

Plans (PMT)



Separator Sheet

PRODUCT INFORMATION

CLUB (2-STORY SF DETACHED)

EXISTING ZONING: = P-C
REQUESTED ZONING: = SF3
TOTAL GROSS ACREAGE: = 57.44 AC
NUMBER OF LOTS: = 196
TYP. LOT SIZE: = 70' X 115'
LOTS PER ACRE (DU/GR.AC.): = 3.41
SEWAGE CONTRIBUTION:
AVERAGE: 196 ERU'S X 250 GPD/ERU = 49,000 GPD
PEAK FLOW: 49,000 GPD X 3.4 (PF) = 166,600 GPD
MINIMUM CORNER BACK
OF CURB RADIUS: = 20'

SETBACK REQUIREMENTS:

FRONT ENTRY GARAGE: = 20' FROM BACK OF SIDEWALK
FRONT OF HOUSE, OR SIDE
LOADED GARAGE: = 14' FROM BACK OF SIDEWALK
SIDE YARD: = 5'
CORNER LOT SIDE YARD: = 15' FROM BACK OF CURB OR
5' FROM HOA/COMMON LOT
WITH 9' MINIMUM WIDTH FROM
BACK OF CURB.

REAR YARD SETBACKS:

= 15'

TALAVERA (2-STORY SF DETACHED)

EXISTING ZONING: = P-C
REQUESTED ZONING: = SF3
TOTAL GROSS ACREAGE: = 50.20 AC
NUMBER OF LOTS: = 350
TYP. LOT SIZE: = 45' X 80'
LOTS PER ACRE (DU/GR.AC.): = 6.97
SEWAGE CONTRIBUTION:
AVERAGE: 350 ERU'S X 250 GPD/ERU = 87,500 GPD
PEAK FLOW: 87,500 GPD X 3.4 (PF) = 297,500 GPD
MINIMUM CORNER BACK
OF CURB RADIUS: = 20'

SETBACK REQUIREMENTS:

FRONT ENTRY GARAGE: = 20' FROM BACK OF SIDEWALK
FRONT OF HOUSE, OR SIDE
LOADED GARAGE: = 14' FROM BACK OF SIDEWALK
SIDE YARD: = 5'
CORNER LOT SIDE YARD: = 15' FROM BACK OF CURB OR
5' FROM HOA/COMMON LOT
WITH 9' MINIMUM WIDTH FROM
BACK OF CURB.

REAR YARD SETBACKS:

= 15'

PETALUMA (3-STORY SF ATTACHED)

EXISTING ZONING: = P-C
REQUESTED ZONING: = MF2
TOTAL GROSS ACREAGE: = 13.11 AC
NUMBER OF LOTS: = 219
LOTS PER ACRE (DU/GR.AC.): = 16.70
SEWAGE CONTRIBUTION:
AVERAGE: 219 ERU'S X 250 GPD/ERU = 54,750 GPD
PEAK FLOW: 54,750 GPD X 3.4 (PF) = 186,150 GPD
MINIMUM CORNER BACK
OF CURB RADIUS
(EXCEPT PRIVATE DRIVE AISLE'S): = 20'
MINIMUM CORNER BACK
OF CURB RADIUS
(PRIVATE DRIVE AISLE'S): = 15'

SETBACK REQUIREMENTS:

REAR ENTRY GARAGE: = 15' FROM CENTER OF
PRIVATE DRIVE AISLE
= 6' FROM PRIVATE DRIVE AISLE
FRONT OF HOUSE
2ND AND 3RD STORY: = 14' FROM CENTER OF
PRIVATE DRIVE AISLE
SIDE YARD (ATTACHED PRODUCT): = 0'
CORNER LOT SIDE YARD: = 5' FROM BACK OF CURB
FRONT SETBACKS: = 0'

GALLERY (2-STORY SF DETACHED)

EXISTING ZONING: = P-C
REQUESTED ZONING: = SF3
TOTAL GROSS ACREAGE: = 51.82 AC
NUMBER OF LOTS: = 260
TYP. LOT SIZE: = 55' X 100.5'
LOTS PER ACRE (DU/GR.AC.): = 5.02
SEWAGE CONTRIBUTION:
AVERAGE: 260 ERU'S X 250 GPD/ERU = 65,000 GPD
PEAK FLOW: 65,000 GPD X 3.4 (PF) = 221,000 GPD
MINIMUM CORNER BACK
OF CURB RADIUS: = 20'

SETBACK REQUIREMENTS:

FRONT ENTRY GARAGE: = 20' FROM BACK OF SIDEWALK
FRONT OF HOUSE, OR SIDE
LOADED GARAGE: = 14' FROM BACK OF SIDEWALK
SIDE YARD: = 5'
CORNER LOT SIDE YARD: = 15' FROM BACK OF CURB OR
5' FROM HOA/COMMON LOT
WITH 9' MINIMUM WIDTH FROM
BACK OF CURB.

REAR YARD SETBACKS:

= 15'

VENTANA (3-STORY SF DETACHED)

EXISTING ZONING: = P-C
REQUESTED ZONING: = SF3
TOTAL GROSS ACREAGE: = 33.93 AC
NUMBER OF LOTS: = 257
TYP. LOT SIZE: = 38' X 84'
LOTS PER ACRE (DU/GR.AC.): = 7.57
SEWAGE CONTRIBUTION:
AVERAGE: 257 ERU'S X 250 GPD/ERU = 64,250 GPD
PEAK FLOW: 64,250 GPD X 3.4 (PF) = 218,450 GPD
MINIMUM CORNER BACK
OF CURB RADIUS
(EXCEPT DRIVE AISLE'S): = 20'
MINIMUM CORNER BACK
OF CURB RADIUS
(DRIVE AISLE'S): = 15'

SETBACK REQUIREMENTS:

FRONT (MAIN BUILDING): = 14' FROM BACK OF CURB
FRONT (PORCH): = 15' FROM BACK OF CURB
SIDE YARD: = 5'
CORNER LOT SIDE YARD: = 15' FROM BACK OF CURB OR
5' FROM HOA/COMMON LOT
WITH 9' MINIMUM WIDTH FROM
BACK OF CURB.

REAR YARD SETBACKS:

= 15'

DANBURY (3-STORY SF ATTACHED)

EXISTING ZONING: = P-C
REQUESTED ZONING: = MF2
TOTAL GROSS ACREAGE: = 18.00 AC
NUMBER OF LOTS: = 254
LOTS PER ACRE (DU/GR.AC.): = 14.11
SEWAGE CONTRIBUTION:
AVERAGE: 254 ERU'S X 250 GPD/ERU = 63,500 GPD
PEAK FLOW: 63,500 GPD X 3.4 (PF) = 215,900 GPD
MINIMUM CORNER BACK
OF CURB RADIUS: = 20'
MINIMUM CORNER BACK
OF CURB RADIUS
(EXCEPT PRIVATE DRIVE AISLE'S): = 15'

SETBACK REQUIREMENTS:

REAR ENTRY GARAGE: = 15' FROM CENTER OF
PRIVATE DRIVE AISLE
= 6' FROM PRIVATE DRIVE AISLE
FRONT OF HOUSE
2ND AND 3RD STORY: = 14' FROM CENTER OF
PRIVATE DRIVE AISLE
SIDE YARD (ATTACHED PRODUCT): = 0'
CORNER LOT SIDE YARD: = 5' FROM BACK OF CURB
FRONT SETBACKS: = 0'

ENGINEER AND SURVEYOR

G.C. WALLACE, INC.
6855 S. CHARRON RD.
LAS VEGAS, NEVADA 89113
PHONE (702) 804-2000

UTILITY SERVICE BY

LAS VEGAS VALLEY WATER DISTRICT
CITY OF LAS VEGAS SEWER
REPUBLIC SERVICES OF SOUTHERN NEVADA
NEVADA POWER COMPANY
SPRINT TELEPHONE COMPANY
SOUTHWEST GAS CORPORATION
COX COMMUNICATIONS

RECORD OWNER

THE HOWARD HUGHES CORPORATION
10000 W. CHARLESTON BLVD. #200
LAS VEGAS, NEVADA 89135

SUBDIVIDER/DEVELOPER

PULTE HOMES, INC.
8346 W. SUNSET RD.
LAS VEGAS, NEVADA 89113
PHONE (702) 256-7900

LEGEND

LOT NUMBER
SEWER LINE
EXISTING SEWER LINE
WATER LINE
EXISTING WATER LINE
BOUNDARY OF TENTATIVE MAP
EXIST. CONTOURS
STANDARD FIRE HYDRANT
STREET AND SEWER GRADE
AND DIRECTION
STREET R.O.W. W/ LANDSCAPE

VILLAGE 26 - AREA TABULATION

	ACRES
CLUB	57.44
GALLERY	51.82
TALAVERA	50.20
VENTANA	33.93
PETALUMA	13.11
DANBURY	18.00
RECREATIONAL CENTER	5.80
ENTRY ROAD	4.80
LAKE MEAD BLVD.	3.10
AREA IN BELTWAY R.O.W.	14.60
CHEVYNE ACCESS ROAD	2.40
DETENTION BASIN	15.97
RETENTION BASIN	2.50
UNDEVELOPABLE AREA	40.64
Total	314.38

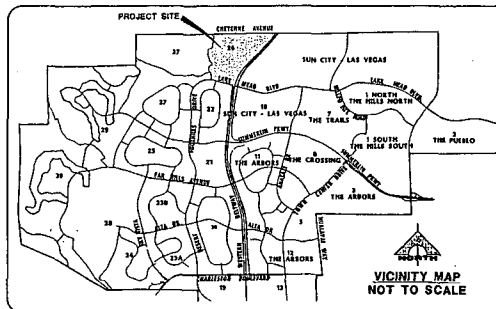
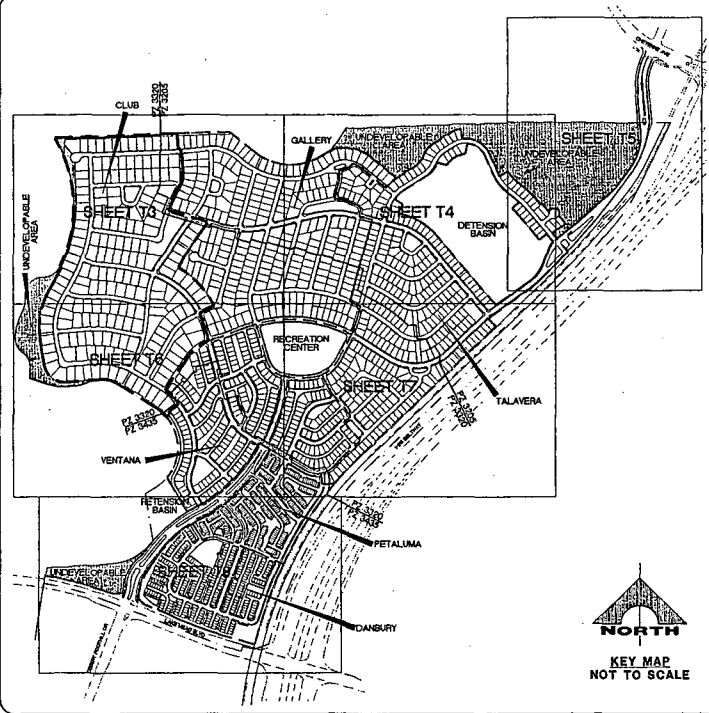
REQUESTED DEVIATIONS

1. INTERSECTION OF 1ST PRIVATE DRIVE AILE TO STREET
2. BASE OF PRIVATE DRIVE CROWNED FROM 10% TO 12% DUE
3. FLARE ADJACENT DRIVE CURB ON MEDIAN
4. 15' DRIVE LANE ON THE 1ST MEDIAN STREET VS. THE 14' DRIVE LANE IN THE 15' MEDIAN DRIVE (1ST & 2ND DRIVE LANE)
5. ALLOW STRAIGHT 25' IN 35' CROSS-CROWNED STREET BEHIND NECESSARY TO ALLOW THE MEDIAN TO PICK UP DRIVE DRIVE AND PROJECT SITE

REQUESTED WAIVERS

1. PRIVATE DRIVE AILE LENDING
2. PRIVATE DRIVE AILE 10'-0" DECK LIFT TO 20'
3. PRIVATE DRIVE AILE 10'-0" DECK LIFT TO 20'
4. MASS GRADING THE DRIVE SITE WITH A CONTOUR GRADING PLAN
5. FURNISH ONLY REPORT IT HAS NETWORK SHALL WITH P HALL SHOWN MAP
6. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)
7. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)
8. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)
9. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)
10. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)
11. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)
12. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)
13. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)
14. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)
15. 15' DRIVE LANE (1ST & 2ND DRIVE LANE)

SUMMERLIN REVERENCE A GREEN COMMUNITY AT SUMMERLIN APN'S 137-13-101-003 & 137-14-501-003



SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC
JUN 03 2006

DEVELOPER

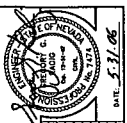
Pulte Homes
PULTE HOMES OF NEVADA
8346 W. SUNSET ROAD
LAS VEGAS, NEVADA 89113
OFFICE PHONE NO. (702) 914-4800
OFFICE FAX NO. (702) 914-4997

OWNER

THE HOWARD HUGHES CORPORATION
10000 W. CHARLESTON BLVD. #200
LAS VEGAS, NEVADA 89135

G.C. WALLACE, INC. Engineers/Planners/Surveyors

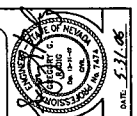
1555 SOUTH RAINBOW BLVD. LAS VEGAS, NEVADA 89146
OFFICE: (702) 804-2000, FAX: (702) 804-2299
SUMMERLIN OFFICE 10000 CHARLESTON BLVD., STE. 130
OFFICE: (702) 804-2180, FAX: (702) 804-2285



REVERENCE (VILLAGE 26)
A GREEN COMMUNITY AT SUMMERLIN
PULTE HOMES
SITE PLAN
DRAWING
T1
1 OF 12 SHEETS

SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC

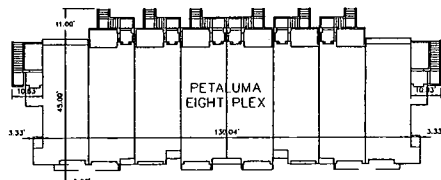
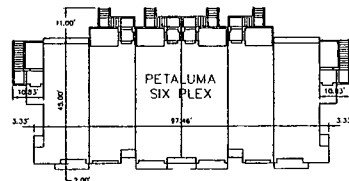
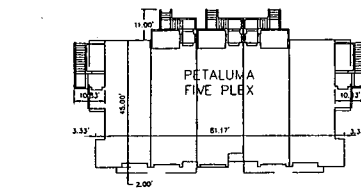
RECEIVED
JUN 02 2006



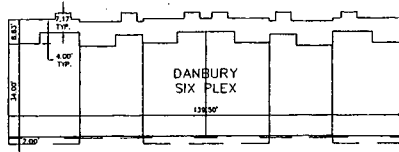
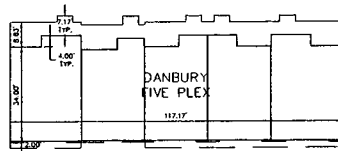
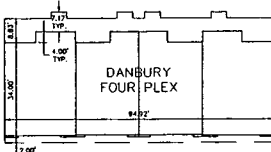
DATE: 5.31.06
PROJECT: PETALUMA AND DANBURY
SHEET: 12 OF 12
DRAWING: SITE PLAN

G.C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SERVANTS
1000 N. 2ND STREET, SUITE 100, LAS VEGAS, NV 89101
TEL: 702.735.1100 FAX: 702.735.1101
WWW.GCWALLACE.COM

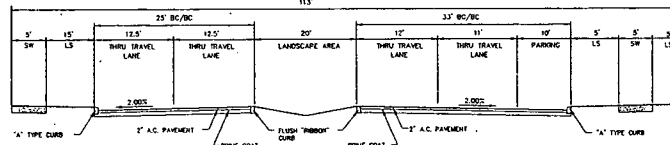
REFERENCE: VILLAGE 20
A GREEN COMMUNITY AT SUMMERLIN
FULTON HOMES
SITE PLAN
DRAWING
T2
2 OF 12 SHEETS



