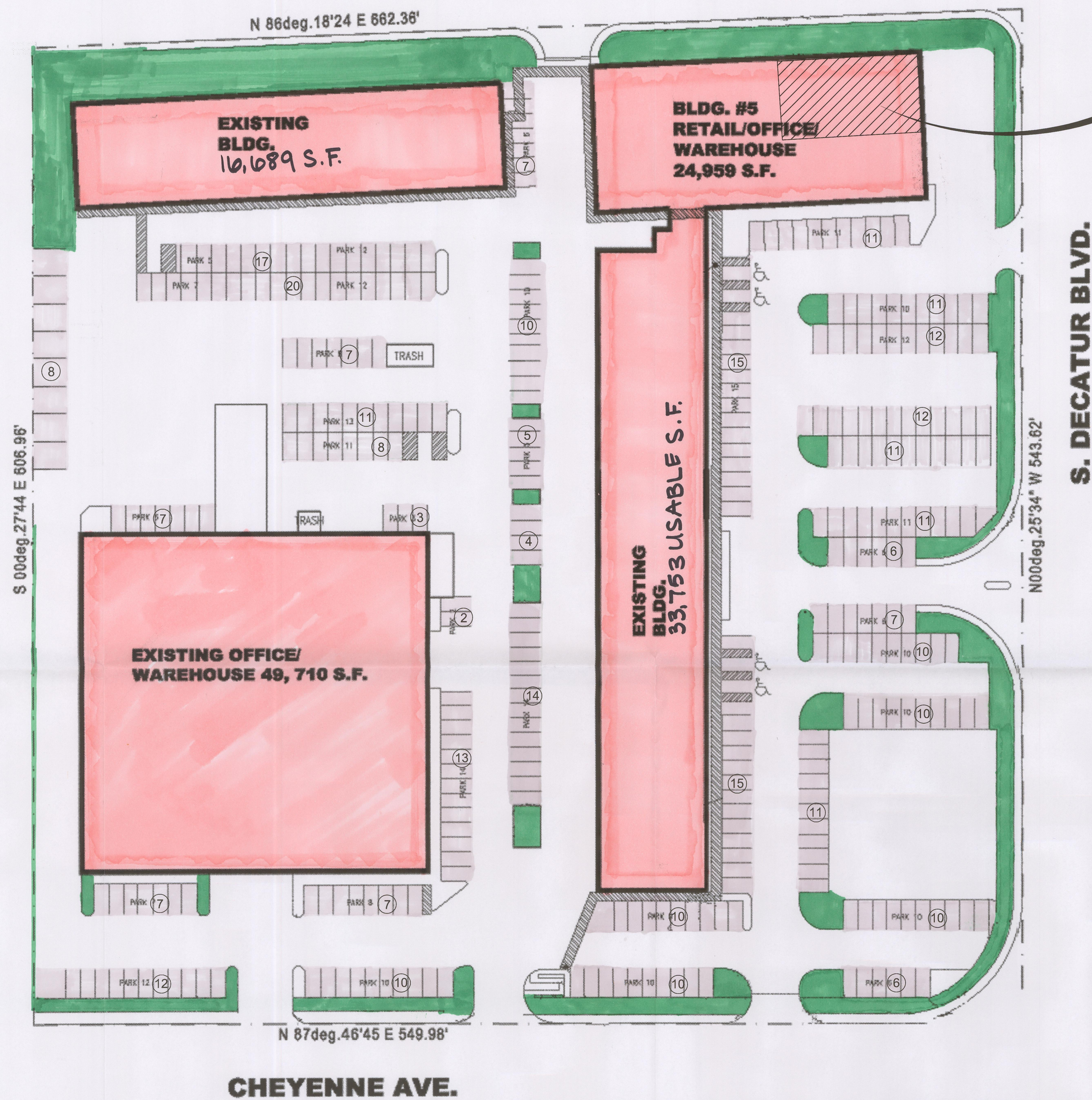
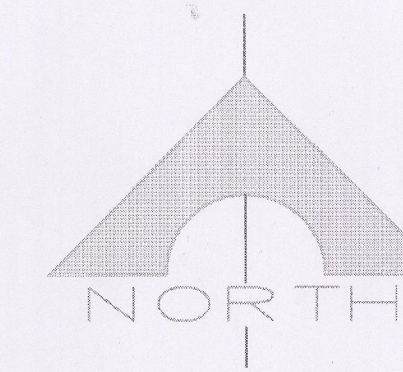




SUITE 185



S. DECATUR BLVD.

CHEYENNE AVE.

PARKING ANALYSIS

TOTAL PARKING PROVIDED:
337 SPACES
8 HANDICAP SPACES
8 TRAILER SPACES

RECEIVED
MAR 13 2012

SITE PLAN

DATE :	3/9/12	REVISION :	
JOB # :		SCALE :	N.T.S.
DRAWN BY :		OL	

SHEET #
SUP-44551
REVISED
SD. 1

RED FEATHER CENTER
3281 N. DECATUR BLVD SUITE 185
LAS VEGAS, NV 89130



S. DECATUR BLVD.

RED FEATHER CENTER
3281 N. DECATUR BLVD SUITE 185
LAS VEGAS, NV 89130

SITE PLAN

DATE :	3/8/12	REVISION :
JOB # :		△
SCALE :	N.T.S.	
DRAWN BY :		△
CHECKED BY :		△

SHEET #

SD 1

TOTAL PARKING PROVIDED:
337 SPACES
8 HANDICAP SPACES
8 TRAILER SPACES

RECEIVED
MAR 13 2012

SIID 44551

Structural General Notes

All construction materials and workmanship to comply with the 2009 International Building Code (I.B.C.), as amended, and City of Las Vegas, Nevada requirements.

Framing

- New framing at doorway may utilize steel or wood. Any lumber to be Douglas fir or Hemlock (Hemfir), #2 or better grade for 2x and 4x framing. Wall Studs (2x4 and 2x6) to be marked Stud grade.
- All nailing to be in per the 2006 I.B.C., Table 2303.9.1, Fastening Schedule.
- Metal connection hardware to be Simpson Strong-Tie or approved equal. Existing hardware that is removed is to be re-installed.

CMU Wall / Ledger Angle Iron

- Angle Irons to be A-36 grade or equal, 1/2-inch thickness.
- Welds to be 1/4-inch fillet welds, with all available surfaces welded.
- Welding to be by certified welder. Special inspection of welds not required.
- Exposed steel to be covered by trim or painted to match existing building.

Concrete

- New concrete to conform to American Concrete Institute (A.C.I.) 318 Code, latest edition. Concrete to utilize Type 5 cement, minimum strength 4,500 psi, at 28 days. Aggregate to be 1/2-inch maximum size.

Reinforcing Steel

- New reinforcing bars shall conform to the requirements of A.S.T.M. A615, Grade 60.

Finish

- Epoxy to be Simpson Set XP or approved equal. Mixing and installation to be in accordance with the product recommendations. Special inspection will be required.

Retaining Wall

- Concrete block masonry (CMU) shall comply with the following:
 - A. Concrete masonry shall conform to ASTM C 90, 7m - 1500 psi
 - B. Mortar: Type M - 2500 psi or Type S - 1800 psi
 - C. Grout: Conform to ASTM C 476, minimum 2000 psi
- Weep holes to be installed at 8 ft on center max along wall. Weep holes to be 2-in diameter and placed 3-in above adjacent finished grade. Provide 1-cubic ft of clean coarse gravel per linear foot of retaining wall at bottom of backfill.
- Vertical control joints in CMU retaining wall to be installed at 24-ft maximum. Vertical rebar to be located within 16-in of the ends.
- All CMU cells containing rebar to be grouted. Lower stems to be solid grouted.
- Min. cover for rebar in footing - 3 in.
- Waterproof the inside face of the retaining wall per 1805.3 of 2009 I.B.C.
- Retaining Wall to be installed in accordance with Southern Nevada Building Officials Regional Standards, latest edition.

Design Criteria

2009 I.B.C.
Wind Speed - 90 mph
Seismic Category - D
Roof Loads, Live - 20 psf, Dead - 15 psf
Allowable Soil Pressure - 1,000 psf
Frost Free Zone
Lateral Equivalent Soil Pressure - 45 psf/ft
Passive Pressure - 100 psf
Coefficient of Friction for Sliding - 0.25

CODE ANALYSIS

OCCUPANCY: M	CONSTRUCTION TYPE: V-B
HEIGHT: ACTUAL = 30'-0"	ALLOWABLE = 35'-0"
STORIES: ACTUAL = TWO	ALLOWABLE = TWO
AREA SUITE 185: RETAIL ACTUAL = 2,835 SQ. FT.	ALLOWABLE = 9,000 SQ. FT.
FIRE SPRINKLERS: YES	SPRINKLERS PROVIDED: YES
RETAIL	REQUIRED EXIT: TWO
	PROVIDED: TWO

SPECIAL INSPECTIONS REQUIRED: NONE
FIRE RESISTIVE CONSTRUCTION REQUIREMENTS: NO
TOTAL OCCUPANCY LOAD:
RETAIL: 1/30 = 2,310/30 = 77 OCCUPANTS
CODE: 2009 I.B.C.

CODES

2009	I.B.C.
2009	U.M.C.
2009	U.P.C.
2009	N.E.C.

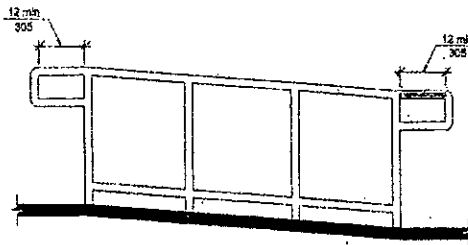
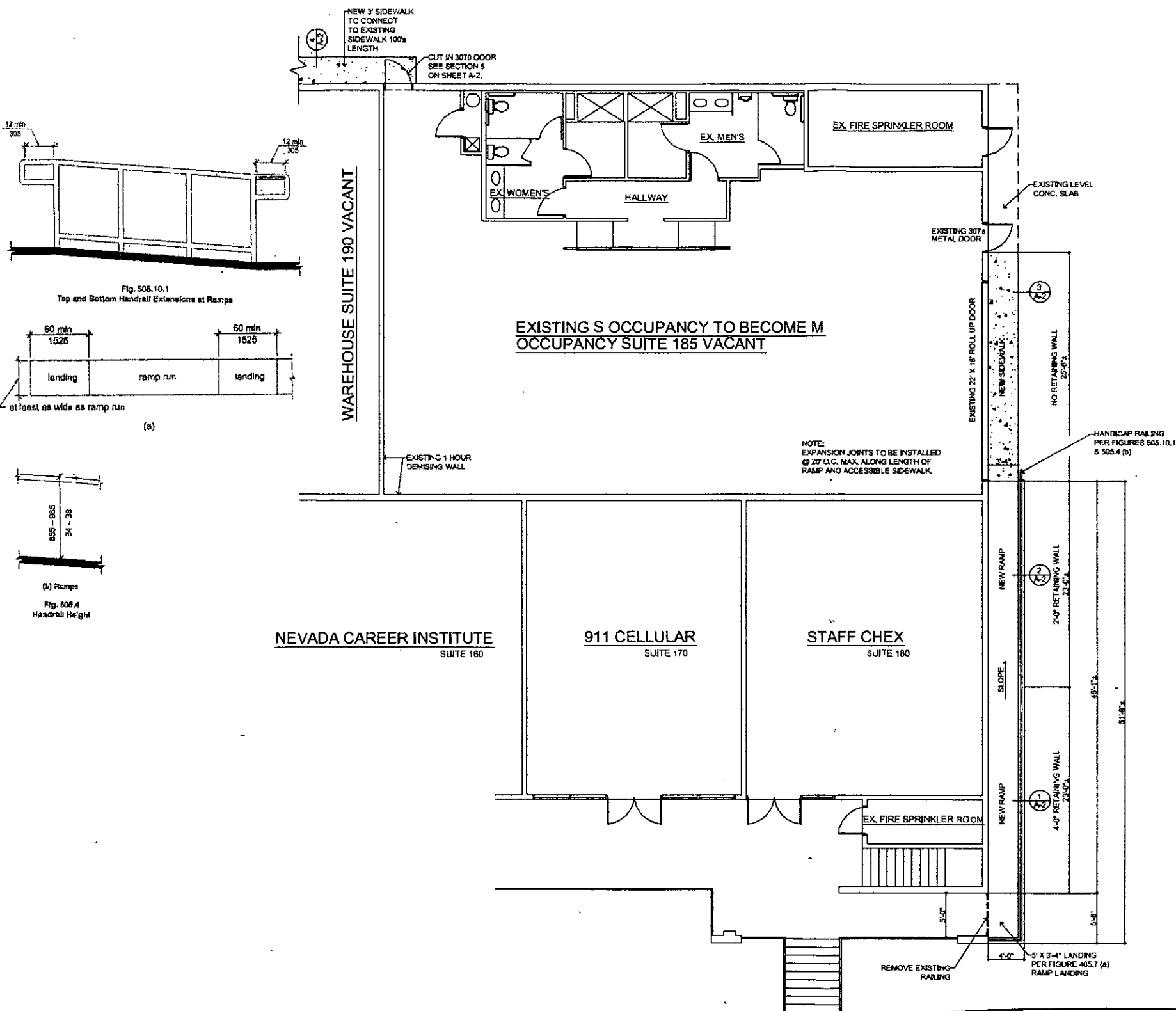


