



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: SUP-45562

MEETING DATE: 8/14/12 PC

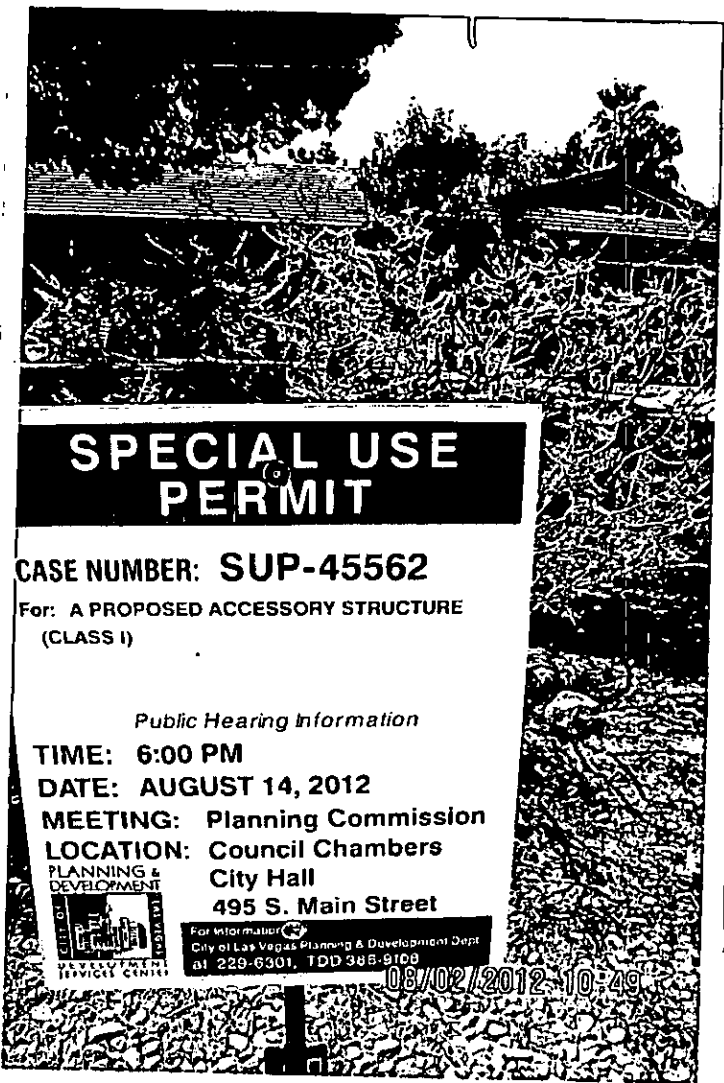
Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.




Signature

8-2-12
Date

This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



SPECIAL USE PERMIT

CASE NUMBER: SUP-45562

**For: A PROPOSED ACCESSORY STRUCTURE
(CLASS I)**

Public Hearing Information

TIME: 6:00 PM

DATE: AUGUST 14, 2012

MEETING: Planning Commission

LOCATION: Council Chambers

**PLANNING &
DEVELOPMENT**

City Hall

495 S. Main Street

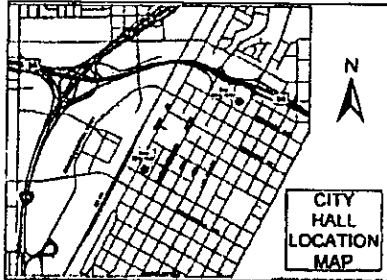


For information:
City of Las Vegas Planning & Development Dept
at 229-6301, TDD 388-9108

08/02/2012 10:49

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-45562

Planning Commission Meeting of 8/14/2012

127 FROM 11 95834



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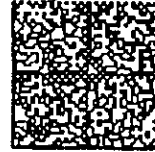
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SUP-45562

Planning Commission Meeting of 8/14/2012

89 FROM 11 91765

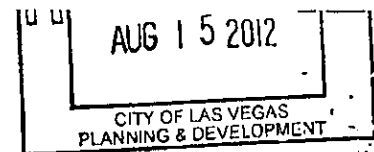
PRESORTED
FIRST CLASS



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0004279218 AUG02 2012
MAILED FROM ZIP CODE 89101



13811517081 Case: SUP-45582
DURAND PIERRE
24 LYLEWOOD CT
SACRAMENTO CA 95834-3827 95834-382

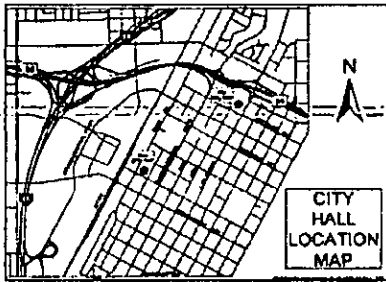


13811511002 Case: SUP-45562
BATTAGLIA LIVING TRUST
BATTAGLIA GUY J & CATHERINE TRS
24111 DECORAH RD
DIAMOND BAR CA 91765-1412 91765-141



City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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☐

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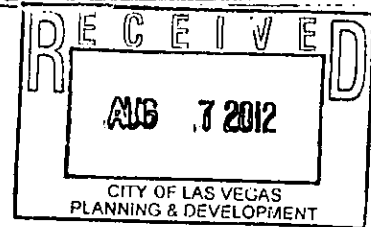
SUP-45562

Planning Commission Meeting of 8/14/2012

PRESORTED
FIRST CLASS

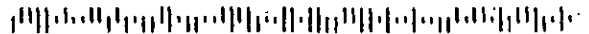


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0004279218 AUG 02 2012
MAILED FROM ZIP CODE 89101



Case: SUP-45562
13811610088
PEILA PETE & JOSEPHINE TRUST
PEILA PETE A & JOSEPHINE TRS
6317 CANYON RIDGE DR
LAS VEGAS NV 89108-5229 89108-5229

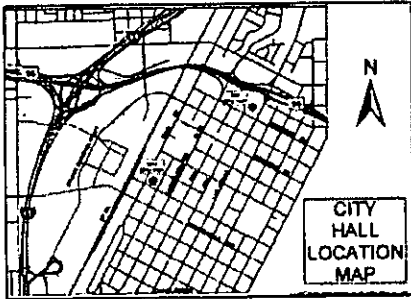
24 FRDGN11 89108



29

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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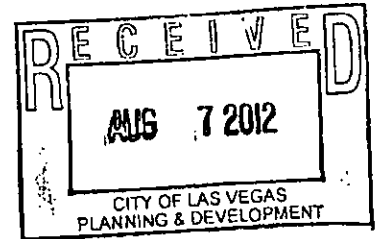
SUP-45562

Planning Commission Meeting of 8/14/2012

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FIRST CLASS



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MAILED FROM ZIP CODE 89101



13811510020 Case: SUP-45562
ZICARI FRANK & AUDREY
6316 LORILLE LN
LAS VEGAS NV 89108-5211 89108-5211

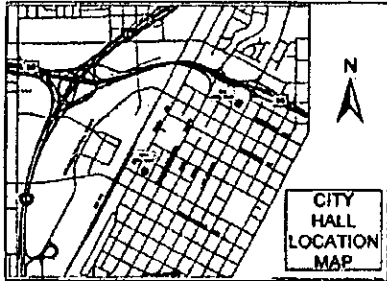
24 FRDGN11 89108



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City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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SUP-45562

Planning Commission Meeting of 8/14/2012

24 FROM 11 89108



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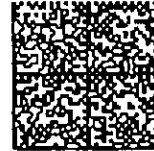
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Planning Commission Meeting of 8/14/2012

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PRESORTED
FIRST CLASS



UNITED STATES POSTAGE

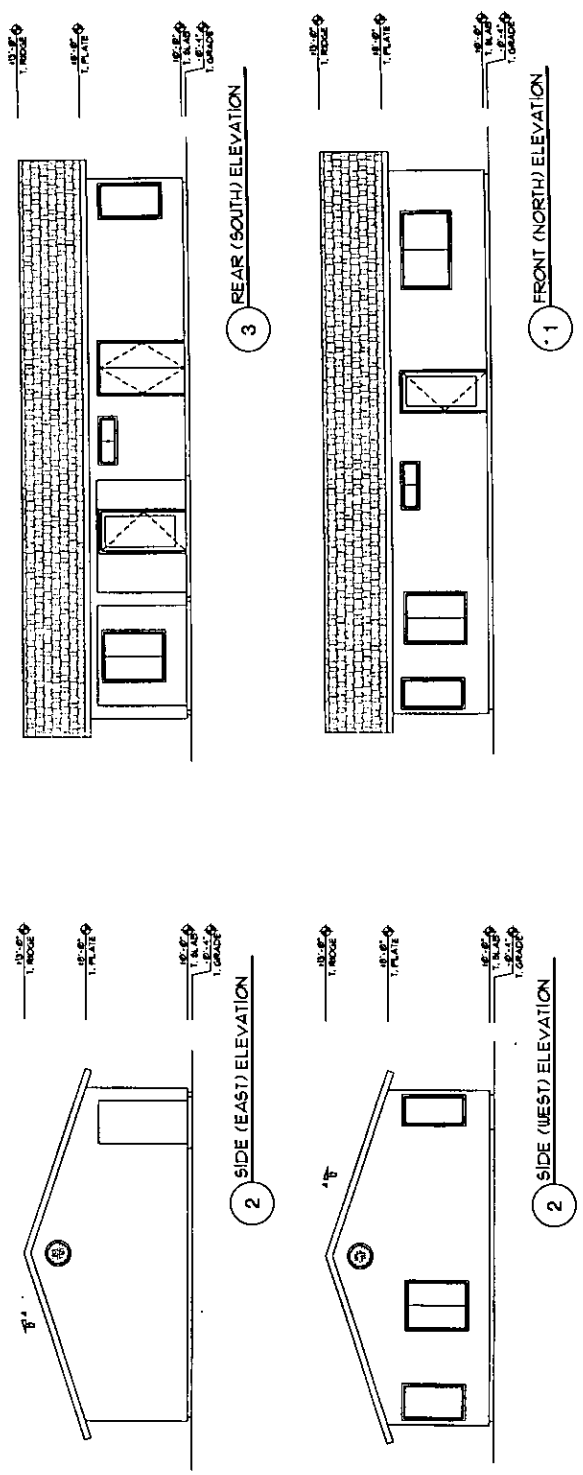
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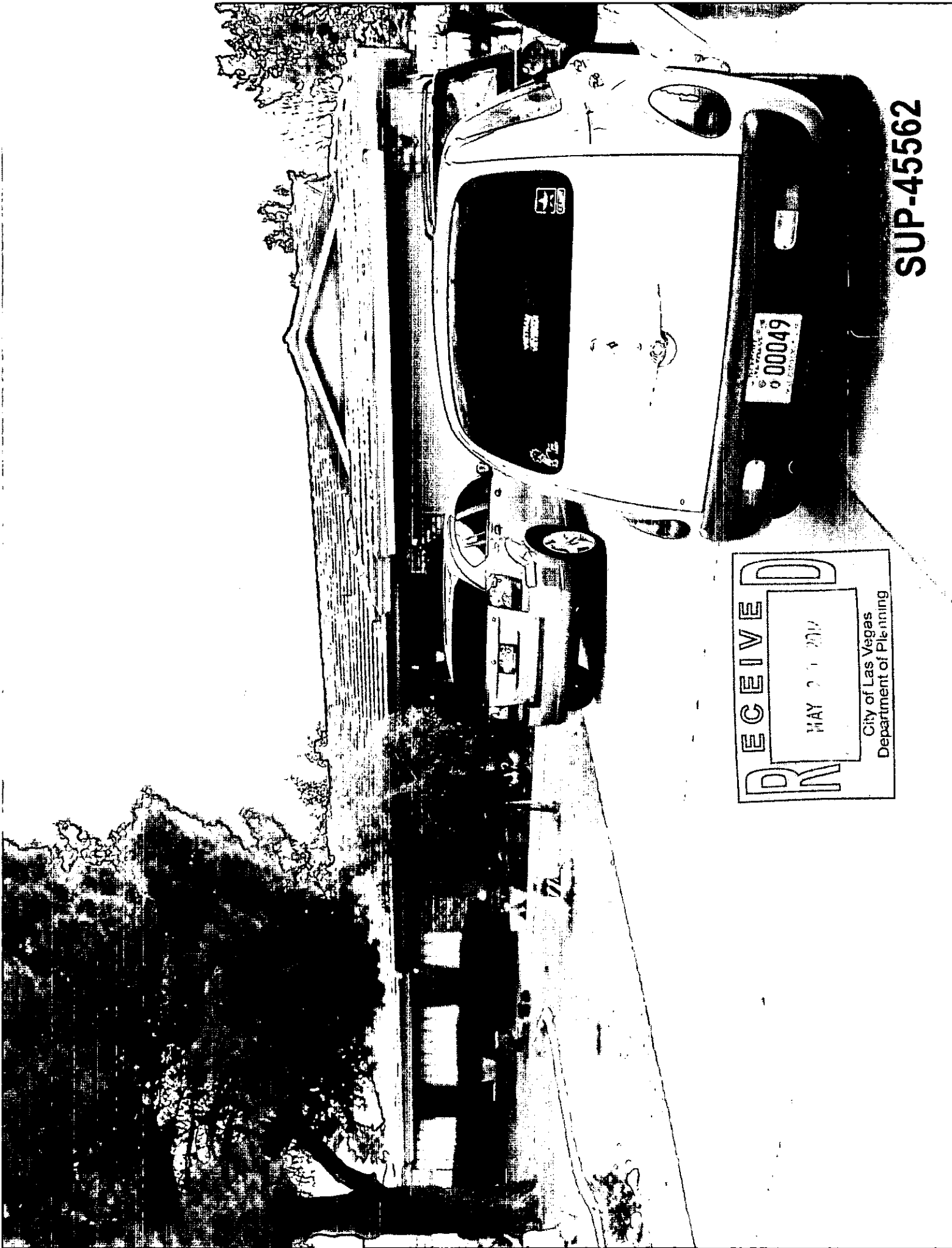


