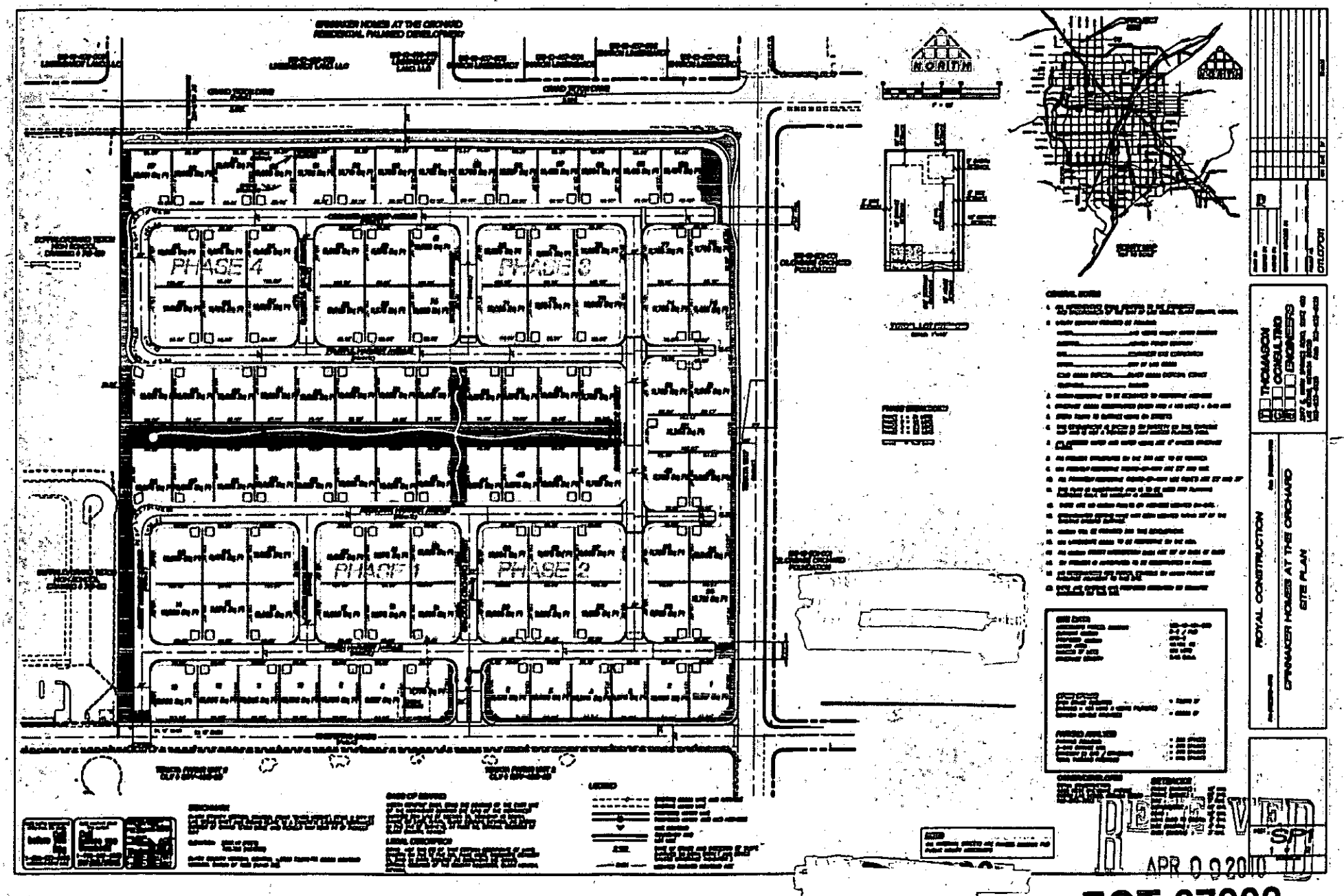


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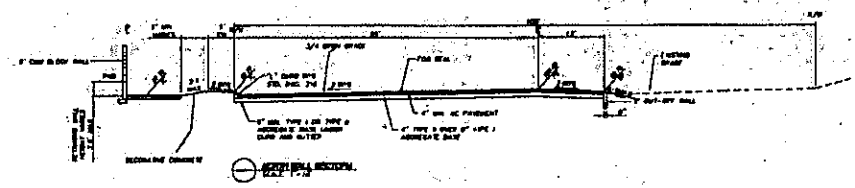
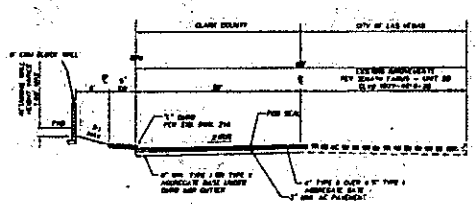
BRINKAER HOMES AT THE ORCHARD
RESIDENTIAL PLANNED DEVELOPMENT

PHASE 4
PHASE 3
PHASE 1
PHASE 2

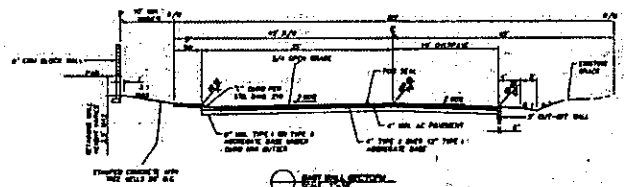
GRAND TETON DRIVE
ORCHARD HARVEST AVENUE
HARVEST HOLLOW AVENUE
FIRST HARVEST AVENUE
SUPERIOR GRADE PUBLIC
SUPPLE DRIVE PUBLIC
SUPPLE DRIVE PRIVATE
SUPPLE DRIVE PUBLIC
SUPPLE DRIVE PUBLIC
SUPPLE DRIVE PUBLIC



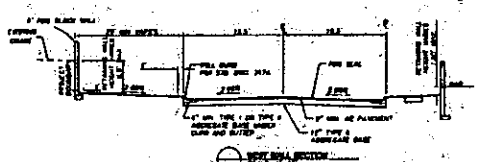
NORTH WALL SECTION
SCALE: 1"=10'



SOUTH WALL SECTION
SCALE: 1"=10'



EAST WALL SECTION
SCALE: 1"=10'



WEST WALL SECTION
SCALE: 1"=10'

WEST WALL OPTION

WALL SECTION
SCALE: 1"=10'

Before Call Dig
1-800-227-2600

Call Before you Overhead
1-800-227-2600

Check Utility Locations Before Digging
Call Underground Service Alert
1-800-227-2600

**BENCHMARK**

CLARK COUNTY SURVEY CONTROL POINT "B 1003 1003A", STAMPED CITY OF LAS VEGAS PUBLIC WORKS BRASS PLAQUE IN A CONCRETE & FLANGED WATERMELT COVER OF SEWER TO WHICH THE ANGLE OF LEAD PIT IS TRACED BY.

ELEVATION (NGVD OF 1929)
[illegible]

CLARK COUNTY SURVEY CONTROL = [illegible] BASED ON NORTH AMERICAN SURVEY DATUM OF 1983 (NAD 83)

**BASIS OF BEARING**

NORTH WESTERLY PART STAMP THE BEARING OF THE [illegible] LINE OF THE NORTHEAST QUARTER OF THE [illegible] OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 16, TOWNSHIP 20 SOUTH, RANGE 60 EAST, G.S.R., CLARK COUNTY, NEVADA, AS SHOWN IN FILE 113 OF SURVEYS, AT PAGE 53, OFFICIAL RECORDS OF CLARK COUNTY, NEVADA.

**LEGAL DESCRIPTION**

[illegible] OFFICIAL RECORDS OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA.

RECEIVED
APR 0 9 2010

THOMASON CONSULTING ENGINEERS
[illegible]

ROYAL CONSTRUCTION
[illegible]

SPINNAKER HOMES AT THE ORCHARD
DETAIL SHEET

07L07011

SP2
2 of 2

EOT-37908

ATTIC VENTILATION (2006 IRC SECTION R806) THE TOTAL NET FREE VENTILATED AREA SHALL NOT BE LESS THAN 1 / 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 / 300 PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

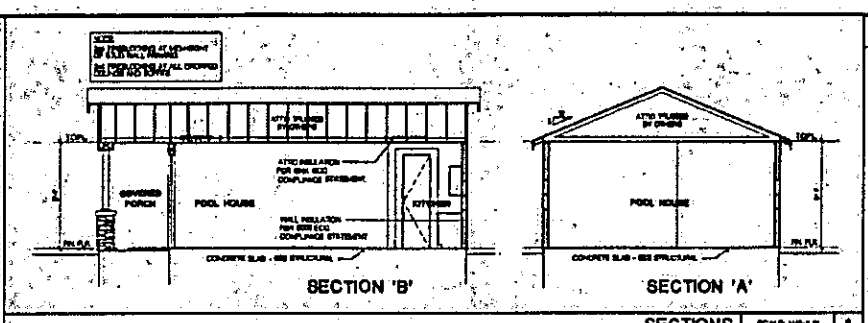
CLOSED VENTS
BY TOP-HAT OR APPROVED EQUAL
SIZE 9"X9" - 76 SQ. NET FREE AREA
(FLAT TUD 60240)

CALC
ATTIC SQUARE FOOTAGE
(50 SQ. FT. X 1,300) 650 SQ.
(15.60 FT. X 14.60 IN. REQUIRED) 1.9 SQ.
(1.9 SQ. FT. X 144 SQ. IN. REQUIRED) 273 SQ.

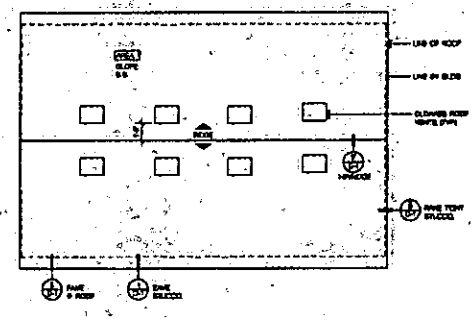
VENTILATION
(68 CLOSED FLAT TUB VENTS X 76 SQ. IN.) = 5168 SQ. IN.
PROVIDED 5168 SQ.

TOTAL HIGH LOW PROVIDED 5168 SQ.

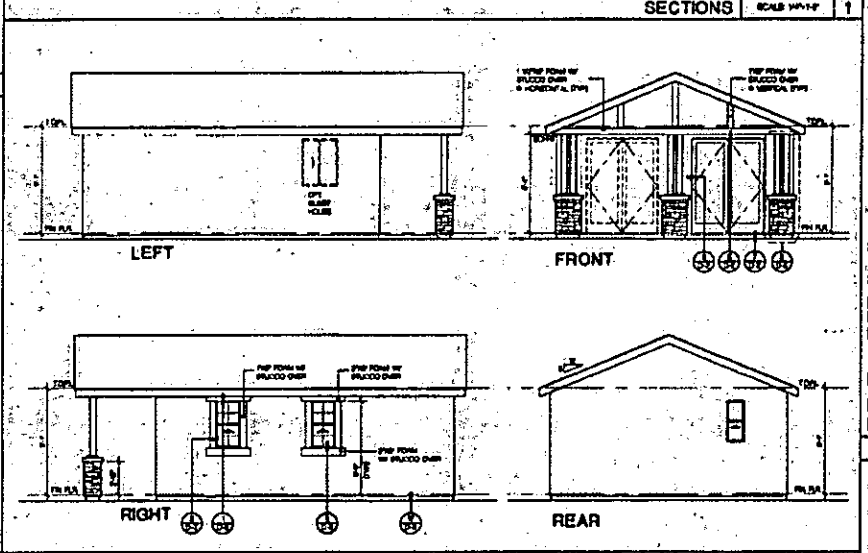
ATTIC VENTILATION 'OPT. A' | 4



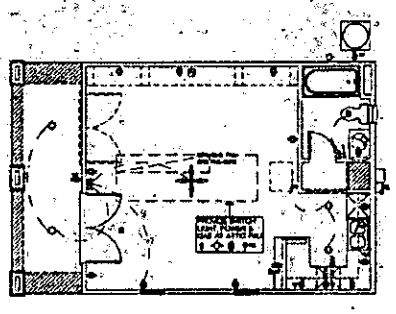

SECTIONS | SCALE 1/4"=1'-0" | 1



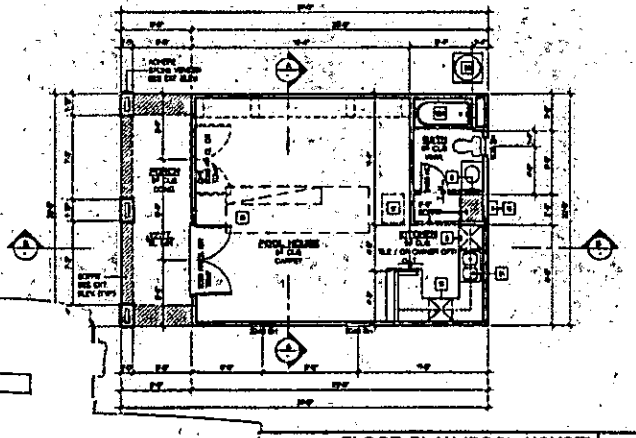

ROOF PLAN 'OPT. A' | SCALE 1/4"=1'-0" | 5




ELEVATIONS | SCALE 1/4"=1'-0" | 2




UTILITY PLAN | SCALE 1/4"=1'-0" | 5




FLOOR PLAN 'POOL HOUSE' | SCALE 1/4"=1'-0" | 3

## KEYNOTES

[illegible]

## NOTES

[illegible]

## SQUARE FOOTAGE

CALIFORNIA CODE REQUIRED

| | |
|---|---|
| LIVING AREA | 600 S.F. |
| GARAGE/PORCH | 200 S.F. |
| TOTAL | 800 S.F. |

| No. | Date | Issue / Description |
|---|---|---|
| | 09/09/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOYGROUP, inc.

Principal in Charge: D. STEMAN
Project Manager: M. GARDNER
Project Architect: R. WARD
Project Designer: R. LEE
Checked by:

Sheet Title: ACCESS. BUILDING 1 POOL HOUSE FLR PLANS/SECTIONS, UTIL. ROOF & ELEV. 'A'

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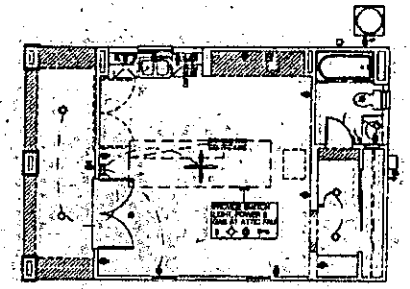
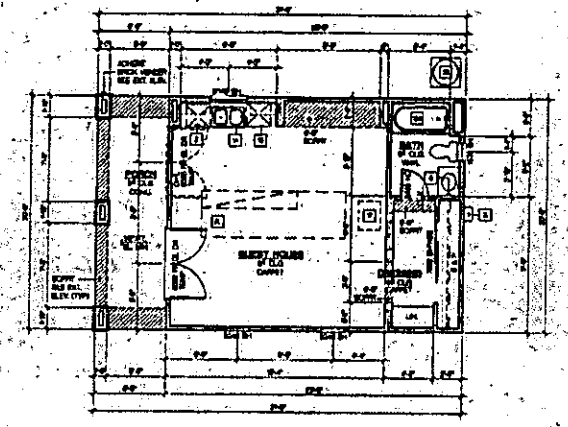
APR 09 2008

EOT-37908

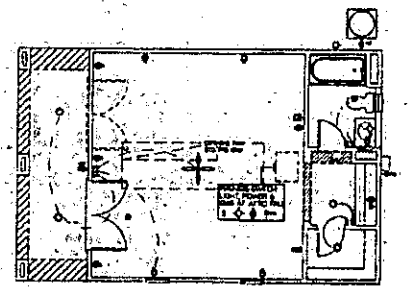
C-1.1



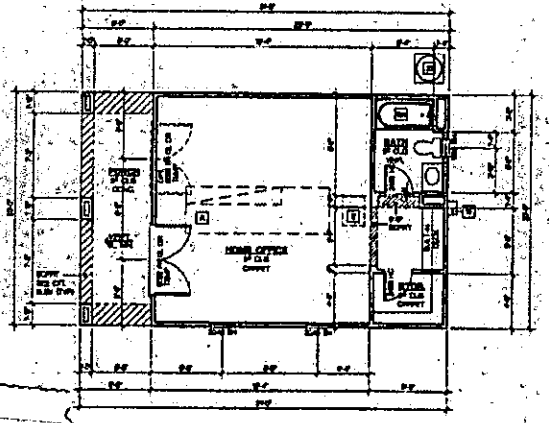
UTILITY PLAN 'OPT. GUEST HOUSE' | SCALE 1/4"=1'-0" | 3



FLOOR PLAN 'OPT. GUEST HOUSE' | SCALE 1/4"=1'-0" | 1



UTILITY PLAN 'OPT. HOME OFFICE' | SCALE 1/4"=1'-0" | 4



FLOOR PLAN 'OPT. HOME OFFICE' | SCALE 1/4"=1'-0" | 2

## KEYNOTES

## NOTES

## SQUARE FOOTAGE

| | |
|---|---|
| FLOOR AREA (EXCEPT GARAGE) | |
| LIVING AREA | 484 S.F. |
| COVERED PORCH | 84 S.F. |
| FLOOR AREA (EXCEPT GARAGE) | |
| LIVING AREA | 484 S.F. |
| COVERED PORCH | 84 S.F. |

INTERIOR ELEVATION

| No. | Date | Issue / Description |
|---|---|---|
| | | REVISED CONSULTANTS |

Consultants

Project:

The Orchards

Splinaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOYOGROUP, inc.

Licensed Stamp

Principal in Charge: G. STYNER
Project Director: M. GARDNER
Project Manager: R. YUNG
Project Designer: R. LEE
Checked By:

Sheet Title:
ACCESS BUILDING 1
"OPT. GUEST HOUSE"
"OPT. HOME OFFICE"
FLOOR & UTILITY PLANS

C-1.2

EOT-37908

ATTIC VENTILATION (2006 IRC SECTION R806) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

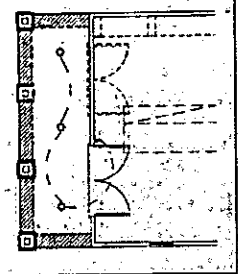
CLOSED VENTS
BY TOMKINS OR APPROVED EQUAL
9 X 9 SINGLE - 79 SQ. IN. NET FREE AREA
FLAT TILE HOOD

CALC
ATTIC SQUARE FOOTAGE
2,197 SQ. FT. X 1/150
14.65 SQ. FT. X 144 SQ. IN. (REQUIRED)

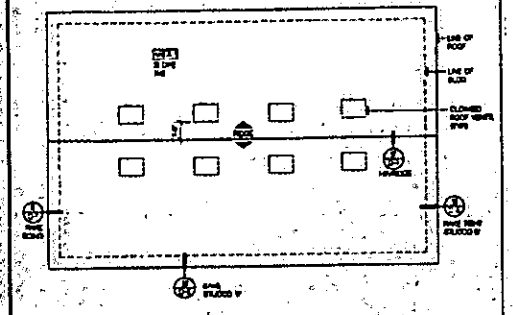
VENTILATION
88 CLOSED FLAT TILE VENTS X 79 SQ. IN. = 6,952 SQ. IN.
PROVIDED 6,952 SQ. IN.

TOTAL HIGH/LOW PROVIDED 6,952 SQ. IN.

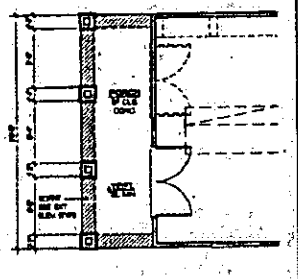
ATTIC VENTILATION 'B' 8



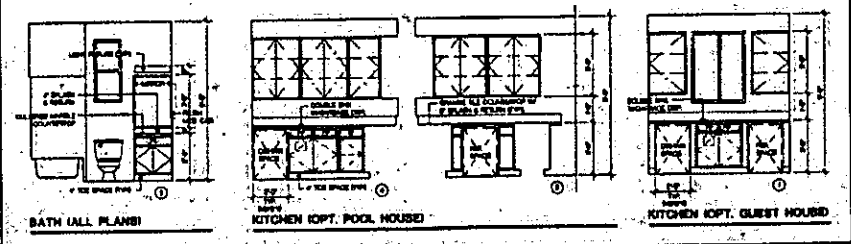
PARTIAL UTL. PLAN 'B' SCALE: 1/4"=1'-0" 4



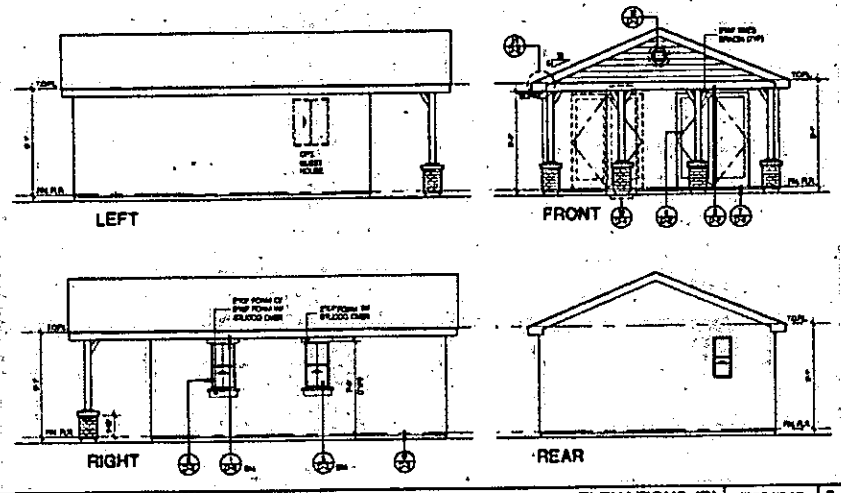

ROOF PLAN 'B' SCALE: 1/4"=1'-0" 9



PARTIAL FLR. PLAN 'B' SCALE: 1/4"=1'-0" 5




INTERIOR ELEVATIONS SCALE: 1/4"=1'-0" 1




ELEVATIONS 'B' SCALE: 1/4"=1'-0" 2

ATTIC VENTILATION (2006 IRC SECTION R806) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

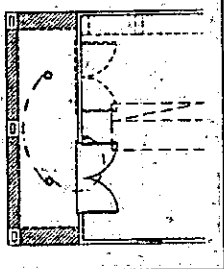
CLOSED VENTS
BY TOMKINS OR APPROVED EQUAL
9 X 9 SINGLE - 79 SQ. IN. NET FREE AREA
FLAT TILE HOOD

CALC
ATTIC SQUARE FOOTAGE
2,197 SQ. FT. X 1/150
14.65 SQ. FT. X 144 SQ. IN. (REQUIRED)

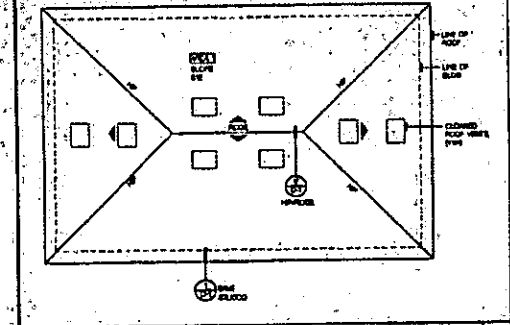
VENTILATION
88 CLOSED FLAT TILE VENTS X 79 SQ. IN. = 6,952 SQ. IN.
PROVIDED 6,952 SQ. IN.

TOTAL HIGH/LOW PROVIDED 6,952 SQ. IN.

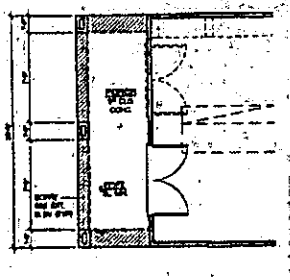
ATTIC VENTILATION 'C' 10



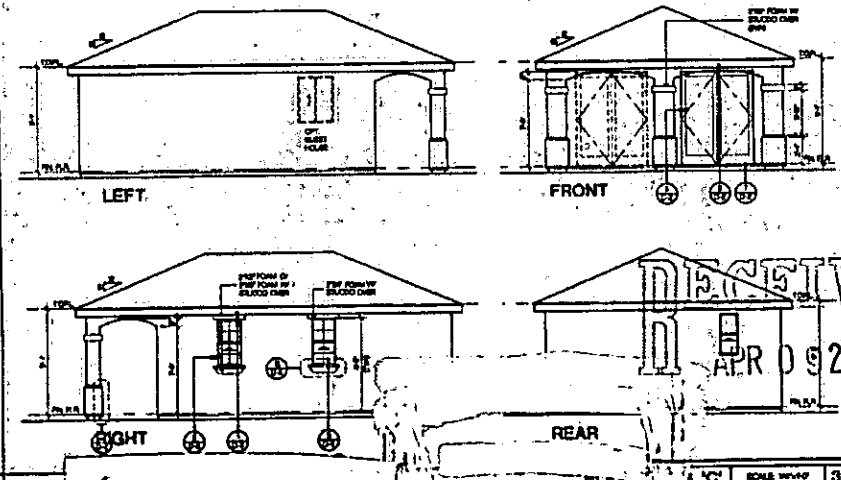
PARTIAL UTL. PLAN 'C' SCALE: 1/4"=1'-0" 6




ROOF PLAN 'C' SCALE: 1/4"=1'-0" 11



PARTIAL FLR. PLAN 'C' SCALE: 1/4"=1'-0" 7




ELEVATIONS 'C' SCALE: 1/4"=1'-0" 3

| No. | Date | Issue / Description |
|---|---|---|
| | 02/28/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4364 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.
Architecture · Planning
[illegible]
Irvine, California

Licensed Professional

Project Manager: G. STYMAN
Project Designer: M. GARDNER
Project Architect: R. WANG
Project Designer: R. LEE
Checked By:

Title: ACCESS. BUILDING 1
INTERIOR ELEVATIONS
'B' CHANGES
'C' CHANGES

Sheet No.: C-1.3

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APR 09 2010

EOT-37908

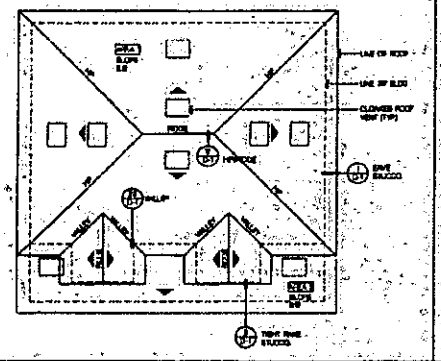
ATTIC VENTILATION: 2006 IRC SECTION R806 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNER VENTS.

CLOSED VENTS
BY "CHAMPION" OR APPROVED EQUAL
[illegible] = 75 SQ. FEET PER AREA
(FLAT TILE #32049)

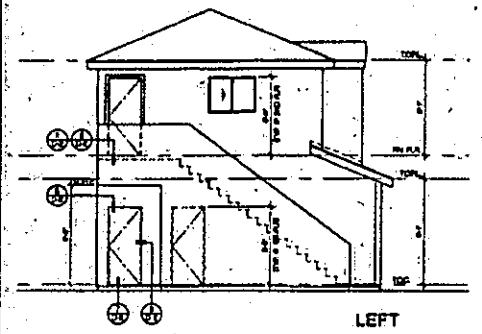
| UNIT 1 | |
|---|---|
| ATTIC SQUARE FOOTAGE | [illegible] SQ. FT. |
| [illegible] SQ. FT. X 1/150 | [illegible] SQ. FT. |
| [illegible] SQ. FT. X 144 (IN.) IN REQUIRED | [illegible] SQ. IN. |
| VENTILATION | |
| (1) CLOSED FLAT TILE VENTS X 75 SQ. IN. = | [illegible] SQ. IN. |
| PROVIDED | [illegible] SQ. IN. |
| TOTAL HIGH/LOW PROVIDED | [illegible] SQ. IN. |

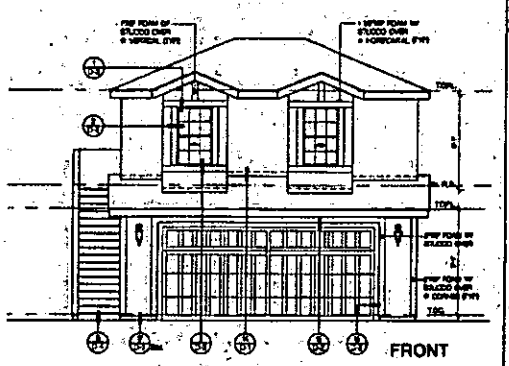
| UNIT 2 | |
|---|---|
| ATTIC SQUARE FOOTAGE | [illegible] SQ. FT. |
| [illegible] SQ. FT. X 1/150 | [illegible] SQ. FT. |
| [illegible] SQ. FT. X 144 (IN.) IN REQUIRED | [illegible] SQ. IN. |
| VENTILATION | |
| (2) CLOSED FLAT TILE VENTS X 75 SQ. IN. = | [illegible] SQ. IN. |
| PROVIDED | [illegible] SQ. IN. |
| TOTAL HIGH/LOW PROVIDED | [illegible] SQ. IN. |

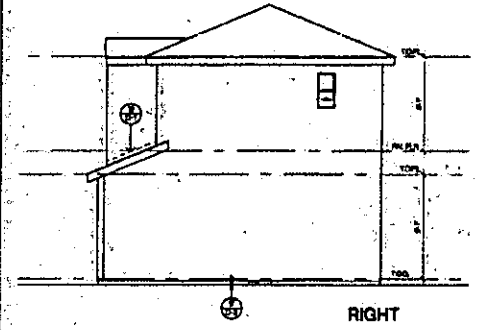
ATTIC VENTILATION | 3

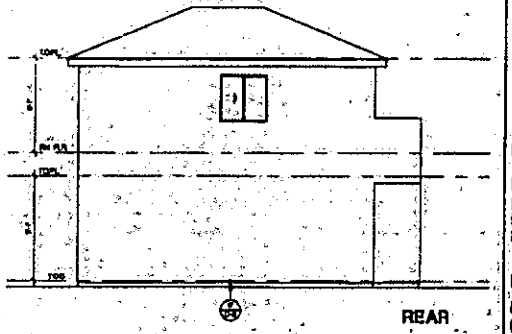



ROOF PLAN | SCALE 1/4"=1'-0" | 4

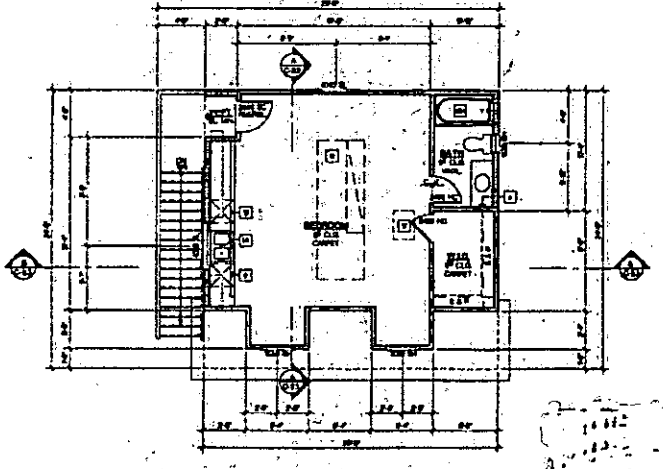


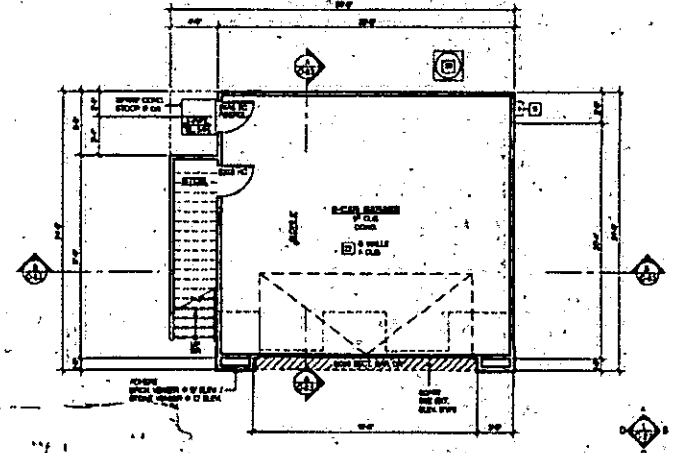




ELEVATIONS 'A' | SCALE 1/4"=1'-0" | 1




SECOND FLOOR PLAN




FIRST FLOOR PLAN

FLOOR PLAN | SCALE 1/4"=1'-0" | 2

## KEYNOTES

[illegible]

## NOTES

[illegible]

SQUARE FOOTAGE

| FLOOR AREA | |
|---|---|
| GROUND FLOOR | [illegible] S.F. |
| GARAGE / STORAGE | [illegible] S.F. |

| No. | Date | Issue / Description |
|---|---|---|
| | 02/09/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.
Architecture / Planning
[illegible]
Irvine, California

Licensed Engineer

Drawn by: D. STRAND
Project Manager: M. GARDNER
Project Architect: R. WARD
Project Designer: H. LEE
Checked by:

Sheet Title:
ACCESS. BUILDING 2
FLOOR PLANS,
ROOF PLAN,
'A' ELEVATIONS

Sheet No.
C-2.1

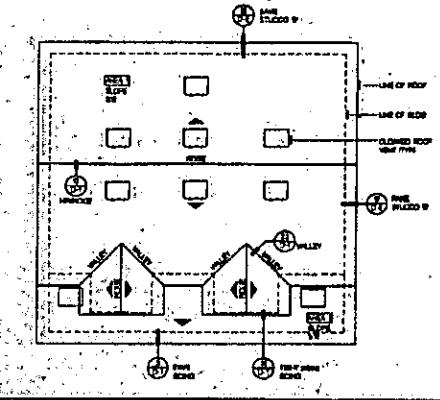
EOT-37908

ATTIC VENTILATION: (2006 IRC SECTION R806) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300 PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

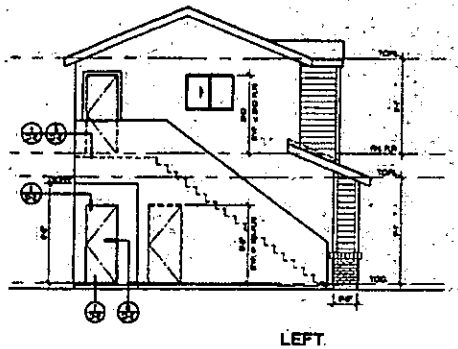
CLOSED VENTS
BY "OTHERS" OR APPROVED EQUAL
(R806 (2)(b)) - 75 SQ NET FREE AREA
FLAT TILE #60043

| BLDG 1 | | BLDG 2 | |
|---|---|---|---|
| ATTIC SQUARE FOOTAGE: | [illegible] SF | ATTIC SQUARE FOOTAGE | [illegible] SF |
| [illegible] FT. X 1/150 | [illegible] SF | [illegible] FT. X 1/150 | [illegible] SF |
| [illegible] SQ. FT. X 144 SQ. IN. REQUIRED | [illegible] SQ. IN. | [illegible] SQ. FT. X 144 SQ. IN. REQUIRED | [illegible] SQ. IN. |
| VENTILATION | | VENTILATION | |
| [illegible] CLOSED FLAT TILE VENTS X 75 SQ. IN. = | [illegible] SQ. IN. | [illegible] CLOSED FLAT TILE VENTS X 75 SQ. IN. = | [illegible] SQ. IN. |
| PROVIDED | [illegible] SQ. IN. | PROVIDED | [illegible] SQ. IN. |
| TOTAL HIGH/LOW PROVIDED | [illegible] SQ. IN. | TOTAL HIGH/LOW PROVIDED | [illegible] SQ. IN. |

ATTIC VENTILATION | 3




ROOF PLAN | SCALE: 1/8"=1'-0" | 4

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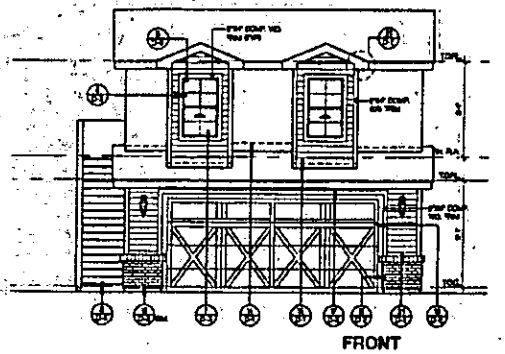


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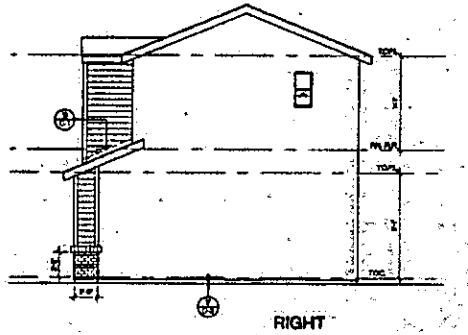


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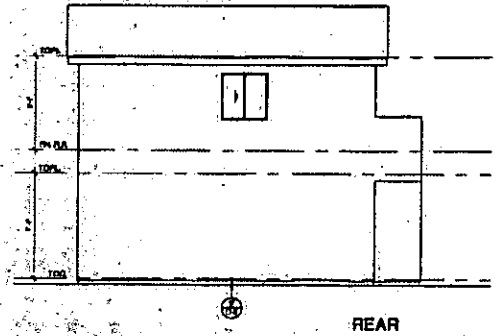
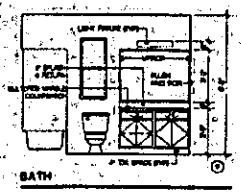



REAR

ELEVATION 'B' | SCALE: 1/8"=1'-0" | 1



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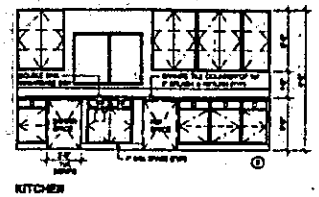
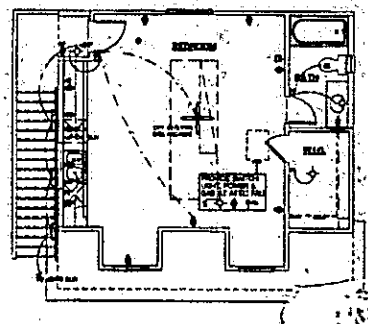
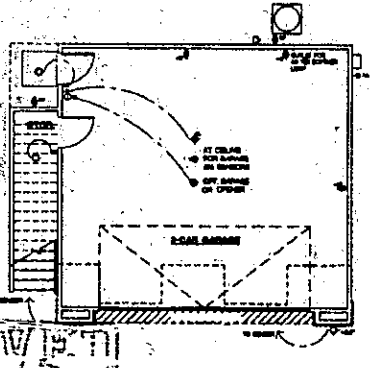


KITCHEN

INTERIOR ELEVATIONS | SCALE: 1/4"=1'-0" | 5




SECOND FLOOR PLAN




1ST FLOOR PLAN

UTILITY PLANS | SCALE: 1/8"=1'-0" | 2

## UTILITY SYMBOLS

- DECORATOR OUTLET
- DUPLEX OUTLET
- 110 VOLT OUTLET
- 220 OUTLET
- GFCI OUTLET
- GFCI OUTLET-WEATHERPROOF
- JUNCTION BOX
- 220 DISCONNECT - WEATHERPROOF
- CEILING MOUNTED LIGHT
- PENDANT
- WALL MOUNTED LIGHT
- VENTURE CEILING MOUNTED LIGHT
- RECESSED CAN LIGHT
- SKYLIGHT TRIM
- COMBINATION OF SKYLIGHT TRIM & CEILING MOUNTED
- FLUORESCENT CEILING MOUNTED LIGHT
- FLUORESCENT CAN LIGHT
- COMBINATION OF SKYLIGHT TRIM & FLUORESCENT CEILING MOUNTED
- FLUORESCENT FIXTURE UNDER CABINET
- SWITCH
- 3-WAY SWITCH
- CEILING SWITCH
- SMOKE DETECTOR TO SOUND ALARM * AUDIBLE IN ALL SLEEPING AREAS OR INTERPRETED WITH SMOKER BACKUP
- THERMOSTAT
- FLOW SUCTION
- FANS
- OPTIONAL SECURITY
- TELEPHONE OUTLET
- TV OUTLET
- FUEL GAS
- FIREPLACE KEY LOCKS
- LOCKS WITH NON-REMOVABLE SHAFT FOR PROVIDING DENSE AND SHUT OFF VALVE
- RECESSED PLUMBOUT FOR DISHWASHER
- RETURN AIR GRILL
- WATER SOFTENER
- 1" DIAM FLEXIBLE CONDUIT
- SPARE SWITCHES BOX
- PREWIRE FOR SURROUND SOUND SPEAKER LOCATIONS
- PREWIRE FOR SUBWOOFER LOCATION
- 2 CATV + 1 FOR CABLE
- CENTRAL DISTRIBUTION PANEL
- TRIM LIGHT
- SOLAR FAN

## UTILITY NOTES

1. OPTIONAL PRE-WIRE INTERCOM SYSTEM FOR DWELLING INTERCOM UNIT LOCATIONS AS SELECTED BY DEVELOPER.
2. OPTIONAL PRE-WIRE SECURITY SYSTEM FOR DWELLING.
3. PROVIDE DISCONNECT AT SHELLS-END LOUVERED VENTS FOR ATTIC FAN.
4. PROVIDE 6" TALL LEGRED HOUSE NUMBERS AT FRONT ELEVATIONS.
5. PROVIDE 2 FLEXIBLE CONDUIT AND JUNCTION BOXES AS NECESSARY TO INCLUDE FUTURE HOMEOWNER IMPROVEMENTS SUCH AS HOME SPEAKER INTERNET ACCESS, ADDITIONAL AUDIO/VIDEO LINES, AND WIRE TELEPHONE DIAL WIRING.
6. PROVIDE GROUP DISPENSER WIRE AT SERVICE AND 1" CONDUIT FROM THE DISPENSER BOX THROUGH THE CEIL. FOR PLATE AND ON WIRE IN ATTIC.
7. OPTIONAL SECURITY OUTLET IN EACH CONT OUTLET.
8. OPTIONAL PRIMING EACH PLAN INCLUDE THE "HOMEOWNER" SPACES, INCLUDE AS NON-LIMITED BOOK AND 1" HOOD BACKBOARD INSTALLED IN THE FOOT BOARD OF EACH PLANS FOR SECURITY PLAN AS DIRECTED BY DEVELOPER.
9. ALL PHONE WIRED FOR EACH LOCATION INCLUDED IN THE PLAN SHALL BE AWG CATEGORY 5 UTP LINE-BLUE PAIRED WIRE SHALL BE HOMERUN TO THE LOW VOLTAGE THE SECURITY PLAN.
10. ALL PHONE JACKS SHALL BE STANDARD TYPE.
11. ALL TV WIRES SHALL BE RG6 6/6 WIRE AND EACH LOCATION INCLUDED IN THE PLAN SHALL BE LOW VOLTAGE INCLUDING.
12. ALL PHONE AND TV WIRE SHALL BE LABELED AT HOME.
13. TV CABLE AND OTHERS EACH SHALL RUN FROM THE LOW VOLTAGE THE SECURITY PLAN PHONE & TV WIRE [illegible]
14. ALL RECEPTACLES THAT SERVE THE GARAGE AREA SHALL BE GFI PROTECTED IN KITCHEN AREA.
15. GARAGE CONDITIONED SPACE HAS NO OTHER OUTLETS, VENTS OR LIGHT FIXTURES.
16. PROVIDE [illegible] PROVISION OF [illegible]
17. FOR [illegible] ALL SUPPORTED LOCATED WITHIN X ZONE 3 FEET HORIZONTALLY AND 5 FEET VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL SHALL BE GFI PROTECTED.

| No. | Date | Issue / Description |
|---|---|---|
| | 02/23/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.
Architecture / Planning
[illegible]
Irvine, California

License Stamp

Principal In Charge: D. STUART
Project Director: R. GARDNER
Project Manager: R. YUNG
Project Designer: H. LEE
Drawn By: [illegible]
Sheet Title: ACCESS. BUILDING 2 UTILITY PLANS / INTERIOR ELEVATIONS / ELEVATIONS

Sheet No. C-2.2

RECEIVED APR 09

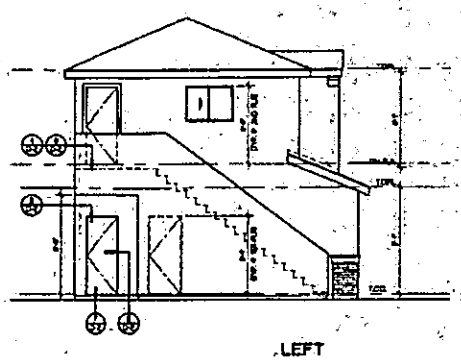
EOT-37908

ATTIC VENTILATION. (2006 IRC SECTION 806.2) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

CLOSED VENTS
BY "OHAGIN" OR APPROVED EQUAL
SIZE: 10x20 = 75 SQ. IN. NET FREE AREA
FLAT TILE (1000)

| BLDG. 1 | | BLDG. 2 | |
|---|---|---|---|
| ATTIC SQUARE FOOTAGE | 871 SF. | ATTIC SQUARE FOOTAGE | 65 SF. |
| (SF SQ. FT. X 1/300) | 3.41 SF. | (SF SQ. FT. X 1/300) | 0.22 SF. |
| (341 SQ. FT. X 144 SQ. IN. REQUIRED) | 491 SI. | (0.22 SQ. FT. X 144 SQ. IN. REQUIRED) | 32 SI. |
| VENTILATION | | VENTILATION | |
| (11) CLOSED FLAT TILE VENTS X 75 SI. = | 825 SI. | (2) CLOSED FLAT TILE VENTS X 75 SI. = | 150 SI. |
| PROVIDED | 825 SI. | PROVIDED | 150 SI. |
| TOTAL HIGH LOW PROVIDED | 825 SI. | TOTAL HIGH LOW PROVIDED | 150 SI. |

ATTIC VENTILATION 3



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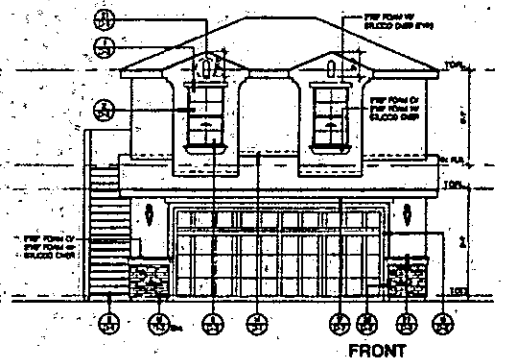

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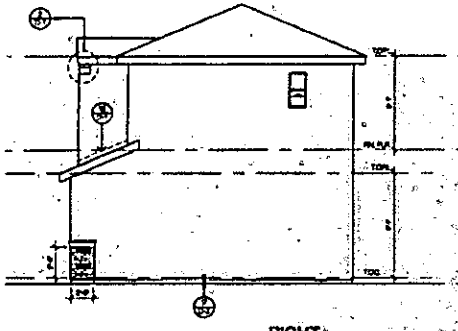

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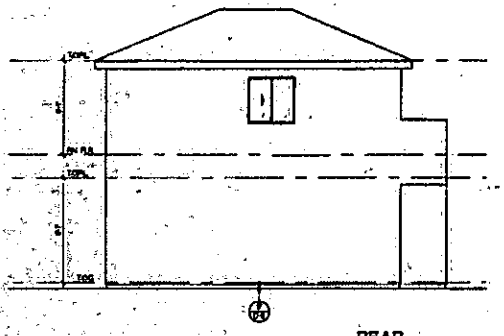
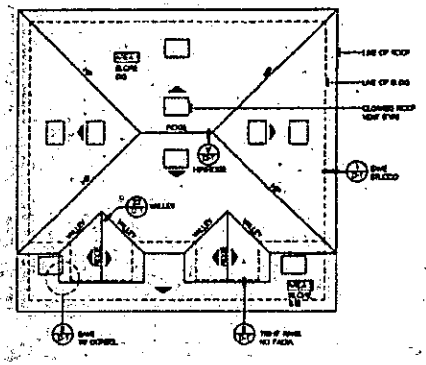


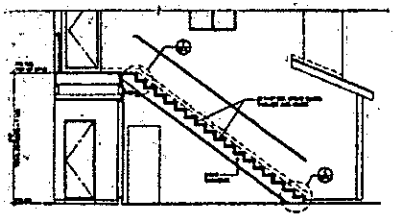
REAR

ELEVATION 'C' SCALE 1/4"=1'-0" 1



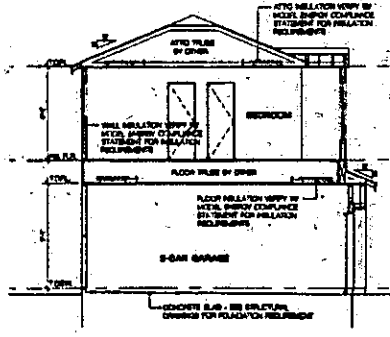
ROOF PLAN SCALE 1/8"=1'-0" 4

SECOND FLOOR PLAN

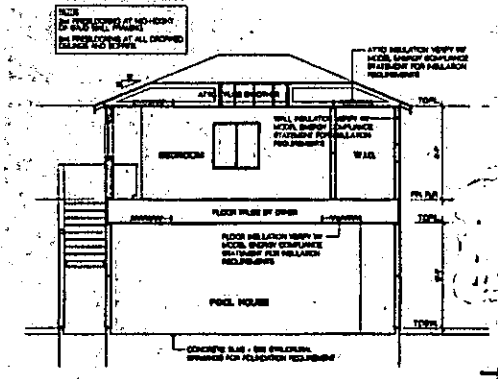


STAIRWAY SECTION 'f'

STAIRWAY SECTION / PLAN SCALE 1/4"=1'-0" 5



SECTION 'B'



SECTION 'A'

SECTIONS SCALE 1/4"=1'-0" 2

| No. | Date | Issue / Description |
|---|---|---|
| | 02/25/07 | CO'R UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.