Fig. 505.10.1
Top and Bottom Handrail Extensions at Ramps

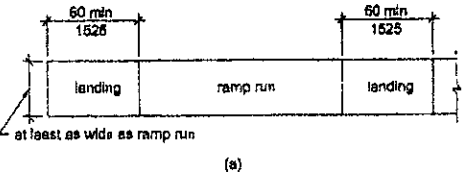


Fig. 605.4
Handrail Height

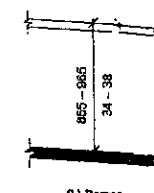


Fig. 605.4
Handrail Height

FLOOR PLAN
SCALE 3/16" = 1'-0"

RECEIVED
FEB 7 2012
SUP-44551
City of Las Vegas
Department of Planning

KENT UTLEY, P.E.
2523 CORTINA AVENUE
HENDERSON, NV 89015
PHONE - (702) 373-7398
FAX - (702) 796-1066

RED FEATHER CENTER
TENANT IMPROVEMENT FOR SUITE 185
@ 3231 N. DECATUR BLVD
SUITE 185 LAS VEGAS, NV 89130

CONSTRUCTION
DRAWINGS

SHEET #

A-1

- All construction materials and workmanship to comply with the 2009 International Building code (I.B.C.), as amended, and City of Las Vegas, Nevada requirements.

- **Framing**
 - New framing at doorway may utilize steel or wood. Any lumber to be Douglas fir or Hemlock (Marked "HF") or better grade for 2x and 4x framing. Wall studs (2x4 and 2x6) to be Hemlock Sued grade.
 - All nailing to be in per the 2006 I.B.C., Table 234.9.1, Fastening Schedule
 - Metal connection hardware to be Simpson Strong-Tie or approved equal. Existing hardware that is removed is to be re-installed.
- **CMU Wall Header Angle Irons**
 - Angle Irons to be A-36 grade or equal, 1/2-inch thickness.
 - Welds to be 1/4-inch fillet welds, with all available surfaces welded.
 - Welding to be by certified welder. Special inspection of welds not required.
 - Exposed steel to be covered by trim or painted to match existing building.

Concrete

Concrete

- New concrete to conform to American Concrete Institute (A.C.I.) 318 Code, latest edition. Concrete to utilize Type 5 cement, minimum strength 4,500 psi. at 28 days. Aggregate to be 1/2-inch maximum size.

Reinforcing Steel

- Reinforcing Steel
New reinforcing bars shall conform to the requirements of A.S.T.M. A615, Grade 60.

Essay

- Epoxy to be Simpson Set XP or approved equal. Mixing and installation to be in accordance with the product recommendations. Special inspection will be required.

Remaining Wall

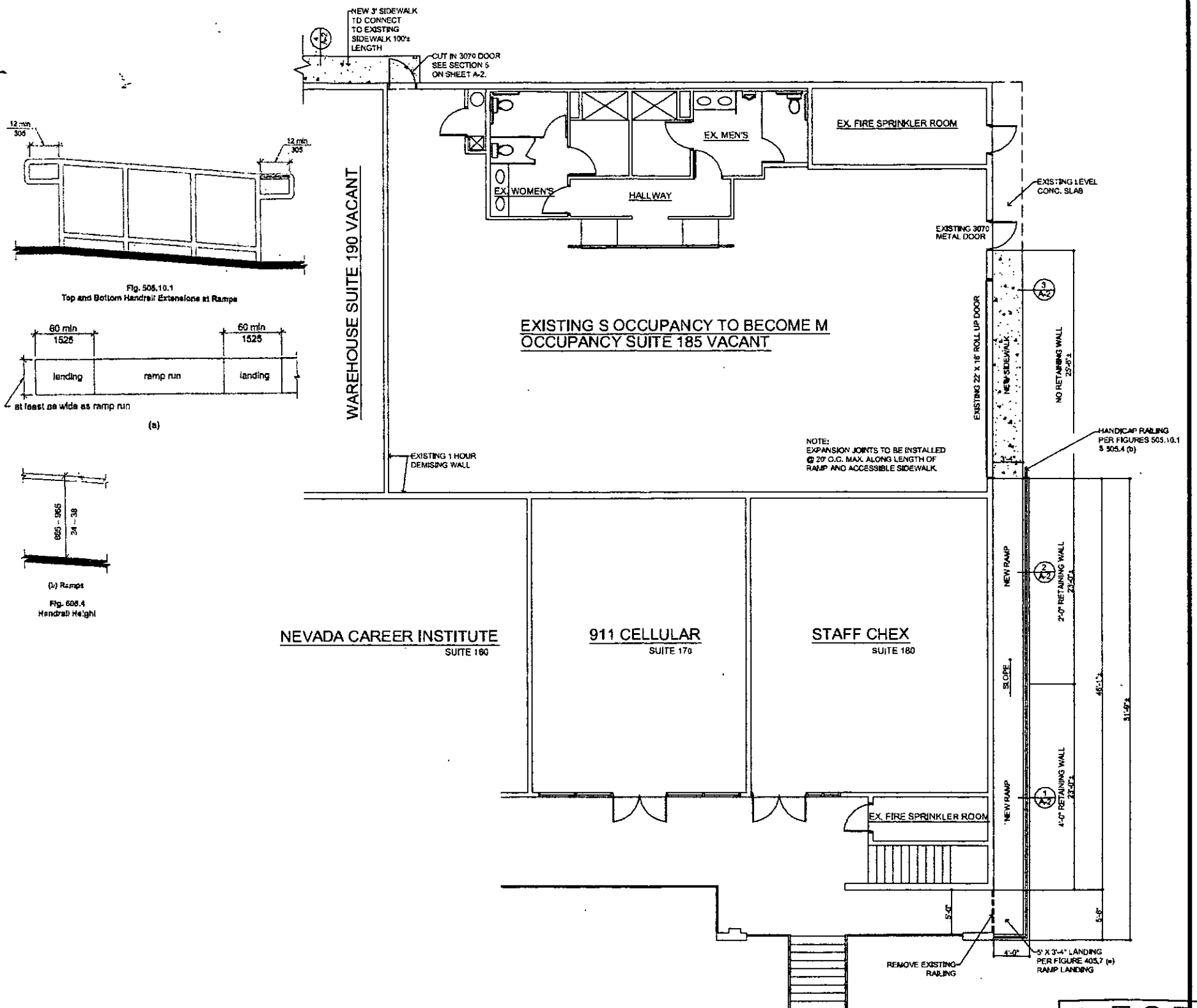
- **Retaining Wall**
 - Concrete block masonry (CMU) shall comply with the following:
 - A. Concrete masonry shall conform to ASTM C 90, 1-in - 1500 psi
 - B. Mortar: Type M-2500 psi or Type S-1800 psi
 - C. Grout: Conform to ASTM C 476, minimum 2000 psi
 - Weep holes to be installed at 8 ft on center max along wall. Weep holes to be 2-in diameter and placed 3-in above adjacent finished grade. Provide 1-cubic ft of clean coarse gravel per linear foot of retaining wall at bottom of backfill.
 - Vertical control joints in CMU retaining wall to be installed at 24-ft maximum. Vertical rebar to be located within 16-in of the ends
 - All CMU cells containing rebar to be grouted. Lower stem to be solid grouted.
 - Min. cover for rebar in footing = 3 in.
 - Waterproof the inside face of the retaining wall per 1805.3 of 2009 L.B.C.
 - Retaining Wall to be installed in accordance with Southern Nevada Building Official Regional Standards, latest edition.

Design Criteria

2009 L.B.C.
Wind Speed – 90 mph
Seismic Category – D
Roof Loads, Live – 70 psf, Dead – 15 psf
Allowable Soil Pressure 1,000 psf
Proc. Free Zone
Lateral Equivalent Soil Pressure – 45 psf/ft
Massive Pressure 100 psf
Coefficient of Friction for Sliding – 0.25

CODE ANALYSIS	
OCCUPANCY: M	CONSTRUCTION TYPE: V B
HEIGHT: ACTUAL = 30'-0"	ALLOWABLE = 35'-0"
STORIES: ACTUAL = TWO	ALLOWABLE = TWO
AREA SUITE 185; RETAIL. ACTUAL = 2,835 SQ. FT.	ALLOWABLE = 8,000 SQ. FT.
FIRE SPRINKLERS: YES	SPRINKLERS PROVIDED: YES
RETAIL	REQUIRED EXIT: TWO
	PROVIDED: TWO
SPECIAL INSPECTIONS REQUIRED: NONE	
FIRE RESISTIVE CONSTRUCTION REQUIREMENTS: NO	
TOTAL OCCUPANCY LOAD:	
RETAIL: 1/30 = 2.31/30 = 77 OCCUPANTS	
CODE: 2009 I.B.C.	

CODES	
2009	LB.C
2009	U.M.C.
2009	U.P.C.
2008	N.E.C.



