

Public Hearing Notice



Separator Sheet

Application Information

RENOTIFICATION - SDR-36190 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: CORESTONE, LLC - Request for a Major Amendment to an approved Site Development Plan Review (SDR-29021) TO ALLOW A REDUCTION IN BUILDING AREA, SETBACKS AND OVERALL HEIGHT OF AN APPROVED URBAN LOUNGE on 0.13 acres at 123 East Charleston Boulevard (APN 139-34-410-046), C-2 (General Commercial) Zone, Ward 3 (Reese)

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: November 5, 2009
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Application Information

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Application Location



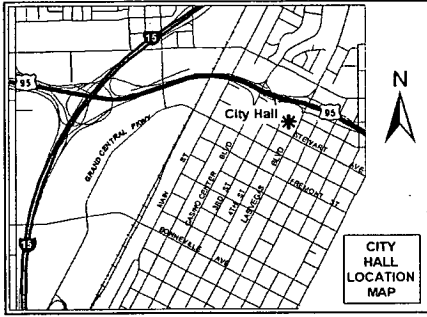
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Public Hearing Information

Meeting: Planning Commission
Date: November 5, 2009
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

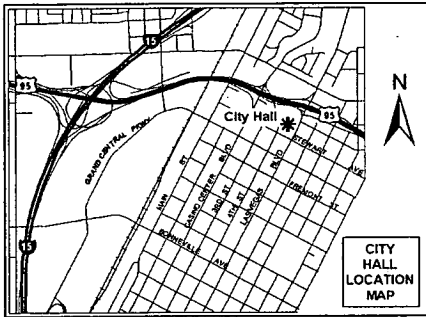
Please use available blank space on card for your comments.

SDR-36190

Planning Commission Meeting of 11/05/2009

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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SDR-36190

Planning Commission Meeting of 11/05/2009

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Application Location



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Public Hearing Information

Meeting: Planning Commission
Date: *October 22, 2009*
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

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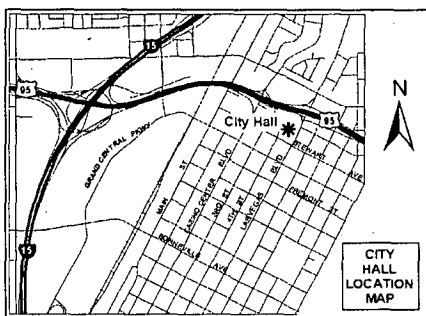
Public Hearing Information

Meeting: Planning Commission
Date: *October 22, 2009*
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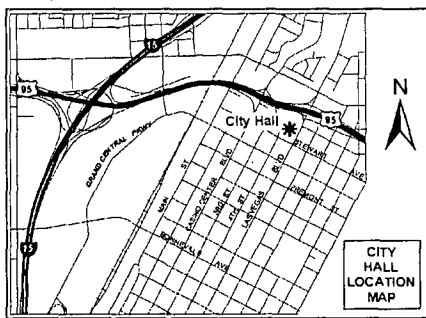
Please use available blank space on card for your comments.

SDR-36190

Planning Commission Meeting of 10/22/2009

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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SDR-36190

Planning Commission Meeting of 10/22/2009

Extraction List



Separator Sheet

PARCELS 190
LABELS 127

Report of All Selected Parcels

Case Number: SDR-36190

Printed On: Mon: September 28, 2009

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
305 LAS VEGAS L L C	421 HUDSON ST NEW YORK NY	13933898001
305 LAS VEGAS L L C	421 HUDSON ST NEW YORK NY	16203115001
3RD & CHARLESTON L L C	%EQUITY GROUP 8367 W FLAMINGO RD #201 LAS VEGAS NV	16203115002
4 CHARLESTON L L C	1669 HORIZON RIDGE PKWY #120 HENDERSON NV	16203110036
900-932 CASINO CENTER L L C	%ROYCE REALTY & MGT/R KRILICH SR 1000 ROYCE BLVD OAKBROOK IL	16203110075
900-932 CASINO CENTER L L C	8100 W SAHARA #200 LAS VEGAS NV	13934410035
900-932 CASINO CENTER L L C	%ROYCE REALTY & MGT/R KRILICH SR 1000 ROYCE BLVD OAKBROOK IL	13934410032
900-932 CASINO CENTER L L C	%ROYCE REALTY & MGT/R KRILICH SR 1000 ROYCE BLVD OAKBROOK IL	13934410037
900-932 CASINO CENTER L L C	%ROYCE REALTY & MGT/R KRILICH SR 1000 ROYCE BLVD OAKBROOK IL	13934410038
900-932 CASINO CENTER L L C	%ROYCE REALTY & MGT/R KRILICH SR 1000 ROYCE BLVD OAKBROOK IL	13934410034
900-932 CASINO CENTER L L C	%ROYCE REALTY & MGT/R KRILICH SR 1000 ROYCE BLVD OAKBROOK IL	13934410033
900-932 CASINO CENTER L L C	%ROYCE REALTY & MGT/R KRILICH SR 1000 ROYCE BLVD OAKBROOK IL	13934410036
ADAMS H M & BRIAN M	1341 CASHMAN DR LAS VEGAS NV	16203110047
ADAMS HERMAN M & BRIAN M	712 S 8TH ST LAS VEGAS NV	16203110048
AFRIAT INVESTMENTS INC	4602 WHITE OAK PL ENCINO CA	13933811003
AFRIAT INVESTMENTS INC	4602 WHITE OAK PL ENCINO CA	13933811004
APCAR FREDERIC & OLGA	1499 CAYUGA PKWY LAS VEGAS NV	13933801005
APCAR FREDERIC & OLGA	1499 CAYUGA PKWY LAS VEGAS NV	13933801006
ART CENTRAL L L C	%G DOWNES 1600 NATIONAL AVE SAN DIEGO CA	16203105002
ARTS FACTORY L L C	101 E CHARLESTON BLVD LAS VEGAS NV	13933811017
ATTISANI RICHARD W	1215 S COMMERCE LAS VEGAS NV	16203110118
ATTISANI RICHARD W	%A-1 OFFICE MACHINES 1215 N COMMERCE LAS VEGAS NV	16203110119
ATTISANI RICHARD W	1215 S COMMERCE LAS VEGAS NV	16203110117
ATTISANI RICHARD W	%A-1 OFFICE MACHINE CO 1215 S COMMERCE ST LAS VEGAS NV	16203110120
BADLY SCATTERED LAND & CATTLE CO	5574 S MOJAVE RD LAS VEGAS NV	16203110035
BADLY SCATTERED LAND & CATTLE CO	5574 S MOJAVE RD LAS VEGAS NV	16203110037
BAILEY K M & PRATO T 2003 LIV TR	105 W CHARLESTON LAS VEGAS NV	16204506008
BAILEY KAREN M & PRATO T LIV TR	%K BAILEY TRS ETAL 9220 GOLDEN EAGLE DR LAS VEGAS NV	16203110108
BAKER NEWTON & NANCY JANE TRUST	%WILLIAMS COSTUME 1226 S 3RD ST LAS VEGAS NV	16203110028
BAKER NEWTON J & NANCY J TR AGMT	1226 S 3RD ST LAS VEGAS NV	16203110051
BAPTIST MISSION TO ENGLAND INC	170 SALMON LN LONDON E147PQ UNITED KINGDOM	13933811013
BOZANIC MILT	3430 E FLAMINGO RD #226 LAS VEGAS NV	16203110077

Report of All Selected Parcels**Case Number:** SDR-36190**Printed On:** Mon: September 28, 2009

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
BOZANIC MILT	3430 E FLAMINGO RD #226 LAS VEGAS NV	16203110076
BRANDT-RING RUTH E LIVING TRUST	2012 CALLE DE ESPANA LAS VEGAS NV	16203110102
BURNS ROBERT M	1016 S 1ST ST LAS VEGAS NV	13933811025
C & J PROPERTIES L L C	1 E CHARLESTON BLVD LAS VEGAS NV	13933811021
C F HOUSE INC	%C FUNKHOUSER 1228 S CASINO CENTER BLVD LAS VEGAS NV	16203110063
C M S MISSION ARTS L L C ETAL	3450 CAHUENGA BLVD WEST #404 LOS ANGELES CA	13934410045
C M S MISSION ARTS L L C ETAL	3450 CAHUENGA BLVD WEST #404 LOS ANGELES CA	13934401010
C M S MISSION ARTS L L C ETAL	3450 CAHUENGA BLVD WEST #404 LOS ANGELES CA	13934401011
C M S MISSION ARTS L L C ETAL	3450 CAHUENGA BLVD WEST #404 LOS ANGELES CA	13934410043
C R CORPORATION	P O BOX 15229 LAS VEGAS NV	13934410098
CARJACK PROPERTIES L L C	%J SOLOMON ONE EAST CHARLESTON BLVD LAS VEGAS NV	13933811010
CARJACK PROPERTIES L L C	%J SOLOMON ONE EAST CHARLESTON BLVD LAS VEGAS NV	13933811009
CARJACK PROPERTIES L L C	%J SOLOMON ONE E CHARLESTON BLVD LAS VEGAS NV	13933811020
CASINO & HOOVER L L C	%A BERG 2700 W SAHARA AVE LAS VEGAS NV	13934410061
CAVIGLIA DENNIS G & C M MARTL TR	%D HECKETHORN 4181 SQUAW CREEK CT LAS VEGAS NV	13934410099
CHARLESTON MAIN CASINO L L C	%T MYNARCIK 6350 W CHEYENNE LAS VEGAS NV	16203110068
CHARLESTON MAIN CASINO L L C	%T MYNARCIK 6350 W CHEYENNE AVE LAS VEGAS NV	16203110069
CHARLESTON MAIN CASINO L L C	%T MYNARCIK 6350 W CHEYENNE AVE LAS VEGAS NV	16203110071
CHARLESTON MAIN CASINO L L C	%T MYNARCIK 6350 W CHEYENNE AVE LAS VEGAS NV	16203110070
CHARLESTON PROPERTIES CORP	P O BOX 33877 LAS VEGAS NV	13933811016
COBLENTZ ALEXANDER & T LIV TR	%S & A FELD 3207 BEL AIR DR LAS VEGAS NV	16203110106
COLD CREEK INC ETAL	%CLAYTON MTGE & INVEST 3041 W HO RIZON RIDGE PKWY #155 HENDERSON NV	16203110008
COLD CREEK INC ETAL	%CLAYTON MTGE & INVEST 3041 W HO RIZON RIDGE PKWY #155 HENDERSON NV	16203110007
COLD CREEK INC ETAL	%CLAYTON MTGE & INVEST 3041 W HO RIZON RIDGE PKWY #155 HENDERSON NV	16203110006
COLD CREEK INC ETAL	%CLAYTON MTGE & INVEST 3041 W HO RIZON RIDGE PKWY #155 HENDERSON NV	16203110009
COLD CREEK INC ETAL	%CLAYTON MTGE & INVEST 3041 W HO RIZON RIDGE PKWY #155 HENDERSON NV	16203110005
COLD CREEK INC ETAL	%CLAYTON MTGE & INVEST 3041 W HO RIZON RIDGE PKWY #155 HENDERSON NV	16203110010
CONSTANTI DENNIS & LESLIE	3322 BARNES CIR GLENDALE CA	13933811027
CORDON RODRIGO SALGUARO	1019 S MAIN ST LAS VEGAS NV	13933811024
CORESTONE L L C	107 E CHARLESTON BLVD LAS VEGAS NV	13934410046
CORNERSTONE COMPANY	9901 COVINGTON CROSS DR #170 LAS VEGAS NV	16203110011
DAGLIAN MICHAEL & NARINE	1207 EAST ELMWOOD AVE BURBANK CA	13934410007