Licensed Stamp

ACCESS BUILDING 2
BUILDING SECTIONS
'C' ELEVATIONS
& ROOF PLAN

Sheet No. C-2.3

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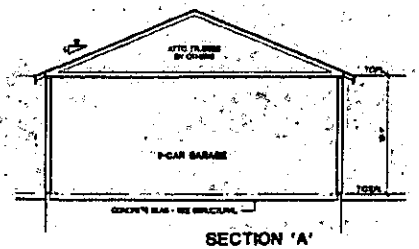
EOT-37908

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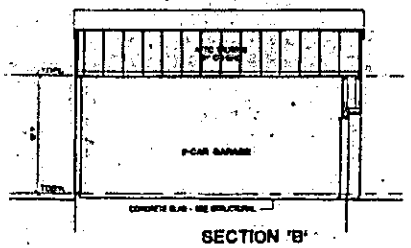
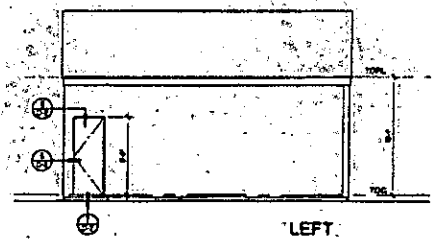



SECTION 'B'

SECTIONS | SCALE 1/4"=1'-0" | 4

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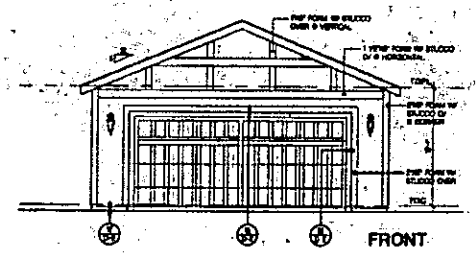


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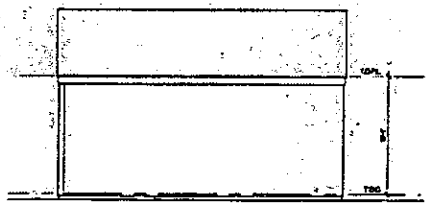


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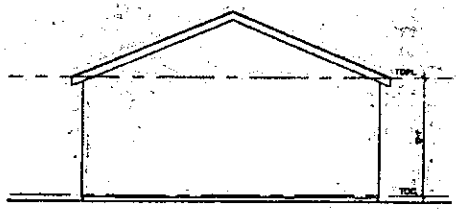
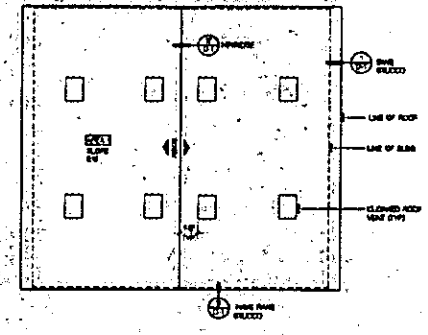



REAR

ELEVATIONS | SCALE 1/4"=1'-0" | 1




ROOF PLAN | SCALE 1/4"=1'-0" | 5

ATTIC VENTILATION: 2006 IRC SECTION R806.2 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300 PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

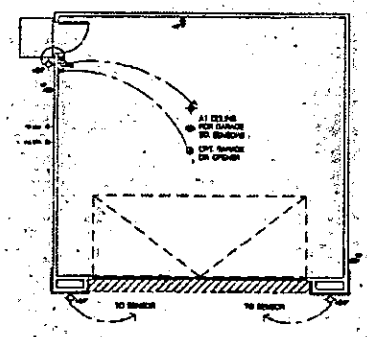
CLOSED VENTS
BY 'O' WORK OF APPROVED EQUAL
SIZE 9.0 IN - 75 SQ. INCH FREE AREA
FLAT TILE PROFILE

CALC'S
ATTIC SQUARE FOOTAGE
(1/150 SQ. FT. X 1000 SQ. FT. = 6.67 SQ. IN. REQUIRED)

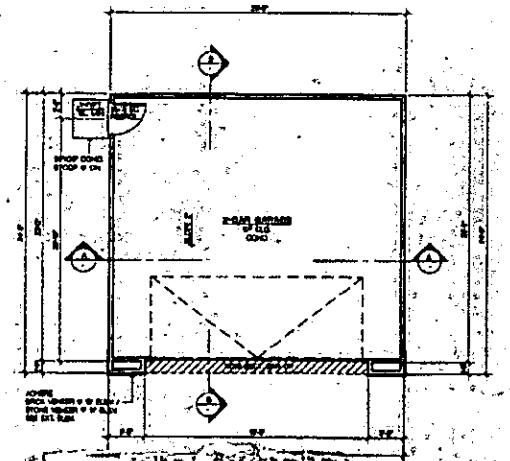
VENTILATION:
68 CLOSED FLAT TILE VENTS x 75 IN = 5100 SQ. IN.
PROVIDED: 5100 SQ. IN.

TOTAL HIGH LOW PROVIDED 5100 SQ. IN.

ATTIC VENTILATION | 6




UTILITY PLAN | SCALE 1/4"=1'-0" | 3




FLOOR PLAN | SCALE 1/4"=1'-0" | 2

## KEYNOTES

[illegible]

## NOTES

[illegible]

## SQUARE FOOTAGE

| | |
|---|---|
| FLOOR AREA | |
| 2 CAR GARAGE | 575 S.F. |

| No. | Date | Mark / Description |
|---|---|---|
| | 12/19/07 | CODE UPDATE |

Consultants:

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOYGROUP, INC.

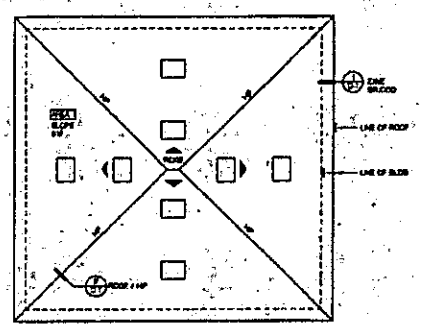
Licensee Signature:

Drawn By: B. STUMP
Project Manager: M. SANDERS
Project Engineer: R. WARD
Project Designer: H. LEE
Checked By:

Sheet Title: GARAGE 'A' FLOOR PLAN, ELEV., UTILITY, ROOF PLAN & SECTIONS

Sheet No.: G-1.1

EOT-37908



ROOF PLAN 'C' | SCALE 1/4"=1'-0" | 3

ATTIC VENTILATION: BCDS IRC SECTION R806 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

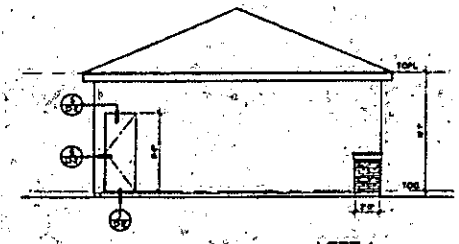
BY WINDOW OR APPROVED EQUAL
SIZE 16x36 - 7% SQ.FT NET FREE AREA
(FLAT TILE #30240)

AREA
ATTIC SQUARE FOOTAGE 875 SQ.FT.
875 SQ. FT. X 1/300 3.00 SQ.FT.
3.00 SQ. FT. X 144 SQ. IN (INCLUDED) 501 SQ.IN.

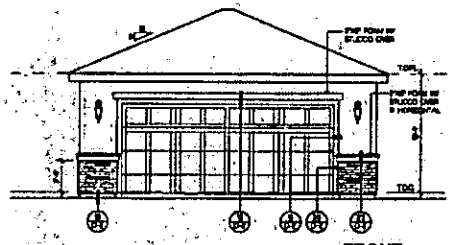
VENTILATION
50 CLOSHED FLAT TILE VENTS X 70 SQ.IN. = 3500 SQ.IN.
PROVIDED 3500 SQ.IN.

TOTAL HIGH LOW PROVIDED 3500 SQ.IN.

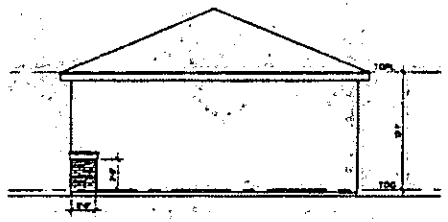
ATTIC VENTILATION 'C' | 4



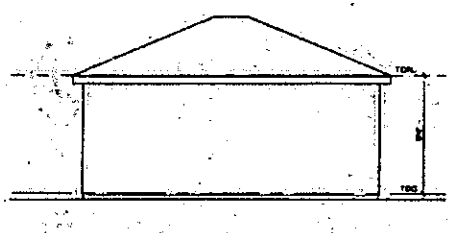
LEFT



FRONT

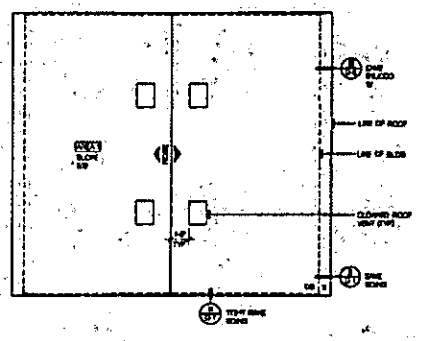


RIGHT



REAR

ELEVATIONS 'C' | SCALE 1/4"=1'-0" | 1



ROOF PLAN 'B' | SCALE 1/4"=1'-0" | 5

ATTIC VENTILATION: BCDS IRC SECTION R806 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

SOFFIT VENTS (CLOSED)
BY WINDOW OR APPROVED EQUAL
SIZE 9x24 - 1/2 SQ. FT. NET FREE AREA

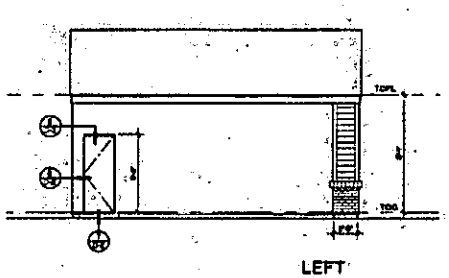
CLOSED VENTS
BY WINDOW OR APPROVED EQUAL
SIZE 16x36 - 7% SQ. FT. NET FREE AREA
(FLAT TILE #30240)

AREA
ATTIC SQUARE FOOTAGE 875 SQ.FT.
875 SQ. FT. X 1/300 2.92 SQ.FT.
2.92 SQ. FT. X 144 SQ. IN (INCLUDED) 420.48 SQ.IN.

VENTILATION
50 CLOSHED FLAT TILE VENTS X 70 SQ.IN. = 3500 SQ.IN.
20 ROUND GABLE END VENTS X 96 SQ.IN. = 1920 SQ.IN.
PROVIDED 5420 SQ.IN.

TOTAL HIGH LOW PROVIDED 5420 SQ.IN.

ATTIC VENTILATION 'B' | 6



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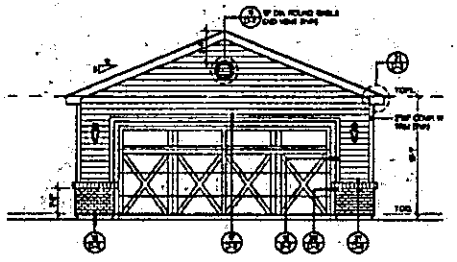

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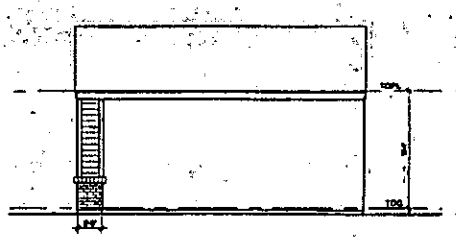

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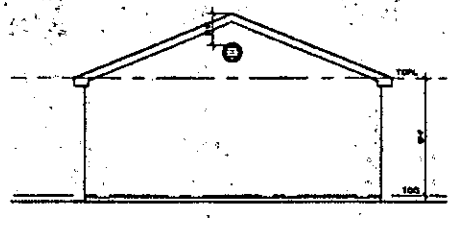


REAR

ELEVATIONS 'B' | SCALE 1/4"=1'-0" | 2

RECEIVED
APR 0 9 2010

Rev. Date Issue / Description
02/26/2010 CODE UPDATE

Consultants

Project:
The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOY GROUP, INC.
Architect Planning
Interior Design
Environmental Graphics
Interior Design
Las Vegas, Nevada

Licensed Design Professional

'B' & 'C' ELEVATIONS & ROOF PLAN

Sheet No.
G-1.2

EOT-37908

ATTIC VENTILATION: (2003 IRC SECTION 806.2) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

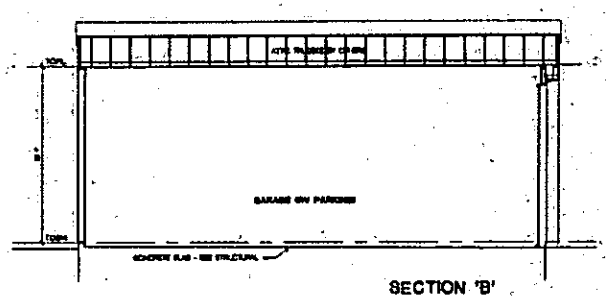
CLOSED VENTS
BY "CHADWICK" OR APPROVED EQUAL
SIZE 18"x25" - 78 IN NET FREE AREA
(FLAT TILE VENT)

AREA
ATTIC SQUARE FOOTAGE 840 SQ.FT.
840 SQ. FT. / 150 = 5.6 SQ.FT.
(56 SQ. FT. x 144 SQ. IN. = 8064 SQ. IN. REQUIRED)

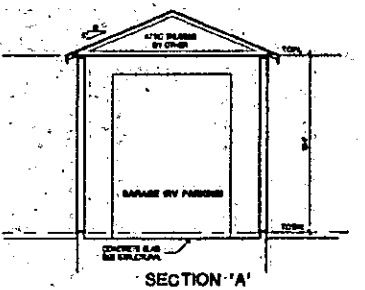
VENTILATION
(8) CLOSED FLAT TILE VENTS X 78 SQ. IN. = 624 SQ. IN.
PROVIDED 624 SQ. IN.

TOTAL NCH LOW PROVIDED 624 SQ. IN.

ATTIC VENTILATION 4

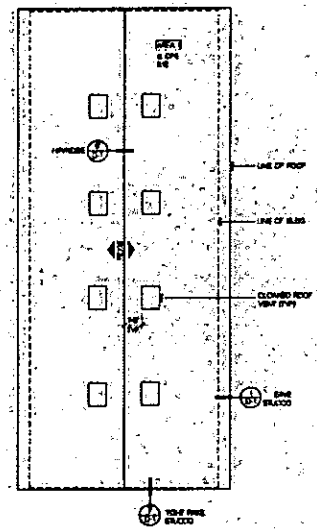



SECTION 'B'

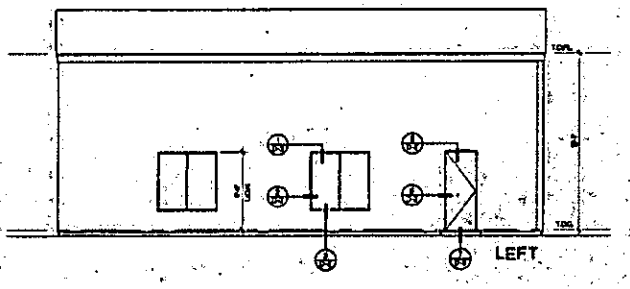



SECTION 'A'

SECTIONS SCALE 1/4"=1'-0" 1




ROOF PLAN SCALE 1/4"=1'-0" 5



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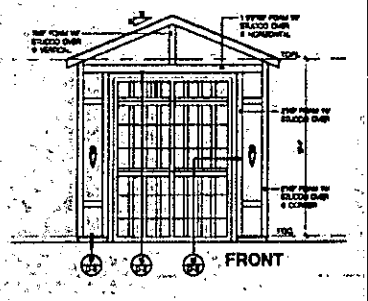


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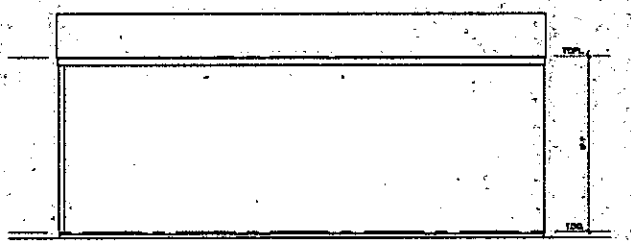

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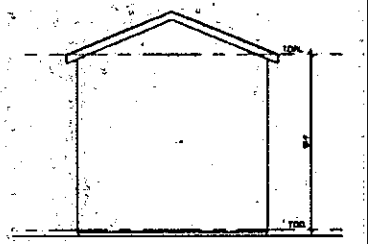
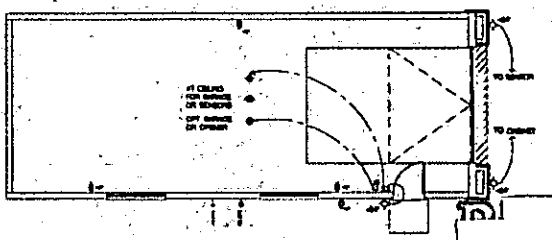
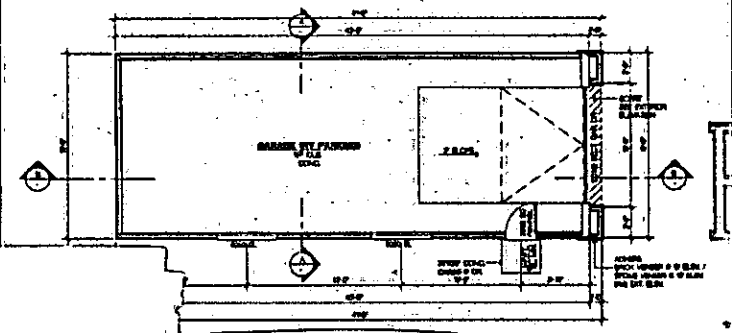


REAR

ELEVATIONS SCALE 1/4"=1'-0" 2




UTILITY RL




FLOOR PLAN SCALE 1/4"=1'-0" 3

## KEYNOTES

## NOTES

## SQUARE FOOTAGE

FLOOR AREA
GARAGE 6W PARKING 840 S.F.

| No. | Issue | Issue / Description |
|---|---|---|
| | 07/07/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.
Architecture · Planning
19900 MACARTHUR BOULEVARD, SUITE 300
IRVINE, CA 92612
949.851.2146
www.ktgy.com
Irvine, California

Licensed Architect

Project Manager: B. OTHAM
Project Designer: M. GARDNER
Project Manager: R. WANG
Project Designer: H. LEE
Drawn by:

GARAGE 2 (R.V.)
FLOOR PLAN, UTILITY
ROOF PLAN, SECTIONS
& ELEVATIONS 'A'

APR 11 2010

EOT-37908

G-2.1

ATTIC VENTILATION: CBC 1704 (EXCEPTION 1) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

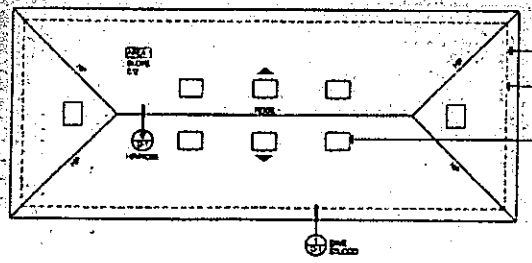
CLOSED VENTS
BY CHAGOY OR APPROVED EQUAL
6X3 18x36 - 78 SQ. NET FREE AREA
PLAT TILE 42043

AREA
ATTIC SQUARE FOOTAGE 840 SF
840 SQ. FT. X 1/300 = 420 SF
420 SQ. FT. X 144 SQ. IN. (REQUIRED) = 60 SQ.

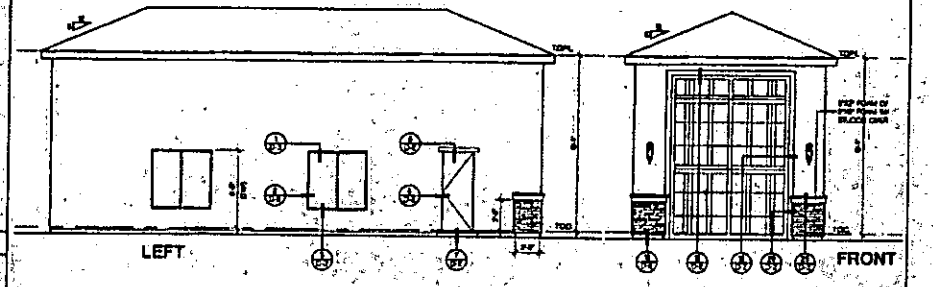
VENTILATION
8 CLOSED FLAT TILE VENTS X 78 SQ. = 624 SQ.
PROVIDED 624 SQ.

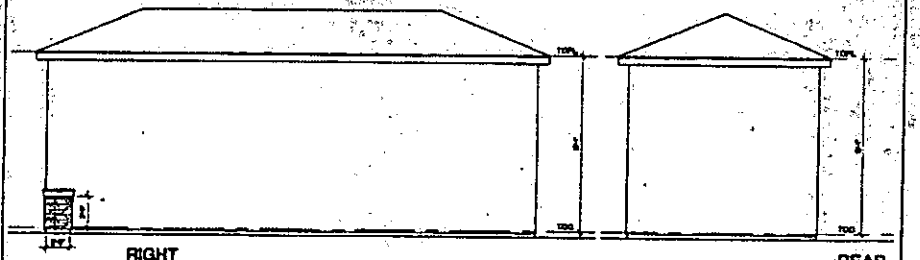
TOTAL HIGH LOW PROVIDED 624 SQ.

ATTIC VENTILATION 'C' 6




ROOF PLAN 'C' SCALE 1/4"=1'-0" 5




ELEVATIONS 'C' SCALE 1/4"=1'-0" 1

ATTIC VENTILATION: CBC 1704 (EXCEPTION 1) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

ROUND GABLE END VENTS
BY TOMKINS OR APPROVED EQUAL
18X2 14 DIA. - 80 SQ. NET FREE AREA

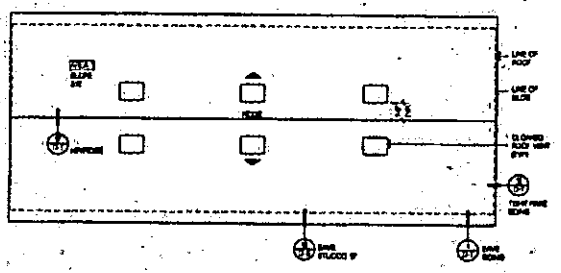
CLOSED VENTS
BY CHAGOY OR APPROVED EQUAL
6X3 18x36 - 78 SQ. NET FREE AREA
PLAT TILE 42043

AREA
ATTIC SQUARE FOOTAGE 840 SF
840 SQ. FT. X 1/300 = 420 SF
420 SQ. FT. X 144 SQ. IN. (REQUIRED) = 60 SQ.

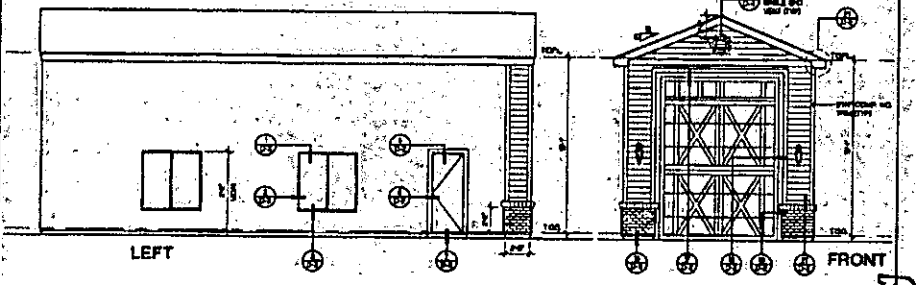
VENTILATION
6 CLOSED FLAT TILE VENTS X 78 SQ. = 474 SQ.
2 ROUND GABLE END VENTS X 80 SQ. = 160 SQ.
PROVIDED 634 SQ.

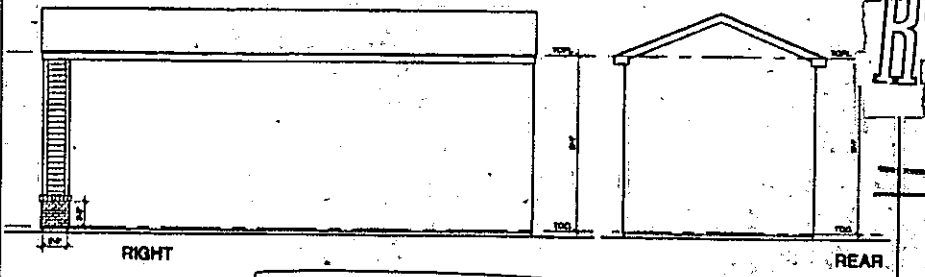
TOTAL HIGH LOW PROVIDED 634 SQ.

ATTIC VENTILATION 'B' 4




ROOF PLAN 'B' SCALE 1/4"=1'-0" 3




ELEVATIONS 'B' SCALE 1/4"=1'-0" 2

| No. | Date | Issue / Description |
|---|---|---|
| | 02/24/07 | CODE UPDATE |

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOY GROUP, INC.

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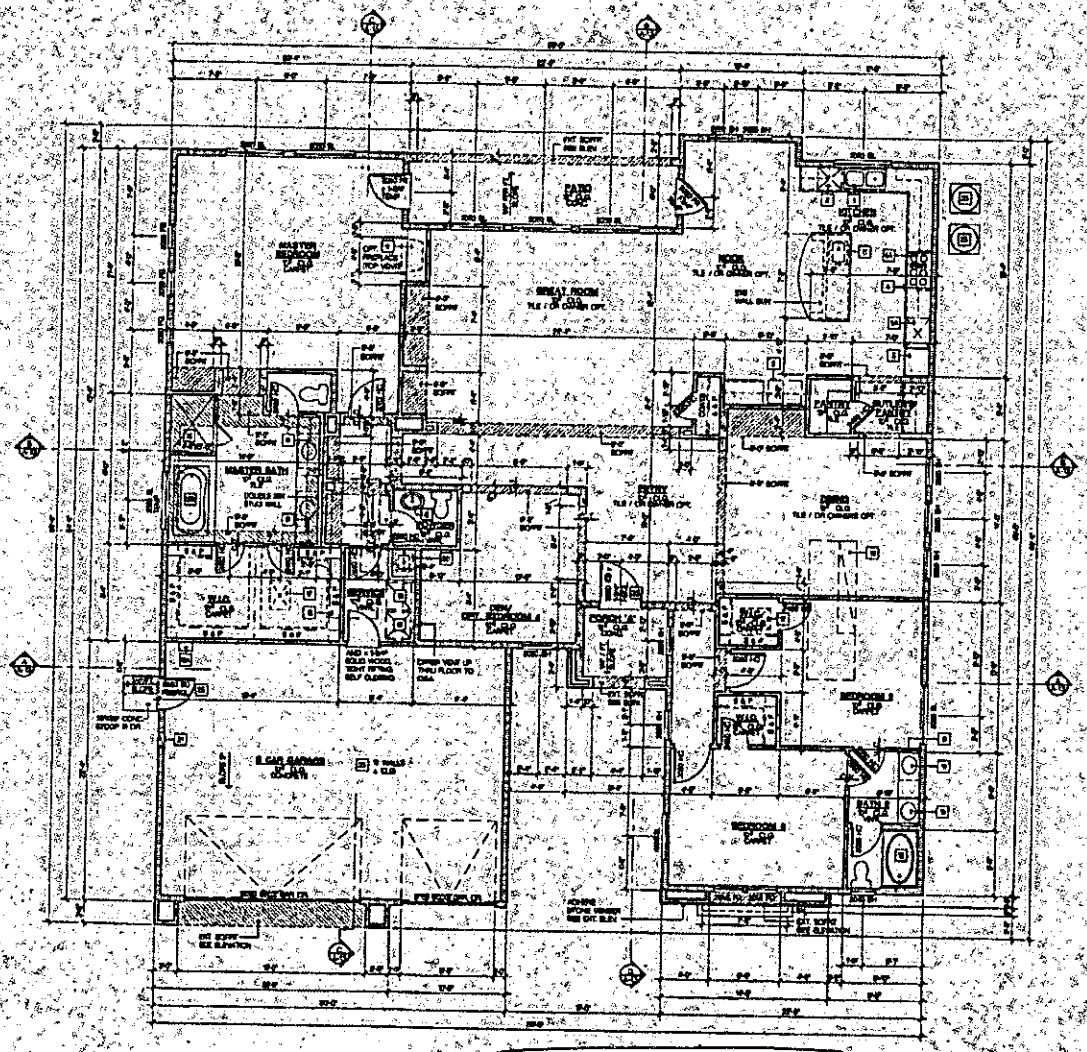
APR 0 9 2010

Drawn By: G. STYRAN
Checked By: M. GARDNER
Project Manager: G. STYRAN
Project Designer: H. LEE
Checked By:

GARAGE 2 (R.V.)
'B' & 'C' ELEVATIONS
AND ROOF PLAN

Sheet No.: G-2.2

EOT-37908




FLOOR PLAN

## KEYNOTES

## NOTES

SQUARE FOOTAGE

| | |
|---|---|
| FLOOR AREA | |
| LIVING AREA | 2,[illegible] S.F. |
| 3-CAR GARAGE | 576 S.F. |
| OPT. 2-CAR GARAGE | 576 S.F. |
| FRONT PORCH | [illegible] |
| [illegible] | [illegible] |

| No. / Date | Item / Description |
|---|---|
| 02/28/07 | CODE UPDATE |

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 8903

2005-0669

KTGYGROUP, INC.

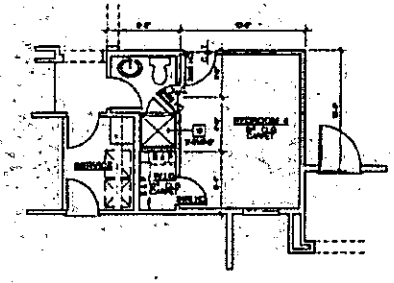
Licensed Design Professional

Project in Charge: S. SHAH
Project Manager: M. SANDOVAL
Project Designer: R. WANG
Project Engineer: H. LEE
Checked By:

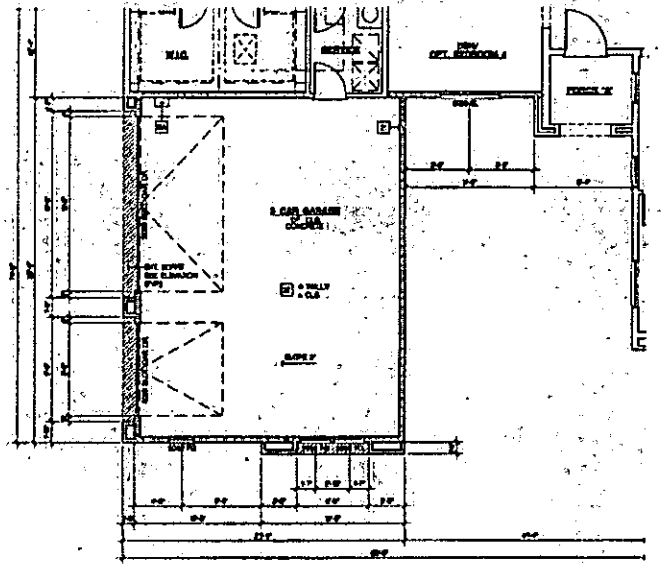
Sheet Title:
PLAN 1
'A' FLOOR PLAN

EGF-37908

A-1.1



OPTIONAL
BEDROOM 4



OPTIONAL
CORNER GARAGE

## KEYNOTES

## NOTES

FLOOR PLAN OPTIONS

| No. | Date | Issue / Description |
|---|---|---|
| | 02/20/07 | CODE UPDATE |

Contractor:

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, INC.

Irvine, California

Licensee Stamp

Principal In Charge: B. SETHAVI
Project Director: M. GARDNER
Project Manager: B. YANG
Project Designer: H. LEE
Drawn By:

Sheet Title:
PLAN 1
'A' FLOOR PLAN
OPTIONS

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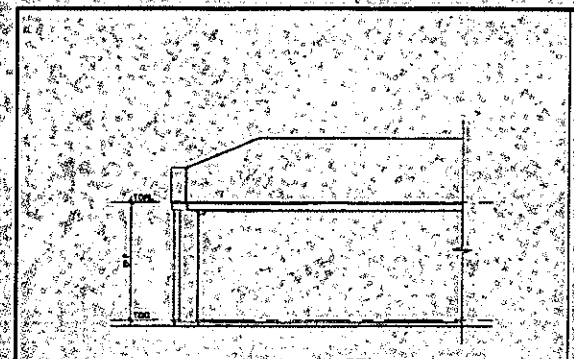
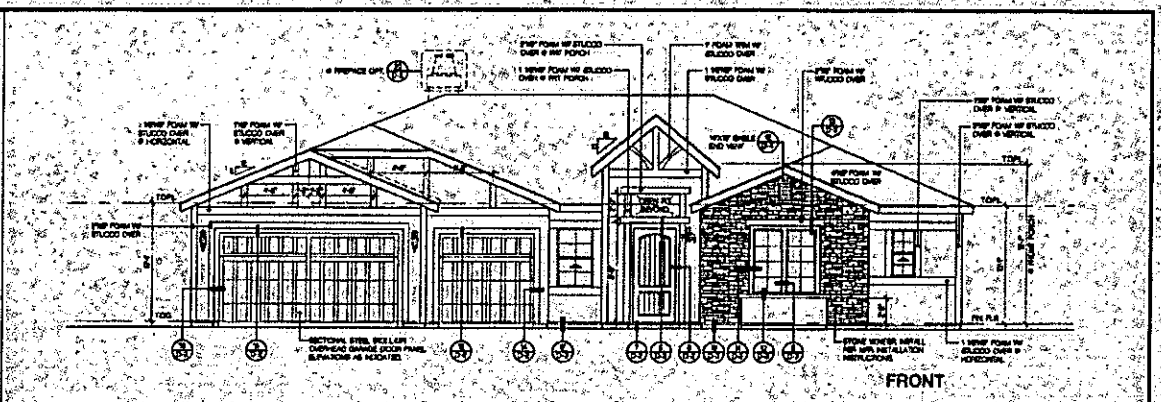
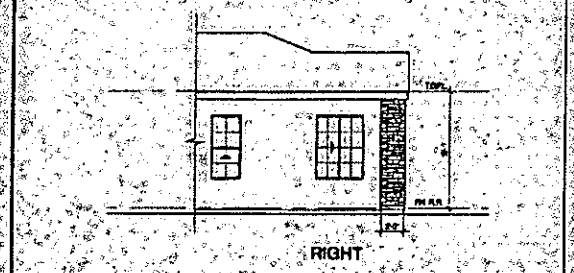
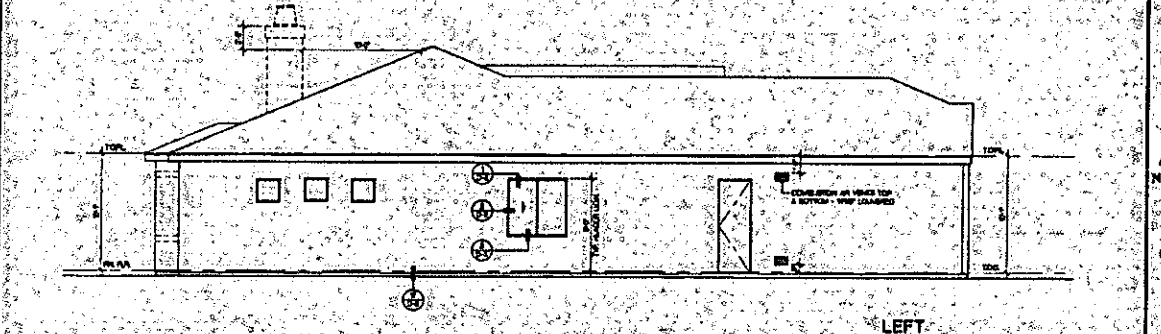
EOT-37908

A-1.1A




PARTIAL ELEVATION @ COURTYARD | SCALE 1/4"=1'-0" | 4

EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

ATTIC VENTILATION: 2003 IRC SECTION 806B THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300 PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

GABLE END VENTS
[illegible] PROVIDED PLAN
[illegible] NET FREE AREA

CLOSED VENTS
BY "OWIGHT" OR APPROVED EQUAL
SIZE 16x28 - 75 SQ INCH NET FREE AREA
FLAT TILE ROOF

CALC
ATTIC SQUARE FOOTAGE [illegible]
[illegible] SQ. FT. X 1/300
[illegible] SQ. FT. X 144 SQ. IN. REQUIRED [illegible]

HIGH VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 78 SQ. = [illegible]
PROVIDED [illegible]

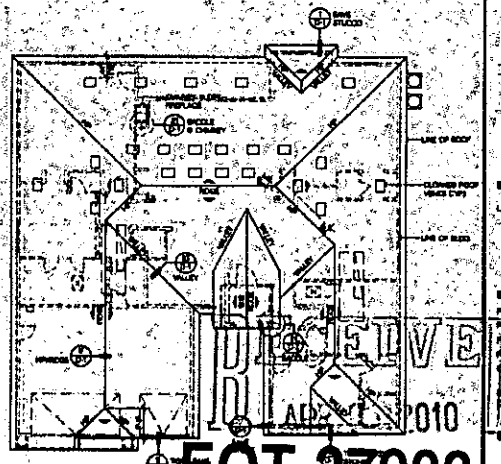
LOW VENTILATION
[illegible] GABLE END VENT X 192 SQ. = [illegible]
[illegible] CLOSED FLAT TILE VENTS X 78 SQ. = [illegible]
PROVIDED [illegible]

TOTAL HIGH LOW PROVIDED [illegible]

NOTE
3/12 PITCH TYP MIN. CONCRETE FLAT TILE BY MAGIC OR APPROVED EQUAL (USE [illegible])

NOTE
FLASH ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO REAR OF PLAN SO AS TO NOT BE VISIBLE FROM THE FRONT AS CODE REQUIRES

ATTIC VENTILATION | 3




ROOF PLAN | SCALE 1/8"=1'-0" | 2

RECEIVED
[illegible] 2010

EOT-37908

| No. | Date | Issue / Description |
|---|---|---|
| | 02/24/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

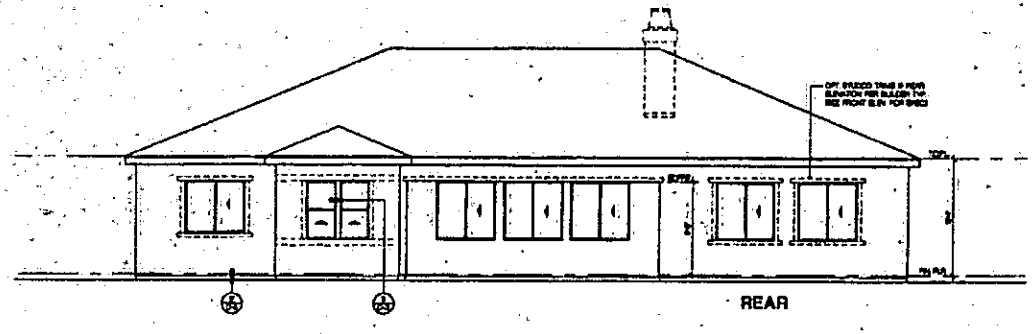
KTOYOROUP, inc.

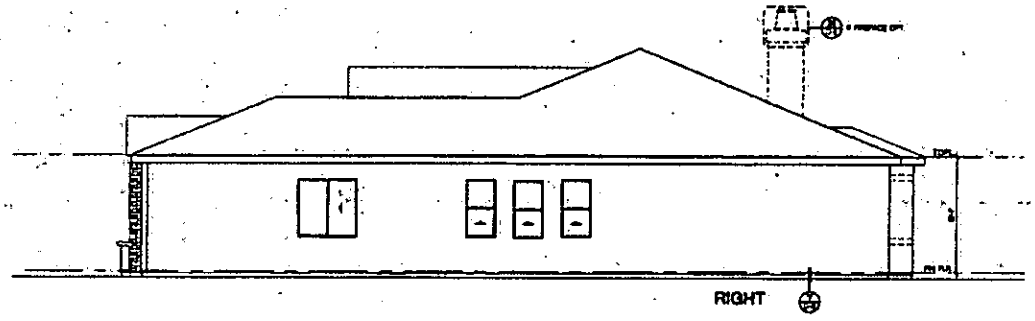
Licensed Stamp

Principal in Charge: B. SITMAN
Project Director: M. GARDNER
Project Manager: R. WARD
Project Designer: H. LEE
Checked By:

Sheet Title:
PLAN 1
'A' EXTERIOR ELEVATIONS
'B' ROOF PLAN

A-1.5




EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

No. Date Issue / Description

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.

Architecture | Planning

Project Manager: D. STRAUSS
Project Designer: M. SHERWOOD
Project Architect: R. WEBB
Project Designer: H. LEE
Checked By:

Sheet Title: PLAN 1 'A' EXTERIOR ELEVATIONS

Sheet No.: A-1.5A

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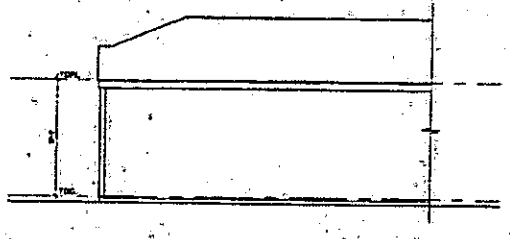
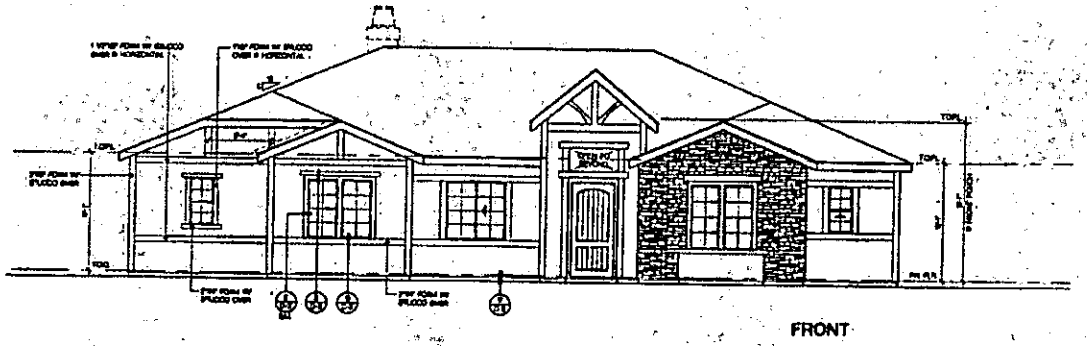
APR 0 9 20

EOT-37908



LEFT

PARTIAL ELEVATION @ COURTYARD | SCALE 1/4"=1'-0" | 4



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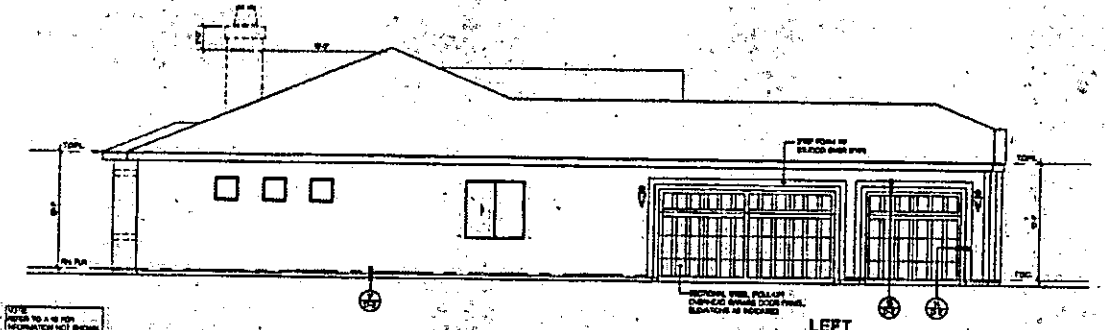


LEFT

EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

ATTIC VENTILATION: 2006 IRC SECTION R806 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

EAVE VENTS
BY CHAUDY OR APPROVED EQUAL
[illegible] NET FREE AREA

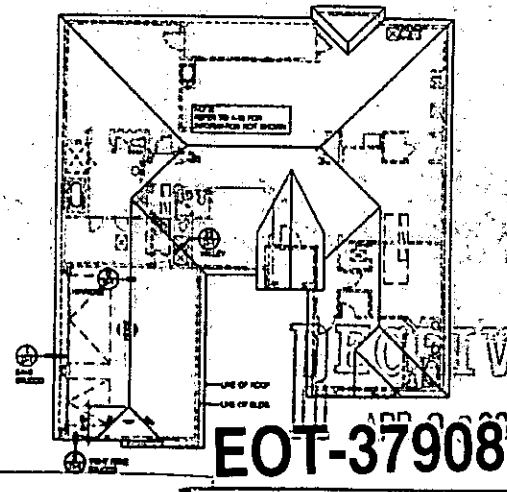
CLOSED VENTS
BY CHAUDY OR APPROVED EQUAL
[illegible] NET FREE AREA
FLAT TILE VENTS

REQUIRED
ATTIC SQUARE FOOTAGE [illegible]
[illegible] REQUIRED [illegible]

HIGH VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 70 SI = [illegible]
PROVIDED [illegible]

LOW VENTILATION
[illegible] EAVE VENT X 102 SI = [illegible]
[illegible] CLOSED FLAT TILE VENTS X 70 SI = [illegible]
REQUIRED [illegible]
[illegible]

ATTIC VENTILATION | 3



ROOF PLAN | SCALE 1/4"=1'-0" | 2

EOT-37908

No. Date Item / Description
[illegible] CODE UPDATE

Project:
The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

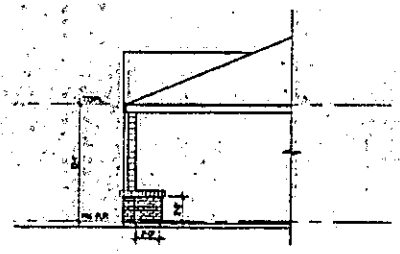
2005-0669

KTGY GROUP, INC.

Principal in Charge: [illegible]
Project Director: [illegible]
Project Manager: [illegible]
Project Architect: [illegible]
Drawn by: [illegible]

Sheet Title:
PLAN 1
'A' OPT. GARAGE
EXTERIOR ELEVATIONS
& ROOF PLAN

Sheet No.: A-1.5B



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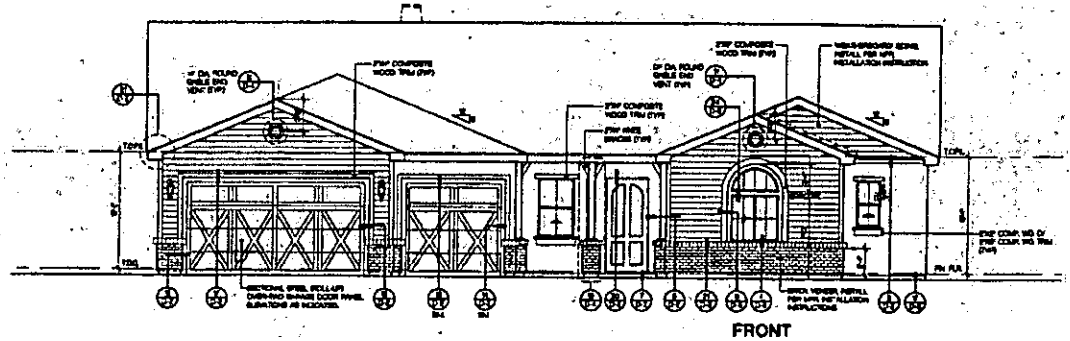

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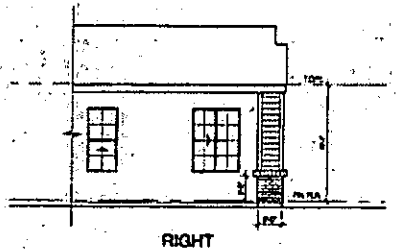

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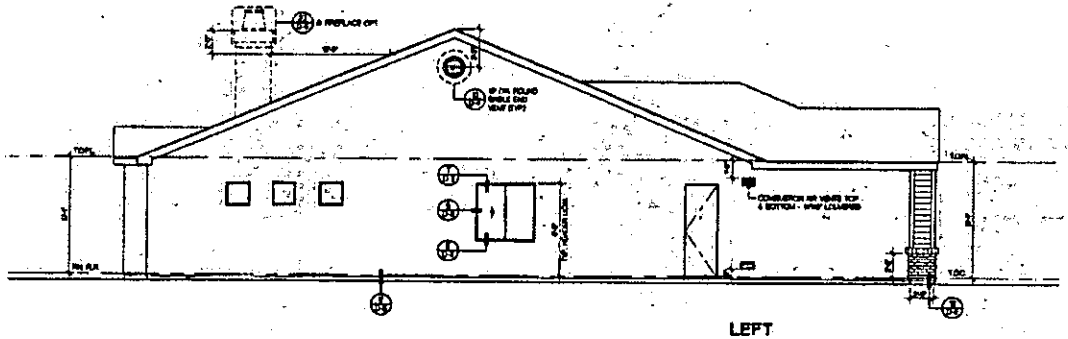
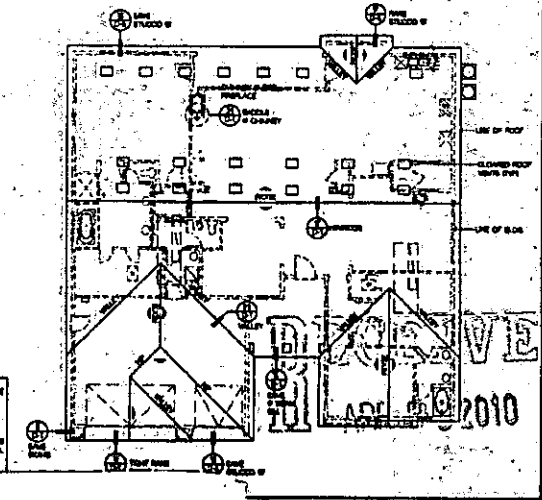


LEFT

PARTIAL ELEVATIONS @ COURTYARD | SCALE 1/4"=1'-0" | 4

EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

ATTIC VENTILATION | 3



ROOF PLAN | SCALE 1/8"=1'-0" | 2

| No. | Date | Issue / Description |
|---|---|---|
| 03/09/07 | | PDCR UPDATE |

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

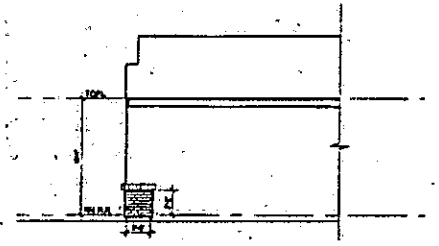
KTGYGROUP, INC.