13811511022 Case: SUP-45562
RIVERS COLLEEN A
6181 FOXCROFT AVE
LAS VEGAS NV 89108-5117 89108-5117

13811517096 Case: SUP-45562
HUGHES KAREN
3920 LAZY PINE ST #103
LAS VEGAS NV 89108-5190 89108-5190

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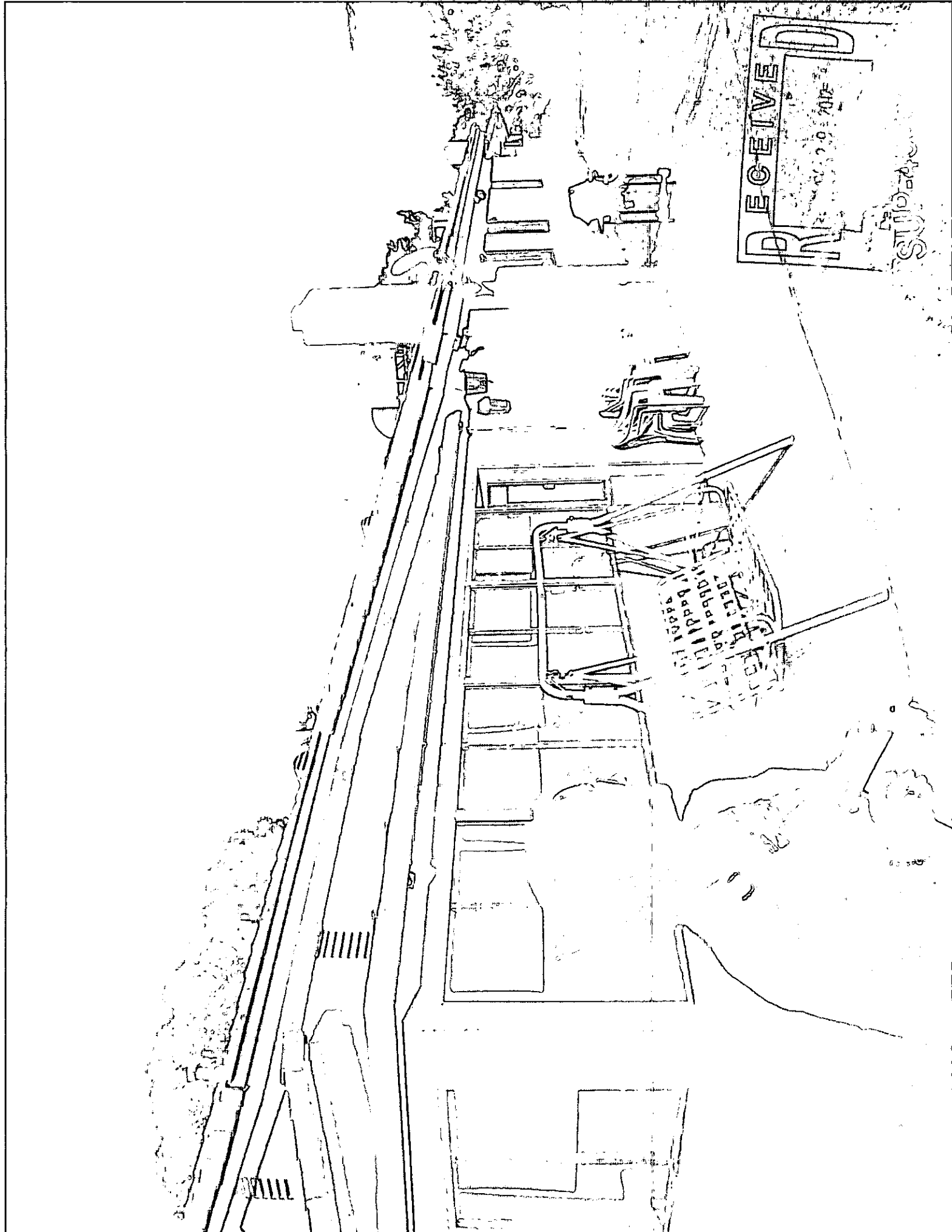


RECEIVED

MAY 21 2014

City of Las Vegas
Department of Planning

SUP-455562

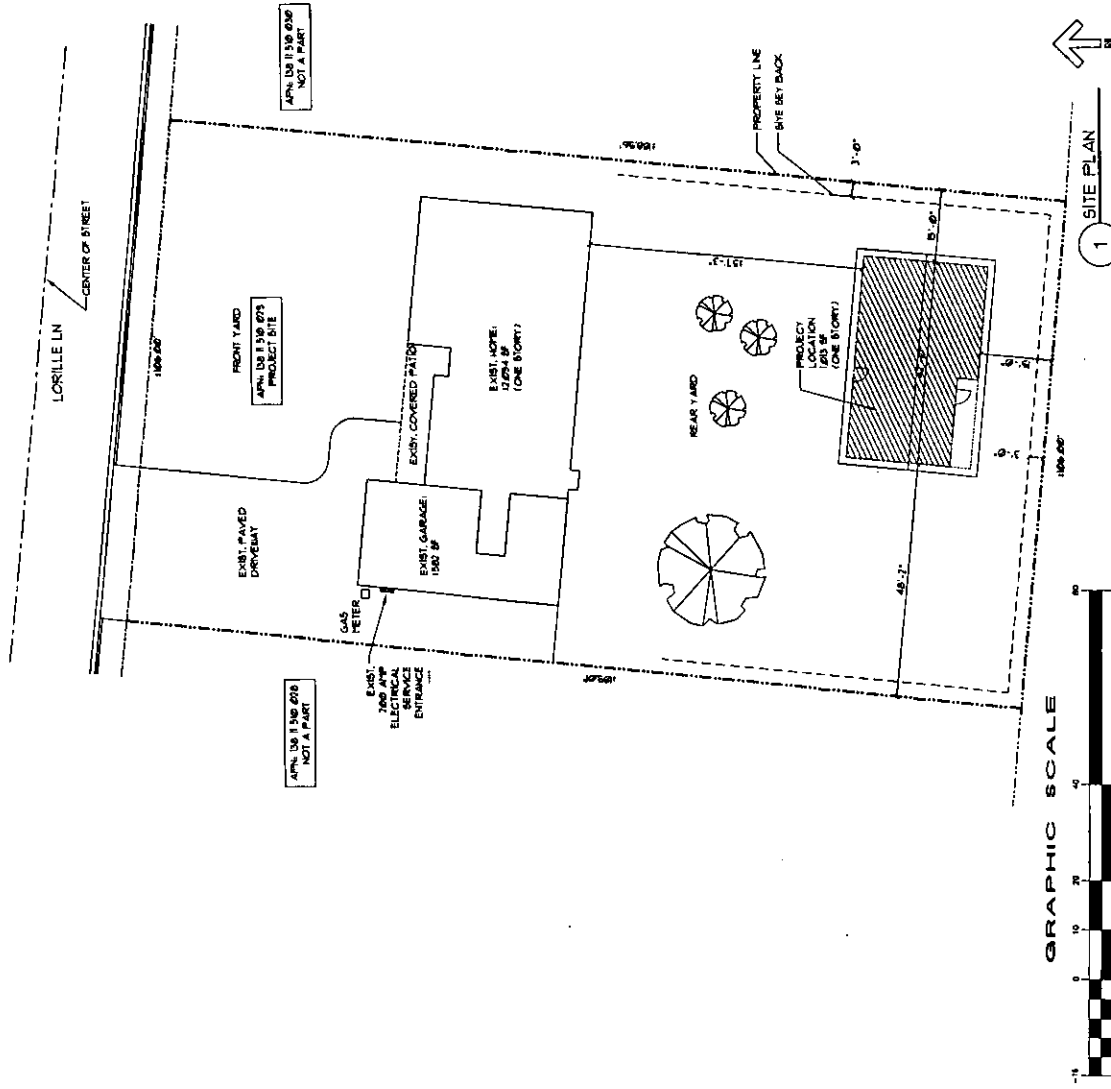


RECEIVED
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RECEIVED
STUDIOS

GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES (U.S.) - 800-4-A-SHIELD PRIOR TO EXCAVATION.
2. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE ENGINEERED GRADING PLAN AND THE INTERNATIONAL RESIDENTIAL CODE AS AMENDED BY THE SOUTHERN NEVADA AMENDMENTS.
3. ALL GRADING SHALL BE DONE TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION. SHALL THE GRADY AWAY FROM FOUNDATION SHALL BE A MINIMUM OF 6 INCHES WITHIN THE PERMITTED GRADING OR SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. THESE SLOPES MUST BE MAINTAINED THROUGHOUT THE PROJECT.
4. THE FINISH FLOOR OF THE ACCESSORY STRUCTURE IS TO MATCH THE FINISH FLOOR OF THE EXISTING HOME.



GRAPHIC SCALE



1 SITE PLAN



A1.0

MAJESTIC GENERAL CONTRACTORS
 JERRY SCHILL
 TEL: 702-735-1000
 4000 N. RANCHO DRIVE
 SUITE 100
 LAS VEGAS, NV 89130

DETACHED ACCESSORY STRUCTURE
 6233 LORILLE LN
 LAS VEGAS, NV
 APR. 08 11 30 079

SITE PLAN

RECEIVED

MAY 29 2012

City of Las Vegas
 Department of Planning

SUP-455562

GENERAL CEILING PLAN NOTES:

- COORDINATE WALL LOCATION OF ALL LIGHT FIXTURES, DIFFUSERS, ETC. WITH OWNER.
- AT DOOR / ARCH LOCATIONS PROVIDE (2) LAYERS OF 7" STYRENE BOARD.
- PROVIDE FORTHTIME RESISTANT GYPSUM BOARD AT ALL BATHROOM CEILING LOCATIONS.
- PROVIDE 7" DENS-GUAM GOLD INSULATION (OR 7" CD) AT ALL EXTERIOR ROOF AND CEILING CONDITIONS.
- THINSET CEILING HEIGHT IN BATH AND POWDER ROOMS TO BE 7'-0" AT THE LOWEST POINT.
- SEE ELECTRICAL POWER PLANS FOR HARD WIRE INDOOR DETECTOR / CARBON MONOXIDE DETECTOR LOCATIONS.