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DAGLIAN MICHAEL & NARINE	1207 EAST ELMWOOD AVE BURBANK CA	13934410005
DEORO FAMILY TRUST	%M SOTO-HENRY 232 EMERALD VISTA WY LAS VEGAS NV	16203110064
DOWNTOWN MINI STORAGE PARTNERS	1120 LAS VEGAS BLVD S LAS VEGAS NV	16203112002
EASTVELD DIANE TRUST	4664 ROCKVALE DR LAS VEGAS NV	13933811022
ECKHOFF K & M 1998 LIV TR AGMT	P O BOX 42213 LAS VEGAS NV	16203110032
EISENBERG IVAN & BERNICE FAM TR	1200 S 3RD ST LAS VEGAS NV	16203110033
EISENBERG IVAN & BERNICE FAM TR	1200 S 3RD ST LAS VEGAS NV	16203110031
EISENBERG IVAN & BERNICE FAM TR	1200 S 3RD ST LAS VEGAS NV	16203110044
EL GRAN PATRON L L C	%S SIBLEY 930 S 4TH ST #100 LAS VEGAS NV	13934410101
EL GRAN PATRON L L C	930 S 4TH ST LAS VEGAS NV	13934410252
ENGLISH LAGENA ETAL	1400 LANDING BAY AVE HENDERSON NV	16203110065
FIXEL INVESTMENT GROUP LLC ETAL	3450 CAHUENGA BLVD WEST #704 LOS ANGELES CA	13933811018
FIXEL INVESTMENT GROUP LLC ETAL	3450 CAHUENGA BLVD WEST #704 LOS ANGELES CA	13933811019
FIXEL INVESTMENT GROUP LLC ETAL	3450 CAHUENGA BLVD WEST #704 LOS ANGELES CA	13934410044
FIXEL INVESTMENT GROUP LLC ETAL	3450 CAHUENGA BLVD WEST #704 LOS ANGELES CA	13934410010
FUMO OSVALDO E & IRMINA L	1212 S CASINO CENTER BLVD LAS VEGAS NV	16203110066
GARIBAY VENTURA	3615 TAYLOR AVE NO LAS VEGAS NV	16203110101
GEORGE 1979 TRUST ETAL	208 STONEWOOD CT LAS VEGAS NV	13934410088
GERBY INVESTMENTS I L L C	%D & R GERBY 3042 ROSANNA ST LAS VEGAS NV	13933811026
GIL RAUL & MARIA	1204 S MAIN ST LAS VEGAS NV	16203110116
GIL RAUL & MARIA GUADALUPE	1204 S MAIN ST LAS VEGAS NV	16203110132
GULL BROTHERS SOUTHBEACH L L C	P O BOX 10040 CHICAGO IL	13934410100
GWEDA HOLDING L P	1413 CASTLE CREST DR LAS VEGAS NV	13933811002
GWEDA HOLDING L P	1413 CASTLE CREST DR LAS VEGAS NV	13934410020
HEART ON INC	%G FISCHER 1005 S 3RD ST LAS VEGAS NV	13934410095
HEART ON INC	1001 S 3RD ST LAS VEGAS NV	13934410093
HEART ON INC	1001 S 3RD ST LAS VEGAS NV	13934410096
HEART ON INC RETIREMENT TRUST	1001 S 3RD ST LAS VEGAS NV	13934410094
HELMER ROBERT C & DIANE L FAM TR	8380 LAS LAGUNAS LN LAS VEGAS NV	13933801013
HORTEN FAMILY TRUST	1117 S COMMERCE ST LAS VEGAS NV	16203110112
HORTEN FAMILY TRUST	3720 ARBY LAS VEGAS NV	16203110114
HORTEN FAMILY TRUST	1117 S COMMERCE ST LAS VEGAS NV	16203110113

Report of All Selected Parcels**Case Number:** SDR-36190**Printed On:** Mon: September 28, 2009

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
HUE LOFTS AT ART CENTRAL L L C	P O BOX 36208 LAS VEGAS NV	16203110039
HUE LOFTS AT ART CENTRAL L L C	P O BOX 36208 LAS VEGAS NV	16203110040
IDEAL STAPLE CO	1212 S 3RD ST LAS VEGAS NV	16203110029
IDEAL STAPLE CO INC	1200 S 3RD ST LAS VEGAS NV	16203110030
IRWIN UNION COLLATERAL INC	500 WASHINGTON ST COLUMBUS IN	13934410257
IRWIN UNION COLLATERAL INC	500 WASHINGTON ST COLUMBUS IN	13934410047
J B S ENTERPRISE L L C	3245 ROSANNA ST LAS VEGAS NV	16203110109
JENSEN 1986 TRUST	1051 E ST LOUIS AVE LAS VEGAS NV	13934410008
JENSEN KATHIE B SEPARATE PPTY TR	1212 S 16TH ST LAS VEGAS NV	16203110073
JOHN J	%F ARMSTRONG 1110 STRONG ST LAS VEGAS NV	16203110097
KELESIS PETER G & DINA 1985 TR	1700 S 6TH ST LAS VEGAS NV	13934410090
KELESIS PETER G & DINA 1985 TR	1700 S 6TH ST LAS VEGAS NV	13934410089
KENEALLY AND SYD L L C	P O BOX 33253 LAS VEGAS NV	16203110034
KENYON L P	617 HOOVER AVE LAS VEGAS NV	13934410082
KINGSFORD TRUST EXMT TR	2976 AUGUSTA DR LAS VEGAS NV	13933811014
L V FIRST STREET L L C	P O BOX 60296 RENO NV	13934410017
L V FIRST STREET L L C	P O BOX 60296 RENO NV	13934410016
L V FIRST STREET L L C	P O BOX 60296 RENO NV	13934410015
LAS VEGAS EQUITIES L L C	10 SANTA EULALIA IRVINE CA	13934410060
LAS VEGAS INVESTORS L L C	P O BOX 730086 ORMOND BEACH FL	13933811015
LEAH PROPERTY L L C	%LIVEWORK L L C 41 E 60TH ST 6TH FL NEW YORK NY	13934410058
LEAH PROPERTY L L C	%LIVEWORK L L C 41 E 60TH ST 6TH FL NEW YORK NY	13934410057
LEAH PROPERTY L L C	%LIVEWORK L L C 41 E 60TH ST 6TH FL NEW YORK NY	13934410056
LEAH PROPERTY L L C	%LIVEWORK L L C 41 E 60TH ST 6TH FL NEW YORK NY	13934410059
LEGAL EXPRESS	911 S 1ST ST LAS VEGAS NV	13934410019
M W L L C	5795 ROGERS ST LAS VEGAS NV	16204506007
M W L L C	5795 ROGERS ST LAS VEGAS NV	16204506005
M W L L C	M W L L C 5795 ROGERS ST LAS VEGAS NV	16204506003
MAIN STREET LAS VEGAS L L C	3395 S JONES BLVD #202 LAS VEGAS NV	16203110083
MAIN STREET STUDIOS L L C	7201 LAKE MEAD BLVD #208 LAS VEGAS NV	16203110082
MAIN STREET VENTURES L L C	%T PRATO 105 W CHARLESTON LAS VEGAS NV	16203110100
MARSHALL ARTHUR & JAYN FAMILY TR	2877 PARADISE RD #1701 LAS VEGAS NV	13933811011

Report of All Selected Parcels**Case Number:** SDR-36190**Printed On:** Mon: September 28, 2009

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MARSHALL FAMILY L P	P O BOX 46470 LAS VEGAS NV	13934410006
MCMAHAN ROY R & NORMA P	1589 TRAVOIS LAS VEGAS NV	13934410054
MCMAHAN ROY R & NORMA P	1589 TRAVOIS LAS VEGAS NV	13934410055
MESQUITE WOOD 2 L L C	107 E CHARLESTON BLVD LAS VEGAS NV	16203110098
MESQUITE WOOD 2 L L C	107 E CHARLESTON BLVD LAS VEGAS NV	16203110099
MOLINA LIVING TRUST	P O BOX 15004 LAS VEGAS NV	16203110080
MOLINA LIVING TRUST	P O BOX 15004 LAS VEGAS NV	16203110078
MUSHKIN RHONDA L SEP PPTY TR	4475 S PECOS LAS VEGAS NV	13934410097
NASON WILLIAM F	5002 HAYSTACK LAS VEGAS NV	16203110115
NECAL ASSOCIATES L L C	7956 MARBELLA CIR LAS VEGAS NV	16203110072
NEVADA POWER COMPANY	%LAND SERV STA #9 P O BOX 98910 LAS VEGAS NV	13933811023
NEVADA POWER COMPANY	%LAND SERV STA #9 P O BOX 98910 LAS VEGAS NV	13934410011
NEVADA POWER COMPANY	%LAND SERV STA #9 P O BOX 98910 LAS VEGAS NV	13933811007
NEWTON TOM J JR	1201 S CASINO CENTER BLVD LAS VEGAS NV	16203110046
OEHLER 1992 TRUST	2115 TENAYA WY LAS VEGAS NV	16203110004
OEHLER 1992 TRUST	2115 TENAYA WY LAS VEGAS NV	16203110002
OEHLER 1992 TRUST	2115 TENAYA WY LAS VEGAS NV	16203110003
OPPORTUNITY VILLAGE ASSN	8076 W SAHARA AVE #A LAS VEGAS NV	13934410009
OPPORTUNITY VILLAGE ASSOCIATION	8076 W SAHARA AVE #A LAS VEGAS NV	13933811028
PLACES	229 LAS VEGAS BLVD S LAS VEGAS NV	16203110038
PLAZA DEVELOPMENT L L C	%L JOHNS 6275 VIA AUSTI PKWY #200 LAS VEGAS NV	16203111012
POCOROBA RICHARD	%M/M POCOROBA 60 COLLETON RIVER DR HENDERSON NV	13933801009
POLITIS VICTOR & MAYRA	4678 SADDLE PL LAS VEGAS NV	13933811008
PRO TRANS INC	924 S MAIN ST LAS VEGAS NV	13933811005
RANCHO ALEXANDER BUSINESS PK LLC	%T MYNARCIK 6350 W CHEYENNE LAS VEGAS NV	16203110079
REGIONAL TRANSPORTATION COMM	600 S GRAND CENTRAL PKWY #350 LAS VEGAS NV	13933801019
ROBERTS JOSEPH G REV FAM TR ETAL	711 RANCHO CIR LAS VEGAS NV	13933801004
ROLAND MARK C LIVING TRUST ETAL	4796 DOUBLE DOWN DR #103 LAS VEGAS NV	16203112001
RUGAR BRUCE LIVING TRUST	P O BOX 370160 LAS VEGAS NV	16203110050
RUGAR BRUCE LIVING TRUST	P O BOX 370160 LAS VEGAS NV	16203110049
S J & P A L L C	%S BALDWIN 44 INNISBROOK AVE LAS VEGAS NV	16203110045
S L S PROPERTIES TWO L L C	P O BOX 28887 LAS VEGAS NV	16203112005

Report of All Selected Parcels**Case Number:** SDR-36190**Printed On:** Mon: September 28, 2009