Engineer in Charge: D. SITMAN
Project Director: M. GARDNER
Project Manager: R. WARD
Project Designer: H. LEE
Drawn By:

Sheet Title:
PLAN 1
'B' EXTERIOR ELEVATIONS
'A' ROOF PLAN

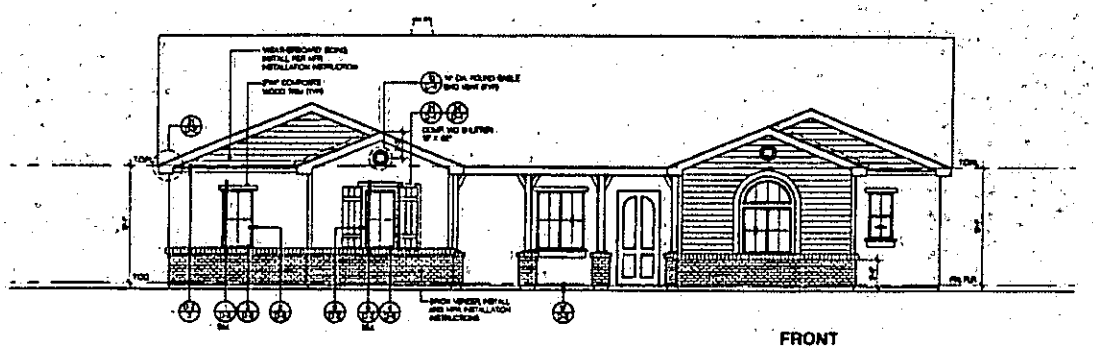
Sheet No. A-1.7

EOT-37908



LEFT

PARTIAL ELEVATION @ COURTYARD | SCALE 1/4"=1'-0" | 4



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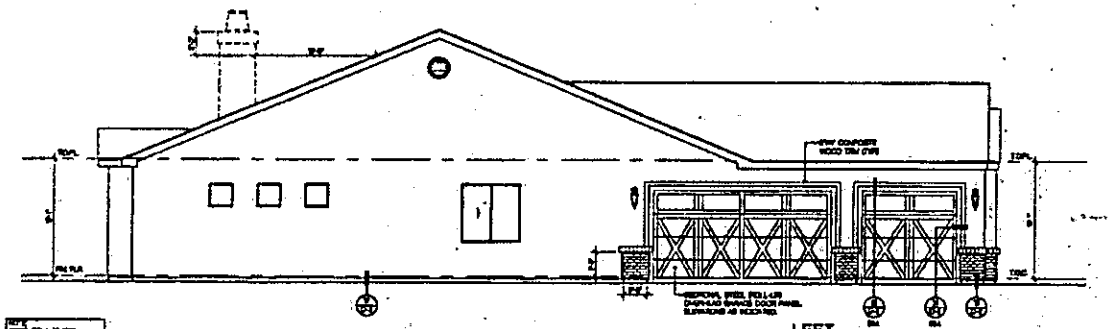


LEFT

EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

ATTIC VENTILATION: UBC PC SECTION 1203 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

ROUND GABLE END VENTS
81 TOTAL OR APPROVED EQUAL
SIZE 16 DIA. - 50 SF NET FREE AREA
SIZE 18 DIA. - 63 SF NET FREE AREA

CLOSED VENTS
81 TOTAL OR APPROVED EQUAL
SIZE 10X20 - 70 SF NET FREE AREA
(FLAT TILE HOOD)

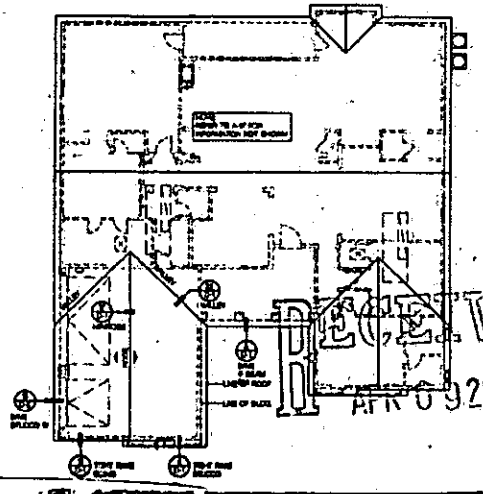
FOR:
ATTIC SQUARE FOOTAGE 4087 SF
4087 SQ. FT. / 150 = 27.25 SF
27.25 SQ. FT. X 144 SQ. IN. (REQUIRED) 3923 SQ. IN.

HIGH VENTILATION
59 18" DIA. GABEL END VENTS X 56 SQ. IN. = 3304 SQ. IN.
(10) CLOSED FLAT TILE VENTS X 70 SQ. IN. = 700 SQ. IN.
PROVIDED 4004 SQ. IN.

LOW VENTILATION
59 18" DIA. GABEL END VENTS X 63 SQ. IN. = 3717 SQ. IN.
(1) CLOSED FLAT TILE VENTS X 70 SQ. IN. = 70 SQ. IN.
PROVIDED 3787 SQ. IN.

TOTAL HIGH, LOW PROVIDED 7791 SQ. IN.

ATTIC VENTILATION | 3



NOTE
3/4 INCH TAP LOW CONCRETE FLAT TILE OR SIMILAR OR APPROVED EQUAL ROOF

NOTE
ALIGN ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO BE ALIGN TO AS TO NOT BE VISIBLE FROM 3-D ROOF AS COOD POSSIBLE

ROOF PLAN | SCALE 1/4"=1'-0" | 2

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EOT-37908

| No. | Date | Revs / Description |
|---|---|---|
| | | GRAND CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

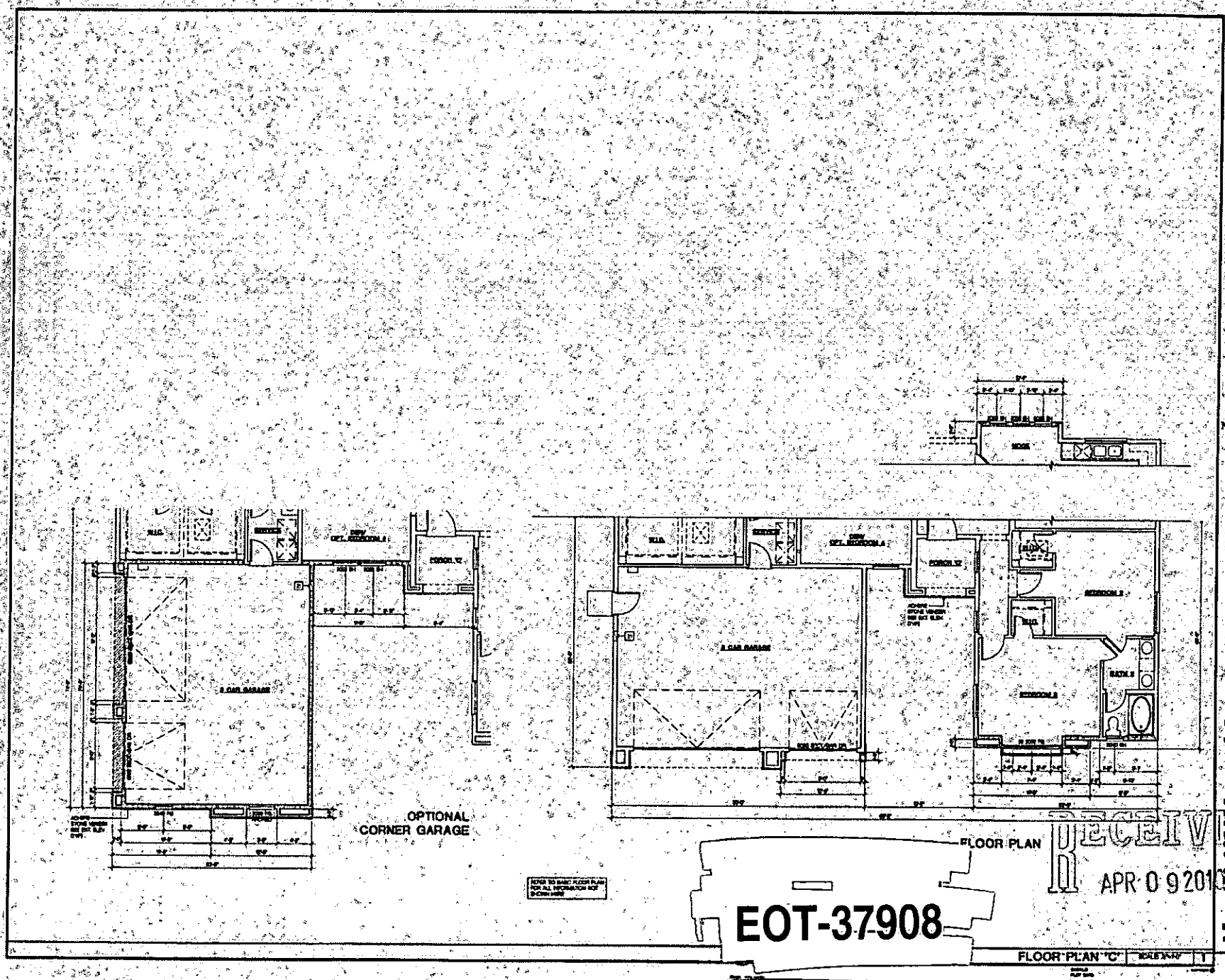
KTOYGROUP, inc.

Licensee Stamp

Drawn by: R. SITHAN
Checked by: M. GARDNER
Approved by: R. YOUNG
Project Manager: H. LEE

Sheet Title:
PLAN 1
'B' OPT. GARAGE
EXTERIOR ELEVATIONS
& ROOF PLAN

Sheet No.: A-1.7B

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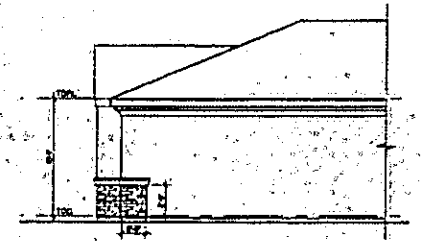
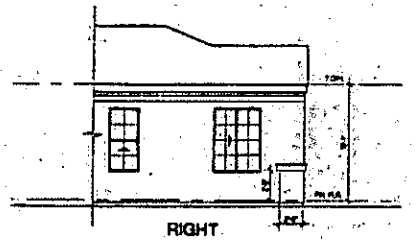
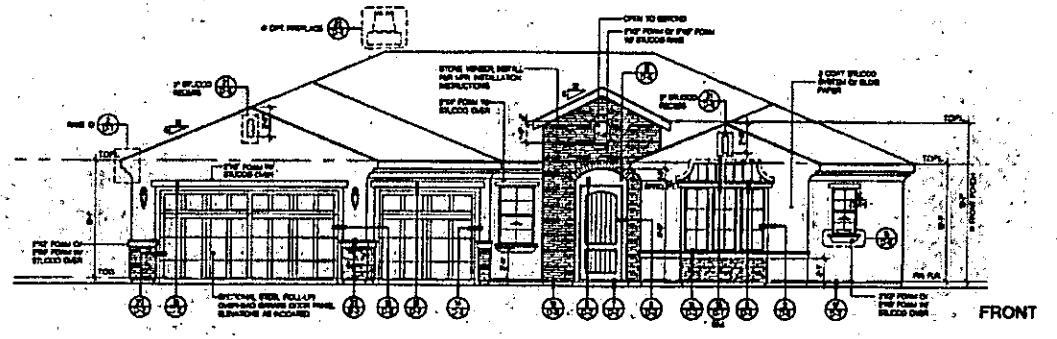
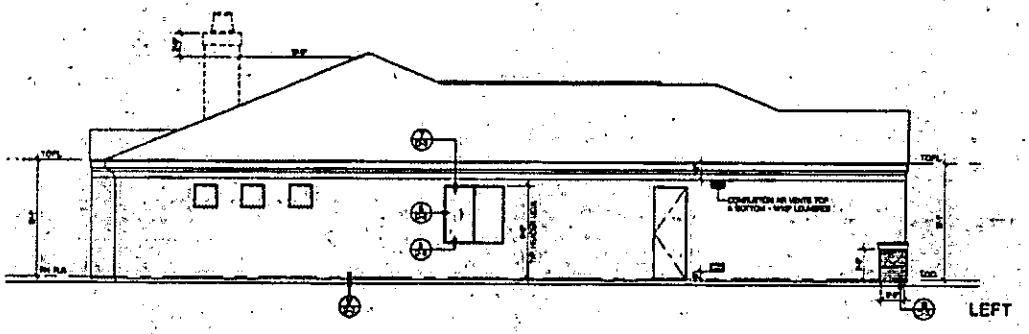



PARTIAL ELEVATION @ COURTYARD | SCALE 1/4"=1'-0" | 4




EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

ATTIC VENTILATION: EDGE 1/R2 SECTION 806.2 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

CLOSED VENTS
BY TOMLINY OR APPROVED EQUAL
[illegible] - 75 SQ NET FREE AREA
FLAT TILE VENTS

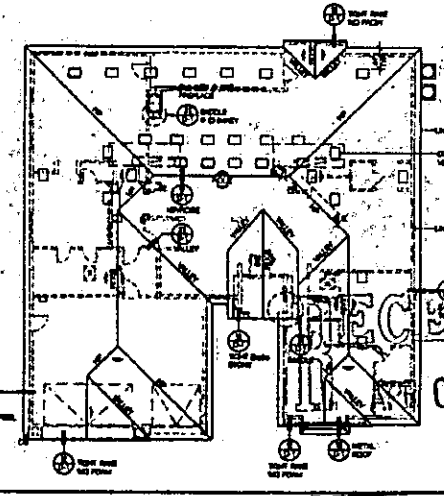
CALCS
ATTIC SQUARE FOOTAGE
[illegible] FT. X 1/150 [illegible]
[illegible] FT. X [illegible] SQ. IN REQUIRED [illegible]

HIGH VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 75 SQ. = [illegible] SQ.
PROVIDED [illegible]

LOW VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 75 SQ. = [illegible] SQ.
PROVIDED [illegible]

[illegible]

ATTIC VENTILATION | 3




NOTE:
[illegible] FROM TOP HORIZ CORNICE
FLAT TILE BY TOMLIN OR
APPROVED EQUAL, CSSD
[illegible]

NOTE:
ALL ROOF PENETRATIONS
BY PLUMBING AND MECHANICAL
TO REAR OF PLAN SO AS TO
NOT BE VISIBLE FROM THE
FRONT AT COURTYARD

ROOF PLAN | SCALE 1/8"=1'-0" | 2

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| No. | Date | Issue / Description |
|---|---|---|
| | | DETAIL DOOR UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, INC.

Irvine, California

Licensee Stamp

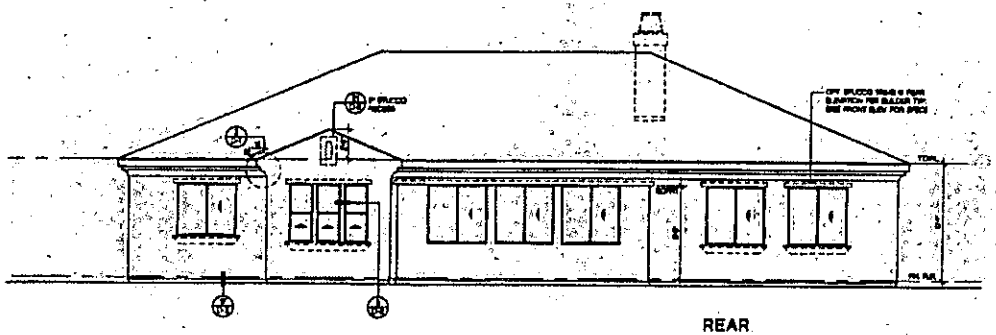
DRAWN

Drawn By: B. STIMAN
Project Director: M. GARDNER
Project Manager: R. TOMAS
Project Designer: H. LEE
Checked By:

Sheet Title:
PLAN 1
'O' EXTERIOR ELEVATIONS
& ROOF PLAN

Sheet No.: A-1.9

EOT-37908



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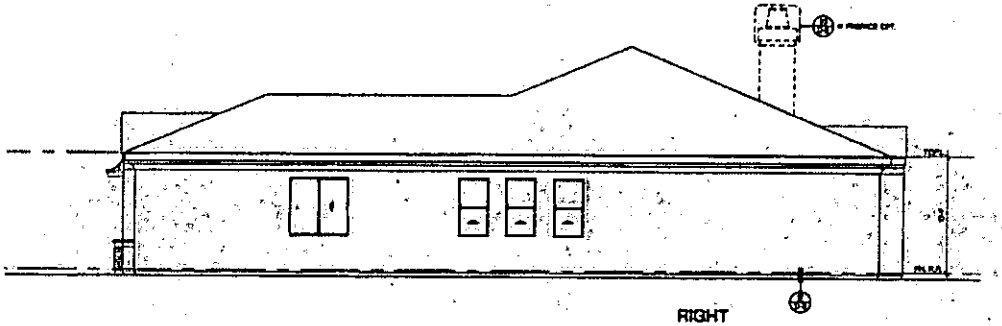

RIGHT

EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

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APR 0 9 2010

EOT-37908

| No. | Date | Issue / Description |
|---|---|---|
| | 08/23/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

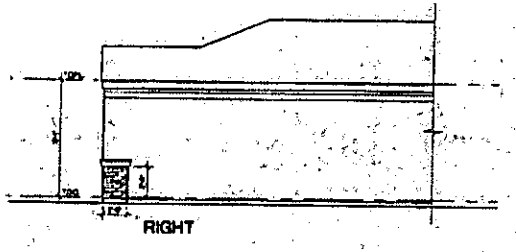
KTGYGROUP, inc.

Licensee Stamp

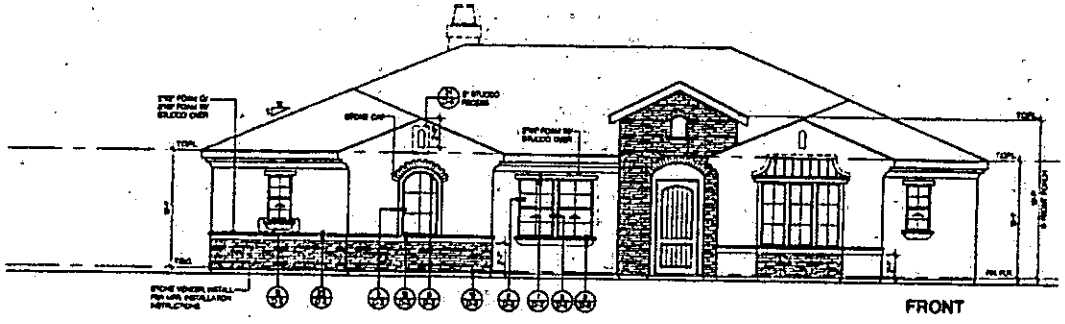
Project Manager: B. SHAW
Project Designer: M. GARDNER
Project Engineer: R. WANG
Project Supervisor: H. LEE
Checked By:

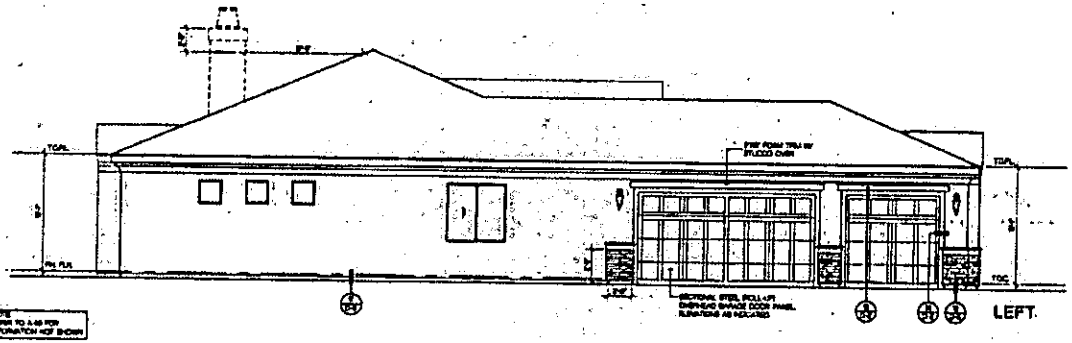
Sheet Title:
PLAN 1
'C' EXTERIOR ELEVATIONS

Sheet No.:
A-1.9A




PARTIAL ELEVATION @ COURTYARD | SCALE 1/4"=1'-0" | 4




EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

ATTIC VENTILATION: 2003 IRC SECTION 806.2 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

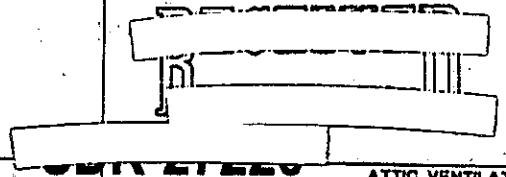
CLOSED VENTS
BY COMPANY OF APPROVED EQUAL
SIZE 18x28 - 78 SQ. NET FREE AREA
FLAT TILE (12000)

AREA
ATTIC SQUARE FOOTAGE
3947.50 FT. X 1/300
13.16 SQ. FT. X 144 SQ. IN. REQUIRED - 1896 SQ. IN.

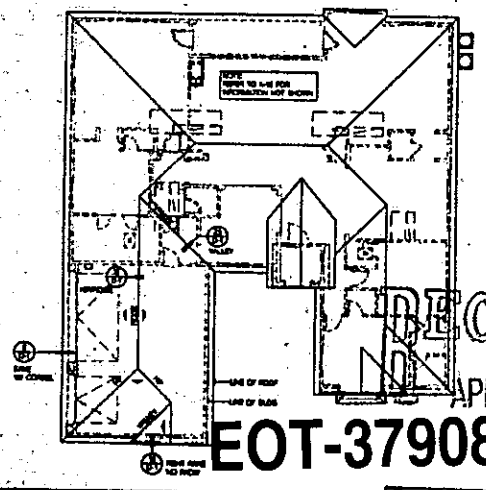
HIGH VENTILATION
18 CLOSED FLAT TILE VENTS x 78 SQ. IN. = 1404 SQ. IN.
PROVIDED 1404 SQ. IN.

LOW VENTILATION
18 CLOSED FLAT TILE VENTS x 78 SQ. IN. = 702 SQ. IN.
PROVIDED 702 SQ. IN.

TOTAL HIGH, LOW PROVIDED 1896 SQ. IN.



ATTIC VENTILATION | 3



NOTE
SEE PITCH TYP. NON SCHEDULE FLAT TILE BY "SINGLE" OR APPROVED EQUAL (CSI) (CSI-1)

NOTE
ALIGN ALL ROOF PENETRATIONS (BY PLUMBER AND MECHANICAL) TO REAR OF PLAN SO AS TO NOT BE VISIBLE FROM THE FRONT. AS DOES PERMIT.

ROOF PLAN | SCALE 1/8"=1'-0" | 2

DECEIVED
APR 0
EOT-37908

| No. | Date | Issue / Description |
|---|---|---|
| | 8/19/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

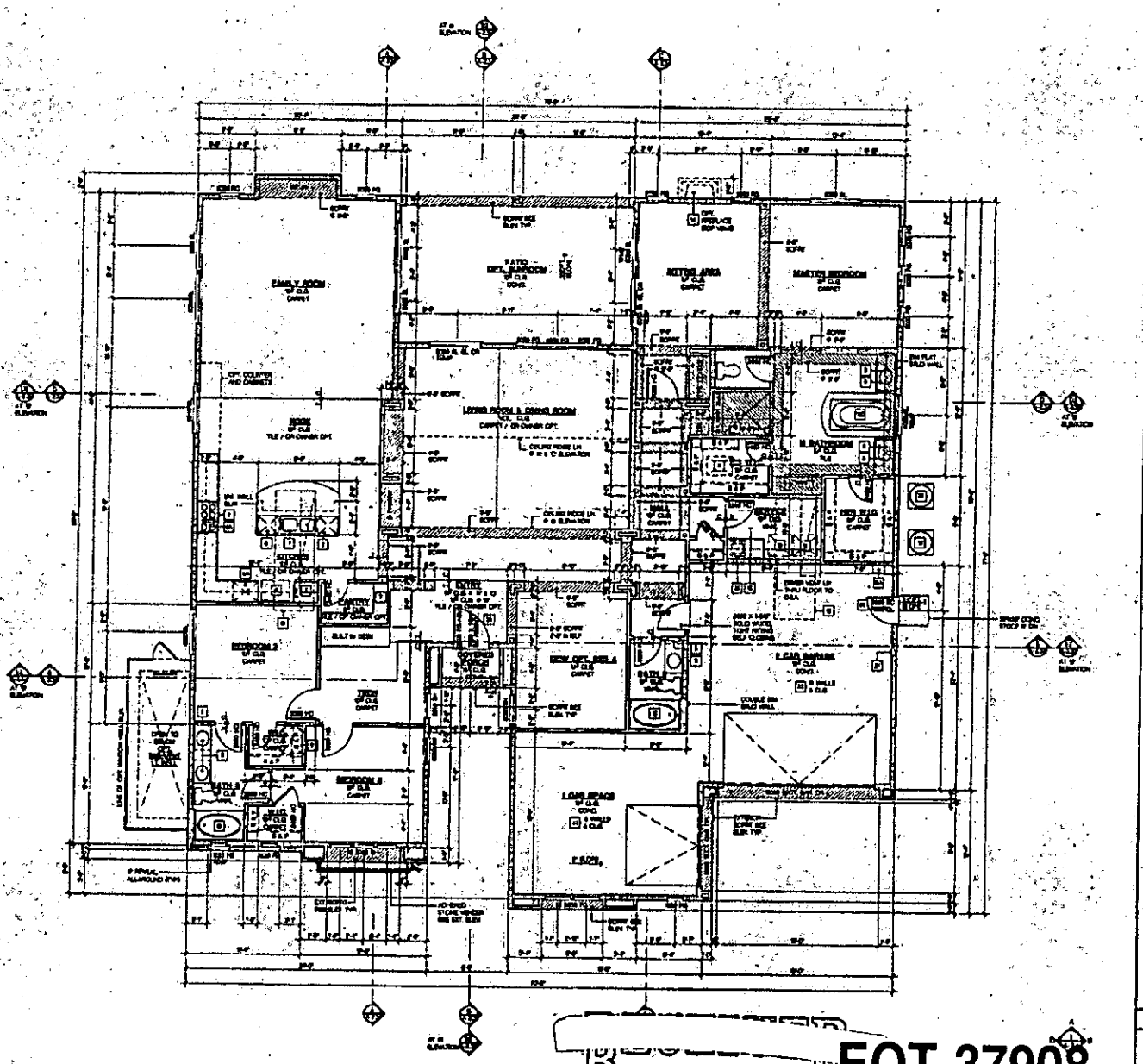
KTGYGROUP, INC.

Licensee Stamp

Project Manager: D. BROWN
Project Designer: M. GARRISON
Project Manager: S. Wade
Project Designer: M. Lee
Checked By:

PLAN 1010
'C' OPT. GARAGE'
EXTERIOR ELEVATIONS
& ROOF PLAN

Sheet No.: A-1.9B



## KEYNOTES

## NOTES

## SQUARE FOOTAGE

FLOOR PLAN | SCALE 1/4=1' | 1

EOT-37908

Ths Orchards

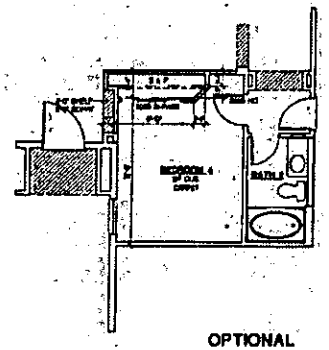
Spinnaker Homes
4364 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

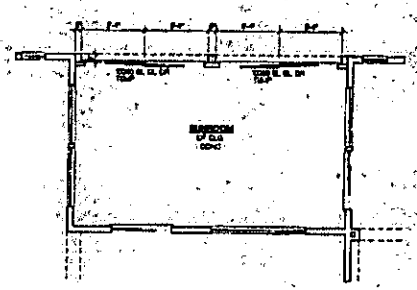
KTOYGROUP, inc.

PLAN 3 2010
'A' FLOOR PLAN

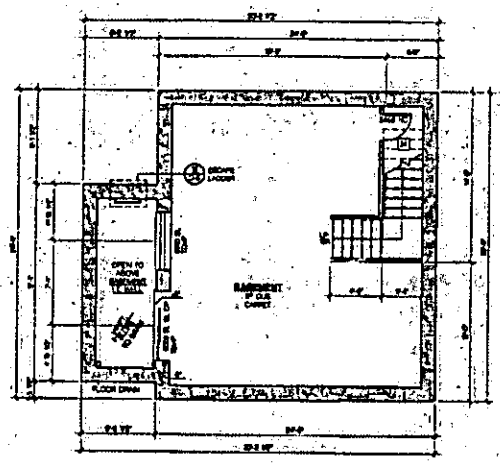
A-2.1



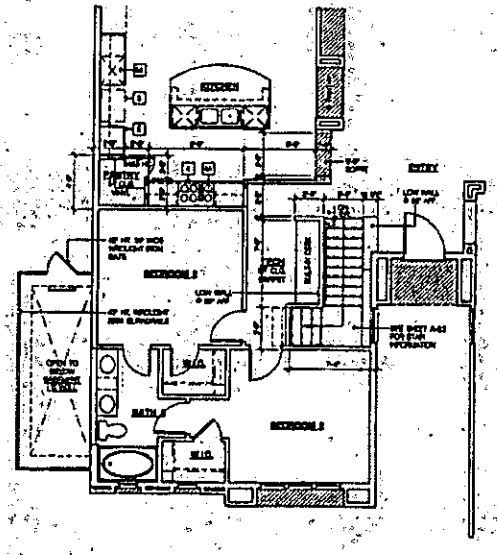

OPTIONAL
BEDROOM 4




OPTIONAL
SUNROOM




OPTIONAL BASEMENT
FLOOR PL[redacted]




FIRST FLOOR PLAN o
[redacted]MENT OPTIONS

EOT-37908

FLOOR PLAN AND OPTIONS | SCALE 1/4"=1' | 1

## KEYNOTES

[illegible]

## NOTES

[illegible]

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| No. | Date | Item / Description |
|---|---|---|
| | 03/04/08 | CODE UPDATE |

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.

Licensee Signature

Principal in Charge: D. BITNER
Project Director: M. GARDNER
Project Manager: R. WANG
Project Designer: [illegible]

PLAN 3
'A' FLOOR PLAN
OPTIONS

Sheet No. A-2.1A

ATTIC VENTILATION (2003 IRC SECTION R806) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

OPEN EXCLUDED
BY AN ROOF OR APPROVED EQUAL
[illegible] SQ. IN. NET FREE AREA

CLOSED VENTS
BY CHANDY OR APPROVED EQUAL
SIZE [illegible] - [illegible] SQ. IN. NET FREE AREA
FLAT TILE [illegible]

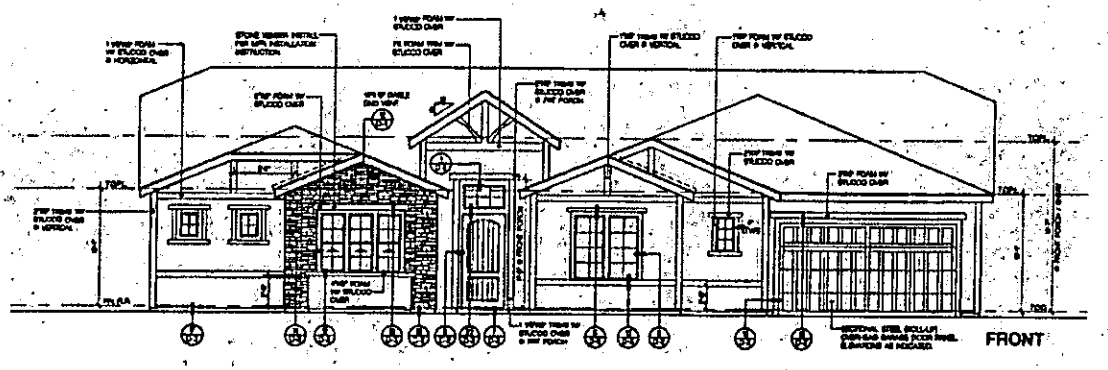
AREA
ATTIC SQUARE FOOTAGE 4476 SF.
4476 SQ. FT. X 1/300 14.92 SF.
1492 SQ. FT. X 144 SQ. IN. (REQUIRED) 2148 SI.

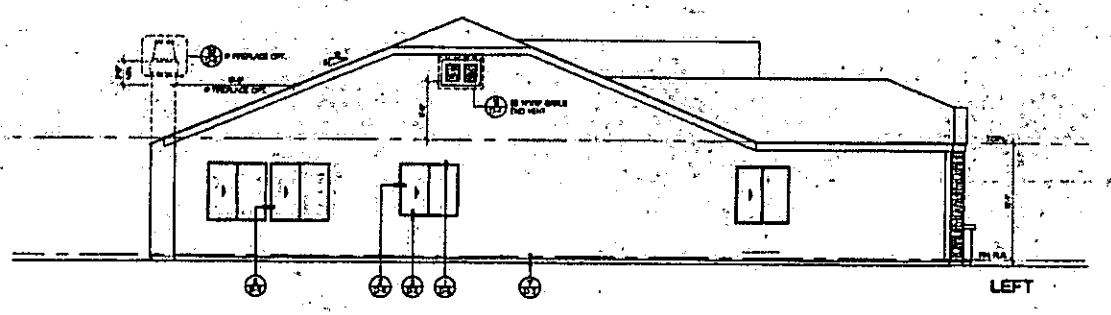
HIGH VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 76 SI = [illegible] SI
[illegible] GABLE END VENT X [illegible] SI = [illegible] SI
PROVIDED [illegible] SI

LOW VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 76 SI = [illegible] SI
[illegible] GABLE END VENT X [illegible] SI = [illegible] SI
PROVIDED [illegible] SI

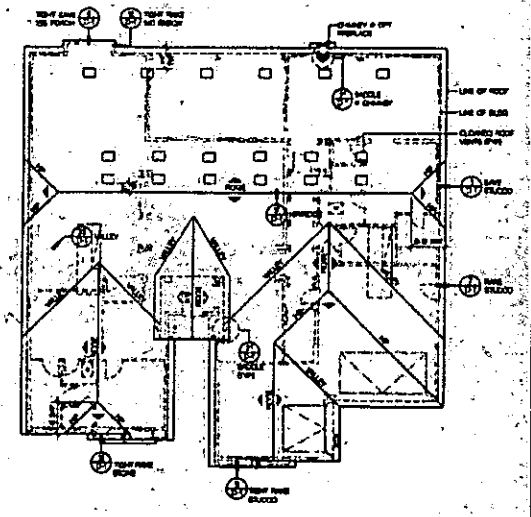
TOTAL HIGH LOW PROVIDED 2152 SI.

ATTIC VENTILATION | 4.



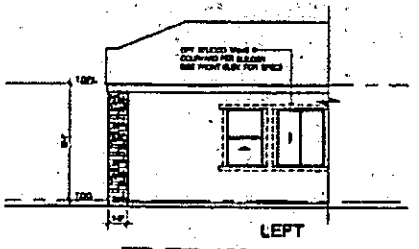

EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

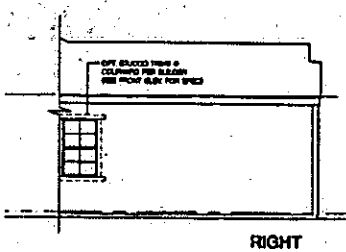


NOTE
[illegible] FROM THE HIGH CONCRETE FLAT TILE (BY SPANS OF OR APPROVED EQUAL, [illegible])

NOTE
PAINT ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO MATCH OF PAINT SO AS TO NOT BE VISIBLE FROM THE FRONT AS CODE REQUIRE

ROOF PLAN | SCALE 1/4"=1'-0" | 3




PARTIAL ELEVATION @ COURTYARD | SCALE 1/4"=1'-0" | 2

| No. | Date | Issue / Description |
|---|---|---|
| | 03/29/07 | OTCR UPDATE |

Consultants

Project:

**The Orchards**

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

**2005-0669**

KTGYGROUP, Inc.
Architecture | Planning
[illegible] MITCHELL SMITH
[illegible]
[illegible]
Irvine, California

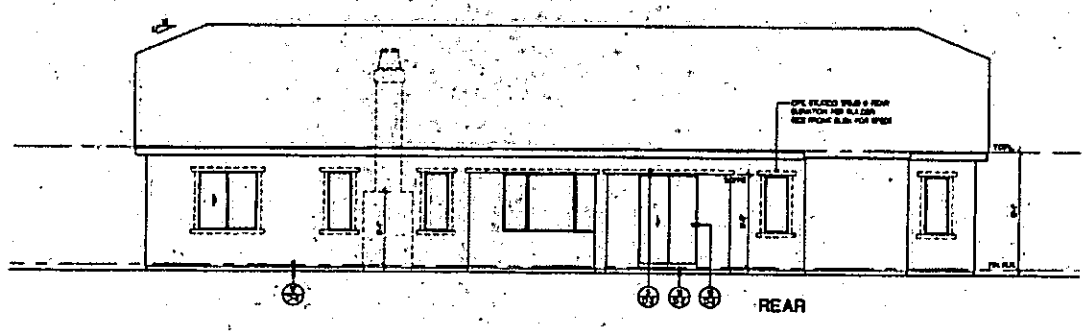
License Stamp

Principal in Charge: [illegible]
Project Director: [illegible]
Project Manager: [illegible]
Project Designer: [illegible]
Checked By:

Sheet Title: PLAN 2 'A' EXTERIOR ELEVATIONS AND ROOF PLAN

Sheet No.: A-2.5

DECEIVED APR



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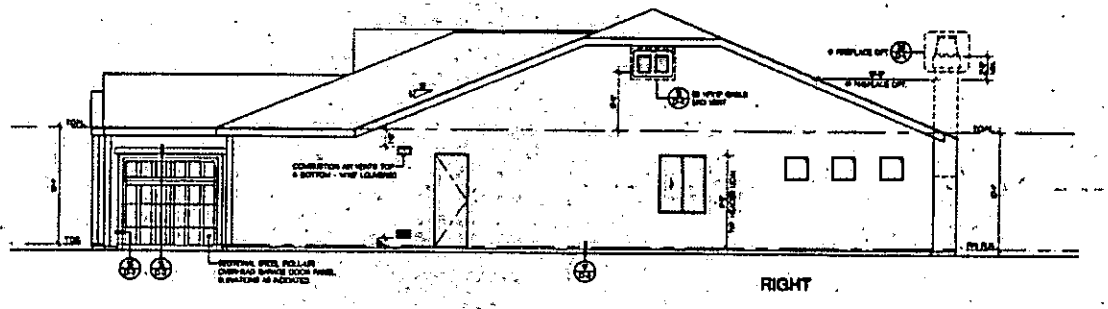
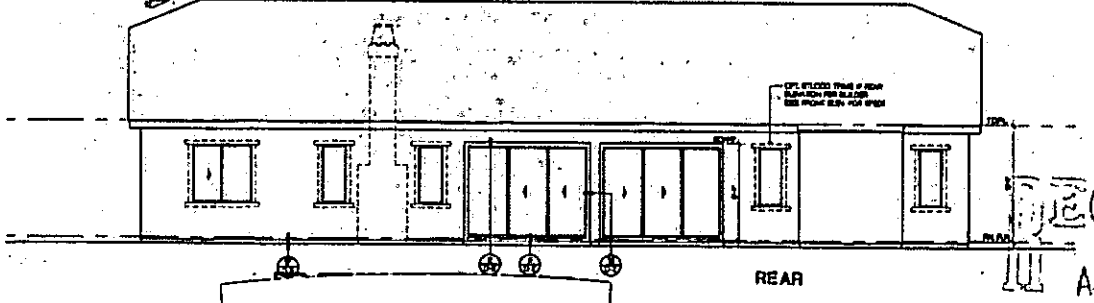


RIGHT

EXTERIOR ELEVATIONS | 1



REAR

EXTERIOR ELEVATIONS "OPT. SUNROOM" | 2

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, Inc.

PLAN B
'A' EXTERIOR ELEVATIONS
AND OPTIONS

A-2.5A

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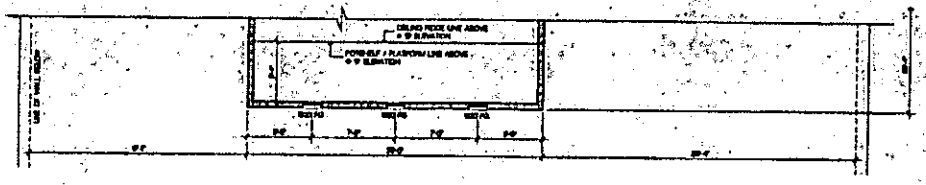

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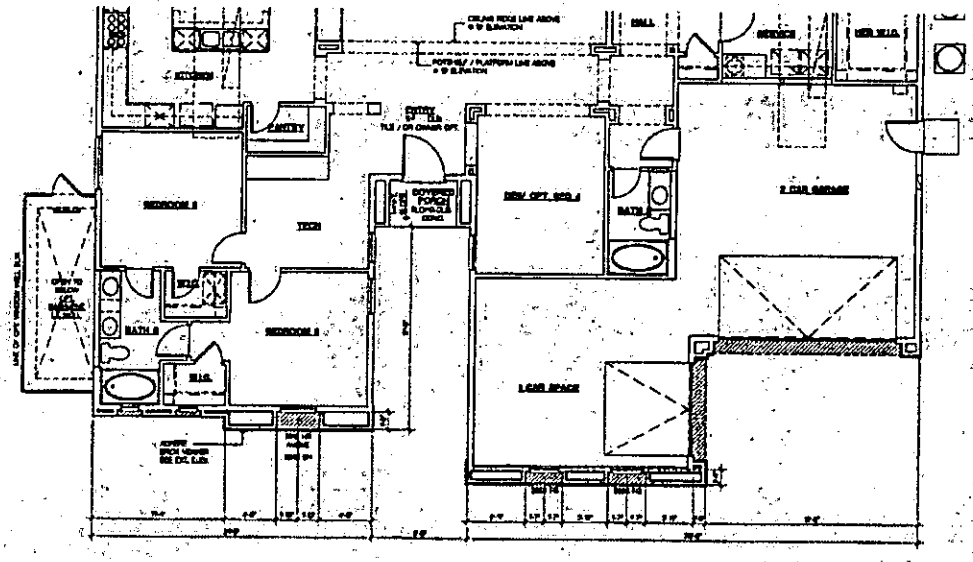


FLOOR PLAN

| No. | Date | Issue / Description |
|---|---|---|
| | 03/26/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOYGROUP, inc.

Licensee Stamp

Principal in Charge: S. STYNAN
Project Director: M. GARDNER
Project Manager: R. WANG
Project Designer: H. LEE
Checked By:

Sheet Title:
PLAN 2
NO CHANGES

Sheet No.
A-2.6

FLOOR PLANS

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ATTIC VENTILATION: SECTION R806 SECTION R806 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE AND CORNICE VENTS

- ROUND GABLE END VENTS
  - BY CONSOR OR APPROVED EQUAL
    - SIZE 18" DIA. = 1.83 SF NET FREE AREA
    - SIZE 18" DIA. = 1.83 SF NET FREE AREA
- CLOSED VENTS
  - BY CONSOR OR APPROVED EQUAL
    - SIZE 18"X8" = 1.78 SF NET FREE AREA FLAT TILE ROOF

AREA 2

ATTIC SQUARE FOOTAGE — 2087 SF
2087 SQ FT. X 1/300 — 6.95 SF
6.95 SQ FT. X 144 SQ IN (REQUIRED) — 1000 SQ IN

HIGH VENTILATION
- 52 18" DIA. GABEL END VENTS X 1.83 SF = 95.16 SF
- (14) CLOAKED FLAT TILE VENTS X 1.78 SF = 24.92 SF
- PROVIDED — 1408 SQ IN

LOW VENTILATION
- 52 18" DIA. GABEL END VENTS X 1.83 SF = 95.16 SF
- (8) CLOAKED FLAT TILE VENTS X 1.78 SF = 14.24 SF
- PROVIDED — 879 SQ IN

TOTAL HIGH, LOW PROVIDED — 2287 SQ IN

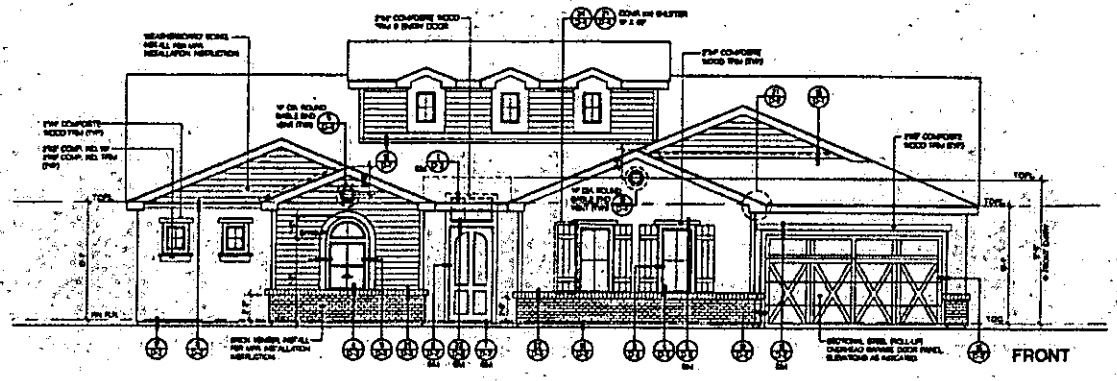
AREA 3

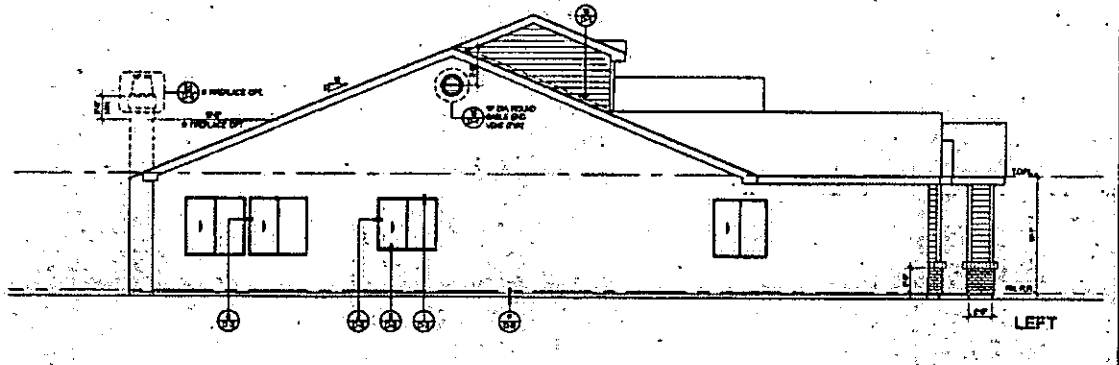
ATTIC SQUARE FOOTAGE — 2087 SF
1000 SQ FT. X 1/300 — 3.33 SF
3.33 SQ FT. X 144 SQ IN (REQUIRED) — 479 SQ IN

HIGH VENTILATION
- (8) CLOAKED FLAT TILE VENTS X 1.78 SF = 14.24 SF
- PROVIDED — 342 SQ IN

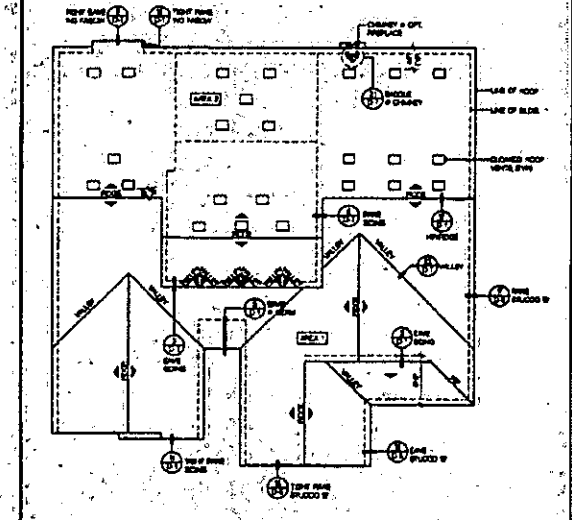
TOTAL HIGH, LOW PROVIDED — 1008 SQ IN

ATTIC VENTILATION | 4



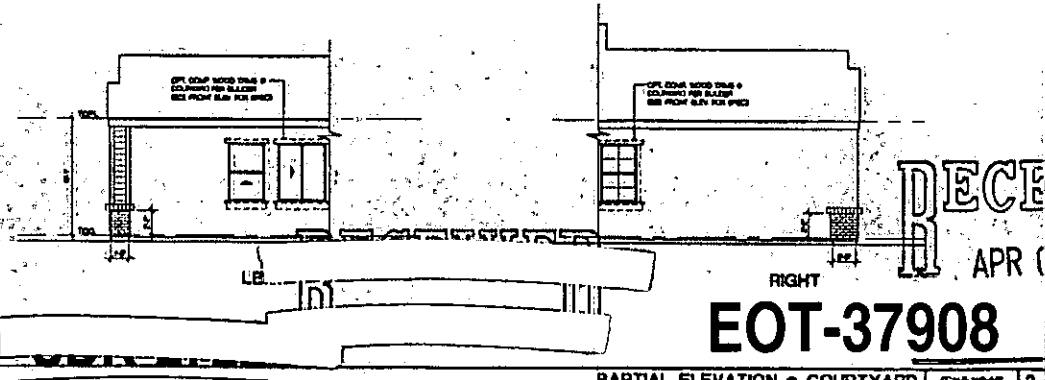

EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1



NOTE
5:12 PITCH, TAP LOW CONCRETE FLAT TILE BY "MALLE" OR APPROVED EQUAL SCALE 1/8"=1'-0"

NOTE
ALIGN ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO RUN OF PLAN SO AS TO NOT BE VISIBLE FROM THE FRONT AS CODE PERMITS

ROOF PLAN | SCALE 1/8"=1'-0" | 3




PARTIAL ELEVATION @ COURTYARD | SCALE 1/4"=1'-0" | 2

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| No. | Date | Item / Description |
|---|---|---|
| | 03/29/07 | CODE UPDATE |

Conditions

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

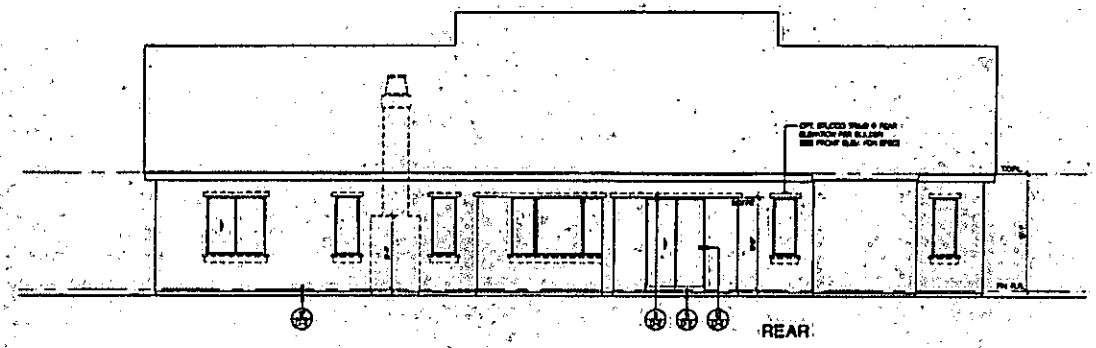
KTOYGROUP, inc.