GENERAL FLOOR PLAN NOTES:

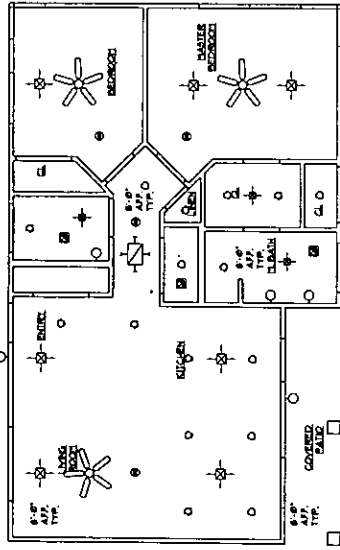
- PROVIDE PRIVACY GLASS AT ALL BEDROOM / BATHROOM DOORS UNLESS NOTED OTHERWISE.
- ALL DOORS SHALL BE A MINIMUM OF 4" TYPICAL INTERIOR WALL UNLESS NOTED OTHERWISE. DOORS WITHOUT DIMENSIONS SHALL BE FIELD AT THE PROPERTY PERMITTED.
- PROVIDE CLASH-GLASS GLASS DOOR / WALLS TO BE USED PROVIDE FORTHTIME RESISTANT GYPSUM BOARD AT ALL BATHROOM AND KITCHEN WALLS.
- PROVIDE 7" DENS-GUAM GOLD INSULATION (OR 7" CD) AT ALL EXTERIOR WALLS AND CEILING / ROOF CONDITIONS.
- PROVIDE SAFETY GLASS PER APPLICABLE IBC AND AS LOCATED ON THE PLANS.
- PROVIDE 7" STY. BO. AT ALL LOCATIONS UNLESS NOTED OTHERWISE.

EXTERIOR LEGEND:

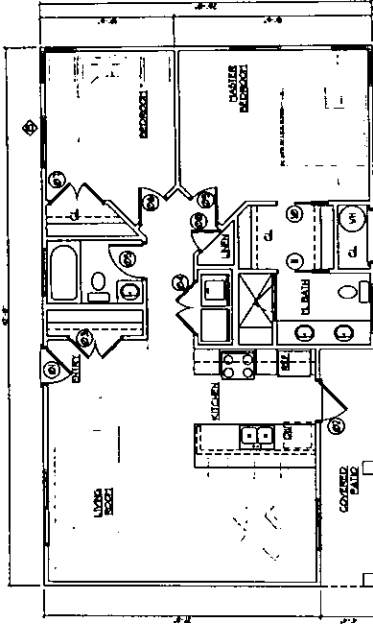
- DOOR TAG (SEE SHEET A201)
- WINDOW TAG (SEE SHEET A201)

- PROVIDE HORIZONTAL AND VERTICAL FIRE BLOCKING IN ACCORDANCE WITH IBC.
- AT NEW / EXISTING SYSTEM LOCATIONS PROVIDE 7" GULF INSULATION SYSTEM WITH 2" MIN. OF 4" TYPICAL GULF INSULATION ABOVE EXISTING SYSTEM PER IBC.
- FIELD GULF SYSTEM LOCATIONS AT ALL EXTERIOR DOORS, LANDINGS SHALL NOT BE MORE THAN 1" MIN. BELOW THE TOP OF THE DOOR THRESHOLD.
- ALL FINISHES TO BE COORDINATED WITH OWNER.
- PROVIDE 1/2" PLY. GULF ADHESIVE SUGGESTED ASPHALT BRICK FLASING (TYP. ALL BRICKS).
- BATHROOM AND SHOWER FLOORS AND WALLS ABOVE BATHROOM WITH INSTALLED SHOWER HEADS AND 7" BRICKS OVER GULF SHALL BE 1/2" MIN. EXTEND TO A HEIGHT OF NOT LESS THAN 1" ABOVE THE FLOOR FINISH (MAY).

GRAPHIC SCALE



2 REFLECTED CEILING PLAN



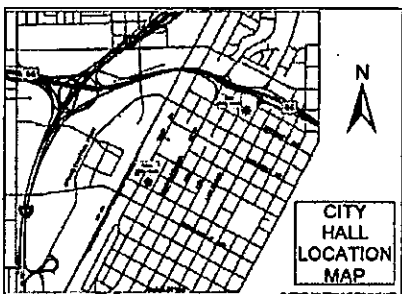
1 FLOOR PLAN

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MAY 29 2012
SUP-45562
City of Las Vegas
Department of Planning

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



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☐ I SUPPORT
this Request

☒ I OPPOSE
this Request

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SUP-45562

Planning Commission Meeting of 8/14/2012

PRESORTED
FIRST CLASS



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AUG - 8 2012

Case: SUP-45562
13811514019
DELCARLO VERNON & GEORGIA L
3800 OLD ORCHARD CT
LAS VEGAS NV 89108-5243 89108-5243

24 FROM 11 89108



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LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

September 12, 2012

Mr. Roger Woder
6233 Lorille Lane
Las Vegas, Nevada 89101

**RE: ABEYANCE - SUP-45562 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF SEPTEMBER 11, 2012**

Dear Mr. Woder:

Your request for a Special Use Permit FOR A PROPOSED ACCESSORY STRUCTURE (CLASS I) at 6233 Lorille Lane (APN 138-11-510-029), R-E (Residence Estates) Zone, Ward 6 (Ross), was considered by the Planning Commission on September 11, 2012.

The Planning Commission accepted the applicant's request to **WITHDRAW WITHOUT PREJUDICE**.

This action by the Planning Commission is final. The notice of final action was filed with the City Clerk on September 11, 2012.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", is written over a horizontal line.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

8/29/2012

City of Las Vegas

Planning & Development Department

333 N. Rancho

Las Vegas, Nv.

Attn. Dan Donley

At this time due to financial and time related issues, we are NOT building the accessory structure at 6233 Lorille Lane. So at this time we are requesting that the application for Special Use Permit , SUP-45562 for an Accessory Structure Class I scheduled for the September 11, 2012 Planning Commission meeting be withdrawn without prejudice. Thank you for your assistance.

Roger .E Woder



LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

August 30, 2012

Mr. Roger Woder
6233 Lorille Lane
Las Vegas, Nevada 89101

**RE: ABEYANCE - SUP-45562 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF SEPTEMBER 11, 2012**

Dear Mr. Woder:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **September 11, 2012** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 495 South Main Street, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, September 5, 2012** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", written over a horizontal line.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov

Development Notification

PC Meeting: September 11, 2012

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Department of Planning:

SUP-45562

Desert Pine Villas

Jade Park Neighborhood

Lone Mountain Estates NA

Miramonte Estates Neighborhood

Northpointe Apartments

Northwest Area Residents Association NCG

Park San Miguel Property Owners Association

Plaza San Miguel HOA

Rancho San Miguel Property Owners Association

Rosewood Estates

Sunhampton HOA

The Rancho Alta Mira HOA

Willowdale Park HOA

Woodcrest HOA

City of Las Vegas

8/29/2012

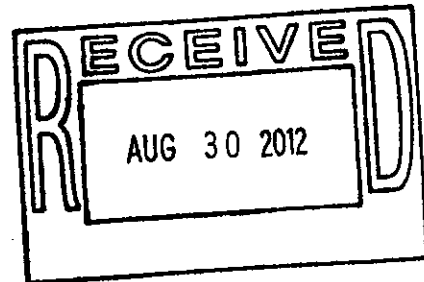
Planning & Development Department

333 N. Rancho Las Vegas, Nv.

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Roger .E Woder





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BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

August 15, 2012

Mr. Roger Woder
6233 Lorille Lane
Las Vegas, Nevada 89101

**RE: SUP-45562 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF AUGUST 14, 2012**

Dear Mr. Woder:

Your request for a Special Use Permit FOR A PROPOSED ACCESSORY STRUCTURE (CLASS I) at 6233 Lorille Lane (APN 138-11-510-029), R-E (Residence Estates) Zone, Ward 6 (Ross), was considered by the Planning Commission on August 14, 2012.

The Planning Commission voted to hold this item in **ABEYANCE** as the applicant was not present.

This item is scheduled to be heard again at the **September 11, 2012** Planning Commission meeting which will be held at 6:00 P.M. in the Council Chambers of City Hall, 495 South Main Street, Las Vegas, Nevada.

The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

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Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
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FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov



LAS VEGAS
CITY COUNCIL

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MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

July 26, 2012

Mr. Roger Woder
6233 Lorille Lane
Las Vegas, Nevada 89101

**RE: SUP-45562 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF AUGUST 14, 2012**

Dear Mr. Woder:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **August 14, 2012** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 495 South Main Street, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, August 8, 2012** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

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Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov



Application Information

SUP-45562 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT/OWNER: ROGER E. WODER - For possible action on a request for a Special Use Permit FOR A PROPOSED ACCESSORY STRUCTURE (CLASS I) at 6233 Lorille Lane (APN 138-11-510-029), R-E (Residence Estates) Zone, Ward 6 (Ross).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: August 14, 2012
Time: 6:00 P.M.
Location: City Council Chambers
495 South Main Street
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SUP-45562 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT/OWNER: ROGER E. WODER - For possible action on a request for a Special Use Permit FOR A PROPOSED ACCESSORY STRUCTURE (CLASS I) at 6233 Lorille Lane (APN 138-11-510-029), R-E (Residence Estates) Zone, Ward 6 (Ross).

Application Location



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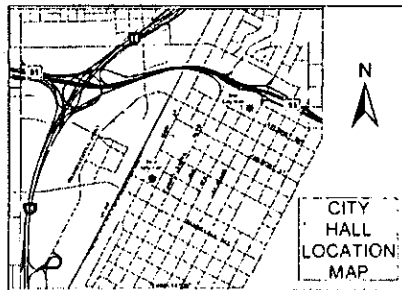
Public Hearing Information

Meeting: Planning Commission
Date: August 14, 2012
Time: 6:00 P.M.
Location: City Council Chambers
495 South Main Street
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

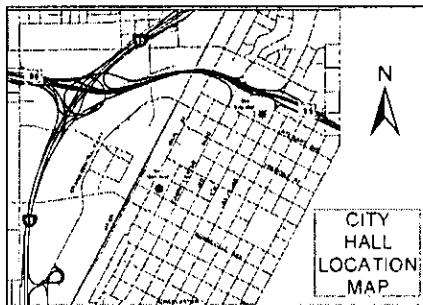
Please use available blank space on card for your comments.

SUP-45562

Planning Commission Meeting of 8/14/2012

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-45562

Planning Commission Meeting of 8/14/2012

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BJA*
CC: Nancy Almanzan, Right-of-Way; Dennis Moyer, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: July 16, 2012
Re: **SUP-45562** Roger E. Woder 6233 Lorille Lane
Request for a Special Use Permit for a proposed accessory structure (Class I)

COMMENTS:

We have no comment on the Request for a Special Use Permit for a proposed accessory structure (Class I) at 6233 Lorille Lane.