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
S S MICHAELS L L C	10413 CARMEL MOUNTAIN AVE LAS VEGAS NV	13934410018
SAUCER 5 L P	2881 S VALLEY VIEW #7 LAS VEGAS NV	13934410079
SAUCER 5 L P	2881 S VALLEY VIEW #7 LAS VEGAS NV	13934410080
SAUCER 5 L P	2881 S VALLEY VIEW #7 LAS VEGAS NV	13934410081
SEILER SANDRA RAGSDALE TR	P O BOX 5015 BUENA PARK CA	13934410137
SOLTERRA NEVADA L L C	460 FRASER VIEW PL DELTA BC V3M6H4	13934410084
SOLTERRA NEVADA L L C	460 FRASER VIEW PL DELTA BC V3M6H4	13934410085
SOLTERRA NEVADA L L C	460 FRASER VIEW PL DELTA BC V3M6H4	13934410083
SOLTERRA NEVADA L L C	460 FRASER VIEW PL DELTA BC V3M6H4	13934410086
SOUTH MAIN L L C	2425 PING DR HENDERSON NV	16203110067
SOUTH MAIN L L C	2425 PING DR HENDERSON NV	16203110081
SRABERG GERALD & ILENE	618 E 61ST ST LOS ANGELES CA	16203110110
SRABERG GERALD A & ILENE S	P O BOX 512037 LOS ANGELES CA	16203105001
STATE OF NEVADA	201 S FALL ST CARSON CITY NV	13933801012
STATE OF NEVADA DIV OF LANDS	901 S STEWART ST #5003 CARSON CITY NV	13933801011
STATE OF NEVADA DIV OF LANDS	901 S STEWART ST #5003 CARSON CITY NV	13933801010
SUTTON REVOCABLE TRUST	4916 MARATHON ST LOS ANGELES CA	16203110074
TRAUCO INC	3382 SOUTHRIDGE LAS VEGAS NV	13933811012
TRUSTEE CLARK COUNTY TREASURER	%BURUNSUZYAN MARO 2968 LAKERIDGE DR LOS ANGELES CA	13934410053
TRUSTEE CLARK COUNTY TREASURER	%BURUNSUZYAN MARO 550 N BRAND BLVD #1800 GLENDALE CA	13934410050
TRUSTEE CLARK COUNTY TREASURER	%BURUNSUZYAN MARO 550 N BRAND BLVD #1800 GLENDALE CA	13934410048
TRUSTEE CLARK COUNTY TREASURER	%BURUNSUZYAN MARO 550 N BRAND BLVD #1800 GLENDALE CA	13934410049
TSAI FAMILY L P III	323 E MAIN ST ALHAMBRA CA	16203110105
UNION PACIFIC RAILROAD COMPANY	%PPTY TAX 1400 DOUGLAS STOP 1640 OMAHA NE	13933801008
UNION PACIFIC RAILROAD COMPANY	%PPTY TAX 1400 DOUGLAS STOP 1640 OMAHA NE	13933801018
WATTENBARGER TRUST	1331 DARMAK DR LAS VEGAS NV	13934410087
WHEELER GREGG S & JILL	P O BOX 1018 DARBY MT	13933811006
Y S B M INVESTMENT L L C	2330 S HIGHLAND #220 LAS VEGAS NV	16203112003
Y S B M INVESTMENT L L C	2330 S HIGHLAND #220 LAS VEGAS NV	16203112004
ZANTAN PROPERTIES L L C	8709 RED RIO DR #103 LAS VEGAS NV	16203110107

Project Checklist



Separator Sheet

CITY OF LAS VEGAS
Planning & Development Department
SUBMITTAL CHECKLIST



Pre-Application Conference		Item Required		YES	NO
APPLICATION PACKET					
☒	☐	Application signed and notarized by all property owners or authorized agent(s)			
☒	☐	Grant deed and legal description			
☒	☐	Detailed justification letter			
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 1,030.00 Total			
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)			
☒	☐	Assessor's Parcel Map			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance (PRS)			
☒	☐	Color & Materials Board per Site Development Plan Review Submittal Requirements			
☒	☐	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☐)			
NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." --> "Apply for --> Planning Applications")					
SITE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	North arrow, scale, and vicinity map			
☒	☐	All property lines and present dimensions labeled			
☒	☐	All building setbacks labeled			
☒	☐	All adjacent existing land uses and street names labeled			
☒	☐	All points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized:			
☒	☐	Parking space count and typical dimensions labeled			
☐	☒	# regular + [30% or less of total] # compact + # handicap = Total			
☐	☒	All free-standing sign locations shown and heights and sizes noted			
NOTES: Folded Plans: 19 Colored, Rolled Plans: 1 Reduced Copy (8-1/2x11 BW): 1					
LANDSCAPE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	North arrow, scale, and vicinity map			
☒	☐	All property lines and present dimensions labeled			
☒	☐	All required perimeter landscape planters shown			
☒	☐	All required parking lot fingers/islands shown			
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover			
NOTES: Folded Plans: 3 Colored, Rolled Plans: 1 Reduced Copy (8-1/2x11 BW): 1					
BUILDING ELEVATIONS					
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	Scale and building dimensions labeled			
☒	☐	North, south, east, and west elevations of all buildings			
☒	☐	All building materials and colors noted			
☒	☐	8" x 10" photo of original color and material board			
☐	☒	All wall sign locations shown and sizes noted			
NOTES: Folded Plans: 2 Colored, Rolled Plans: 1 Reduced Copy (8-1/2x11 BW): 1					
FLOOR PLANS					
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	Scale and building dimensions labeled			
☒	☐	All building entrances/exits shown			
☒	☐	Use of all rooms noted/labeled			
☒	☐	Maximum Occupancy (per I.B.C.)			
☒	☐	Seating Capacity (where applicable)			
NOTES: Folded Plans: 1 Colored, Rolled Plans: 1 Reduced Copy (8-1/2x11 BW): 1					
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date					
Owner / Applicant:	Corestone LLC / Jawa Studios			Application Type:	Site Development Plan Review
Representative:	David Ellertsen			Application Purpose:	Major Amendment to an approved SDR-29021
APN:	139-34-410-046			Site Location:	123 E. Charleston Blvd
Planner's Signature:				Pre-App. Meeting Date:	09/24/09
Planner:	Ben Sticka, Planner II - 229-6745			Earliest Submittal Deadline:	10/06/09 no later than 2:00 pm
				Earliest PC / CC Meeting Dates:	4/1/09-PC 4/2/09-CC

SEP 25 2009

Action Letter



Separator Sheet

Mr. Wes Isbutt
SDR-36190 – Page Two
November 6, 2009

This action by the Planning Commission on *November 5, 2009* is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision or there is a review action filed by the City Council within the same time period. The Notice of Final Action was filed with the Las Vegas City Clerk on *November 6, 2009*.

Sincerely,

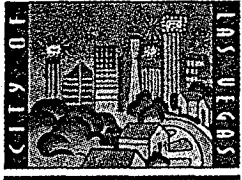
A handwritten signature in black ink, appearing to read 'Steve Gebeke', with a long horizontal line extending to the right.

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:nl

cc: Mr. David Ellertsen
JAWA Studio
107 East Charleston Boulevard
Las Vegas, Nevada 89104

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

November 6, 2009

Mr. Wes Isbutt
Corestone, LLC
107 East Charleston Boulevard
Las Vegas, Nevada 89104

RE: RENOTIFICATION - SDR-36190 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Wes Isbutt:

Your request for a Major Amendment to an approved Site Development Plan Review (SDR-29021) TO ALLOW A REDUCTION IN BUILDING AREA, SETBACKS AND OVERALL HEIGHT OF AN APPROVED URBAN LOUNGE on 0.13 acres at 123 East Charleston Boulevard (APN 139-34-410-046), C-2 (General Commercial) Zone, Ward 3 (Reese), was considered by the Planning Commission on November 5, 2009.

The Planning Commission voted to ***APPROVE*** of your request, subject to the following:

Planning and Development

1. Conformance to the Conditions of approval for Site Development Plan Review (SDR-32544), Site Development Plan Review (SDR-29021), Site Development Plan Review (SDR-15035), Special Use Permit (SUP-15038), Special Use Permit (SUP-15039), Vacation (VAC-26443) and Waiver (WVR-26441).
2. All development shall be in conformance with the site plan, landscape plan and building elevations date stamped 09/25/09, except as amended by conditions herein.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

Public Works

4. Site development to comply with all applicable conditions of approval for Site Development Plan Review SDR-15035, SDR-29021 and all other subsequent site-related actions.

Mayor
Oscar B. Goodman

City Council
Gary Reese

(Mayor Pro Tem)

Steve Wolfson

Lois Tarkanian

Steven D. Ross

Ricki Y. Barlow

Stavros S. Anthony

City Manager

Elizabeth N. Fretwell



Applicant Letter



Separator Sheet

PLANNING & DEVELOPMENT



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Las Vegas, NV 89101

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Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

October 23, 2009

Mr. Wes Isbutt
Corestone, LLC
107 East Charleston Boulevard
Las Vegas, Nevada 89104

RE: RENOTIFICATION - SDR-36190 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Wes Isbutt:

Please be advised the City Planning Commission at its regular meeting on *November 5, 2009* as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the ***final agenda*** will available on-line on *Thursday, October 29, 2009* at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:nl

cc: Mr. David Ellertsen
JAWA Studio
107 East Charleston Boulevard
Las Vegas, Nevada 89104

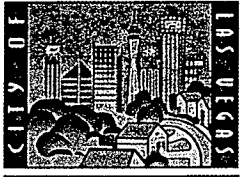
Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

October 20, 2009

Mr. Wes Isbutt
Corestone, LLC
107 East Charleston Boulevard
Las Vegas, Nevada 89104

RE: SDR-36190 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Isbutt:

Please be advised that your request for the above referenced item has been rescheduled as a result of a technical posting error from the Planning Commission's regularly scheduled meeting of **Thursday, October 22, 2009** to Thursday, **November 5, 2009** at 6:00 p.m. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, October 29, 2009** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. David Ellertsen
JAWA Studio
107 East Charleston Boulevard
Las Vegas, Nevada 89104

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



PLANNING & DEVELOPMENT



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Las Vegas, NV 89101

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www.lasvegasnevada.gov

October 9, 2009

Mr. Wes Isbutt
Corestone, LLC
107 East Charleston Boulevard
Las Vegas, Nevada 89104

RE: SDR-36190 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Isbutt:

Please be advised the City Planning Commission at its regular meeting on **October 22, 2009** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, October 16, 2009** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. David Ellertsen
JAWA Studio
107 East Charleston Boulevard
Las Vegas, Nevada 89104

Mayor
Oscar B. Goodman

City Council
Gary Reese

(Mayor Pro Tem)

Steve Wolfson

Lois Tarkanian

Steven D. Ross

Ricki Y. Barlow

Stavros S. Anthony

City Manager

Elizabeth N. Fretwell



Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: November 5, 2009

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-36190

18b The Las Vegas Arts District

Beverly Green NA

Downtown Business Operators Council

Fremont Street Experience Business Association

Gateway Neighborhood Association

Glen Heather Estates NA

Huntridge Park NA

John S. Park NA

L'Octaine Apartments Resident Council

Orleans Square NA

Rancho Manor NA

Rancho Oakey NA

Rancho South NCG

Saratoga Meadows NA

Scotch Eighty Organization

Southridge NA

Towne Terrace Apartments Resident Council

Village Paseo HOA

West Huntridge NA

#31

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: October 22, 2009

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-36190

18b The Las Vegas Arts District

Beverly Green NA

Downtown Business Operators Council

Fremont Street Experience Business Association

Gateway District Business Association

Glen Heather Estates NA

Huntridge Park NA

John S. Park NA

L'Octaine Apartments Resident Council

Orleans Square NA

Rancho Manor NA

Rancho Oakey NA

Rancho South NCG

Saratoga Meadows NA

Scotch Eighty Organization

Southridge NA

Towne Terrace Apartments Resident Council

Village Paseo HOA

West Huntridge NA

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-36190

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEMUS
*SID (DPW)	PATRICK MURPHY	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SDR-36190 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER:
CORESTONE, LLC - Request for a Major Amendment to an approved Site Development Plan Review (SDR-29021) TO ALLOW A REDUCTION IN SQUARE-FOOTAGE, BUILDING PLACEMENT AND OVERALL BUILDING HEIGHT OF AN APPROVED URBAN LOUNGE on 0.13 acres at 123 East Charleston Boulevard (APN 139-34-410-046), C-2 (General Commercial) Zone, Ward 3 (Reese)

PLANNING COMMISSION: **OCTOBER 22, 2009**
CITY COUNCIL: **NOVEMBER 18, 2009**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **SEPTEMBER 22, 2009**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Hansen Sheet



Separator Sheet

10/22/09
BCH

Report Date 09/28/2009 08:43 AM

Submitted By

Page 1

A/P # 36190 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages		Date / Time	By	Date / Time	By
Processed		09/25/2009 16:00	984528	Temp COO	
Approved				COO Issued	
Final				Expires	