FLOOR PLAN
SCALE 3/16" = 1'-0"

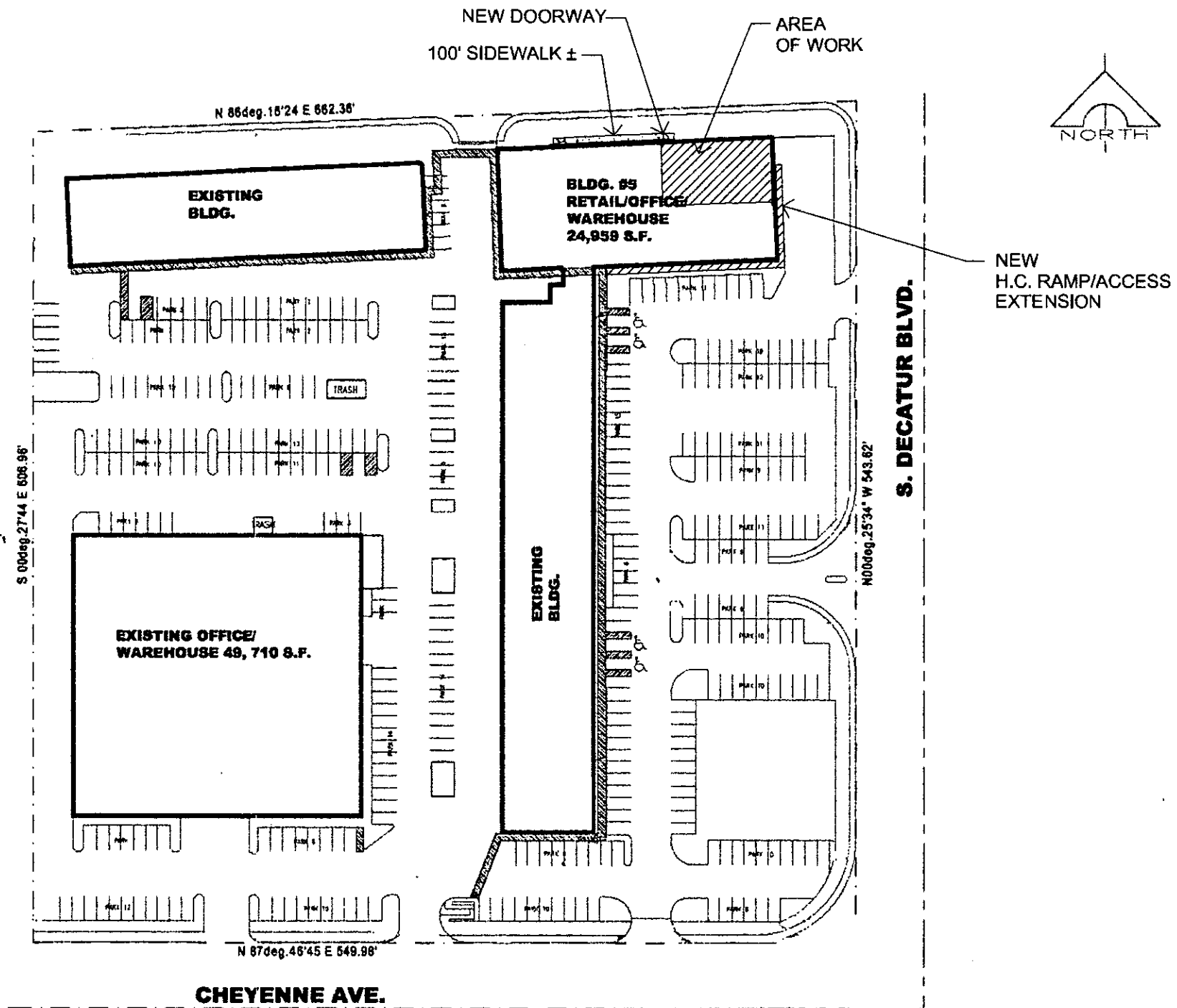
RECEIVED
FEB 7 2017
SUP-44551
City of Las Vegas
Department of Planning
04/10/12 PC

KENT OIL, INC.
2523 CORTINA AVENUE
HENDERSON, NV 89015
PHONE - (702) 373-7398
FAX - (702) 796-1066

TENANT IMPROVEMENT FOR SUITE 185
 @ 3231 N. DECATUR BLVD
 SUITE 185 LAS VEGAS, NV 89130

CONSTRUCTION DRAWINGS

DATE :	1/10/72	REVISION :
JOB # :		Δ
SCALE :	3/16" = 1'-0"	Δ
DRAWN BY :	α	Δ



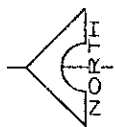
KENT UTLEY, P.E.
2523 CORTINA AVENUE
HENDERSON, NV 89015
PHONE - (702) 373-7398
FAX - (702) 796-1066

RED FEATHER CENTER
TENANT IMPROVEMENT FOR SUITE 185
@ 3231 N. DECATUR BLVD
SUITE 185 LAS VEGAS, NV 89130

DATE	1/29/12	REVISION	A
JOB		SCALE	N.T.S.
DRAWN BY	A		

SHEET #

SD.1



NEW DOORWAY
100' SIDEWALK ±
AREA
OF WORK

N 68deg 18'24 E 652.35'

EXISTING
BLDG.

BLDG. #5
RETAIL/OFFICE
WAREHOUSE
24,939 S.F.

NEW
H.C. RAMP/ACCESS
EXTENSION

S. DECATUR BLVD.

N 00deg 25'34 W 543.82'

EXISTING
BLDG.

EXISTING OFFICE/
WAREHOUSE 49, 740 S.F.

S 00deg 27'44 E 606.95'

N 97deg 45'45 E 549.95'

CHEYENNE AVE.

RECEIVED

FEB - 7 2012

City of Las Vegas
Department of Planning

SITE PLAN

DATE: 1/26/12	REVISION:
SCALE: 1"=40'	
JOB: 185	
BY: [Signature]	
DRWN BY: [Signature]	

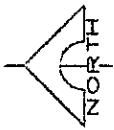
RED FEATHER CENTER
TENANT IMPROVEMENT FOR SUITE 185
@ 3231 N. DECATUR BLVD
SUITE 185 LAS VEGAS, NV 89130

KENT UTLEY, P.E.
2523 CORTINA AVENUE
HENDERSON, NV 89015
PHONE - (702) 373-7398
FAX - (702) 796-1066

SHEET #

SD.1

SUP-44551



SUITE 185

N 886'08.18'24 E 682.35'

EXISTING
BLDG.
16,689 S.F.

BLDG. #5
RETAIL/OFFICE
WAREHOUSE
24,959 S.F.

S. DECATUR BLVD.

N 886'08.18'24 E 682.35'

EXISTING
BLDG.
33,753 USABLE S.F.

EXISTING OFFICE/
WAREHOUSE 49,710 S.F.

S 000'09.27'44 E 606.95'

N 876'09.48'45 E 540.95'

CHEYENNE AVE.

RECEIVED
MAR 13 2012

PARKING TABLE	
TOTAL PARKING PROVIDED:	337 SPACES
8 HANDICAP SPACES	
8 TRAILER SPACES	

SHEET #
SD.1

SITE PLAN

RED FEATHER CENTER
3281 N. DECATUR BLVD SUITE 185
LAS VEGAS, NV 89130

DATE	10/11/11
BY	10/11/11
REVISION	
REVISION	
REVISION	
REVISION	
REVISION	
REVISION	
REVISION	
REVISION	

SUP-44551

REVISED



LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN

ELIZABETH N. FRETWELL
CITY MANAGER

April 11, 2012

Mr. David Norouzi
Red Feather Property, LLC
10866 Wilshire Boulevard, Suite #400
Los Angeles, California 90024

**RE: SUP-44551 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF APRIL 10, 2012**

Dear Mr. Norouzi:

Your request for a Special Use Permit FOR A PROPOSED SECONDHAND DEALER (HOUSEHOLD ITEMS) USE WITHIN AN EXISTING SHOPPING CENTER at 3281 North Decatur Boulevard, Suite #185 (APN 138-12-813-001), C-2 (General Commercial) Zone, Ward 6 (Ross), was considered by the Planning Commission on April 10, 2012.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning

1. Conformance to all Minimum Requirements under LVMC Title 19.12 for a Secondhand Dealer use.
2. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov



Mr. David Norouzi
Red Feather Property, LLC
SUP-44551 - Page Two
April 11, 2012

This action by the Planning Commission on **April 10, 2012** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **April 23, 2012**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms Tracy Sagas
Odds Ends R Us
3281 North Decatur Boulevard, Suite #185
Las Vegas, Nevada 89132

Mr. Alex Sagas
5033 Drummond Road
Las Vegas, Nevada 89132



March 29, 2012

Mr. David Norouzi
Red Feather Property, LLC
10866 Wilshire Boulevard, Suite #400
Los Angeles, California 90024

**RE: SUP-44551 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF APRIL 10, 2012**

LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

BOB COFFIN

ELIZABETH N. FRETWELL
CITY MANAGER

Dear Mr. Norouzi:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **April 10, 2012** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 495 South Main Street, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, April 4, 2012** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms Tracy Sagas
Odds Ends E Us
3281 North Decatur Boulevard, Suite #185
Las Vegas, Nevada 89132

Mr. Alex Sagas
5033 Drummond Road
Las Vegas, Nevada 89132

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov





CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

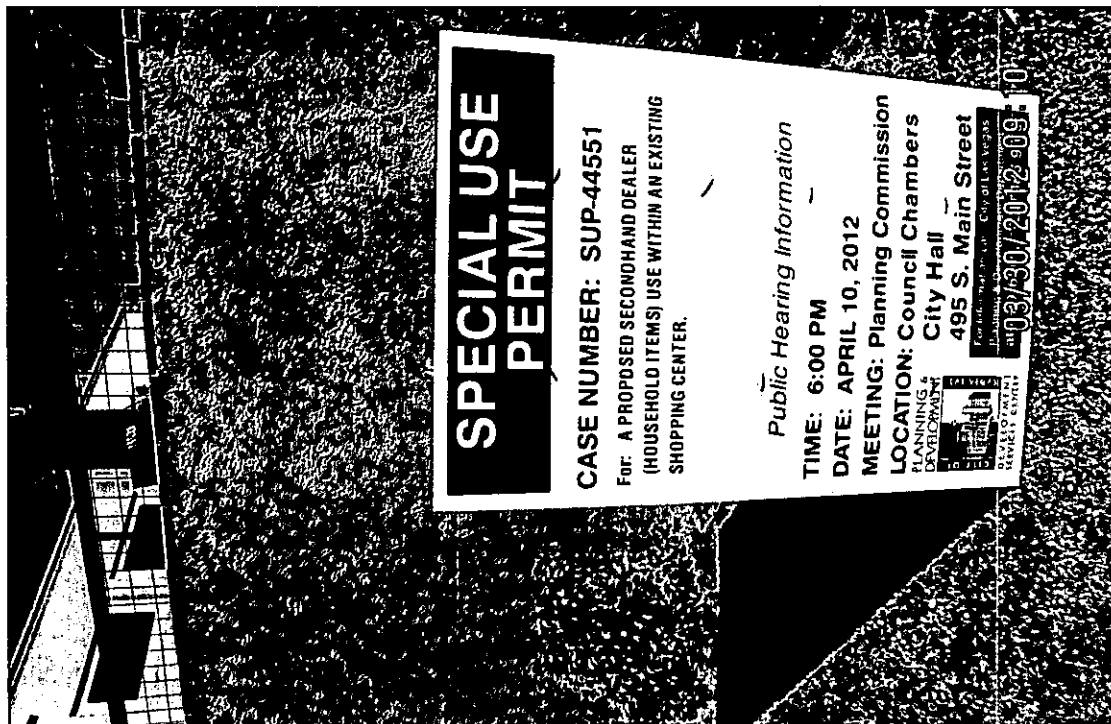


CASE NUMBER: SUP-44551

MEETING DATE: 4/10/12 PC

1 of 2

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



[Signature]
Signature

3-30-12
Date

This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

COPY



**CITY OF LAS VEGAS
SIGN POSTING AFFIDAVIT**

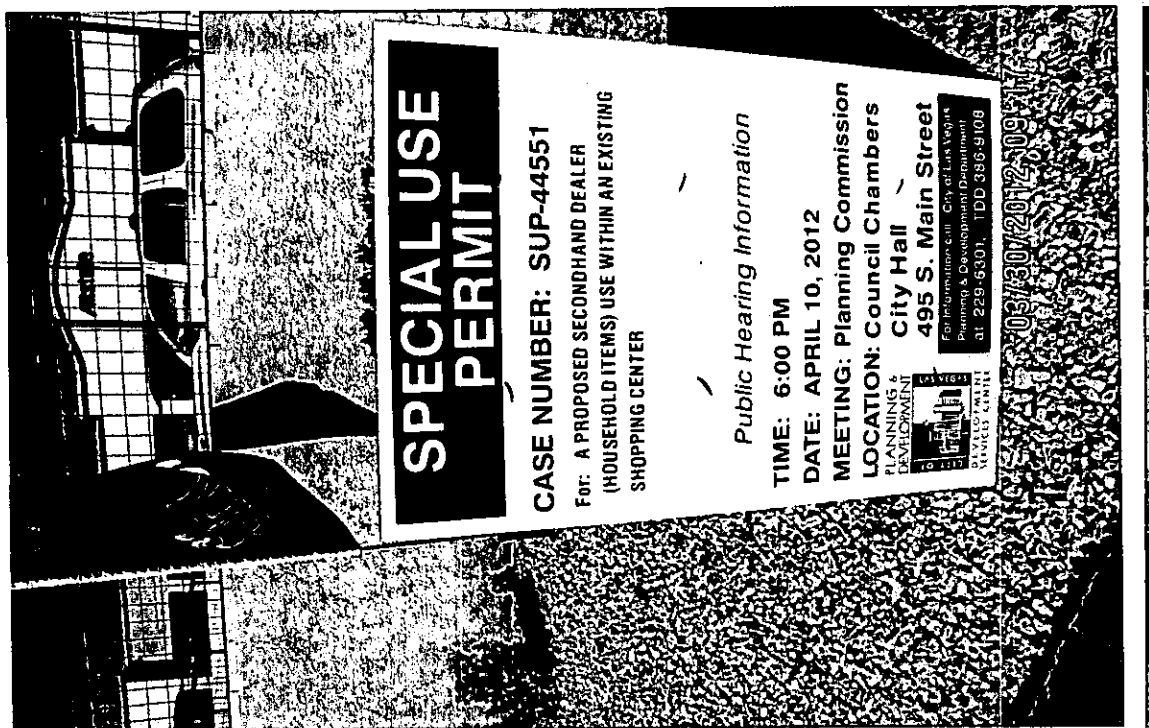


CASE NUMBER: SUP-44551

MEETING DATE: 4/10/12 PC

2y2

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.