Development Notification

PC Meeting: August 14, 2012

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Department of Planning:

SUP-45562

Desert Pine Villas

Jade Park Neighborhood

Lone Mountain Estates NA

Miramonte Estates Neighborhood

Northpointe Apartments

Northwest Area Residents Association NCG

Park San Miguel Property Owners Association

Plaza San Miguel HOA

Rancho San Miguel Property Owners Association

Rosewood Estates

Sunhampton HOA

The Rancho Alta Mira HOA

Willowdale Park HOA

Woodcrest HOA

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: DEPARTMENT OF PLANNING

SUP-45562

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC - 7 th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5 th Floor
*FLOOD CONTROL (DPW)	OH-SANG KWON	DSC - 7 th Floor
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC - 2 nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1 st Floor
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC - 8 th Floor
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC - 7 th Floor
*SURVEY (DPW)	ALAN RIEKKI	DSC - 8 th Floor
*TEFO (DPW)	REBECCA WHITLOCK	WSC-3001 RONEMUS
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC - 8 th Floor

ROUTED ELECTRONICALLY

<CCSD>	LINL \ PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*SID (DPW)	PATRICK MURPHY	4 TH FLOOR CITY HALL

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

SUP-45562 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: ROGER E. WODER

- For possible action on a request for a Special Use Permit FOR A PROPOSED ACCESSORY STRUCTURE (CLASS I) at 6233 Lorille Lane (APN 138-11-510-029), R-E (Residence Estates), Ward 6 (Ross).

PLANNING COMMISSION: *AUGUST 14, 2012*

CITY COUNCIL: *SEPTEMBER 19, 2012*

PLANNING SUPERVISOR: *STEVE GEBEKE*



PUBLIC HEARING

Comments Due: *JULY 13, 2012*

*Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.*

LIST COMMENTS BELOW:

8-14-12 PC

MA

Report Date 06/25/2012 01:32 PM

Submitted By

Page 1

A/P # 45562 SPECIAL USE PERMIT

Applicator Information

Stages

	Date / Time	By		Date / Time	By
Processed	05/29/2012 15:39	984224	Temp COO		
Approved			COO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SUP-45562 - SPECIAL USE PERMIT - PUBLI HEARING - APPLICANT/OWNER: ROGER E. WODER - For possible action on a request for a Special Use Permit FOR AN ACCESSORY STRUCTURE (CLASS I) at 6233 Lorille Lane (APN 138-11-510-029), R-E (Residence Estates), Ward 6 (Ross).

Parent A/P #

Project # 45562 Project/Phase Name WODER CASITA Phase #
Size/Area 0.44 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13811510029

Location

Owner/Tenant

Contact ID AC2030207 Name ROGER WODER Organization
Mailing Address 6233 LORILLE LANE State/Province NV
City LAS VEGAS Country
ZIP/PC 89101 Evening Phone
Day Phone (702)645-3804 x Mobile #
Fax ☐ Foreign

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

6233 LORILLE LN
LAS VEGAS, 89108-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13811510029

Report Date 06/25/2012 01:32 PM

Submitted By

Page 2

Applicant/Contact

Primary	N	Capacity	OWNER	Contact ID	AC2030207	☐ Foreign
Effective		Expire				
Name	ROGER WODER					
Day Phone	(702)645-3804 x					
Pager		Eve Phone		Organization		
Fax		PIN #		Position		
E-Mail		Mobile		Profession		
Address	6233 LORILLE LANE LAS VEGAS, NV 89101					
Seasonal Addr						
Valid From		To				
Comments	No Comments					
CONTACT ADDITIONAL						

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License #	Percent Owned	Waiver	Health Card	Director Letter	Original Photograph
Orientation Attended					

There are no items in this list

Primary	Y	Capacity	APPL	Contact ID	AC2030207	☐ Foreign
Effective		Expire				
Name	ROGER WODER					
Day Phone	(702)645-3804 x					
Pager		Eve Phone		Organization		
Fax		PIN #		Position		
E-Mail		Mobile		Profession		
Address	6233 LORILLE LANE LAS VEGAS, NV 89101					
Seasonal Addr						
Valid From		To				
Comments	No Comments					

Report Date 06/25/2012 01:32 PM

Submitted By

Page 3

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License? Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Contractors

No Contractors

Item Description

Item Status

Check Fees	Fees Successful
NOTIFICATION & ADVERTISING FEE (\$500.00)	Paid
PROCESSING FEE (\$500.00)	Paid
RECORDING OF NOTICE OF ZONING ACTION (\$30.00)	Paid
Check Inspections	Inspections Successful
Check Reviews	Reviews Failed
504202 B&S PLAN #1 (BUILDING&SAFETY PLAN REVIEW)	Incomplete
504200 DEVCO #1 (DEVELOPMENT COORDINATION)	Incomplete
504212 ENGDESIGN #1 (CAPITAL PROJECT MANAGEMENT)	Incomplete
504211 FIRE ENG #1 (FIRE PROTECTION ENGINEERING)	Incomplete
504203 FLOOD #1 (FLOOD CONTROL)	Incomplete
504210 LAND DEV #1 (LAND DEVELOPMENT)	Incomplete
504201 NEIGH P&S #1 (NEIGHBORHOOD PLAN & SUPPORT)	Incomplete
504209 ROW #1 (RIGHT-OF-WAY)	Incomplete
504208 SEWER #1 (COLLECTION SYSTEMS PLANNING)	Incomplete
504207 SID #1 (SPECIAL IMPROVEMENT DISTRICT)	Incomplete
504206 SURVEY #1 (SURVEY)	Incomplete
504205 TEFO #1 (TRAFFIC ENG FIELD OPERATIONS)	Incomplete
504204 TRAFFIC #1 (TRAFFIC ENGINEERING)	Incomplete
Check Conditions	Conditions Successful
Z-LEGAL (LEGAL DONE?)	No affect on stage
Check Alert Conditions	Alert Conditions Failed
(AT-SEND PUB HEARING NOTICE)	
(SIGNPRO-MEMO SENT TO POST DT)	
(PT-SIZE OF NOTIFICATION AREA)	
(ASSIGN CASE TO A PLANNER)	
(SIGNPRO-SIGN POSTED DATE)	
(AT-ROUTE PLANS FOR REVIEW)	
(AT-COMplete DRT PROCESS)	
(STAFF RECOMMENDATION)	
(PT-NOTIFICATION MAP DATE)	

Report Date 06/25/2012 01:32 PM

Submitted By

Page 4

Item Description

Item Status

(AT-SEND TO REVIEW JOURNAL)
(PT-ENTER THE # OF LABELS)

Check Licenses

Not Checked

Check Children Status

Children Successful

Check Open Cases

0

Fee

Status

Effective Date

Amount

NOTIFICATION & ADVERTISING FEE

P

05/29/2012 15:46

500.00

RECORDING OF NOTICE OF ZONING ACTION

P

05/29/2012 15:46

30.00

PROCESSING FEE

P

05/29/2012 15:46

500.00

Total Unpaid

0.00

Total Paid

1030.00

Review Activity
Review
Comments

Review Type

#

Status

Waived

Issued

Status

Completed

Amount

504200 DEVCO 1 Incomplete ☐ 06/25/2012 13:31

504201 NEIGH P&S 1 Incomplete ☐ 06/25/2012 13:31

504202 B&S PLAN 1 Incomplete ☐ 06/25/2012 13:31

504203 FLOOD 1 Incomplete ☐ 06/25/2012 13:31

504204 TRAFFIC 1 Incomplete ☐ 06/25/2012 13:31

504205 TEFO 1 Incomplete ☐ 06/25/2012 13:31

504206 SURVEY 1 Incomplete ☐ 06/25/2012 13:31

504207 SID 1 Incomplete ☐ 06/25/2012 13:31

504208 SEWER 1 Incomplete ☐ 06/25/2012 13:31

504209 ROW 1 Incomplete ☐ 06/25/2012 13:31

504210 LAND DEV 1 Incomplete ☐ 06/25/2012 13:31

504211 FIRE ENG 1 Incomplete ☐ 06/25/2012 13:31

504212 ENGDESIGN 1 Incomplete ☐ 06/25/2012 13:31

Activity Review Details

Detail SUBMITTAL CHECKLIST (SUP)

Modified By GKAPOVICH

Modified Date/Time 05/29/2012 15:39

Comments

No Comments

Report Date 06/25/2012 01:32 PM

Submitted By

Page 5

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plan (6 Folded Blue Lines, 1 Rolled Colored)
Y Application/Petition Form	Y Floor Plan, If Applicable (1 Folded, 1 Rolled)
Y Deed and Legal Description	Y Laser Print Site Plan
Y Justification Letter	Y Laser Print Floor Plan
N DINA (Not Always Required)	Y Statement of Financial Interest

Y Business Licensing Requirements Met
N Business License Exempt

Check Conditions Condition Supervisor Required	Approval Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
---	-------------------------------------	---------------	------------	--------------	----------

Z-LEGAL N			980608	06/25/2012 13:31	
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Planning Condition	Description	Effective	Expiry	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SPECIAL USE PERMIT

N DINA Required? Y Will this go to the City Council? Hearing Type
Public or Admin? PUBLIC
N Project of Regional Significance?
N Parent Project link required? Is there a condition of approval for a Required Review?
If yes, when does it need to be reviewed?

Type of Use
ACCESSORY STRUCTURE, (CLASS I)

N Is this an Alcohol related Use? Staff Recommendation Entitlement Exercised?

Meeting Information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
---	--------------------------	--	-----------	----------	-------------

08/14/2012	PC	SCHEDULED	0	0	0
GKAPOVICH	05/29/2012				

Report Date 06/25/2012 01:32 PM

Submitted By

Page 6

Meeting Information

Meeting Data Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES/Voter	NO/Voter	RESTRICTIONS
--------------------------------------	--------------------------	-------------------------------	---------------	-----------	----------	--------------

Template Type/AP#	AP Type	Status	Stage
-------------------	---------	--------	-------

No children exist for this project

Employee

Employee ID	Last	First	MI	Comment
-------------	------	-------	----	---------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

PAYMNT	CO NAME WHO PICKED UP CONTACT# ROGER WODER; CK #1246; PJ# 45562; 702-275-2101	984723	05/29/2012 15:46		0.00
--------	--	--------	------------------	--	------



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Special Use Permit
 Project Address (Location) 6233 Lorille Ln
 Project Name Accessory Structure Proposed Use SFR
 Assessor's Parcel #(s) 138 11510 029 Ward # _____
 General Plan: existing R-E proposed R-E zoning: existing R-E proposed R-E
 Commercial Square Footage N/A Floor Area Ratio 19%
 Gross Acres 0.44 Lots/Units 1 Density _____
 Additional Information _____

PROPERTY OWNER ROGER WOODER Contact _____
 Address 6233 Lorille Ln Phone: (702) 645-3804 Fax: _____
 City LAS VEGAS State NV Zip 89101
 E-mail Address STANG2PL52@COX.NET

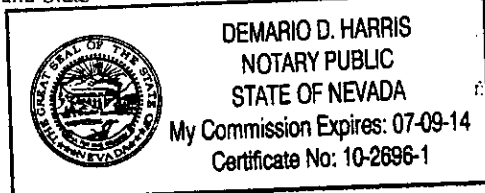
APPLICANT _____ Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____
 E-mail Address _____

REPRESENTATIVE _____ Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____
 E-mail Address _____

Property Owner Signature* Roger E. Wooder
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name ROGER E. WOODER
 Subscribed and sworn before me
 This 29 day of May, 20 12
On = Hi

Notary Public in and for said County and State

Revised 10/27/08

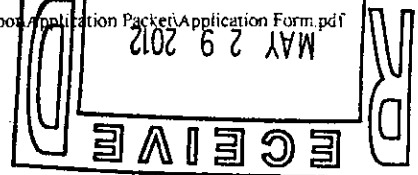


FOR DEPARTMENT USE ONLY

Case #	<u>SUP-45567</u>
Meeting Date:	<u>8-14-12</u>
Total Fee:	<u>\$1,030</u>
Date Received:	<u>5-29-12</u>
Received By:	<u>[Signature]</u>

The application has been reviewed and submitted materials have been reviewed by the Department of Planning in accordance with applicable sections of the Zoning Ordinance.