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-36190 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: CORESTONE, LLC - Request for a Major Amendment to an approved Site Development Plan Review (SDR-29021) TO ALLOW A REDUCTION IN SQUARE-FOOTAGE, BUILDING PLACEMENT AND OVERALL BUILDING HEIGHT OF AN APPROVED URBAN LOUNGE on 0.13 acres at 123 East Charleston Boulevard (APN 139-34-410-046), C-2 (General Commercial) Zone, Ward 3 (Reese)

Parent A/P #

Project # 36190 Project/Phase Name URBAN LOUNGE
Size/Area 0.16 ACRE Size Description
Proposed Start Proposed Stop
% Complete Formula

Phase #

Subdivision Code
% Completed 0.00

Property/Site Information

Parcel 13934410046
Location

Owner/Tenant

Contact ID AC1649420	Name CORESTONE L L C	Organization
Mailing Address 107 E CHARLESTON BLVD		State/Province NV
City LAS VEGAS		Country
ZIP/PC 89104-1060		☐ Foreign
Day Phone (702)383-3133 x		Evening Phone
Fax		Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

123 E CHARLESTON BLVD
LAS VEGAS, 89101-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13934410046

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date** 09/28/2009 08:43 AM**Submitted By**

Page 2

Applicants/Contacts

Primary N **Capacity** OTHER **Other** REP **Contact ID** AC1696825 ☐ **Foreign**
Effective **Expire**
Name JAWA STUDIOS
Day Phone (702)598-1723 x **Eve Phone** **Organization**
Pager **PIN #** **Position**
Fax (702)598-1724 **Mobile** **Profession**
E-Mail
Address 107 E. CHARLESTON BLVD.
LAS VEGAS, NV 89104
Seasonal Addr
Valid From **To**
Comments No Comments

Primary Y **Capacity** OWNER **Contact ID** AC1649420 ☐ **Foreign**
Effective **Expire**
Name CORESTONE L L C
Day Phone (702)383-3133 x **Eve Phone** **Organization**
Pager **PIN #** **Position**
Fax **Mobile** **Profession**
E-Mail
Address 107 E CHARLESTON BLVD
LAS VEGAS, NV 89104-1060
Seasonal Addr
Valid From **To**
Comments No Comments

Contractors

No Contractors

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR) **Modified By** PGRIMYSER **Modified Date/Time** 09/25/2009 15:59
Comments
No Comments

SUBMITTAL CHECKLIST**Indicate if item is being submitted**

Y Pre-Application Conference Checklist	Y Site Plans (19 Folded Blue Lines, 1 Rolled Color)
Y Application/Petition Form	Y Landscape Plan
Y Deed and Legal Description	Y Building Elevations (2 Folded, 1 Rolled Color)
Y Justification Letter	Y Floor Plan (1 Folded, 1 Rolled)
Y Color and Material Board	Y Laser Print Site Plan
N DINA (Not Always Required)	Y Laser Print Floor Plan
Y Statement of Financial Interest	Y Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 09/28/2009 08:43 AM

Submitted By

Page 3

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance? Final City Council letter received
N Parent Project link required? Annotated minutes recieved
Y Will this go to the City Council? Is there a condition of approval for a Required Review?
Hearing Type
Public, Non-Public, Admin? PUBLIC If yes, when does it need to be reviewed?
Staff Recommendation
Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
10/22/2009	PC	SCHEDULED	0	0	0
PGRIMYSER	09/25/2009				

Template Type A/P #	A/P Type	Status	Stage
---------------------	----------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

PAYMNT	CO NAME WHO PICKED UP CONTACT# the Arts Factory ck 2023 / 383-3133 / David ellerertsen	983657	09/25/2009 16:02		0.00
--------	---	--------	------------------	--	------

Application



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SITE DEVELOPMENT REVIEW
 Project Address (Location): 123 E. CHARLESTON BLVD.
 Project Name: URBAN LOUNGE Proposed Use: _____
 Assessor's Parcel #(s): 139.34.410.046 Ward #: _____
 General Plan: existing _____ proposed _____ Zoning: existing _____ proposed _____
 Commercial Square Footage: 2,453 Floor Area Ratio: _____
 Gross Acres: 0.16 Lots/Units: _____ Density: _____
 Additional Information: _____

PROPERTY OWNER: CONESTONE LLC Contact: WES ISBUTT
 Address: 107 E. CHARLESTON BLVD. Phone: 383.3133 Fax: _____
 City: LAS VEGAS State: NEVADA Zip: 89104
 E-mail Address: STUDIOWEST@LVCM.COM

APPLICANT: SAME AS ABOVE Contact: _____
 Address: _____ Phone: _____ Fax: _____
 City: _____ State: _____ Zip: _____
 E-mail Address: _____

REPRESENTATIVE: JAWA STUDIO Contact: DAVID ELLENTSEN
 Address: 107 E. CHARLESTON BLVD. Phone: 598.1723 Fax: 598.1724
 City: LAS VEGAS State: NEVADA Zip: 89104
 E-mail Address: DAVID@JAWASTUDIO.COM

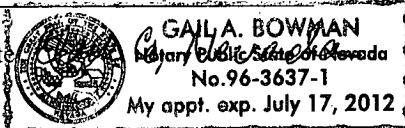
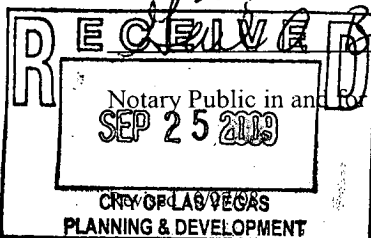
Property Owner Signature* [Signature]

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name: WESLEY ISBUTT

Subscribed and sworn before me

This 24th day of SEPT, 2009



FOR DEPARTMENT USE ONLY

Case #: SDR-36190
 Meeting Date: 10/22/09
 Total Fee: \$1030.00
 Date Accepted: 9/25/09
 Accepted By: P. GRAMISER

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development for consistency with applicable sections for the Zoning Ordinance.

F:\depot\Application Packet\Application Form.doc

Justification Letter



Separator Sheet

java studio
architecture • interior design
103 e. charleston ste. 105 las vegas nv 89104
702.598.1723 fax 702.598.1724

09.23.09
planning & development
development services center
city of las vegas

re: sdpr
urban lounge
las vegas, nv
apn: 139-34-410-046

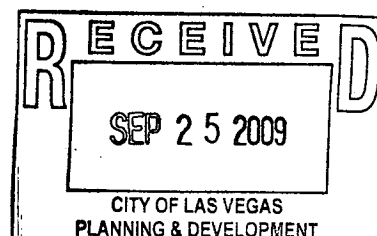
this submittal is to request an administrative update to the previously approved site development plan review (sdr-32544) for an urban lounge. the proposed project is a 2,453 s.f. lounge with 2,158 s.f. of patio located on a portion of the parcel referenced above. the site and building were revised in response to the client's need to reduce the project's costs. the proposed use complies with applicable provisions of the development code and the general plan; is compatible with adjacent uses in terms of scale, site design and operating characteristics; and will not cause substantial diminution of the value of other properties in the area it is located. public safety, transportation and utility facilities/services will be available to the subject property having no effect on the availability of the same services to existing adjacent development.

please call if you have any questions or need additional information

thank you,

j. david ellertsen

SDR-36190
10/22/09 PC



SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-36190** APN: 139.34.410.096
Name of Property Owner: CONESTONE LLC
Name of Applicant: SAME AS ABOVE
Name of Representative: JAWA STUDIO

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: [Signature]

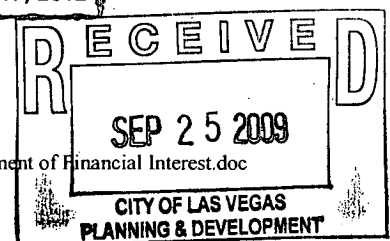
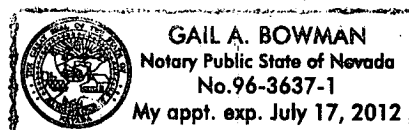
Print Name: WISTLEY / BUTT

Subscribed and sworn before me

This 24th day of SEPT, 2009

Gail A. Bowman

Notary Public in and for said County and State Clark County, Nevada



Deed



Separator Sheet

EXHIBIT "A"

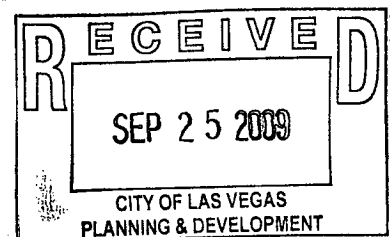
LOT THIRTY-TWO (32) IN BLOCK TEN (10) OF SOUTH ADDITION TO THE CITY OF LAS VEGAS AS SHOWN BY MAP THEREOF ON FILE IN BOOK 1 OF PLATS, PAGE 51 IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.

TOGETHER WITH THOSE PORTIONS DESCRIBED IN ORDER OF VACATION RECORDED FEBRUARY 8, 1949 AS DOCUMENT NO. 305880 AND ORDER OF VACATION RECORDED JUNE 20, 1991 IN BOOK 910620 AS DOCUMENT NO. 00856 OF OFFICIAL RECORDS.

EXCEPTING THEREFROM THAT PORTION DEDICATED BY DEDICATION RECORDED MAY 8, 1997 IN BOOK 970508 AS DOCUMENT NO. 01327 OF OFFICIAL RECORDS.

PREPARESSOR'S COPY

**SDR-36190
10/22/09 PC**



State of Nevada

Declaration of Value

1. Assessor Parcel Number(s)

- a) 139-34-410-046
b) _____
c) _____
d) _____

12

2. Type of Property:

- ☒ a) Vacant Land ☐ b) Sgl. Fam. Residence
☐ c) Condo/Twnhse ☐ d) 2-4 Plex
☐ e) Apt. Bldg. ☒ f) Comm'l/Ind'l
☐ g) Agricultural ☐ h) Mobile Home
☐ i) Other _____

FOR RECORDERS'S OPTIONAL USE ONLY

Document/Instrument #: _____
Book: _____ Page: _____
Date of Recording: _____
Notes: _____

3. Total Value/Sales Price of Property

\$479,160.00

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

\$479,160.00

Real Property Transfer Tax Due

\$2,445.45

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owned.

Signature: [Signature]

Capacity: GRANTOR/SELLER

Signature: [Signature]

Capacity: GRANTEE/BUYER

SELLER (GRANTOR) INFORMATION
(REQUIRED)

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: The Arts Factory, LLC, a Nevada limited liability company

Print Name: Corestone, LLC, a Nevada limited liability company

Address: 107 E. Charleston Blvd

Address: 107 E. Charleston

City/State/Zip: Las Vegas, NV 89101

City/State/Zip: Las Vegas, NV 89101

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

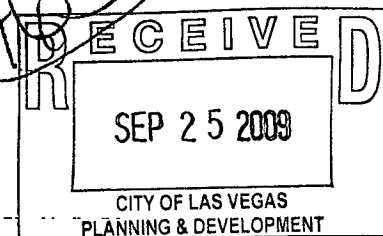
Print Name: Nevada Title Company

Esc. #: 06-03-0753-KR

Address: 2500 N Buffalo, Suite 150

City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)



4
1

20060511-0000463

Fee: \$16.00 RPTT: \$2,445.45
N/C Fee: \$0.00

05/11/2006 09:01:08
T20060083167

Requestor:
NEVADA TITLE COMPANY

Frances Deane JKA
Clark County Recorder Pas: 4

A.P. N.: 139-34-410-046
R.P.T.T.: \$2,445.45

Escrow #06-03-0753-KR

Mail tax bill to and
When recorded mail to:
Corestone, LLC
107 E. Charleston Blvd.
Las Vegas, NV 89101

12

GRANT, BARGAIN, SALE DEED

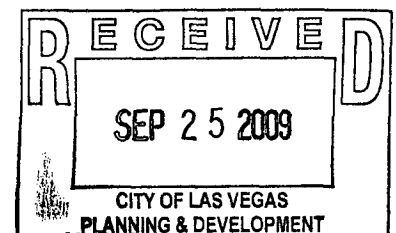
THIS INDENTURE WITNESSETH, That **The Arts Factory, LLC**, a Nevada limited liability company, for a valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to **Corestone, LLC**, a Nevada limited liability company, all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

**SEE LEGAL DESCRIPTION ATTACHED HERETO
AND MADE A PART HEREOF AS EXHIBIT "A".**

SUBJECT TO:

1. Taxes for the current fiscal year, not delinquent, including personal property taxes of any former owner, if any;
2. Restrictions, conditions, reservations, rights, rights of way and easements now of record, if any, or any that actually exist on the property.