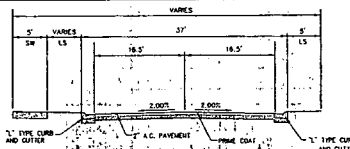
2 PETALUMA TYPICAL LAYOUT
NOT TO SCALE



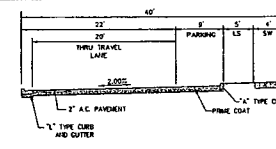
1 DANBURY TYPICAL LAYOUT
NOT TO SCALE



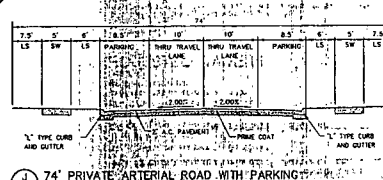
H 113' PRIVATE ENTRY ARTERIAL ROAD WITH PARKING
NOT TO SCALE



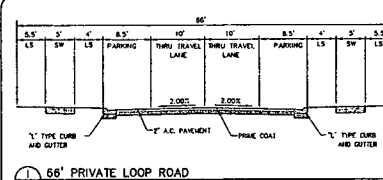
L 37' PRIVATE ROAD SECTION
NOT TO SCALE



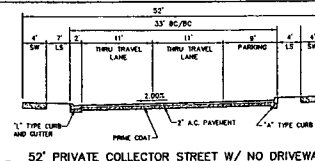
K 40' PRIVATE ONE WAY ROAD W/ DETACHED SIDEWALK
NOT TO SCALE



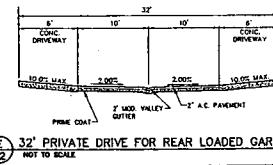
J 74' PRIVATE ARTERIAL ROAD WITH PARKING
NOT TO SCALE



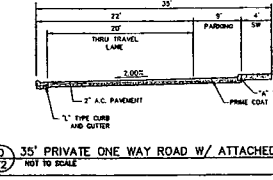
I 66' PRIVATE LOOP ROAD
NOT TO SCALE



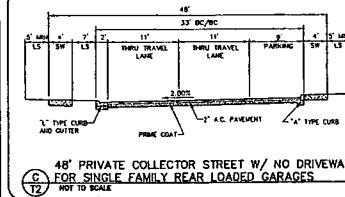
M 52' PRIVATE COLLECTOR STREET W/ NO DRIVEWAYS FOR SINGLE FAMILY REAR LOADED GARAGES
NOT TO SCALE



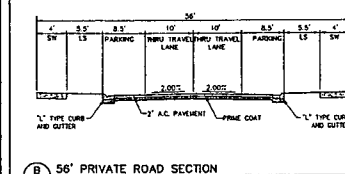
E 32' PRIVATE DRIVE FOR REAR LOADED GARAGES
NOT TO SCALE



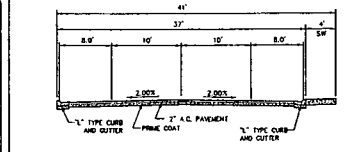
D 35' PRIVATE ONE WAY ROAD W/ ATTACHED SIDEWALK
NOT TO SCALE



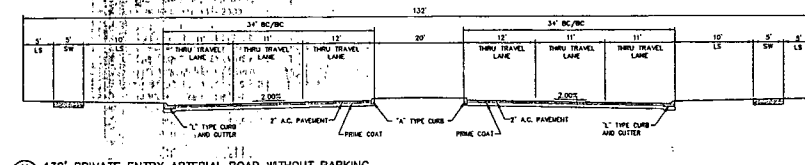
C 48' PRIVATE COLLECTOR STREET W/ NO DRIVEWAYS FOR SINGLE FAMILY REAR LOADED GARAGES
NOT TO SCALE



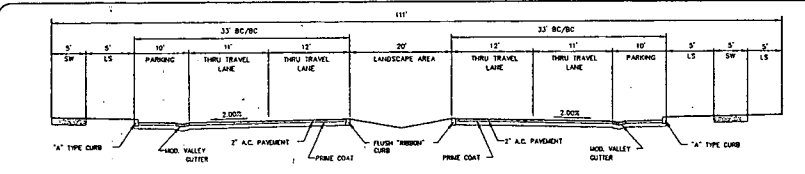
B 56' PRIVATE ROAD SECTION
NOT TO SCALE



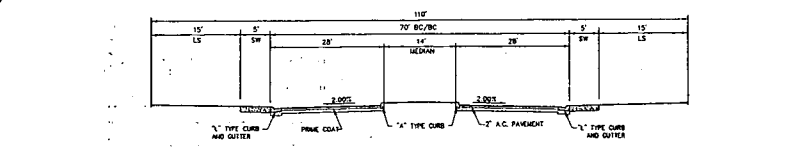
A 41' PRIVATE STANDARD ROAD SECTION
NOT TO SCALE



H 132' PRIVATE ENTRY ARTERIAL ROAD WITHOUT PARKING
NOT TO SCALE



D 111' PRIVATE ENTRY ARTERIAL ROAD WITH PARKING
NOT TO SCALE



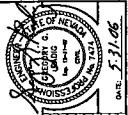
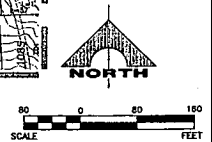
F 110' PUBLIC ENTRY ROAD @ CHEYENNE BLVD.
NOT TO SCALE

SDR-14047 WVR-14007 RECEIVED
WVR-14008 WVR-14009 JUN 02 2006
07-13-06 PC



FOR CONTINUATION SEE SHEET T6

FOR CONTINUATION SEE SHEET T4



G.C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS
1770 BROADWAY, SUITE 1000
NEW YORK, NY 10019

REFERENCE WILKIE RD
A GREEN COMMUNITY AT SUMMERLIN
FULTON HOMES

SITE PLAN

T3

3 OF 12 SHEETS

SDR-14047 WVR-14007 JUN 02 2006
WVR-14008 WVR-14009
07-13-06 PC

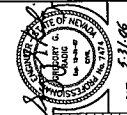


FOR CONTINUATION SEE SHEET T5



80 0 80 1
SCALE FEET

FOR CONTINUATION SEE SHEET T7

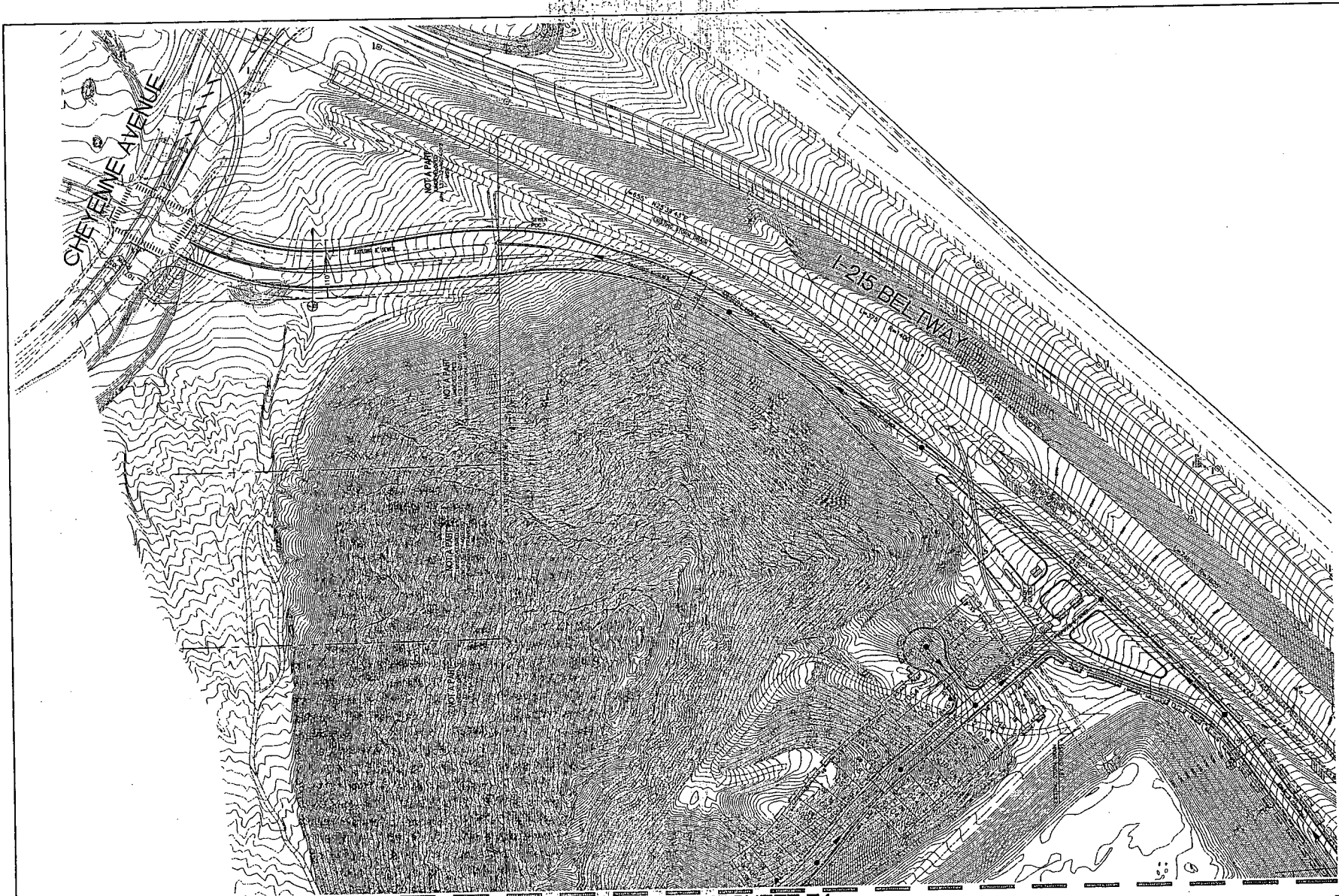
[illegible]

G.C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS
1535 S. RAINBOW BOULEVARD, LAS VEGAS, NV 89146
TEL: 702.404.2000 • F: 702.404.1259 • GC@WALLACE.COM

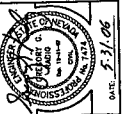
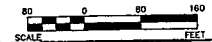
REVERENCE (VILLAGE 26)
A GREEN COMMUNITY AT SUMMERLIN
PULTE HOMES
SITE PLAN

DRAWING
T4
4 OF 12 S

SDR-14047 WVR-14007 RECEIVED
WVR-14008 WVR-14009 JUN 02 2006
07-13-06 PC



FOR CONTINUATION SEE SHEET T4



DATE	5/31/06
PROJECT	LOT 1
CLIENT	LOT 1
DESIGNER	LOT 1
CHECKER	LOT 1
APPROVER	LOT 1
SCALE	LOT 1
PLOT DATE	05/02/06
PLOT BY	LOT 1

G.C. WALLACE COMPANIES
PLANNING & SERVICES
10000 N. 100TH AVE., SUITE 100
DALLAS, TEXAS 75243-1000
TEL: 972.344.1000 FAX: 972.344.1001
WWW.GCWALLACE.COM

REFERENCE (NAD 83)
A GREEN COMMUNITY AT SUMMERLIN
PULTE HOMES
SITE PLAN

DRAWING
T5
5 OF 12 SHEETS

SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC

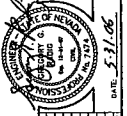
RECEIVED
JUN 02 2006

FOR CONTINUATION SEE SHEET T3



FOR CONTINUATION SEE SHEET T8

FOR CONTINUATION SEE SHEET T7



NO.	DATE	DESCRIPTION
1	07-13-06	PC
2		
3		
4		
5		
6		
7		
8		
9		
10		

G.C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS
1000 N. 1st St., Suite 100, Raleigh, NC 27601
(919) 733-1111

REFERENCE (VILLAGE 28)
A GREEN COMMUNITY AT SUMMITLIN
PULITE HOMES

DRAWING
T6
6 OF 12 SHEETS

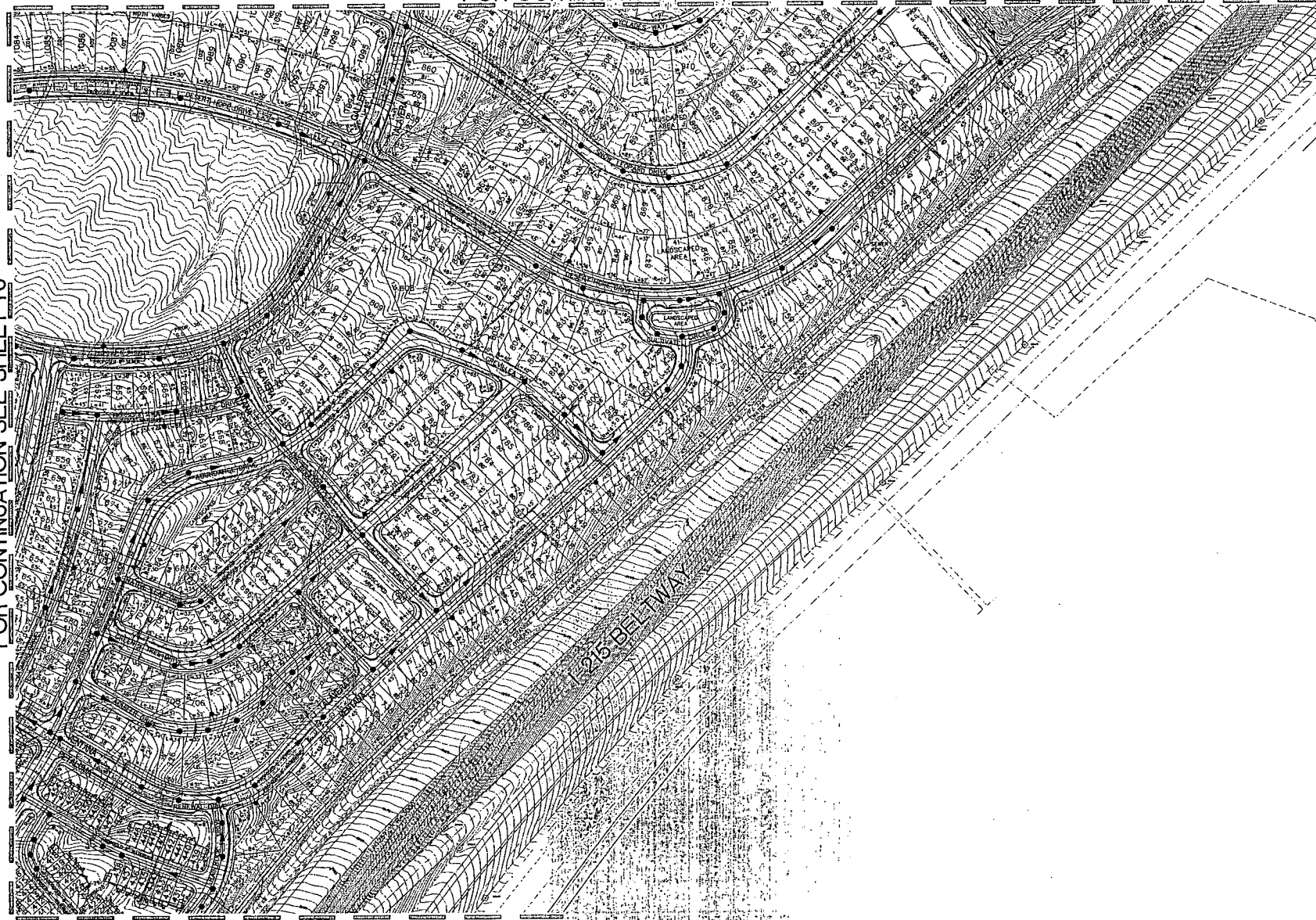
SITE PLAN

SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC

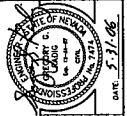
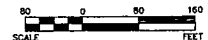
RECEIVED
JUN 02 2006

FOR CONTINUATION SEE SHEET T4

FOR CONTINUATION SEE SHEET T6



FOR CONTINUATION SEE SHEET T8



G.C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS
800 S. RANSLOW BOULEVARD, LAS VEGAS, NV 89119
702.735.1234 FAX 702.735.1235
WWW.GCWALLACE.COM

REFERENCE (PAGE 30)
A GREEN COMMUNITY AT SUMMER IN
PALTE HOMES
SITE PLAN

DRAWING
T7
7 OF 12 SHEETS

RECEIVED
JUN 02 2006

FOR CONTINUATION
SEE SHEET T7



DATE: 5.31.06

[illegible]

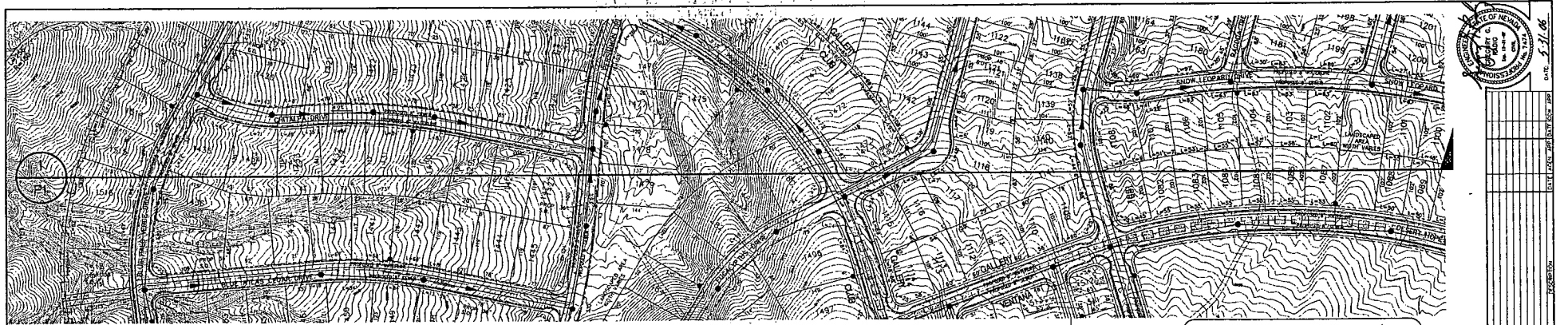
G.C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS
1533 S. RAINBOW BOULEVARD • LAS VEGAS NV 89146
T: 702.804.2000 • F: 702.804.2299 • GCWALLACE.COM