deposit application Packet Application Form.pdf





DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-45562** APN: 138 11 510 029

Name of Property Owner: Roger Woder

Name of Applicant: Roger Woder

Name of Representative: Roger Woder

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Roger E. Woder

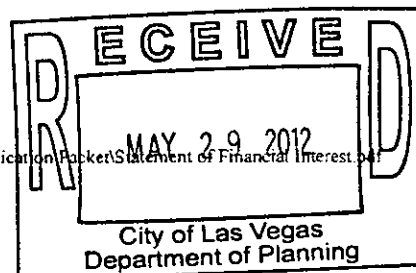
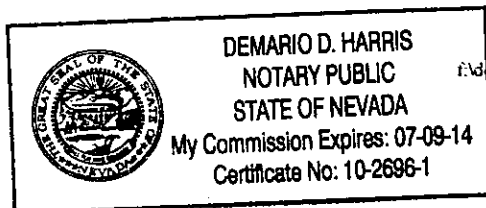
Print Name: ROGER E WODER

Subscribed and sworn before me

This 29 day of May, 2012

[Signature]
Notary Public in and for said County and State

Revised 11-14-05



2111 Edgewood Ave. • Las Vegas, NV 89102
Phone: 702 932 0455 Fax: 702 932 0456



ARCHITECTURE ○ PLANNING ○ INTERIOR DESIGN

May 10, 2012

City of Las Vegas
Planning & Development Department
333 N. Rancho
Las Vegas, NV

**Justification Statement for
Accessory Structure (Class I)
6233 Lorille Ln
Las Vegas, NV 89108
APN: 138 11 510 029**

Ladies and Gentlemen:

GK³ Architecture, on behalf of Roger Woder, is requesting the review and approval of a Special Use Permit for the accessory structure (class I) to the existing residence. The accessory structure will be located in the rear yard at the South East corner of the 0.44 acres site. The structure will be single story, 1,025 SF and will be used by the property owner's son as a residence. The structure will have two bedrooms, two bathrooms and a small kitchen. The exterior of the structure will be stucco finish with a gabled roof to match the existing ranch style house. The structure will compliment the aesthetic of the existing home and property by matching finishes, window style, trim details and roof slope. The accessory structure will be painted to match the existing house.

The proposed use conforms with the development in the surrounding area and this is an appropriate use for the large residential site. The property size is 19,166 SF, this is almost three times the minimum lot size of 6,500 SF. The benefits for the project are to be an asset to the property and allow two generations of the family to live together. The structure is not being offered as a rental unit.

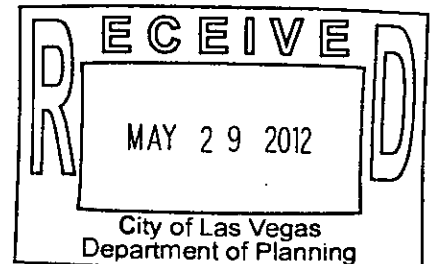
The approval of the proposed design would not constitute a grant of any special privilege. The building would not allow a use or activity which is not permitted in the R-E Zone, with a special use permit, and would pose no adverse effect to public health, safety, or welfare.

Thank you for your consideration of these matters.

Sincerely,

A handwritten signature in cursive script that reads 'Gemie M. Knisely'.

Gemie M. Knisely, RA



gk³

ARCHITECTURE ○ PLANNING ○ INTERIOR DESIGN

USA 3856 Badgerbrook St., Las Vegas, NV 89129 Tel. 702.932-0455 Fax 702.932.0456

EMAIL kevin@gk3architecture.com • gemie@gk3architecture

SUP-45562

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That STEVEN S. MILLER, INC., a Nevada corporation
in consideration of \$ 10.00 the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to
ROGER E. WODER and NANCY C. WODER
husband and wife as joint tenants
all that real property situate in the _____ County of Clark
State of Nevada, bounded and described as follows:

Lot Seven (7) in Block Two (2) of BIG SKY RANCH ESTATES UNIT NO. 4, as
shown by map thereof on file in Book 24 of Plats, page 67, in the Office
of the County Recorder of Clark County, Nevada.

SUBJECT TO: 1. Taxes for the fiscal year
2. Rights of way, reservations, restrictions, easements and conditions
of record.

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Witness our hand this 12th day of January, 1983
STEVEN S. MILLER, INC., a Nevada corporation
By: Steven S. Miller

STATE OF Nevada
County of Clark
On this 14th day of January, 1983
personally appeared before me, a Notary Public in and for said
County and State, Steven S. Miller

known to me to be the person described in and who executed
the foregoing instrument, who acknowledged to me that he
executed the same freely and voluntarily and for the uses and
purposes therein mentioned.

Sandra Verchick
Notary Public in and for said County and State.

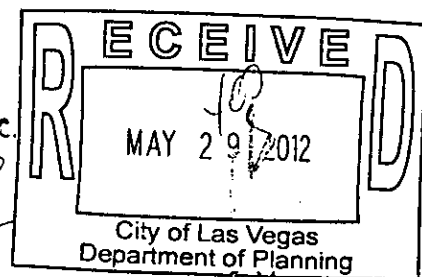


Notary Public-State of Nevada
CLARK COUNTY
Sandra Verchick
My Appointment Expires Aug. 6, 1984

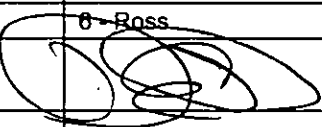
ESCROW NO. 80383-SV

WHEN RECORDED MAIL TO: Mr. & Mrs. Roger E. Woder
6233 Lorille Lane, Las Vegas, Nevada 89108

CLARK COUNTY NEVADA
JOAN L. SWIFT, RECORDER
RECORDED AT REQUEST OF
LAWYERS TITLE OF LAS VEGAS, INC.
JAN 14 3 19 PM '83
FEE 40 DEPUTY 10
OFFICIAL RECORDS
BOOK INSTRUMENT



1674 1633475

Pre-Application Conference		City Of Las Vegas Department Of Planning Submittal Checklist (Cont.)						
Item Required								
YES	NO	APPLICATION PACKET (ALL ITEMS IN THIS SECTION ARE REQUIRED FOR EACH APPLICATION TYPE, unless indicated otherwise)			Fees			
☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website For blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")	Appl. Type	Application	Notification	Recordation	Sub-Total
☒	☐	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots						
☒	☐	Detailed justification letter (the same letter addressing all applications, included with each application)						
☐	☒	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)						
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)						
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)						
☐	☒	Cop(ies) of approval letter(s) for						
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) – Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500						
					Subtotal:		\$ 1030.00	
					Grand Total All Fees:		\$1030.00	
REQUIRED DRAWINGS (INCLUDES TOTAL NUMBER REQUIRED FOR ALL APPLICATION TYPES): MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)								
☒	☐	SITE PLAN			TOTAL REQUIRED FOR ALL APPLICATIONS			
		North arrow, scale, and vicinity map			Folded Plans (5, plus 1 per application):		6'	
		All property lines and present dimensions labeled			Colored, Rolled Plans:		1	
		All building setbacks labeled			Reduced Copy (8-1/2"x11" B/W; 1 per application):		1	
		All adjacent existing land uses and street names labeled			NOTES:			
		All points of ingress and egress shown						
		ADA accessibility requirements shown/labeled						
		Parking standard(s) utilized: R-E & CLASS I ACCESSORY STRUCTURE						
		Parking space count and typical dimensions labeled						
☒	☐	BUILDING ELEVATIONS			TOTAL REQUIRED FOR ALL APPLICATIONS			
		Scale and building dimensions labeled			Folded Plans (1 per application):		1	
		North, south, east, and west elevations of all buildings			Colored, Rolled Plans:		1	
		All building materials and colors noted			Reduced Copy (8-1/2"x11" B/W; 1 per application):		1	
		All wall sign locations shown and sizes noted			NOTES: Pictures of the principal build required			
		Photo Reproduction of the Color & Materials Board - May be included in elevations or as a separate color document at 8-1/2" by 11" in size)						
☒	☐	FLOOR PLANS			TOTAL REQUIRED FOR ALL APPLICATIONS			
		Scale and building dimensions labeled			Folded Plans (1 per application):		1	
		North arrow and scale			Rolled Plans:		1	
		All building entrances/exits shown			Reduced Copy (8-1/2"x11" B/W; 1 per application):		1	
		Use of all rooms noted/labeled			NOTES:			
		Seating Capacity (where applicable)						
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.								
APN(s):		13811510029		Application Type:		City of Las Vegas Special Use Department of Planning		
Location:		6233 LORILLE LANE		Application Purpose:		19.04 CLASS I ACCESSORY STRUCTURE		
Ward:		6 - Ross		Pre-App. Meeting Date:		04/10/12 5-29-12		
Planner's Signature:				Submittal Deadline:		04/20/12 no later than 2:00 pm 6-28-12		
Planner:				Earliest PC / CC Meeting Dates:		08/12/12 PC - 07/18/12 CC (Cycle 6) 8-14-12 9-19-12		

City of Las Vegas Department of Planning

Pre-Application Conference Notes

Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☐ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. This is an application for possible action on a request for a Special Use Permit FOR A CLASS I ACCESSORY STRUCTURE
2. No Waivers are required with this application
3. Issues that need to be addressed within the justification Letter.
 - Explain how the proposed Class I Accessory Structure meets the definition of:
"An accessory structure which is located on the same residential parcel as a principal dwelling and which, as an ancillary use, provide living quarters, including full kitchen facilities, for the occupants of the principal dwelling or their tenants, domestic employees or temporary guests."
 - Explain how the proposed Class I Accessory Structure meets Minimum Special Use Permit Requirements:
 1. The size of the lot or parcel must exceed 6500 square feet.
 2. Unless the principal dwelling is owner-occupied, a Class I accessory structure may not be offered or occupied as a rental unit.
 - Explain how the proposed Class I Accessory Structure will be aesthetically compatible with the existing Single Family Dwelling.
4. Provide Pictures of the principal build (Single Family Dwelling)
5. **Land Owner:**
WODER ROGER E & NANCY C
(Ownership verification is required to submit for entitlements)
(Please check the application form description of the Submittal Requirements for the type of entitlement)
6. **A parking analysis is required that provides (On Site Plan & chart if necessary)**
On-site Parking Requirement: One additional parking space must be provided beyond the number of spaces normally required.

The parking for a Single Family Dwelling requires unimpeded 2 parking spaces
The parking for a Class I Accessory Structure requires unimpeded 1 parking space
Total parking spaces required 3 unimpeded parking spaces

See UDC 19.12 for use requirements

Verify all codes and standards prior to submittal

Applicant must provide Site and Floor plans that meet the submittal requirements

Visit the CLV website For blank application, SOFI & DINA/PRS forms, and justification letter info @ <http://www.lasvegasnevada.gov/> (Follow - "I Want To ..." --> "Apply for -> Planning Applications")

City Of Las Vegas Department Of Planning Pre-Application Conference Notes

C
Y
C
L
E

6

Project Name: 138-11-510-029 Accessory Structure Class I

APN(s):	13811510029	Pre-app Date:	04/16/12
Location:	6233 LDRILLE LANE	Meeting Location:	DSC Conference Room 3A - 321
Ward #:	6 - Ross	Acres:	0.44
		Time:	4:00 p.m.