TOGETHER WITH all singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.



IN WITNESS WHEREOF, this instrument has been executed this 4th day of May, 2006

The Arts Factory, LLC, a Nevada limited liability company

By: [Signature]

Print Name: WESTLEY SIBUTT

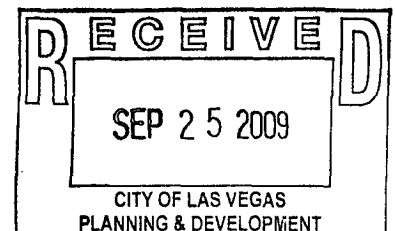
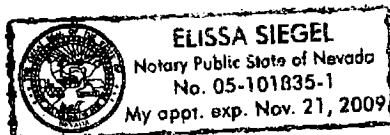
Title: MANAGER

State of NEVADA }

County of Clark } ss:

This instrument was acknowledged before me on May 4, 2006
by Westley Sibutt as Manager
of The Arts Factory, LLC, a Nevada limited liability company

[Signature]
NOTARY PUBLIC
My Commission Expires: 11/21/09



Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BH*
CC: Nancy Almanzan, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: September 28, 2009
Re: **SDR-36190** Corestone, LLC 123 E. Charleston Blvd.
Request for a Major Amendment to an approved Site Development Plan Review (SDR-29021)

COMMENTS:

We have no objection to the request for a Major Amendment to an approved Site Development Plan Review (SDR-29021) to allow a reduction in square footage, building placement and overall building height of an approved urban lounge for property located at 123 East Charleston Boulevard.

If approved we request that the following condition be imposed:

CONDITION OF APPROVAL:

1. Site development to comply with all applicable conditions of approval for Site Development Plan Review SDR-15035, SDR-29021 and all other subsequent site-related actions.

Nora Lares

RECEIVED

NOV 04 2009

From: Robert Summerfield
Sent: Wednesday, November 04, 2009 8:03 AM
To: Nora Lares
Cc: Doug Rankin; Steve Gebeke
Subject: TXT-36330 (Vehicle Parking in Residential Districts) Abeyance Request for 11/05 PC Item 57

Nora – Please update the abeyance request for this item to a 30-day request instead of the current two weeks. I believe that would put this on the 12/3 PC agenda. Sorry for the hassle.

Thanks - RTS



Robert Summerfield, AICP

Planner II
Planning & Development Department
City of Las Vegas
(702) 229-4856
FAX (702) 384-1397
rsummerfield@lasvegasnevada.gov



#57

11/4/2009

Nora Lares

RECEIVED
OCT 23 2009

From: Steve Gebeke
Sent: Friday, October 23, 2009 9:55 AM
To: Nora Lares
Cc: Flinn Fagg
Subject: DIR-35929 Abeyance to 12/03 PC

Per Flinn's request, please abey DIR-35929 - Progress report by the Planning & Development Department regarding input received at public input meetings for corridor and walkable community plans - to the 12/03 PC meeting.

Thanks.

Steve Gebeke

Planning Supervisor
Department of Planning and Development
City of Las Vegas
Office (702) 229-5410
Fax (702) 385-7268
sgebeke@lasvegasnevada.gov

#49

10/23/2009

INTER-OFFICE MEMORANDUM

NOV 17 2009

TO:
PLANNING AND DEVELOPMENT DEPARTMENT

FROM:
CITY CLERK

SUBJECT:
APPEAL OR CITY COUNCIL REVIEW INFORMATION
ON PLANNING COMMISSION
ACTIONS

COPIES TO:

This is to certify that the following action relative to the Planning Commission decision on the application of:

FILE NO.: RENOTIFICATION - SDR-36190 - SITE DEVELOPMENT PLAN
REVIEW

APPLICANT: APPLICANT/OWNER: CORESTONE, L

WARD: Ward 3 (Reese)

Appeal by applicant or any other aggrieved person:

Yes

No

Review requested by City Council:

Yes

No

NOV 17 2009
DATE

Vicky Darling
CITY CLERK

By: Vicky Darling
Chief Deputy City Clerk

PLANNING AND DEVELOPMENT DEPARTMENT INFORMATION:

Date of Planning Commission Action

November 5, 2009

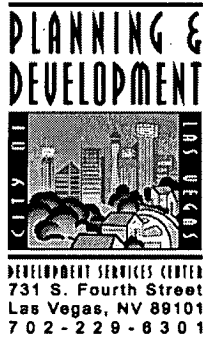
Last day for filing an appeal by applicant
or any other aggrieved person. (Appeal
period is 10 days after the date of the
PC decision).

November 16, 2009

Last day for a review being requested by
the City Council. (Review period is 10
days after the date of the PC decision.)

November 16, 2009

MEMORANDUM



To: Land Development
From: Nathan Goldberg
Phone: (702) 229-5409 Fax: (702) 385-0352
CC: Land Development Civil Plan Ref. # 28257
Date: 11/12/09 5th Review
Re: Urban Lounge (SDR-29021)

STATUS:☒ Cond. Appr.☐ Denied

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. Conformance with the landscape plan associated with SDR-32544.
2. Conformance to the conditions of approval for SDR-36190 and all other associated actions.
3. Vacation VAC-26443 must record prior to approval of mylars.
4. *Civil plan redlines must be returned with mylars for planning signature.*

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits, including civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

Plans (PMT)

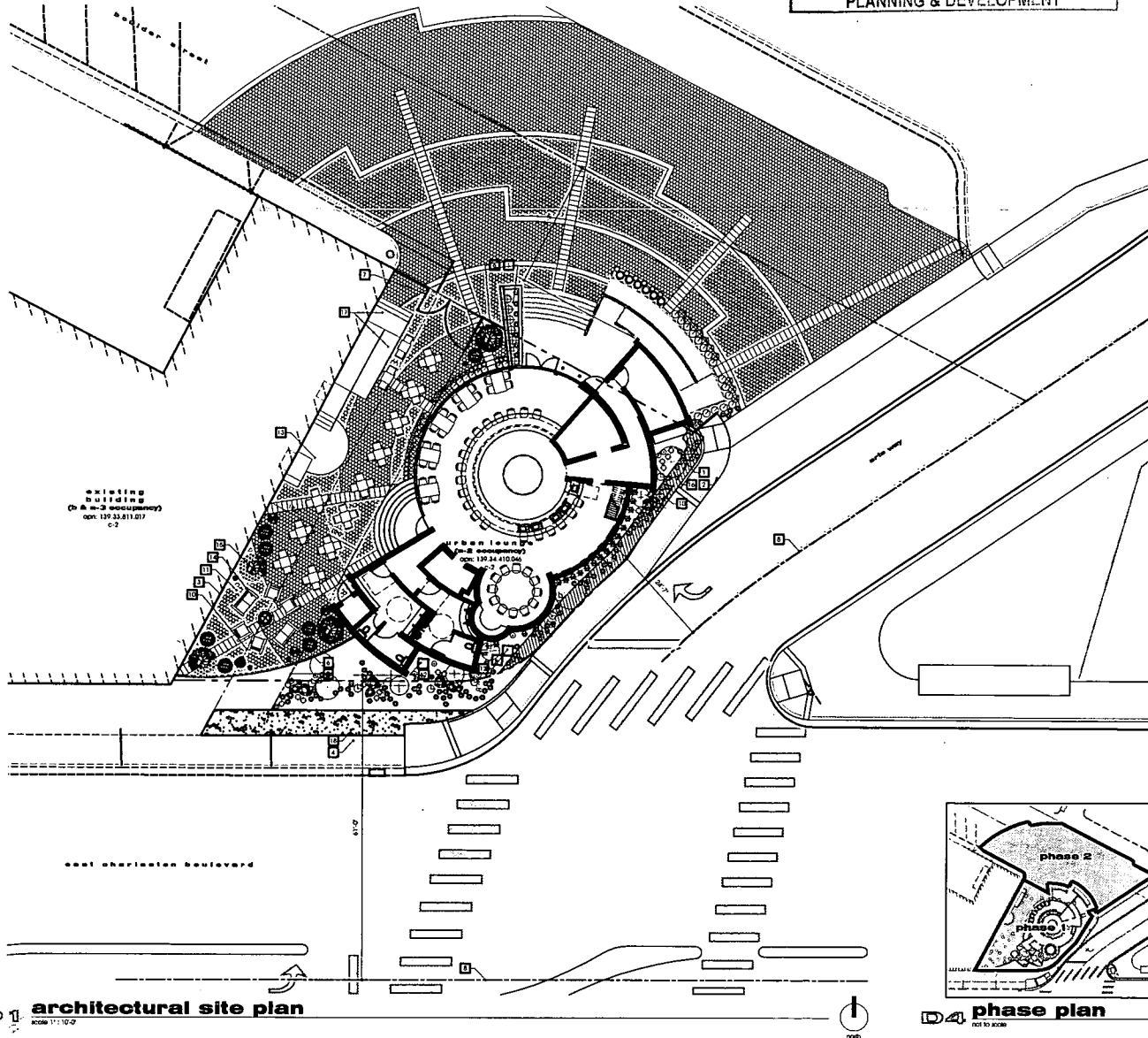
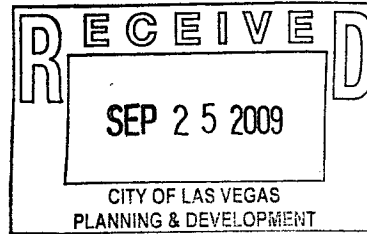


PLANS - PMT

Separator Sheet

urban lounge

123 east charleston boulevard



sheet index

A0.01	architectural site plan
A1.01a	floor plan
A4.01	exterior elevations
A4.02	exterior elevations
L1.00	landscape plan

keynotes

1	landscape
2	existing curb
3	existing building
4	existing site wall
5	accessibility route
6	masonry wall, by owner
7	masonry wall, by owner
8	light or way center line
9	accessment line
10	property line
11	precast concrete panels
12	sticker equipment containers, see section 1008.1.6
13	concrete pavement for stage (level with paving)
14	owner applied landscape, top
15	owner applied plants & pots, top
16	ornamental zone, see site drawings
17	existing ramp & stairs
18	new paving in addition to existing sidewalk, see site drawings

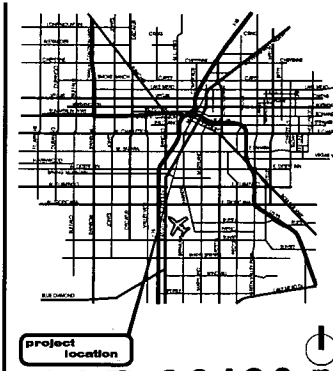
general notes

1. all exterior dimensions are from face of curb
2. refer to electrical drawings for location of additional site lighting and requirements
3. general contractors shall have scope not to damage or disturb existing utilities while excavating, grading, and/or during construction
4. contractors shall be responsible for all work shown on or required by architect and electrical drawings
5. slope of all plants and walls adjacent to the building away from structure except perimeter footing with foundation waterproofing to protect against water & moisture
6. the slope of all accessible routes shall not exceed 1:20 (max slope not to exceed 1:48)
7. all accessible routes shall be at least 36" min.
8. handrails to be provided at all interior doors as required by ICC section 1008.1.6

project data

building area	2,433 sf
parking required:	
urban lounge indoor dining (1,000 sf @ 160 sf)	20
urban lounge outdoor dining (2,148 sf @ 160 sf)	44
urban lounge total (3,148 sf @ 160 sf)	64
parking provided (on site)	6
parking data	
building area	2,433 sf
total area	0.16 acres
floor area	30%

vicinity map



architecture
interior design

107 E. Charleston Suite 160
Las Vegas NV 89104
tel: 702.598.1723
fax: 702.598.1724
mail@jawastudio.com

civil
interior
mechanical
electrical
masonry

planning

Documents prepared by the architect are instruments of service to the client and are not to be used for any other purpose without the written consent of the architect. The architect shall not be responsible for the use of the architectural documents except by mutual agreement in writing.