A GREEN COMMUNITY AT SUMMERLIN
PULTE HOMES
SITE PLAN

DRAWING
T8
8 OF 12 SHIS

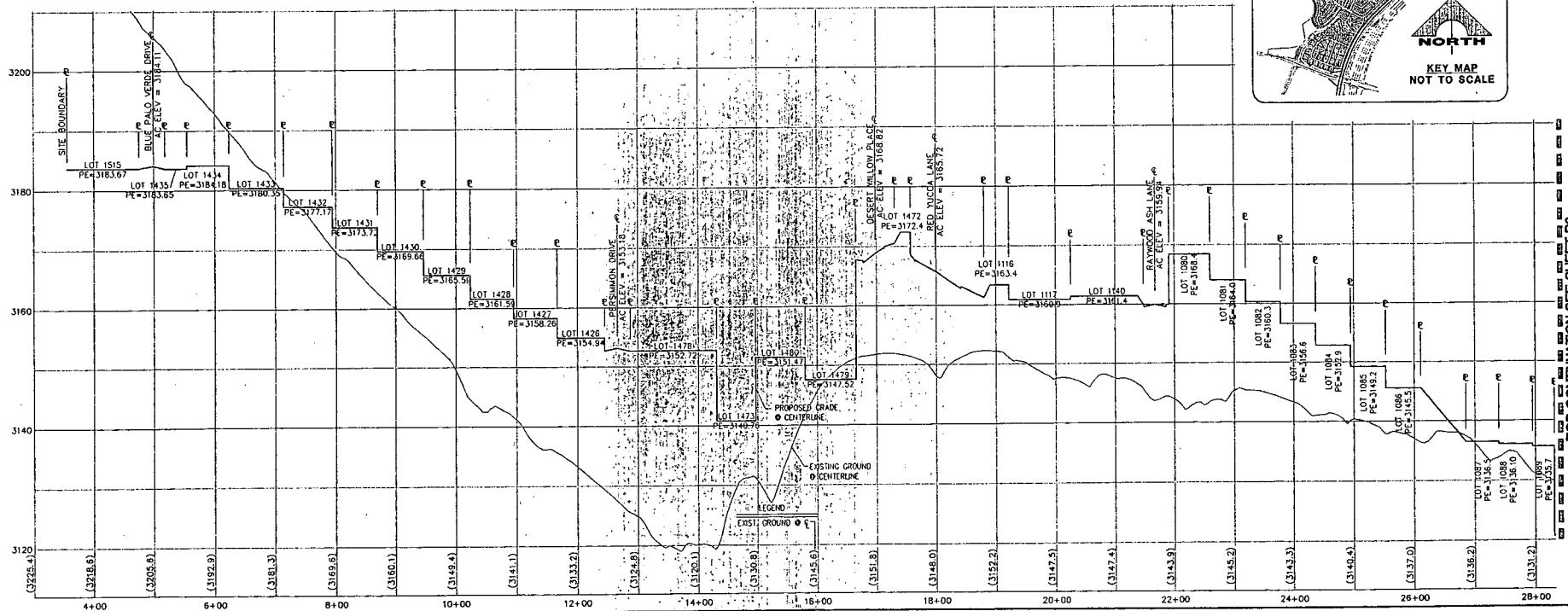
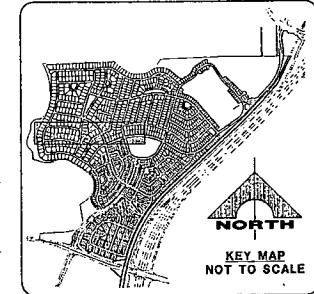
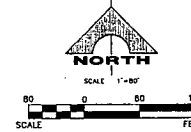
SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC

RECEIVED
JUN 02 2006



EAST-WEST SECTION

PRIVATE STREET
SCALE: HORIZ. 1"=80'
VERT. 1"=8'



FOR CONTINUATION SEE SHEET P2

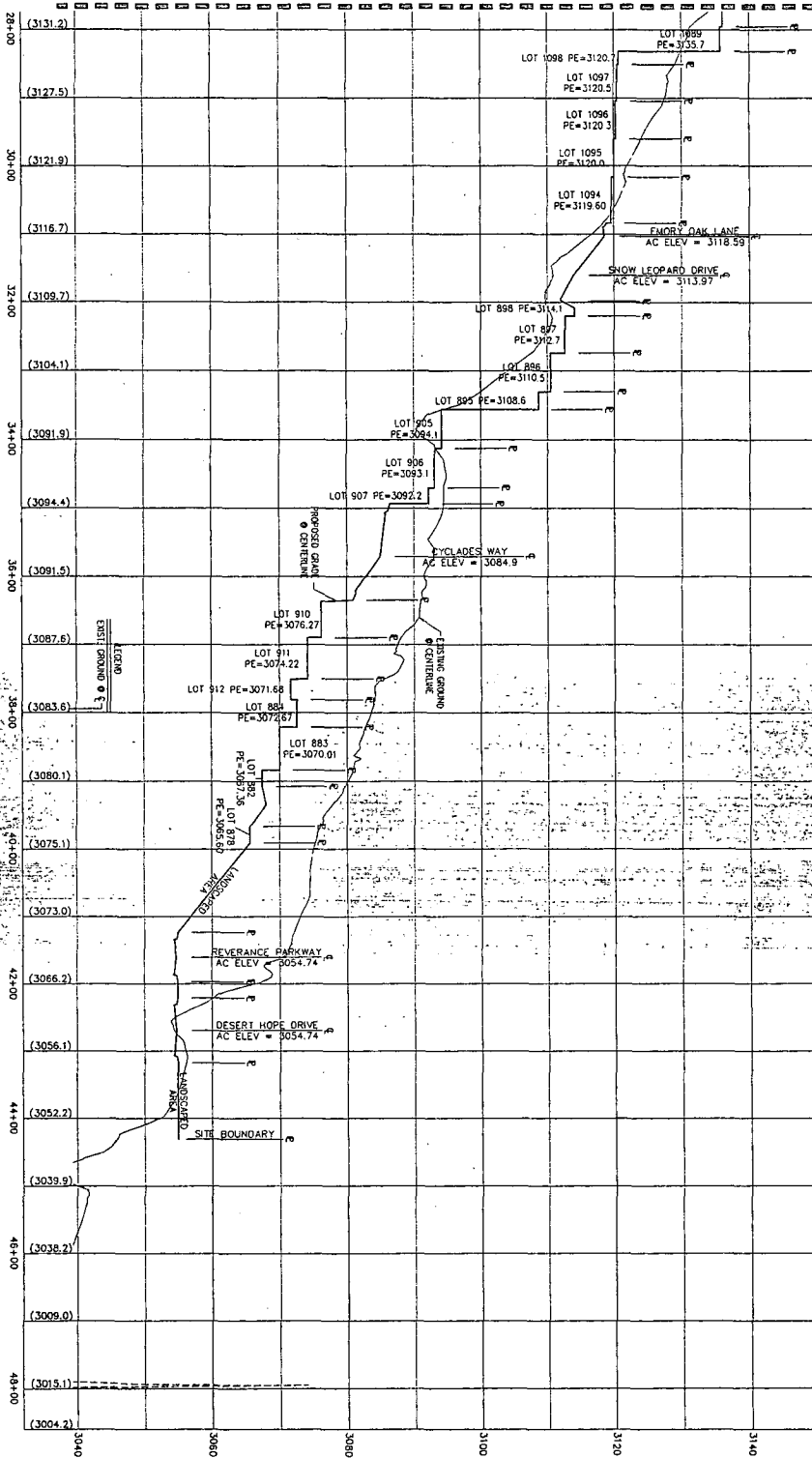
REFERENCE (VILLAGE 26)
A GREEN COMMUNITY AT SUMMERLIN
PULTE HOMES
SITE PLAN
SECTION 157A3+00 TO 28+00

9 OF 12 SHEETS
P1

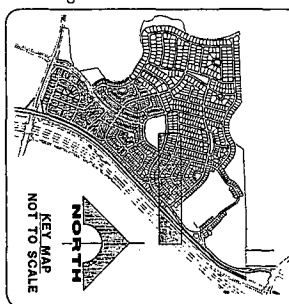
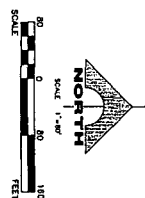
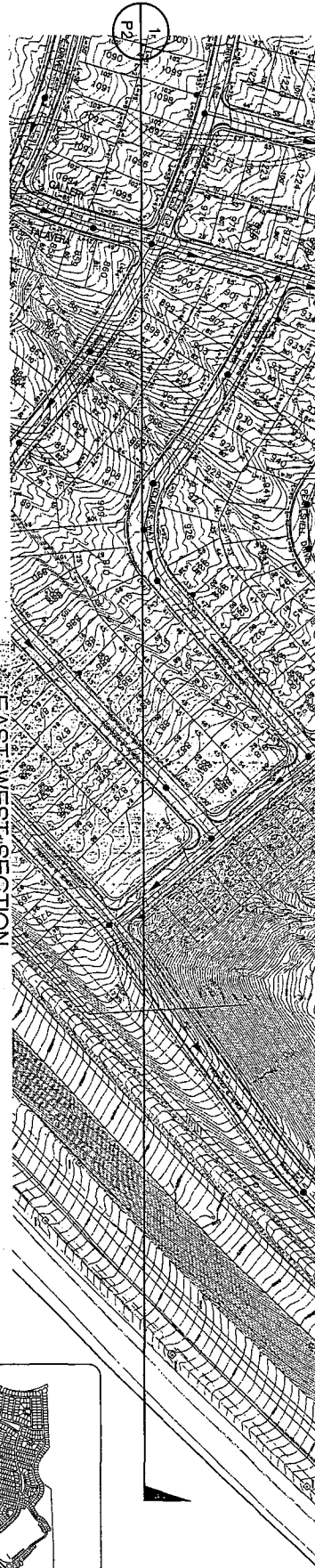
DATE: 5/31/06
DRAWN BY: [Name]
CHECKED BY: [Name]
ISSUED DATE: [Date]
PROJECT NAME: [Name]
PROJECT NUMBER: [Number]

G.C. WALLACE COMPANIES
ENGINEERING PLANNING ARCHITECTURE
10000 W. 26TH AVE., SUITE 100, DENVER, CO 80231
TEL: 303.755.1234 FAX: 303.755.1235
WWW.GCWALLACE.COM

FOR CONTINUATION SEE SHEET P1



EAST-WEST SECTION

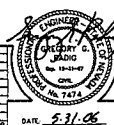


SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC
JUN 0 2 2006

REVERENCE (VILLAGE 28)
A GREEN COMMUNITY AT SUMMERLIN
PULTE HOMES
SITE PLAN
SECTION 1 STA: 28+00 TO 48+00

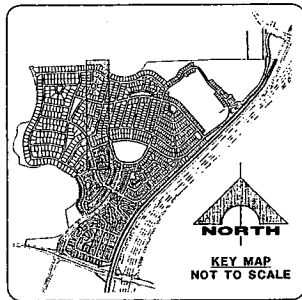
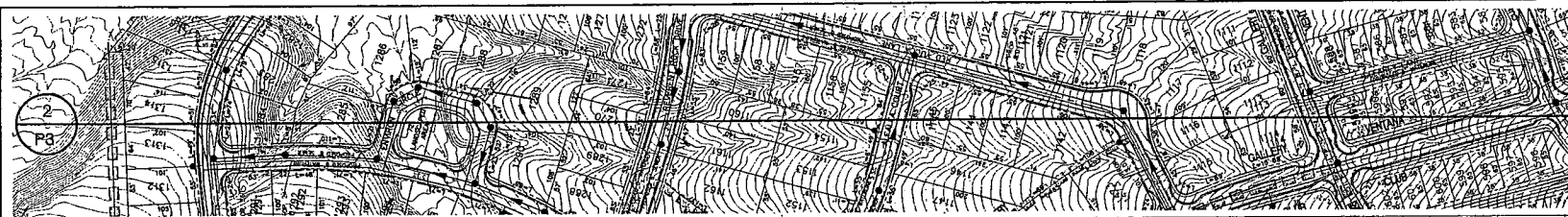
G & C WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS
1000 S. RAINBOW BOULEVARD - LAS VEGAS, NV 89146
TEL: 702.894.3300 FAX: 702.894.3399 GWC WALLACE.COM

DESIGN: MC
CHECK: DB
ISSUE DATE:
REVISION:
PLOT DATE: 06-21-06
PLOT TIME: 13:09:14



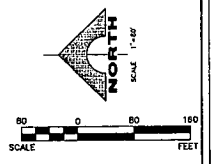
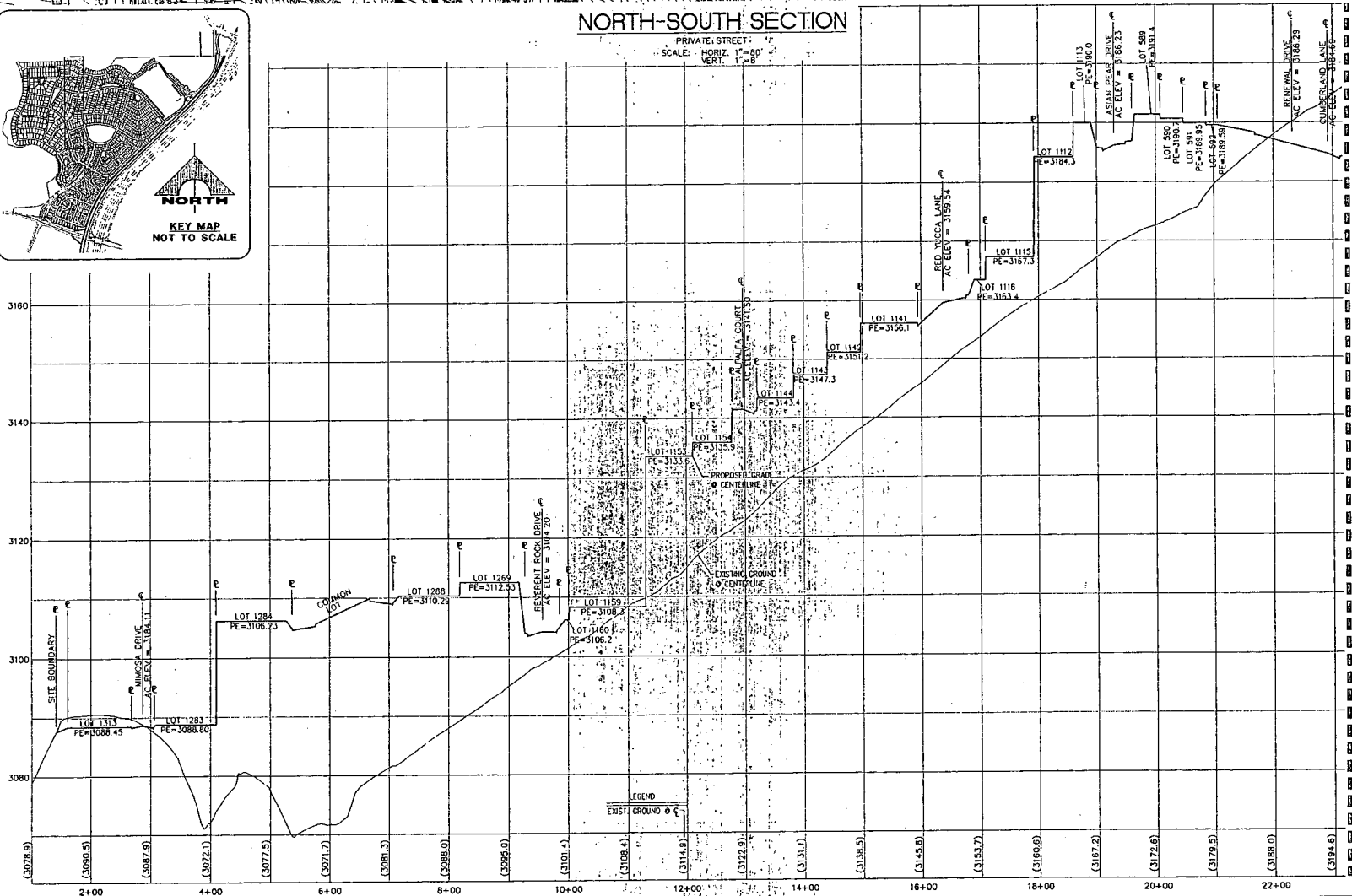
SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC

RECEIVED
JUN 02 2006



NORTH-SOUTH SECTION

PRIVATE STREET
SCALE: HORIZ. 1" = 80'
VERT. 1" = 8'