Ownership Info:	WDDER RDGER E & NANCY C 6233 LDRILLE LN LAS VEGAS NV 89108-5222	Last Change of Ownership Date:	01/14/83
	Phone: (702)- 645-3804 Fax: (702)- Email:		

Applicant Info:	tecture Phone: (702)-275-2101 Fax: (702)- Email: stang2pls2@cox.net	
------------------------	--	--

Representative Info:	Phone: (702)- Fax: (702)- Email:	
-----------------------------	--	--

Use:	Existing:	SFD
	Proposed:	RESIDENCE / CASITA - 19.04 CLASS I ACCESSDRY STRUCTURE
General Plan:	Existing:	D-R
	Proposed:	No change proposed
Zoning:	Existing:	R-E
	Proposed:	No change proposed

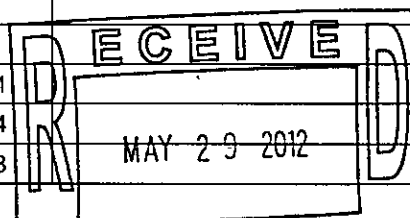
Special Area, Master Plans, and / or Overlay Districts that Apply:	Rural Preservation Dverlay District Special Land Use Designation (per plan, if applicable): A-D (Airport Dverlay) District (105)
---	---

☒ **Meeting**
 ☐ **Email**
 ☐ **Conversation Record**
 ☐ **Telephone Record**

Between CLV Planning Representative: Dan Donley, Planner II (229-2087 Dffice / 385-7268 Fax / ddonley@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. See Rep above				
2.				
3.				
4.				
5.	CLV - Planning			
6.	CLV - Planning / Business License	229-6321	383-0769	
7.	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Economic Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet



-- Please return a copy of this completed form with the original Pre-Application Submittal Checklist to the City of Las Vegas Department of Planning

Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions

City of Las Vegas Department of Planning

Pre-Application Conference Notes

Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☐ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. This is an application for possible action on a request for a Special Use Permit FOR A CLASS I ACCESSORY STRUCTURE
2. No Waivers are required with this application
3. Issues that need to be addressed within the justification Letter.
- Explain how the proposed Class I Accessory Structure meets the definition of:
"letter states" will be used as a residence!
"An accessory structure which is located on the same residential parcel as a principal dwelling and which, as an ancillary use, provide living quarters, including full kitchen facilities, for the occupants of the principal dwelling or their tenants, domestic employees or temporary guests."
- Explain how the proposed Class I Accessory Structure meets Minimum Special Use Permit Requirements:
 1. The size of the lot or parcel must exceed 6500 square feet. *0.44 acres = 19,166 sq ft*
 2. Unless the principal dwelling is owner-occupied, a Class I accessory structure may not be offered or occupied as a rental unit.
- ~~X~~ Explain how the proposed Class I Accessory Structure will be aesthetically compatible with the existing Single Family Dwelling.
- ~~X~~ Provide Pictures of the principal build (Single Family Dwelling)
5. Land Owner:
WODER ROGER E & NANCY C
(Ownership verification is required to submit for entitlements)
(Please check the application form description of the Submittal Requirements for the type of entitlement)
- ~~X~~ A parking analysis is required that provides (On Site Plan & chart if necessary)
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The parking for a Class I Accessory Structure requires unimpeded 1 parking space
Total parking spaces required 3 unimpeded parking spaces

See UDC 19.12 for use requirements

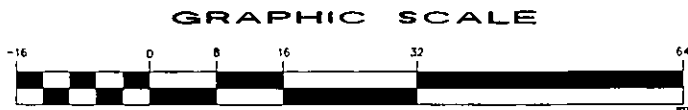
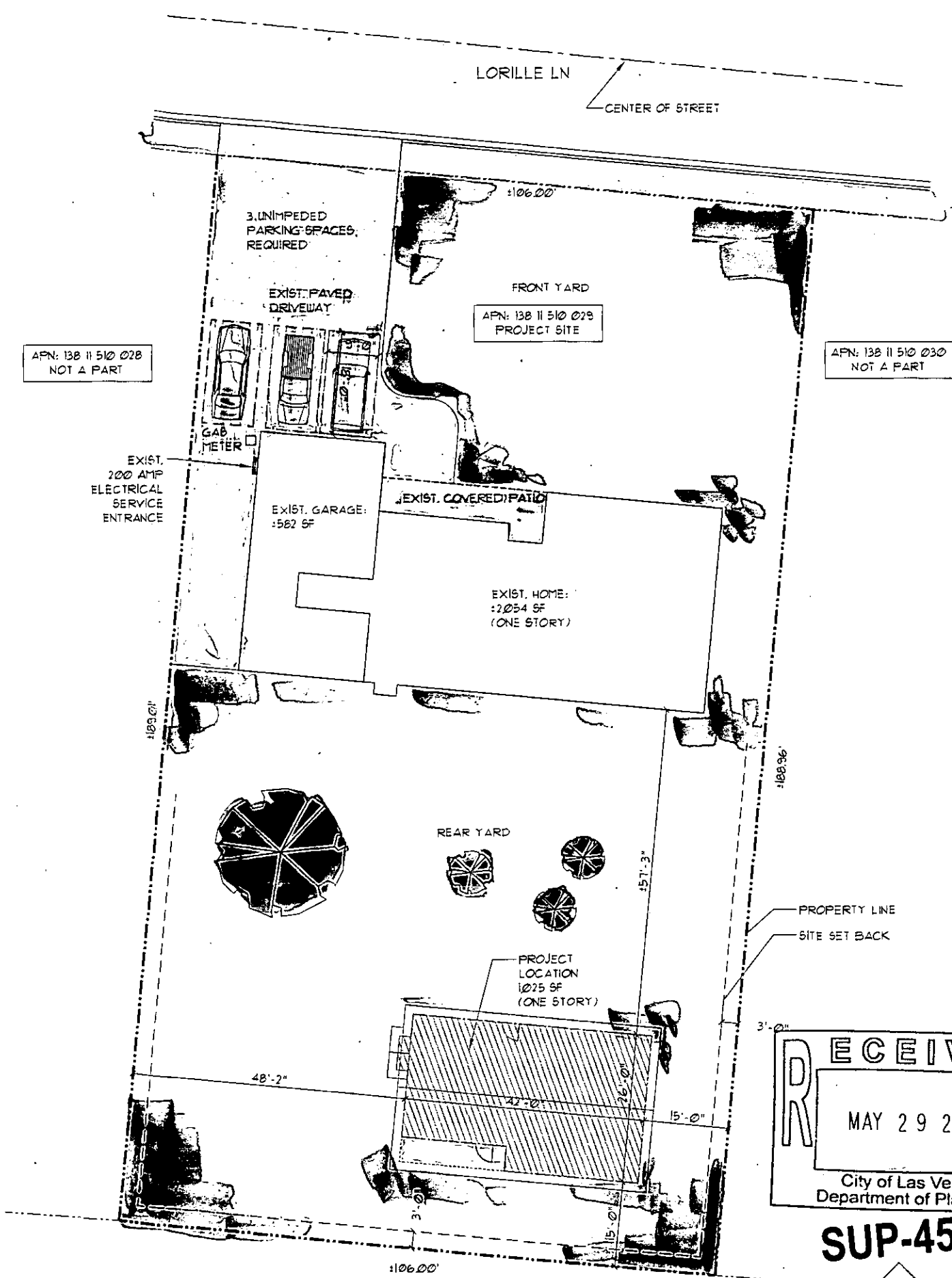
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GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES FORTY EIGHT HOURS PRIOR TO EXCAVATION.
2. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE ENGINEERED GRADING REQUIREMENTS OF THE 2008 INTERNATIONAL RESIDENTIAL CODE AS AMENDED BY THE SOUTHERN NEVADA AMENDMENTS.
3. ALL GRADING SHALL BE DONE TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE WHERE BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET.
4. THE FINISH FLOOR OF THE ACCESSORY STRUCTURE IS TO MATCH THE FINISH FLOOR OF THE EXISTING HOME.



1 SITE PLAN

RECEIVED
MAY 29 2012
City of Las Vegas
Department of Planning
SUP-45562

gk³architecture
2111 EDGEWOOD AVENUE
LAS VEGAS, NEVADA 89102
Tel: (702) 832-0455 • Fax: (702) 832-0456
Mobile: (702) 250-4416
• kevin@gk3architecture.com
• gennie@gk3architecture.com
WWW.GK3ARCHITECTURE.COM

OWNERS:
MAJESTIC GENERAL CONTRACTORS
JEREMY SCHELL
TEL: (702) 396-9800
OWNERS:
ROGER & NANCY WODER

PROJECT:
DETACHED ACCESSORY STRUCTURE
6233 LORILLE LN
LAS VEGAS, NV 89108
APN: 138 11 510 028

SEAL:

REVISIONS	
NO.	DESCRIPTION

SHEET TITLE:
SITE PLAN

SCALE:
AS NOTED

DATE:
02-06-2012

ISSUED FOR:
PERMIT

SHEET:
A1.0

GENERAL CEILING PLAN NOTES:

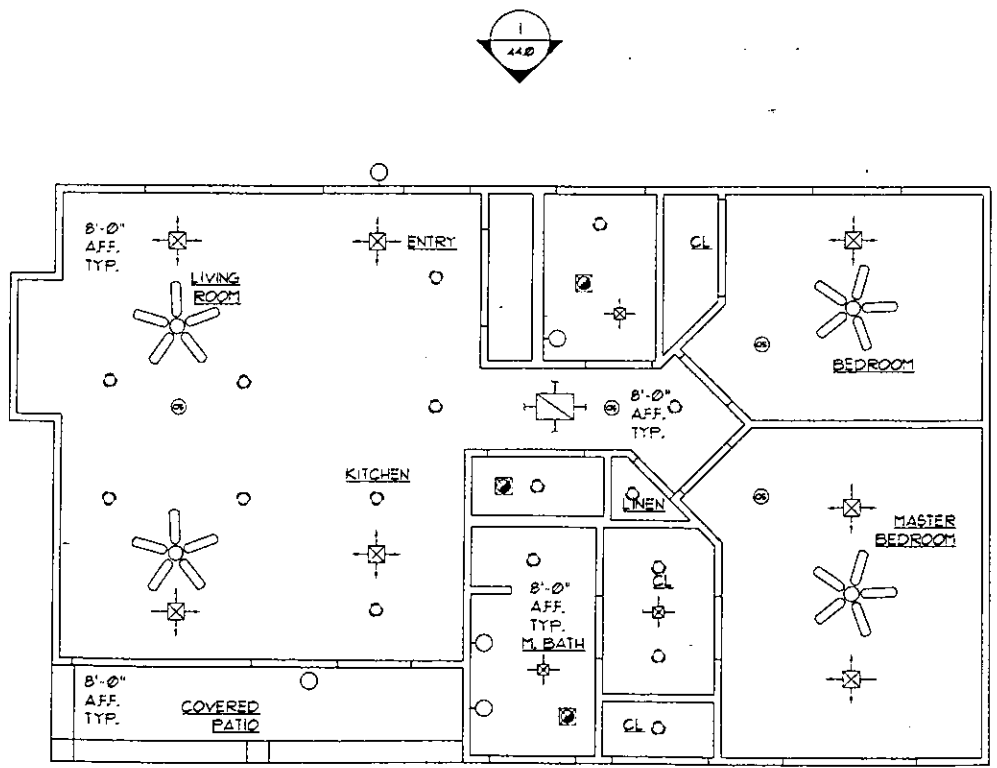
1. COORDINATE FINAL LOCATION OF ALL LIGHT FIXTURES, DIFFUSERS ETC. WITH OWNER.
2. AT DOME & ARCH LOCATIONS, PROVIDE (2) LAYERS OF 1/2" GYPSUM BOARD.
3. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOM CEILING LOCATIONS.
4. PROVIDE 3/8" DENS-GLASS GOLD SHEATHING (OR 1/2" CDX) AT ALL EXTERIOR SOFFIT AND CEILING CONDITIONS.
5. MINIMUM CEILING HEIGHT IN BATHS AND POWDER ROOMS TO BE 7'-0" AT THE LOWEST POINT.
6. SEE ELECTRICAL POWER PLANS FOR HARD WIRE SMOKE DETECTOR & CARBON MONOXIDE DETECTOR LOCATIONS.