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NO.	DATE	REVISION
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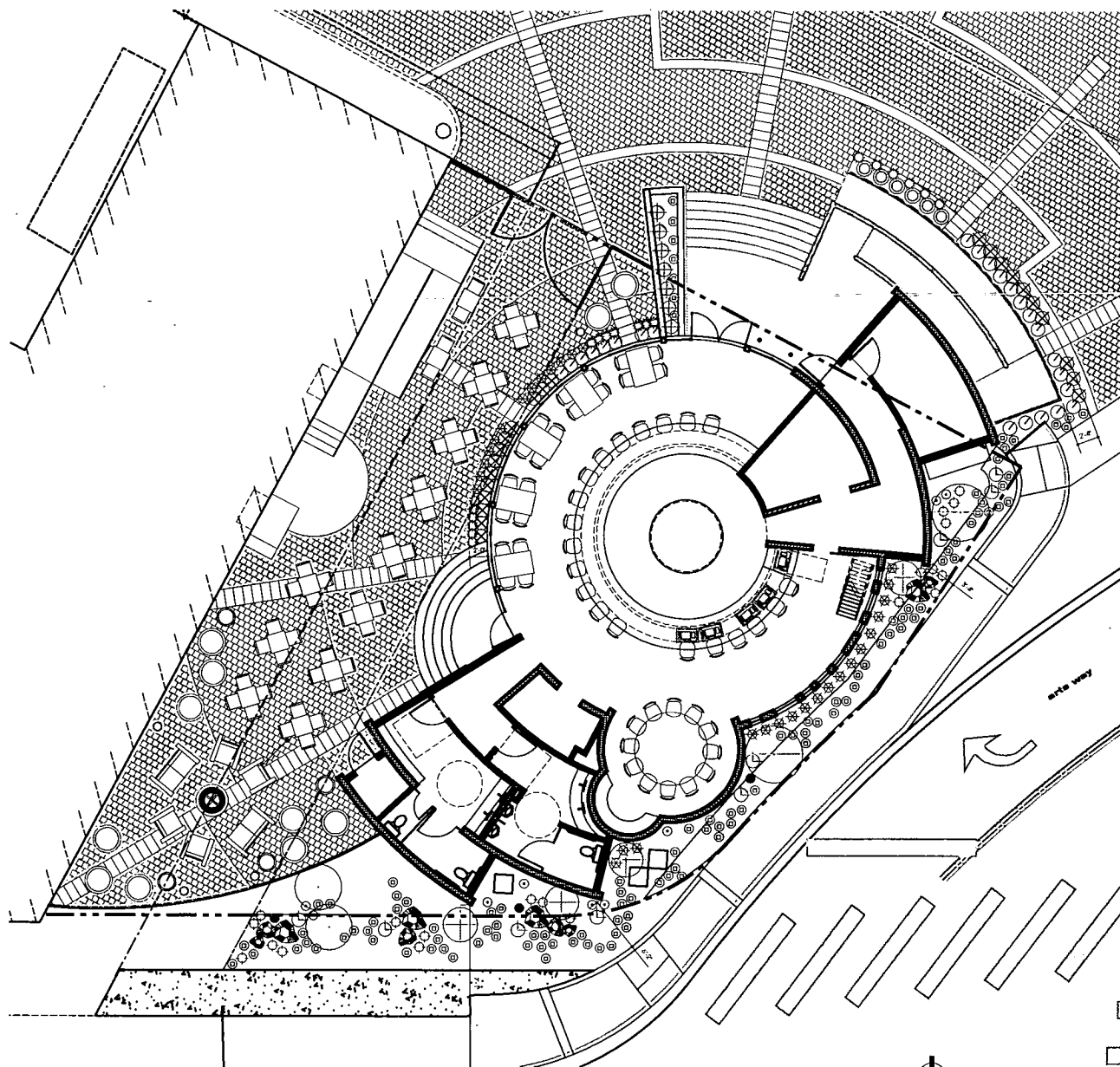
urban lounge
123 east charleston boulevard
las vegas nevada 89104

architectural
site plan

designed by
drawn by
09.23.09
09015

sheet no.
a0.01
add. dwg. by: 00016-001.dwg

SDR-36190
10/22/09 PC



landscape legend

trees

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	ACACIA BREVIFOLIA	SHOEBRING ACACIA	18 GAL.	2
	SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	15 GAL.	4
	FRAXINUS RUGOSA	ASH	15 GAL.	2

shrubs

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	FICUS BINNENDIJKII	PIEAPPLE GUAVA	1 GAL.	24
	YUCCA RECURVIFOLIA	CURVELEAF YUCCA	1 GAL.	9
	BUDLEJA DAVIDII	KOREAN BOWENWOOD	1 GAL.	6
	CALCEOLARIA PINNATIFIDA	CHINESE BUTTERFLY	1 GAL.	23
	EUCALYPTUS LAUROPHYLLA	BOX-LEAF EUCALYPTUS	1 GAL.	7

accent plants

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	AGAVE PARVIFLORA	PARVIFLORA AGAVE	1 GAL.	9
	DIANELLA CAERULEA	EVERGREEN SIS	1 GAL.	21
	HEBE PINNATIFIDA	RED YUCCA	1 GAL.	3
	MUHLENBERGIA CAPILLARIS	REGAL MIST MURRAY	1 GAL.	19
	PSEUDOTSUGA MUCRONATA	FIRECRACKER PINE	1 GAL.	20

groundcovers

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	BODIANTHUS CARYOPHYLLUS	PROSTRATE ROSEMARY	1 GAL.	111
	XYCARPUS LAEVIS	MONTANE GOLD - 1/2" SCREENED @ 2" DEEP IN ALL PLANTING AREAS		

boulders

SYMBOL	NAME	COLOR	SIZE	QTY
	GRANITE BOULDER	APACHE BROWN	3' X 3'	4
	GRANITE BOULDER	APACHE BROWN	3' X 2'	3
	GRANITE BOULDER	APACHE BROWN	2' X 2'	3

general notes

QUANTITIES SHOWN ARE FOR REFERENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COUNT PLANTS SHOWN ON THE PLAN.
 10% MINIMUM VEGETATION COVER REQUIRED IN ALL NON PAVED AREAS (TYP).
 PROVIDE ROOT GUARD WHERE TREES ARE LOCATED LESS THAN 5' FROM WALKWAYS (TYP).
 ALL TREE AREAS SHALL BE A MINIMUM OF 6' WIDE AND A MINIMUM OF 3' FROM ANY BUILDING FACE OR WALL (INCL. REARWALLS).
 BURY ALL BOULDERS 10" DEEP.

jawa
studio

architecture
interior design

107 E. Charleston Suite 150
Las Vegas NV 89104
tel. 702.598.1723
fax. 702.598.1724
mail@jawastudio.com

CME:

STRUCTURE:

MECHANICAL:

ELECTRICAL:

NOTE:

planning

Documents prepared by the architect are instruments of service to the client and are not to be used for any other purpose without the written consent of the architect. The architect shall retain all common law, statutory and other rights, including copyright. The client shall not make or permit the reuse of the architect's documents without the written consent of the architect.

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DATE	DESCRIPTION
09.23.09	09015

urban lounge
123 east charleston boulevard
las vegas nevada 89104

sheet title:

designed by:

drawn by:

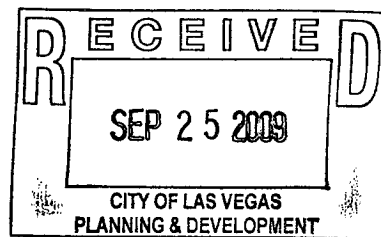
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job no:

sheet no:

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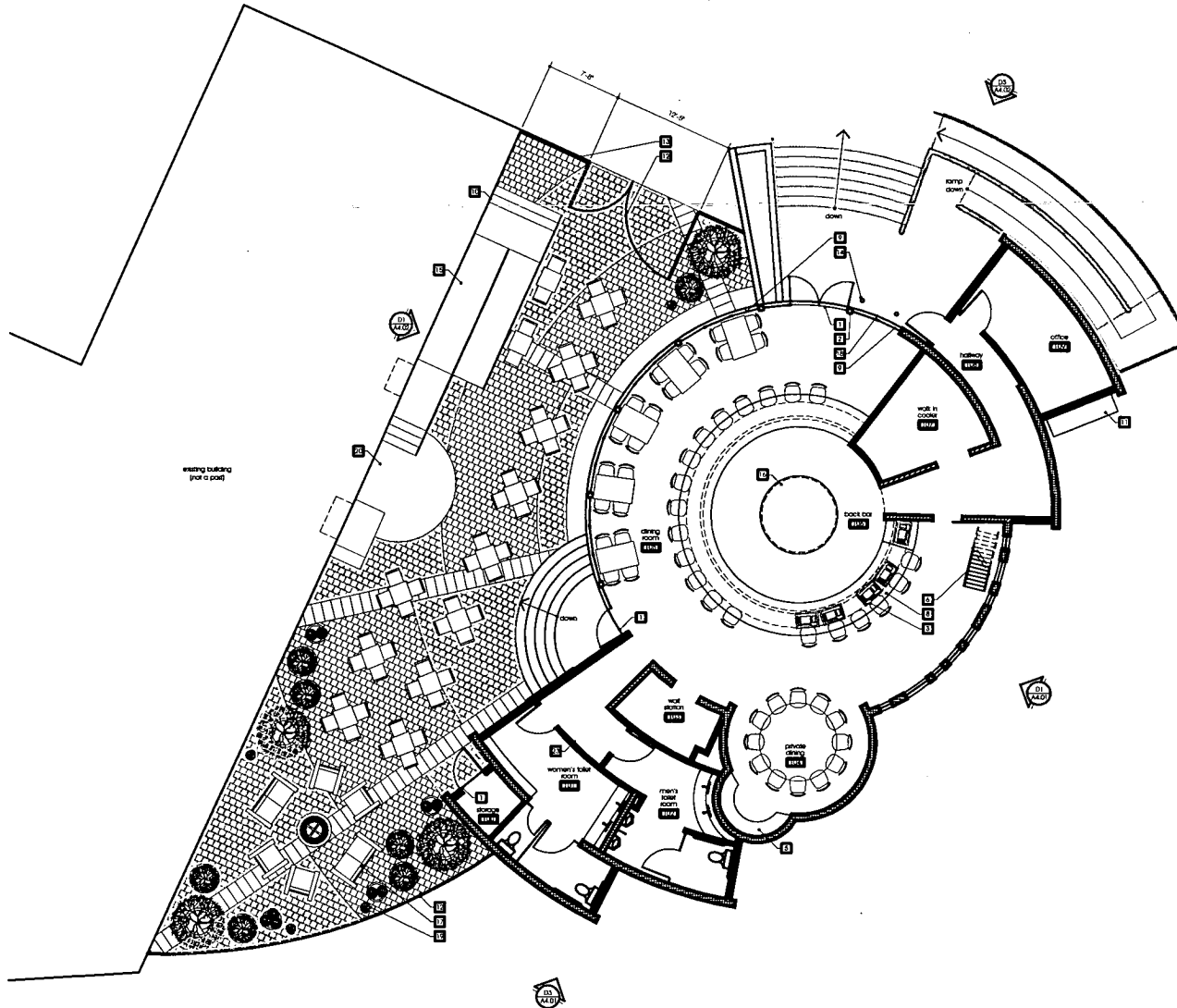
cod. chg. by: 001541.00