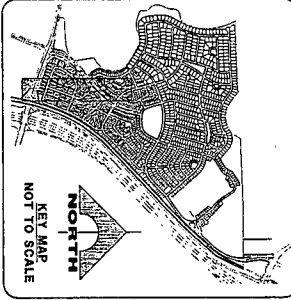
FOR CONTINUATION SEE SHEET P4



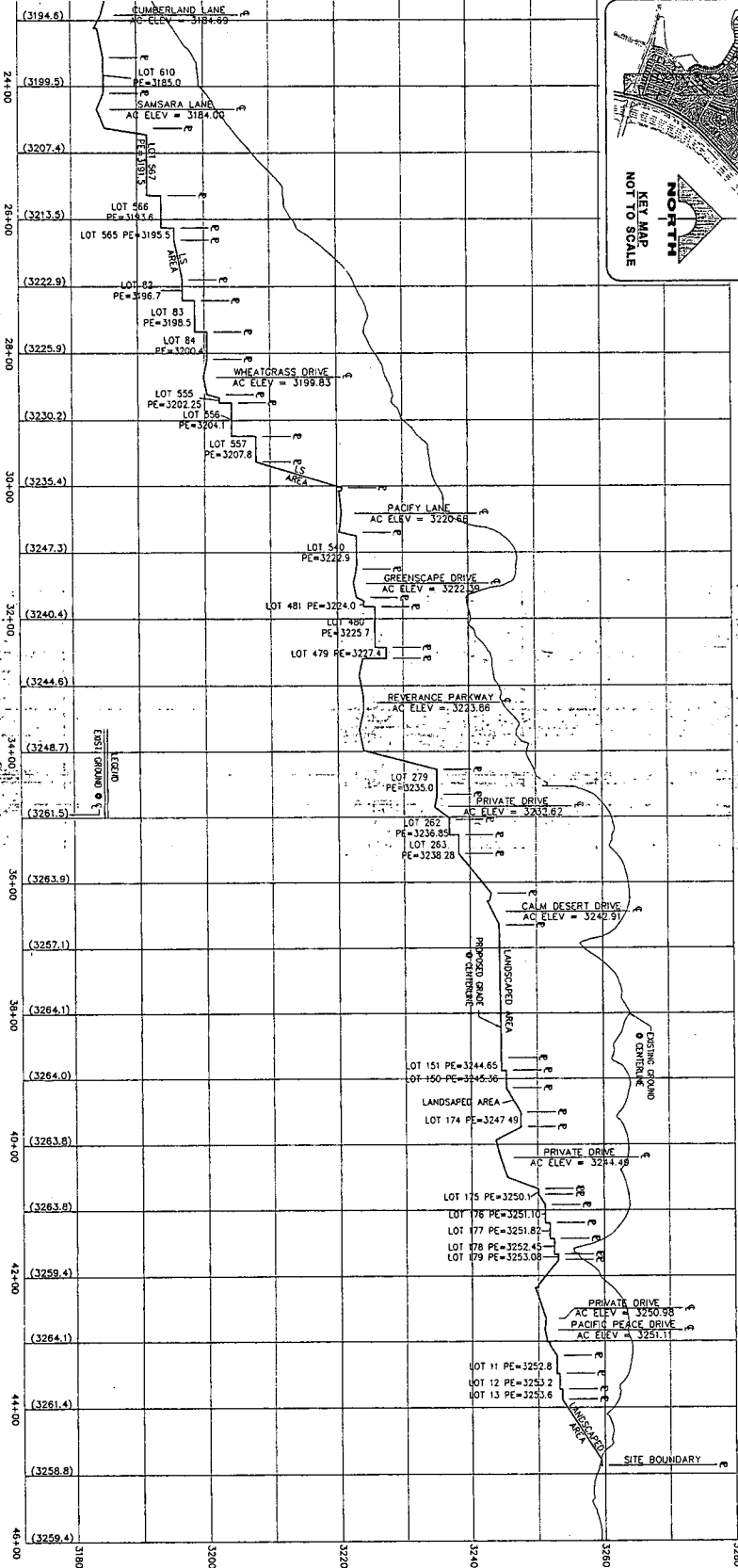
DESIGN	BY	DATE
CHECK	BY	DATE
ISSUE	DATE	
PROJECT NAME	REVERENCE VILLAGE 28	
PROJECT NUMBER	SECTION 2 STA+00 TO 23+00	

G.C. WALLACE COMPANIES
ENGINEERS, PLANNERS & ARCHITECTS
11111 WALLACE DRIVE
HOUSTON, TEXAS 77055-1111
P.O. BOX 11111, HOUSTON, TEXAS 77055-1111

FOR CONTINUATION SEE SHEET P3



2
P4



NORTH-SOUTH SECTION

SCALE: HORIZ. 1"=80'
VERT. 1"=8'



SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC

RECEIVED
JUN 02 2006

REFERENCE (VILLAGE 26)
A GREEN COMMUNITY AT SUMMERLIN
PULTE HOMES

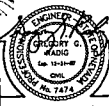
SECTION 2 STA 23+00 TO 46+00



G.C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS
1855 BAINBRIDGE BLVD., SUITE 200, LAS VEGAS, NV 89102
TEL: 702.430.0000 FAX: 702.430.2299 WWW.GCWALLACE.COM

DESIGN: JHC
DRAWN: JHC
CHECK: JHC
ISSUE DATE: 07-13-06
ISSUE EDITOR: JHC
PLOT DATE: 07-13-06
PLOT TIME: 13:10:22

NO.	DATE	BY	CHKD.	APP.	DATE	NO.	DATE	BY	CHKD.	APP.	DATE
1	07-13-06	JHC	JHC	JHC	07-13-06	1	07-13-06	JHC	JHC	JHC	07-13-06

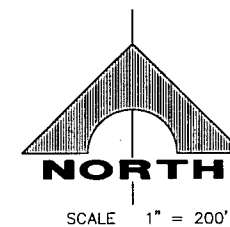


12 OF 12 SHEETS
P4

Plans (Approved Site Plan)



Separator Sheet



"NEW"



A Green Community at Summerlin

	MODELS	1A	2A	3A	4A	5A	6A	1B	2B	3B	4B	5B	6B	TOT
TALavera	5			12	112			102						36
GALLERY	5	70						14	144					25
CLUB	5		25						144	5				19
MONTANA	13			12	43					108				24
DANBURY						12					133			25
PETALUMA							108							20
TOTAL	25	70	25	24	200	12	108	200	140	111	133	90		15

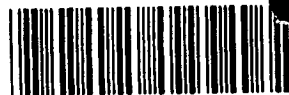
- CHEYENNE ENTRY DRIVE
DEBRIS & DETENTION BASIN AND CHANNEL ROCS
RECREATION CENTER
LAKE MEAD ENTRY DRIVE

RECEIVED
MAY 03 2007

City Council Action Letter



Separator Sheet



063986

September 21, 2006

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

Mr. Kevin Orrock
Howard Hughes Corporation
10000 West Charleston Boulevard, Suite #200
Las Vegas, Nevada 89135

RE: SDR-14047- SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF AUGUST 16, 2006
RELATED TO WVR-14007, WVR-14008 AND WVR-14009

Dear Applicant:

The City Council at a regular meeting held August 16, 2006 APPROVED the request for a Site Development Plan Review FOR A 1,282 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION AND A 254 UNIT SINGLE-FAMILY ATTACHED RESIDENTIAL SUBDIVISION on 314 acres at the northwest corner of Lake Mead Boulevard and I-215 (APNs 137-14-501-003 and 137-13-101-003), P-C (Planned Community) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on August 17, 2006. This approval is subject to:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for a Major Modification (MOD-12395), City Referral Group (CRG-13659), Waiver (WVR-14007), Waiver (WVR-14008), and Waiver (WVR-14009) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in substantial conformance with the site plan/street width exhibit submitted at Planning Commission date stamped 07/13/06, except as amended by conditions herein. Approval shall be for a total of 1,536 lots of which 1,063 shall be single family detached and 473 shall be single family attached.
4. At the time of submission of a Tentative Map the applicant will be required to demonstrate compliance with the Summerlin Development Standards for height in the SF3 and MF2 products.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

1R112-001-06-05

Mr. Kevin Orrock
SDR-14047 – Page Two
September 21, 2006

5. At the time of submission of a Tentative Map the applicant will be required to submit a parking study that demonstrates compliance the Summerlin Development Standards. The Tentative Map shall also provide for parking on both sides of the street or provide guest parking at one space per six units for alley-loaded lots that do not have street frontage. Guest parking shall be provided at one space per six units and must be located within 300 feet of each unit.
6. At the time of submission of a Tentative Map the applicant will be required to demonstrate compliance with Development Agreement (DA-0002-93) for Open Space.
7. A technical landscape plan, signed and sealed by a Registered Designer or Civil Engineer, must be submitted prior to issuance of a building permit for any residential lot(s) contained within a final map that includes any landscape area abutting the perimeter of the project that is a part of the final map. A permanent underground sprinkler system is required, and shall be permanently maintained in a manner satisfactory to the Planning and Development Department; the landscape plan shall include irrigation specifications.
8. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
9. Pre-planting inspections to ensure appropriate location and size of planters and post planning inspections to ensure appropriate plant material in compliance with an approved technical landscaping plan are required for any landscaping area butting the perimeter of the project. The Planning and Development Department must be contacted to schedule an inspection prior to the start of landscape installation and after the landscape installation is completed. The final inspection will not be approved until the landscape inspections have been completed.
10. Air conditioning units shall not be mounted on rooftops.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

14. The proposed access roadway connecting this site to Cheyenne Road to the north shall be designed and constructed to an appropriate width to permit vehicular U-turns at the southern edge of the public roadway portion, coinciding with the northern property line of this site, and appropriate signage indicating that the roadway is private with no public

thru-access shall be posted at the boundary line. Final width and geometric design of the U-turn termination of the public portion of this roadway shall meet the approval of the City Engineer. If the existing BLM grant (N-74538) requires amendment to support the required width or alignment, or to support landscaping improvements, the applicant shall provide all documentation and supporting material needed to process the amendment. Any landscaping proposed within the BLM grant area shall be privately maintained by the Homeowner's Association.

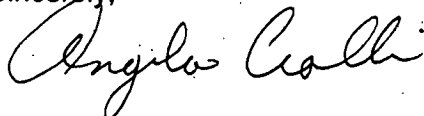
15. If not already provided by the Master Developer prior to the final inspection for the first residential unit, dedicate or obtain dedication for 100-feet of right-of-way for the full width of Lake Mead Boulevard adjacent to this site and any necessary rights-of-way for dedicated right-turn lanes and/or bus turnouts in accordance with Standard Drawings 201.1 and 234. Prior to the submittal of a Final Map for this site for any units adjacent to Lake Mead Boulevard or any construction drawings abutting Lake Mead Boulevard, provide documentation to the City of Las Vegas Right-of-Way Section from Clark County Public Works indicating that no part of this site is within the anticipated footprint of the planned interchange of I-215 and Lake Mead Boulevard.
16. If not already constructed by the Master Developer prior to the final inspection of the 750th unit in the overall site, construct full width street improvements on Lake Mead Boulevard adjacent to this site to tie into the planned interchange with the I-215 Beltway. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete), and install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Notwithstanding the number of permits issued, all required improvements on Lake Mead Boulevard shall be constructed within 180 days of the time the I-215/Lake Mead Boulevard interchange is opened to the public. If the I-215/Lake Mead Boulevard interchange is not in place prior to the final inspection of the 750th unit in the overall site, the developer shall obtain dedication or roadway easement rights for a secondary access roadway, along a logical route acceptable to the Traffic Engineer, from this site southward to tie into the intersection of I-215/Summerlin Parkway; and the developer shall construct a minimum of 4 lanes of asphalt, with appropriate shoulders, along this alignment.
17. A Master Sewer Study must be submitted to and approved by the Department of Public Works prior to the issuance of any permits for any subdivision pods within Summerlin Village 26. Comply with the recommendations of the approved sewer study prior to occupancy of any units within this site. Coordinate with the Collection System Planning Section of the Department of Public Works to determine the size, location, and depth of the appropriate sewer connection points acceptable to the City Engineer prior to the issuance of any building or grading permits. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits.

18. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to residential occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights of way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated in accordance with Condition No. 15 above. If additional rights of way are not required and Traffic Control devices are or may be proposed at this site outside of the public right of way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
19. A Master Drainage Plan must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first; if allowed by the City Engineer.
20. A Traffic Circulation Analysis for the proposed subdivision shall be submitted to and approved by the City Traffic Engineer prior to the approval of a Tentative Map for this site. The analysis shall address potential intersection conflicts between the proposed private drives/alleys and private streets, and shall suggest possible mitigation in the event conflicts are identified. In addition, the applicant shall submit applications for Deviations of Standards for all proposed deviations of existing private street Standards. Final approval of the Traffic Circulation Analysis is contingent upon the applicant obtaining approval of the requested street section Deviations.

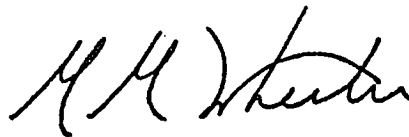
vMr. Kevin Orrock
SDR-14047 – Page Five
September 21, 2006

21. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
22. Coordinate with the Clark County Department of Public Works to establish appropriate wall heights immediately adjacent to the Beltway in order to comply with noise mitigation requirements as set forth in the Beltway Noise Mitigation Study. Provide documentation from Clark County to the City of Las Vegas Land Development Section that this condition has been satisfied prior to the final inspection of the first completed home.
23. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
24. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved in compliance with all related master technical studies and improvement designs prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Site Development Plan Review does not constitute approval of any deviations. If such approval cannot be obtained, a revised Site Development Plan Review must be submitted showing elimination of such deviations.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk



M. Margo Wheeler, AICP
Director
Planning and Development Department

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Ms. Jodi Bennett
G.C. Wallace
6655 South Cimarron Road
Las Vegas, Nevada 89113

Mr. Tim Washburn
Pulte Homes
8345 West Sunset Road
Las Vegas, Nevada 89113

Action Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

July 14, 2006

Mr. Kevin Orrock
Howard Hughes Corporation
10000 West Charleston Boulevard, Suite #200
Las Vegas, Nevada 89135

RE: SDR-14047 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Orrock:

Your request for a Site Development Plan Review FOR A 1,282 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION AND A 254 UNIT SINGLE-FAMILY ATTACHED RESIDENTIAL SUBDIVISION on 314 acres at the northwest corner of Lake Mead Boulevard and I-215 (APNs 137-14-501-003 and 137-13-101-003), P-C (Planned Community) Zone, Ward 4 (Brown), was considered by the Planning Commission on July 13, 2006.

The Planning Commission voted to recommend ***APPROVAL*** of your request, subject to the following:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for a Major Modification (MOD-12395), City Referral Group (CRG-13659), Waiver (WVR-14007), Waiver (WVR-14008), and Waiver (WVR-14009) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in substantial conformance with the site plan/street width exhibit submitted at Planning Commission date stamped 07/13/06, except as amended by conditions herein. Approval shall be for a total of 1,536 lots.
4. At the time of submission of a Tentative Map the applicant will be required to demonstrate compliance with the Summerlin Development Standards for height in the SF3 and MF2 products.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



5. At the time of submission of a Tentative Map the applicant will be required to submit a parking study that demonstrates compliance the Summerlin Development Standards. The Tentative Map shall also provide for parking on both sides of the street or provide guests parking at one space per six units for alley-loaded lots that do not have street frontage. Guest parking shall be provided at one space per six units and must be located within 300 feet of each unity.
6. At the time of submission of the Tentative Map the applicant will be required to demonstrate compliance with Development Agreement (DA-0002-93) for Open Space.
7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
8. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
9. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
10. Air conditioning units shall not be mounted on rooftops.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LYMC Title 19.12.040.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

14. The proposed access roadway connecting this site to Cheyenne Road to the north shall be designed and constructed to an appropriate width to permit vehicular U-turns at the southern edge of the public roadway portion, coinciding with the northern property line of this site, and appropriate signage indicating that the roadway is private with no public thru-access shall be posted at the boundary line. Final width and geometric design of the u-turn termination of the public portion of this roadway shall meet the approval of the City Engineer. If the existing BLM grant (N-74538) requires amendment to support the required width or alignment, the applicant shall provide all documentation and supporting material needed to process the amendment.
15. If not already provided by the Master Developer prior to the final inspection for the first residential unit, dedicate or obtain dedication for 100-feet of right-of-way for the full width of Lake Mead Boulevard adjacent to this site and any necessary rights-of-way for dedicated right-turn lanes and/or bus turnouts in accordance with Standard Drawings 201.1 and 234. Prior to the submittal of a Final Map for this site for any units adjacent to Lake Mead Boulevard or any construction drawings abutting Lake Mead Boulevard, provide documentation to the City of Las Vegas Right-of-Way Section from Clark County Public Works indicating that no part of this site is within the anticipated footprint of the planned interchange of I-215 and Lake Mead Boulevard.
16. If not already constructed by the Master Developer prior to the final inspection of any unit within the Danbury and Petaluma subdivisions or the final inspection for the 750th unit in the overall site, whichever may occur first, construct full width street improvements on Lake Mead Boulevard adjacent to this site to tie into the planned interchange with the I-215 beltway. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete), and install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. If the I-215/Lake Mead Boulevard interchange is not in place, prior to the final inspection of any unit within the Danbury and Petaluma subdivisions or the final inspection for the 750th unit in the overall site, whichever may occur first, the developer shall obtain dedication or roadway easement rights for a secondary access roadway, along a logical route acceptable to the Traffic Engineer, from this site southward to tie into the intersection of I-215/Summerlin Parkway; and the developer shall construct a minimum of 4 lanes of asphalt, with appropriate shoulders, along this alignment.