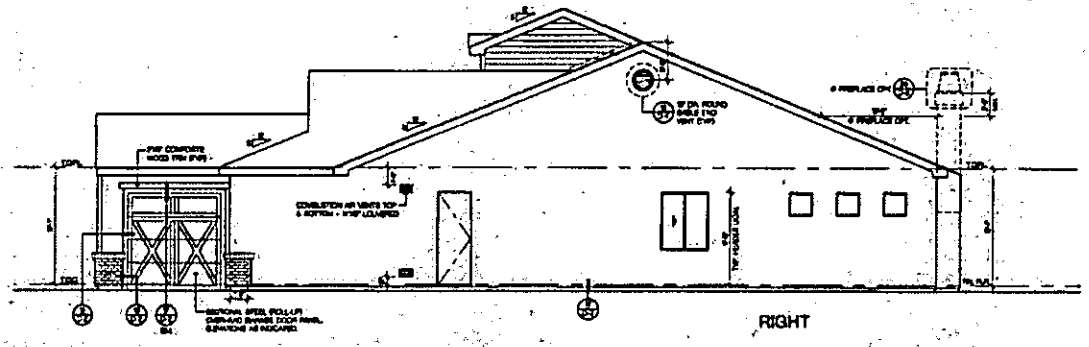
Licensee Stamp

Project Manager:
Checked By:

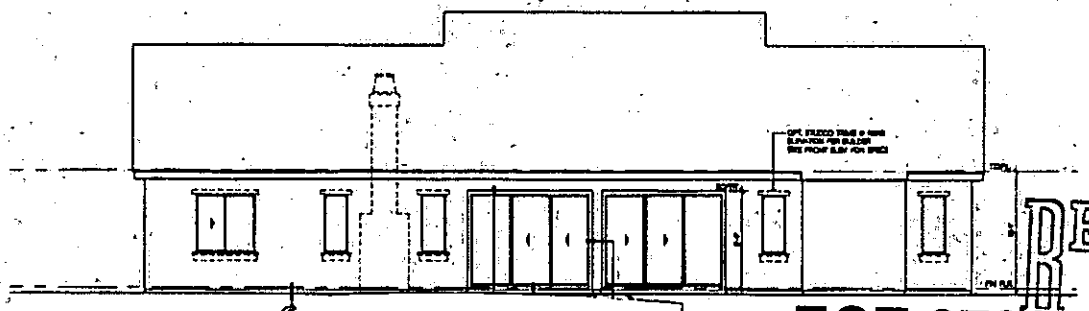
PLAN 'B' EXTERIOR ELEVATIONS AND ROOF PLAN

Sheet No. A-2.7




EXTERIOR ELEVATIONS | 1




EXTERIOR ELEVATIONS *OPT. SUNROOM* | 2

| No. | Date | Item / Description |
|---|---|---|
| | 03/28/02 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

Architecture · Planning

Licensee Stamp

Project in Charge:

Drawn by:

Checked by:

Sheet Title:
PLAN 3
EXTERIOR ELEVATIONS
AND OPTIONS

Sheet No.
A-2.7A

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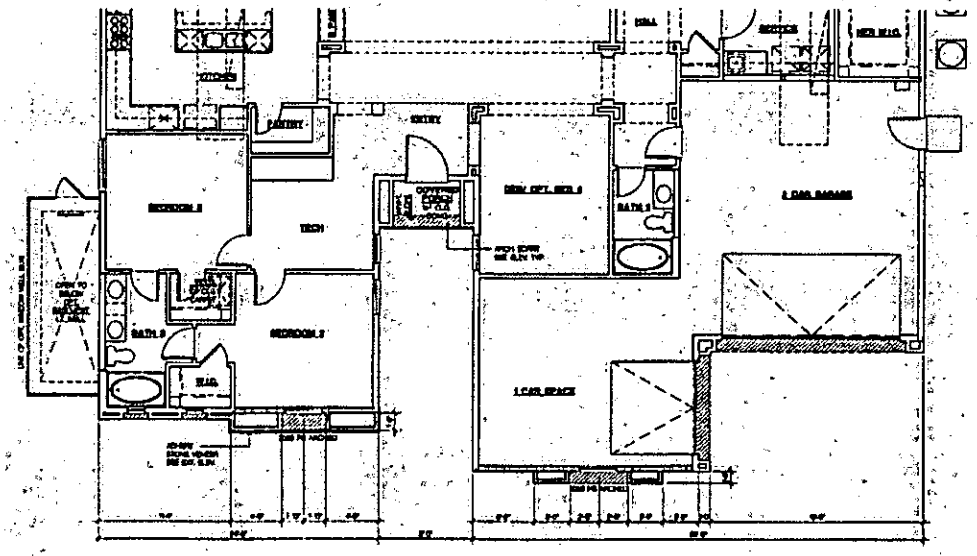


FLOOR PLAN

No. Date Item / Description

REVISE CODE UPDATE

Consultants

Project:

The Orchards

Spinnaker Homes
4356 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, INC.

Licensee Stamp

Principal in Charge: S. SITHAM
Project Director: M. GARDNER
Project Manager: S. WANG
Project Architect: H. LEE
Drawn by: Checked by:

Sheet Title:
PLAN 2
2C CHANGES

Sheet No.: A-2.8

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EOT-37908

ATTIC VENTILATION: CODE RC SECTION R806 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

CLOSED VENTS
BY "OWENS" OR APPROVED EQUAL
R-22 SPUN - 75 SQ. NET FREE AREA
FLAT TILED VENTS

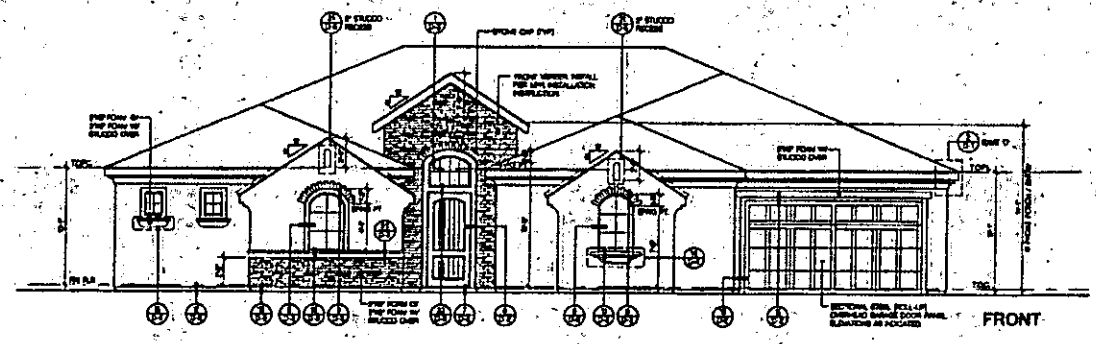
AREA
ATTIC SQUARE FOOTAGE 4473 SQ.
4473 SQ. FT. ÷ 300 = 14.91 SQ.
14.91 SQ. FT. × 144 SQ. IN (REQUIRED) = 2146 SQ.

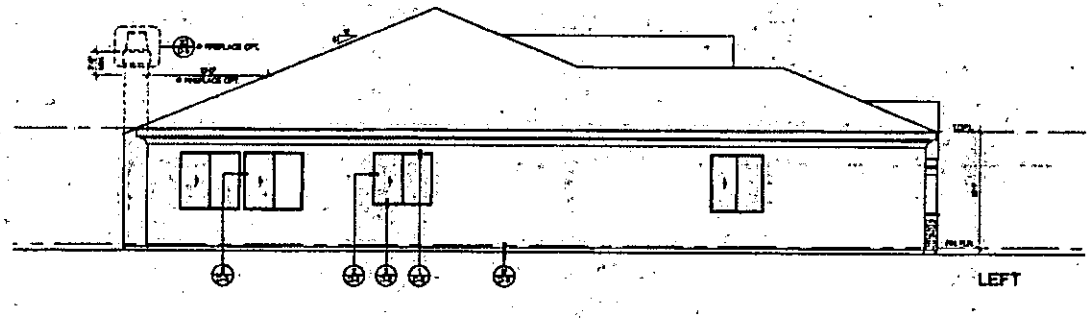
HIGH VENTILATION
(13) CLOSED FLAT TILE VENTS X 75 SQ. = 1024 SQ.
PROVIDED 1024 SQ.

LOW VENTILATION
(13) CLOSED FLAT TILE VENTS X 75 SQ. = 949 SQ.
PROVIDED 949 SQ.

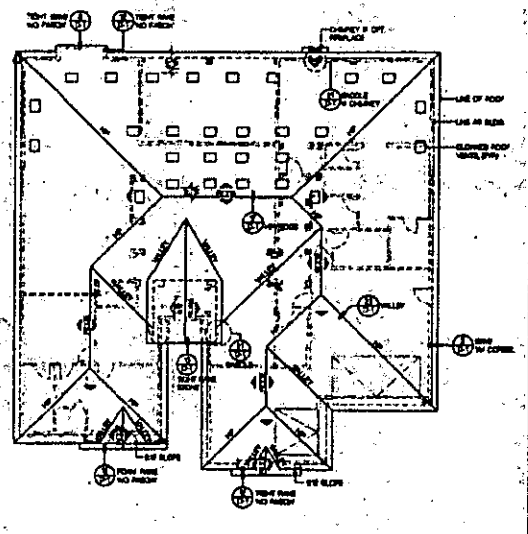
TOTAL HIGH, LOW PROVIDED 2123 SQ.

ATTIC VENTILATION 4

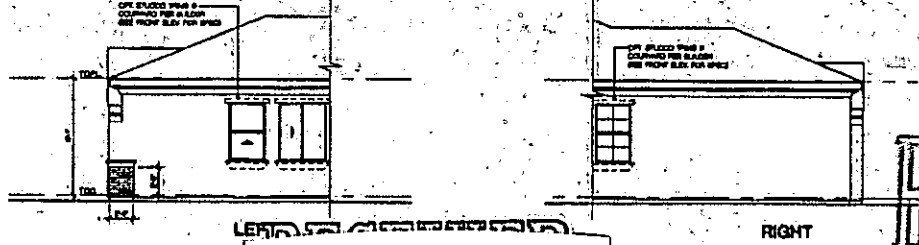



EXTERIOR ELEVATIONS 1



ROOF PLAN 3




PARTIAL ELEVATION • COURTYARD 2

| No. | Date | Item / Description |
|---|---|---|
| | 09/06/07 | CODE UPDATE |

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

PLAN 2
"C" EXTERIOR ELEVATIONS
AND ROOF PLAN

A-2.9

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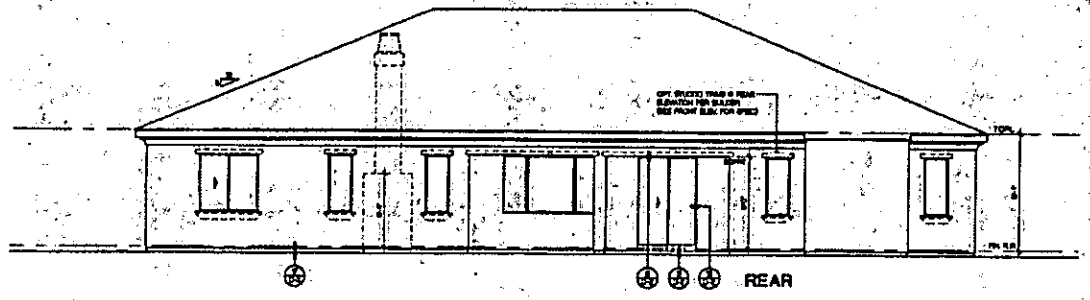
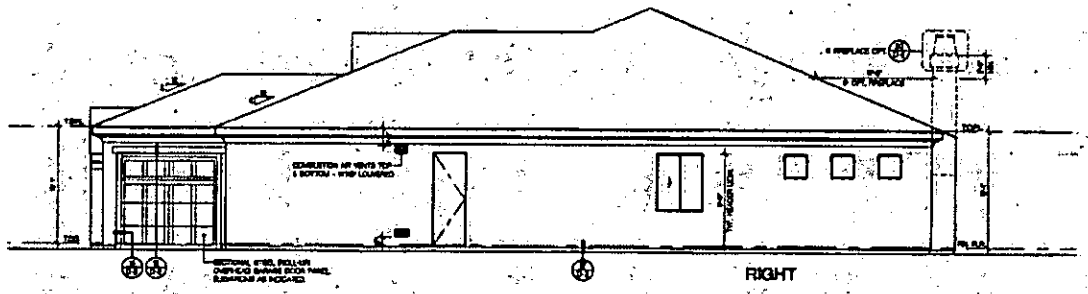
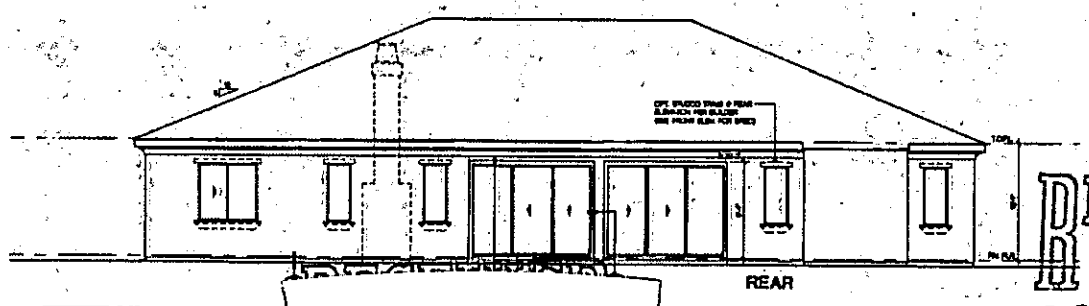



EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1




EXTERIOR ELEVATIONS *OPT. SUNROOM* | SCALE 1/4"=1'-0" | 2

| No. | Date | Issue / Description |
|---|---|---|
| | | REVISED CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.
Architecture · Planning
[illegible]
[illegible]
Irvine, California

License Stamp

Principal in Charge: D. STRAND
Project Director: D. STRAND
Project Manager: [illegible]
Project Designer: [illegible]
Checked By: [illegible]

Sheet Title:
PLAN 2-4D
'C' EXTERIOR ELEVATIONS
AND OPTIONS

Sheet No.: A-2.9A

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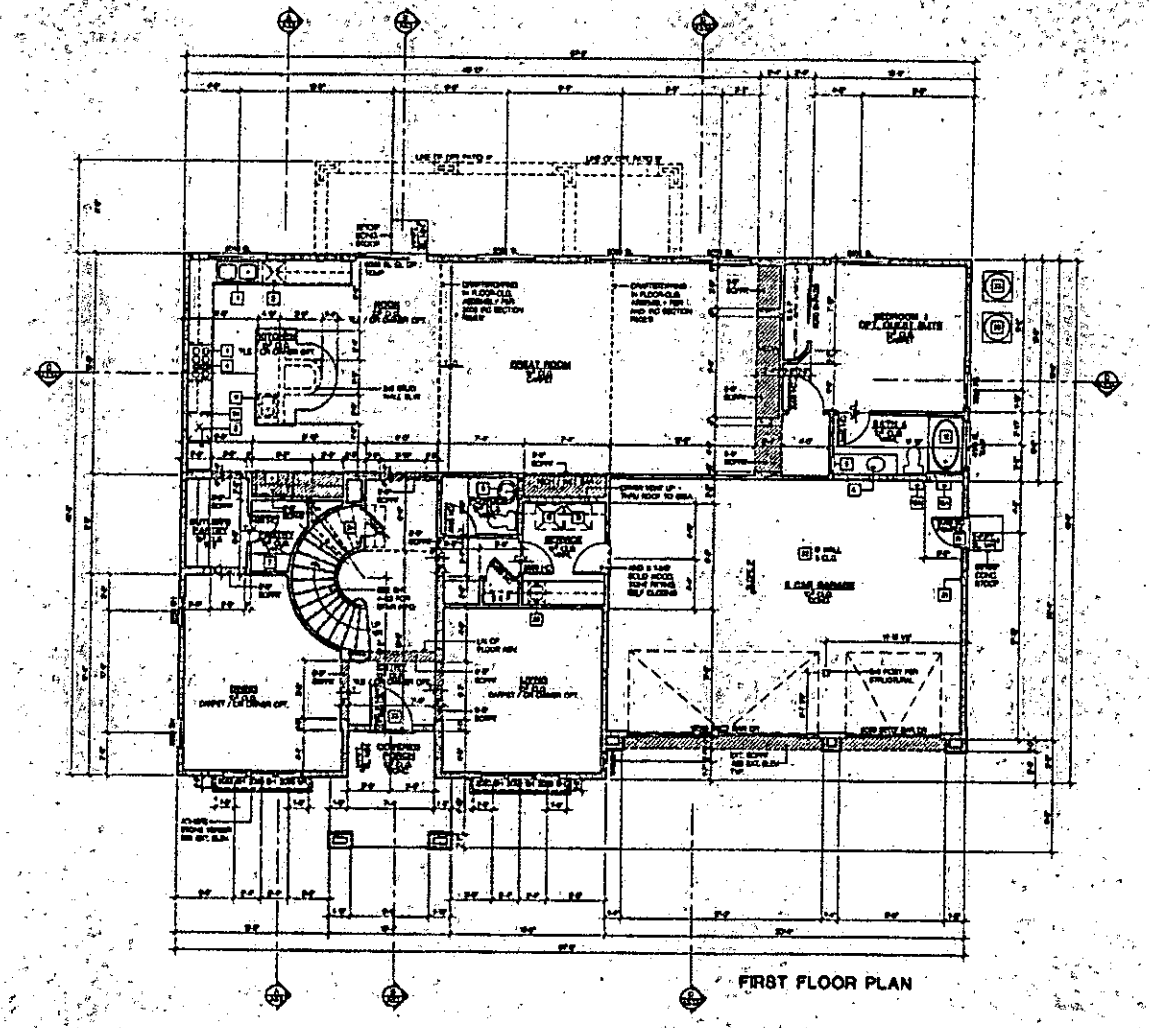
EOT-37908



FIRST FLOOR PLAN

## KEYNOTES

## NOTES

## SQUARE FOOTAGE

| | |
|---|---|
| FIRST FLOOR | [illegible] S.F. |
| SECOND FLOOR | [illegible] S.F. |
| TOTAL | [illegible] S.F. |
| GARAGE | [illegible] S.F. |
| FRONT PORCH 14' | [illegible] S.F. |
| REAR PATIO / DECK 14' | [illegible] S.F. |
| REAR PATIO / DECK 14' | [illegible] S.F. |

| No. | Date | Name / Description |
|---|---|---|
| | 02/26/02 | CODE UPDATE |

Consultants

Project :

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOYOROUP, inc.

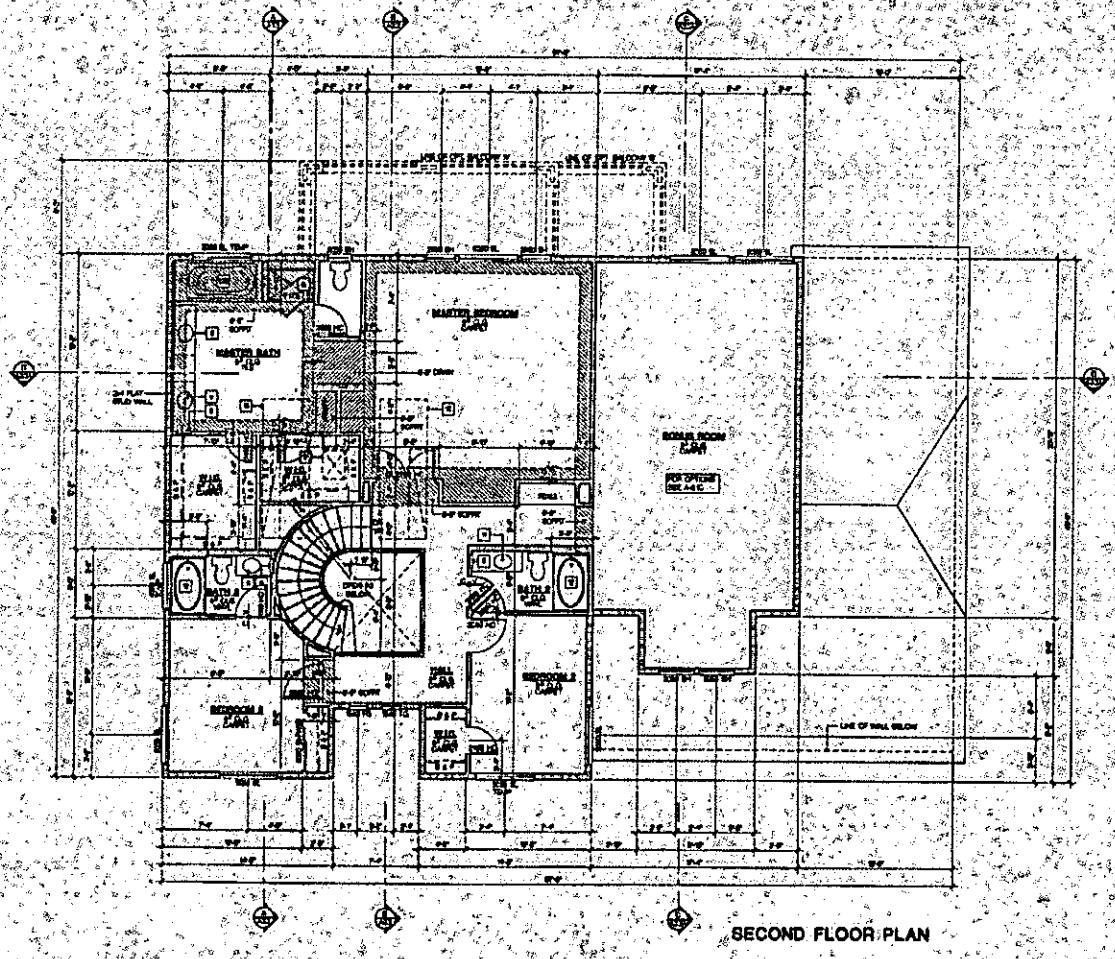
Principal In Charge : D. Schiele
Project Designer : M. Gardner
Project Manager : R. Wang
Project Designer : H. Lee
Sheet Title : PLAN 3
FIRST FLOOR PLAN

Sheet No. : A-3.1

EOT-37908

APR 0 9 2010

FLOOR PLAN | SCALE 1/4"=1' | 1




SECOND FLOOR PLAN

## KEYNOTES

## NOTES

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

Project Manager: B. SIMMS
Project Designer: H. LEE
Checked By:

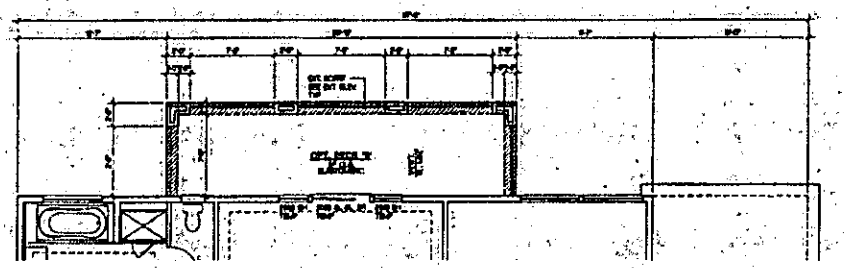
Sheet Title: FLOOR PLAN
SECOND FLOOR PLAN

Sheet No.: A-3.1A

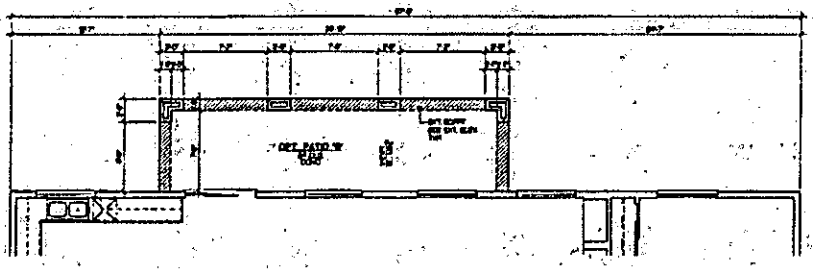
FLOOR PLAN | SCALE 1/4"=1' | 1

EOT-37908

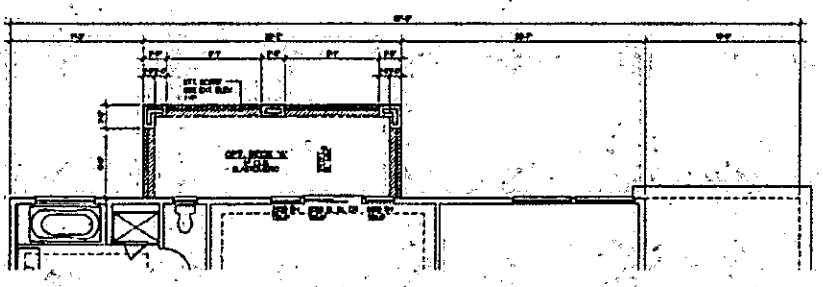
APR



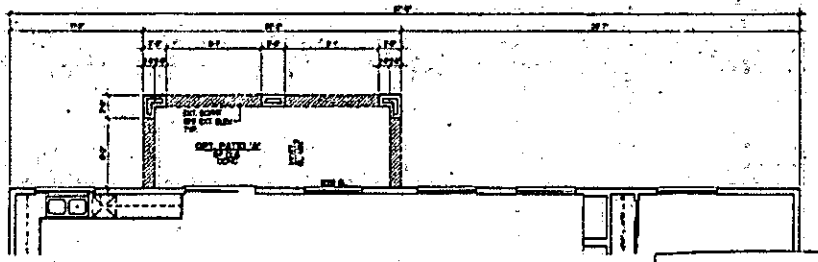
OPT. DECK 'B'
SECOND FLOOR PLAN



OPT. PATIO 'B'
FIRST FLOOR PLAN



OPT. DECK 'A'
SECOND FLOOR PLAN



OPT. PATIO 'A'
FIRST FLOOR PLAN

## KEYNOTES

## NOTES

| No. | Date | Issue / Description |
|---|---|---|
| | 02/02/07 | DOOR UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOYGROUP, inc.

Licensee Change

Printed in Change: D. STRAND
Project Director: M. SANCHEZ
Project Manager: R. [illegible]
Project Designer: M. LEE
Checked By:

Sheet Title: PLAN 3 'A' FLOOR PLAN OPTIONS

Sheet No.: A-3.1B

FLOOR PLAN OPTIONS | SCALE 1/4"=1' | 1

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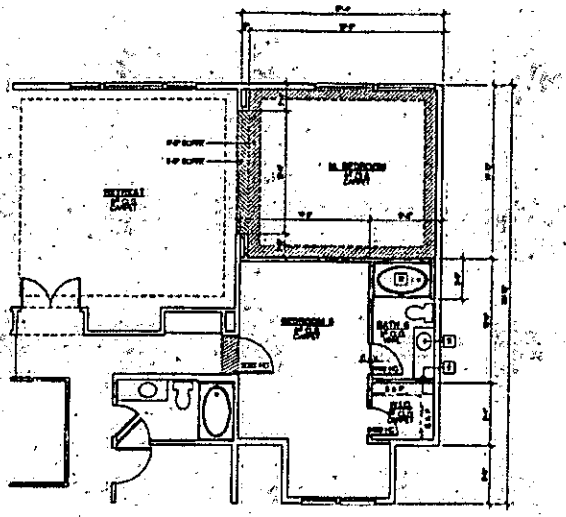
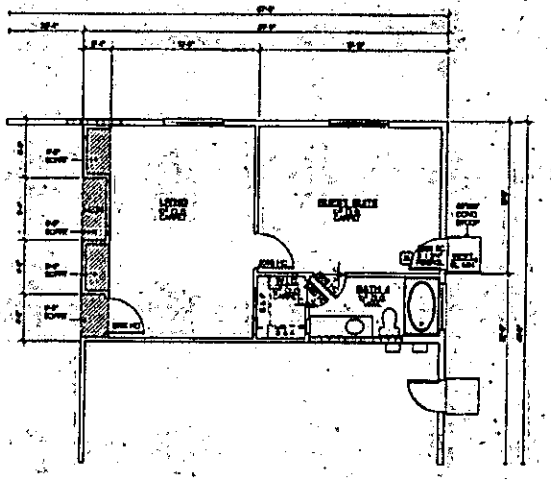
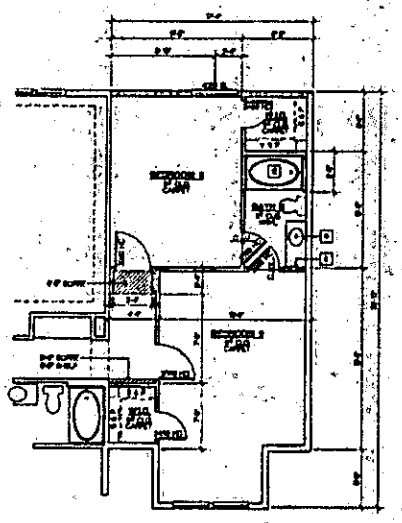
EOT-37908



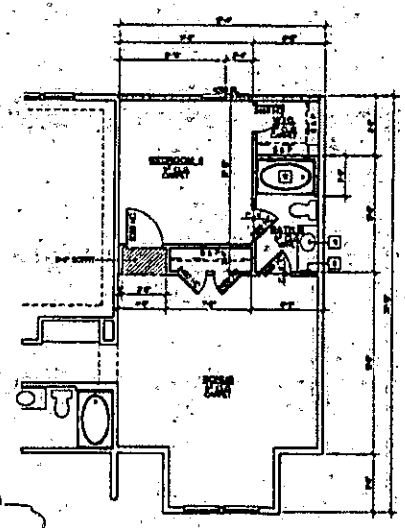
OPT. A BEDROOM 5
& MASTER RETREAT
SECOND FLOOR PLAN



OPT. GUEST SUITE
FIRST FLOOR PLAN



OPT. B BEDROOM 5
& BEDROOM 6
SECOND FLOOR PLAN



OPT. C BEDROOM 5
& BONUS ROOM
SECOND FLOOR PLAN

## KEYNOTES

## NOTES

FLOOR PLAN AND OPTIONS | 1

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOYOROUP, inc.

PLAN 5
'A' FLOOR PLAN OPTIONS

A-3.1C

EOT-37908

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ATTIC VENTILATION (2006 IRC SECTION 806.2) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

CLOSED VENTS
BY CONCRETE OR APPROVED EQUAL
(EQ) - 78 SQ. INT. FREE AREA
FLAT TILE VENTS

**AREA 1**

| | |
|---|---|
| TTL SQUARE FOOTAGE | 7[illegible] SF |
| 7[illegible] SQ. FT. X 1/150 | 7[illegible] SF |
| 7[illegible] SQ. FT. X 144 SQ. IN. (REQUIRED) | 1[illegible] SI |

HIGH VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 78 SI = [illegible] SI
PROVIDED [illegible] SI

LOW VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 78 SI = [illegible] SI
PROVIDED [illegible] SI

TOTAL HIGH LOW PROVIDED [illegible] SI

**AREA 2**

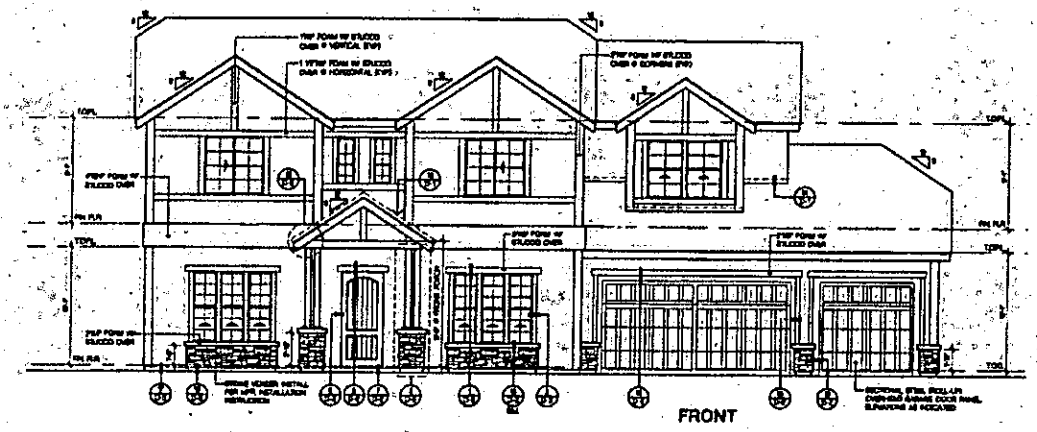
| | |
|---|---|
| ATTIC SQUARE FOOTAGE | 720 SF |
| 720 SQ. FT. X 1/150 | 4.8 SF |
| 691 SQ. FT. X 144 SQ. IN. (REQUIRED) | 50.[illegible] SI |

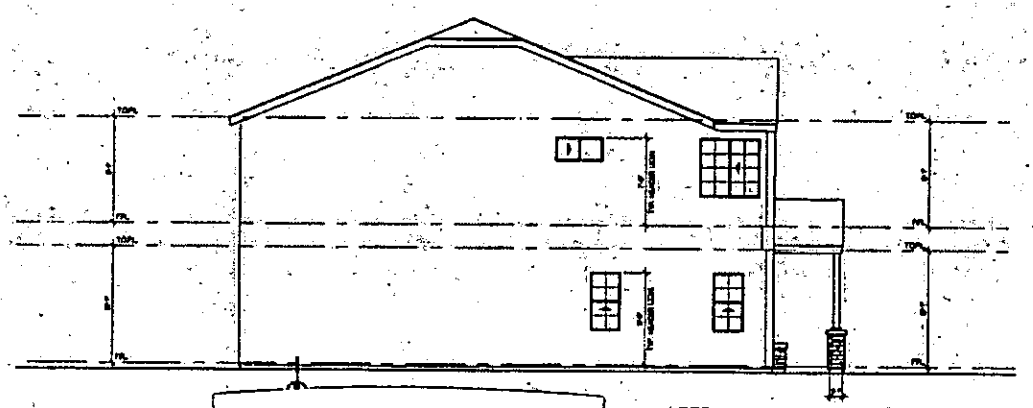
HIGH VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 78 SI = [illegible] SI
PROVIDED [illegible] SI

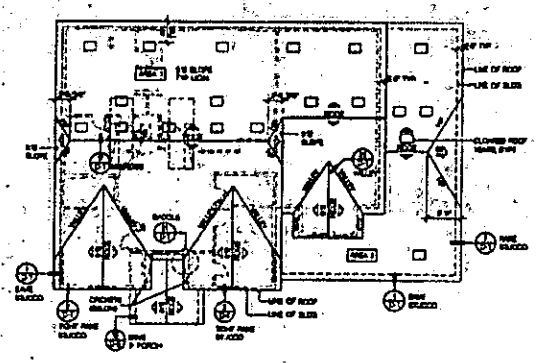
LOW VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 78 SI = [illegible] SI
PROVIDED [illegible] SI

TOTAL HIGH LOW PROVIDED [illegible] SI

ATTIC VENTILATION | 3



NOTE
[illegible] FLAT TILE OR APPROVED EQUAL

NOTE
PLACE ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO REAR OF PLAN SO AS TO NOT BE VISIBLE FROM THE FRONT AS CODE REQUIRES

ROOF PLAN | SCALE 1/8"=1'-0" | 2

EXTERIOR ELEVATIONS | SCALE 1/8"=1'-0" | 1

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| No. | Date | Issue / Description |
|---|---|---|
| | 03/29/06 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

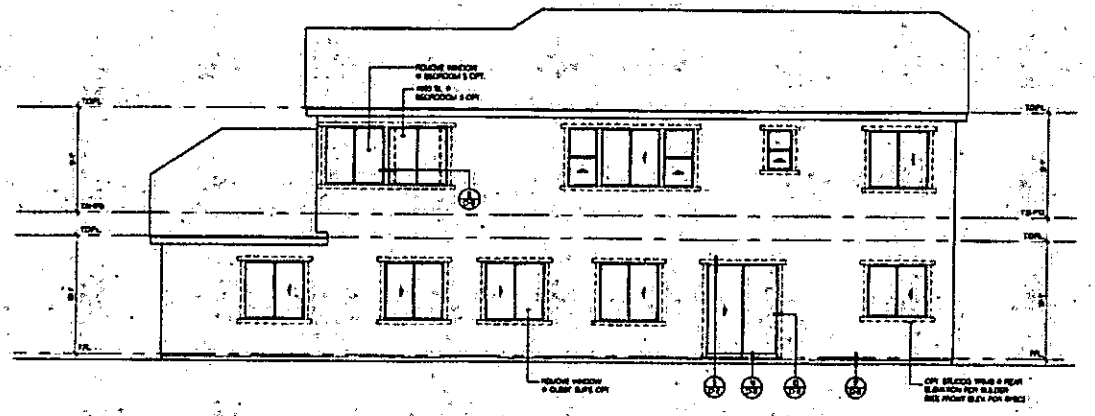
Irvine, California

Licensee Stamp

Project in Charge: D. STUART
Project Manager: M. SAPERSTEIN
Project Designer: R. YANG
Project Manager: R. LEE
Construction Mgr.:

Sheet Title:
PLAN 8
EXTERIOR ELEVATIONS
& ROOF PLAN

Sheet No.: A-3.5



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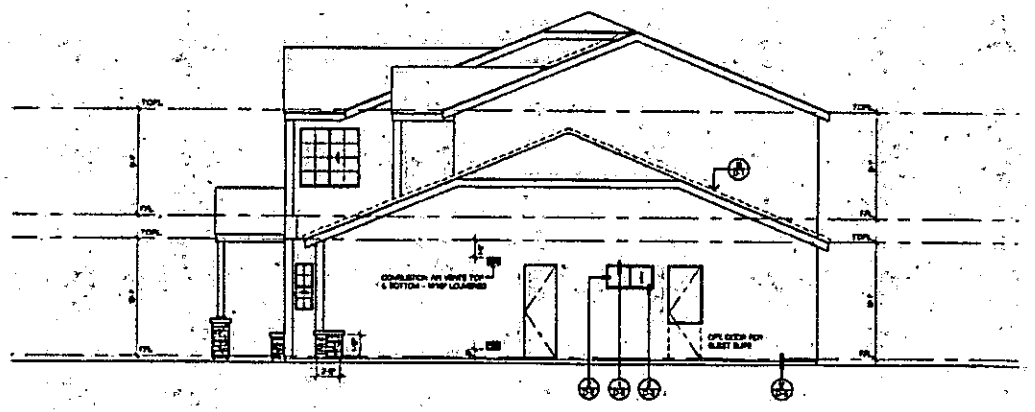


RIGHT

RECEIVED
APR 0 9 2010

EXTERIOR ELEVATIONS

No. Date Notes / Description

REVISED CODE UPDATE

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

Licensee Stamp

Principal in Charge: S. SITTAM
Project Director: M. GARDNER
Project Manager: R. WARD
Project Designer: R. LEE

Checked by: R. LEE
Sheet No.: PLAN 8
'A' EXTERIOR ELEVATIONS

Sheet No.: A-3.5A

ATTIC VENTILATION (PATIO/DECK 'A') 3

ROOF PLAN (PATIO/DECK 'A') 4

EXTERIOR ELEVATIONS (PATIO/DECK 'A') 1

LEFT

REAR

ATTIC VENTILATION (PATIO/DECK 'B') 3

ROOF PLAN (PATIO/DECK 'B') 6

EXTERIOR ELEVATIONS (PATIO/DECK 'B') 2

LEFT

REAR

| No. | Date | Issue / Description |
|---|---|---|
| | 09/26/07 | CODE UPDATE |

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

Licensee Stamp

Principal in Charge: D. STIMAN
Project Director: M. GARRISON
Project Manager: R. WARD
Project Designer: N. LEE
Checked By:

Sheet Title:
PLAN 5
'A' & 'B' OPT. PATIO/DECK
EXTERIOR ELEVATIONS
& ROOF PLAN

Sheet No.: A3.5B

RECEIVED
APR 02 2010

ATTIC VENTILATION: EXCEPT PER SECTION 1203 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

ROUND DORMER DOUBLE VENTS
BY TOMKOP OR APPROVED EQUAL
SIZE 14 DIA. - 52 SQ. IN. GROSS AREA
SIZE 14 DIA. - 180 SQ. IN. NET FREE AREA

CLOSED VENTS
BY TOMKOP OR APPROVED EQUAL
SIZE 10X20 - 70 SQ. IN. NET FREE AREA
FLAT TILE WOOD

**PLAN 1**

ATTIC SQUARE FOOTAGE 2377 SF
2377 SQ. FT. X 1/150 = 15.84 SQ. IN. REQUIRED

HIGH VENTILATION
(3) 14" DIA. GABEL END VENTS X 180 SQ. IN. = 480 SQ. IN.
(4) CLOSED FLAT TILE VENTS X 70 SQ. IN. = 280 SQ. IN.
PROVIDED 760 SQ. IN.

LOW VENTILATION
(1) 14" DIA. GABEL END VENTS X 180 SQ. IN. = 180 SQ. IN.
(3) CLOSED FLAT TILE VENTS X 70 SQ. IN. = 237 SQ. IN.
PROVIDED 417 SQ. IN.

TOTAL HIGH, LOW PROVIDED 1177 SQ. IN.

**PLAN 2**

ATTIC SQUARE FOOTAGE 2123 SF
2123 SQ. FT. X 1/150 = 14.15 SQ. IN.
2.41 SQ. FT. X 144 SQ. IN. REQUIRED 347 SQ. IN.

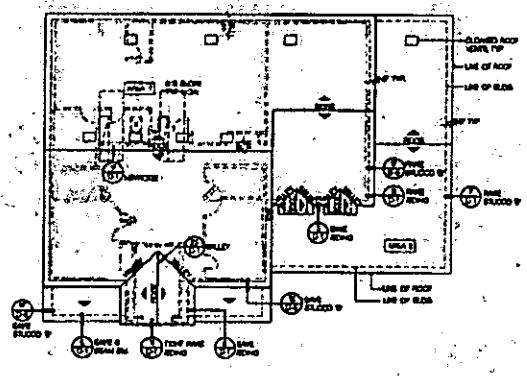
HIGH VENTILATION
(3) 14" DIA. GABEL END VENTS X 180 SQ. IN. = 180 SQ. IN.
(1) CLOSED FLAT TILE VENTS X 70 SQ. IN. = 70 SQ. IN.
PROVIDED 250 SQ. IN.

LOW VENTILATION
(3) CLOSED FLAT TILE VENTS X 70 SQ. IN. = 84 SQ. IN.
PROVIDED 84 SQ. IN.

TOTAL HIGH, LOW PROVIDED 347 SQ. IN.

ATTIC VENTILATION 3

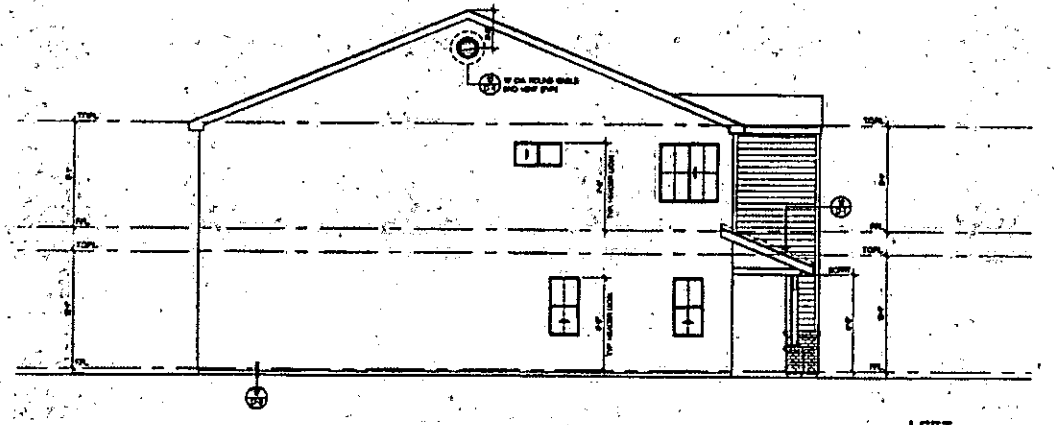
FRONT




NOTE
V-6 PITCH TYP. UNDA SCHEDULE FLAT TILE BY TOMKOP OR APPROVED EQUAL
T-CAST 1020-4000

NOTE
ALIGN ALL ROOF PENETRATIONS BY PLUMBER AND MECHANICAL TO SUIT OF PLAN AS AS THE VENT AS SEEN IN FROM THE FRONT AS DOES PERMITS

ROOF PLAN SCALE 1/8"=1'-0" 2




LEFT

EXTERIOR ELEVATIONS SCALE 1/8"=1'-0" 1

| No. | Date | Date / Description |
|---|---|---|
| | 02/26/07 | CODE UPDATE |

Construction

Project :

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, INC.
Architecture / Planning
17095 VENTURA BLVD. 3RD FLOOR
ENCINO, CA 91316
818.783.9191
818.783.9191 FAX
Irvine, California

License Stamp

Principal in Charge : D. SITMAN
Project Director : M. GARDNER
Project Manager : R. YUANG
Project Designer : H. LEE

Sheet Title :
PLAN 1
"B" EXTERIOR ELEVATIONS
& ROOF PLAN

Sheet No. : A-3.7

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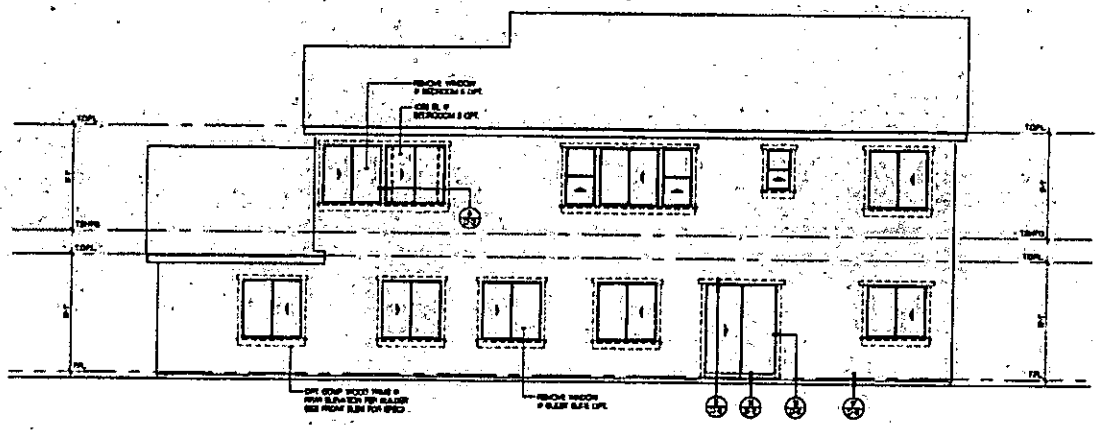

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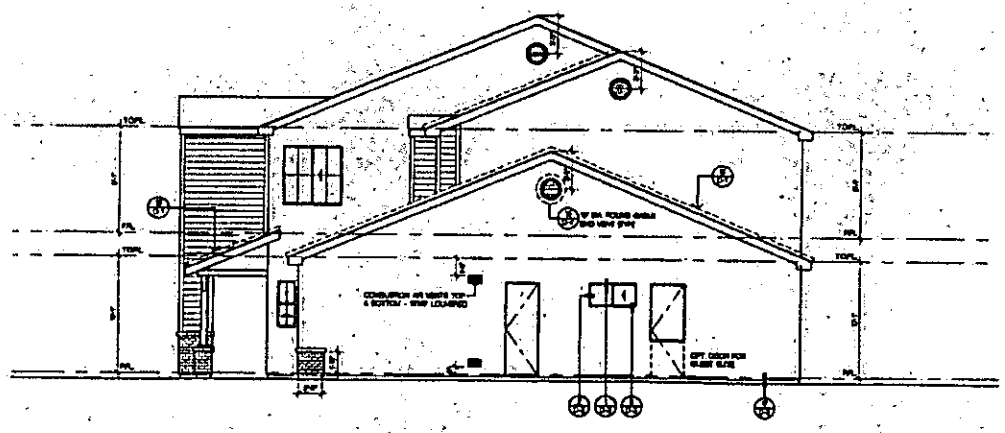

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APR 0 2010

EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

| No. | Date | Item / Description |
|---|---|---|
| | 02/19/07 | CODE UPDATE |

Consultant:

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, INC.