Signature

3-30-12
Date

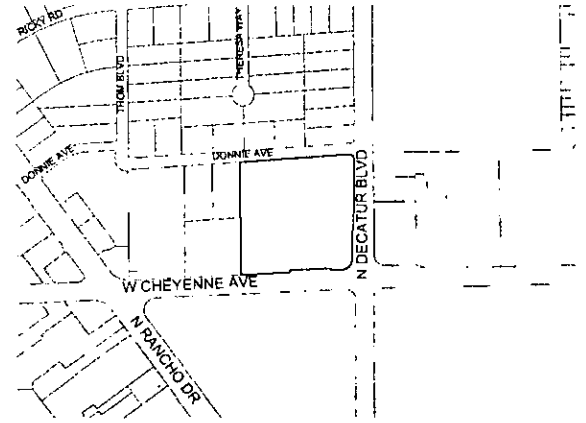
This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

COPY

Application Information

SUP-44551 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: ODDS ENDS R US LIQUIDATIONS - OWNER: RED FEATHER PROPERTY, LLC - For possible action on a request for a Special Use Permit FOR A PROPOSED SECONDHAND DEALER (HOUSEHOLD ITEMS) USE WITHIN AN EXISTING SHOPPING CENTER at 3281 North Decatur Boulevard, Suite #185 (APN 138-12-813-001), C-2 (General Commercial) Zone, Ward 6 (Ross).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

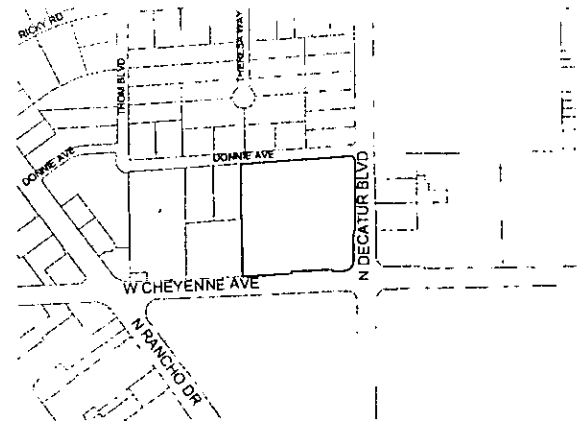
Meeting: Planning Commission
Date: April 10, 2012
Time: 6:00 P.M.
Location: City Council Chambers
495 South Main Street
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SUP-44551 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: ODDS ENDS R US LIQUIDATIONS - OWNER: RED FEATHER PROPERTY, LLC - For possible action on a request for a Special Use Permit FOR A PROPOSED SECONDHAND DEALER (HOUSEHOLD ITEMS) USE WITHIN AN EXISTING SHOPPING CENTER at 3281 North Decatur Boulevard, Suite #185 (APN 138-12-813-001), C-2 (General Commercial) Zone, Ward 6 (Ross).

Application Location



The proposed project may not pertain to the entire highlighted project site.

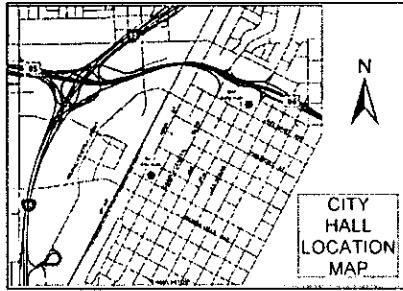
Public Hearing Information

Meeting: Planning Commission
Date: April 10, 2012
Time: 6:00 P.M.
Location: City Council Chambers
495 South Main Street
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

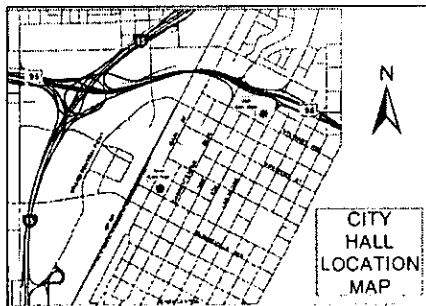
Please use available blank space on card for your comments.

SUP-44551

Planning Commission Meeting of 4/10/2012

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-44551

Planning Commission Meeting of 4/10/2012

Carman Burney

From: Brian O'Callaghan [B5623O@LVMPD.COM]
Sent: Thursday, March 08, 2012 5:05 PM
To: Carman Burney; Nora Lares
Subject: RE: 04/10/12 PC submittal materials

Hello,

The following are the comments for PC submittal materials and DINAs:

Item 24 SUP-4451

The proposed project will have a minimal impact on police services; however, these types of projects are becoming more prevalent which gives our agency concern. There is potential for these projects to be used by certain criminal elements. If approved, LVMPD requests the applicant strictly adhere to Title 6.

Item32 SUP-44677

The proposed project will have a minimal impact on police services; however, these types of projects are becoming more prevalent which gives our agency concern. There is potential for these projects to be used by certain criminal elements. If approved, LVMPD requests the applicant strictly adhere to Title 6.

DINAs

SUP-44551

The proposed project will have a minimal impact on police services; however, these types of projects are becoming more prevalent which gives our agency concern. There is potential for these projects to be used by certain criminal elements. If approved, LVMPD requests the applicant strictly adhere to Title 6.

SUP-44571

Northwest Area Command, 9850 W. Cheyenne Ave, is approx. 3.87 miles from the proposed project.

SUP-44681

Northeast Area Command, 3750 Cecile Ave, is approx. 4.5 miles from the proposed project.

Thanks

Brian O'Callaghan
Government Liaison (commissioned)
Office of Intergovernmental Services
Las Vegas Metropolitan Police Department
400 S. Martin L. King Blvd.
Las Vegas, Nv 89106
Phone: (702) 828-5538
Cellular: (702) 510-9405
Fax: (702) 828-1565



Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Dennis Moyer, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: March 14, 2012
Re: **SUP-44551** Odd Ends R Us Liquidators 3281 N. Decatur Blvd.
Request for a Special Use Permit for a proposed second hand dealer (household items)

COMMENTS:

We have no comment on the Request for a Special Use Permit application for a proposed second hand dealer (household items) use within an existing shopping center at 3281 North Decatur Boulevard, Suite #185.

City of Las Vegas - Department of Planning.

Development Notification

PC Meeting: April 10, 2012

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Department of Planning:

SUP-44551

Northpointe Apartments

Northwest Area Residents Association NCG

Park San Miguel Property Owners Association

Plaza San Miguel HOA

Rancho Las Vegas Estates

Rancho San Miguel Property Owners Association

Smoke Ranch Villas HOA

Starfire VI Estates HOA

Sweetwater HOA

Willowdale Park HOA

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: DEPARTMENT OF PLANNING

SUP-44551

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC - 7 th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5 th Floor
*FLOOD CONTROL (DPW)	OH-SANG KWON	DSC - 7 th Floor
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC - 2 nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1 st Floor
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC - 8 th Floor
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC - 7 th Floor
*SURVEY (DPW)	ALAN RIEKKI	DSC - 8 th Floor
*TEFO (DPW)	REBECCA WHITLOCK	WSC-3001 RONEMUS
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC - 8 th Floor

ROUTED ELECTRONICALLY

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*SID (DPW)	PATRICK MURPHY	4 TH FLOOR CITY HALL

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

SUP-44551 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: ODD ENDS R US LIQUIDATORS - OWNER: RED FEATHER PROPERTY, LLC - For possible action on a request for a Special Use Permit FOR A PROPOSED SECONDHAND DEALER (HOUSEHOLD ITEMS) USE WITHIN AN EXISTING SHOPPING CENTER at 3281 North Decatur Boulevard, Suite #185 (APN 138-12-813-001), C-2 (General Commercial) Zone, Ward 6 (Ross).

PLANNING COMMISSION: *APRIL 10, 2012*
CITY COUNCIL: *MAY 16, 2012*

PLANNING SUPERVISOR: *STEVE GEBEKE*



PUBLIC HEARING

Comments Due: *MARCH 8, 2012*

*Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney (cburney@lasvegasnevada.gov)**, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.*

LIST COMMENTS BELOW:

Report Date 02/09/2012 01:19 PM

Submitted By

Page 1

A/P # 44551 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	02/07/2012 09:56	984548	Temp COO		
Approved			COO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SUP-44551 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: ODD ENDS RUS LIQUIDATORS - OWNER: RED FEATHER PROPERTY, LLC -
For possible action on a request for a Special Use Permit FOR A PROPOSED SECONDHAND DEALER USE WITHIN AN EXISTING SHOPPING CENTER
at 3281 North Decatur, Suite #160 (APN 138-12-813-001), C-2 (General Commercial), Ward 6 (Ross).

Parent A/P #

Project #	44551	Project/Phase Name	ODDS ENDS	Phase #	
Size/Area	0.00	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 13812813001

Location

Owner/Tenant

Contact ID	AC1780595	Name	RED FEATHER PROPERTY L L C	Organization	% LAW OFFICES D NOROUZI
Mailing Address	10866 WILSHIRE BLVD #400			State/Province	CA
City	LOS ANGELES			Country	☐ Foreign
ZIP/PC	90024-4338			Evening Phone	
Day Phone	(310)208-1840 x			Mobile #	
Fax	(310)208-1840				