D 1 architectural site plan

scale 1"=10'-0"

SDR-36190
10/22/09 PC



D 1 floor plan
scale 3/16" = 1'-0"

keynotes

- 1 door threshold
- 2 column, typical, see structural drawings, for cut
- 3 grouting machine, typical, install per manufacturer's specifications
- 4 floor rating, owner supplied, contractor installed
- 5 buffet counter
- 6 roof access ladder
- 7 pavement designated to pavers
- 8 bar, see enlarged bar plan
- 9 loading dock, typical
- 10 existing building line
- 11 main switch gear, see electrical drawings
- 12 wrought iron fence, owner supplied, contractor installed
- 13 wrought iron gate, owner supplied, contractor installed
- 14 roof recessed light fixture, typical
- 15 existing ramp
- 16 dock box
- 17 owner supplied furnishings, typical
- 18 concrete step edge
- 19 owner supplied planters & pots
- 20 concrete easement for stage (level with pavement)
- 21 see site plan, 00.01 for additional power layout

wall legend

symbol	description
	2' x 6' wood studs framing @ 16' on center
	6' gauge 20 metal studs @ 24' on center
	3.5/6' 20 gauge metal studs @ 24' on center
	2' x 8' wood studs framing @ 16' on center

general notes

1. all dimensions are to the face of the stud, unless noted otherwise
2. install all fixtures and appliances per manufacturer's recommendations
3. refer to interior elevations and finish schedule for interior finishes
4. loadings & thresholds to be provided at all exterior doors as required by the 2006 IRC sections 1003.3.1.6 (partially), 1003.3.1.4 (floor openings), & 1003.3.1.6 (thresholds)
5. contractor to verify existing conditions
6. refer to site plan for additional information
7. coordinate architectural dimensions with structural drawings for foundation and/or required
8. provide insulation @ all exterior walls per energy code - see code analysis
9. provide water resistant gypsum board at all wet locations
10. angle walls @ lower 3.3 degrees vertically, angle walls everywhere else 4 degrees vertically

floor plan data

drinking water/water drinking	1,015 sq ft @ 1/15 sq ft	68 occupants
rest./bar/well status	751 sq ft @ 1/200 sq ft	4 occupants
office	155 sq ft @ 1/100 sq ft	3 occupants
entrance	437 sq ft @ 1/100 sq ft	8 occupants
storage	145 sq ft @ 1/200 sq ft	1 occupants
total	2,453 sq ft	84 occupants



architecture
interior design

107 E. Charleston Suite 150
Las Vegas NV 89104
tel: 702.598.1723
fax: 702.598.1724
mail@jawastudio.com

cat:

structure

mechanical

electrical

site

planning

Documents prepared by the architect are instruments of service for use solely with respect to the project. The architect shall retain all common law, statutory and other rights, including copyright. The owner shall not reuse or permit the reuse of the architect's documents without the architect's written consent.

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revision	description
1	DATE
2	DATE
3	DATE
4	DATE
5	DATE
6	DATE
7	DATE
8	DATE
9	DATE
10	DATE

urban lounge
123 east charleston boulevard
las vegas nevada 89104

sheet title:
ground floor plan

drawn/checked by:
de/jw

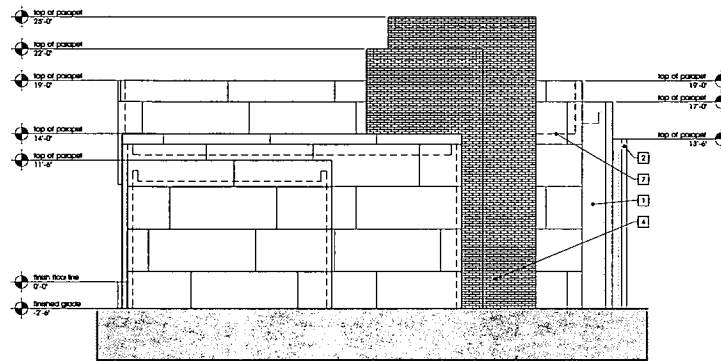
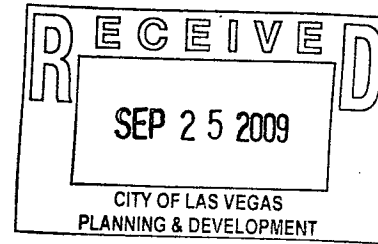
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09.23.09

job no.
09015

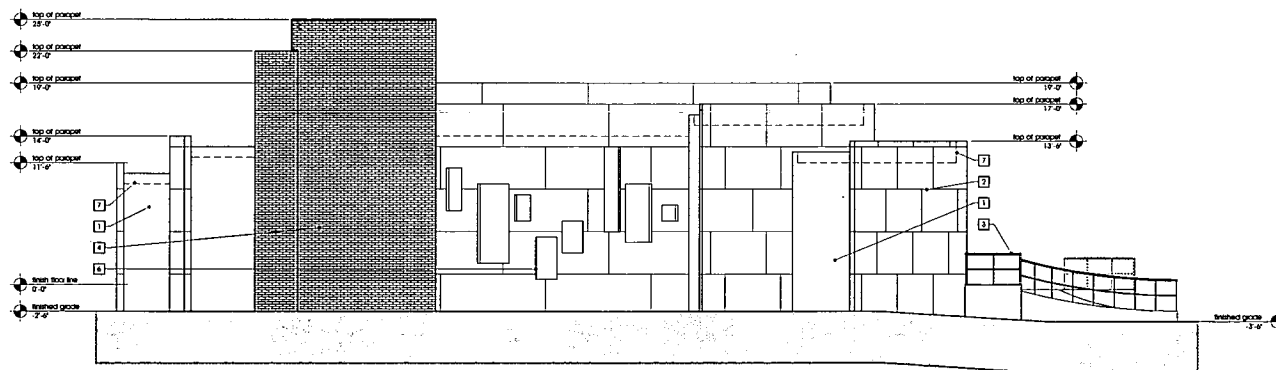
sheet no.
A1.01a

coord. dwg. file: 00015-A1.01a.dwg

SDR-36190
10/22/09 PC



D-3 south elevation
scale 3/16" = 1'-0"



D-1 east elevation
scale 3/16" = 1'-0"

keynotes

- 1 stucco over formwork - see exterior finish legend
- 2 column metal cladding over formwork - see exterior finish legend
- 3 metal siding / guardrail
- 4 metal veneer - see exterior finish legend
- 5 exposed rough sawn wood beams
- 6 aluminum barmed glazing - see window schedule
- 7 line of roof beyond - typical

exterior finish legend

- (F-1) stucco (plaster with acrylic paint finish three coats sand finish color to be determined)
- (MHC-1) thin metal veneer, "woodstock", s.c. masonry
- (C-1) column panels 4' x 10'

NOTE:
ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER
PROVIDE WEATHER RESISTIVE BARRIER AS REQUIRED FOR ALL EXTERIOR FINISHES
ANY SUBSTITUTION TO BE REVIEWED BY ARCHITECT



107 E. Charleston Suite 150
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matt@jawaastudio.com

structure
mechanical
electrical
hvac

planning

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REV.	DATE	DESCRIPTION

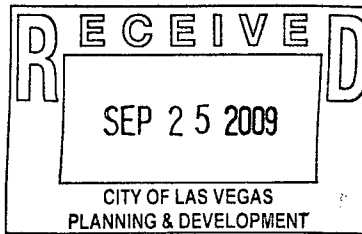
urban lounge
123 east charleston boulevard
las vegas nevada 89104

sheet title:
exterior elevation
designed/drawn by:
de/jw
date:
09.23.09
job no.
09015
sheet no.

A4.01

cost est. by: 00015-A4.01.dwg

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10/22/09 PC



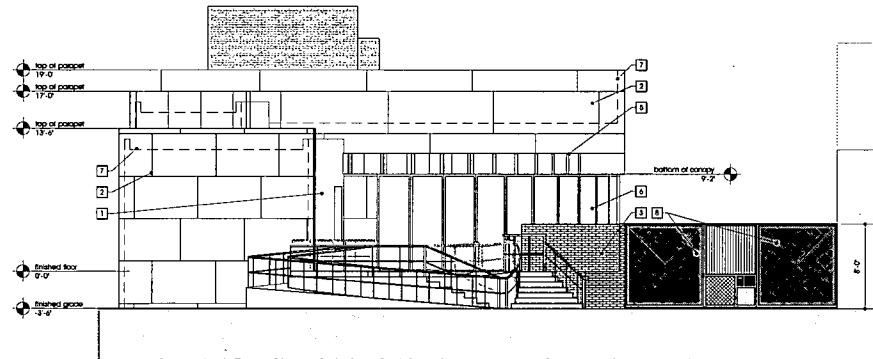
keynotes

- | | |
|---|---|
| 1 | stucco over forming - see exterior finish legend |
| 2 | stucco metal cladding over forming - see exterior finish legend |
| 3 | metal railing / guardrail |
| 4 | thin brick veneer - see exterior finish legend |
| 5 | exposed rough sawn wood beams |
| 6 | aluminum framed glazing - see window schedule |
| 7 | line of roof beyond - typical |
| 8 | decorative metal fence and gate |

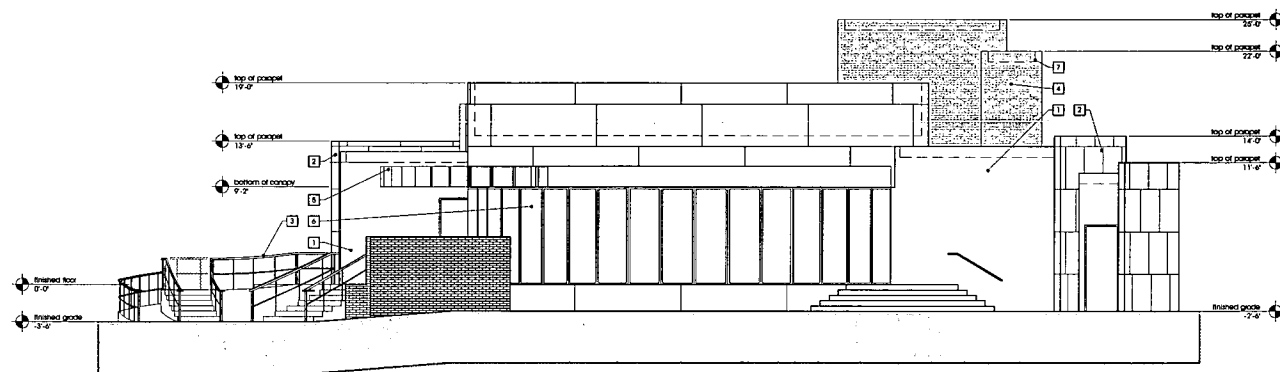
exterior finish legend

- | | |
|---------|---|
| (A-1) | exterior plaster with acrylic paint finish
three coats sand finish
color to be determined |
| BRICK-1 | thin brick veneer, "redwood", h.c. masonry |
| CH-1 | concrete panels
4' x 10' |

NOTE:
ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S
PROVIDE WEATHER RESISTIVE BARRIERS AS SHOWN FOR ALL
EXTERIOR FINISHES
ANY SUBSTITUTION TO BE REVIEWED
BY ARCHITECT



D 3 north elevation
scale 3/16" = 1'-0"



D 1 west elevation
scale 3/16" = 1'-0"

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architecture / interior design