Licensee Stamp

Principal in Charge: S. STAHR
Project Director: R. GARCHAR
Project Manager: R. WANG
Project Designer: R. LEE
Drawn by:
Sheet Title: PLAN 5
"B" EXTERIOR ELEVATIONS

Sheet No. A-3.7A

ATTIC VENTILATION (PATIO/DECK 'A') 3

ROOF PLAN (PATIO/DECK 'A') 4

EXTERIOR ELEVATIONS (PATIO/DECK 'A') 1

ATTIC VENTILATION (PATIO/DECK 'B') 5

ROOF PLAN (PATIO/DECK 'B') 6

EXTERIOR ELEVATIONS (PATIO/DECK 'B') 2

LEFT

REAR

LEFT

REAR

| No. | Date | Issue / Description |
|---|---|---|
| | 09/05/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

Architecture Planning

Project in Charge: D. SITTNER
Project Director: M. GARDNER
Project Manager: R. WARD
Project Designer: R. LEE
Drawn By:

Sheet Title:
PLANS
L.V.A. 10' OFF. PATIO/DECK
EXTERIOR ELEVATIONS
& ROOF PLAN

A-3.7B

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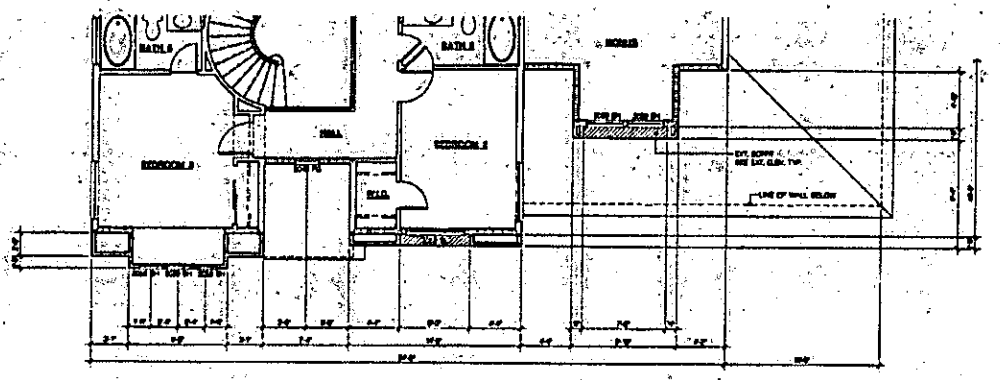
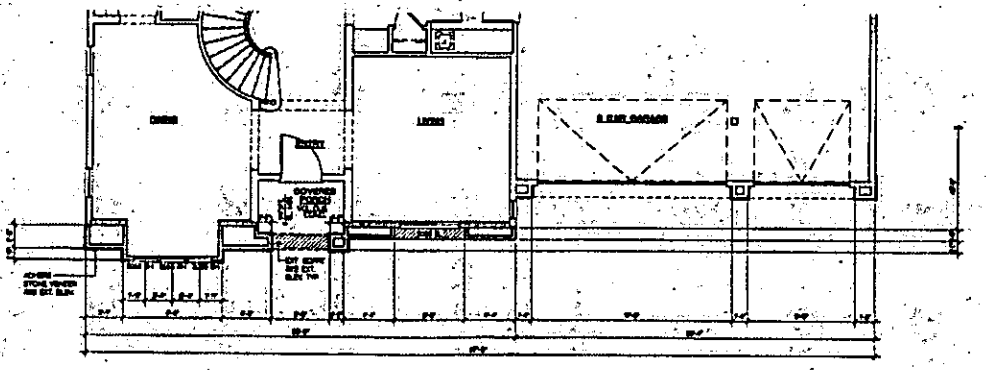
APR 0 9 20




SECOND FLOOR PLAN




FIRST FLOOR PLAN

## KEYNOTES

## NOTES

SQUARE FOOTAGE

FLOOR PLAN | SCALE 1/4"=1' | 1

APR 0 9 2

| No. | Date | Issue / Description |
|---|---|---|
| 1 | 09/29/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.

Irvine, California

Licensee Stamp

Principal In Charge: G. STRAND
Project Director: M. GARDNER
Project Manager: R. WARD
Project Designer: H. LEE
Checked By:

Sheet Title: PLAN 3 "C" CHANGES

A-3.8

ATTIC VENTILATION: (2006 IRC SECTION 806.3) THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

CLOSED VENTS
BY "DAHON" OR APPROVED EQUAL
SIZE 12x12 - 79 SQ. INCH NET FREE AREA
FLAT TILE #20040

AREA A
ATTIC SQUARE FOOTAGE 2345 SQ. FT.
(2345 SQ. FT. X 1/150) 15.63 SQ. FT.
15.63 SQ. FT. X 144 SQ. IN. (REQUIRED) = 2250 SQ. IN.

HIGH VENTILATION
(28) CLOSED FLAT TILE VENTS X 79 SQ. IN. = 2212 SQ. IN.
PROVIDED 2212 SQ. IN.

LOW VENTILATION
(7) CLOSED FLAT TILE VENTS X 79 SQ. IN. = 553 SQ. IN.
PROVIDED 553 SQ. IN.

TOTAL HIGH, LOW PROVIDED 2765 SQ. IN.

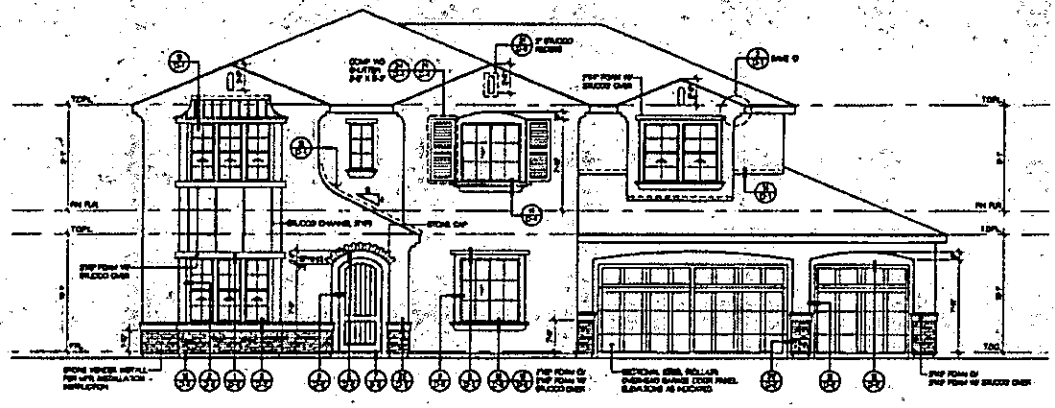
AREA B
ATTIC SQUARE FOOTAGE 723 SQ. FT.
(723 SQ. FT. X 1/150) 4.82 SQ. FT.
4.82 SQ. FT. X 144 SQ. IN. (REQUIRED) = 694 SQ. IN.

HIGH VENTILATION
(3) CLOSED FLAT TILE VENTS X 79 SQ. IN. = 237 SQ. IN.
PROVIDED 237 SQ. IN.

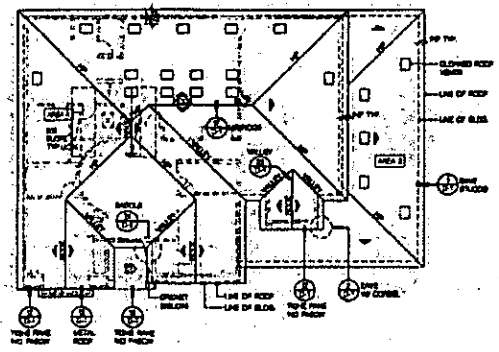
LOW VENTILATION
(2) CLOSED FLAT TILE VENTS X 79 SQ. IN. = 158 SQ. IN.
PROVIDED 158 SQ. IN.

TOTAL HIGH, LOW PROVIDED 395 SQ. IN.

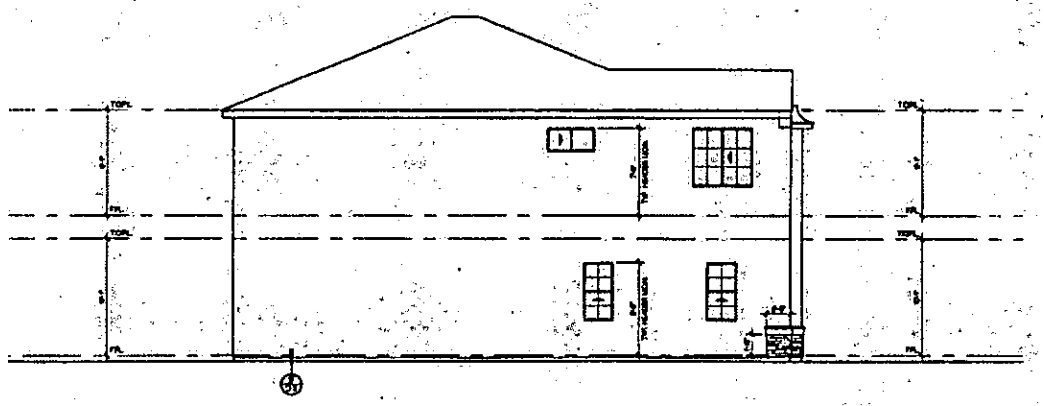
ATTIC VENTILATION | 3



FRONT



ROOF PLAN | SCALE 1/8"=1'-0" | 2



LEFT

EXTERIOR ELEVATIONS | SCALE 1/8"=1'-0" | 1

| No. | Date | Name / Description |
|---|---|---|
| | 02/28/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOY GROUP, inc.

Licensed Design Professional

Principal in Charge: B. STRAND
Project Director: M. GARDNER
Project Manager: G. TAMO
Designed by: R. LEE
Drawn by:
Sheet Title: PLAN 3 'C' EXTERIOR ELEVATIONS & ROOF PLAN

Sheet No.: A-3.9

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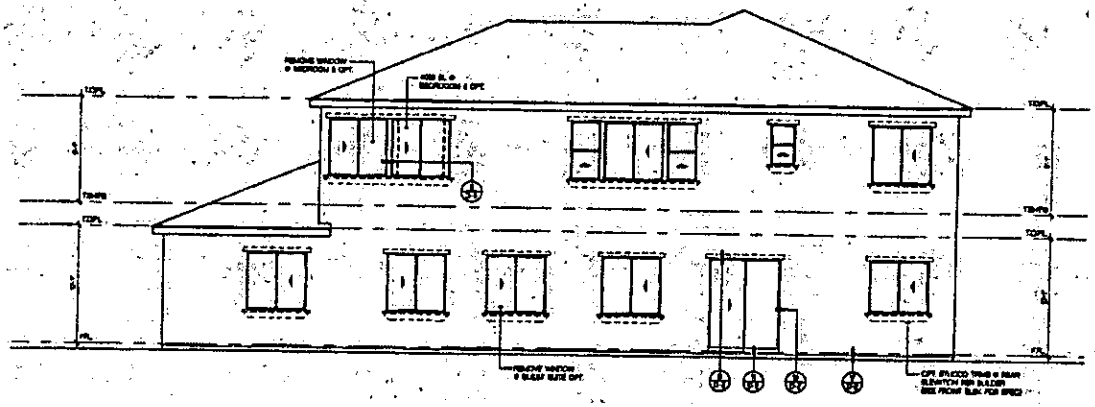
APR 0 2007



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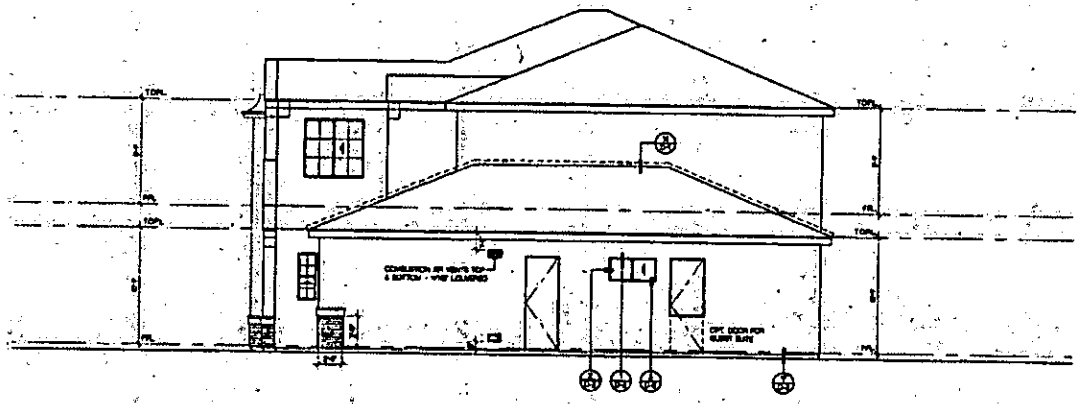


RIGHT

RECEIVED
APR 0 2010

EXTERIOR ELEVATIONS | SCALE | 1

| No. | Date | Item / Description |
|---|---|---|
| | 02/16/07 | CODE UPDATE |

Product :

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.

Principal in Charge :
Project Director :
Project Manager :
Project Designer :

PLAN 3
'C' EXTERIOR ELEVATIONS

Sheet No. : A-3.9A

ATTIC VENTILATION: CODE IRC SECTION R806 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

CLOSED VENTS
BY CHARGY OR APPROVED EQUAL
(EQ. 70 SQ. IN. NET FREE AREA FLAT TILE VENTS)

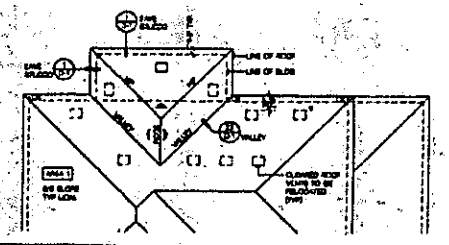
AREA 1
ATTIC SQUARE FOOTAGE 2548 SF
2548 SQ. FT. X 1/150 = 16.98 SF
16.98 SQ. FT. X 144 SQ. IN. REQUIRED = 2443 SQ. IN.

HIGH VENTILATION
80 CLOSED FLAT TILE VENTS X 70 SQ. IN. = 5600 SQ. IN.
PROVIDED 5600 SQ. IN.

LOW VENTILATION
80 CLOSED FLAT TILE VENTS X 70 SQ. IN. = 5600 SQ. IN.
PROVIDED 5600 SQ. IN.

TOTAL HIGH, LOW PROVIDED 11200 SQ. IN.

## ATTIC VENTILATION (PATIO/DECK 'A') | 3

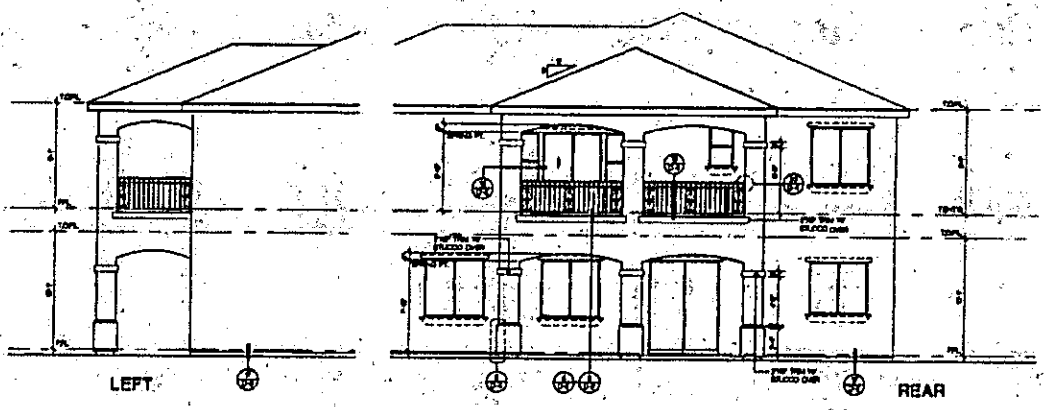


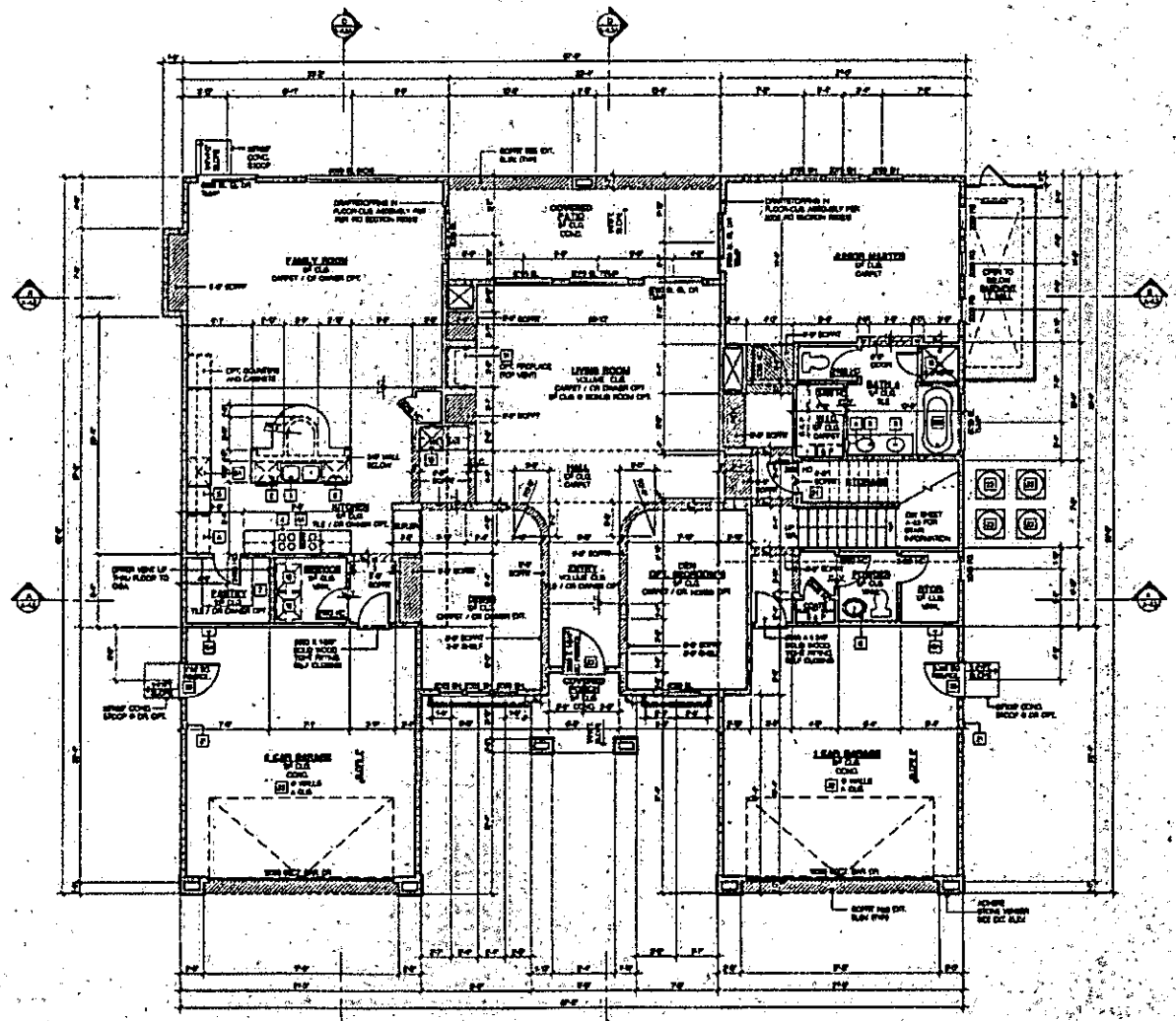

NOTE: 3/8 INCH TYP LOW CONCRETE FLAT TILE BY CHARGY OR APPROVED EQUAL (CBC 1507.3.3)

NOTE: FLASH ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO REAR OF PLAN SO AS TO NOT BE VISIBLE FROM THE FRONT AS CODE REQUIRES.

NOTE: REFER TO A-4.0B ROOF PLAN FOR INFORMATION NOT SHOWN

## ROOF PLAN (PATIO/DECK 'A') | SCALE 1/8"=1'-0" | 4


LEFT
REAR
TOP PL
TOP PL
TOP PL
TOP PL
FF PL
FF PL
TOP TRS
TOP TRS
TOP TRS




## KEYNOTES

## NOTES

## SQUARE FOOTAGE

| FLOOR AREA | |
|---|---|
| FIRST FLOOR | [illegible] S.F. |
| SECOND FLOOR | [illegible] S.F. |
| TOTAL | [illegible] S.F. |
| GARAGE | [illegible] S.F. |
| FRONT PORCH 'W' | [illegible] S.F. |
| REAR PATIO / DECK | [illegible] S.F. |

| No. | Date | Issue / Description |
|---|---|---|
| | 07/07/07 | CODE UPDATE |

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

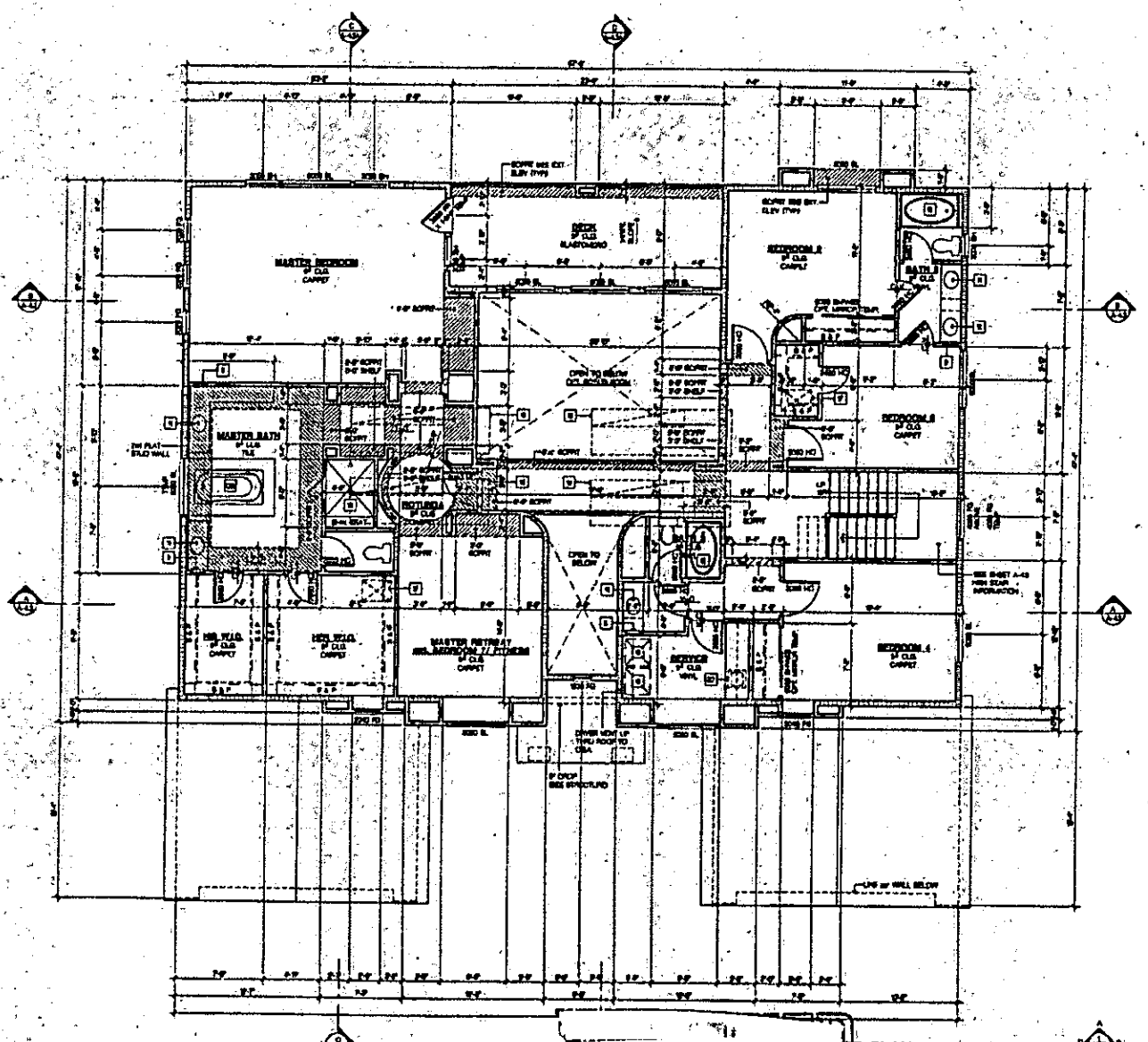
KTGYGROUP, inc.

Irvine, California

Principal in Charge: D. STRAND
Project Director: M. GARDNER
Project Manager: R. WARD
Project Designer: H. LEE

Sheet No.: A-4.1

FLOOR PLAN | SCALE 1/4"=1' | 1




FLOOR PLAN | SCALE 1/4"=1'-0" | 1

## KEYNOTES

## NOTES

| No. | Date | Issue / Description |
|---|---|---|
| | | REVISE CODE UPDATE |

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.
Architecture Planning

Irvine, California

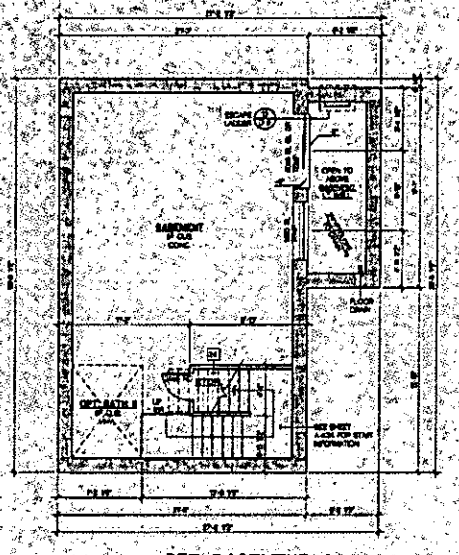
Licensee Stamp

Principal in Charge: B. ESTRADA
Project Director: M. GARDNER
Project Manager: R. WANG
Project Designer: H. LEE

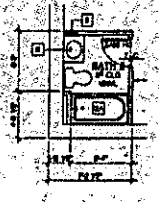
Drawing Title:
PLAN 4
'A' SECOND FLOOR PLAN

RECEIVED
APR 0 9 2006

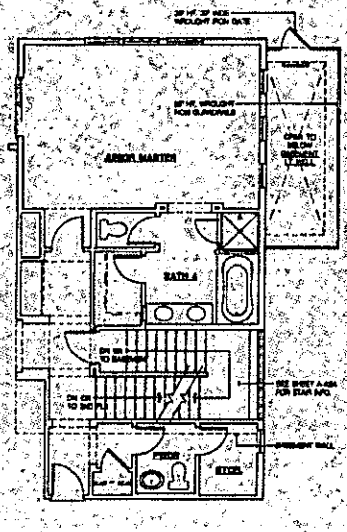
A-4.1A



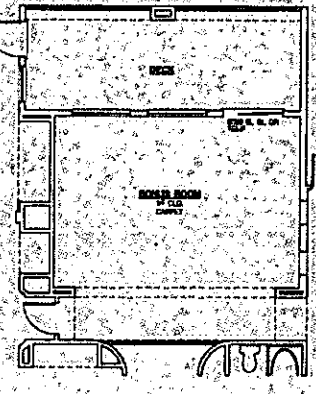
OPT. BASEMENT
BASEMENT PLAN



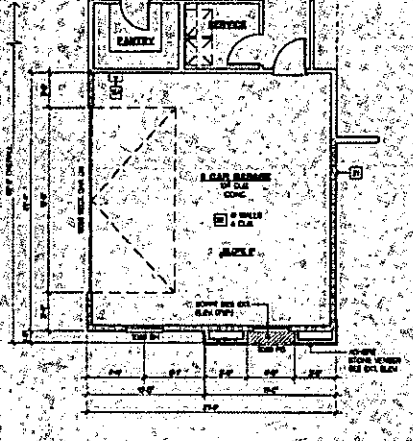
OPT. BATH 6
FOR BASEMENT
BASEMENT PLAN



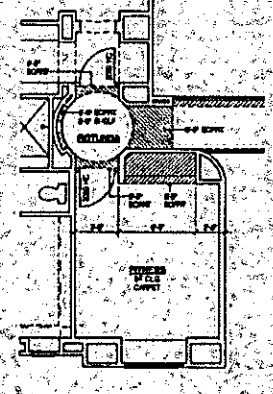
OPT. BASEMENT
FIRST FLOOR PLAN



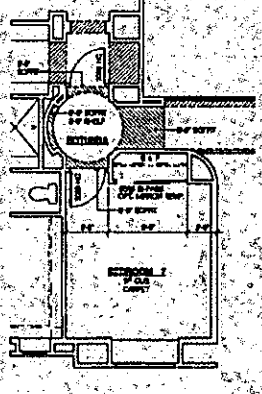
OPT. BONUS ROOM
SECOND FLOOR PLAN



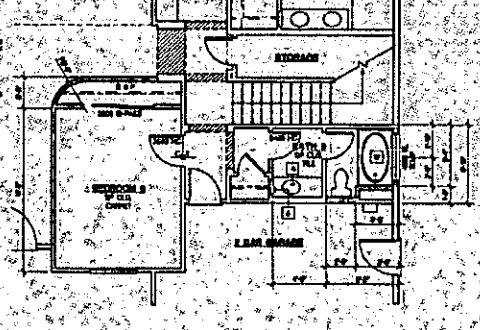
OPT. CORNER GARAGE
FIRST FLOOR PLAN



OPT. FITNESS
SECOND FLOOR PLAN



OPT. BED 7 / NURSE
SECOND FLOOR PLAN



OPT. BED 8 / BATH 5
FIRST FLOOR PLAN

INTERIOR ELEVATION

FLOOR PLAN | SCALE 1/4"=1'-0" | 1

## KEYNOTES

| No. | Date | Issue / Description |
|---|---|---|
| | 09/24/07 | CODE UPDATE |

## NOTES

## SQUARE FOOTAGE

APR 09

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGY GROUP, INC.

Licensed Architect

Principal in Charge: D. STRAND
Project Director: M. GARDNER
Project Manager: B. WANG
Project Designer: H. LEE
Checked By:

PLAN 4
W FLOOR PLAN
OPTIONS

A-4.1B

ATTIC VENTILATION: (UCBC PC) SECTION 1203.3 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

CLOSED VENTS
BY TONGHOM OR APPROVED EQUAL
SIZE: 9"x9" - 79.00 NET FREE AREA
FLAT TILE #5040

BRK 3
ATTIC SQUARE FOOTAGE
VENTILATION
(8) CLOSED FLAT TILE VENTS x 79.00 =
PROVIDED
TOTAL HIGH LOW PROVIDED

BRK 2
ATTIC SQUARE FOOTAGE
VENTILATION
(8) CLOSED FLAT TILE VENTS x 79.00 =
PROVIDED
TOTAL HIGH LOW PROVIDED

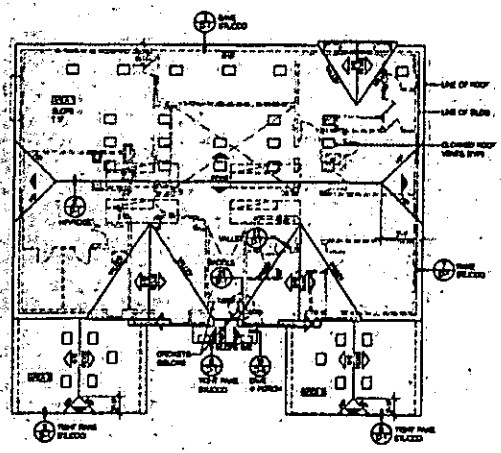
BRK 1
ATTIC SQUARE FOOTAGE
VENTILATION
(8) CLOSED FLAT TILE VENTS x 79.00 =
PROVIDED
TOTAL HIGH LOW PROVIDED

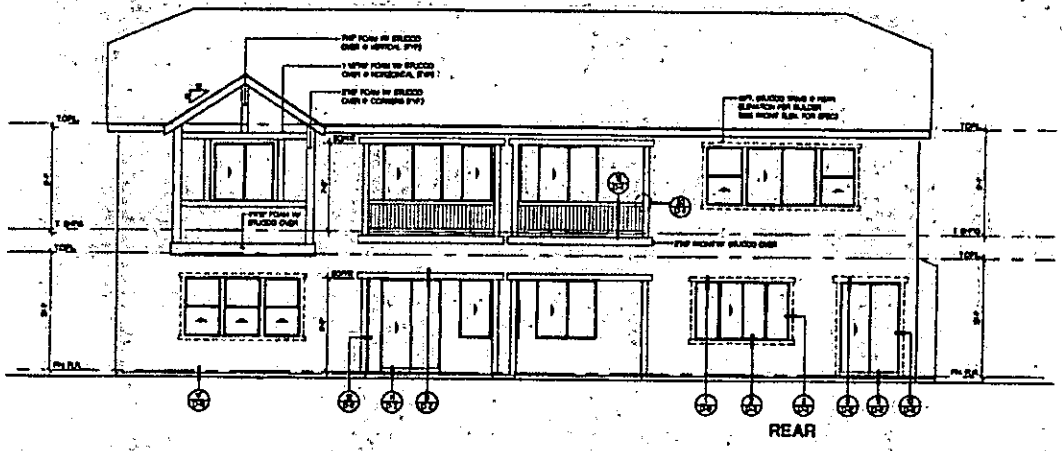
HIGH VENTILATION
(10) CLOSED FLAT TILE VENTS x 79.00 =
PROVIDED

LOW VENTILATION
(6) CLOSED FLAT TILE VENTS x 79.00 =
PROVIDED

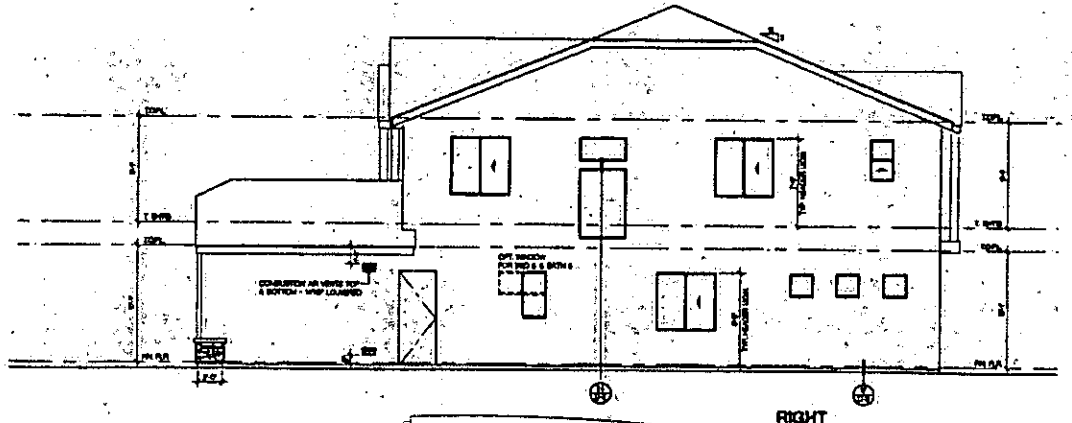
TOTAL HIGH LOW PROVIDED

ATTIC VENTILATION | 3


BRK 1
BRK 2
BRK 3
LINE OF ROOF
LINE OF RIDGE
CLOSED ROOF VENTS (TYP)
TRUSS
TRUSS
TRUSS



REAR



RIGHT

| No. | Date | Item / Description |
|---|---|---|
| | 02/24/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

Licensed Design

Principal in Charge: D. STRAIN
Project Director: M. GARDNER
Project Manager: R. WARD
Project Designer: H. LEE
Checked By:

Sheet Title: PLAN 4-5C
'A' EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

SCALE: 1

A-4.5A

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APR 0 2007

CDP-07226

ATTIC VENTILATION [illegible] FOR SECTION [illegible] THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

CLOSED VENTS
BY VENCAY OR APPROVED EQUAL
[illegible] - 78 SQ NET FREE AREA
FLAT TILE VENTS

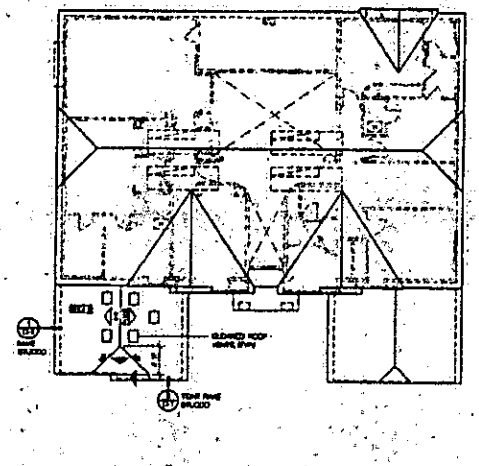
[illegible]
ATTIC SQUARE FOOTAGE [illegible] SF
234 SQ FT @ 1/300 [illegible] SF
[illegible] SQ FT X 144 SQ IN REQUIRED [illegible] SI

HIGH VENTILATION
[illegible] CLOSED FLAT TILE VENTS X 78 SI = [illegible] SI
PROVIDED [illegible] SI

LOW VENTILATION
50 EAVE VENTS X 24 SI = [illegible] SI
PROVIDED [illegible] SI

TOTAL HIGH, LOW PROVIDED [illegible] SI

ATTIC VENTILATION | 3



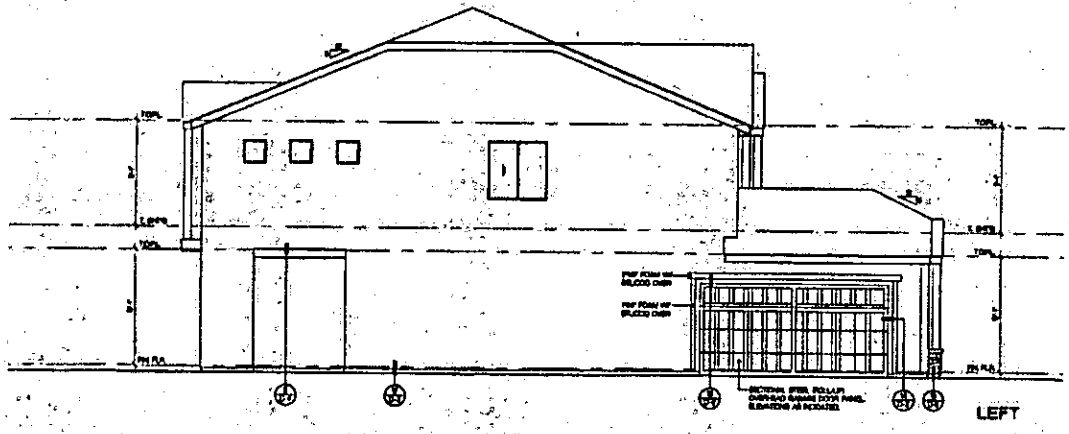
NOTE
[illegible] PER TYP LOW STRUCTS FLAT TILE BY SHELDP OR APPROVED EQUAL, [illegible]

NOTE
ALIGN ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO FOUR OF PLAN SO AS TO NOT BE VISIBLE FROM THE FRONT AT EDGE VENTS.

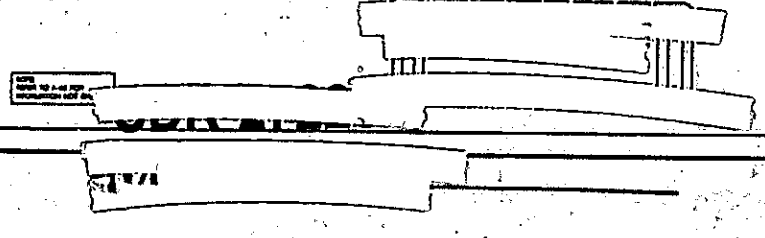
NOTE
[illegible] SEE SHEET A-4.5 FOR INFORMATION NOT SHOWN

ROOF PLAN | SCALE 1/8"=1'-0" | 2

FRONT




LEFT



NOTE
SEE SHEET A-4.5 FOR INFORMATION NOT SHOWN

EXTERIOR ELEVATIONS | SCALE 1/8"=1'-0" | 1

RECEIVED
APR 09

| No. | Date | Issue / Description |
|---|---|---|
| | 03/28/07 | CODE UPDATE |

Consultant:

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

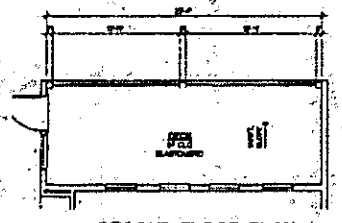
KTGYGROUP, inc.
[illegible]
[illegible]
[illegible]
Irvine, California

Licensee Stamp

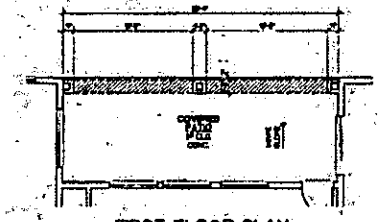
Principal in Charge: E. [illegible]
Project Director: M. [illegible]
Project Manager: R. [illegible]
Project Designer: H. [illegible]
Checked By:

Sheet Title: PLAN 4 "A OPT. CORNER GARAGE" EXTERIOR ELEVATIONS & ROOF PLAN

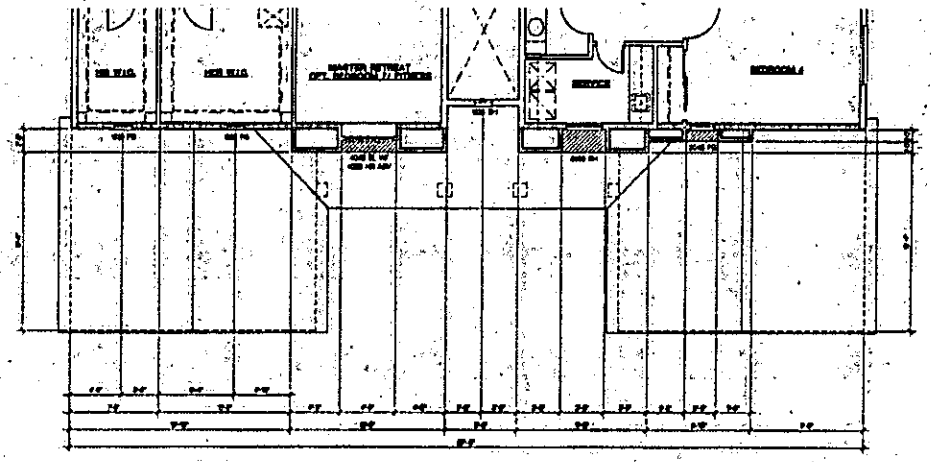
Sheet No. A-4.5B



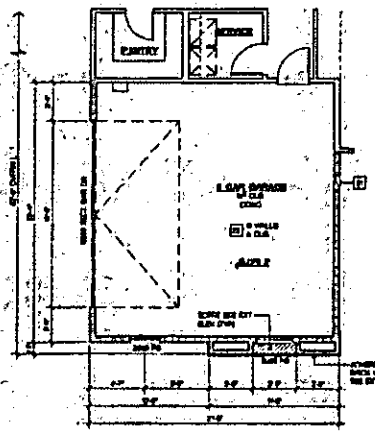
SECOND FLOOR PLAN
(DECK & RAILING @ 'B')



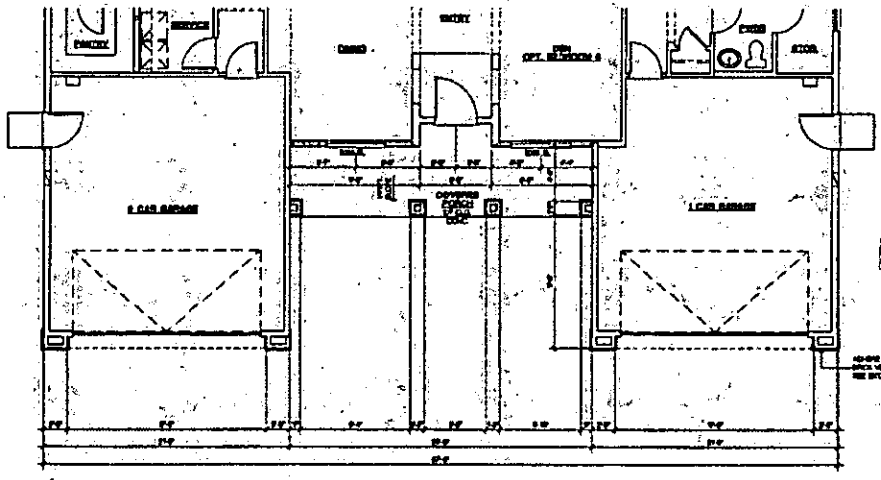
FIRST FLOOR PLAN
(PATIO @ 'B')



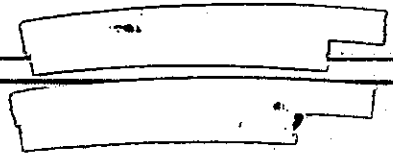
SECOND FLOOR PLAN



OPT. CORNER GARAGE



FIRST FLOOR PLAN



| No. | Date | Issue / Description |
|---|---|---|
| | 02/28/02 | CODE UPDATE |

Consultants

Project:

The Orchards,

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

Project In Charge: D. ESTMAN
Project Director: M. GUERRERO
Project Manager: R. YUNG
Project Designer: H. LEE
Checked By:

SQUARE FOOTAGE

PLAN 5, "B" CHANGES AND OPTIONS

REGISTRATION
APR 0 9 2002

A-4.6

FLOOR PLAN | SCALE 1/4"=1' | 1.

ATTIC VENTILATION: 2003 IRC SECTION 806.2 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

**SQUARE DWELL FOOTAGE**
BY "CONCEPT" OR APPROVED EQUAL
[illegible] - [illegible] SQ NET FREE AREA
[illegible] DIA - [illegible] SQ NET FREE AREA

**CLOSED VENTS**
BY "CONCEPT" OR APPROVED EQUAL
[illegible] = [illegible] SQ NET FREE AREA
FLAT TILE VENTS

**PLAN 1**
ATTIC SQUARE FOOTAGE [illegible] SQ FT
[illegible] SQ FT x [illegible]
[illegible] SQ FT x 144 SQ IN (REQUIRED) [illegible] SQ IN

HIGH VENTILATION
(2) 14" DIA. GABLE END VENTS x [illegible] SQ IN = [illegible] SQ IN
(10) CLOSED FLAT TILE VENTS x 70 SQ IN = 700 SQ IN
PROVIDED [illegible] SQ IN

LOW VENTILATION
(2) 14" DIA. GABLE END VENTS x 80 SQ IN = 270 SQ IN
(2) CLOSED FLAT TILE VENTS x 70 SQ IN = 140 SQ IN
PROVIDED 410 SQ IN

TOTAL HIGH LOW PROVIDED [illegible] SQ IN

**PLAN 2**
ATTIC SQUARE FOOTAGE 364 SQ FT
364 SQ FT x 1/150 2.43 SQ FT
2.43 SQ FT x 144 SQ IN (REQUIRED) 349 SQ IN

VENTILATION
(4) CLOSED FLAT TILE VENTS x 70 SQ IN = 280 SQ IN
(2) 14" DIA. GABLE END VENTS x 80 SQ IN = 160 SQ IN
PROVIDED 440 SQ IN

TOTAL HIGH LOW PROVIDED 440 SQ IN

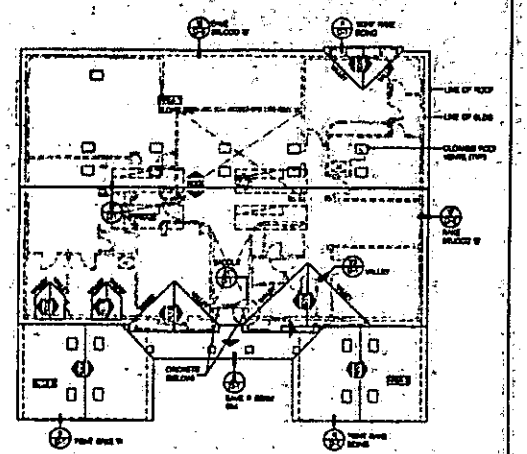
**PLAN 3**
ATTIC SQUARE FOOTAGE [illegible] SQ FT
[illegible] SQ FT x [illegible]
[illegible] SQ FT x 144 SQ IN (REQUIRED) [illegible] SQ IN

**PLAN 4**
ATTIC SQUARE FOOTAGE [illegible] SQ FT
[illegible] SQ FT x [illegible]
[illegible] SQ FT x 144 SQ IN (REQUIRED) [illegible] SQ IN

VENTILATION
(4) CLOSED FLAT TILE VENTS x 70 SQ IN = 280 SQ IN
(2) 14" DIA. GABLE END VENTS x 80 SQ IN = 160 SQ IN
PROVIDED 440 SQ IN

TOTAL HIGH LOW PROVIDED 440 SQ IN

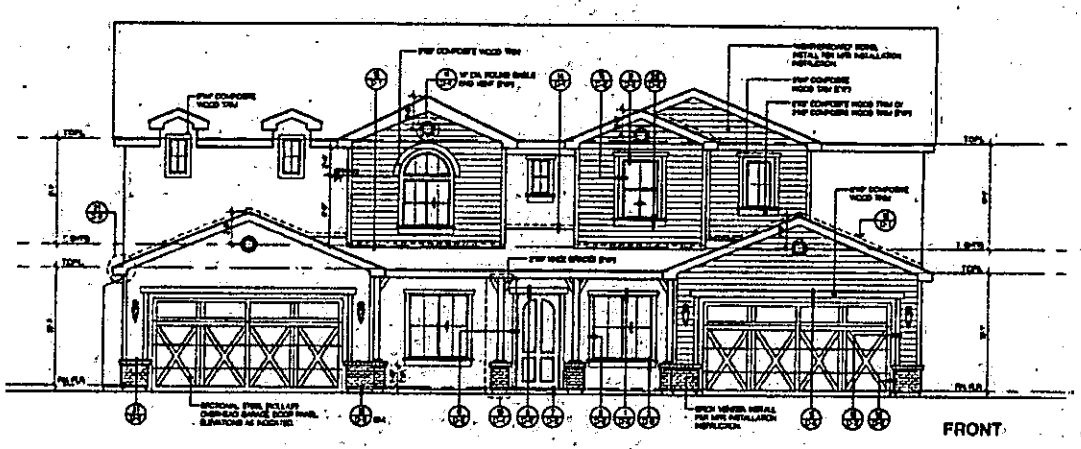
ATTIC VENTILATION 3

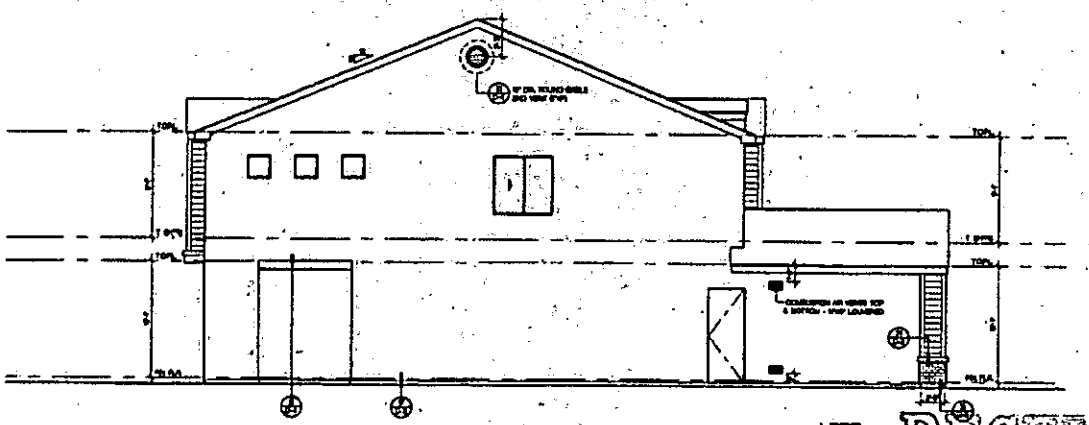



NOTE:
PAINT FROM THE HIGH CONCRETE FLAT TILE BY "SHALE" OR APPROVED EQUAL. CODE REF. [illegible]

NOTE:
FLASH ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO MATCH OF PLAN (E) AS TO NOT BE VISIBLE FROM THE FRONT AS CODE PERMITS.