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

4920 W CHEYENNE AVE
LAS VEGAS, 89130-

4920 W CHEYENNE AVE 145
LAS VEGAS, 89130-

4920 W CHEYENNE AVE B
LAS VEGAS, 89130-

4930 W CHEYENNE AVE
LAS VEGAS, 89130-

4930 W CHEYENNE AVE 190
LAS VEGAS, 89130-

Report Date 02/09/2012 01:19 PM

Submitted By

Page 2

Address

Parcel Link

APN Link

4930 W CHEYENNE AVE 150
LAS VEGAS, 89130-

4930 W CHEYENNE AVE 140
LAS VEGAS, 89130-

4930 W CHEYENNE AVE 170
LAS VEGAS, 89130-

4920 W CHEYENNE AVE 160
LAS VEGAS, 89130-

4920 W CHEYENNE AVE 175
LAS VEGAS, 89130-

4920 W CHEYENNE AVE 185
LAS VEGAS, 89130-

4920 W CHEYENNE AVE 110
LAS VEGAS, 89130-

4920 W CHEYENNE AVE 100
LAS VEGAS, 89130-

4930 W CHEYENNE AVE 110
LAS VEGAS, 89130-

4930 W CHEYENNE AVE 120
LAS VEGAS, 89130-

4920 W CHEYENNE AVE 150
LAS VEGAS, 89130-

4920 W CHEYENNE AVE A
LAS VEGAS, 89130-

3211 N DECATUR BLVD
LAS VEGAS, 89130-

3231 N DECATUR BLVD
LAS VEGAS, 89130-

3249 N DECATUR BLVD
LAS VEGAS, 89130-

Report Date 02/09/2012 01:19 PM

Submitted By

Page 3

Address

Parcel Link

APN Link

3281 N DECATUR BLVD
LAS VEGAS, 89130-

3231 N DECATUR BLVD 270
LAS VEGAS, 89130-

3281 N DECATUR BLVD 108
LAS VEGAS, 89130-

3231 N DECATUR BLVD 101
LAS VEGAS, 89130-

3281 N DECATUR BLVD 180
LAS VEGAS, 89130-

3281 N DECATUR BLVD 222
LAS VEGAS, 89130-

3231 N DECATUR BLVD 201
LAS VEGAS, 89130-

3231 N DECATUR BLVD 250
LAS VEGAS, 89130-

3271 N DECATUR BLVD 231
LAS VEGAS, 89130-

3281 N DECATUR BLVD 120
LAS VEGAS, 89130-

3281 N DECATUR BLVD 210
LAS VEGAS, 89130-

3281 N DECATUR BLVD 190
LAS VEGAS, 89130-

3281 N DECATUR BLVD 220
LAS VEGAS, 89130-

3281 N DECATUR BLVD 140
LAS VEGAS, 89130-

3281 N DECATUR BLVD 230
LAS VEGAS, 89130-

Report Date 02/09/2012 01:19 PM

Submitted By

Page 4

Address

Parcel Link

APN Link

3281 N DECATUR BLVD 240
LAS VEGAS, 89130-

3231 N DECATUR BLVD 134
LAS VEGAS, 89130-

3231 N DECATUR BLVD 140
LAS VEGAS, 89130-

3281 N DECATUR BLVD 270
LAS VEGAS, 89130-

3231 N DECATUR BLVD 104
LAS VEGAS, 89130-

3231 N DECATUR BLVD 107
LAS VEGAS, 89130-

3231 N DECATUR BLVD 110
LAS VEGAS, 89130-

3231 N DECATUR BLVD 113
LAS VEGAS, 89130-

3231 N DECATUR BLVD 116
LAS VEGAS, 89130-

3231 N DECATUR BLVD 119
LAS VEGAS, 89130-

3231 N DECATUR BLVD 122
LAS VEGAS, 89130-

3231 N DECATUR BLVD 125
LAS VEGAS, 89130-

3231 N DECATUR BLVD 128
LAS VEGAS, 89130-

3231 N DECATUR BLVD 131
LAS VEGAS, 89130-

3231 N DECATUR BLVD 137
LAS VEGAS, 89130-

Report Date 02/09/2012 01:19 PM

Submitted By

Page 5

Address

Parcel Link

AVP Link

3231 N DECATUR BLVD 143
LAS VEGAS, 89130-

3231 N DECATUR BLVD 204
LAS VEGAS, 89130-

3231 N DECATUR BLVD 207
LAS VEGAS, 89130-

3231 N DECATUR BLVD 210
LAS VEGAS, 89130-

3231 N DECATUR BLVD 213
LAS VEGAS, 89130-

3231 N DECATUR BLVD 216
LAS VEGAS, 89130-

3231 N DECATUR BLVD 219
LAS VEGAS, 89130-

3231 N DECATUR BLVD 222
LAS VEGAS, 89130-

3231 N DECATUR BLVD 225
LAS VEGAS, 89130-

3231 N DECATUR BLVD 228
LAS VEGAS, 89130-

3231 N DECATUR BLVD 231
LAS VEGAS, 89130-

3231 N DECATUR BLVD 234
LAS VEGAS, 89130-

3231 N DECATUR BLVD 237
LAS VEGAS, 89130-

3231 N DECATUR BLVD 240
LAS VEGAS, 89130-

3231 N DECATUR BLVD 243
LAS VEGAS, 89130-

Report Date 02/09/2012 01:19 PM

Submitted By

Page 6

Address

Parcel Link

A/P Link

3281 N DECATUR BLVD 250
LAS VEGAS, 89130-

3281 N DECATUR BLVD 260
LAS VEGAS, 89130-

3281 N DECATUR BLVD 280
LAS VEGAS, 89130-

3281 N DECATUR BLVD 170
LAS VEGAS, 89130-

3281 N DECATUR BLVD 150
LAS VEGAS, 89130-

3281 N DECATUR BLVD 110
LAS VEGAS, 89130-

3281 N DECATUR BLVD 130
LAS VEGAS, 89130-

3281 N DECATUR BLVD 185
LAS VEGAS, 89130-

3281 N DECATUR BLVD 100
LAS VEGAS, 89130-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13812813001

Applicants/Contacts

Report Date 02/09/2012 01:19 PM

Submitted By

Page 7

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1780595 ☐ Foreign
Effective Expire
Name RED FEATHER PROPERTY L L C
Day Phone (310)208-1840 x Eve Phone Organization % LAW OFFICES D NOROUZI
Pager PIN # Position
Fax (310)208-1840 Mobile Profession
E-Mail
Address 10866 WILSHIRE BLVD #400
LOS ANGELES, CA 90024-4338
Seasonal Addr

Valid From To

Comments No Comments
CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcript
Orientation Attended

There are no items in this list

Primary N Capacity OTHER Other REP Contact ID AC1983506 ☐ Foreign
Effective Expire
Name ALEX SAGAS
Day Phone (724)972-9309 x Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 5033 DRUMMOND ROAD
LAS VEGAS, NV 89130
Seasonal Addr

Valid From To

Comments No Comments

Report Date 02/09/2012 01:19 PM

Submitted By

Page 8

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcript
Orientation Attended

There are no items in this list

Primary Y Capacity APPL Contact ID AC1983505 ☐ Foreign
Effective Expire
Name ODD ENDS R US
Day Phone (724)972-9309 x Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 3282 N DECATUR BLVD, SUITE 185
LAS VEGAS, NV 89132
Seasonal Addr
Valid From To
Comments No Comments
CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcript
Orientation Attended

There are no items in this list

Report Date 02/09/2012 01:19 PM

Submitted By

Page 9

Contractors

No Contractors

Item Description

Item Status

Check Fees	Fees Successful
NOTIFICATION & ADVERTISING FEE (\$500.00)	Paid
PROCESSING FEE (\$500.00)	Paid
RECORDING OF NOTICE OF ZONING ACTION (\$30.00)	Paid
Check Inspections	Inspections Successful
Check Reviews	Reviews Successful
Check Conditions	Conditions Successful
Check Alert Conditions	Alert Conditions Successful
Check Licenses	Not Checked
Check Children Status	Children Successful
Check Open Cases	5
Case # 109889	
Case # 104515	
Case # 104517	
Case # 104518	
Case # 108638	
Pre-Check Conditions Added:	0
Inspections Added:	0
Reviews Added:	13
DEVCO	
NEIGH P&S	
B&S PLAN	
FLOOD	
TRAFFIC	
TEFO	
SURVEY	
SID	
SEWER	
ROW	
LAND DEV	
FIRE ENG	
ENGDESIGN	
Fees Added:	0
Conditions Added:	1
Z-LEGAL	
Periodic Inspection Schedules Added:	0

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	02/07/2012 10:02	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	02/07/2012 10:02	30.00
PROCESSING FEE	P	02/07/2012 10:02	500.00
Total Unpaid		0.00	Total Paid 1030.00

Inspections

There are no inspections for this Report

Review Activities

Review #	Review Type	Status	Waived	Failed	Stripped	Completed	Comp By
----------	-------------	--------	--------	--------	----------	-----------	---------

Comments

Report Date 02/09/2012 01:19 PM

Submitted By

Page 10

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Done By
483400	DEVCO	1	Incomplete	☐	02/09/2012 13:19			
483401	NEIGH P&S	1	Incomplete	☐	02/09/2012 13:19			
483402	B&S PLAN	1	Incomplete	☐	02/09/2012 13:19			
483403	FLOOD	1	Incomplete	☐	02/09/2012 13:19			
483404	TRAFFIC	1	Incomplete	☐	02/09/2012 13:19			
483405	TEFD	1	Incomplete	☐	02/09/2012 13:19			
483406	SURVEY	1	Incomplete	☐	02/09/2012 13:19			
483407	SID	1	Incomplete	☐	02/09/2012 13:19			
483408	SEWER	1	Incomplete	☐	02/09/2012 13:19			
483409	ROW	1	Incomplete	☐	02/09/2012 13:19			
483410	LAND DEV	1	Incomplete	☐	02/09/2012 13:19			
483411	FIRE ENG	1	Incomplete	☐	02/09/2012 13:19			
483412	ENGDESIGN	1	Incomplete	☐	02/09/2012 13:19			

Activity Review Details

Detail SUBMITTAL CHECKLIST (SUP)

Modified By JGRIDER

Modified Date/Time 02/07/2012 09:56

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plan (6 Folded Blue Lines, 1 Rolled Colored)
Y Application/Petition Form	Y Floor Plan, If Applicable (1 Folded, 1 Rolled)
Y Deed and Legal Description	Y Laser Print Site Plan
Y Justification Letter	Y Laser Print Floor Plan
Y DINA (Not Always Required)	Y Statement of Financial Interest

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions
Condition
Supervisor Required

Approval

Approved By
Comments

Approved Date

Applied By

Applied Date

Assigned

Z-LEGAL
N

981094

02/09/2012 13:19

Report Date 02/09/2012 01:19 PM

Submitted By

Page 11

Check Condition: Condition Superior Requirer	Approval Approval	Approver By Comments	Approved Date	Applied By	Applied Date	Assigner
--	----------------------	-------------------------	---------------	------------	--------------	----------

Project #	AP Type	Status	Stage	Relation
-----------	---------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SPECIAL USE PERMIT

N DINA Required? Y Will this go to the City Council? Hearing Type
Y Project of Regional Significance? Public or Admin? PUBLIC
N Parent Project link required? Is there a condition of approval for a Required Review?
Type of Use If yes, when does it need to be reviewed?
SECONDHAND DEALER
N Is this an Alcohol related Use? Staff Recommendation Entitlement Exercised?

Meeting Information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
04/10/2012	PC	SCHEDULED		0	0	0
JGRIDER	02/07/2012					

Template Type/AP #	AP Type	Status	Stage
--------------------	---------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	02/07/2012 10:03		0.00
	ALEX SAGAS, 724.972.9310, CASH				

No Model Home Details



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Spec Use Permit
 Project Address (Location) 3281 N DECATUR #160
 Project Name _____ Proposed Use SECOND HAND DEALER
 Assessor's Parcel #(s) 138-12-813-001 Ward # 6
 General Plan: existing GC proposed _____ Zoning: existing C-2 proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres _____ Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Red Feather Property, LLC Contact David Norouzi
 Address 10866 Wilshire Blvd, #400 Phone: (310) 208-1840 Fax: (310) 208-1850
 City Los Angeles, CA State CA Zip 90024
 E-mail Address david @ Redfeatherproperty.com

APPLICANT ODDS ENDS R US Contact Tracy Segas
 Address 3281 N Decatur Suite 185 Phone: 724-972-9330 Fax: _____
 City LV State NV Zip 89130
 E-mail Address Tracy81273@aol.com

REPRESENTATIVE Alex Segas Contact _____
 Address 5033 Drummond RD Phone: 724-972-9330 Fax: _____
 City LV State NV Zip 89130
 E-mail Address Tracy81273@aol.com

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name David Norouzi, its Manager

Subscribed and sworn before me Reyman Dadmehr

This 30th day of January

[Signature]

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY	
Case #	<u>SUP-44551</u>
Meeting Date:	<u>4/10/12</u>
Vol Fee:	<u>\$1030.00</u>
Date Received:	<u>2/7/12</u>
Received By:	<u>[Signature]</u>

RECEIVED
 FEB 7 2012
 REYMAN DADMEHR
 COMM #1836824
 City of Las Vegas
 Department of Planning
 My Comm. Expires Feb. 15, 2013

Application will not be deemed complete until the
 Los Angeles Department of Planning has been reviewed by the
 Department of Planning for consistency with applicable
 sections of the Zoning Ordinance.