17. A Master Sewer Study must be submitted to and approved by the Department of Public Works prior to the issuance of any permits for any subdivision pods within Summerlin Village 26. Comply with the recommendations of the approved sewer study prior to occupancy of any units within this site. Coordinate with the Collection System Planning Section of the Department of Public Works to determine the size, location, and depth of the appropriate sewer connection points acceptable to the City Engineer prior to the issuance of any building or grading permits. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits.
18. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to residential occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights of way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated in accordance with Condition No. 15 above. If additional rights of way are not required and Traffic Control devices are or may be proposed at this site outside of the public right of way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
19. A Master Drainage Plan must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved

Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

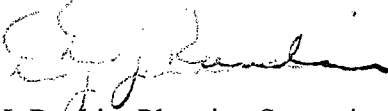
20. A Traffic Circulation Analysis for the proposed subdivision shall be submitted to and approved by the City Traffic Engineer prior to the approval of a Tentative Map for this site. The analysis shall address potential intersection conflicts between the proposed private drives/alleys and private streets, and shall suggest possible mitigation in the event conflicts are identified. In addition, the applicant shall submit applications for Deviations of Standards for all proposed deviations of existing private street Standards. Final approval of the Traffic Circulation Analysis is contingent upon the applicant obtaining approval of the requested street section Deviations.
21. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
22. Coordinate with the Clark County Department of Public Works to establish appropriate wall heights immediately adjacent to the Beltway in order to comply with noise mitigation requirements as set forth in the Beltway Noise Mitigation Study. Provide documentation from Clark County to the City of Las Vegas Land Development Section that this condition has been satisfied prior to the submittal of any construction drawings.
23. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
24. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved in compliance with all related master technical studies and improvement designs prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Site Development Plan Review does not constitute approval of any deviations. If such approval cannot be obtained, a revised

Mr. Kevin Orrock
SDR-14047 Page Six
July 14, 2006

Site Development Plan Review must be submitted showing elimination of such deviations. We note several deviations are being proposed within this subdivision.

This item will be considered by the City Council on **August 16, 2006**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:dm

cc: Mr. Tim Washburn
Pulte Homes
8345 West Sunset Road
Las Vegas, Nevada 89113

Ms. Jodi Bennett
G.C. Wallace
6655 South Cimarron Road
Las Vegas, Nevada 89113

Applicant Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

June 30, 2006

Mr. Kevin Orrock
Howard Hughes Corporation
10000 West Charleston Boulevard, Suite #200
Las Vegas, Nevada 89135

RE: SDR-14047 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Orrock:

Please be advised the City Planning Commission at its regular meeting on *July 13, 2006* has referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the *final agenda* will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, Acting Current Planning Manager
Planning and Development Department
Current Planning Division

DJR:dm

cc: Mr. Tim Washburn
Pulte Homes
8345 West Sunset Road
Las Vegas, Nevada 89113

Ms. Jodi Bennett
G.C. Wallace
6655 South Cimarron Road
Las Vegas, Nevada 89113

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Comments



Separator Sheet

Memorandum

City of Las Vegas Department of Public Works Development Coordination

To: Department of Planning and Development

From: Bart Anderson, Manager, Development Coordination, Department of Public Works

CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekkki, Survey (FM, PM, & A's only)

Date: June 28, 2006

Re: SDR-14047

Pulte Homes

NWC of Lake Mead Boulevard and I-215

Request for a Site Development Plan Review for a 1282 lot single family subdivision & 254 unit multi-family subdivision

COMMENTS:

We note that there is a multi-use transportation trail adjacent to this site along the Beltway which should be commented on by the Planning and Development Department.

CONDITIONS OF APPROVAL:

1. The proposed access roadway connecting this site to Cheyenne Road to the north shall be designed and constructed to an appropriate width to permit vehicular U-turns at the southern edge of the public roadway portion, coinciding with the northern property line of this site, and appropriate signage indicating that the roadway is private with no public thru-access shall be posted at the boundary line. Final width and geometric design of the u-turn termination of the public portion of this roadway shall meet the approval of the City Engineer. If the existing BLM grant (N-74538) requires amendment to support the required width or alignment, the applicant shall provide all documentation and supporting material needed to process the amendment.
2. If not already provided by the Master Developer at the time of development of this site, dedicate or obtain dedication for 100-feet of right-of-way for the full width of Lake Mead Boulevard adjacent to this site and any necessary rights-of-way for dedicated right-turn lanes and/or bus turnouts in accordance with Standard Drawings 201.1 and 234. Prior to the submittal of a Final Map for this site or any construction drawings, provide documentation to the City of Las Vegas Right-of-Way Section from Clark County Public Works indicating that no part of this site is within the anticipated footprint of the planned interchange of I-215 and Lake Mead Boulevard.
3. If not already constructed by the Master Developer at the time of development of this site, construct full width street improvements on Lake Mead Boulevard adjacent to this site to tie into the planned interchange with the I-215 beltway. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete), and install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. If the I-215/Lake Mead Boulevard interchange is not in place prior to final inspection of any units within the southern half of this development, the developer shall obtain dedication or roadway easement rights for a secondary access roadway, along a logical route acceptable to the Traffic Engineer, from this site southward to tie into the intersection of I-215/Summerlin Parkway; and the developer shall construct a minimum of 4 lanes of asphalt, with appropriate shoulders, along this alignment.
4. A Master Sewer Study must be submitted to and approved by the Department of Public Works prior to the issuance of any permits for any subdivision pods within Summerlin Village 26. Comply with the recommendations of the approved sewer study prior to occupancy of any units within this site. Coordinate with the Collection System Planning Section of the Department of Public Works to determine the size, location, and depth of the appropriate sewer connection points acceptable to the City Engineer prior to the issuance of any building or grading permits. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits.
5. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights of way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights of way are not required and Traffic Control devices are or may be proposed at this site outside of the public right of way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
6. A Master Drainage Plan must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.
7. A Traffic Circulation Analysis for the proposed subdivision shall be submitted to and approved by the City Traffic Engineer prior to the submittal of a Tentative Map for this site. The analysis shall address potential intersection conflicts between the proposed private drives/alleys and private streets, and shall suggest possible mitigation in the event conflicts are identified. In addition, the applicant shall submit applications for Deviations of Standards for all proposed deviations of existing private street Standards. Final approval of the Traffic Circulation Analysis is contingent upon the applicant obtaining approval of the requested street section Deviations.
8. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
9. Coordinate with the Clark County Department of Public Works to establish appropriate wall heights along the eastern perimeter of this site in order to comply with noise mitigation requirements as set forth in the Beltway Noise Mitigation Study. Provide documentation from Clark County to the City of Las Vegas Land Development Section that this condition has been satisfied prior to the submittal of any construction drawings.
10. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
11. Site development to comply with all applicable conditions of approval for City Referral Group CRG-13659, Waivers WVR-14007, WVR-14008 and WVR-14009 if approved and all other applicable site-related actions.
12. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Site Development Plan Review does not constitute approval of any deviations. If such approval cannot be obtained, a revised Site Development Plan Review must be submitted showing elimination of such deviations. We note several deviations are being proposed within this subdivision.



Department of Public Works

500 S Grand Central Pky • PO Box 554000 • Las Vegas NV 89155-4000
(702) 455-6000 • Fax (702) 455-6040

Denis Cederburg, P.E., Director • E-Mail: dlc@co.clark.nv.us

November 16, 2006

M. Margo Wheeler, AICP
City of Las Vegas
Planning and Development Department
400 Stewart Avenue
Las Vegas, NV 89101

**CLARK COUNTY 215 BRUCE WOODBURY BELTWAY, SUMMERLIN PARKWAY TO CRAIG ROAD
PRELIMINARY NOISE STUDY CONCURRENCE FOR PULTE HOMES REVERENCE
VILLAGE 26 (SDR -14047)**

Dear Ms. Wheeler:

Clark County Public Works reviewed the preliminary noise study for the project approximately located at the northwest corner of Clark County 215 Bruce Woodbury Beltway and Lake Mead Boulevard. The location and the limits of the project that we are addressing are shown in Figure 2 and Figure 3 of the study.

Clark County Public Works is providing this letter of concurrence per the requirements of the site development plan review conducted by the City of Las Vegas outlined in your letter dated September 21, 2006. It appears that no conditions and/or corrections are required in order to conform to the FHWA Noise Abatement Criteria and that the proposed wall heights are adequate protection for the site.

Our concurrence does not imply that Clark County Public Works checked the accuracy of the preliminary noise study, nor does it provide approval for your client or its contractors to use any part of the Beltway right-of-way for temporary or permanent access to the site.

An encroachment permit from the Clark County Department of Development Services is required for any work within or abutting the right-of-way for the Clark County 215 Bruce Woodbury Beltway. For details, please call Mr. Chris Lund at (702) 455-4600.

Should you have any other questions, please call the undersigned at (702) 455-6081.

**DENIS CEDERBURG
DIRECTOR OF PUBLIC WORKS**

BY:

**MICHAEL MAMER
Associate Engineer
Design Engineering Division**

MM:cf

cc: Kevin Orrock, Howard Hughes Corporation
Tim Washburn, Pulte Homes
Jodi Bennett, G.C. Wallace, Inc.
Chris Lund, Development Services
Mike Hand, Manager, Design Engineering Division
Roy Davis, Design Engineering Division

BOARD OF COUNTY COMMISSIONERS

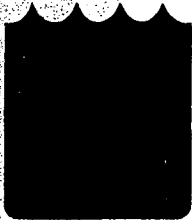
RORY REID, Chairman • MYRNA WILLIAMS, Vice Chair

TOM COLLINS • YVONNE ATKINSON GATES • CHIP MAXFIELD • LYNETTE BOGGS McDONALD • BRUCE L. WOODBURY
VIRGINIA VALENTINE, P.E., County Manager

B053316\011

June 13, 2006

LAS VEGAS VALLEY
WATER DISTRICT



City of Las Vegas
Planning and Development Department
731 South Fourth Street
Las Vegas, Nevada 89101

Attention: Flinn Fagg, Planning Manager

SUBJECT: CITY OF LAS VEGAS ZONING APPLICATION REVIEW

1001 SOUTH VALLEY VIEW BLVD.
LAS VEGAS, NV 89153
TELEPHONE: 702/870-2011

Board of Directors
Myrna Williams
PRESIDENT

Yvonne Atkinson Gates
VICE PRESIDENT

Tom Collins

Chip Maxfield

Lynette Boggs McDonald

Rory Reid

Bruce Woodbury

Patricia Mulroy
GENERAL MANAGER

The Las Vegas Valley Water District Design and the Production Divisions have reviewed the attached zoning applications and determined that the proposed projects will have no conflict with the District's existing telemetry antenna locations.

If you require any additional information or have any questions, please call me at 258-3240 or Doa Meade at 822-8574.

Sincerely,

Peter J. Jauch, P.E.
Engineering Design Manager

PJJ:DJM:TLL:sdc
Attachment

Dorothy Marsili

From: Rod Clark
Sent: Saturday, June 10, 2006 12:58 PM
To: Dorothy Marsili
Subject: SDR-14047

Building code setback requirements shall apply to all single and multi family buildings.

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-14047 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: PULTE HOMES - OWNER: HOWARD HUGHES CORPORATION - Request for a Site Development Plan Review FOR A 1282 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION AND A 254 UNIT MULTIFAMILY RESIDENTIAL SUBDIVISION on 314 acres at the northwest corner of Lake Mead Boulevard and I-215 (APNs 137-14-501-003 and 137-13-101-003), PD (Planned Community Development) Zone, Ward 4 (Brown).

PLANNING COMMISSION: JULY 13, 2006

CITY COUNCIL: AUGUST 16, 2006

CASE PLANNER: DOUG RANKIN



PUBLIC HEARING

Comments Due: JUNE 14, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

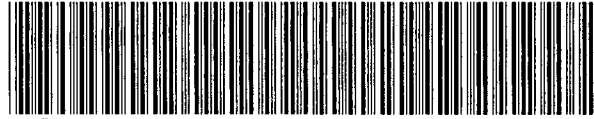
LIST COMMENTS BELOW:

**Las Vegas Metropolitan Police Dept.
Office of Intergovernmental Services**

No Law Enforcement Issue

F7420W

Public Hearing Notice



PUBLIC HEARING NOTICE

Separator Sheet

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: JULY 13, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SDR-14047

APPLICANT: PULTE HOMES - OWNER: HOWARD HUGHES CORPORATION - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR A 1,282 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION AND A 254 UNIT SINGLE-FAMILY ATTACHED RESIDENTIAL SUBDIVISION ON 314 ACRES AT THE NORTHWEST CORNER OF LAKE MEAD BOULEVARD AND I-215 (APNS 137-14-501-003 AND 137-13-101-003), P-C (PLANNED COMMUNITY) ZONE, WARD 4 (BROWN).

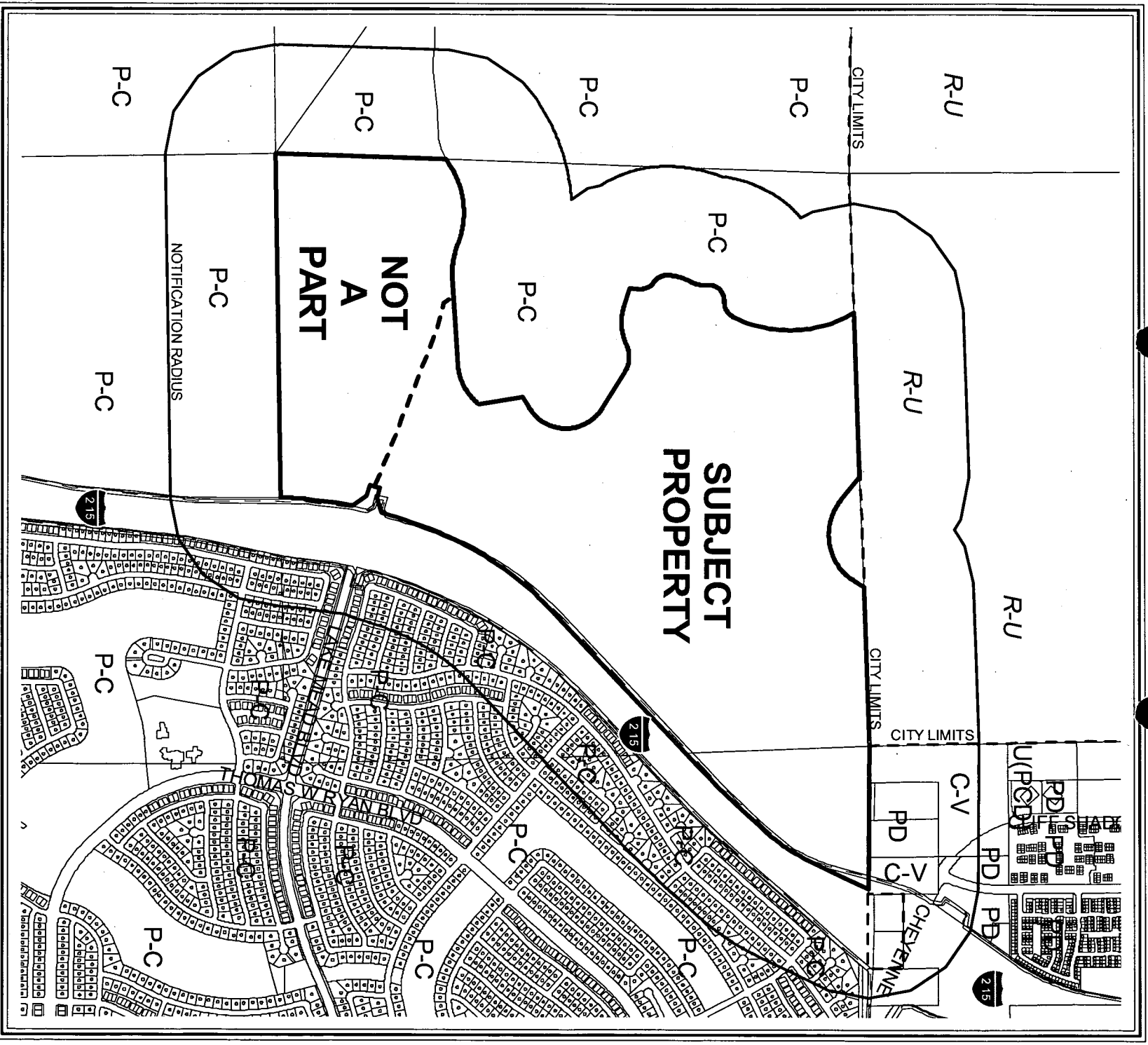
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) AND NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTIONS 14 AND 13, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



DOUGLAS J. RANKIN, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: **SDR-14047**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: P-C (PLANNED COMMUNITY)

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

**SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC**

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	KENT CHANG	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEMUS
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<SPRINT> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT	DOA J. MEADE, ENGINEERING DESIGN DIVISION	1001 S. VALLEY VIEW BLVD.