ROOF PLAN SCALE 1/8"=1'-0" 2




EXTERIOR ELEVATIONS SCALE 1/4"=1'-0" 1

| No. | Date | Issue / Description |
|---|---|---|
| | 03/08/07 | CODE UPDATE |

Consultants

Project:

**The Orchards**

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

**2005-0669**

KTGY GROUP, INC.

Licensed Design

Principal in Charge: D. STRAHM
Project Director: M. GARDNER
Project Manager: R. WARD
Project Designer: H. LEE
Checked By:

Sheet Title:
PLAN 4
EXTERIOR ELEVATIONS
& ROOF PLAN

Sheet No.: A-4.7

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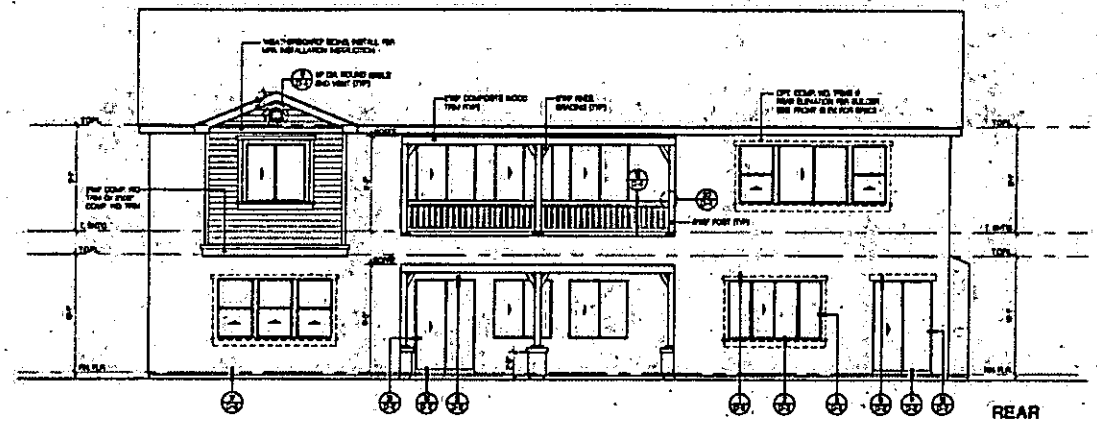


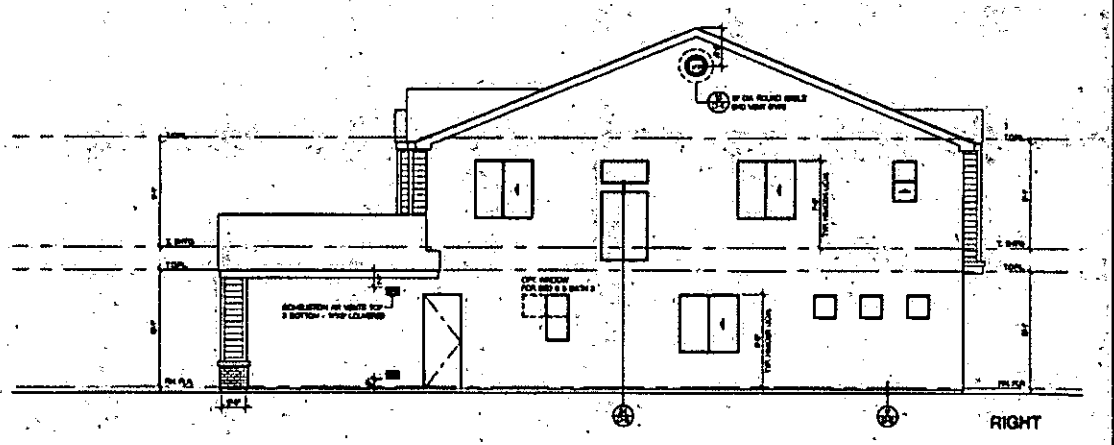


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APR 0 9 2010

EXTERIOR ELEVATIONS | SCALE: 1/4"=1' | 1

| No. | Date | Issue / Description |
|---|---|---|
| | 02/26/07 | CODE UPDATE |

Consultant:

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOYGROUP, ...

Principal in Charge: S. SITHAN
Project Director: M. BARONIN
Project Manager: R. WANG
Project Designer: H. LEE

Drawn by:

Sheet Title:
PLAN 4
'B' EXTERIOR ELEVATIONS

Sheet No.:
A-4.7A

ATTIC VENTILATION: 2006 IRC SECTION R806 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300 PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNER VENTS.

SOLID GABLE LOUVER
BY SELKIRK OR APPROVED EQUAL
[illegible] NET FREE AREA

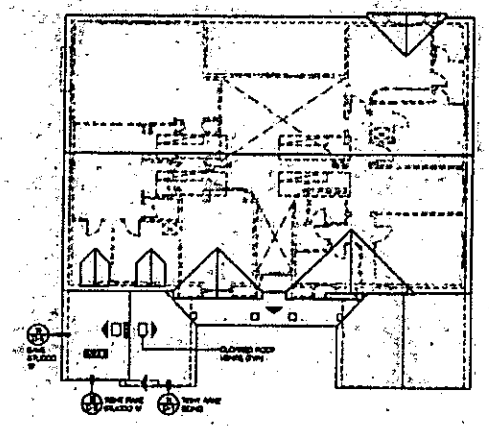
CLOSED LOUVER
BY SELKIRK OR APPROVED EQUAL
[illegible] - 75 SQ. NET FREE AREA
FLAT TILE [illegible]

BASIS:
ATTIC SQUARE FOOTAGE [illegible]
[illegible] X 1/300 [illegible]
[illegible] SQ. FT. X 144 SQ. IN REQUIRED [illegible]

VENTILATION:
[illegible] CLOSED FLAT TILE VENTS X 75 SQ. IN. = [illegible]
[illegible] 14" DIA. GABLE END VENTS X 89 SQ. IN. = [illegible]
PROVIDED [illegible]

TOTAL HIGH LOW PROVIDED [illegible]

ATTIC VENTILATION | 3



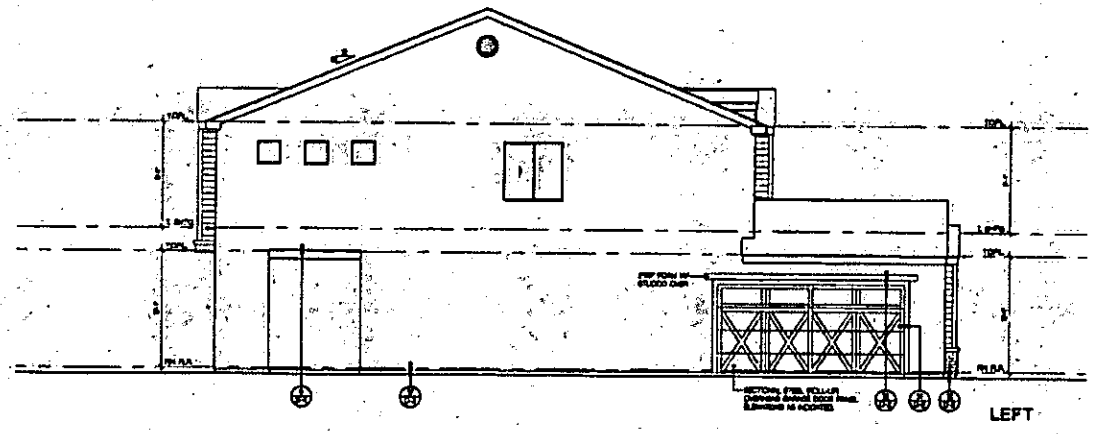
NOTE:
5/8 INCH TYP NON CONCRETE FLAT TILE BY SHAKE OR APPROVED EQUAL [illegible]

NOTE:
FLASH ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO REMAIN OF PLAN SO AS TO NOT BE VISIBLE FROM THE FRONT AS CODE PERMITS

NOTE:
REFER TO A-4.0 FOR INFORMATION NOT SHOWN

ROOF PLAN | SCALE 1/8"=1'-0" | 2

FRONT



LEFT

NOTE:
REFER TO A-4.0 FOR INFORMATION NOT SHOWN

EXTERIOR ELEVATIONS | SCALE 1/8"=1'-0" | 1

| No. | Date | Issue / Description |
|---|---|---|
| | | REVISED CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

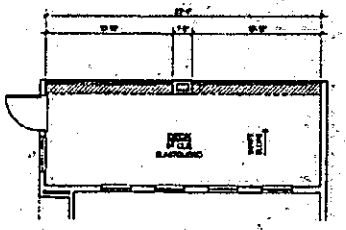
KTGYGROUP, inc.

Licensee Stamp

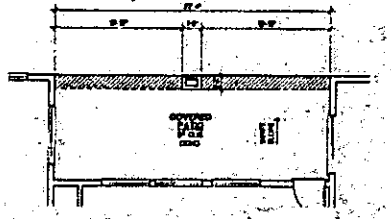
Principal in Charge: D. OTHAN
Project Director: K. GARDNER
Project Manager: R. WANG
Project Designer: H. LEE
Checked By:

Sheet Title:
PLAN 4 "B" OPT. CORNER GARAGE
EXTERIOR ELEVATIONS
& ROOF

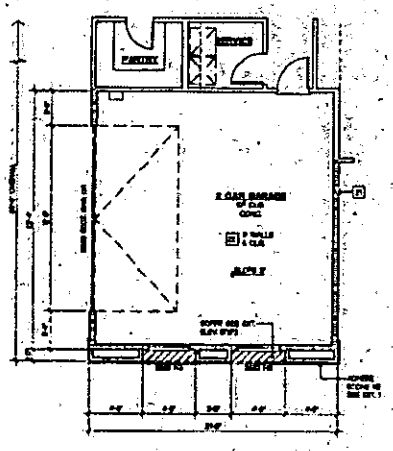
RECEIVED
MAR 0 A 2015
24.7B



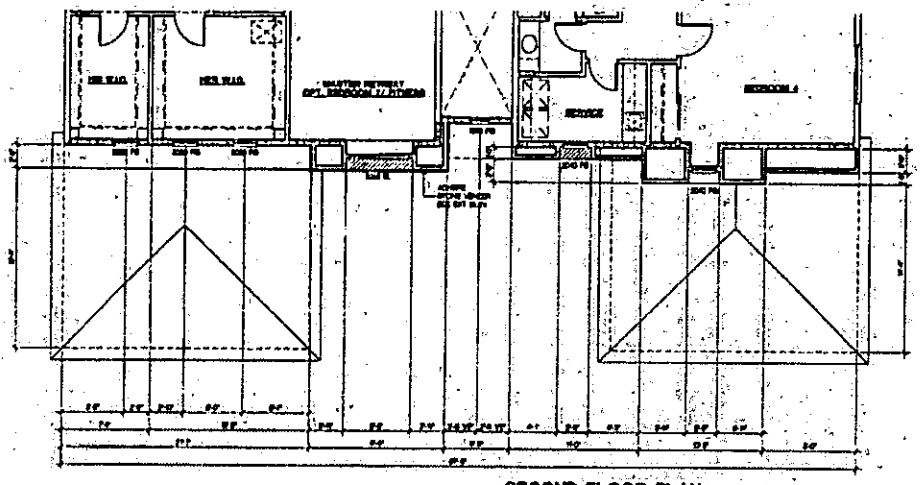
SECOND FLOOR PLAN
(DECK & RAILING @ 'C')



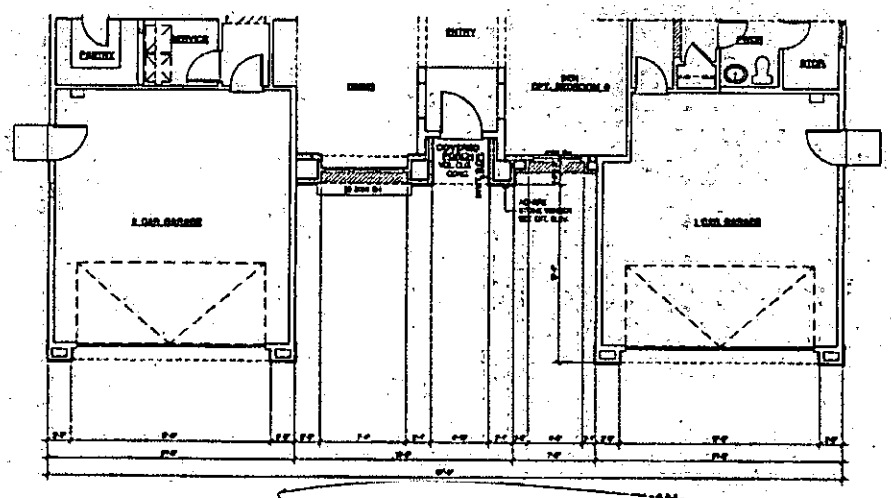
FIRST FLOOR PLAN
(PATIO @ 'C')

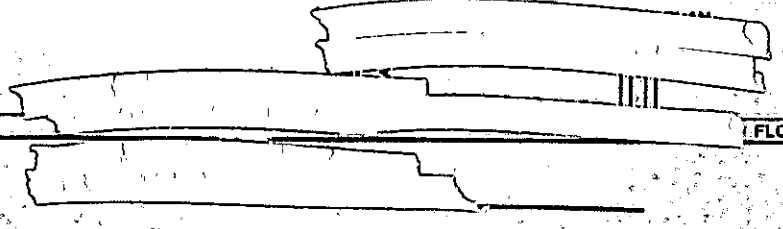


OPT. CORNER GARAGE



SECOND FLOOR PLAN





FLOOR PLAN | SCALE | 1

SQUARE FOOTAGE

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APR 0 9 2010

| No. | Date | Note / Description |
|---|---|---|
| | 08/19/07 | CODE UPDATE |

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, INC.

Irvine, California

Licensee Stamp

Principal in Charge: B. STUMP
Project Director: M. GARDNER
Project Manager: R. WARD
Project Architect: H. LEE

Sheet Title: PLAN 4 'C' CHANGES AND OPTIONS

Sheet No.: A-4.8

ATTIC VENTILATION: 2006 IRC SECTION R806.2 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

CLOSED VENTS
BY VENDOR OR APPROVED EQUAL
6025 Model - 75 SQ. INCH FREE AREA
FLAT TILE VENTS

AREA 1
ATTIC SQUARE FOOTAGE 371 SF
371 SQ. FT. X 1/300 1.24 SF
1.24 SQ. FT. X 144 SQ. IN. REQUIRED 179 SI

HIGH VENTILATION
(10) CLOSED FLAT TILE VENTS X 75 SI = 750 SI
PROVIDED 750 SI

LOW VENTILATION
(10) CLOSED FLAT TILE VENTS X 75 SI = 750 SI
PROVIDED 750 SI

TOTAL HIGH LOW PROVIDED 1500 SI

AREA 2
ATTIC SQUARE FOOTAGE 384 SF
384 SQ. FT. X 1/300 1.28 SF
1.28 SQ. FT. X 144 SQ. IN. REQUIRED 184 SI

VENTILATION
(8) CLOSED FLAT TILE VENTS X 75 SI = 600 SI
PROVIDED 600 SI

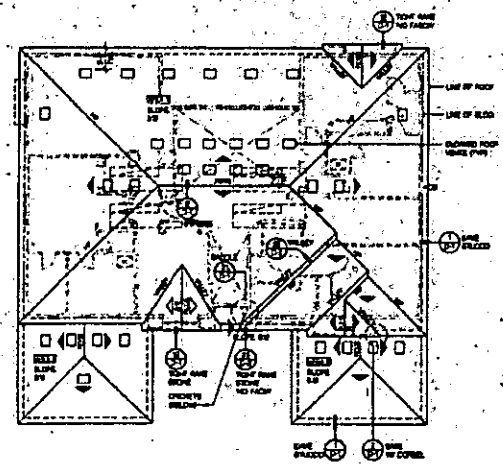
TOTAL HIGH LOW PROVIDED 600 SI

AREA 3
ATTIC SQUARE FOOTAGE 374 SF
374 SQ. FT. X 1/300 1.24 SF
1.24 SQ. FT. X 144 SQ. IN. REQUIRED 179 SI

VENTILATION
(8) CLOSED FLAT TILE VENTS X 75 SI = 600 SI
PROVIDED 600 SI

TOTAL HIGH LOW PROVIDED 600 SI

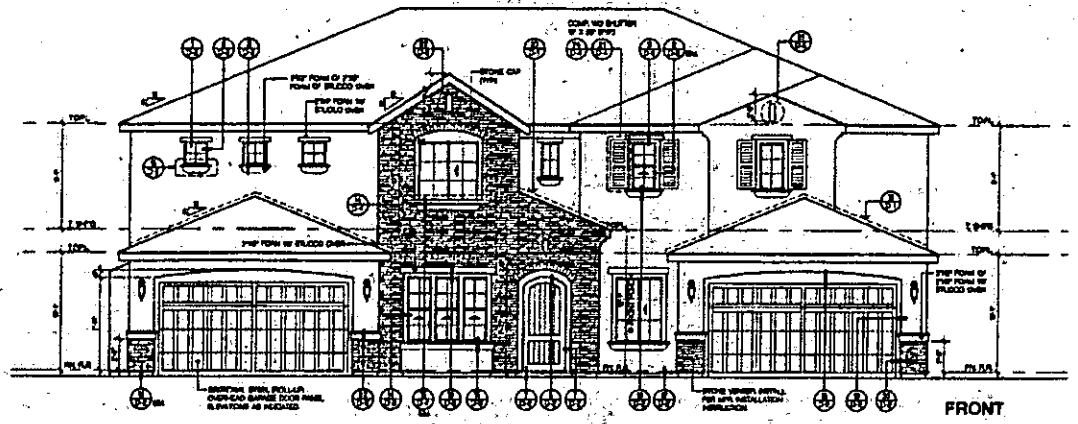
ATTIC VENTILATION 3



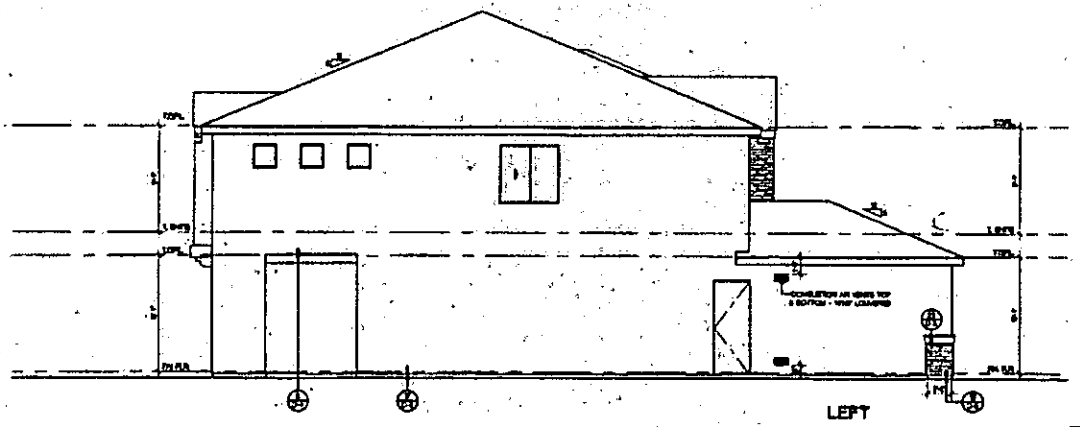

NOTE:
3.5 INCH THY LION CONCRETE FLAT TILE BY "SHALE" OR APPROVED EQUAL. (CLASS 400-600)

NOTE:
PLUMB ALL ROOF PENETRATIONS BY PLUMBING AND MECHANICAL TO REAR OF PLAN SO AS NOT BE VISIBLE FROM THE FRONT AS DOES REPAIRS

ROOF PLAN SCALE: 1/8"=1'-0" 2




FRONT




LEFT

EXTERIOR ELEVATIONS SCALE: 1/8"=1'-0" 1

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APR 0 9 2006

| No. | Date | Issue / Description |
|---|---|---|
| | 03/28/06 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

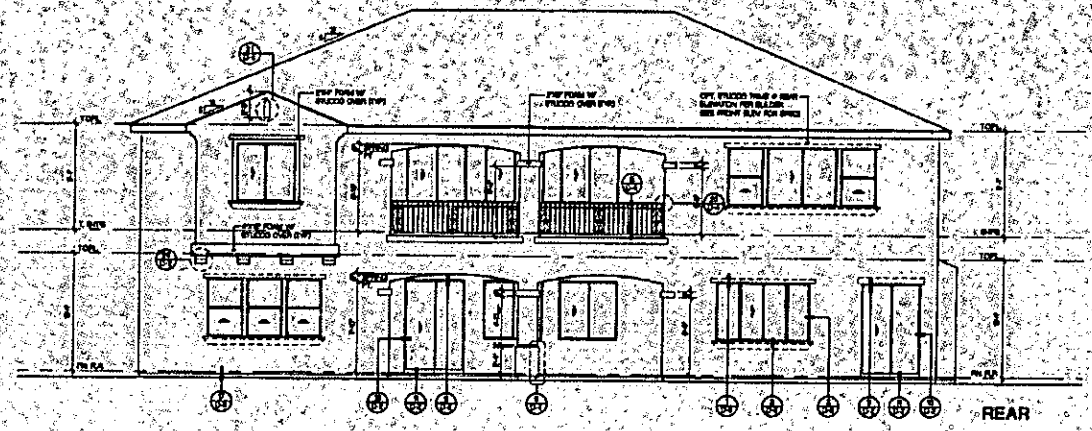
2005-0669

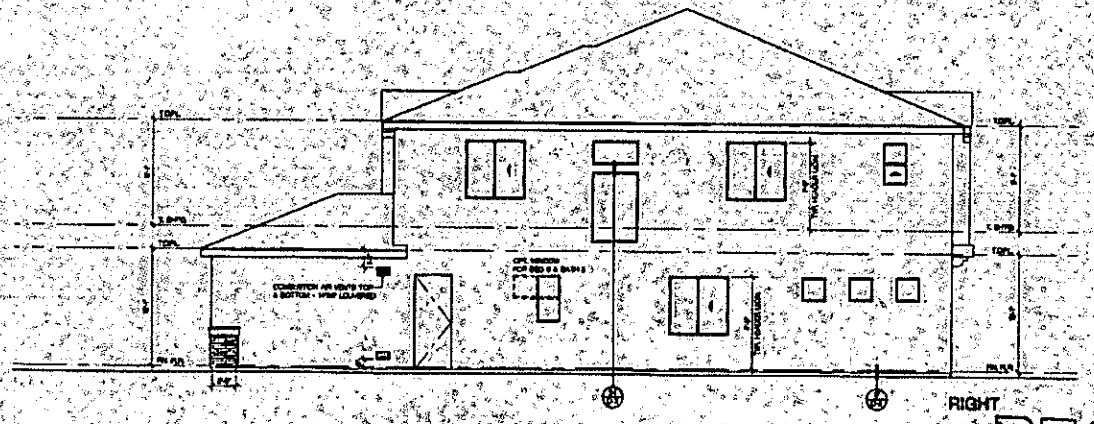
KTOYGROUP, inc.

Licensee Stamp

Principal in Charge: B. SITHAR
Project Director: M. GAPASIN
Project Manager: R. WANG
Project Designer: H. LEE
Drawn By: H.L.
Sheet Title: PLAN & "D" EXTERIOR ELEVATIONS & ROOF PLAN

Sheet No.: A-4.9




EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

No. | Date | Issue / Description

REPLAN CODE UPDATE

Consultants

Project

The Orchards

Spinnaker Homes
4364 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTGYGROUP, inc.

Licensee Stamp

Principal in Charge : D. STUART
Project Director : M. GARTNER
Project Manager : R. WARD

Sheet Title
PLAN 4
'O' EXTERIOR ELEVATIONS

Sheet No.
A-4.9A

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ATTIC VENTILATION (SEC. R806 SECTION SAYS THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

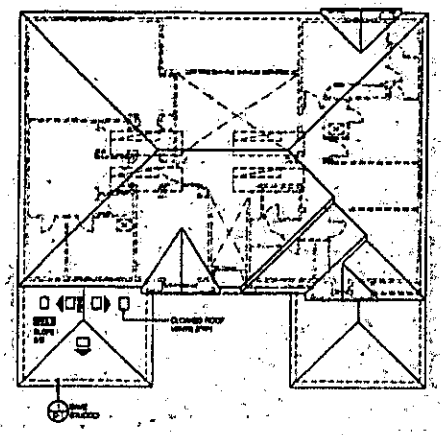
CLOSED VENTS
BY "OHGEW" OR APPROVED EQUAL
SIZE 10x20 = 75 SQ.FT. FREE AREA
FLAT TILE VENTS

REQ'D
ATTIC SQUARE FOOTAGE 2000 SF
MIN. SQ. FT. 1 VENT 1/150 13.33 SF
SQ. IN. 1/150 = 144 SQ. IN. REQUIRED 2000 SQ.

VENTILATION
20 CLOSED FLAT TILE VENTS X 75 SQ. = 1500 SQ. IN.
PROVIDED 1500 SQ.

TOTAL HIGH LOW PROVIDED 1500 SQ.

ATTIC VENTILATION | 3

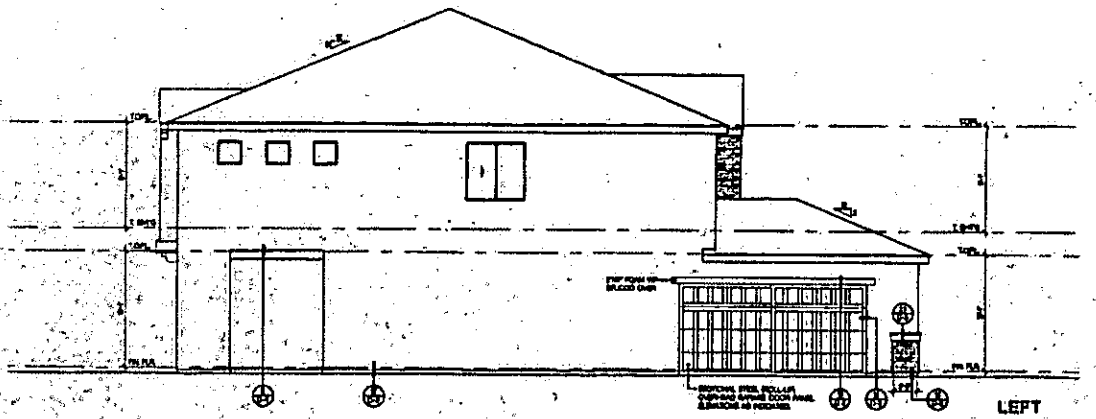



NOTE
3:12 PITCH TAP LOW CONTOUR FLAT TILE BY "SHELF" OR APPROVED EQUAL (SEE 4/A-4.0)

NOTE
PLAN ALL ROOF PENETRATIONS BY PLACING FOR WEATHER, TO REAR OF PLAN (EX. 3) TO NOT BE VISIBLE FROM THE FRONT AS DIRECT PERMITS

NOTE
REFER TO A-4.0 FOR INFORMATION NOT SHOWN

ROOF PLAN | SCALE 1/8"=1'-0" | 2




NOTE
REFER TO A-4.0 FOR INFORMATION NOT SHOWN

EXTERIOR ELEVATIONS | SCALE 1/4"=1'-0" | 1

| No. | Date | Item / Description |
|---|---|---|
| | 02/28/07 | CODE UPDATE |

Consultants

Project:

The Orchards

Spinnaker Homes
4366 W. Cheyenne Avenue
North Las Vegas, NV 89032

2005-0669

KTOYGROUP, inc.

Licensee Stamp

Principal in Charge: B. SITHAN
Project Director: M. GARDNER
Project Manager: R. WANG
Project Designer: H. LEE
Checked By: TED
Sheet Title: PLAN 4 "C OPT. CORNER GARAGE" EXTERIOR ELEVATIONS & ROOF

Sheet No.: A-4.9B

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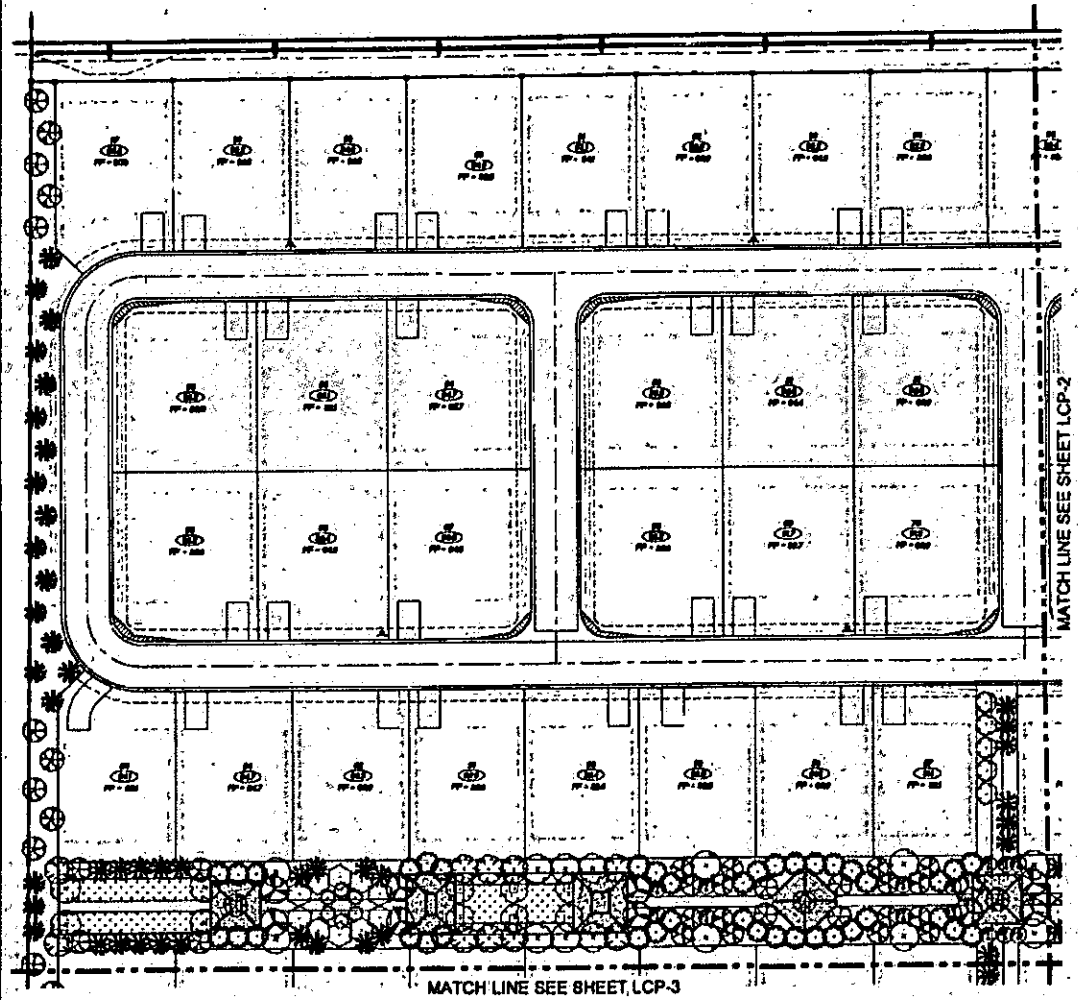
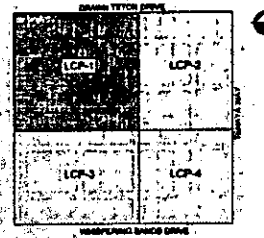


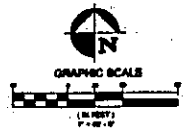

## PLANTING LEGEND:

| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | QTY | COMMENTS |
|---|---|---|---|---|---|
| TREES: | | | | | |
| | ACACIA SALICINA | WILLOW ACACIA | 24" BOX | 11 | FULL TO GROUND |
| | ACACIA STENOPHYLLA | SHOESTRING ACACIA | 24" BOX | 9 | FULL TO GROUND |
| | BRACHYCHITON POPULNEUS | BOTTLE TREE | 24" BOX | 10 | SINGLE LEADER |
| | CHITALPA TASHKENTENSIS 'PINK DAWN' | CHITALPA | 24" BOX | 11 | MULTY TRUNK |
| | OLEA EUROPAEA WILSONII | FRUITLESS OLIVE | 24" BOX | 10 | MULTY TRUNK |
| | PINUS ELDARICA | MONDELL PINE | 24" BOX | 44 | SINGLE LEADER |
| | PISTACIA CHINENSIS | CHINESE PISTACHE | 24" BOX | 10 | STANDARD |
| | PROSOPIS CHILENSIS | CHILEAN MESQUITE | 24" BOX | 23 | STANDARD |
| | PRUNUS CERASIFERA 'THUNDER CLOUD' | PURPLE LEAF PLUM | 24" BOX | 13 | STANDARD |
| | QUERCUS ILEX | HOLLY OAK | 36" BOX | 15 | STANDARD |
| | VITEX AGNUS-CASTUS | CHASTE TREE | 24" BOX | 40 | MULTY TRUNK |

PLANTING NOTES:

1. ALL PLANTING AREAS SHALL BE MULCHED WITH 3" MINIMUM THICKNESS OF 3/4" DECOMPOSED GRANITE. D.G. AND LANDSCAPE BOULDERS IN APACHE BROWN COLOR ARE AVAILABLE AT: KALAMAZOO MATERIALS, INC.; CONTACT BETTY OBRIEN AT (702) 487-9411 OR E-MAIL AT BETTY@KALAMAZOOMATERIALS.COM
2. ROOT BARRIER SHALL BE INSTALLED FOR ANY TREE PLANTED WITHIN 9' OF A SIDEWALK OR ROAD




SPINAKER HOMES
AT THE ORCHARDS UNIT 1
LAS VEGAS, NV.

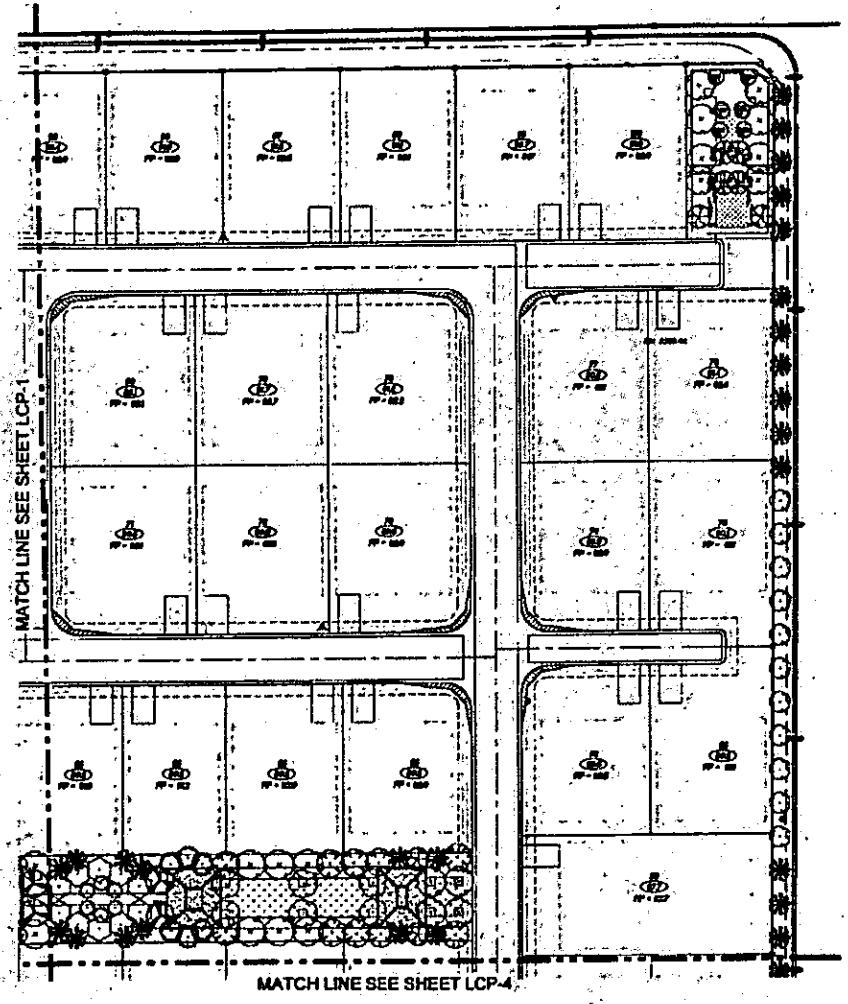
SHEET TITLE
CONCEPTUAL PLANTING PLAN

PROJECT NO.
DRAWN BY: HV
CHECKED BY: DM
SCALE: 1" = 40'-0"
DATE: 01.04.08

LCP-1

RECEIVED
MAR 19 2008

RECEIVED
APR 0 9 2010

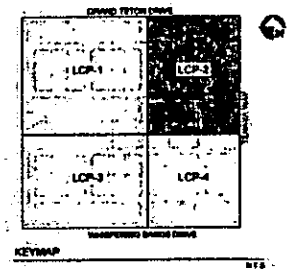



## PLANTING LEGEND:

| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | QTY | COMMENTS |
|---|---|---|---|---|---|
| TREES: | | | | | |
| | ACACIA SALICINA | WILLOW ACACIA | 24" BOX | 17 | FULL TO GROUND |
| | ACACIA STENOPHYLLA | SHOESTRING ACACIA | 24" BOX | 6 | FULL TO GROUND |
| | BRACHYCHITON POPULNEUS | BOTTLE TREE | 24" BOX | 6 | SINGLE LEADER |
| | CHITALPA TASHKENTENSIS 'PINK DAWN' | CHITALPA | 24" BOX | 3 | MULTY TRUNK |
| | OLEA EUROPAEA WILSONII | FRUITLESS OLIVE | 24" BOX | 19 | MULTY TRUNK |
| | PINUS ELDARICA | MONDELL PINE | 24" BOX | 39 | SINGLE LEADER |
| | PISTACIA CHINENSIS | CHINESE PISTACHE | 24" BOX | 10 | STANDARD |
| | PROSOPIS CHILENSIS | CHILEAN MESQUITE | 24" BOX | 6 | STANDARD |
| | PRUNUS CERASIFERA 'THUNDER CLOUD' | PURPLE LEAF PLUM | 24" BOX | 6 | STANDARD |
| | QUERCUS ILEX | HOLLY OAK | 36" BOX | 9 | STANDARD |
| | VITEX AGNUS-CASTUS | CHASTE TREE | 24" BOX | 6 | MULTY TRUNK |

PLANTING NOTES:

1. ALL PLANTING AREAS SHALL BE MULCHED WITH 2" MINIMUM THICKNESS OF 3/8" DECOMPOSED GRANITE. D.G. AND LANDSCAPE BOULDERS IN APACHE BROWN COLOR ARE AVAILABLE AT KALAMAZOO MATERIALS, INC.; CONTACT BETTY O'BRIEN AT (702) 457-5411 OR E-MAIL AT BETTY@KALAMAZOOMATERIALS.COM
7. ROOT BARRIER SHALL BE INSTALLED FOR ANY TREE PLANTED WITHIN 8' OF A SIDEWALK OR ROAD




N

GRAPHIC SCALE

( IN FEET )
1" = 40' - 0"

VBM Partners

Land Planning / Landscape Architecture / Design

SPINAKER HOMES
AT THE ORCHARDS UNIT 1
LAS VEGAS, NV.

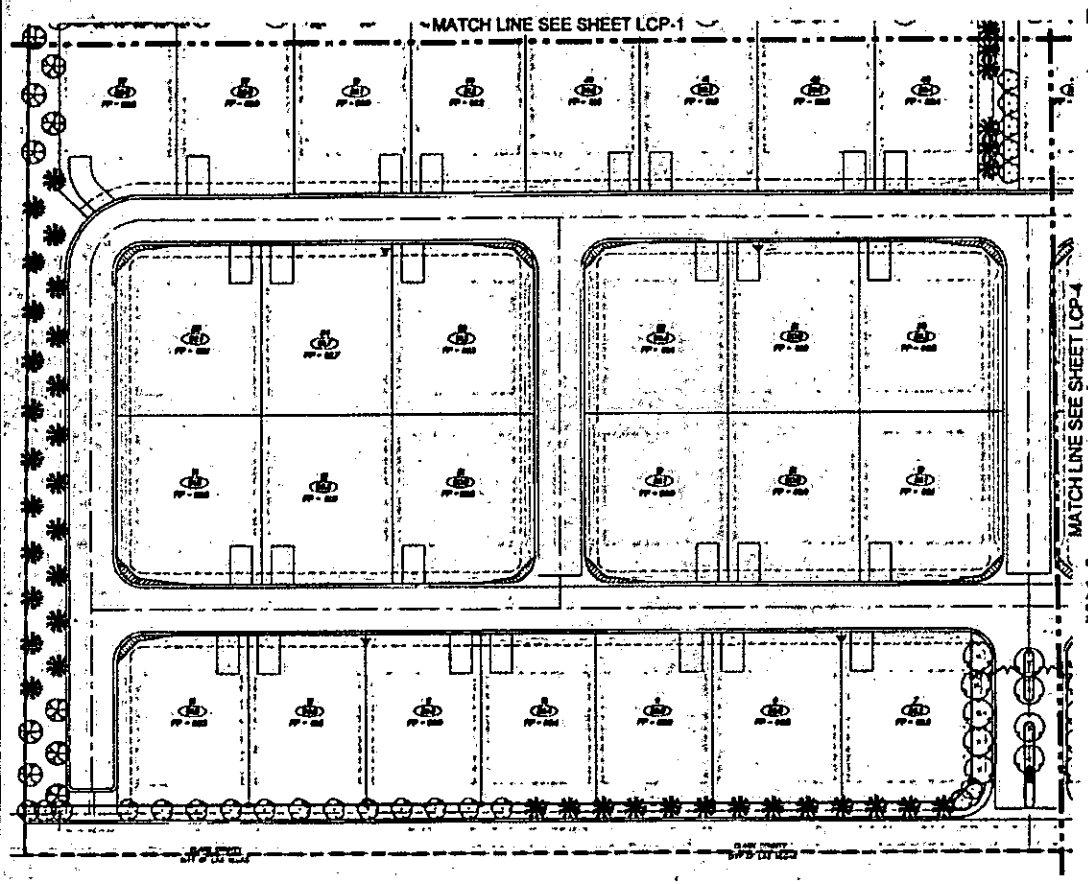
JAMES A. TRUMAN
Registered Landscape Architect
STATE OF NEVADA
Exp. 12-31-09

SHEET TITLE:
CONCEPTUAL PLANTING PLAN

PROJECT NO.: V03 008
DRAWN BY: HV
CHECKED BY: DM
SCALE: 1" = 40'-0"
DATE: 01 04 06

LCP-2

RECEIVED
APR 0 9 2010

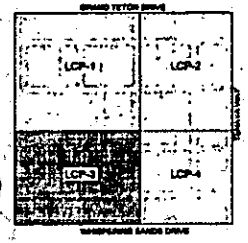



## PLANTING LEGEND:

| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | QTY | COMMENTS |
|---|---|---|---|---|---|
| TREES: | | | | | |
| | ACACIA SALICINA | WILLOW ACACIA | 24" BOX | 22 | FULL TO GROUND |
| | ACACIA STENOPHYLLA | SHOESTRING ACACIA | 24" BOX | 1 | FULL TO GROUND |
| | BRACHYCHITON POPULNEUS | BOTTLE TREE | 24" BOX | 4 | SINGLE LEADER |
| | CHITALPA TASHKENTENSIS 'PINK DAWN' | CHITALPA | 24" BOX | 6 | MULTY TRUNK |
| | OLEA EUROPAEA WILSONII | FRUITLESS OLIVE | 24" BOX | 9 | MULTY TRUNK |
| | PINUS ELDARICA | MONDELL PINE | 24" BOX | 40 | SINGLE LEADER |
| | PISTACIA CHINENSIS | CHINESE PISTACHE | 24" BOX | 6 | STANDARD |
| | PROSOPIS CHILENSIS | CHILEAN MESQUITE | 24" BOX | 9 | STANDARD |
| | PRUNUS CERASIFERA 'THUNDER CLOUD' | PURPLE LEAF PLUM | 24" BOX | 9 | STANDARD |
| | QUERCUS ILEX | HOLLY OAK | 36" BOX | 6 | STANDARD |
| | VITEX AGNUS-CASTUS | CHASTE TREE | 24" BOX | 9 | MULTY TRUNK |

PLANTING NOTES:

1. ALL PLANTING AREAS SHALL BE MULCHED WITH 2" MINIMUM THICKNESS OF 3/8" DECOMPOSED GRANITE; D.G. AND LANDSCAPE BOULDERS IN APACHE BROWN COLOR ARE AVAILABLE AT: KALAMAZOO MATERIALS, INC.; CONTACT BETTY OBRIEN AT (702) 457-8411 OR E-MAIL AT BETTY@KALAMAZOOMATERIALS.COM
2. ROOT BARRIER SHALL BE INSTALLED FOR ANY TREE PLANTED WITHIN 8' OF A SIDEWALK OR ROAD




KEYMAP

N

GRAPHIC SCALE

VBM

SPINAKER HOMES
AT THE ORCHARDS UNIT 1
LAS VEGAS, NV.