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-44551** APN: 138-12-813-001
Name of Property Owner: Red Feather Property, LLC
Name of Applicant: Alex Sages
Name of Representative: David Norouzi

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

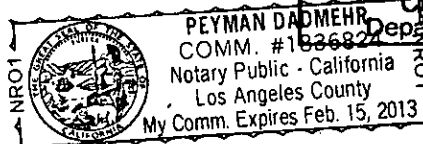
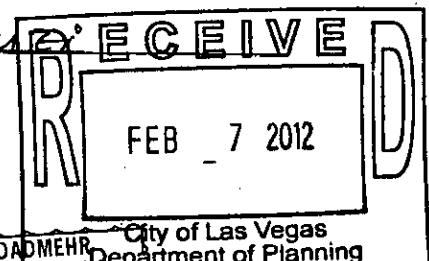
Signature of Property Owner: _____

Print Name: David Norouzi

Subscribed and sworn before me Peyman Dadmehr

This 30th day of January, 2012

Peyman Dadmehr
Notary Public in and for said County and State



From: tracy81273 <tracy81273@aol.com>
To: Tracy81273 <Tracy81273@aol.com>
Date: Sun, Jan 29, 2012 4:49 pm

Odds Ends R Us Liquidations

Justification Letter

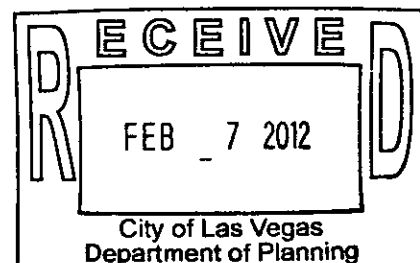
3281 N. Decatur Blvd #185

1. Property in question will be used as a retail outlet for second hand goods.

Example: Liquidated assets, auction goods Items sold will run from general house wares to collectibles.

2. (2) employees

3. Hours of Operation 9 am - 6 pm Monday thru Sunday



SUP-44551



January 5, 2012

Attn: David Norouzi
10866 Wilshire #400
Los Angeles CA 90024

LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN

ELIZABETH N. FRETWELL
CITY MANAGER

RE: 3281 North Decatur Boulevard
Las Vegas, NV 89130
Parcel # 138-12-813-001

Dear Mr. Norouzi:

The City of Las Vegas has changed the address associated with the above referenced parcel number.

Old
3281 North Decatur Blvd
Suite 160

New
3281 North Decatur Blvd
Suite 185

We will inform the various city departments of this action; as well as the utility companies, the U. S. Postal Service, and the Assessor's Office. Please keep a copy of this letter in your files. Please call me at 229-6894 if you have any questions. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to be "Mark Rex".

Mark Rex, Planner I
Department of Planning
City of Las Vegas

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

RECEIVED

FEB - 9 2012

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov



CITY OF LAS VEGAS
DEPARTMENT OF PLANNING

ENVIRONMENTAL IMPACT ASSESSMENT

Pursuant to Las Vegas Municipal Code (LVMC) Section 19.18.010(E) and Ordinance No. 5477 (May 1, 2002), the City of Las Vegas has determined that your project is subject to a Development Impact Notice and Assessment (DINA) and/or meets the criteria for a Project of Regional Significance as established by the Southern Nevada Regional Policy Plan.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project. The Environmental Impact Assessment forms attached herein must be prepared for each factor* and submitted for evaluation.

✓	1	Project Description
✓	2	Transportation and Traffic
✓	3	Schools
✓	4	Emergency Services
✓	5	Housing
✓	6	Mass Transit
✓	7	Open Space and Recreation
✓	8	Hydrology
✓	9	Water Quality
✓	10	Utilities and Service System

* Bold question numbers denote minimum NRS requirements



Applicant Information

The following Environmental Impact Assessment is being submitted for consideration for the proposed project known as _____, located at _____.

This document is being prepared by:

Company Name: ODDS ENDS RUS Liquidations
Address: 3281 N Decatur Unit 185
Las Vegas, NV 89130

Contact Person:

Name: Tracy Sargas
Title: owner
Telephone: 724-972-9309 (cell)
Fax: _____
E-mail: Tracy81273@aol.com

I certify that the statements made by me on this Environmental Impact Assessment represent my best professional judgment and are, to the best of my knowledge, true and complete and correct.

I understand that any misrepresentation or material omission of fact on this document may be considered as constituting grounds for an incomplete application and may uphold processing of the application until complete information is provided.

Signature: _____

Name:
Title:

Date: Feb 7, 11

1**Project Description**

1.a Project title: ODDS ENDS R US Liquidations

1.b Application #:

1.c Project location: 3281 N. Decatur^{unit 185} LV, NV 89130

1.d Project sponsor

Name: Tracy Sagers

Address: 5035 Drummond RD 89130

Telephone: 724-972-9309 (cell)

1.e G. P. designation:

1.f Zoning: C2

1.g Project description: N/A
Total site acreage:

i) Residential

Total units:

FAR per Lot: N/A

Lot Coverage per Lot:

ii) Hospitality

Total rooms: N/A

Total entertainment:

iii) Commercial

Total S.F.: N/A

Total FAR:

Total Lot Coverage:

1.h Briefly describe the project's surrounding land use and setting:

North: North Las Vegas Airport

East: commercial

South: Residential

West: commercial

1.i Project narrative (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach exhibits if necessary):

Narrative: N/A

2**Transportation and Traffic**

- 2.a Would the project include adequate emergency access pursuant to LVMC Fire and emergency response requirements? **Yes**

Explain:

Already Set Per LVMC Code

- 2.b Would the project provide adequate parking pursuant to LVMC parking requirements? **Yes**

Explain:

Already Set Per LVMC Code

- 2.c Would the project potentially increase hazards due to a design feature (e.g., sharp curves, dangerous intersection) or incompatible uses (e.g., commercial heavy equipment)?

Explain:

NO

- 2.d Would the site have sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed project? **Yes**

Explain:

Chuyenn/Denatur

- 2.e Insert a Table (attach additional sheets if necessary), indicating the number of vehicle trips that the proposal will generate, estimated by applying to the proposal the average trip rates for the peak days and hours established by the Institute of Transportation Engineers (or its successor).

Table:

N/A

3**Schools**

3.a What is the total number of proposed residential units?

Conventional units:

Age-restricted units:

None

3.b Based upon the student generation factors utilized by Clark County School District¹ what is the estimated number of pupils generated by the proposal which will be added to the enrollment of each of the following:

Elementary School

School name:

Distance from site²:

Number of pupils:

None

Junior High/Middle School

School name:

Distance from site²:

Number of pupils:

None

High School

School name:

Distance from site²:

Number of pupils:

None

¹ See Exhibit 1

² Attach a map indicating the primary route/distance from the proposed project main entry point to the school main access point.

4

Emergency Services

- 4.a Provide the distance from the site of the proposal to the nearest facilities from which firefighting, police and emergency services will be provided, including without limitation, facilities of a local government that are planned but not yet constructed, and facilities that have been included in a local government's plan for capital improvements prepared pursuant to NRS 278.0226.

Fire

Name of the facility: Fire Station 42 1331 West cheyenne
 Existing/proposed: Existing
 Distance from site³: 2 miles

Police

Name of the facility: Northwest Area command 9850 W cheyenne
 Existing/proposed: existing
 Distance from site³: 3 miles

Emergency Services

Name of the facility: Mountain View Hospital 3100 N. Tenaya
 Existing/proposed: existing
 Distance from site³: 1 mile

- 4.b Would the project result in increase for emergency services in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Explain: No

³ Attach a map indicating the primary route/distance from the proposed project main entry point to the firefighting, police, and emergency services main access point.

5**Housing**

- 5.a Would the proposed project conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, rural preservation area, or zoning ordinance)?

Explain:

No

- 5.b Would the project displace or eliminate existing housing?

Explain:

No

- 5.c What are the project characteristics, in terms of:

Density:

No

Height:

Gated community:

Housing Type:

Home ownership:

- 5.d Provide a brief statement setting forth the anticipated effects of the proposal on housing.

Explain:

None

6 Mass Transit

- 6.a Provide the distance from the site of the proposal to the nearest mass transit loading point.

Line number/name:

Location: Cheyenne/Deer Creek Stop 8072

Distance from site⁴: ON Street 500-600 ft

- 6.b Would the project result in change to the existing mass transit route, creation of a new line, or new loading points?

Explain: No

- 6.c Provide a brief statement setting forth the anticipated effects of the proposal on mass transit.

Explain: No Impact to Transit

⁴ Attach a map indicating the primary pedestrian route/distance from the proposed project main entry point to the nearest mass transit.

- 7.a Provide the distance from the site of the proposal to the nearest existing⁵ or planned⁶ (as identified by the City of Las Vegas Master Plan – Parks Element, 2000) recreation area as follows:

Neighborhood Park

Park name: Nicholas E. Flores SR Park

Location: Bala & Goldenst

Distance from site⁷: 1 miles

Community Park

Park name: children memorial Park

Location: Courant & Rainbow

Distance from site⁷: 2 miles

Regional Park

Park name: cheyenne/ Disney Park

Location: cheyenne Durango

Distance from site⁷: 4 miles

- 7.b Based upon 2000 US Census population table⁸, what would be the total population generated by the proposed project?

Explain: No change

- 7.c How much public parkland would be included in the proposed project?

Explain: NONE

- 7.d Provide a brief statement setting forth the anticipated effects of the proposal on open space and recreation.

Explain: No Impact

⁵ See Exhibit 2

⁶ See Exhibit 3

⁷ Attach a map indicating the straight distance from the project property line to the park property line.

⁸ See Exhibit 4

8**Hydrology**

8.a Would the proposed project alter the existing drainage pattern of the site area?

Explain: No

8.b What is the quantity of the increase in storm water runoff generated by the proposed project, estimated by using standards hydrologic method?

Explain: No

8.c Would the total quantity of water runoff after construction exceed the capacity of existing or planned storm water drainage system?

Explain: No

8.d Would the proposed project result in the construction of a new storm water drainage facility or the expansion of existing facilities? Is the storm water facility identified in the Neighborhood, City Wide or the Regional Master Plans?

Explain: No

8.e Would the proposed project place housing within a 100-year special flood hazard area as mapped on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM)?

Explain: No

8.f Would the proposed project require drainage mitigation to protect the development from interim flows?

Explain: No

8.g Would the proposed project development meet the Clark County Regional Flood Control District – Hydrologic Criteria and Drainage Design Manual requirements for street flow and dry lane criteria for both the existing and the ultimate flow conditions?

Explain: Yes

9**Water Quality**

- 9.a Would water service provided to the proposed project by an existing or planned facility?

Explain:

existing

- 9.b Would the proposed project result in the construction of a new water treatment facility or expansion of existing facilities?

Explain:

No

- 9.c What is the quantity of water that the project will demand during and after completion of the project, estimated by applying a demand factor established by the provider of water service or an equivalent calculation to the number of units that will be created by and the gross acreage that will be occupied by the project?

Explain:

No change

10**Utilities and Service System**

10.a Would the proposed project connect to an existing or planned sewer system?

Explain: existing Already Done

10.b What is the quantity of sewage affluent generated by the proposed project, estimated by applying a sewage generation factor established by the provider of sewer service or an equivalent calculation to the number of units or area of indoor floor space that would be created by the project?

Explain: N/A

10.c Would the total quantity of sewage effluent generated by the proposed project exceed the capacity of existing or planned sewer system and wastewater treatment facility?

Explain: NO

10.d Would the proposed project generate any industrial waste?