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ONE

STRUCTURE

MECHANICAL

ELECTRICAL

WALL

planning

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REV.	DATE	DESCRIPTION

urban lounge
123 east charleston boulevard
las vegas nevada 89104

exterior elevations

designed by: **de/jw**
date: **09.23.09**
job no: **09015**

sheet no: **A4.02**

add chg. by: 0915-A4.02.dwg

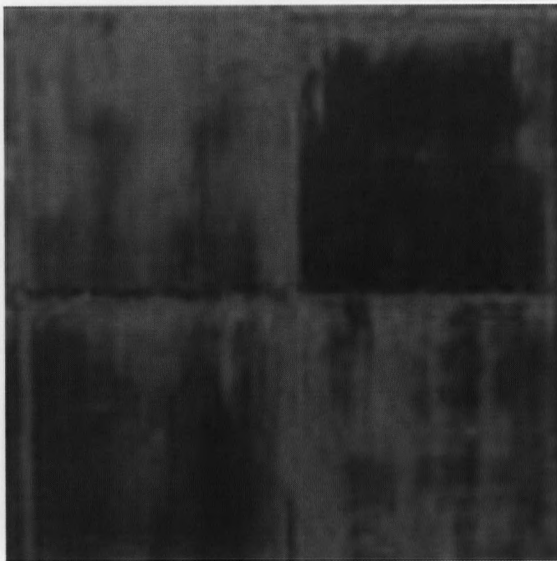
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m.c. muddox - thin brick - redwood



exposed rough sawn wood beams



cor-ten metal cladding



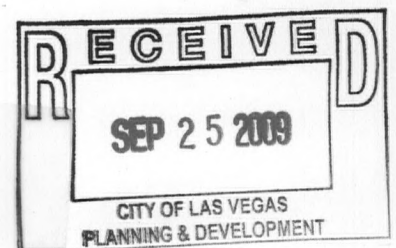
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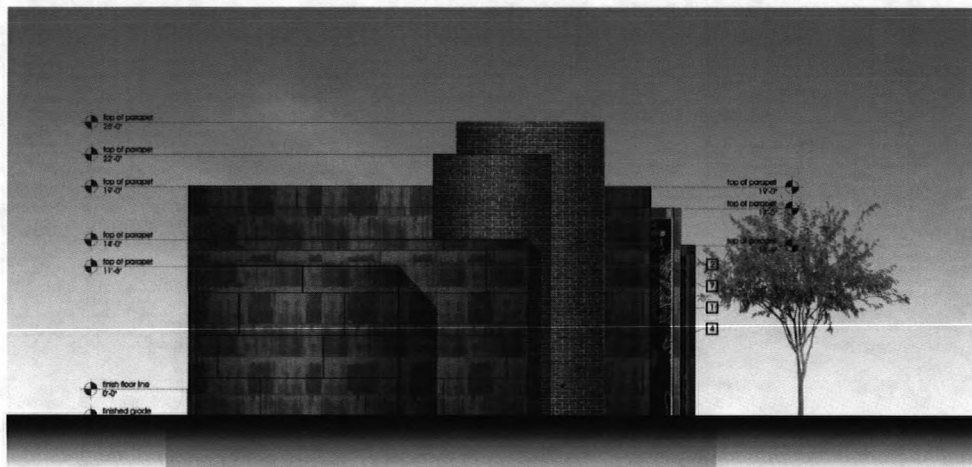
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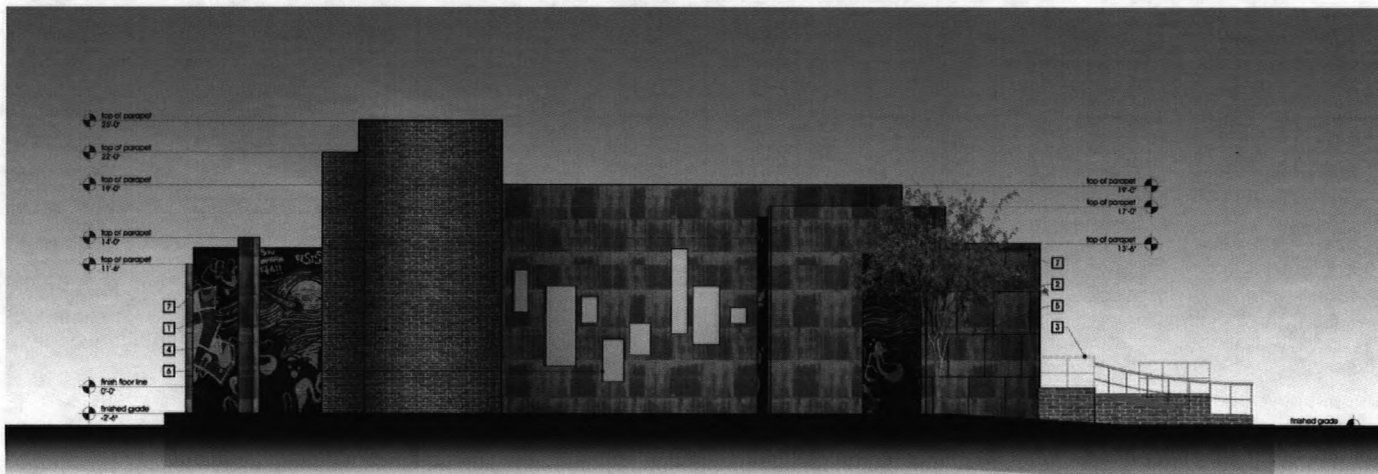
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702.598.1723 fax 702.598.1724

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D3 south elevation
scale 3/16" = 1'-0"



D1 east elevation
scale 3/16" = 1'-0"

keynotes

- 1 cotton metal cladding over framing - see exterior finish legend
- 2 stucco over framing or exposed brick - see exterior finish legend
- 3 metal railing / guardrail
- 4 wood siding - see exterior finish legend
- 5 standing seam metal roof of terrace only
- 6 aluminum framed glazing - see window schedules
- 7 line of roof beyond - typical

exterior finish legend

- BM-1 exterior plaster with acrylic paint finish
three coat system finish
color to be determined
- BM-2 vertically oriented dimensional wood siding
- CM-1 cotton panels
4' x 8'

NOTE:
ALL SUBMITTALS MUST BE PROVIDED FOR THE ARCHITECT
PROVIDE NUMBER AND DATE AS NOTED FOR ALL
EXTERIOR FINISHES
ANY SUBMITTALS TO BE REVIEWED BY ARCHITECT

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studio
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interior design

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date

structure

mechanical

electrical

site

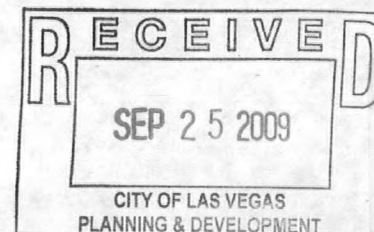
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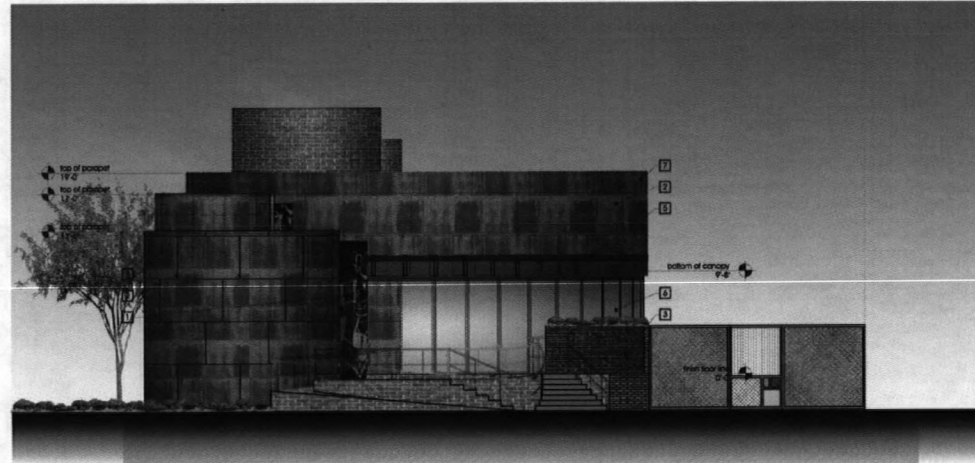
no.	date	description

project / address
urban lounge
123 east charleston boulevard
las vegas nevada 89104

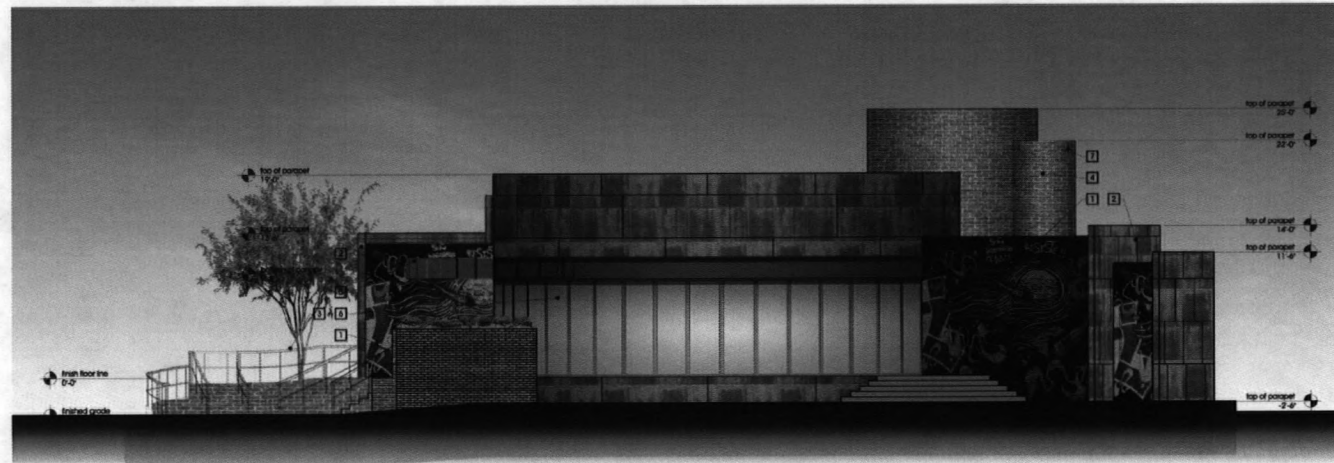
sheet title:
exterior elevation
designed by:
de/jw
date:
09.14.09
job no.
09015
sheet no.
A4.01
aut cad file: 0915-A4.01.dwg



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D3 north elevation
scale 3/16" = 1'-0"



D1 west elevation
scale 3/16" = 1'-0"

keynotes

- 1 color metal cladding over framing - see exterior finish legend
- 2 stucco over framing or exposed CMU - see exterior finish legend
- 3 metal railing / guardrail
- 4 wood siding - see exterior finish legend
- 5 standing seam metal roof of facade only
- 6 aluminum framed glazing - see door schedule
- 7 line of roof beyond - typical

exterior finish legend

- IN-1 exterior plaster with acrylic paint finish
top-coat sand finish
color to be determined
- WOOD-1 vertically oriented distressed wood siding
- CM-1 color panels
4 x 12"

NOTE:

ALL FINISHES SHOWN TO BE PROVIDED FOR MANUFACTURER
FINISHES SHOWN ARE NOT TO BE USED FOR ALL
EXTERIOR FINISHES
ANY FINISHES TO BE DETERMINED
BY ARCHITECT

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088

stucco

mechanical

metal

roof

preliminary

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no.	date	description

urban lounge
123 east charleston boulevard
las vegas nevada 89104

sheet title:
**exterior
elevations**

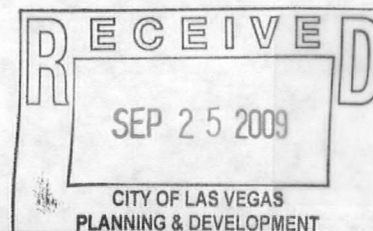
designed by:
cs/jw

date:
09.14.09

job no.:
09015

sheet no.:
A4.02

and dup. for: 09015A4.02.dwg



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