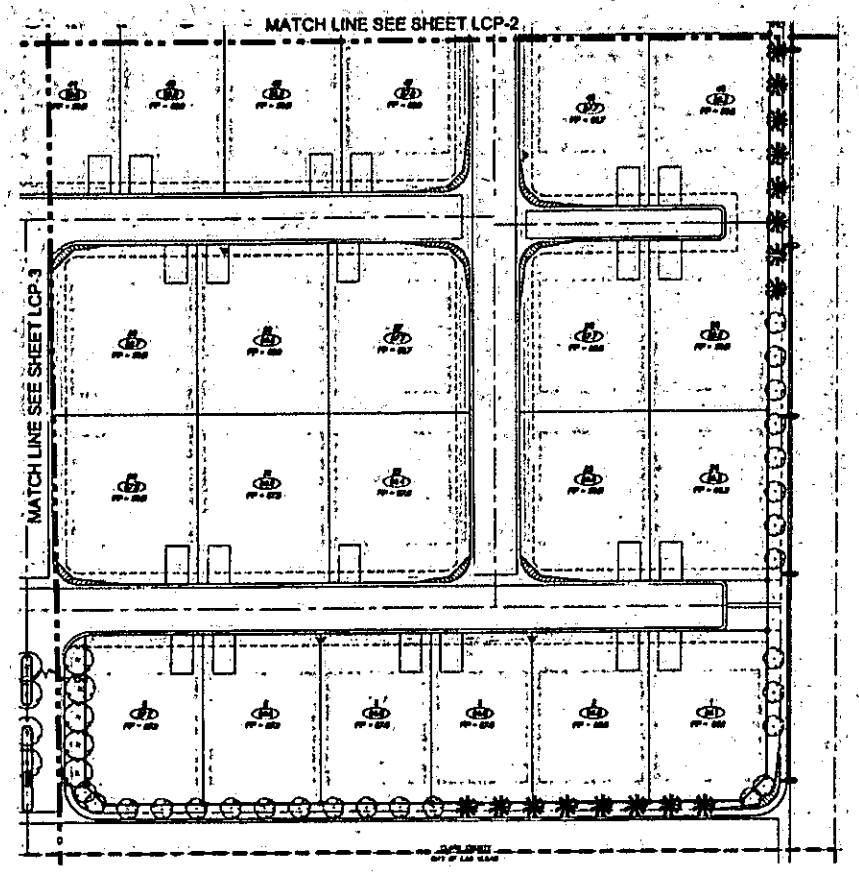
JAMES A. VELTMAN
Registered Professional Engineer
No. 9208
STATE OF NEVADA
Sep. 13 - 91 - 09

SHEET TITLE:
CONCEPTUAL PLANTING PLAN

PROJECT NO.
DRAWN BY: HV
CHECKED BY: DM
SCALE
DATE

LCP-3

RECEIVED
APR 0 9 2010




## PLANTING LEGEND:

| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | QTY | COMMENTS |
|---|---|---|---|---|---|
| TREES: | | | | | |
| | ACACIA SALICINA | WILLOW ACACIA | 24" BOX | 25 | FULL TO GROUND |
| | ACACIA STENOPHYLLA | SHOESTRING ACACIA | 24" BOX | 0 | FULL TO GROUND |
| | BRACHYCHITON POPULNEUS | BOTTLE TREE | 24" BOX | 0 | SINGLE LEADER |
| | CHITALPA TASHKENTENSIS 'PINK DAWN' | CHITALPA | 24" BOX | 0 | MULTY TRUNK |
| | OLEA EUROPAEA WILSONII | FRUITLESS OLIVE | 24" BOX | 6 | MULTY TRUNK |
| | PINUS ELDARICA | MONDELL PINE | 24" BOX | 16 | SINGLE LEADER |
| | PISTACIA CHINENSIS | CHINESE PISTACHE | 24" BOX | 0 | STANDARD |
| | PROSOPIS CHILENSIS | CHILEAN MESQUITE | 24" BOX | 0 | STANDARD |
| | PRUNUS CERASIFERA 'THUNDER CLOUD' | PURPLE LEAF PLUM | 24" BOX | 0 | STANDARD |
| | QUERCUS ILEX | HOLLY OAK | 36" BOX | 5 | STANDARD |
| | VITEX AGNUS-CASTUS | CHASTE TREE | 24" BOX | 0 | MULTY TRUNK |

PLANTING NOTES:

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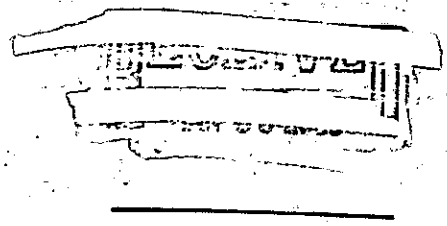
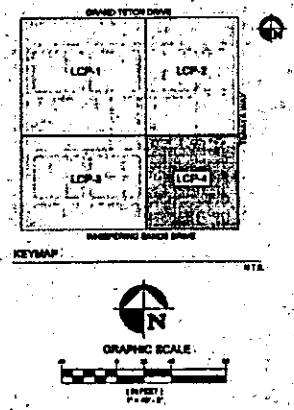
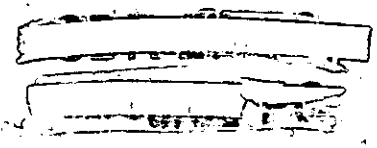




VBM

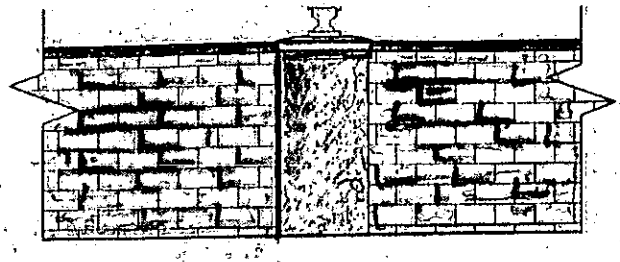
SPINAKER HOMES
AT THE ORCHARDS UNIT 1
LAS VEGAS, NV.

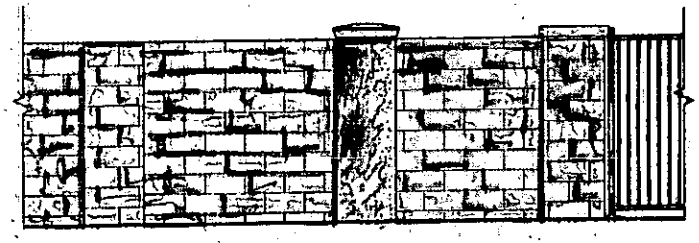
SHEET TITLE
CONCEPTUAL PLANTING PLAN

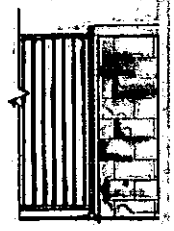
PROJECT NO.
DRAWN BY: HV
CHECKED BY: DM
SCALE
DATE

LCP-4

RECEIVED
APR 0 9 2010







(1) WALL AND PILASTER SECTION

(2) WALL AND PILASTER SECTION

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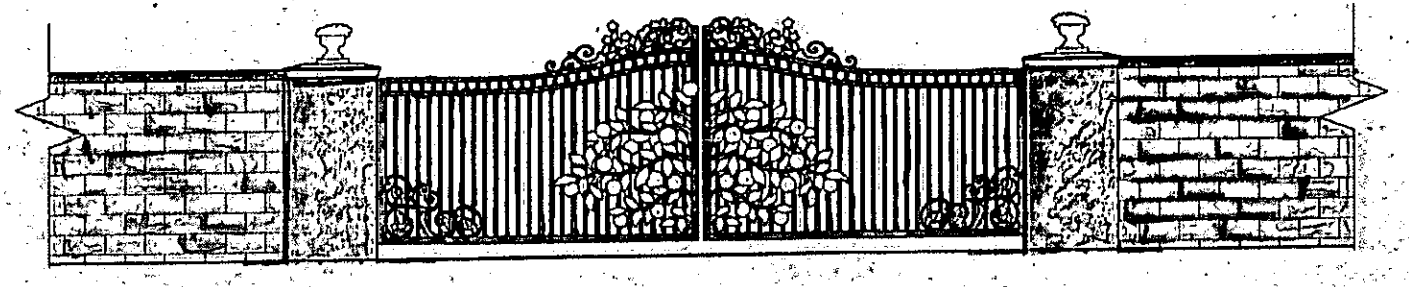

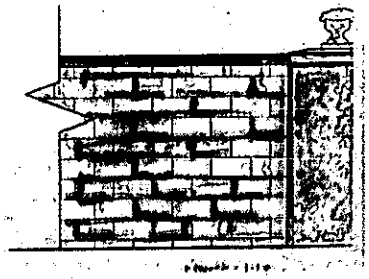

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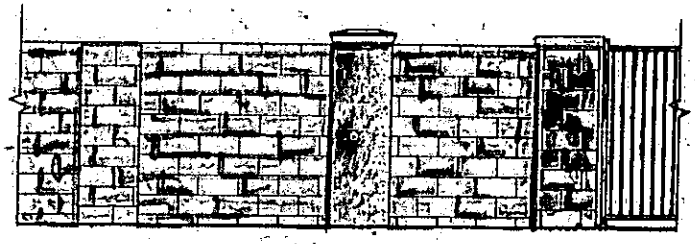

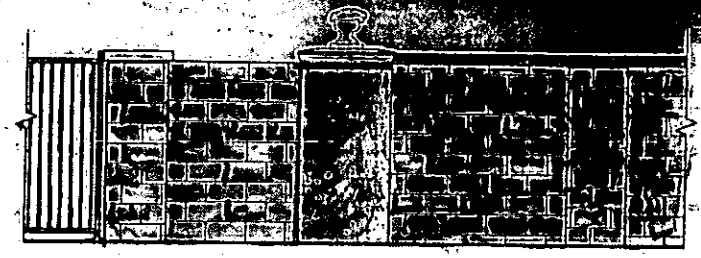

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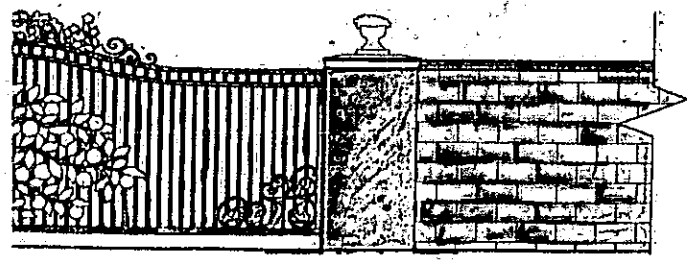

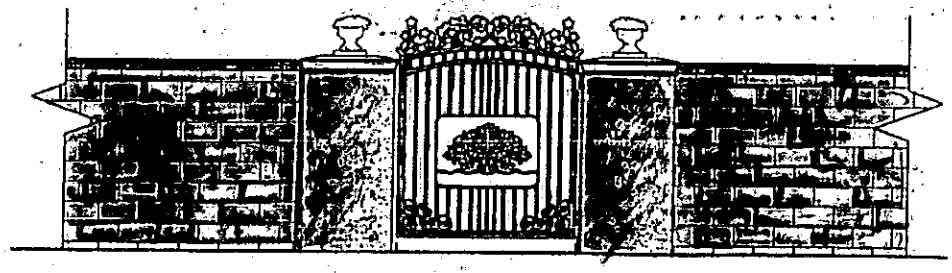

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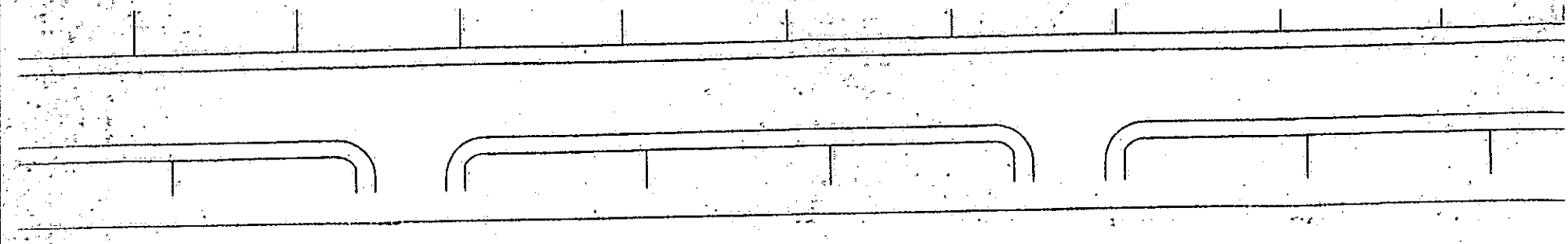
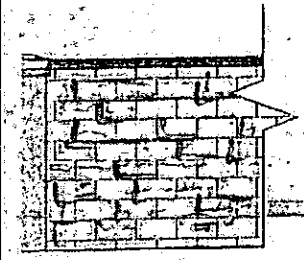
ON (5) SMALL GATE AND PILASTER SECTION





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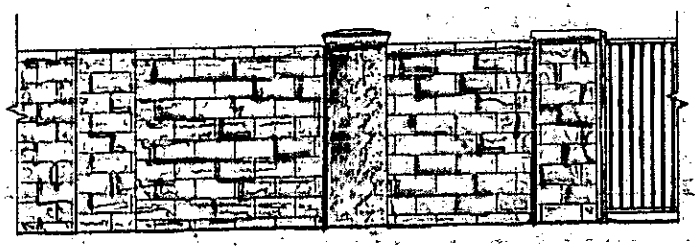

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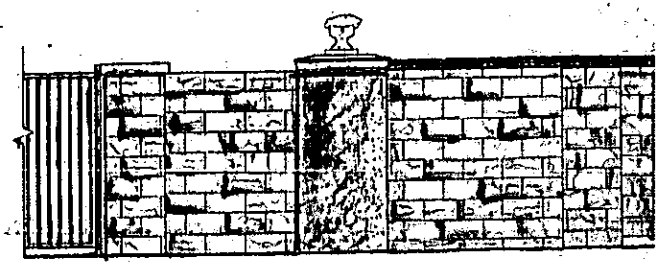

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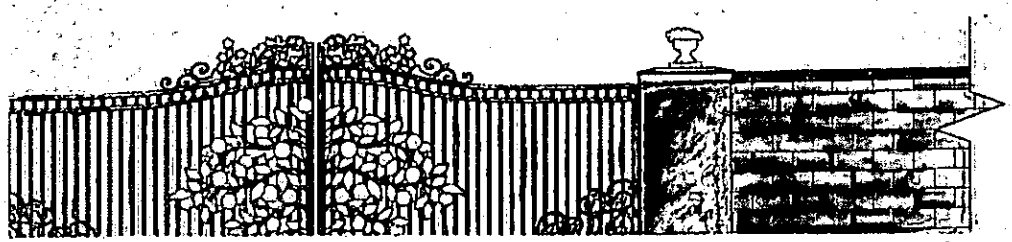

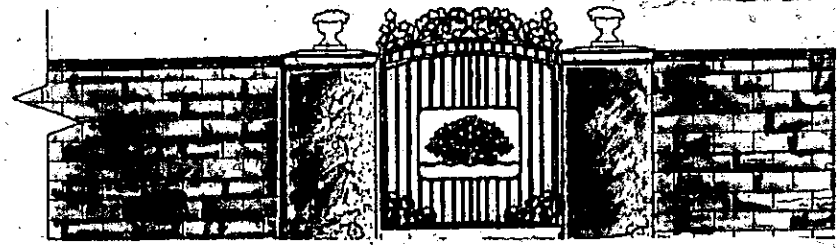

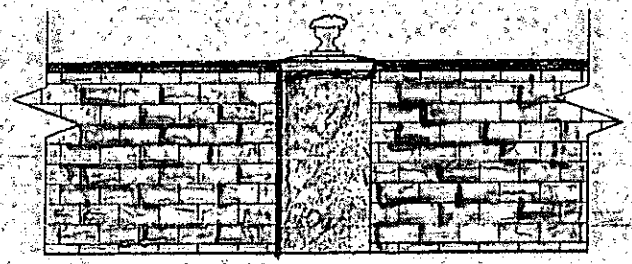

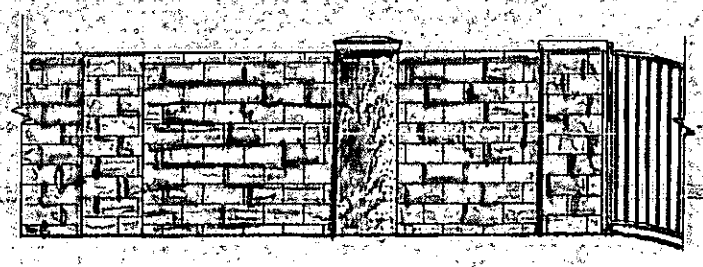

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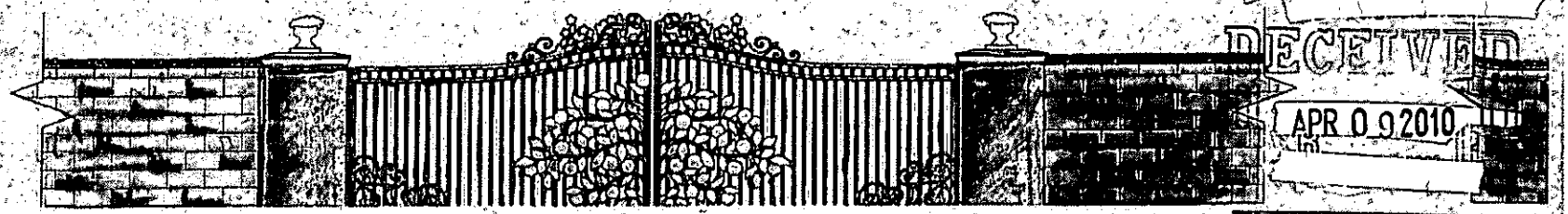

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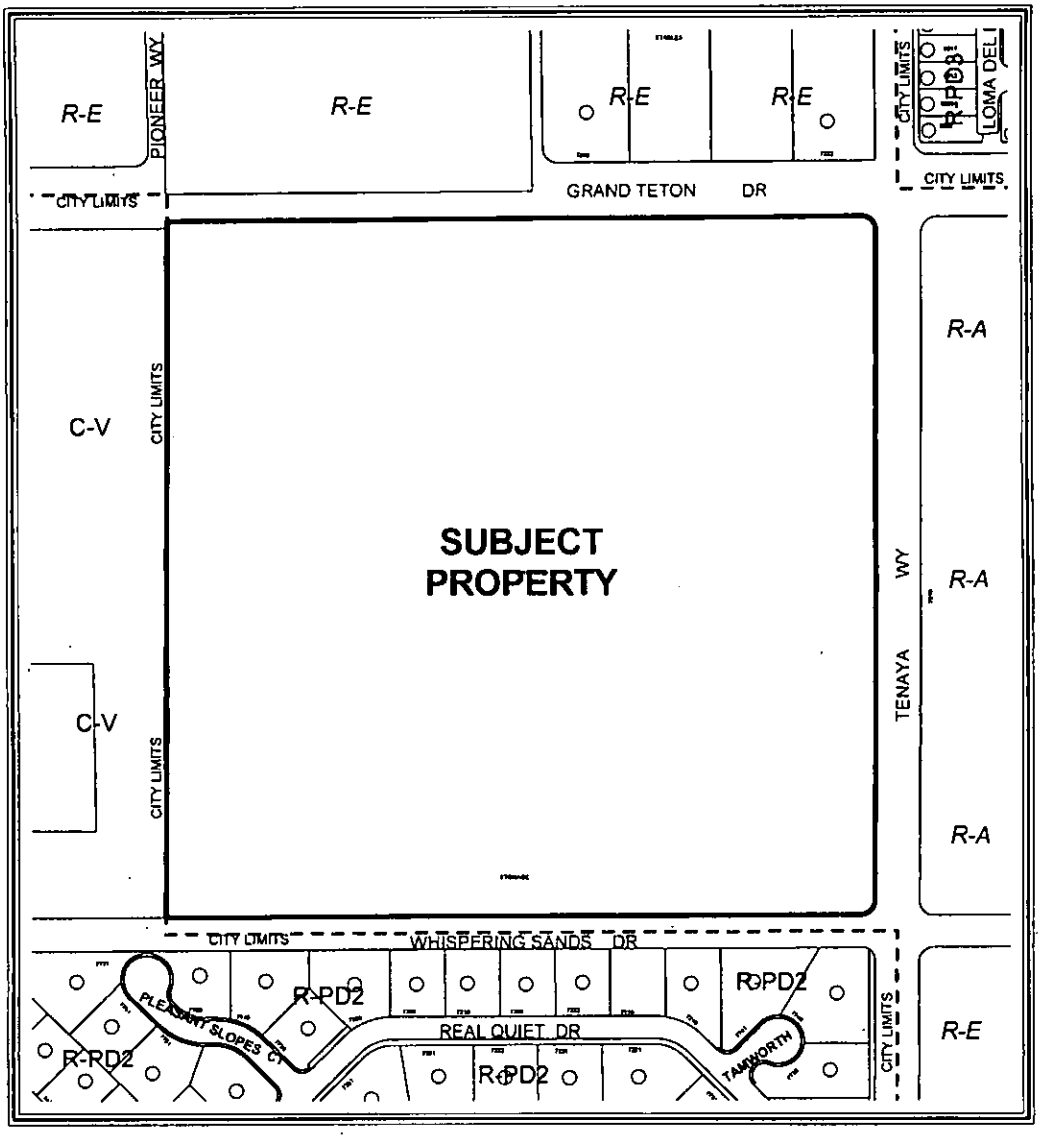


0 300 600 Feet

CASE: **ANX-19110**

N

PLANNING & DEVELOPMENT
CITY OF LAS VEGAS
DEVELOPMENT SERVICES CENTER
731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108
www.lasvegasnevada.gov

*May 28, 2010*

Mr. Ben Young
Spinnaker Home IX, LLC
4511 West Cheyenne Avenue, Suite #105
North Las Vegas, Nevada 89032

***RE: EOT-37908 - SITE DEVELOPMENT REVIEW - EXTENSION OF TIME PLANNING COMMISSION MEETING OF MAY 27, 2010***

Dear Mr. Young:

Your request for an Extension of Time of a previously approved Site Development Plan Review (SDR-27226) for a 100-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH ACCESS ON WHISPERING SANDS DRIVE on 40.16 acres on the southwest corner of Grand Teton Drive and Tenaya Way (APN 125-15-101-003), U (Undeveloped) Zone [DR (Desert Rural Density Residential) General Plan Designation] under Resolution of Intent to R-PD2 (Residential Planned Development - 2 Units Per Acre), Ward 6 (Ross), was considered by the Planning Commission on May 27, 2010.

The Planning Commission voted to ***APPROVE*** your request, subject to the following:

***Planning and Development***

1. This Extension of Time shall expire on 04/10/12, unless another Extension of Time is approved by the Planning Commission.

2. Conformance to all applicable conditions of approval for Site Development Plan Review (SDR-27226) as required by the Planning and Development Department.

This action by the Planning Commission is final. The notice of final action was filed with the City Clerk on ***May 27, 2010***.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Ben Young
Royal Construction
4511 W. Cheyenne Avenue, Suite #105
North Las Vegas, Nevada 89032

Ms. Sonia Macias
TCE
3278 E. Warm Springs Road, Suite #200
Las Vegas, Nevada 89120

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell

# CITY OF LAS VEGAS

## ONE MOTION / ONE VOTE

**Planning and Development Department**
*Case Planning Division*
*731 South Fourth Street*
*Las Vegas, Nevada 89101*
*(702) 229-6301 Phone (702) 385-7268 Fax*

**SUBJECT:** ***EOT-37908 - APPLICANT: ROYAL CONSTRUCTION - OWNER: SPINNAKER HOMES IX, LLC***

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the ***MAY 27, 2010*** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to ***Carman Burney at (702) 385-7268***. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions and return to our office by 5:00PM MAY 26 2010.

Signature

5/25/10
Date

BEN YOUNG
Please Print Name

ROYAL CONST CO.
Company Name

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

PLANNING & DEVELOPMENT
CITY OF LAS VEGAS
DEVELOPMENT SERVICES CENTER
731 S. Fourth Street
Las Vegas, NV 89101
Voice: 702-229-6301
Fax: 702-474-0352
TTY 702-386-9108
www.lasvegasnevada.gov

May 14, 2010

Mr. Ben Young
Spinnaker Home IX, LLC
4511 West Cheyenne Avenue, Suite #105
North Las Vegas, Nevada 89032

***RE: EOT-37908 - SITE DEVELOPMENT REVIEW - EXTENSION OF TIME PLANNING COMMISSION MEETING OF MAY 27, 2010***

Dear Mr. Young:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on *May 27, 2010* as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the ***final agenda*** will available on-line on *Friday, May 21, 2010* at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Ben Young
Royal Construction
4511 West Cheyenne Avenue, Suite #105
North Las Vegas, Nevada 89032

Ms. Sonia Macias
TCE
3278 East Warm Springs Road, Suite #200
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Steve Wolfson
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Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell

City of Las Vegas - Planning and Development Department.

# Development Notification

**PC Meeting: May 27, 2010**

## The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

### EOT-37908

Appaloosa Canyon Quarterhorse Falls HOA

Briar Hill Park HOA

Carriage Park Community Association

Eagle Heights at Elkhorn Springs HOA

Elkhorn Community Association

Hillstone Estates II HOA

Lamplight Estates

Northern Lights at Elkhorn Springs HOA

Paloma HOA

Preserves at Elkhorn Springs HOA

San Marino Circle HOA

Shenandoah HOA

Silverstone Ranch Community Association

Stone Mountain HOA

The Meadows At Elkhorn Springs HOA

Tolberts Mill HOA

Toscana-Wyeth Ranch Land Maintenance Association

Tule Springs Community NCG

Wyeth Ranch Community HOA

# Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

**To:** Department of Planning and Development
**From:** Bart Anderson, Manager, Development Coordination, Department of Public Works BA
**CC:** Nancy Almanzan, Right-of-Way; Wayne Dowdey, Land Development; O. G. White, Traffic Engineering; Alan Riekki, Survey (FM, PM, & A's only)
**Date:** May 3, 2010
Re: **EOT-37908** Royal Construction SWC Grand Teton Dr. & Tenaya Way
Request for an Extension of Time of an approved Site Development Plan Review (SDR-27226)

## COMMENTS:

We have no comment on the Request for an Extension of Time application of a previously approved Site Development Plan Review for a 100-lot single family residential development with access on Whispering Sands Drive on property located on the southwest corner of Grand Teton Drive and Tenaya Way as long as all previously imposed conditions of approval for SDR-27226 and all other subsequent site-related actions are ultimately complied with.

# Department of Comprehensive Planning
## Current Planning Division

500 S Grand Central Pky • PO Box 551744 • Las Vegas NV 89155-1744
(702) 455-4314 • Fax (702) 455-3271

Barbara Ginoulias, Director


February 1, 2007

City of Las Vegas
Attn: Planning & Development
731 S. Fourth Street
Las Vegas, NV 89101

ZL ZL-0042-07
APN: 125-15-101-003

To Whom It May Concern:

This property is under Resolution of Intent (ZC-0681-05) to be reclassified from the R-A (Residential Agricultural) zoning district to the R-E (Rural Estates Residential) zoning district. The Resolution of Intent will expire on September 7, 2008 if all of the conditions of approval and the proposed construction are not complete. An extension of time must be filed with the Current Planning Division prior to the above date or the zoning will expire. If at least 50% of the total building area as shown on the plans for the zone change along with the related on-site parking and access, as well as one hundred percent (100%) of the required landscaping adjacent to the development, the required buffer walls, and physical construction of off-site improvements, this project might meet the requirement for completion. The issuance of a certificate of occupancy for the proposed building(s), recording of a subdivision map, or issuance of a business license usually indicates that all of Clark County's requirements have been met and an extension of time would not be required. In the meantime, we will continue to treat the property as being in the R-E zoning district for purpose of issuing building permits and business licenses.

Enclosed are copies of the land use applications approved (submitted) for this property.

The complete zoning code is available on-line. You can view the Clark County web site at www.accessclarkcounty.com. You can find the Comprehensive Planning Department under the "County Services" category. From there find "Title 30: Development Code", which is the zoning code, separated by chapter. Chapter 30.44 lists each use and identifies the zoning districts in which it is permitted, along with any related conditions. Alternatively, Appendix F lists all of the permitted uses within each zoning district. Specific development standards per the zoning district can be found in Chapter 30.40, which must be used in conjunction with general development standards found in Chapter 30.56. Parking standards are located in Chapter 30.60 and landscaping and screening standards can be found in Chapter 30.64. If you are unable to access this information via the internet, please call our office for assistance.

If we can be of further assistance to you on this matter, please do not hesitate to contact our office.

Sincerely,

James Grdss

JAMES E. GRDSS
Planner

JEG:jam


BOARD OF COUNTY COMMISSIONERS
RORY REID, Chairman • MYRNA WILLIAMS, Vice Chair
TOM COLLINS • YVONNE ATKINSON GATES • CHIP MAXFIELD • LYNETTE BOGGS McDONALD • BRUCE L. WOODBURY
THOM REILLY, County Manager

03/09/06 PC AGENDA SHEET

WALL HEIGHT
(TITLE 30)

TENAYA WY/GRAND TETON DR

PUBLIC HEARING
APP. NUMBER/OWNER/DESCRIPTION OF REQUEST
**WS-0103-06 – SPINNAKER HOMES IX, LLC:**

**WAIVER OF DEVELOPMENT STANDARDS** to increase wall height in conjunction with an approved single family residential planned unit development on 40.0 acres in an R-E (Rural Estates Residential) Zone.

Generally located on the southwest corner of Tenaya Way and Grand Teton Drive within Lone Mountain. CM/jg/ka

---

RELATED INFORMATION:

**APN:**
125-15-101-003

**WAIVER OF DEVELOPMENT STANDARDS:**
Increase the height of a perimeter wall in conjunction with a retaining wall to a maximum 13 feet and 8 inches where a maximum of 12 feet (6 foot screen, 6 foot retaining) is allowed.

**MASTER PLAN/LAND USE GUIDE:**
LONE MOUNTAIN/CENTENNIAL HILLS - UP TO RURAL ESTATES (UP TO 2.5 DU/AC)

**BACKGROUND:**
**Project Description**
The plans show a gated, 100 single family residential lot planned unit development on 40 acres. The typical lot detail depicts an average lot size of 10,625 square feet. Shown along the western property boundary is a 6 foot high, CMU block wall with a maximum 7.8 feet of retaining wall. The retaining wall maximum height will vary along the western boundary from 2 feet to 7.8 feet, which will result in a total perimeter wall height varying from 8 feet to 13.8 feet. In addition, 14 interior lots are shown with a 6 foot high, CMU block wall with a maximum 3.5 feet of retaining wall. The applicant requests the increased retaining wall height because of the topographic site conditions and large lot sizes. The applicant also states that the 14 lots that will require 3.5 feet of retaining walls are corner lots having a pad grade higher than the adjacent street.

**Prior Land Use Requests**
NZC-0681-05 was approved by the Board of County Commissioners on September 7, 2005 to establish R-E zoning on the site and also a maximum of 100 lots. TM-0565-05 was approved by the Planning Commission on November 3, 2005 for 100 lots and 15 common elements.

**Surrounding Zoning and Land Use**
The site falls within a County island and is surrounded on two sides by land within the City of Las Vegas. To the north are developed and undeveloped R-E zoned properties, and to the east is an R-A zoned parcel owned by the Gilcrease Orchard Foundation. To the south of the site is an existing subdivision within the City of Las Vegas, and directly adjacent to the west is a high school within the City of Las Vegas.

**STANDARDS FOR APPROVAL:**
The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

**Aaalysis**
**Curreat Planning**
The portion of the perimeter wall affected by this request is directly adjacent to the existing high school. Staff finds that the increased height af the wall will not have a negative impact on this adjacent development. Staff also finds that the increased retaining wall height for the 14 lots will not have a negative impact an the adjacent property.

**Staff Recommendation**
Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Plan, Title 30, and/or the Nevada Revised Statutes.

**PRELIMINARY STAFF CONDITIONS:**

**Current Planning**
- All applicable standard conditions for this application type.
- Applicant is advised that any change in circumstances or regulations may be justification for the denial of an extension of time; and that this application must eammence within 2 years of approval date or it will expire.

**Civil Engineering**
- No comment.

**TAB/CAC:**
**APPROVALS:**
**PROTESTS:**

**APPLICANT:** Spinnaker Homes IX, LLC
**CONTACT:** Kelly Meyer, Thomason Consulting Engineers, 3277 E. Warm Springs Road, Suite 400, Las Vegas, NV 89120

# Department of Comprehensive Planning
## Land Use Planning

500 S Grand Central Pky • PO Box 551744 • Las Vegas NV 89155-1744
(702) 455-4314 • Fax (702) 455-3271
Barbara Ginoulias, Director


**NOTICE OF FINAL ACTION**

March 17, 2006

KELLY MEYER
3277 EAST WARM SPRINGS ROAD
SUITE 400
LAS VEGAS, NV 89120

REFERENCE: W5-0103-06

On the date indicated above, a Notice of Final Action was filed with the Clark County Clerk, Commission Division, pursuant to NRS 278.0235 and marking the commencement of the twenty-five (25) day limitation period specified wherein.

The above referenced application was presented before the Clark County Planning Commissioners at their regular meeting of March 9, 2006 and was **APPROVED** subject to the conditions listed below and/or on the attached sheet. You will be required to comply with all conditions prior to the issuance of a building permit or a business license whichever occurs first.

Time limits to commence, complete or review this approval apply only to this specific application. A property may have several approved applications on it, each will have its own expiration date. It is the applicant's responsibility to keep each application current.

**CONDITIONS:**

**Current Planning**

- **All applicable standard conditions for this application type.**
- **Applicant is advised that any change in circumstances or regulations may be justification for the denial of an extension of time; and that this application must commence within 2 years of approval date or it will expire.**


BOARD OF COUNTY COMMISSIONERS
ROSY REID, Chairman • MYRNA WILLIAMS, Vice Chair
TOM COLLINS • YVONNE ATKINSON GATES • CHIP MAXFIELD • LYNETTE BOGGS McDONALD • BRUCE L. WOODBURY
THOM RIELLY, County Manager

11/03/05 PC AGENDA SHEET AS

SPINNAKER HOMES AT THE ORCHARDS (TITLE 30) GRAND TETON DR/TENAYA WY

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST
**TM-0565-05 - GILCREASE ORCHARD FOUNDATION:**

**TENTATIVE MAP** for a subdivision consisting of 100 single family residential lots and 15 common elements on 40.0 acres in an R-E (Rural Estates Residential) Zone.

Generally located on the south side of Grand Teton Drive and the west side of Tenaya Way within Lone Mountain. CM/mk/ch

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RELATED INFORMATION:

**APN:**
125-15-101-003

**MASTER PLAN/LAND USE GUIDE:**
LONE MOUNTAIN/CENTENNIAL HILLS - UP TO RURAL ESTATES (UP TO 2.5 DU/AC)

**BACKGROUND:**
**Project Description**
The plans show a gated, single family residential planned unit development consisting of 100 lots on 40 acres for an overall density of 2.5 dwelling units per gross acre. The lot sizes range from approximately 9,200 square feet to 11,600 square feet. The site plan also shows approximately 10.8 acres of overall open space and 7.7 acres of private useable open space In addition, the map provides a 6 foot wide landscape area along Whispering Sands Drive, a 10 foot wide landscape area along Tenaya Way, and a 20 foot wide landscape area along Grand Teton Drive. The 20 foot wide area along Grand Teton Drive includes a 10 foot wide non-equestrian, multi-use trail that is consistent with the trail alignment that is provided by the high school to the west. This map is consistent and meets the conditions of approval of NZC-0681-05.

**Prior Land Use Requests**
NZC-0681-05 was approved by the Board of County Commissioners on September 7, 2005 to allow the planned unit development in an R-E zone. Application was reduced from its original request of R-D zoning to R-E zoning.

**Surrounding Zoning and Land Use**
The project site is located within a County island that is surrounded on several sides by the City of Las Vegas. To the north is a mixture of developed and undeveloped R-E zoned properties. To the northeast is an existing development within the City of Las Vegas at an approximate density of 3 dwelling units per acre. To the east are additional properties owned by the Gilcrease Orchard Foundation, used for agricultural purposes, zoned R-A. To the southeast is a mixture of

developed and undeveloped R-E zoned properties. To the south is an existing residential development within the City of Las Vegas. Directly to the west is an existing high school. The planned land use to the east, southeast, and south is zoned R-E.

**STANDARDS FOR APPROVAL:**
The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

**Analysis**
**Current Planning**
This request meets the tentative map requirements as outlined in Title 30.

**Staff Recommendation**
Approval.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Plan, Title 30, and/or the Nevada Revised Statutes.

**PRELIMINARY STAFF CONDITIONS:**

**Current Planning**
Subject to all applicable standard conditions for this application type. Applicant is advised that any change in circumstances or regulations may be justification for the denial of an extension of time; and that a final map for all, or a portion, of the property included under this application must be recorded within 2 years or it will expire.

**Civil Engineering**
Compliance with NZC-0681-05.

**Building Division – Addressing**
Whispering Sands needs the suffix of Drive; Almond Grove Avenue needs an approved suffix; Peaches Avenue, Plumb Avenue, Cherries Avenue, and Peppers Street all need approved street names. /jj

**TAB/CAC:**
**APPROVALS:**
**PROTESTS:**

**APPLICANT:** Royal Construction Company
**CONTACT:** RS Consulting, Russell Skuse, 7525 Hickam Avenue, Las Vegas, NV 89129

# Department of Comprehensive Planning
## Current Planning Division

500 S Grand Central Pky • PO Box 551744 • Las Vegas NV 89155-1744
(702) 455-4314 • Fax (702) 455-3271

Barbara Ginoulas, Director


**NOTICE OF FINAL ACTION**

November 14, 2005

RS CONSULTING, RUSSELL J SKUSE
7525 HICKAM AVE
LAS VEGAS, NV 89129

REFERENCE: TM-0565-05

On the date indicated above, a Notice of Final Action was filed with the Clark County Clerk, Commission Division, pursuant to NRS 278.0235 and marking the commencement of the twenty-five (25) day limitation period specified wherein.

The above referenced application was presented before the Clark County Planning Commissioners at their regular meeting of November 3, 2005 and was **APPROVED** subject to the conditions listed below and/or on the attached sheet. You will be required to comply with all conditions prior to the issuance of a building permit or a business license whichever occurs first.

Time limits to commence, complete or review this approval apply only to this specific application. A property may have several approved applications on it, each will have its own expiration date. It is the applicant's responsibility to keep each application current.

**CONDITIONS: Subject to compliance with NZC-0681-05; Whispering Sands needs the suffix of Drive; Almond Grove Avenue needs an approved suffix; Peaches Avenue, Plumb Avenue, Cherries Avenue, and Peppers Street all need approved street names; and all applicable standard conditions for this application type. Applicant is advised that any change in circumstances or regulations may be justification for the denial of an extension of time; and that a final map for all, or a portion, of the property included under this application must be recorded within 2 years or it will expire.**


BOARD OF COUNTY COMMISSIONERS
RORY REID, Chairman • MYRNA WILLIAMS, Vice Chair
TOM COLLINS • YVONNE ATKINSON GATES • CHIP MAXFIELD • LYNETTE BOGGS McDONALD • BRUCE L. WOODBURY
THOM REILLY, County Manager

09/07/05 BCC AGENDA SHEET

RESIDENTIAL DEVELOPMENT (TITLE 30) — GRAND TETON DR/TENAYA WY

PUBLIC HEARING

APP. NUMBER/OWNER/DESCRIPTION OF REQUEST

**NZC-0681-05 – GILCREASE ORCHARD FOUNDATION:**

**ZONE CHANGE** to reclassify 40.0 acres from R-A (Residential Agricultural) Zone to R-D (Suburban Estates Residential) Zone for a single family residential development.
**USE PERMIT** for a single family residential planned unit development.

Generally located on the south side of Grand Teton Drive and the west side of Tenaya Way within Lone Mountain (description on file). CM/dg/ch

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RELATED INFORMATION:

**APN:**
125-15-101-003

**MASTER PLAN/LAND USE GUIDE:**
LONE MOUNTAIN/CENTENNIAL HILLS - UP TO RURAL ESTATES (UP TO 2.5 DU/AC)

**BACKGROUND:**
**Neighborhood Meeting Overview**
The applicant conducted a neighborhood meeting as required by the non-conforming zone boundary amendment process. There were approximately 18 attendees, including the applicant and their representatives. The comments and concerns expressed by those in attendance are summarized as follows: 1) preservation of the integrity of the Gilcrease Orchard; 2) proposed density should not be more than 2.0 to 2.5 dwelling units per acre; and 3) consideration given to an entrance from Grand Teton Drive. The applicant has met all provisions of Title 30 regarding pre-submittal and submittal of a non-conforming zone boundary amendment.

**Project Description**
The plans depict a gated, single family residential planned unit development consisting of 120 lots on 40 acres for an overall density of 3.0 dwelling units per acre. The typical lot size is approximately 8,000 square feet. The site plan depicts approximately 11.4 acres of overall open space and 7.7 acres of useable open space, which well exceeds the open space requirements for a planned unit development. There will be one access to the development from Tenaya Way. The development plan will provide a 6 foot wide landscape area along Whispering Sands Drive, 10 foot wide landscape area along Tenaya Way, and a 20 foot wide landscape area along Grand Teton Drive. The 20 foot wide area along Grand Teton Drive includes a 10 foot wide non-equestrian, multi-use trail that is consistent with the trail alignment that is provided by the high school to the west. The site plan has incorporated appropriate transitional considerations for the site along the west property line, adjacent to the existing high school.

Through the planned unit development, the applicant is requesting the following provisions:

1. Setbacks: 20 feet front; 5 feet and 15 feet for side and side street setbacks, respectively; and 15 feet for rear setbacks; and
2. Private Streets: 42 foot wide with 5 foot sidewalk on one side.

**Surrounding Zoning and Land Use**

The project site is located within a County island that is surrounded on several sides by the City of Las Vegas. To the north is a mixture of developed and undeveloped R-E zoned properties. To the northeast is an existing development within the City of Las Vegas at an approximate density of 3 dwelling units per acre. To the east are additional properties owned by the Gilerease Orchard Foundation, used for agricultural purposes, and zoned R-A. To the southeast is a mixture of developed and undeveloped R-E zoned properties. To the south is an existing residential development within the City of Las Vegas at an approximate density of 2 dwelling units per acre. Directly to the west is an existing high school. The planned land use to the east, southeast, and south is Rural Estates for a maximum density of up to 2.5 dwelling units per acre.

**STANDARDS FOR APPROVAL:**

The applicant shall demonstrate that the proposed request meets the goals and purposes of Title 30.

**Analysis**

**Current Planning**

A Compelling Justification means the satisfaction of the following criteria as listed below for proposed nonconforming zone boundary amendments:

1. *A change in law, policies, trends, or facts after the adoptian af the land use plan that have substantially changed the character or condition of the area, or the circumstances surrounding the property, which makes the proposed nonconforming zone boundary amendment appropriate.*

Staff finds there have been no changes or recent trends or specific circumstances regarding this property, subsequent to the adoption of the land use plan, that make this amendment either appropriate or justified. The high school and residential densities located within the City of Las Vegas were either, existing, planned, or anticipated in the adoption of the land use plan. Notwithstanding the recognition of the intrinsic historical and educational value of this particular property, the Lone Mountain Land Use Plan, with corresponding public outreach and input process, anticipated the compatibility, peripheral relationship, and transitional considerations of the respective land uses and planned this property for a maximum density of 2.5 dwelling units per acre.

2. *The density and intensity of the uses allowed by the nonconforming zoning is compatible with the existing and planned land uses in the surrounding area.*

The compatibility, interaction, and peripheral relationship of the various planned uses were considered, and subsequently adopted with a sensible and appropriate land use pattern. Based on the adopted land use map, this specific area was not planned with a category that would permit a

density of 3.0 to 3.5 dwelliog units per acre; therefore, this request is not compatible with the surrounding area.

3. *There will not be a substantial adverse effect on public facilities and services, such as roads, access, schools, parks, fire and police facilities, ond stormwater and drainage facilities, as a result of the uses allowed by the nonconforming zaning.*

Based on the information submitted by the applicant and comments received from service providers, this project will have no substantial impact on public services and facilities. The net difference in impacts on public services and facilities between this request and a conforming request is negligible.

4. *The proposed nonconforming zoning conforms to other applicable adopted plans, goals, and policies.*

This request is neither compliant nor consistent with policy directives in the land use plan, interlocal agreement, provisions set forth in Title 30, and the purpose of the Clark County Comprehensive Plan.

The Lone Mountain Land Use Plan was adopted by resolution in January 2003. The resolution of adoption clearly states in part, "Requests for specific zone reclassifications are subject to the discretion of the...Board of County Commissioners within the general guidance contained withia the Plan, coupled with consideration to the health, safety..., the character of the area Lone Mountain/Centennial Hill's suitability for particular uses..., and recognition of the value of particular buildings, tand uses, and property. Specific considerations concerning densities and land use intensity in the provided range are additionally impacted by these same concerns and are guided by the goal of buffering adjacent different land uses." The latter portion of the aforementioned language is very similar to language contained within NRS 278.250. The plan also contains a broad development policy regarding non-conforming zone boundary amendments in County islands. The land use plan clearly gives policy direction by stating that the County should not approve non-conforming zoning applications on unincorporated County island parcels without obtaining a recommendation of approval from the City of Las Vegas. The Interlocal Agreement between the City of Las Vegas and Clark County has similar language regarding non-cnnforming zone boundary requests. As of the writing of this report, no recommendation from the City has been forthcoming.

Title 30 and the Comprehensive Plan ctearly state that developments should reflect the applicable land use classification and intensity of use specified in the land use map and in the general description nf the land use category. Therefore, the applicant has not satisfied this element of compelling justification.

5. *The praposed nonconforming zoning does not establish an undesirable precedent.*

The Lone Mountain/Centennial Hills Land Use Plan is a recently adopted master plan for the area. As such, non-conforming zone boundary requests were precluded from consideration for two years after adoption by the Board of County Commissioners. The two year restriction on non-conforming requests ended in January 2005. This is the first such request within this

planning area and approval may provide the impetus for submission of additional zoning reclassification requests for parcels that are inconsistent with the land use map, interlocal agreement, land use policies, Title 30, and the Comprehensive Plan.

**Summary**
The Lone Mountain/Centennial Hills Land Use Plan was a coordinated land use effort by Clark County and the City af Las Vegas and was intended to create better consistency and conformity between land uses in different political jurisdictions. Extensive public participation was used in the development of the land use plan. One of the more important purposes was to avoid jurisdictional disputes and maintain collaborative and compatible strategies for growth. Through involvement of all the interested stakeholders a diverse range of input and feedback assisted in developing a community derived land use pattern. The appropriateness of the spatial distribution of uses was based on a number of factors, which included, but was not limited to, contiguous, existing land use densities, applicable land use policies, and other mutually acceptable growth strategies (Interlocal Agreement.) While it is clearly understood that a land use plan is inherently policy driven and therefore is dynamic, there have been no changes in the area, that were not already anticipated by the plan, that make this request justified.

Therefore, staff finds the following: 1) the applicant has not satisfied the criteria for compelling justification necessary to justify the appropriateness of the request; 2) the request is inconsistent with Title 30 and the Interlocal Agreement between the City of Las Vegas and Clark County; 3) the request is not in conformance with the land use category, applicable goals, and policies of the Comprehensive Plan, inclusive of adopted policy regarding growth strategies for County islands; and 4) the applicant has not established that the use permit is in harmony with the purposes, goals, objectives, and standards of the Comprehensive Plan and Title 30.

**Staff Recommendation**
Denial.

If this request is approved, the Board and/or Commission finds that the application is consistent with the standards and purpose enumerated in the Comprehensive Plan, Title 30, and/or the Nevada Revised Statutes.

**TAB/CAC:** Lone Mountain Citizens Advisory Cnuncil – approval of the zone change subject to a reduction to R-E zoning; and denial of the use permit.
**APPROVALS:** None
**PROTESTS:** Petition with 1,924 signatures, 19 cards, and 39 emails in opposition

**PLANNING COMMISSION ACTION:** August 4, 2005 - APPROVED - Subject to drainage and traffic studies and compliance; project may qualify for an exception to the traffic analysis with Civil Engineering approval; City of Las Vegas approval of the drainage and traffic studies; coordinating any additional right-of-way dedication for Grand Teton Drive with the City of Las Vegas; if sidewalk is detached, dedicate right-of-way and grant easements in accordance with detached sidewalk requirements; constructing full off-site improvements; call-box to be set back a minimum of 100 feet; and all applicable standard conditions for this application type. Applicant is advised that any change in circumstances or regulations may be justification for the

denial of an extension of time; and that this application must be completed within 3 years of approval date or it will expire. Vote: Unanimous

**APPLICANT:** Royal Construction Company
**CONTACT:** RS Consulting, Russell Skuse, 7525 Hickam Avenue, Las Vegas, NV 89129

# Department of Comprehensive Planning
## Current Planning Division

500 S Grand Central Pky • PO Box 551744 • Las Vegas NV 89155-1744
(702) 455-4314 • Fax (702) 455-3271

Barbara Ginoulas, Director


**NOTICE OF FINAL ACTION**

September 15, 2005

RS CONSULTING
RUSSELL SKUSE
7525 HICKAM AVENUE
LAS VEGAS, NV 89129

REFERENCE: NZC-0681-05

On the date indicated above, a Notice of Final Action was filed with the Clark County Clerk, Commission Division, pursuant to NRS 278.0235 and marking the commencement of the twenty-five (25) day limitation period specified therein.

The above referenced application was presented before the Clark County Board of County Commissioners at their regular meeting of September 7, 2805 and was **APPROVED** subject to the conditions listed below and/or on the attached sheet. You will be required to comply with all conditions prior to the issuance of a building permit or a business license whichever occurs first.

Time limits to commence, complete or review this approval apply only to this specific application. A property may have several approved applications on it, each will have its own expiration date. It is the applicant's responsibility to keep each application current.

CONDITIONS: **Subject to R-E zoning; a maximum of 100 lots; maximum of 2.49 dwelling units per acre; design review for any significant changes to the site plan; drainage and traffic studies and compliance; project may qualify for an exception to the traffic analysis with Civil Engineering approval; City of Las Vegas approval of the drainage and traffic studies; coordinating any additional right-of-way dedication for Grand Teton Drive with the City of Las Vegas; if sidewalk is detached, dedicate right-of-way and grant easements in accordance with detached sidewalk requirements; constructing full off-site improvements; cell-box to be set back a minimum of 100 feet; and all applicable standard conditions for this application type. Applicant is advised that any change in circumstances or regulations may be justification for the denial of an extension of time; and that this application must be completed within 3 years of approval date or it will expire.**


BOARD OF COUNTY COMMISSIONERS
RORY REID, Chairman • MYRNA WILLIAMS, Vice Chair
TOM COLLINS • YVONNE ATKINSON GATES • CHIP MAXFIELD • LYNETTE BOGGS McDONALD • BRUCE L. WOODBURY
THOM REILLY, County Manager

February 1, 2007

City of Las Vegas
Attn: Planning & Development
731 S. Fourth Street
Las Vegas, NV 89101

ZL-0042-07
APN: 125-15-101-003

To Whom It May Concern:

This property is under Resolution of Intent (ZC-0681-05) to be reclassified from the R-A (Residential Agricultural) zoning district to the R-E (Rural Estates Residential) zoning district. The Resolution of Intent will expire on September 7, 2008 if all of the conditions of approval and the proposed construction are not complete. An extension of time must be filed with the Current Planning Division prior to the above date or the zoning will expire. If at least 50% of the total building area as shown on the plans for the zone change along with the related on-site parking and access, as well as one hundred percent (100%) of the required landscaping adjacent to the development, the required buffer walls, and physical construction of off-site improvements, this project might meet the requirement for completion. The issuance of a certificate of occupancy for the proposed building(s), recording of a subdivision map, or issuance of a business license usually indicates that all of Clark County's requirements have been met and an extension of time would not be required. In the meantime, we will continue to treat the property as being in the R-E zoning district for purpose of issuing building permits and business licenses.