GENERAL FLOOR PLAN NOTES:

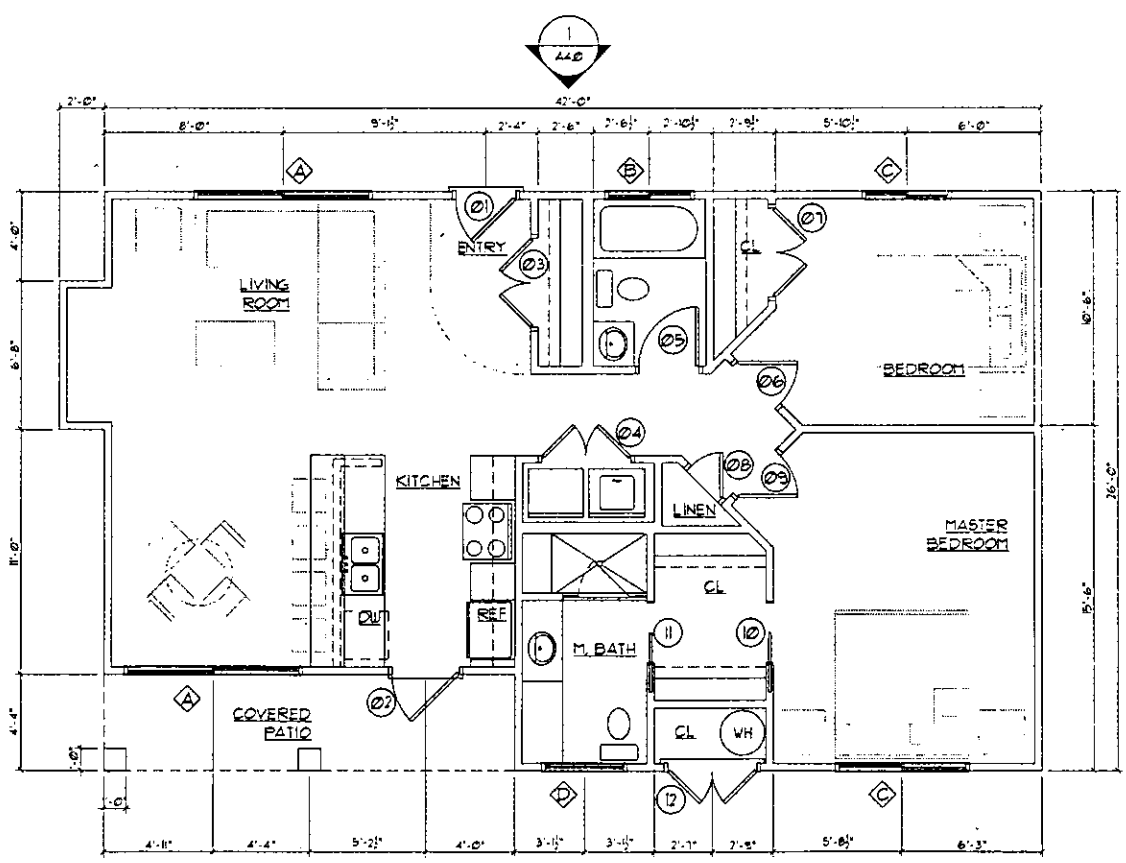
1. PROVIDE PRIVACY LOCKS AT ALL BEDROOM & BATHROOM DOORS UNO.
2. ALL DOORS SHALL BE A MINIMUM OF 4" FROM ANY INTERIOR WALL UNO. INTERIOR DOORS WITHOUT DIMENSIONS SHALL BE HELD AT THIS MINIMUM (IF POSSIBLE).
3. PROVIDE DUROCK CEMENT BOARD AT WALLS TO BE TILED. PROVIDE MOISTURE RESISTANT GYP. BD. AT ALL BATHROOM AND KITCHEN WALLS.
4. PROVIDE VAPOR BARRIER AT WARM SIDE OF ALL EXTERIOR WALLS AND CEILING/ROOF ASSEMBLIES.
5. PROVIDE SAFETY GLAZING PER AMENDED IRC AND AS INDICATED ON THE PLANS.
6. PROVIDE 3/8" GYP. BD. AT ALL LOCATIONS, UNO.
7. PROVIDE HORIZONTAL AND VERTICAL FIRE BLOCKING IN ACCORDANCE WITH IRC.
8. AT NEW (3) COAT STUCCO SYSTEM LOCATIONS, PROVIDE 26 GAUGE GALVANIZED WEEP SCREED AT A MIN. OF 4" FROM GRADE OR 2" FROM ABOVE PAVED AREAS PER IRC.
9. FIELD VERIFY CONCRETE LANDINGS AT ALL EXTERIOR DOORS. LANDING SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE DOOR THRESHOLD.
10. ALL FINISHES TO BE COORDINATED WITH OWNER.
11. PROVIDE 40 MIL. SELF ADHERING RUBBERIZED ASPHALT WINDOW FLASHING (TYP. ALL WINDOWS)
12. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6FT ABOVE THE FLOOR (IRC 307.2)

SYMBOL LEGEND

- # DOOR TAG (SEE SHEET A3.0)
- X WINDOW TAG (SEE SHEET A3.0)



REFLECTED CEILING PLAN



SUP-45562
08/14/12 PC

1 FLOOR PLAN
1/4" = 1'-0"

gk³ architecture
2111 EDENWOOD AVENUE
LAS VEGAS, NEVADA 89102
Tel: (702) 832-0435 • Fax: (702) 832-0438
Mobile: (702) 250-0416
• kevin@gk3architecture.com
• gennie@gk3architecture.com
WWW.GK3ARCHITECTURE.COM

OWNERS:
MAJESTIC GENERAL CONTRACTORS
JEREMY SCHELL
TEL: (702) 396-9600
OWNERS:
ROGER & NANCY WOODER

PROJECT:
DETACHED ACCESSORY STRUCTURE
6233 LORILLE LN
LAS VEGAS, NV
89108
APN: 135 11 510 025

REVISIONS

NO.	DESCRIPTION

SHEET TITLE:
FLOOR PLAN & REFLECTED CEILING PLAN

SCALE:
AS NOTED

DATE:
07-06-2012

ISSUED FOR:
PERMIT

SHEET:
A2.0

OWNERS:
**MAJESTIC
GENERAL
CONTRACTORS**
JEREMY SCHELL
TEL: (702) 396-5800
OWNERS:
ROGER & NANCY
WOODER

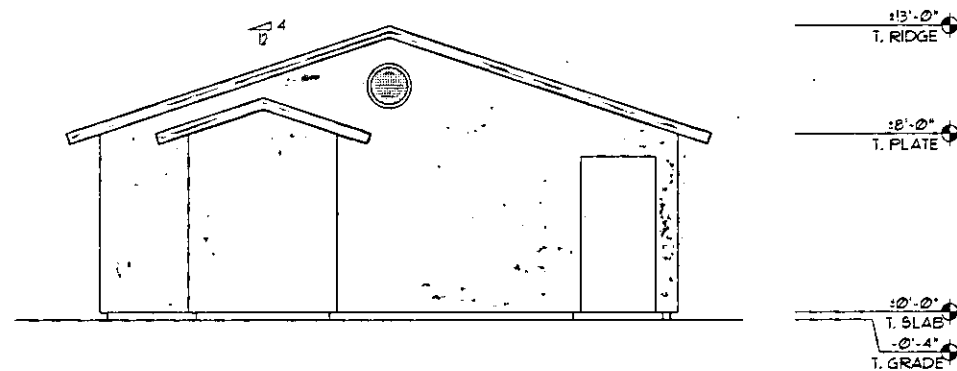
PROJECT:
**DETACHED
ACCESSORY
STRUCTURE**
6233 LORILLE LN
LAS VEGAS, NV
89108
APN: 138 11 510 029

SEAL:

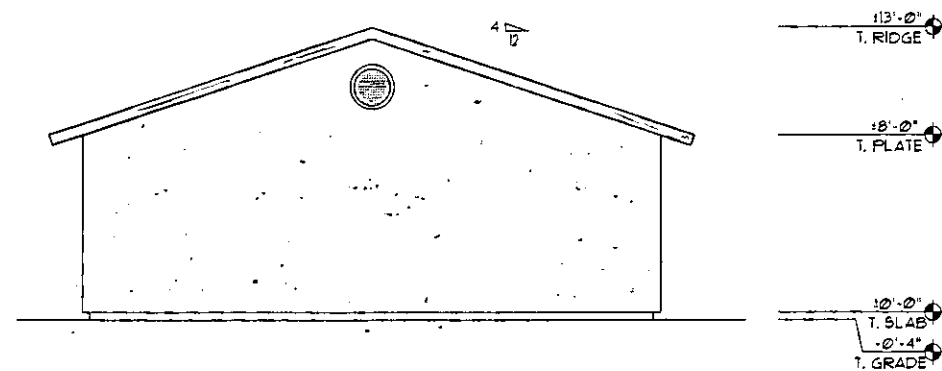
REVISIONS	
NO.	DESCRIPTION

SHEET TITLE:
ELEVATIONS

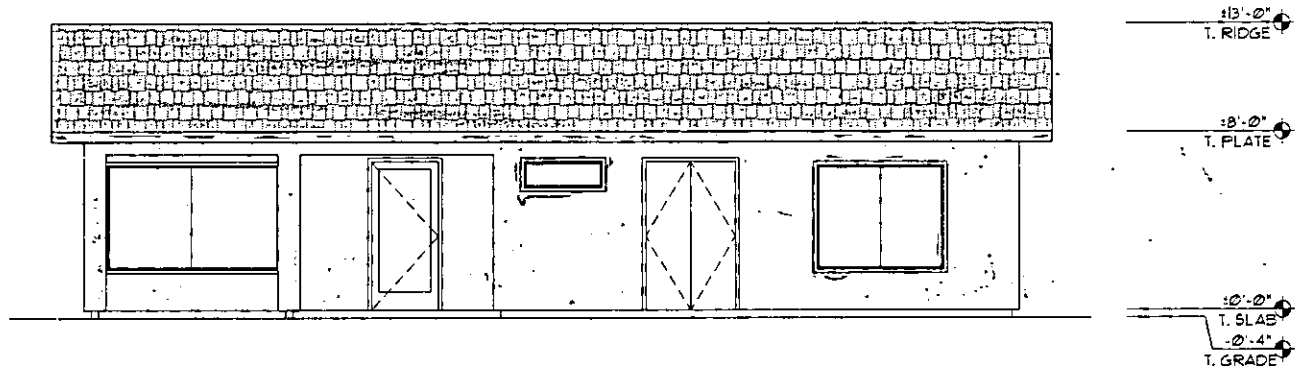
SCALE:
AS NOTED
DATE:
07-06-2012
ISSUED FOR:
PERMIT
SHEET:



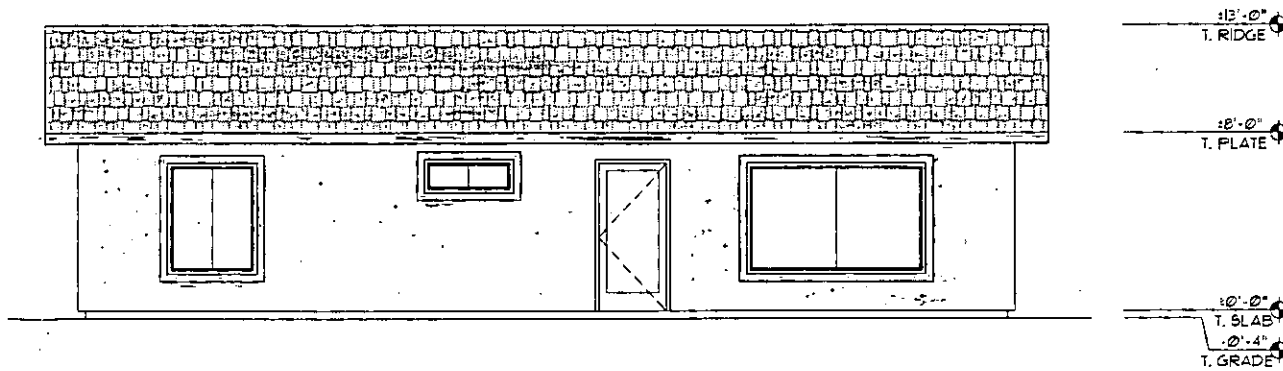
2 SIDE (EAST) ELEVATION
1/4" = 1'-0"