Explain: NO

EXHIBIT 1

Clark County School District
April 9, 2002

2001-2001 Valley-wide Student Yields

Grade	Student Yield	
	Single-Family	Multi-Family
K-5	0.245	0.163
6-8	0.123	0.066
9-12	0.137	0.062
P & 13	0.004	0.002

Single-Family units include mobile homes and townhouse.

Multi-Family units include a combination of apartments, plexes, and condominiums.

P & 13: Pre-school and Sunset School.

EXHIBIT 2

City of Las Vegas
Master Plan – Parks Element
March 15, 2000

Existing City Parks
(Map 1, pp. 11)

Parks Name	Classification			Acres
	N	C	R	
Aloha Shores Park	X			4.03
Angel Park	X			6.11
AnSan Sister City Park	X			7.83
Baker Park	X			6.78
Bob Baskin Park	X			6.18
Bruce Trent Park	X			10.00
Buckskin Basin	X	X		39.17
Charleston Heights Park	X			3.90
Charleston Heights	X			7.12
Chester A. Stupak Park	X			1.23
Children's Mem. Park	X	X		29.82
Coleman Park	X			4.00
Cragin Park	X			3.27
Dexter Park	X			4.70
Doolittle Park	X			15.28
Ed Fountain Park	X	X		29.82
Ethel Pearson Park	X			2.59
Fitzgerald Tot Lot	X			0.70
Freedom Park	X	X	X	68.08
Hadland Park	X			13.64

Parks Name	Classification			Acres
	N	C	R	
Heers Park	X			7.07
Hills Park	X			13.50
Huntridge Circle Park	X			3.14
James Gay III Park	X			7.18
Jaycee Park	X			18.40
Lorenzi Park	X	X	X	59.37
Lubertha Johnson Park	X			1.60
Mary Dutton Park	X			0.20
Mirabelli Park	X			1.41
Pueblo Park(s)	X			5.09
Rafael Rivera Park	X			9.28
Rainbow Family Park	X	X		26.48
Elkhorn/Durango Fields	X	X		
Rotary Park	X			3.34
Stewart Place Park	X			3.45
Wayne Bunker Family Pk	X			13.75
W. Charleston Lions Park	X			4.50
Wildwood Park	X			1.24
Woofter Family Park	X			9.22
Clarence Ray Park	X			0.10

N: Neighborhood Park

C: Community Park

R: Regional Park

EXHIBIT 3

City of Las Vegas
Master Plan – Parks Element
March 15, 2000

Planned City Parks
(Map 12, pp. 49)

Parks Name	Classification			Acres
	N	C	R	
Fort Apache/Log Cabin Park	X			TBD
Jones/Iron Mountain Park	X	X	X	TBD
Grand Canyon/Bardley Park	X	X		40.0/34.0
Fort Apache/Elkhorn Park	X			TBD
Elkhorn/Durango Ballfields	X	X		TBD
Deer Springs Park	X	X		110.0/40.0
Deer Springs/Thom Park	X	X		TBD
Regional Sports Park	X	X		60.00
Ann/Cimmaron Park	X			2.50
Cheyenne/Jensen	X	X		20.00
Metro Park	X			17.00
Alexander/Diamond Ridge Park	X			TBD
Cheyenne/Durango Park	X	X	X	5.0/61.5
Northwest Soccer Park	X	X		TBD
Summerlin Sports Park	X			TBD
Pioneer/Silver Ridge Park	X			TBD
AnSan Sister City Park	X			TBD
Buffalo/Oakey Park	X	X		42.5/30.0
Pioneer/O'Bannon Park	X			TBD
Oakey/Redwood Park	X	X		28.00
Heritage Park	X			TBD
Dog Fanciers Park	X			0.5/6.0
Bonanza/Honolulu Park	X			TBD

N: Neighborhood Park C: Community Park R: Regional Park

EXHIBIT 4

US Census Bureau
2000

Persons per Units by Units in Structure by Owner and Renter Occupied
(City of Las Vegas, US Census Bureau, 2000 SF3)

Owner Occupied	Persons per Unit
Single Family Detached	2.91
Single Family Attached (Townhouse)	2.15
Condominiums	
2 to 19 units	1.97
20 to 49 units	1.66
50 or more units	1.64
Mobile Home or Trailer	2.28

Renter Occupied	Persons per Unit
Single Family Detached	3.28
Single Family Attached (Townhouse)	2.78
Apartments	
2 to 19 units	2.40
20 to 49 units	2.08
50 or more units	1.95
Mobile Home or Trailer	2.29

RED FEATHER PROPERTY, LLC**Business Entity Information**

Status:	Active	File Date:	2/09/2010
Type:	Domestic Limited-Liability Company	Entity Number:	E0053312010-6
Qualifying State:	NV	List of Officers Due:	2/29/2012
Managed By:	Managers	Expiration Date:	
NV Business ID:	NV20101101024	Business License Exp:	2/29/2012

Registered Agent Information

Name:	SILVER STATE LEGAL	Address 1:	4625 WEST NEVSO DRIVE SUITE 2 & 3
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89103
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Commercial Registered Agent - Other		
Jurisdiction:	NEVADA	Status:	Active

Financial Information

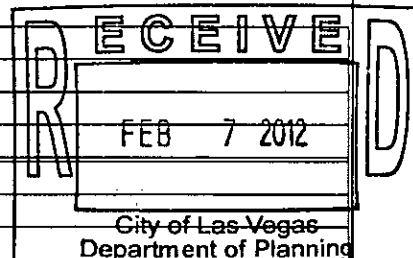
No Par Share Count:	0	Capital Amount:	\$ 0
No stock records found for this company			

Officers☐ Include Inactive Officers

Manager - DAVID NOROUZI			
Address 1:	10866 WILSHIRE BLVD	Address 2:	SUITE 400
City:	LOS ANGELES	State:	CA
Zip Code:	90024	Country:	USA
Status:	Active	Email:	
Manager - HOOSHANG NOWROOZI			
Address 1:	17881 PUERTO VALLARTA	Address 2:	
City:	ENCINO	State:	CA
Zip Code:	91316	Country:	USA
Status:	Active	Email:	

Actions\Amendments

Action Type:	Articles of Organization		
Document Number:	20100080785-91	# of Pages:	2
File Date:	2/09/2010	Effective Date:	
(No notes for this action)			
Action Type:	Initial List		
Document Number:	20100145853-09	# of Pages:	1
File Date:	3/09/2010	Effective Date:	
(No notes for this action)			



APN # 138-12-813-001

[RECORDING REQUESTED BY:]

Trustee Corps
c/o Stewart Title of California, Inc.
30 Corporate Park Dr., Suite 400
Irvine, CA 92606

[WHEN RECORDED MAIL TO
AND SEND TAX STATEMENTS TO:]

LAW OFFICES OF DAVID N. NOROUZI
10866 Wilshire Blvd., Suite 400
Los Angeles, CA 90024

This is certified to be a true and accurate
copy of that certain instrument recorded

57-10 as instrument No. 20100507-0001719
in CLARK, NV County.

The undersigned hereby affirms that there is no
Social Security number contained in this document.

40-

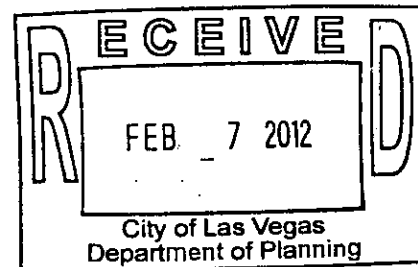
[SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY]

Trustee Sale# NV0227468 Loan # BOUCH-LV1 Order# 3206-154073

TRUSTEE'S DEED UPON SALE

The undersigned grantor declares:

- 1) The Grantee herein WAS the foreclosing beneficiary.
- 2) The amount of the unpaid debt together with costs was: \$1,018,481.67
- 3) The amount paid by the Grantee at the trustee sale was: \$1,018,481.67
- 4) The documentary transfer tax is \$5,194.35
- 5) Said property is in the city of LAS VEGAS
- 6) A.P.N. 138-12-813-001



and MTC FINANCIAL, INC. dba TRUSTEE CORPS (herein called Trustee), as the duly appointed Substituted Trustee under the Deed of Trust hereinafter described, does hereby grant and convey, but without covenant or warranty, express or implied, to RED FEATHER PROPERTY, LLC, A NEVADA LIMITED LIABILITY COMPANY (herein called Grantee), all of its right, title and interest in and to that certain property situated in the County of Clark, State of Nevada, described as follows:

LOT ONE (1) OF RED FEATHER SHOPPING CENTER, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 89 OF PLATS, PAGE 86, IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA.

RECITALS: This conveyance is made pursuant to the powers conferred upon Trustee by that certain Deed of Trust dated 03/07/2003, and executed by NAMCO 8 LLC, A DELAWARE LIMITED LIABILITY COMPANY as Trustor, and Recorded on 04/07/2003 as Document No. 20030407-02264 of Official Records of Clark County, Nevada, and after fulfillment of the conditions specified in said Deed of Trust authorizing this conveyance.

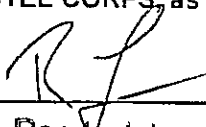
Default occurred as set forth in a Notice of Default and Election to Sell which was recorded in the Office of the Recorder of said County. All requirements of law regarding the mailing, personal delivery, and publication of copies of the Notice of Default and Election to Sell Under Deed of Trust and of the Notice of Trustee's Sale and the posting of copies of said Notice of Trustee's Sale have been complied with.

Trustee Sale# NV0227468 Loan # BOUCH-LV1 Order# 3206-154073

Trustee, in compliance with said Notice of Trustee's Sale and in exercise of its powers under said Deed of Trust sold the herein described property at public auction on 03/02/2010. Grantee, being the highest bidder at said sale, became the purchaser of said property for the amount bid being \$1,018,481.67 in lawful money of the United States, or by credit bid if the Grantee was the beneficiary of said Deed of Trust at the time of said Trustee's Sale.

Dated: 03/02/2010

TRUSTEE CORPS, as Successor Trustee

By: 
Rande Johnsen
President

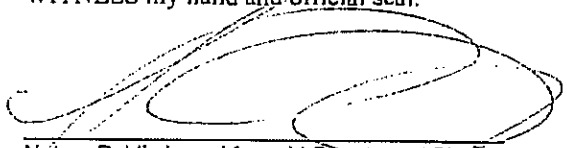
State of CALIFORNIA

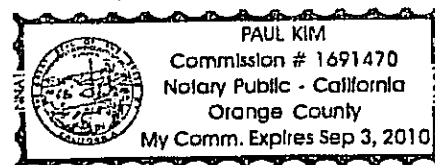
County of ORANGE

On 03/02/2010 before me, Paul Kim, a notary public, personally appeared Rande Johnsen who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


Notary Public in and for said County and State



STATE OF NEVADA
DECLARATION OF VALUE FORM

1. Assessor Parcel Number(s)

- a. 138-12-813-001
b. _____
c. _____
d. _____

2. Type of Property:

- a. ☐ Vacant Land b. ☒ Single Fam. Res.
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg f. ☐ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. a. Total Value/Sales Price of Property
b. Deed in Lieu of Foreclosure Only (value of property)
c. Transfer Tax Value:
d. Real Property Transfer Tax Due

\$ 1,018,481.67

\$ 1,018,481.67
\$ 5,194.35

4. If Exemption Claimed:

- a. Transfer Tax Exemption per NRS 375.090, Section _____
b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____

Capacity:

Signature: _____

Capacity:

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: Trustee Corps
Address: 30 Corporate Park Dr., Suite 400
City: Irvine
State: CA Zip: 92606

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: Red Feather Property, LLC
Address: 10866 Wilshire Blvd., #400
City: Los Angeles
State: CA Zip: 90024

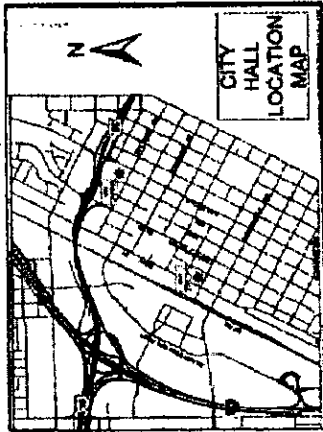
COMPANY REQUESTION RECORDING

Print Name: _____
Address: _____
City: _____

Escrow #: _____
State: _____ Zip: _____

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☒ I SUPPORT
this Request

☐ I OPPOSE
this Request

Please use available blank space on card for your comments.