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR
06/08/2006

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

**SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC**

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	KENT CHANG	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEMUS
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<SPRINT> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT	DOA J. MEADE, ENGINEERING DESIGN DIVISION	1001 S. VALLEY VIEW BLVD.

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.**
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT **< US MAIL DELIVERY >**

SDPR
06/08/2006

Neighborhood Services List



NEIGHBORHOOD SERVICES LIST

Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: July 13, 2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-14047

Fallbrook HOA

Sun City Summerlin Community Association

Timberline Shadow Hills HOA

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SDR-14047 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: PULTE HOMES - OWNER: HOWARD HUGHES CORPORATION - Request for a Site Development Plan Review FOR A 1282 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION AND A 254 UNIT MULTIFAMILY RESIDENTIAL SUBDIVISION on 314 acres at the northwest corner of Lake Mead Boulevard and I-215 (APNs 137-14-501-003 and 137-13-101-003), PD (Planned Community Development) Zone, Ward 4 (Brown).

PLANNING COMMISSION: JULY 13, 2006

CITY COUNCIL: AUGUST 16, 2006

CASE PLANNER: DOUG RANKIN



PUBLIC HEARING

Comments Due: JUNE 14, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Hansen Sheet



Separator Sheet

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date**

06/08/2006 08:21 AM

Submitted By

Page 1

A/P # 14047 **SITE DEVELOPMENT PLAN REVIEW****Application Information****Stages**

	Date / Time	By		Date / Time	By
Processed	06/02/2006 15:49	983197	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-14047 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: PULTE HOMES - OWNER: HOWARD HUGHES CORPORATION - Request for a Site Development Plan Review FOR A 1282 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION AND A 254 UNIT MULTIFAMILY RESIDENTIAL SUBDIVISION on 314 acres at the northwest corner of Lake Mead Boulevard and I-215 (APN 137-14-501-003), Ward 4 (Brown).

Parent A/P #

Project #	14047	Project/Phase Name	VILLAGE 26	Phase #	
Size/Area	314.00 ACRE	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information**Parcel** 13714501003**Location****Owner/Tenant**

Contact ID AC48017	Name	HUGHES HOWARD CORPORATION	Organization	% ROUSE CO
Mailing Address	P O BOX 833		State/Province	MD
City	COLUMBIA		Country	☐ Foreign
ZIP/PC	21044-0833		Evening Phone	
Day Phone	(702)791-4300 x		Mobile #	
Fax	(702)791-4450			

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses11350 W LAKE MEAD BLVD
LAS VEGAS, 89138-11351 W LAKE MEAD BLVD
LAS VEGAS, 89138-**Linked Parcels**

No Parcels are linked to this Application

A/P Linked Parcels

13714501003

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date** 06/08/2006 08:21 AM**Submitted By**

Page 2

Applicants/Contacts

Primary N **Capacity** OWNER **Contact ID** AC48017 ☐ **Foreign**
Effective **Expire**
Name HUGHES HOWARD CORPORATION
Day Phone (702)791-4300 x **Eve Phone** **Organization** % ROUSE CO
Pager **PIN #** **Position**
Fax (702)791-4450 **Mobile** **Profession**
E-Mail
Address P O BOX 833
COLUMBIA, MD 21044-0833

Seasonal Addr

Valid From **To**
Comments
Kevin Orrock

Primary N **Capacity** OTHER **Other** REP **Contact ID** AC1187145 ☐ **Foreign**
Effective **Expire**
Name G.C. WALLACE
Day Phone (702)804-2000 x **Eve Phone** **Organization**
Pager **PIN #** **Position**
Fax (702)804-2296 **Mobile** **Profession**
E-Mail
Address 6655 CIMMARRON ROAD
LAS VEGAS, NV 89113

Seasonal Addr

Valid From **To**
Comments
Jodi Bennett

Primary Y **Capacity** APPL **Contact ID** AC1183197 ☐ **Foreign**
Effective **Expire**
Name PULTE HOMES NEVADA
Day Phone (702)914-4800 x **Eve Phone** **Organization** % H BRETTTHAUER
Pager **PIN #** **Position**
Fax (702)914-4997 **Mobile** **Profession**
E-Mail
Address 8345 W SUNSET RD
LAS VEGAS, NV 89113-2092

Seasonal Addr

Valid From **To**
Comments
Tim Washburn

Contractors

No Contractors

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 06/08/2006 08:21 AM

Submitted By

Page 3

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance? Final City Council letter received
N Parent Project link required? Annotated minutes recieved
Y Will this go to the City Council? Is there a condition of approval for a Required Review?
Hearing Type
Public, Non-Public, Admin PUBLIC If yes, when does it need to be reviewed?

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
07/13/2006	PC	SCHEDULED	0	0	0
SASCOTT	06/02/2006				

Template Type A/P # A/P Type Status Stage

No children exist for this project

Employee
Employee ID Last First MI Comments

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CK NAME,# WHO PICKED UP PERMIT jodi bennett id ok, g c wallace ck #83561 (\$300) and 3670 (\$500)	983673	06/05/2006 14:20		0.00
Z-SUBC	REASON ALL ITEMS NOT SUBMITTED Color/Material Board, Landscape Plans, and Elevations (and respective reduction) to be delivered to Doug Rankin.		06/02/2006 15:47		0.00

Application



Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Plan Review
 Project Address (Location) Lake Mead Blvd. & I215 Beltway
 Project Name Reverence - A Green Community Proposed Use Residential
 Assessor's Parcel #(s) 137.14 501.003 Ward # 4
 General Plan: existing _____ proposed _____ Zoning: existing PL proposed PL
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 314 +/- Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Howard Hughes Corporation Contact Kevin Orrock
 Address 10000 W. Charleston Blvd # 200 Phone: 791.4000 Fax: 791.4533
 City Las Vegas State Nevada Zip _____

APPLICANT RuteHomes Contact Tim Washburn
 Address 8345 W Sunset Rd Phone: 914.4000 Fax: 914.4007
 City Las Vegas State Nevada Zip 89113

REPRESENTATIVE G.C. Wallace Contact Jodi Bennett
 Address 6655 S. Cimarron Rd Phone: 804.2162 Fax: 804.2296
 City Las Vegas State Nevada Zip 89113

FOR DEPARTMENT USE ONLY

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

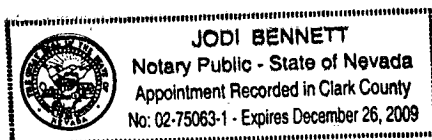
Print Name KEVIN T. ORROCK

Subscribed and sworn before me

This 2nd day of June, 20 06

[Signature]

Notary Public in and for said County and State



Case #	<u>SDR-14047</u>
Meeting Date:	<u>07-13-06</u>
Total Fee:	<u>\$800⁰⁰</u>
Date Received:*	<u>06-07-06</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Justification Letter



JUSTIFICATION LETTER

Separator Sheet



G. C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS

G. C. WALLACE, INC.
G. C. WALLACE OF CALIFORNIA, INC.
G. C. WALLACE HOLDINGS, INC.

Writer's Contact Information:

764.201.006

June 2, 2006

Don Schmeiser
City of Las Vegas
731 S. Fourth Street
Las Vegas, Nevada 89030

**Re: Justification letter – Reverence – A Green Community at Summerlin
Site Development Plan Review
Assessors Parcel Numbers – 137-14-501-003**

Dear Mr. Schmeiser:

On behalf of our client, PN II Inc., dba Pulte Homes of Nevada, G. C. Wallace, Inc. requests the approval of a Site Development Plan Review for a single-family residential project. This project is within a private gated community on 314+/- acres of Village 26 in Summerlin. This development is located west of and adjacent to the I-215 Beltway, between Cheyenne Avenue and Lake Mead Boulevard.

This site plan review submittal is proposed as requested by the City of Las Vegas due to the size of the project, and is to review in conjunction with the proposed waivers submitted 6/1/06. This site plan review is to coordinate and work with City of Las Vegas Staff to address and "conclude" all street alignment/intersection and width issues prior to a tentative map submittal.

This development conforms with the current projected development of Summerlin West and surrounding area and overall Summerlin West Master Planned Development to the South.

Very truly yours,

G. C. WALLACE, INC.

Christopher W. Anderson, P.E.
Executive Vice President

CC: Don Boettcher, Pulte Homes
Tim Washburn, Pulte Homes
Chris Kaempfer, KKBRF
Bob Genzer
Doug Hankel, GCW
Greg Radig, GCW

**SDR-14047
07-13-06 PC**

SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-14047** APN: 137-14-501-003
Name of Property Owner: Howard Hughes Corporation
Name of Applicant: Pulte Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

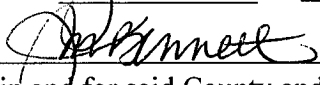
APN: _____

Signature of Property Owner: 

Print Name: KEVIN T. ORROCK

Subscribed and sworn before me

This 2nd day of June, 20 06


Notary Public in and for said County and State



Deed

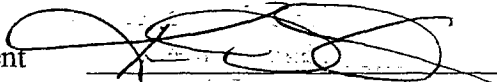


Separator Sheet

THE HOWARD HUGHES CORPORATION

INCUMBENCY CERTIFICATE

I, Gregory Tobias, a duly elected, qualified and acting Assistant Secretary of THE HOWARD HUGHES CORPORATION, a Delaware corporation, DO CERTIFY that, as of the date hereof, the following person is a duly elected, qualified and acting officer of The Howard Hughes Corporation, and that the individual named below holds the office indicated as of the date hereof, and that the signature appearing opposite such officer's name is his genuine signature:

<u>Name</u>	<u>Office</u>	<u>Signature</u>
Kevin T. Orrock	Executive Vice President	

IN WITNESS WHEREOF, I hereunto place my signature, this 14th day of February, 2006.



Gregory Tobias
Assistant Secretary

SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC

RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:

STEWART TITLE OF NEVADA
3800 Howard Hughes Parkway, Suite 500
Las Vegas, Nevada 89109
Attention: Linda Jones

APN No(s) : See Exhibit "B" Attached (SUMMERLIN NORTH & SOUTH)

GRANTEE'S ADDRESS FOR TAX BILLS:

HOWARD HUGHES PROPERTIES,
LIMITED PARTNERSHIP
3800 Howard Hughes Parkway
Las Vegas, Nevada 89109
Attention: General Counsel

(Space above line for Recorder's use)

GRANT BARGAIN AND SALE DEED

HOWARD HUGHES PROPERTIES, LIMITED PARTNERSHIP, a Delaware limited partnership, as "Grantor," does hereby Grant, Bargain, Sell and Convey to HOWARD HUGHES PROPERTIES, INC., a Nevada corporation, as "Grantee," the real property in the County of Clark, State of Nevada (hereinafter referred to as the "Property") described on Exhibit "A" attached hereto and incorporated herein by this reference.

SUBJECT TO:

1. General and special taxes and assessments for the current fiscal tax year and any and all unpaid bonds and/or assessments; and
2. All covenants, conditions, restrictions, reservations, rights, right-of-way and easements recorded against the Property and all other matters of record.

SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC

IN WITNESS WHEREOF, Grantor has caused its name to be affixed hereto and this instrument to be executed by its general partner thereunto duly authorized.

Dated as of December 17, 1997.

HOWARD HUGHES PROPERTIES,
LIMITED PARTNERSHIP, a
Delaware limited partnership

By: THE HOWARD HUGHES
CORPORATION (formerly known as
Summa Corporation), a Delaware
corporation, its sole general partner

By: Michael C. Niarchos
Print Name: Michael C. Niarchos
Print Title: Senior Vice President &
General Counsel

STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

on December 17, 1997, personally appeared before me,
a Notary Public, Michael C. Niarchos, personally known to me to be
the person whose name is subscribed to the above instrument who
acknowledged that he executed the instrument.

Sharon K. Walker

Notary Public



EXHIBIT "A"

1

LEGAL DESCRIPTION
CURRENT PARCELS OWNED BY HOWARD HUGHES PROPERTIES

SUMMERLIN NORTHERN PLANNING AREA

BEING A PORTION OF SECTION 23, 24, 25, 26, 35 AND 36, TOWNSHIP 20 SOUTH, RANGE 59 EAST, AND SECTIONS 18, 19, 20 AND 30, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEING LOT 2 OF BLOCK A, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 1 SOUTH - UNIT NO. 4" ON FILE IN BOOK 51, PAGE 86 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 90, PAGE 10 OF PARCEL MAPS, OF OFFICIAL RECORDS.

TOGETHER WITH PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 82, PAGE 64 OF PARCEL MAPS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 3 OF BLOCK A, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 3 UNIT NO. 1B" ON FILE IN BOOK 71, PAGE 13 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 9 AND LOT 11 OF BLOCK C, AS SHOWN BY MAP OF "THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2A" ON FILE IN BOOK 75, PAGE 75 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 1 AND LOT 3 OF BLOCK B, LOT 6 OF BLOCK C, LOT 7 AND LOT 9 THROUGH LOT 11 OF BLOCK A, AS SHOWN BY MAP OF "THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2C" ON FILE IN BOOK 80, PAGE 14 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 1 AND LOT 4 OF BLOCK A, AND LOT 5 THROUGH LOT 7 OF BLOCK B, AS SHOWN BY MAP OF "THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 3 A-B" ON FILE IN BOOK 78, PAGE 62 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 1 OF BLOCK A, LOT 2 OF BLOCK B AND LOT 3 THROUGH LOT 5 OF BLOCK C, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 12 - THE ARBORS PARCEL AA" ON FILE IN BOOK 81, PAGE 78 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 100 THROUGH LOT 103 OF BLOCK 2 AS SHOWN BY MAP OF "HALF ACRES PHASE 1 AT SUMMERLIN VILLAGE 7 - THE TRAILS" ON FILE IN BOOK 66, PAGE 39 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 32, LOT 38 THROUGH LOT 40, ALL OF BLOCK 4; LOT 55, LOT 59 THROUGH LOT 61, LOT 63 THROUGH LOT 66, LOT 70 AND LOT 72, ALL OF BLOCK 5, AS SHOWN BY MAP OF "HALF ACRES PHASE 2 AT SUMMERLIN VILLAGE 7 - THE TRAILS" ON FILE IN BOOK 78, PAGE 26 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 3 THROUGH LOT 5, LOT 14, LOT 16, LOT 17, LOT 20, LOT 29, LOT 43, LOT 51, LOT 145 AND LOT 149, ALL OF BLOCK A, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 1" ON FILE IN BOOK 74, PAGE 36 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 64 THROUGH LOT 70, LOT 72 THROUGH LOT 78, LOT 80, LOT 82 THROUGH LOT 105, LOT 110, LOT 112 THROUGH LOT 115, AND LOT 117 THROUGH LOT 120, ALL OF BLOCK A; LOT 127 THROUGH LOT 134 AND LOT 136 THROUGH LOT 142, ALL OF BLOCK B, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 2" ON FILE IN BOOK 75, PAGE 99 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 1 THROUGH LOT 3, LOT 6, LOT 9, LOT 10, LOT 13 THROUGH LOT 16, LOT 20, LOT 21, LOT 28, LOT 31, LOT 33 THROUGH LOT 40, LOT 45 THROUGH LOT 50, AND LOT 52 THROUGH LOT 56, ALL OF BLOCK A; LOT 57 THROUGH LOT 62 OF BLOCK B, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 12 CANYON VISTA" ON FILE IN BOOK 77, PAGE 67 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 6 AS SHOWN BY MAP OF "3rd AMENDED MAP OF A PORTION OF SUMMERLIN VILLAGE 7 - THE TRAILS - UNIT NO. 1" ON FILE IN BOOK 68, PAGE 45 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 3 OF BLOCK B, AS SHOWN BY "SUMMERLIN VILLAGE 1 SOUTH - PARCEL 1" A COMMERCIAL SUBDIVISION, ON FILE IN BOOK 51, PAGE 26 OF PLATS, OF OFFICIAL RECORDS. EXCEPTING AN AREA DESCRIBED BY THAT CERTAIN GRANT SELL BARGAIN DEED RECORDED SEPTEMBER 05, 1997 IN BOOK 970905 AS INSTRUMENT NUMBER 01543 AND SHOWN BY MAP THEREOF ON FILE IN FILE 91, PAGE 19 OF SURVEYS, OF OFFICIAL RECORDS.

TOGETHER WITH AREA 2, AREA 5 AND AREA 6 AS SHOWN BY MAP THEREOF ON FILE IN FILE 86, PAGE 16 OF SURVEYS, OF OFFICIAL RECORDS.

TOGETHER WITH PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 90, PAGE 04 OF PARCEL MAPS, OF OFFICIAL RECORDS.

TOGETHER WITH PARCEL 1 AND PARCEL 2 PER ORDER OF VACATION VAC-25-92 ON FILE IN BOOK 940415 OF OFFICIAL RECORDS AS INSTRUMENT NO. 01578.