2 SIDE (WEST) ELEVATION
1/4" = 1'-0"



3 REAR (SOUTH) ELEVATION
1/4" = 1'-0"



1 FRONT (NORTH) ELEVATION
1/4" = 1'-0"

SUP-45562 A4.0

GENERAL CEILING PLAN NOTES:

- 1. COORDINATE FINAL LOCATION OF ALL LIGHT FIXTURES, DIFFUSERS ETC. WITH OWNER.
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SYMBOL LEGEND

DOOR TAG (SEE SHEET A3.0)

X WINDOW TAG (SEE SHEET A3.0)

RECEIVED

MAY 29 2012

City of Las Vegas
Department of Planning

gk³ architecture

2111 EDGEWOOD AVENUE
LAS VEGAS, NEVADA 89102
Tel: (702) 832-0435 • Fax: (702) 832-0456
Mobile: (702) 250-8418
• kevin@gk3architecture.com
• gennie@gk3architecture.com
WWW.GK3ARCHITECTURE.COM

OWNERS:

MAJESTIC GENERAL CONTRACTORS

JEREMY SCHELL
TEL: (702) 396-5800
OWNERS:
ROGER & NANCY WODER

PROJECT:

DETACHED ACCESSORY STRUCTURE

6233 LORILLE LN
LAS VEGAS, NV 89108
APN: 138 11 510 023

SEAL:

NO.	DESCRIPTION

SHEET TITLE:

FLOOR PLAN & REFLECTED CEILING PLAN

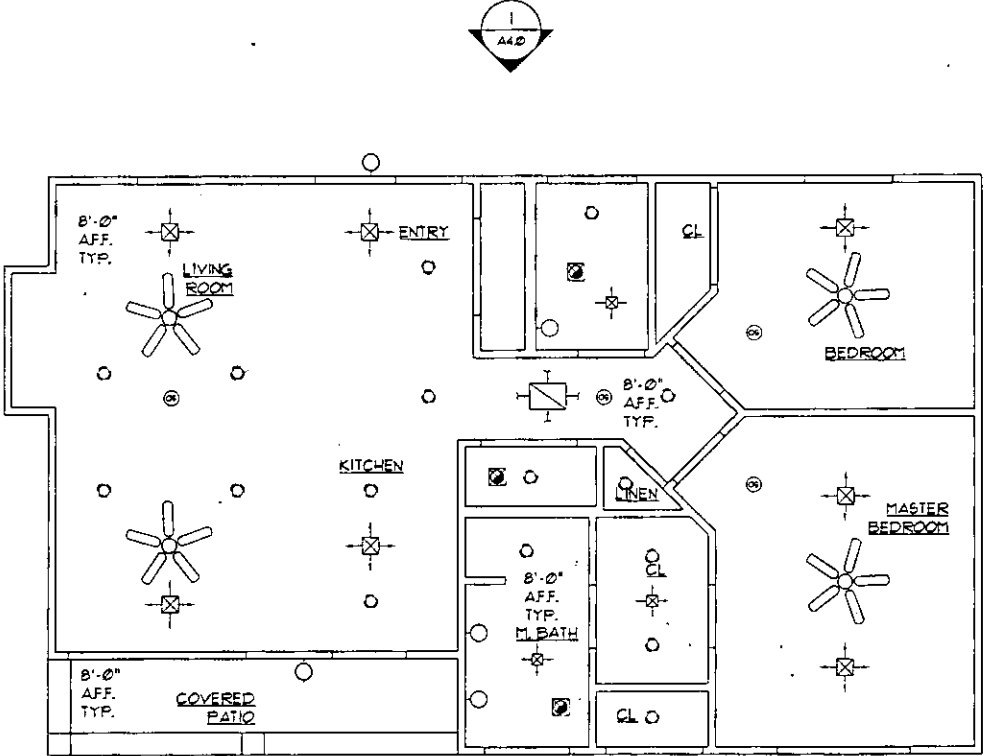
SCALE:
AS NOTED

DATE:
07-06-2012

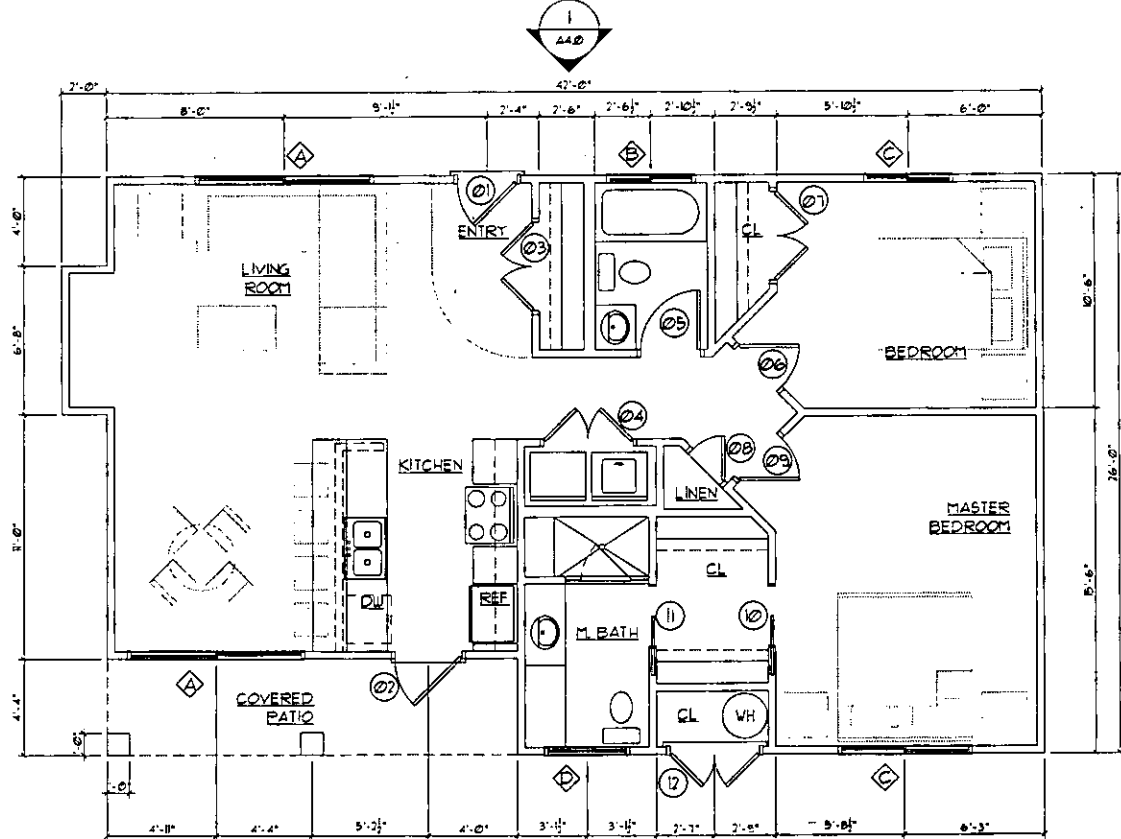
ISSUED FOR:
PERMIT

SHEET:

A2.0



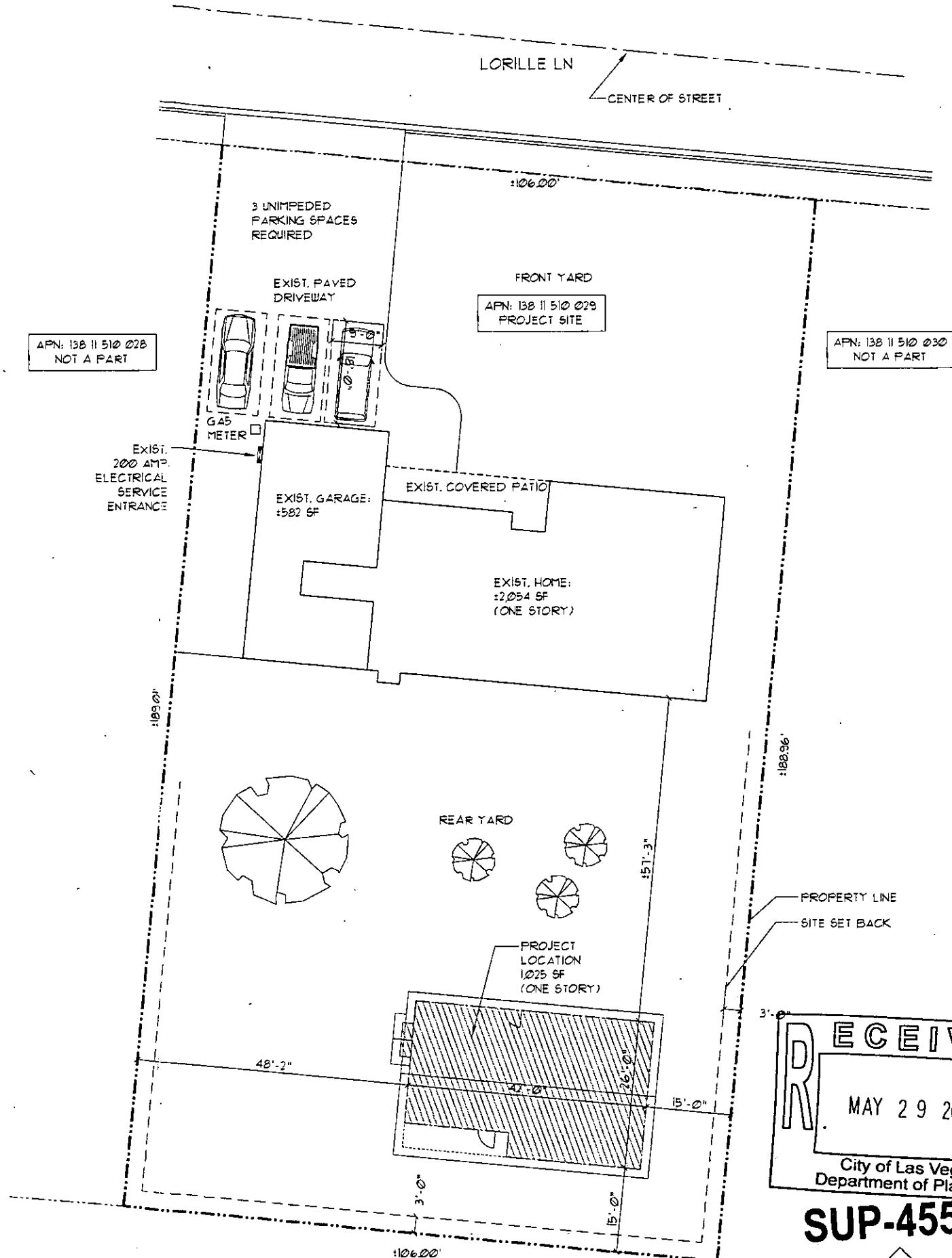
2 REFLECTED CEILING PLAN
1/4"=1'-0"



1 FLOOR PLAN
1/4"=1'-0"

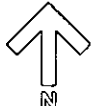
GENERAL NOTES:

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1 SITE PLAN

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Department of Planning
SUP-45562



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OWNERS:
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APN: 138 11 510 029

SEAL:

NO.	DESCRIPTION

SHEET TITLE:
SITE PLAN

SCALE:
AS NOTED
DATE:
07-06-2012
ISSUED FOR:
PERMIT
SHEET:

A1.0