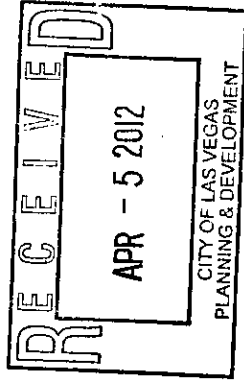
SUP-44551

Planning Commission Meeting of 4/10/2012.

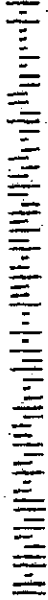
PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
02 1M
\$ 00.424
0004279218 MAR 29 2012
MAILED FROM ZIP CODE 89101



Case: SUP-44551
13907415286
SNODGRASS JAMES D
3232 FEATHERING CT
NO LAS VEGAS NV 89084-2461 89084-24

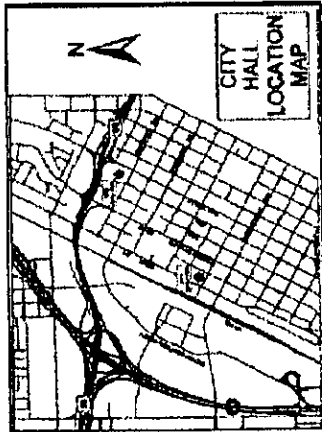


46 89084 2461 89084

29A

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested **Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☒ I SUPPORT this Request

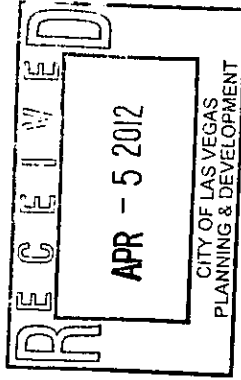
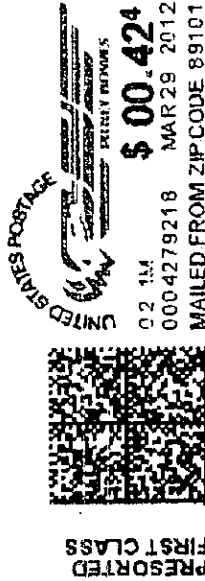
☐ I OPPOSE this Request

Please use available blank space on card for your comments.

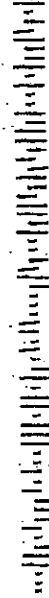
SUP-44551
Planning Commission Meeting of 4/10/2012

45 89084 89084

29A

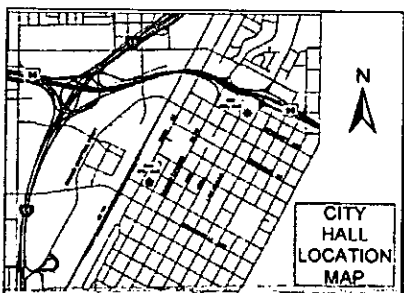


Case: SUP-44551
13907415328
SNODGRASS JAMES & RENEE
3232 FEATHERING CT
NO LAS VEGAS NV 89084-2461 89084-24



City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

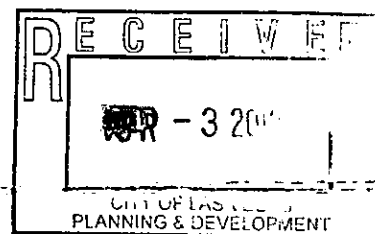
SUP-44551

Planning Commission Meeting of 4/10/2012

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
02 1M
0004279218
\$ 00.42⁴
MAR 29 2012
MAILED FROM ZIP CODE 89101



Case: SUP-44551
13907415084
TOMAS NUMERIANO & LILIA
83 EL CORAZON CT
HENDERSON NV 89074-8113 89074-8113

42 8907411 89074



29A

COPY

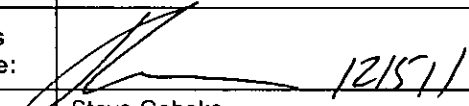
Pre-Application Conference		City Of Las Vegas Department Of Planning Submittal Checklist (Cont.)					
Item Required							
YES	NO	APPLICATION PACKET (ALL ITEMS IN THIS SECTION ARE REQUIRED FOR EACH APPLICATION TYPE, unless indicated otherwise)			Fees		
			Appl. Type	Application	Notification	Recordation	Sub-Total
☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	SUP	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00
☒	☐	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots		\$	\$	\$	\$
☒	☐	Detailed justification letter (the same letter addressing all applications, included with each application)		\$	\$	\$	\$
☒	☐	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)		\$	\$	\$	\$
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)		\$	\$	\$	\$
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)		\$	\$	\$	\$
☐	☒	Copy of Business License(s) – requested, but submittals will be accepted without		\$	\$	\$	\$
☐	☒	Cop(ies) of approval letter(s) for	Subtotal:				\$
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) – Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500		\$	—		\$
☐	☒	Photo Reproduction of the Color & Materials Board (SDR applications only)	Grand Total All Fees:				\$
REQUIRED DRAWINGS (INCLUDES TOTAL NUMBER REQUIRED FOR ALL APPLICATION TYPES): MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)							
☒	☐	SITE PLAN	TOTAL REQUIRED FOR ALL APPLICATIONS				
		North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):		6		
		All property lines and present dimensions labeled	Colored, Rolled Plans:		1		
		All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application):		1		
		All adjacent existing land uses and street names labeled	NOTES:				
		All points of ingress and egress shown					
		ADA accessibility requirements shown/labeled					
		Parking standard(s) utilized:					
		Parking space count and typical dimensions labeled					
		# regular + [30% or less of total] # compact + # handicap = Total					
		For residential subdivisions, provide a connectivity calculation					
		All free-standing sign locations shown and heights and sizes noted					
☐	☒	LANDSCAPE PLAN	TOTAL REQUIRED FOR ALL APPLICATIONS				
		North arrow, scale, and vicinity map	Folded Plans (1 per application):		0		
		All property lines and present dimensions labeled	Colored, Rolled Plans:		0		
		All required perimeter landscape planters shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):		0		
		All required parking lot fingers/islands shown	NOTES:				
		Quantity, size, species/variety of all trees, shrubs, and ground cover					
☐	☒	BUILDING ELEVATIONS	TOTAL REQUIRED FOR ALL APPLICATIONS				
		Scale and building dimensions labeled	Folded Plans (1 per application):		0		
		North, south, east, and west elevations of all buildings	Colored, Rolled Plans:		0		
		All building materials and colors noted	Reduced Copy (8-1/2"x11" B/W; 1 per application):		0		
		All wall sign locations shown and sizes noted	NOTES:				
☒	☐	FLOOR PLANS	TOTAL REQUIRED FOR ALL APPLICATIONS				
		Scale and building dimensions labeled	Folded Plans (1 per application):		0		
		North arrow and scale	Rolled Plans:		0		
		All building entrances/exits shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):		0		
		Use of all rooms noted/labeled	NOTES:				
		Maximum Occupancy (per I.B.C.)					
		Seating Capacity (where applicable)					

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the date of Planning

City of Las Vegas
Department of Planning

Pre-Application Conference	City Of Las Vegas Department Of Planning Submittal Checklist (Cont.)
Item Required	

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

APN(s):	13812813001	Application Type:	Special Use Permit
Location:	3281 N Decatur	Application Purpose:	Secondhand Dealer
Ward:	6 - Ross	Pre-App Meeting Date:	12/15/11
Planner's Signature:	 12/15/11	Submittal Deadline:	12/19/11 - no later than 2:00 pm
Planner:	Steve Gebeke, Planning Supervisor - 229-5410	Earliest PC / CC Meeting Dates:	02/14/12 PC - 03/21/12 CC (Cycle 2)

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

2012 PLANNING COMMISSION MEETING SCHEDULE

Generally, the Planning Commission meetings are held on the second Tuesday of each month.

*Denotes a GPA Cycle

Pre-Application Conference Request Deadline	Application Closing Day	Planning Commission Meeting Date	City Council Meeting Date
November 3, 2011	November 23, 2011	January 10, 2012*	February 15, 2012
<u>December 1, 2011</u>	<u>December 19, 2011</u>	<u>February 14, 2012</u>	<u>March 21, 2012</u>
January 5, 2012	January 26, 2012	March 13, 2012	April 18, 2012
February 2, 2012	February 23, 2012	April 10, 2012*	May 16, 2012
March 1, 2012	March 22, 2012	May 8, 2012	June 6, 2012
April 5, 2012	April 26, 2012	June 12, 2012	July 18, 2012
May 3, 2012	May 24, 2012	July 10, 2012*	August 15, 2012
June 7, 2012	June 28, 2012	August 14, 2012	September 19, 2012
July 5, 2012	July 26, 2012	September 11, 2012	October 17, 2012
August 2, 2012	August 23, 2012	October 9, 2012*	November 7, 2012
September 6, 2012	September 27, 2012	November 13, 2012	December 19, 2012
October 4, 2012	October 25, 2012	December 11, 2012	January 16, 2013
November 1, 2012	November 21, 2012	January 8, 2013*	February 20, 2013
November 29, 2012	December 20, 2012	February 12, 2013	March 20, 2013

**Applications MUST BE submitted by 2:00 P.M. on CLOSING DAYS,
or by 4:00 P.M. on NON-CLOSING DAYS. Call (702) 229-6301 for additional information**

S103

City Of Las Vegas Department Of Planning Pre-Application Conference Notes

**C
Y
C
L
E

2**

Project Name: Odds Ends R Us Liquidation

APN(s):	13812813001	Pre-app Date:	12/15/11
Location:	3281 N Decatur	Meeting Location:	DSC Conference Room 3A - 321
Ward #:	6 - Ross	Acres:	
		Time:	9:00 a.m.

Ownership Info:	Red Feather Property, LLC	Last Change of Ownership Date:	2010
	Phone: (702)-	Fax: (702)-	Email:
Applicant Info:			
	Phone: (702)-	Fax: (702)-	Email:
Representative Info:	Tracy Sagas (Alex Sagas)		
	Phone: (724)-972-9310	Fax: (702)-	Email: tracy81273@aol.com

Use:	Existing:	Office
	Proposed:	Secondhand Dealer
General Plan:	Existing:	GC
	Proposed:	No change proposed
Zoning:	Existing:	C-2
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	Airport Overlay (35')	
	Special Land Use Designation (per plan, if applicable): N/A	

☒ **Meeting**

 ☐ **Email**

 ☐ **Conversation Record**

 ☐ **Telephone Record**

Between CLV Planning Representative: Steve Gebeke, Planning Supervisor (229-5410 Office / 385-7268 Fax / sgebeke@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1.				
2.				
3.				
4.				
5.				
6.				
7.				
8.	CLV - Planning			
9.	CLV - Planning / Business License	229-6321	383-0769	
10.	CLV - PW - Dev Co	229-6578	474-7599	
11.	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13.	CLV - Building and Safety	229-6251	382-1731	
14.	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Economic Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

City of Las Vegas Department of Planning Pre-Application Conference Notes

Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☒ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. Applicant proposes a Secondhand Dealer in an existing commercial center.
2. The suite address provided (#160) is not a valid suite number, and building permits will be required to create the space.
3. In the justification letter, please address hours of operation and how deliveries will be made to/from the store, i.e. deliveries accepted only during business hours.

~~A parking calculation is required.~~ SITE IS A SHOPPING CENTER SITE w/ PARKING @ 1/250 SF FOR ALL USES.