EXCEPTING THEREFROM PARCEL 3 PER A GRANT DEED FOR RIGHT-OF-WAY ON FILE IN BOOK 930201 OF OFFICIAL RECORDS AS INSTRUMENT NO. 00525.

SUMMERLIN SOUTHERN PLANNING AREA

BEING A PORTION OF SECTIONS 1, 2, 3, 11, 12, 13, 14, 23, 24, 25 AND 36, TOWNSHIP 21 SOUTH, RANGE 59 EAST, M.D.M., CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEING PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 89, PAGE 16 OF PARCEL MAPS, OF OFFICIAL RECORDS.

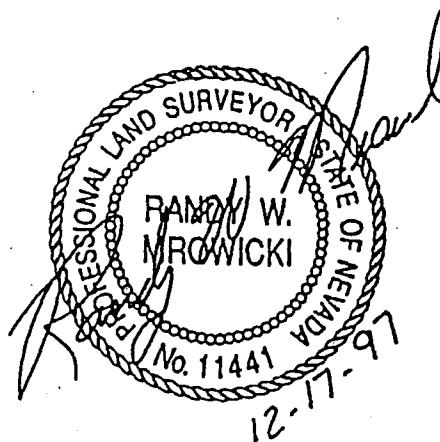
EXCEPTING THEREFROM LOT 1 OF BLOCK B AND LOT 4 OF BLOCK C AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 14A EAST UNIT NO. 1B" IN BOOK 77, PAGE 07 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH PARCEL 1, PARCEL 2 AND PARCEL 4 AS SHOWN BY MAP THEREOF ON FILE IN FILE 89, PAGE 95 OF PARCEL MAPS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 26 OF BLOCK A AND COMMON ELEMENT "V" OF BLOCK B AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 14A EAST WILLOW COURTS" IN BOOK 77, PAGE 96 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH LOT 14 THROUGH LOT 23 OF BLOCK A AS SHOWN BY MAP OF "AMENDED PLAT OF SUMMERLIN VILLAGE 14A EAST WILLOW COURTS" IN BOOK 82, PAGE 41 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

THIS DESCRIPTION IS PROVIDED AS A CONVENIENCE, AND IS NOT INTENDED FOR THE PURPOSES OF SUBDIVIDING LAND NOT IN CONFORMANCE WITH THE NEVADA REVISED STATUTES (N.R.S.).



wcm c:\office\wpwin\wpdoc\thhc-n-s.052
REVISED 12-17-97

EXHIBIT "B" 1

ASSESSOR PARCEL NUMBER LISTING
CURRENT PARCELS OWNED BY HOWARD HUGHES PROPERTIESSUMMERLIN NORTHERN PLANNING AREA

BEING A PORTION OF SECTION 23, 24, 25, 26, 35 AND 36, TOWNSHIP 20 SOUTH, RANGE 59 EAST, AND SECTIONS 18, 19, 20 AND 30, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

SUMMERLIN VILLAGE 1 SOUTH - UNIT NO. 4 - ON FILE IN BOOK 51, PAGE 86 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
2	"A"	138-19-812-003, 138-19-812-004 & 138-19-812-005

SUMMERLIN VILLAGE 3 UNIT NO. 1B - ON FILE IN BOOK 71, PAGE 13 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
3	"A"	138-30-810-001

THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2A - ON FILE IN BOOK 75, PAGE 75 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
9	"C"	137-25-813-001
11	"C"	135-25-210-008

THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2C - ON FILE IN BOOK 80, PAGE 14 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
1	"B"	137-36-310-002
3	"B"	137-36-410-002
6	"C"	137-36-410-003
7	"A"	137-35-810-001
9	"A"	137-35-710-001
10	"A"	137-35-610-002
11	"A"	137-35-610-001

THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 3 A-B - ON FILE IN BOOK 78, PAGE 62 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
1	"A"	137-23-810-002
4	"A"	137-26-610-001
5	"B"	137-26-711-001
6	"B"	137-26-711-002
7	"B"	137-26-810-001

SUMMERLIN VILLAGE 12 - THE ARBORS PARCEL AA - ON FILE IN BOOK 81, PAGE 78 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
1	"A"	137-36-801-004*
2	"B"	137-36-801-004*
3	"C"	137-36-801-004*
4	"C"	137-36-801-004*
5	"C"	137-36-801-004*

*INDIVIDUAL ASSESSORS PARCEL NUMBERS (A.P.N.'s) ARE NOT LISTED BY THE CURRENT A.P.N. MAPS AS OF DECEMBER 10, 1997.

HALF ACRES PHASE 1 AT SUMMERLIN VILLAGE 7 - THE TRAILS - ON FILE IN BOOK 66, PAGE 39 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
100	2	138-19-115-042
101	2	138-19-115-041
102	2	138-19-115-040
103	2	138-19-115-039

HALF ACRES PHASE 2 AT SUMMERLIN VILLAGE 7 - THE TRAILS - ON FILE IN BOOK 78, PAGE 26 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
32	4	*NO INDIVIDUAL ASSESSORS PARCEL NUMBERS (*A.P.N.'s) HAVE BEEN ASSIGNED AS OF DECEMBER 10, 1997.
38	4	
39	4	
40	4	
55	5	
59	5	A.P.N. 138-19-101-004 IS CURRENT LISTED A.P.N. FOR THE PHASE 2 MAP AREA.
60	5	
61	5	
63	5	

HALF ACRES PHASE 2 AT SUMMERLIN VILLAGE 7 - THE TRAILS -CONTINUED

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
64	5	*NO INDIVIDUAL ASSESSORS PARCEL NUMBERS (*A.P.N.'s) HAVE BEEN ASSIGNED AS OF DECEMBER 10, 1997. A.P.N. 138-19-101-004 IS CURRENT LISTED A.P.N. FOR THE PHASE 2 MAP AREA.
65	5	
66	5	
70	5	
72	5	

SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 1 - ON FILE IN BOOK 74,
PAGE 36 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK
COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
3	"A"	138-30-412-003
4	"A"	138-30-412-004
5	"A"	138-30-412-005
14	"A"	138-30-712-006
16	"A"	138-30-712-008
17	"A"	138-30-712-009
20	"A"	138-30-712-012
29	"A"	138-30-712-021
43	"A"	138-30-621-002
51	"A"	138-30-712-031
145	"A"	138-30-811-003
149	"A"	138-30-415-001

SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 2 - ON FILE IN BOOK 75,
PAGE 99 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK
COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
64	"A"	138-30-713-002
65	"A"	138-30-713-003
66	"A"	138-30-713-004
67	"A"	138-30-713-005
68	"A"	138-30-713-006
69	"A"	138-30-713-007
70	"A"	138-30-713-008
72	"A"	138-30-713-010
73	"A"	138-30-713-011
74	"A"	138-30-713-012
75	"A"	138-30-713-013
76	"A"	138-30-713-014
77	"A"	138-30-713-015
78	"A"	138-30-713-016
80	"A"	138-30-713-018
82	"A"	138-30-713-020

SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 2 - CONTINUED

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
83	"A"	138-30-713-021
84	"A"	138-30-713-022
85	"A"	138-30-713-023
86	"A"	138-30-713-024
87	"A"	138-30-713-025
88	"A"	138-30-713-026
89	"A"	138-30-713-027
90	"A"	138-30-713-028
91	"A"	138-30-713-029
92	"A"	138-30-713-030
93	"A"	138-30-713-031
94	"A"	138-30-713-032
95	"A"	138-30-713-033
96	"A"	138-30-713-034
97	"A"	138-30-713-035
98	"A"	138-30-713-036
99	"A"	138-30-713-037
100	"A"	138-30-713-038
101	"A"	138-30-713-039
102	"A"	138-30-713-040
103	"A"	138-30-713-041
104	"A"	138-30-713-042
105	"A"	138-30-713-043
110	"A"	138-30-812-009
112	"A"	138-30-812-007
113	"A"	138-30-812-006
114	"A"	138-30-812-005
115	"A"	138-30-713-048
117	"A"	138-30-713-050
118	"A"	138-30-713-051
119	"A"	138-30-713-052
120	"A"	138-30-713-053
127	"B"	138-30-713-056
128	"B"	138-30-713-057
129	"B"	138-30-713-058
130	"B"	138-30-713-059
131	"B"	138-30-713-060
132	"B"	138-30-713-061
133	"B"	138-30-713-062
134	"B"	138-30-713-063
136	"B"	138-30-713-065
137	"B"	138-30-713-066
138	"B"	138-30-713-067
139	"B"	138-30-713-068
140	"B"	138-30-713-069
141	"B"	138-30-713-070
142	"B"	138-30-713-071

SUMMERLIN VILLAGE 12 CANYON VISTA - ON FILE IN BOOK 77, PAGE 67
OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY,
NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
1	"A"	137-36-611-001
2	"A"	137-36-611-002
3	"A"	137-36-611-003
6	"A"	137-36-611-006
9	"A"	137-36-611-009
10	"A"	137-36-611-010
13	"A"	137-36-611-013
14	"A"	137-36-611-014
15	"A"	137-36-611-015
16	"A"	137-36-611-016
20	"A"	137-36-711-003
21	"A"	137-36-711-004
28	"A"	137-36-711-011
33	"A"	137-36-711-016
34	"A"	137-36-711-017
35	"A"	137-36-611-018
36	"A"	137-36-611-019
37	"A"	137-26-711-018
38	"A"	137-36-711-019
39	"A"	137-36-711-020
40	"A"	137-36-711-021
45	"A"	137-36-712-001
46	"A"	137-36-711-027
47	"A"	137-36-711-028
48	"A"	137-36-711-029
49	"A"	137-36-711-030
50	"A"	137-36-711-031
52	"A"	137-36-611-021
53	"A"	137-36-611-022
54	"A"	137-36-611-023
55	"A"	137-36-611-024
56	"A"	137-36-611-025
57	"B"	137-36-711-032
58	"B"	137-36-711-033
59	"B"	137-36-711-034
60	"B"	137-36-711-035
61	"B"	137-36-711-036
62	"B"	137-36-711-037

3rd AMENDED MAP OF A PORTION OF SUMMERLIN VILLAGE 7 - THE TRAILS
- UNIT NO. 1 - ON FILE IN BOOK 68, PAGE 45 OF PLATS IN THE CLARK
COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT 6

A.P.N. 138-19-815-001

SUMMERLIN VILLAGE 1 SOUTH - PARCEL 1 - ON FILE IN BOOK 51, PAGE 26 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT 3

BLOCK "B"

A.P.N. 138-30-510-003

TOGETHER WITH PARCEL 2 (A.P.N. 138-19-811-004) AS SHOWN BY MAP THEREOF ON FILE IN FILE 90, PAGE 10 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH PARCEL 2 (A.P.N. 137-36-410-005) AS SHOWN BY MAP THEREOF ON FILE IN FILE 90, PAGE 04 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH AREA 2, (A.P.N. 138-20-614-007), AREA 5 (A.P.N. 138-20-614-010) AND AREA 6 (A.P.N. 138-20-614-011) AS SHOWN BY MAP THEREOF ON FILE IN FILE 86, PAGE 16 OF SURVEYS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 82, PAGE 64 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE CLARK COUNTY, NEVADA.

TOGETHER WITH PARCEL 1 (A.P.N. 138-30-510-003) AND PARCEL 2 (A.P.N. 138-30-510-003) PER ORDER OF VACATION VAC-25-92 ON FILE IN BOOK 940415 OF OFFICIAL RECORDS AS INSTRUMENT NO. 01578.

EXCEPTING THEREFROM PARCEL 3 (A.P.N. 138-20-614-008) PER A GRANT DEED FOR RIGHT-OF-WAY ON FILE IN BOOK 930201 OF OFFICIAL RECORDS AS INSTRUMENT NO. 00525.

SUMMERLIN SOUTHERN PLANNING AREA

BEING A PORTION OF SECTIONS 1, 2, 3, 11, 12, 13, 14, 23, 24, 25 AND 36, TOWNSHIP 21 SOUTH, RANGE 59 EAST, M.D.M., CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEING PARCEL 2 (A.P.N. 164-01-000-004) AS SHOWN BY MAP THEREOF ON FILE IN FILE 89, PAGE 16 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

EXCEPTING THEREFROM LOT 1 (A.P.N. 164-12-710-001) OF BLOCK B AND LOT 4 (A.P.N. 164-12-810-002) OF BLOCK C OF "SUMMERLIN VILLAGE 14A EAST, UNIT NO. 1B" AS SHOWN BY MAP THEREOF ON FILE IN BOOK 81, PAGE 38 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH PARCEL 1 (A.P.N. 164-23-000-004 & 164-36-001-001), PARCEL 2 (A.P.N. 164-14-000-004) AND PARCEL 4 (A.P.N. 164-02-000-002) AS SHOWN BY MAP THEREOF ON FILE IN FILE 89, PAGE 95 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH LOT 26 (A.P.N. 164-12-611-026) OF BLOCK A AND COMMON ELEMENT "V" (A.P.N. 164-12-611-044) OF BLOCK B AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 14A EAST WILLOW COURTS" IN BOOK 77, PAGE 96 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH LOT 14 THROUGH LOT 23 OF BLOCK A AS SHOWN BY MAP OF "AMENDED PLAT OF SUMMERLIN VILLAGE 14A EAST WILLOW COURTS" IN BOOK 82, PAGE 41 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA (A.P.N.'s WERE NOT AVAILABLE AS OF 12-15-97).

THIS LISTING IS PROVIDED FOR ASSESSOR PARCEL NUMBER REFERENCE ONLY, AND IS NOT INTENDED AS A LEGAL DESCRIPTION OF SAID PARCELS.

wcm c:\office\wpwin\wpdoc\hmc-nsr.052
REVISED 12-17-97

CLARK COUNTY, NEVADA
JUDITH A. VANDEVER, RECORDER
RECORDED AT REQUEST OF:
STEWART TITLE OF NEVADA

12-18-97 11:47 CDO 12
BOOK: 971218 INST: 01040
FEE: 18.00 RPTT: EX#010
DEED

7 a RE-RECORDED

971218.01040

THIS DOCUMENT IS BEING RE-RECORDED TO CORRECT THE LEGAL DESCRIPTION
ON PAGE 5

RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:

STEWART TITLE OF NEVADA
3800 Howard Hughes Parkway, Suite 500
Las Vegas, Nevada 89109
Attention: Linda Jones

APN No(s): See Exhibit "B" Attached (SUMMERLIN NORTH & SOUTH)

GRANTEE'S ADDRESS FOR TAX BILLS:
HOWARD HUGHES PROPERTIES,
LIMITED PARTNERSHIP
3800 Howard Hughes Parkway
Las Vegas, Nevada 89109
Attention: General Counsel

(Space above line for Recorder's use)

GRANT BARGAIN AND SALE DEED

HOWARD HUGHES PROPERTIES, LIMITED PARTNERSHIP, a Delaware limited partnership, as "Grantor," does hereby Grant, Bargain, Sell and Convey to HOWARD HUGHES PROPERTIES, INC., a Nevada corporation, as "Grantee," the real property in the County of Clark, State of Nevada (hereinafter referred to as the "Property") described on Exhibit "A" attached hereto and incorporated herein by this reference.

SUBJECT TO:

1. General and special taxes and assessments for the current fiscal year and any and all unpaid bonds and/or assessments; and
2. All covenants, conditions, restrictions, reservations, rights, right-of-way and easements recorded against the Property and all other matters of record.

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT
SDR-14047 WVR-14007
WVR-14008 WVR-14009

971218.01040

IN WITNESS WHEREOF, Grantor has caused its name to be affixed hereto and this instrument to be executed by its general partner thereunto duly authorized.

Dated as of December 17, 1997.

HOWARD HUGHES PROPERTIES,
LIMITED PARTNERSHIP, a
Delaware limited partnership

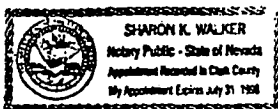
By: THE HOWARD HUGHES
CORPORATION (formerly known as
Summa Corporation), a Delaware
corporation, its sole general partner

By: Michael C. Niarchos
Print Name: Michael C. Niarchos
Print Title: Senior Vice President &
General Counsel

STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

On December 17, 1997, personally appeared before me,
a Notary Public, Michael C. Niarchos, personally known to me to be
the person whose name is subscribed to the above instrument who
acknowledged that he executed the instrument.

Sharon K. Walker
Notary Public



RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

971218.01040

EXHIBIT "A"

1

LEGAL DESCRIPTION
CURRENT PARCELS OWNED BY HOWARD HUGHES PROPERTIES

SUMMERLIN NORTHERN PLANNING AREA

BEING A PORTION OF SECTION 23, 24, 25, 26, 35 AND 36, TOWNSHIP 20 SOUTH, RANGE 59 EAST, AND SECTIONS 18, 19, 20 AND 30, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEING LOT 2 OF BLOCK A, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 1 SOUTH - UNIT NO. 4" ON FILE IN BOOK 51, PAGE 86 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 90, PAGE 10 OF PARCEL MAPS, OF OFFICIAL RECORDS.