OK as is

Enclosed are copies of the land use applications approved (submitted) for this property.

The complete zoning code is available on-line. You can view the Clark County web site at www.accessclarkcounty.com. You can find the Comprehensive Planning Department under the "County Services" category. From there find "Title 30: Development Code", which is the zoning code, separated by chapter. Chapter 30.44 lists each use and identifies the zoning districts in which it is permitted, along with any related conditions. Alternatively, Appendix F lists all of the permitted uses within each zoning district. Specific development standards per the zoning district can be found in Chapter 30.40, which must be used in conjunction with general development standards found in Chapter 30.56. Parking standards are located in Chapter 30.60 and landscaping and screening standards can be found in Chapter 30.64. If you are unable to access this information via the internet, please call our office for assistance.

If we can be of further assistance to you on this matter, please do not hesitate to contact our office.

Sincerely,

JAMES E. GROSS
Planner

JEG:jam

PLANNING & DEVELOPMENT

DEVELOPMENT SERVICES CENTER
731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108
Voice:
Administration 229-6353
Comp Planning 229-6022
Current Planning 229-6301
www.lasvegasnevada.gov

January 12, 2007

ANNEXATION TRANSMITTAL

Clark County
Current Planning Division
500 South Grand Central Parkway
PO Box 551744
Las Vegas, Nevada 89155-1744

ZL-42-07
Due Out
2-1-07

RE: ANNEXATION ANX-19110
PROPERTY OWNER: **SPINNAKER HOMES IX, LLC**

Please provide your comments regarding the subject Annexation Petition.

Dear Sirs:

An annexation request has been submitted to the City of Las Vegas for property located at the southwest corner of North Tenaya Way and Grand Teton Drive, containing approximately 36.57 acres (APN 125-15-101-003), Ward 6 (Ross).

Please advise us of the present zoning for this property, as well as any resolutions of intent that have been approved, giving the zoning case number and date of expiration. Also, please include the conditions of approval for any actions on this property.

Attached is a copy of the location map for your reference.

We would appreciate receiving this information at your earliest convenience as this item has been scheduled to be heard by the Planning Commission on FEBRUARY 22, 2007. When ready, please fax to Linda Hartman-Maynard at 474-7463.

Sincerely,

Douglas J. Rankin, AICP
Current Planning Manager
Planning and Development Department

DJR:clt

Attachment: Location Map

cc: Ms. Rosanne Jones
Clark County Commission Division
500 South Grand Central Parkway
Las Vegas, Nevada 89155-1601

Mr. Jeffery J. Jensen, P.E.
Clark County Public Works - Construction Division
5051 Paradise Road
Las Vegas Nevada 89119

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

071e1-001-07-05

ZL# 0042-07

DUE OUT 2-1-07

EXPEDITED (YES) (NO)

APN: 125-15-101-003

The above-referenced parcel(s) is/are located in the R-A zoning district(s).
(A1)

The above-referenced parcel(s) is/are located in the _____ zoning district(s), and is/are located in the: _____ Airport Environs Overlay District, ☐ Cooperative Management Agreement (CMA) Overlay, _____ Mixed Use Overlay District ☐ Major Flight Corridor, ☐ Red Rock Design Overlay, ☐ Russell Road Transitional Corridor Overlay, ☐ Desert Inn Road Transitional Corridor Overlay, ☐ Adult Use Overlay District, ☐ Asian Design Overlay District. Per the online instructions below, please see chapter 30.48 to review development requirements in this overlay district.
(A2)

The _____ Land Use Plan designates this parcel as _____ *(ONLY IF REQUESTED)*
(A3)

This property is under Resolution of Intent (ZC-NZC-0681-05) to be reclassified from the R-A zoning district to the R-E zoning district. The Resolution of Intent will expire on 9/7/08. If all of the conditions of approval and the proposed construction are not complete. An extension of time must be filed with the Current Planning Division prior to the above date or the zoning will expire. If at least 50% of the total building area as shown on the plans for the zone change along with the related on-site parking and access, as well as one hundred percent (100%) of the required landscaping adjacent to the development, the required buffer walls, and physical construction of off-site improvements, this project might meet the requirement for completion. The issuance of a certificate of occupancy for the proposed building(s), recording of a subdivision map, or issuance of a business license usually indicates that all of Clark County's requirements have been met and an extension of time would not be required. In the meantime, we will continue to treat the property as being in the R-A zoning district(s) for purpose of issuing building permits and business licenses.
(A4)

The Clark County Board of County Commissioners approved a zone change for the above referenced property on _____. As a result, a Resolution of Intent from the _____ zoning district to the _____ zoning district was prepared and recorded. Since the property has been recorded as a _____ subdivision, it meets the requirement for completion of the Resolution of Intent set forth in section 30.08.030 of the Clark County Unified Development Code. Until the zoning map is updated to reflect the change to the _____ zoning district, we will continue to treat the entire property as being in the _____ zoning district for the purpose of issuing building permits.
(A5)

**CLV Annexations letters:**
There are no land use applications on file for this parcel.
(A6)

Enclosed are copies of the land use applications approved (submitted) for this property.
(A7)

**Use Separations**
According to our records, as of (insert date) there are no other check cashing/pawn shops/group homes, etc established within ___ feet, nor any residential uses within ___ feet of the above referenced location. All business license/building permits to establish a ____ facility must meet separation requirements at the time of application. A site plan and/or confirmation from a licensed surveyor may be required at time of application in order to make an accurate determination of the separation.
(A8)

As of (insert date), there is a _____ facility located approximately ____ feet from the above reference location. There is also a residential use approximately ___ feet from this location. Therefore, a special use permit will need to be approved by the Planning Commission in order for a (type of business) to be established at this location.
(A9)

This complete zoning code is available on-line. You can view the Clark County web site at www.accessclarkcounty.com. You can find the Comprehensive Planning Department under the "County Services" category. From there find "Title 30 Development Code", which is the zoning code, separated by chapter. Chapter 30.44 lists each use and identifies the zoning districts in which it is permitted, along with any related conditions. Alternatively, Appendix F lists all of the permitted uses within each zoning district. Specific development standards per the zoning district can be found in Chapter 30.48, which must be used in conjunction with general development standards found in Chapter 30.50. Parking standards are located in Chapter 30.60 and landscaping and screening standards can be found in Chapter 30.64. If you are unable to access this information via the internet, please call our office for assistance.
(A10)

Unfortunately, we do not determine the conformity/nonconformity of structures. You may conduct your own research of the parcel(s) through the Records Division of Development Services to determine the conformity/nonconformity of structures.
(A11)

Legally nonconforming uses and structures are defined under Chapter 30.76 of the Clark County Unified Development Code (Title 30 is available on line as mentioned previously). If a nonconforming project, structure, or a structure housing a nonconforming use is destroyed to an extent of more than fifty percent (50%) of its replacement cost (of the entire project) at the time of destruction, it must be reconstructed in conformance with the provisions of the current title. A nonconforming structure destroyed by an act of God, war, a natural catastrophe or criminal act, can be reconstructed if approved with a design review by the Board of County Commissioners, who may impose reasonable aesthetic conditions to mitigate the impact of the nonconformity (see Section 30.76.060 (C)).
(A12)

According to our records, this lot has not been owned in common ownership with the adjacent lots (having continuous street frontage) since 1970. Therefore, it meets the criteria in Chapter 30.76.030 (copy enclosed) for legal, nonconforming lots of record and would allow the construction of a single-family residence. As a legal nonconforming lot, however, all development standards including district regulations, setback, lot coverage, etc. must be met.
(A13)

Regarding your request for certificate of occupancy information on the property, please contact the Building Division at (702) 455-3000.
(A14)

Regarding your request for any violations on the property, please contact the Clark County Public Response Office at (702) 455-4191
(A15)

In reference to your request that we furnish your zoning information similar to the guidelines you provided, the Current Planning Division uses an established format for our zoning letters, which unfortunately, is not the same as your lender's. Hopefully, our response to the information that is applicable to the Current Planning Division, as provided, meets your needs.
(A16)

ZC_____

INITIALS JEG

Revised 10/17/06

# CITY OF LAS VEGAS
## INTER-OFFICE MEMORANDUM
## REQUEST FOR COMMENT

| *FROM: PLANNING AND DEVELOPMENT* | **EOT-37908** |
|---|---|

**HAND DELIVERED**

| | | |
|---|---|---|
| *DEVELOPMENT COORDINATION **(DPW)** | GARY REID | DSC |
| FIRE ENGINEERING | OZZIE MIRKHAH | DSC |
| *FLOOD CONTROL **(DPW)** | RAUL CRUZ | DSC |
| *LAND DEVELOPMENT **(DPW)** | DAVID GUERRA | DSC |
| PERMITS/ INSPECTIONS | ROD CLARK | DSC |
| *RIGHT-OF-WAY **(DPW)** | MARY WULFF | DSC |
| *SANITARY SEWERS **(DPW)** | JOE PEÑA | DSC |
| *TRAFFIC ENGINEERING **(DPW)** | RICK SCHROEDER | DSC |

**SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL**

| | | |
|---|---|---|
| <CCSD> | LINDA PERRI | 4212 EUCALYPTUS ANNEX |
| METRO | BRIAN O'CALLAGHAN | 7th FLOOR CITY HALL |
| OFFICE OF BUSINESS DEVELOPMENT | TOM BURKART | 2nd FLOOR CITY HALL EXPANSION |
| NEIGHBORHOOD SERVICES | ANNE KILPONEN | 2nd FLOOR CITY HALL |
| *TEFO **(DPW)** | REBECCA WHITLOCK | 3104 BONANZA ROAD |
| *STREETS & SANITATION **(DPW)** | JERRY WALKER | 2900 RONEMUS |
| *PARKS & OPEN SPACES **(DPW)** | JOHN BLACK | 2900 RONEMUS |
| *SID **(DPW)** | PATRICK MURPHY | 420 N. FOURTH STREET |
| *SURVEY **(DPW)** | ALAN RIEKKI | WEST YARD |
| <EMBARQ> **(SDPR only)** | SANDRA HOLLEY | 330 VALLEY VIEW BOULEVARD |
| LAS VEGAS VALLEY WATER DISTRICT **(NO PLANS)** | HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION | **100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)** |
| CLARK COUNTY (IT) **(NO PLANS)** | SHARON RICE (INFORMATION TECHNOLOGY DEPT) | 500 GRAND CENTRAL PARKWAY, 4th Floor |
| NELLIS AFB **(NO PLANS)** | DEBORAH MACNEILL | 4430 Grissom Avenue, Building 11, Suite 103D |

** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT* *< US MAIL DELIVERY>*

**SDPR**
**04/09/2010**

# CITY OF LAS VEGAS

## DEVELOPMENT REVIEW COMMENT FORM

**Planning and Development Department**
*Current Planning Division*
*731 South Fourth Street*
*Las Vegas, Nevada 89101*
*(702) 229-6301 phone (702) 385-7268 fax*

***EOT-37908 - EXTENSION OF TIME - SITE DEVELOPMENT PLAN REVIEW - APPLICANT: ROYAL CONSTRUCTION - OWNER: SPINNAKER HOMES SIX, LLC*** *- Request for an Extension of Time of a previously approved Site Development Plan Review (SDR-27226) for a 100-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH ACCESS ON WHISPERING SANDS DRIVE on 40.16 acres on the southwest corner of Grand Teton Drive and Tenaya Way (APN 125-15-101-003), U (Undeveloped) Zone [DR (Desert Rural Density Residential) General Plan Designation] under Resolution of Intent to R-PD2 (Residential Planned Development - 2 Units Per Acre), Ward 6 (Ross).*

*PLANNING COMMISSION:* ***MAY 27, 2010***

*PLANNING SUPERVISOR:* ***STEVE GEBEKE*** ☒ ***CONSENT***

***Comments Due:*** ***APRIL 27, 2010***

*Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to* ***Carman Burney (cburney@lasvegasnevada.gov)****, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.*

***LIST COMMENTS BELOW:***

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

# EOT Application

5-27-10 PC
GK

**Report Date** 04/12/2010 08:34 AM **Submitted By**



**A/P #** 37908 EXTENSION OF TIME

## Application Information

**Stages**

| | Date / Time | By | | Date / Time | By |
|---|---|---|---|---|---|
| **Processed** | 04/09/2010 14:53 | 984757 | **Temp COO** | | |
| **Approved** | | | **COO issued** | | |
| **Final** | | | **Expires** | | |

**Associated Information**

| | | | |
|---|---|---|---|
| **Type of Work** | | **# Plans** | 0 |
| **Dept of Commerce** | | **# Plans** | 0 |
| **Priority** | ☒ **Auto Reviews** | **Bill Group** | |

**Valuation**

| | |
|---|---|
| **Declared Valuation** | 0.00 |
| **Calculated Valuation** | 0.00 |
| **Actual Valuation** | 0.00 |

**Description of Work**

EOT-37908 - EXTENSION OF TIME - SITE DEVELOPMENT PLAN REVIEW - APPLICANT/OWNER: SPINNAKER HOME IX, LLC - Request for an Extension of Time of a previously approved Site Development Plan Review (SDR-27226) for a 100-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH ACCESS ON WHISPERING SANDS DRIVE on 40.16 acres on the southwest corner of Grand Teton Drive and Tenaya Way (APN 125-15-101-003), U (Undeveloped) Zone [DR (Desert Rural Density Residential) General Plan Designation] under Resolution of Intent to R-PD2 (Residential Planned Development - 2 Units Per Acre), Ward 6 (Ross)

**Parent A/P #** 27226
**Project #** 37908 **Project/Phase Name** SPINNAKER HOMES AT THE ORCHARD **Phase #**
**Size/Area** 0.00 **Size Description** **Subdivision Code**
**Proposed Start** **Proposed Stop** **% Completed** 0.00
**% Complete Formula**

## Property/Site Information

**Parcel** 12515101003

**Location**

## Owner/Tenant

**Contact ID** AC1085761 **Name** SPINNAKER HOME IX L L C
**Mailing Address** 4511 W CHEYENNE AVE #105 **Organization**
**City** LAS VEGAS **State/Province** NV
**ZIP/PC** 89032 **Country** ☐ **Foreign**
**Day Phone** (702)873-7776 x **Evening Phone** (702)873-7773 x
**Fax** **Mobile #**

## A/P Linked Addresses

No Addresses are linked to this Application

## Linked Addresses

7207 GRAND TETON DR
LAS VEGAS, 89131-

7205 GRAND TETON DR
LAS VEGAS, 89131-

## A/P Addresses

No Other Addresses are associated to this Application

## Linked Parcels

No Parcels are linked to this Application

## A/P Linked Parcels

12515101003

## Applicants/Contacts

**Primary** N **Capacity** OWNER **Contact ID** AC1085761 ☐ **Foreign**
**Effective** **Expire**
**Name** SPINNAKER HOME IX L L C
**Day Phone** (702)873-7776 x **Eve Phone** (702)873-7773 x **Organization**
**Pager** **PIN #** **Position**
**Fax** **Mobile** **Profession**
**E-Mail**
**Address** 4511 W CHEYENNE AVE #105
LAS VEGAS, NV 89032
**Seasonal Addr**

**Valid From** **To**
**Comments** Ben Young

**Primary** N **Capacity** OTHER **Contact ID** AC1187138 ☐ **Foreign**
**Effective** **Expire**
**Name** TCE
**Day Phone** (702)932-6125 x **Eve Phone** **Organization** TOMASON CONSULTING ENG.
**Pager** **PIN #** **Position**
**Fax** (702)932-6129 **Mobile** **Profession**
**E-Mail**
**Address** 3277 E WARM SPRINGS ROAD #200
LAS VEGAS, NV 89120
**Seasonal Addr**

**Valid From** **To**
**Comments** Sonia Macias

**Primary** Y **Capacity** APPL **Contact ID** AC1380606 ☐ **Foreign**
**Effective** **Expire**
**Name** ROYAL CONSTRUCTION
**Day Phone** (702)837-7776 x **Eve Phone** **Organization**
**Pager** **PIN #** **Position**
**Fax** (702)837-7773 **Mobile** **Profession**
**E-Mail**
**Address** 4511 W CHEYENNE
#105
NORTH LAS VEGAS, NV 89032
**Seasonal Addr**

**Valid From** **To**
**Comments** ben young

## Contractors

No Contractors

| Item Description | Item Status |
|---|---|
| Check Fees | Fees Successful |
| PROCESSING FEE ($300.00) | Paid |
| Check Inspections | Inspections Successful |
| Check Reviews | Reviews Failed |
| 386589 B&S PLAN #1 (BUILDING&SAFETY PLAN REVIEW) | Incomplete |
| 386590 DEVCO #1 (DEVELOPMENT COORDINATION) | Incomplete |
| 386591 FIRE COMM #1 (FIRE COMMUNICATION) | Incomplete |
| 386593 FLOOD #1 (FLOOD CONTROL) | Incomplete |
| 386594 LAND DEV #1 (LAND DEVELOPMENT) | Incomplete |
| 386592 NEIGH P&S #1 (NEIGHBORHOOD PLAN & SUPPORT) | Incomplete |
| 386598 ROW #1 (RIGHT-OF-WAY) | Incomplete |
| 386596 SEWER #1 (COLLECTION SYSTEMS PLANNING) | Incomplete |
| 386597 SURVEY #1 (SURVEY) | Incomplete |
| 386599 TEFO #1 (TRAFFIC ENG FIELD OPERATIONS) | Incomplete |
| 386595 TRAFFIC #1 (TRAFFIC ENGINEERING) | Incomplete |
| Check Conditions | Conditions Successful |
| Check Alert Conditions | Alert Conditions Failed |
| (ASSIGN CASE TO A PLANNER) | |
| (AT-COMPLETE DRT PROCESS) | |
| (AT-ROUTE PLANS FOR REVIEW) | |
| (PT-NDTIFICATION MAP DATE) | |
| (STAFF RECOMMENDATION) | |
| Check Licenses | Not Checked |
| Check Children Status | Children Successful |
| Check Open Cases | 0 |

| Fees | Status | Paid Date | Amount |
|---|---|---|---|
| PROCESSING FEE | P | 04/09/2010 14:55 | 300.00 |
| | Total Unpaid | 0.00 | Total Paid 300.00 |

## Inspections

There are no Inspections for this Report

## Review Activities

| Review # | Review Type | # | Status | Waived | Issued | Started | Completed | Comp By |
|---|---|---|---|---|---|---|---|---|
| 386589 | B&S PLAN | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |
| 386590 | DEVCO | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |
| 386591 | FIRE COMM | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |
| 386592 | NEIGH P&S | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |
| 386593 | FLOOD | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |
| 386594 | LAND DEV | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |

Comments

| Review Activities Review # Comments | Review Type | # | Status | Waived | Issued | Started | Completed | Comp By |
|---|---|---|---|---|---|---|---|---|
| 386595 | TRAFFIC | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |
| 386596 | SEWER | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |
| 386597 | SURVEY | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |
| 386598 | ROW | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |
| 386599 | TEFO | 1 | Incomplete | ☐ | 04/12/2010 08:33 | | | |

**Activity Review Details**

**Detail** SUBMITTAL CHECKLIST (EOT) **Modified By** JBOYLES **Modified Date/Time** 04/09/2010 14:53

**Comments**

No Comments

**SUBMITTAL CHECKLIST**

**indicate if item is being submitted**

Y **Application/Petition Form**

Y **Justificaton Letter**

Y **Laser Print Site Plan**

Y **Laser Print Floor Plan**

Y **Laser Print Elevation**

Y **Statement of Financial Interest**

Y **Copy of Approval Letter**

Y **Business Licensing Requirements Met**

N **Business License Exempt**

**Detail** LINKED PROJECTS **Modified By** JBOYLES **Modified Date/Time** 04/09/2010 14:48

**Comments**

No Comments

**LINKED PROJECT**

| Grid Template Type | Project Number | APKEY | COMMENTS | Proj Type |
|---|---|---|---|---|
| PRJ | 27226 | 225419 | SITE DEVELOPMENT PLAN REVIEW | SDR |

**Check Conditions**

| Condition | Approval Supervisor Required | Approved By | Approved Date | Applied By | Applied Date | Assigned |
|---|---|---|---|---|---|---|
| | | Comments | | | | |

No Conditions

| Project # | A/P Type | Status | Stage | Relation |
|---|---|---|---|---|

No children exist for this project

| Planning Condition | Description | Effective | Expire | Comments |
|---|---|---|---|---|

There is no planning condition for this project.

**EXTENSION OF TIME**

N **Will this go to the City Council?**

N **Will this go DIRECTLY to City Council?**

**Final City Council letter received**

**Annotated minutes received**

**Parent Application Type** SDR

**Parent Project #** 27226

**Hearing Type**

**Public, Non-Public or Admin?** NON-PUBLIC

**Staff Recommendation**

**Meeting Information**

| Meeting Grid<br>Meeting Date<br>Comments<br>Added By | Meeting Type<br>Add Date | Meeting Status<br>Modified by | Modified Date | YES Votes | NO Votes | ABSTENTIONS |
|---|---|---|---|---|---|---|
| 05/27/2010 | PC | SCHEDULED | | 0 | 0 | 0 |
| JBDYLES | 04/09/2010 | | | | | |

| Template Type | A/P # | A/P Type | Status | Stage |
|---|---|---|---|---|

No children exist for this project

| Employee<br>Employee ID | Last | First | MI | Comments |
|---|---|---|---|---|

No Employee Entries

| Log<br>Action<br>Comments | Description | Entered By | Start | Stop | Hours |
|---|---|---|---|---|---|
| PAYMNT | CO NAME WHO PICKED UP CONTACT# | 970040 | 04/09/2010 14:57 | | 0.00 |
| SONIA MACIAS, 702.932.6125, SPINNAKER HOMES IX, LLC CK 1014 | | | | | |

No Model Home Details

PLANNING & DEVELOPMENT

DEVELOPMENT SERVICES CENTER

# PLANNING & DEVELOPMENT DEPARTMENT

## APPLICATION / PETITION FORM

**Application/Petition For:** Extension Of Time for SDR-27226

**Project Address (Location)** Grand Teton Drive / Tenaya Way

**Project Name** Spinnaker Homes @ The Orchard **Proposed Use** SFR

**Assessor's Parcel #(s)** 125-15-101-003 **Ward #** _____

**General Plan: existing** - **proposed** - **Zoning: existing** R-E **proposed** R-E

**Commercial Square Footage** _____ **Floor Area Ratio** _____

**Gross Acres** 40.16 **Lots/Units** 100 **Density** 2.49

**Additional Information** TMP-27023, ANX-19110

**PROPERTY OWNER** Spinnaker Home IX LLC **Contact** Ben Young

**Address** 4511 W. Cheyenne Suite #105 **Phone:** 873-7776 **Fax:** 873-7773

**City** Las Vegas **State** NV **Zip** 89032

**E-mail Address** byoung@spinnakerhomes.com

**APPLICANT** Royal Construction **Contact** Ben Young

**Address** 4511 W. Cheyenne Suite #105 **Phone:** 873-7776 **Fax:** 873-7773

**City** Las Vegas **State** NV **Zip** 89032

**E-mail Address** byoung@spinnakerhomes.com

**REPRESENTATIVE** TCE **Contact** Sonia Macias

**Address** 3277 E. Warm Springs Suite #200 **Phone:** 932-6125 **Fax:** 932-6129

**City** Las Vegas **State** NV **Zip** 89120

**E-mail Address** smacias@tce-lv.com

**Property Owner Signature*** _____

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps.

**Print Name** STEPHEN B. AITENBERG PRESIDENT S.B.A. DEVELOPMENT INC DBA ROYAL CONST. CO., MANAGING MEMBER

Subscribed and sworn before me

This 8TH day of APRIL, 20 10.

Stephanie H. Pauley

Notary Public in and for said County and State

Notary Public - State of Nevada
County of Clark
STEPHANIE H. PAULEY
My Appointment Expires
November 4, 2013
No: 09-11480-1

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APR 8 9 2010

Revised 10/2004

***FOR DEPARTMENT USE ONLY***

| | |
|---|---|
| **Case #** | EOT-37908 |
| **Meeting Date:** | 05/27/10 |
| **Total Fee:** | $300.00 |
| **Date Received:*** | 04/09/10 |
| **Received By:** | Jonathan B. |

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

## STATEMENT OF FINANCIAL INTEREST

Case Number: EOT-37908 APN: 125-15-101-003

Name of Property Owner: SPINNAKER HOME IX L L C

Name of Applicant: Royal Construction

Name of Representative: TCE

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: _____

Print Name: STEPHEN B. ALZENBERG, PRESIDENT
SIBA DEVELOPMENT INC, DBA ROYAL CONST. CO.
MANAGING MEMBER

Subscribed and sworn before me

This 8th day of April, 2010

Stephanie H. Pauley

Notary Public in and for said County and State

Notary Public - State of Nevada
County of Clark
STEPHANIE H. PAULEY
My Appointment Expires
November 4, 2013
No: 09-11480-1

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APR 09 2010

Revised 11-14-06

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THOMASON
CONSULTING
ENGINEERS

April 8, 2010 011-07011

City of Las Vegas
Planning & Development
731 S. 4th Street
Las Vegas, NV 89101

**Reference: Spinnaker Homes at the Orchard**
**Extension of Time SDR-27226**
**APN #125-15-101-003**

On behalf of Spinnaker Homes IX LLC, we respectfully request your consideration of the attached extension of time for SDR-27226.

**Location:** The proposed site is located on Grand Teton Drive and Tenaya Way within Section 15, Township 19 South, Range 60 East.

At this time we are requesting for an extension of time for The Site Development Review was approved by Planning Commission on April 10, 2008 and is related to TMP-27023, which was approved by Planning Commission on May 8, 2008 and will expire in May 2012.

This request for an extension of time is to allow the developer to complete this project. This project has been delayed as a result of complex drainage issues that required extensive coordination with the CLV, Clark County, and CCRFCD. Also, due to the current economic situation the developer wishes to wait until the residential market improves to move forward with the construction of this project. The improvement plans are approved to mylar and the final map has been approved to mylar. The developer anticipates making use of the extension by analyzing the residential real estate market to determine the optimal time to move forward with this project.

If you need additional information or have any questions, please feel free to call me at 932-6125.

Sincerely,

Sonia Macias
Project Coordinator

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APR 09 2010

EOT-37908

3277 East Warm Springs Road, Suite 400
Las Vegas, Nevada 89120
Phone (702) 932-6125 • Fax (702) 932-6129

01-07001

PLANNING & DEVELOPMENT

DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY 702-386-9108
www.lasvegasnevada.gov

Josh
Kurt
Sonia
Status
File

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April 11, 2008

Mr. Ben Young
Spinnaker Home IX LLC
4366 West Cheyenne Avenue
North Las Vegas, Nevada 89032

***RE: SDR-27226- SITE DEVELOPMENT PLAN REVIEW***

Dear Mr. Young:

Your request for a Site Development Plan Review for a 100-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH ACCESS ON WHISPERING SANDS DRIVE on 40.16 acres on the southwest corner of Grand Teton Drive and Tenaya Way (APN 125-15-101-003), U (Undeveloped) Zone [DR (Desert Rural Density Residential) General Plan Designation] under Resolution of Intent to R-PD2 (Residential Planned Development - 2 Units Per Acre), Ward 6 (Ross), was considered by the Planning Commission on April 10, 2008.

The Planning Commission voted to recommend ***APPROVAL*** of your request, subject to the following:

***Planning and Development***

1. Lots 95 and 96 on the Site Plan dated 3/11/08 shall be limited to one story or 20 feet, whichever is less.

2. Twenty (20) 24-inch box trees shall be added on the subject property exterior to the perimeter wall along Grand Teton as approved by the Department of Public Works.

3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

4. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 03/11/08 and 03/12/08, except as amended by conditions herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow

City Manager
Douglas A. Selby

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5. The standards for this development shall include a Minimum lot size of 9,375 square feet and Building height shall not exceed two stories or 32 feet, whichever is less.

6. The setbacks for this development shall be a minimum of 10 feet to the front of the house, 18 feet to the front of the garage as measured from back of sidewalk or from back of curb if no sidewalk is provided, five feet on the side, 10 feet on the corner side, and 15 feet in the rear. The casita options shall be six foot from the main dwelling and five foot from the rear and side property lines.

7. A revised elevation of the proposed block wall, indicating 20% contrasting block, shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for permits.

8. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

9. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.

10. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

11. Revised elevations shall be submitted to and approved by the Planning and Development Department prior to the time application is made for a building permit to reflect a perimeter block wall with 20% contrasting block.

12. Air conditioning units shall not be mounted on rooftops.

13. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

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EOT-37908

14. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

***Public Works***

16. Dedicate an additional 29 feet of right-of-way for a total radius of 54 feet on the southwest corner of Grand Teton Drive and Tenaya Way prior to the issuance of any permits.

17. Dedicate an additional 10 feet of right-of-way for a total half-street width of 60 feet on Grand Teton Drive adjacent to this site prior to the issuance of any permits.

18. Construct half-street improvements including appropriate over paving on Tenaya Way and all incomplete improvements on Grand Teton Drive and Whispering Sands Drive adjacent to this site concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, traffic signal system, etc., located within public rights-of-way, prior to construction of hard surfacing (asphalt or concrete). All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.

19. A minimum of two lanes of asphalt pavement on the major access street(s) adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. Full permanent improvements on all major access streets, including all required landscaped areas between the perimeter wall and adjacent public street, shall be constructed and accepted by the City prior to issuance of any building permits beyond 50% of all units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

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EOT-37908

20. Gated access driveways shall be designed, located and constructed in accordance with Standard Drawing #222a. Emergency vehicle access/crash gated driveways shall be constructed in accordance with Standard Drawing #224.

21. The onsite streets shall be labeled as a private street, be designated as a common lot and shall be labeled as a private street, public utility easement (P.U.E.), public sewer easement and public drainage easement to be privately maintained by the Homeowners' Association on the Final Map for this site.

22. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.

23. A Homeowners' Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

24. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.

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EOT-37908

25. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of public improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

This action by the Planning Commission on **April 10, 2008** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision or there is a review action filed by the City Council within the same time period. The Notice of Final Action was filed with the Las Vegas City Clerk on ***April 11, 2008.***

Sincerely,

Douglas J. Rankin, AICP
Planning Manager
Case Planning Division

DR:nl:clb

cc: Mr. Ben Young
Royal Construcion
4366 West Cheyenne Avenue
North Las Vegas, Nevada 89032

Ms. Sonia Macias
TCE
3277 East Warm Springs Road
Las Vegas, Nevada 89120

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APR 0 9 2010
EOT-37908

# SPINNAKER HOMES IX, LLC

## Business Entity Information

| | | | |
|---|---|---|---|
| Status: | Active | File Date: | 10/24/2005 |
| Type: | Domestic Limited-Liability Company | Entity Number: | E0743772005-8 |
| Qualifying State: | NV | List of Dfficers Due: | 10/31/2010 |
| Managed By: | Managers | Expiration Date: | |
| NV Business ID: | NV20051683249 | Business License Exp: | 12/31/2010 |

## Registered Agent Information

| | | | |
|---|---|---|---|
| Name: | ROCHELLE WILSON, ESQ, | Address 1: | 4511 W CHEYENNE AVE STE 105 |
| Address 2: | | City: | N LAS VEGAS |
| State: | NV | Zip Code: | 89032 |
| Phone: | | Fax: | |
| Mailing Address 1: | | Mailing Address 2: | |
| Mailing City: | | Mailing State: | NV |
| Mailing Zip Code: | | | |
| Agent Type: | Noncommercial Registered Agent | | |

## Financial Information

| | | | |
|---|---|---|---|
| No Par Share Count: | 0 | Capital Amount: | $ 0 |

No stock records found for this company

## Officers

☐ Include Inactive Officers

Manager - S.B.A. DEVELOPMENT INC

| | | | |
|---|---|---|---|
| Address 1: | 4511 W CHEYENNE AVE | Address 2: | STE 105 |
| City: | NORTH LAS VEGAS | State: | NV |
| Zip Code: | 89032 | Country: | |
| Status: | Active | Email: | |

## Actions\Amendments

| | | | |
|---|---|---|---|
| Action Type: | Articles of Organization | | |
| Document Number: | 00000480667-11 | # of Pages: | 4 |
| File Date: | 10/24/2005 | Effective Date: | |

1CC, FEDEX TRK 7902 1031 9033, DAS 11-03-05

| | | | |
|---|---|---|---|
| Action Type: | Acceptance of Registered Agent | | |
| Document Number: | 20050529588-14 | # of Pages: | 1 |
| File Date: | 11/03/2005 | Effective Date: | |

(No notes for this action)

| | | | |
|---|---|---|---|
| Action Type: | Initial List | | |
| Document Number: | 20050582990-10 | # of Pages: | 1 |
| File Date: | 11/28/2005 | Effective Date: | |

2005-06

| | | | |
|---|---|---|---|
| Action Type: | Registered Agent Address Change | | |
| Document Number: | 20060507181-60 | # of Pages: | 2 |

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| | | | |
|---|---|---|---|
| File Date: | 8/08/2006 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | 20060663295-39 | # of Pages: | 1 |
| File Date: | 10/13/2006 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | 20070742125-80 | # of Pages: | 1 |
| File Date: | 10/29/2007 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | 20080710426-70 | # of Pages: | 1 |
| File Date: | 10/27/2008 | Effective Date: | |
| 08-09.CC | | | |
| Action Type: | Registered Agent Change | | |
| Document Number: | 20090118720-00 | # of Pages: | 1 |
| File Date: | 2/06/2009 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | 20090883995-23 | # of Pages: | 1 |
| File Date: | 12/24/2009 | Effective Date: | |
| (No notes for this action) | | | |

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# S.B.A. DEVELOPMENT, INC.

## Business Entity Information

| | | | |
|---|---|---|---|
| Status: | Active | File Date: | 11/24/1992 |
| Type: | Domestic Corporation | Entity Number: | C12895-1992 |
| Qualifying State: | NV | List of Officers Due: | 11/30/2010 |
| Managed By: | | Expiration Date: | |
| NV Business ID: | NV19921071875 | Business License Exp: | 11/30/2010 |

## Registered Agent Information

| | | | |
|---|---|---|---|
| Name: | ROCHELLE WILSON, ESQ, | Address 1: | 4511 W CHEYENNE AVE STE 105 |
| Address 2: | | City: | N LAS VEGAS |
| State: | NV | Zip Code: | 89032 |
| Phone: | | Fax: | |
| Mailing Address 1: | | Mailing Address 2: | |
| Mailing City: | | Mailing State: | NV |
| Mailing Zip Code: | | | |
| Agent Type: | Noncommercial Registered Agent | | |

## Financial Information

| | | | |
|---|---|---|---|
| No Par Share Count: | 25,000.00 | Capital Amount: | $ 0 |

No stock records found for this company

## Officers

☐ Include Inactive Officers

| | | | |
|---|---|---|---|
| **Director - STEPHEN B AIZENBERG** | | | |
| Address 1: | 4511 W. CHEYENNE AVENUE, STE. 105 | Address 2: | |
| City: | N. LAS VEGAS | State: | NV |
| Zip Code: | 89032 | Country: | |
| Status: | Active | Email: | |
| **President - STEPHEN BARRIE AIZENBERG** | | | |
| Address 1: | 4511 W CHEYENNE AVE, STE. 105 | Address 2: | |
| City: | N LAS VEGAS | State: | NV |
| Zip Code: | 89032 | Country: | |
| Status: | Active | Email: | |
| **Treasurer - STEPHEN BARRIE AIZENBERG** | | | |
| Address 1: | 4511 W CHEYENNE AVE, STE. 105 | Address 2: | |
| City: | N LAS VEGAS | State: | NV |
| Zip Code: | 89032 | Country: | |
| Status: | Active | Email: | |
| **Secretary - ROCHELLE WILSON** | | | |
| Address 1: | 4511 W CHEYENNE AVE, STE. 105 | Address 2: | |
| City: | N LAS VEGAS | State: | NV |
| Zip Code: | 89032 | Country: | |
| Status: | Active | Email: | |

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## Actions\Amendments

| | | | |
|---|---|---|---|
| Action Type: | Articles of Incorporation | | |
| Document Number: | C12895-1992-001 | # of Pages: | 8 |
| File Date: | 11/24/1992 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Registered Agent Change | | |
| Document Number: | C12895-1992-003 | # of Pages: | 1 |
| File Date: | 1/17/1996 | Effective Date: | |
| LAUGHLIN ASSOCIATES, INC. | | | |
| 2533 N. CARSON STREET CARSON CITY NV 89706 JAH | | | |
| Action Type: | Annual List | | |
| Document Number: | C12895-1992-009 | # of Pages: | 1 |
| File Date: | 11/23/1998 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Registered Agent Address Change | | |
| Document Number: | C12895-1992-004 | # of Pages: | 1 |
| File Date: | 3/16/1999 | Effective Date: | |
| ROCHELLE WILSON ESQ. | | | |
| 2626 S. RAINBOW BLVD. STE. 101 LAS VEGAS NV 89102 MJM | | | |
| Action Type: | Annual List | | |
| Document Number: | C12895-1992-013 | # of Pages: | 1 |
| File Date: | 12/03/1999 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Merger | | |
| Document Number: | C12895-1992-005 | # of Pages: | 14 |
| File Date: | 12/28/1999 | Effective Date: | |
| ARTICLES OF MERGER FILED MERGING S.B.A. DEVELOPMENT, INC., A (CA) CORPORATION | | | |
| NOT QUALIFIED IN NEVADA, INTO THIS CORPORATION. (14)PGS. MMR | | | |
| Action Type: | Annual List | | |
| Document Number: | C12895-1992-010 | # of Pages: | 1 |
| File Date: | 11/22/2000 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | C12895-1992-008 | # of Pages: | 1 |
| File Date: | 10/23/2001 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | C12895-1992-012 | # of Pages: | 1 |
| File Date: | 10/28/2002 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | C12895-1992-007 | # of Pages: | 1 |
| File Date: | 10/09/2003 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Registered Agent Change | | |
| Document Number: | C12895-1992-006 | # of Pages: | 1 |
| File Date: | 12/12/2003 | Effective Date: | |
| ROCHELLE WILSON ESQ. STE 208 RXS | | | |
| 3320 NORTH BUFFALO DRIVE LAS VEGAS NV 89129 RXS | | | |
| Action Type: | Annual List | | |
| Document Number: | C12895-1992-011 | # of Pages: | 1 |
| File Date: | 8/05/2004 | Effective Date: | |
| (No notes for this action) | | | |

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| | | | |
|---|---|---|---|
| Action Type: | Annual List | | |
| Document Number: | C12895-1992-002 | # of Pages: | 1 |
| File Date: | 11/04/2004 | Effective Date: | |
| List of Officers for 2004 to 2005 | | | |
| Action Type: | Annual List | | |
| Document Number: | 20050533770-22 | # of Pages: | 1 |
| File Date: | 11/04/2005 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Registered Agent Address Change | | |
| Document Number: | 20060507181-60 | # of Pages: | 2 |
| File Date: | 8/08/2006 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | 20060660952-36 | # of Pages: | 1 |
| File Date: | 10/13/2006 | Effective Date: | |
| 06-07/CC | | | |
| Action Type: | Annual List | | |
| Document Number: | 20070777712-20 | # of Pages: | 1 |
| File Date: | 11/09/2007 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | 20080748441-58 | # of Pages: | 1 |
| File Date: | 11/16/2008 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Registered Agent Change | | |
| Document Number: | 20090118703-91 | # of Pages: | 1 |
| File Date: | 2/06/2009 | Effective Date: | |
| (No notes for this action) | | | |
| Action Type: | Annual List | | |
| Document Number: | 20090822727-09 | # of Pages: | 1 |
| File Date: | 11/30/2009 | Effective Date: | |
| (No notes for this action) | | | |

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C6

20051116-0001017

Fee: $19.00 RPTT: $77,061.00
N/C Fee: $25.00

11/16/2005 09:05:02
T20050207950
Requestor:
NEVADA TITLE COMPANY

Frances Deane DGI
Clark County Recorder Pgs: 6

A.P. N.: 125-15-101-003
R.P.T.T.: $77,061.00

Escrow #05-02-2195-DTL

Mail tax bill to and
When recorded mail to:
Spinnaker Homes IX, LLC
Attn: Steven Aizenberg
4511 W Cheyenne Ave., #105
North Las Vegas, NV 89032

# GRANT, BARGAIN, SALE DEED

**THIS INDENTURE WITNESSETH,** That **Gilcrease Orchard Foundation, a Nevada Nonprofit corporation,** for a valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to **Spinnnaker Homes IX, LLC, a Nevada limited liability company** all that real property situated in the County of **Clark,** State of Nevada, bounded and described as follows:

**SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF AS EXHIBIT "A".**

**SUBJECT TO:**

1. Taxes for the current fiscal year, not delinquent, including personal property taxes of any former owner, if any:
2. Restrictions, conditions, reservations, rights, rights of way and easements now of record, if any, or any that actually exist on the property.

**TOGETHER WITH** all singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

RECEIVED
APR 0 9 2010

IN WITNESS WHEREOF, this instrument has been executed this 1st day of April, 2005.

Gilcrease Orchard Foundation, a Nevada
Nonprofit corporation

By: Mary Ellen Racel, President

By: Susan Weber, Treasurer

ASSESSOR COPY

State of NEVADA }
} ss:
County of Clark }

NOTARY PUBLIC
STATE OF NEVADA
County of Clark
LOUISE A. GORMLEY
Appt. No. 99-57602-1
My Appt. Expires Aug. 17, 2007

This instrument was acknowledged before me on
By Mary Ellen Racel, President
Of Gilcrease Orchard Foundation, a Nevada Nonprofit corporation

NOTARY PUBLIC
My Commission Expires: Aug. 17, 2007

ASSESSOR COPY

State of NEVADA }
} ss:
County of Clark }

NOTARY PUBLIC
STATE OF NEVADA
County of Clark
LOUISE A. GORMLEY
Appt. No. 99-57602-1
My Appt. Expires Aug. 17, 2007

This instrument was acknowledged before me on
By Susan Weber, Treasurer
Of Gilcrease Orchard Foundation, a Nevada Nonprofit corporation

NOTARY PUBLIC
My Commission Expires: Aug. 17, 2007

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THE EAST HALF (E ½) OF THE NORTH HALF (N ½) OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 15, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.B. & M.

EXCEPT THE INTEREST IN THE EASTERLY FORTY FEET (40.00) AND THE NORTHERLY FIFTY FEET (50.00) AND THE SOUTHERLY THIRTY FEET (30.00) OF SAID LAND AS CONVEYED TO CLARK COUNTY, NEVADA BY DEED RECORDED APRIL 23, 1974 IN BOOK 419 OF OFFICIAL RECORDS AS DOCUMENT NO. 378521.

AND EXCEPT THOSE PORTIONS OF SAID LAND AS CONVEYED TO CLARK COUNTY, NEVADA BY DEED RECORDED FEBRUARY 7, 1991 IN BOOK 910207 OF OFFICIAL RECORDS AS DOCUMENT NO. 00744.

FURTHER DELINEATED AS LOT TWO (2) OF THAT CERTAIN CERTIFICATE OF LAND DIVISION ON FILE IN FILE 001 PAGE 0055, RECORDED OCTOBER 11, 2001 IN BOOK 20011011 AS DOCUMENT NO. 02282, OFFICIAL RECORDS OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.

*LEGAL DESCRIPTION PREPARED FROM CERTIFICATE OF LAND DIVISION RECORDED OCTOBER 11, 2001 IN BOOK 20011011 AS DOCUMENT NO. 02282 PREPARED BY BRENNER AND ASSOCIATES, INC., SURVERYORS.*

LENDER'S COPY

RECEIVED
APR 0 9 2010

# State of Nevada
# Declaration of Value

1. Assessor Parcel Number(s)
   a) 125-15-101-003
   b)
   c)
   d)

2. Type of Property:

| | | | |
|---|---|---|---|
| ☐ | a) Vacant Land | ☐ | b) Sgl. Fam. Residence |
| ☐ | c) Condo/Twnhse | ☐ | d) 2-4 Plex |
| ☐ | e) Apt. Bldg. | ☐ | f) Comm'l/Ind'l |
| X | g) Agricultural | ☐ | h) Mobile Home |
| ☐ | i) Other | | |

**FOR RECORDER'S OPTIONAL USE ONLY**
Document/Instrument #:
Book: Page:
Date of Recording:
Notes:

3. Total Value/Sales Price of Property $15,110,000.00

   Deed in Lieu of Foreclosure Only (value of property)

   Transfer Tax Value: $15,110,000.00

   Real Property Transfer Tax Due $77,061.00

4. **If Exemption Claimed:**

   a. Transfer Tax Exemption, per NRS 375.090, Section:

   b. Explain Reason for Exemption:

5. Partial Interest: Percentage being transferred: %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. **Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable far any additional amount owned.**

Signature: Susan West Capacity: GRANTOR/SELLER

Signature: Capacity: GRANTEE/BUYER

| SELLER (GRANTOR) INFORMATION (REQUIRED) | | BUYER (GRANTEE) INFORMATION (REQUIRED) | |
|---|---|---|---|
| Print Name: | Gilcrease Orchard Foundation, a Nevada Nonprofit corporation | Print Name: | Spinnaker Homes IX, LLC, a Nevada limited liability company |
| Address: | P.O. Box 750129 | Address: | |
| City/State/Zip: | Las Vegas, NV 89136 | City/State/Zip: | |

**COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)**

Print Name: Nevada Title Company Esc. #: 05-02-2195-DTL
Address: 2500 N Buffalo, Suite 150
City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

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APR 09 2010

# State of Nevada
# Declaration of Value

1. Assessor Parcel Number(s)
   a) 125-15-101-003
   b)
   c)
   d)

28

2. Type of Property:

| | | | |
|---|---|---|---|
| ☐ | a) Vacant Land | ☐ | b) Sgl. Fam. Residence |
| ☐ | c) Condo/Twnhse | ☐ | d) 2-4 Plex |
| ☐ | e) Apt. Bldg. | ☐ | f) Comm'l/Ind'l |
| X | g) Agricultural | ☐ | h) Mobile Home |
| ☐ | i) Other | | |

**FOR RECORDER'S OPTIONAL USE ONLY**
Document/Instrument #:
Book: Page:
Date of Recording:
Notes:

3. Total Value/Sales Price of Property: $15,110,000.00

   Deed in Lieu of Foreclosure Only (value of property)

   Transfer Tax Value: $15,110,000.00

   Real Property Transfer Tax Due $77,061.00

4. **If Exemption Claimed:**

   a. Transfer Tax Exemption, per NRS 375.090, Section:

   b. Explain Reason for Exemption:

5. Partial Interest: Percentage being transferred: %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. **Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owned.**

Signature: Capacity: GRANTOR/SELLER

Signature: Capacity: GRANTEE/BUYER

| SELLER (GRANTOR) INFORMATION (REQUIRED) | BUYER (GRANTEE) INFORMATION (REQUIRED) |
|---|---|
| Print Name: Gilcrease Orchard Foundation, a Nevada Nonprofit corporation | Print Name: Spinnaker Homes IX, LLC, a Nevada limited liability company |
| Address: | Address: 4511 W Cheyenne #105 |
| City/State/Zip: | City/State/Zip: North Las Vegas, NV 89032 |

**COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)**

Print Name: Nevada Title Company Esc. #: 05-02-2195-DTL
Address: 2500 N Buffalo, Suite 150
City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

RECEIVED
APR 2 2010

# State of Nevada
# Declaration of Value

1. Assessor Parcel Number(s)
   a) 125-15-101-003
   b)
   c)
   d)

2. Type of Property:
   - [ ] a) Vacant Land
   - [ ] b) Sgl. Fam. Residence
   - [ ] c) Condo/Twnhse
   - [ ] d) 2-4 Plex
   - [ ] e) Apt. Bldg.
   - [ ] f) Comm'l/Ind'l
   - X g) Agricultural
   - [ ] h) Mobile Home
   - [ ] i) Other

**FOR RECORDER'S OPTIONAL USE ONLY**
Document/Instrument #:
Book: Page:
Date of Recording:
Notes:

3. Total Value/Sales Price of Property: $15,110,000.00
   Deed in Lieu of Foreclosure Only (value of property)
   Transfer Tax Value: $15,110,000.00
   Real Property Transfer Tax Due $77,061.00

4. **If Exemption Claimed:**
   a. Transfer Tax Exemption, per NRS 375.090, Section:
   b. Explain Reason for Exemption:

5. Partial Interest: Percentage being transferred: %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. **Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owned.**

Signature: Capacity: GRANTOR/SELLER
Signature: Capacity: GRANTEE/BUYER

| SELLER (GRANTOR) INFORMATION (REQUIRED) | | BUYER (GRANTEE) INFORMATION (REQUIRED) | |
|---|---|---|---|
| Print Name: | Gilcrease Orchard Foundation, a Nevada Nonprofit corporation | Print Name: | Spinnaker Homes IX, LLC, a Nevada limited liability company |
| Address: | | Address: | 4511 W Cheyenne #105 |
| City/State/Zip: | | City/State/Zip: | North Las Vegas, NV 89032 |

**COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)**

Print Name: Nevada Title Company Esc. #: 05-02-2195-DTL
Address: 2500 N Buffalo, Suite 150
City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

RECEIVED
APR 09 2010