TOGETHER WITH PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 82, PAGE 64 OF PARCEL MAPS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 3 OF BLOCK A, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 3 UNIT NO. 1B" ON FILE IN BOOK 71, PAGE 13 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 9 AND LOT 11 OF BLOCK C, AS SHOWN BY MAP OF "THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2A" ON FILE IN BOOK 75, PAGE 75 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 1 AND LOT 3 OF BLOCK B, LOT 6 OF BLOCK C, LOT 7 AND LOT 9 THROUGH LOT 11 OF BLOCK A, AS SHOWN BY MAP OF "THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2C" ON FILE IN BOOK 80, PAGE 14 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 1 AND LOT 4 OF BLOCK A, AND LOT 5 THROUGH LOT 7 OF BLOCK B, AS SHOWN BY MAP OF "THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 3 A-B" ON FILE IN BOOK 78, PAGE 62 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 1 OF BLOCK A, LOT 2 OF BLOCK B AND LOT 3 THROUGH LOT 5 OF BLOCK C, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 12 - THE ARBORS PARCEL AA" ON FILE IN BOOK 81, PAGE 78 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 100 THROUGH LOT 103 OF BLOCK 2 AS SHOWN BY MAP OF "HALF ACRES PHASE 1 AT SUMMERLIN VILLAGE 7 - THE TRAILS" ON FILE IN BOOK 66, PAGE 39 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 32, LOT 38 THROUGH LOT 40, ALL OF BLOCK 4; LOT 55, LOT 59 THROUGH LOT 61, LOT 63 THROUGH LOT 66, LOT 70 AND LOT 72, ALL OF BLOCK 5, AS SHOWN BY MAP OF "HALF ACRES PHASE 2 AT SUMMERLIN VILLAGE 7 - THE TRAILS" ON FILE IN BOOK 78, PAGE 26 OF PLATS, OF OFFICIAL RECORDS.

971218.01040

2

TOGETHER WITH LOT 3 THROUGH LOT 5, LOT 14, LOT 16, LOT 17, LOT 20, LOT 29, LOT 43, LOT 51, LOT 145 AND LOT 149, ALL OF BLOCK A, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 1" ON FILE IN BOOK 74, PAGE 36 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 64 THROUGH LOT 70, LOT 72 THROUGH LOT 78, LOT 80, LOT 82 THROUGH LOT 105, LOT 110, LOT 112 THROUGH LOT 115, AND LOT 117 THROUGH LOT 120, ALL OF BLOCK A; LOT 127 THROUGH LOT 134 AND LOT 136 THROUGH LOT 142, ALL OF BLOCK B, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 2" ON FILE IN BOOK 75, PAGE 99 OF PLAT, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 1 THROUGH LOT 3, LOT 6, LOT 9, LOT 10, LOT 13 THROUGH LOT 16, LOT 20, LOT 21, LOT 28, LOT 31, LOT 33 THROUGH LOT 40, LOT 45 THROUGH LOT 50, AND LOT 52 THROUGH LOT 56, ALL OF BLOCK A; LOT 57 THROUGH LOT 62 OF BLOCK B, AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 12 CANYON VISTA" ON FILE IN BOOK 77, PAGE 67 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 6 AS SHOWN BY MAP OF "3rd AMENDED MAP OF A PORTION OF SUMMERLIN VILLAGE 7 - THE TRAILS - UNIT NO. 1" ON FILE IN BOOK 68, PAGE 45 OF PLATS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 3 OF BLOCK B, AS SHOWN BY "SUMMERLIN VILLAGE 1 SOUTH - PARCEL 1" A COMMERCIAL SUBDIVISION, ON FILE IN BOOK 51, PAGE 26 OF PLATS, OF OFFICIAL RECORDS. EXCEPTING AN AREA DESCRIBED BY THAT CERTAIN GRANT SELL BARGAIN DEED RECORDED SEPTEMBER 05, 1997 IN BOOK 970905 AS INSTRUMENT NUMBER 01543 AND SHOWN BY MAP THEREOF ON FILE IN FILE 91, PAGE 19 OF SURVEYS, OF OFFICIAL RECORDS.

TOGETHER WITH AREA 2, AREA 5 AND AREA 6 AS SHOWN BY MAP THEREOF ON FILE IN FILE 86, PAGE 16 OF SURVEYS, OF OFFICIAL RECORDS.

TOGETHER WITH PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 90, PAGE 04 OF PARCEL MAPS, OF OFFICIAL RECORDS.

TOGETHER WITH PARCEL 1 AND PARCEL 2 PER ORDER OF VACATION VAC-25-92 ON FILE IN BOOK 940415 OF OFFICIAL RECORDS AS INSTRUMENT NO. 01578.

EXCEPTING THEREFROM PARCEL 3 PER A GRANT DEED FOR RIGHT-OF-WAY ON FILE IN BOOK 930201 OF OFFICIAL RECORDS AS INSTRUMENT NO. 00525.

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

971218.01040

3

SUMMERLIN SOUTHERN PLANNING AREA

BEING A PORTION OF SECTIONS 1, 2, 3, 11, 12, 13, 14, 23, 24, 25 AND 36, TOWNSHIP 21 SOUTH, RANGE 59 EAST, M.D.M., CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEING PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 89, PAGE 16 OF PARCEL MAPS, OF OFFICIAL RECORDS.

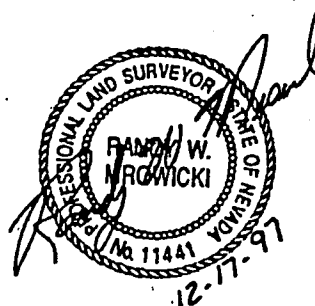
EXCEPTING THEREFROM LOT 1 OF BLOCK B AND LOT 4 OF BLOCK C AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 14A EAST UNIT NO. 1B" IN BOOK 77, PAGE 07 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH PARCEL 1, PARCEL 2 AND PARCEL 4 AS SHOWN BY MAP THEREOF ON FILE IN FILE 89, PAGE 95 OF PARCEL MAPS, OF OFFICIAL RECORDS.

TOGETHER WITH LOT 26 OF BLOCK A AND COMMON ELEMENT "V" OF BLOCK B AS SHOWN BY MAP OF "SUMMERLIN VILLAGE 14A EAST WILLOW COURTS" IN BOOK 77, PAGE 96 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH LOT 14 THROUGH LOT 23 OF BLOCK A AS SHOWN BY MAP OF "AMENDED PLAT OF SUMMERLIN VILLAGE 14A EAST WILLOW COURTS" IN BOOK 82, PAGE 41 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

THIS DESCRIPTION IS PROVIDED AS A CONVENIENCE, AND IS NOT INTENDED FOR THE PURPOSES OF SUBDIVIDING LAND NOT IN CONFORMANCE WITH THE NEVADA REVISED STATUTES (N.R.S.).



vcm c:\office\wpwin\wpdoc\thhc-n-w.052
REVISED 12-17-97

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

971218.01040

EXHIBIT "B"

ASSESSOR PARCEL NUMBER LISTING
CURRENT PARCELS OWNED BY HOWARD HUGHES PROPERTIESSUMMERLIN NORTHERN PLANNING AREA

BEING A PORTION OF SECTION 23, 24, 25, 26, 35 AND 36, TOWNSHIP 20 SOUTH, RANGE 59 EAST, AND SECTIONS 18, 19, 20 AND 30, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

SUMMERLIN VILLAGE 1 SOUTH - UNIT NO. 4 - ON FILE IN BOOK 51, PAGE 86 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
2	"A"	138-19-812-003, 138-19-812-004 & 138-19-812-005

SUMMERLIN VILLAGE 3 UNIT NO. 1B - ON FILE IN BOOK 71, PAGE 13 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
3	"A"	138-30-810-001

THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2A - ON FILE IN BOOK 75, PAGE 75 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
9	"C"	137-25-813-001
11	"C"	135-25-210-008

THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2C - ON FILE IN BOOK 80, PAGE 14 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
1	"B"	137-36-310-002
3	"B"	137-36-410-002
6	"C"	137-36-410-003
7	"A"	137-35-810-001
9	"A"	137-35-710-001
10	"A"	137-35-610-002
11	"A"	137-35-610-001

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

971218.01040

2

THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 3 A-B - ON FILE IN BOOK 78, PAGE 62 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
1	"A"	137-23-810-002
4	"A"	137-26-610-001
5	"B"	137-26-711-001
6	"B"	137-26-711-002
7	"B"	137-26-810-001

SUMMERLIN VILLAGE 12 - THE ARBORS PARCEL AA - ON FILE IN BOOK 81, PAGE 78 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
1	"A"	137-36-801-004*
2	"B"	137-36-801-004*
3	"C"	137-36-801-004*
4	"C"	137-36-801-004*
5	"C"	137-36-801-004*

*INDIVIDUAL ASSESSORS PARCEL NUMBERS (A.P.N.'s) ARE NOT LISTED BY THE CURRENT A.P.N. MAPS AS OF DECEMBER 10, 1997.

HALF ACRES PHASE 1 AT SUMMERLIN VILLAGE 7 - THE TRAILS - ON FILE IN BOOK 66, PAGE 39 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
100	2	138-19-115-042
101	2	138-19-115-041
102	2	138-19-115-040
103	2	138-19-115-039

HALF ACRES PHASE 2 AT SUMMERLIN VILLAGE 7 - THE TRAILS - ON FILE IN BOOK 78, PAGE 26 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
32	4	*NO INDIVIDUAL ASSESSORS PARCEL NUMBERS (*A.P.N.'s) HAVE BEEN ASSIGNED AS OF DECEMBER 10, 1997.
38	4	
39	4	
40	4	
55	5	A.P.N. 138-19-101-004 IS CURRENT LISTED A.P.N. FOR THE PHASE 2 MAP AREA.
59	5	
60	5	
61	5	
63	5	

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

971218.01040

3

HALF ACRES PHASE 2 AT SUMMERLIN VILLAGE 7 - THE TRAILS -CONTINUED

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
64	5	*NO INDIVIDUAL ASSESSORS PARCEL
65	5	NUMBERS (*A.P.N.'s) HAVE BEEN
66	5	ASSIGNED AS OF DECEMBER 10, 1997.
70	5	A.P.N. 138-19-101-004 IS CURRENT
72	5	LISTED A.P.N. FOR THE PHASE 2 MAP
		AREA.

SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 1 - ON FILE IN BOOK 74,
PAGE 36 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK
COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
3	"A"	138-30-412-003
4	"A"	138-30-412-004
5	"A"	138-30-412-005
14	"A"	138-30-712-006
16	"A"	138-30-712-008
17	"A"	138-30-712-009
20	"A"	138-30-712-012
29	"A"	138-30-712-021
43	"A"	138-30-621-002
51	"A"	138-30-712-031
145	"A"	138-30-811-003
149	"A"	138-30-415-001

SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 2 - ON FILE IN BOOK 75,
PAGE 99 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK
COUNTY, NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
64	"A"	138-30-713-002
65	"A"	138-30-713-003
66	"A"	138-30-713-004
67	"A"	138-30-713-005
68	"A"	138-30-713-006
69	"A"	138-30-713-007
70	"A"	138-30-713-008
72	"A"	138-30-713-010
73	"A"	138-30-713-011
74	"A"	138-30-713-012
75	"A"	138-30-713-013
76	"A"	138-30-713-014
77	"A"	138-30-713-015
78	"A"	138-30-713-016
80	"A"	138-30-713-018
82	"A"	138-30-713-020

971218.01040

4

SUMMERLIN VILLAGE 3 CUSTOM LOTS UNIT NO. 2 - CONTINUED

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
83	"A"	138-30-713-021
84	"A"	138-30-713-022
85	"A"	138-30-713-023
86	"A"	138-30-713-024
87	"A"	138-30-713-025
88	"A"	138-30-713-026
89	"A"	138-30-713-027
90	"A"	138-30-713-028
91	"A"	138-30-713-029
92	"A"	138-30-713-030
93	"A"	138-30-713-031
94	"A"	138-30-713-032
95	"A"	138-30-713-033
96	"A"	138-30-713-034
97	"A"	138-30-713-035
98	"A"	138-30-713-036
99	"A"	138-30-713-037
100	"A"	138-30-713-038
101	"A"	138-30-713-039
102	"A"	138-30-713-040
103	"A"	138-30-713-041
104	"A"	138-30-713-042
105	"A"	138-30-713-043
110	"A"	138-30-812-009
112	"A"	138-30-812-007
113	"A"	138-30-812-006
114	"A"	138-30-812-005
115	"A"	138-30-713-048
117	"A"	138-30-713-050
118	"A"	138-30-713-051
119	"A"	138-30-713-052
120	"A"	138-30-713-053
127	"B"	138-30-713-056
128	"B"	138-30-713-057
129	"B"	138-30-713-058
130	"B"	138-30-713-059
131	"B"	138-30-713-060
132	"B"	138-30-713-061
133	"B"	138-30-713-062
134	"B"	138-30-713-063
136	"B"	138-30-713-065
137	"B"	138-30-713-066
138	"B"	138-30-713-067
139	"B"	138-30-713-068
140	"B"	138-30-713-069
141	"B"	138-30-713-070
142	"B"	138-30-713-071

**

AMENDED PLAT OF A PORTION OF SUMMERLIN VILLAGE 11/12 CANYON VISTA
ON FILE IN BOOK 80 OF PLATS, PAGE 99, IN THE CLARK COUNTY RECORDER'S
OFFICE, CLARK COUNTY, NEVADA . LOT 45 BLOCK A 137-36-712-001

SUMMERLIN VILLAGE 12 CANYON VISTA - ON FILE IN BOOK 77, PAGE 67.
OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY,
NEVADA.

LOT NO.	BLOCK NO.	ASSESSORS PARCEL NO.
1	"A"	137-36-611-001
2	"A"	137-36-611-002
3	"A"	137-36-611-003
6	"A"	137-36-611-006
9	"A"	137-36-611-009
10	"A"	137-36-611-010
13	"A"	137-36-611-013
14	"A"	137-36-611-014
15	"A"	137-36-611-015
16	"A"	137-36-611-016
20	"A"	137-36-711-003
21	"A"	137-36-711-004
28	"A"	137-36-711-011
33	"A"	137-36-711-016
34	"A"	137-36-711-017
35	"A"	137-36-611-018
36	"A"	137-36-611-019
37	"A"	137-26-711-018
38	"A"	137-36-711-019
39	"A"	137-36-711-020
40	"A"	137-36-711-021
** 45/	"A"	137-36-711-001
46	"A"	137-36-711-027
47	"A"	137-36-711-028
48	"A"	137-36-711-029
49	"A"	137-36-711-030
50	"A"	137-36-711-031
52	"A"	137-36-611-021
53	"A"	137-36-611-022
54	"A"	137-36-611-023
55	"A"	137-36-611-024
56	"A"	137-36-611-025
57	"B"	137-36-711-032
58	"B"	137-36-711-033
59	"B"	137-36-711-034
60	"B"	137-36-711-035
61	"B"	137-36-711-036
62	"B"	137-36-711-037

3rd AMENDED MAP OF A PORTION OF SUMMERLIN VILLAGE 7 - THE TRAILS
- UNIT NO. 1 - ON FILE IN BOOK 68, PAGE 45 OF PLATS IN THE CLARK
COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT 6

A.P.N. 138-19-815-001

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

971218.01040

6

SUMMERLIN VILLAGE 1 SOUTH - PARCEL 1 - ON FILE IN BOOK 51, PAGE 26 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

LOT 3 BLOCK "B" A.P.N. 138-30-510-003

TOGETHER WITH PARCEL 2 (A.P.N. 138-19-811-004) AS SHOWN BY MAP THEREOF ON FILE IN FILE 90, PAGE 10 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH PARCEL 2 (A.P.N. 137-36-410-005) AS SHOWN BY MAP THEREOF ON FILE IN FILE 90, PAGE 04 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH AREA 2, (A.P.N. 138-20-614-007), AREA 5 (A.P.N. 138-20-614-010) AND AREA 6 (A.P.N. 138-20-614-011) AS SHOWN BY MAP THEREOF ON FILE IN FILE 86, PAGE 16 OF SURVEYS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

TOGETHER WITH PARCEL 2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 82, PAGE 64 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE CLARK COUNTY, NEVADA.

TOGETHER WITH PARCEL 1 (A.P.N. 138-30-510-003) AND PARCEL 2 (A.P.N. 138-30-510-003) PER ORDER OF VACATION VAC-25-92 ON FILE IN BOOK 940415 OF OFFICIAL RECORDS AS INSTRUMENT NO. 01578.

EXCEPTING THEREFROM PARCEL 3 (A.P.N. 138-20-614-008) PER A GRANT DEED FOR RIGHT-OF-WAY ON FILE IN BOOK 930201 OF OFFICIAL RECORDS AS INSTRUMENT NO. 00525.

SUMMERLIN SOUTHERN PLANNING AREA

BEING A PORTION OF SECTIONS 1, 2, 3, 11, 12, 13, 14, 23, 24, 25 AND 36, TOWNSHIP 21 SOUTH, RANGE 59 EAST, M.D.M., CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEING PARCEL 2 (A.P.N. 164-01-000-004) AS SHOWN BY MAP THEREOF ON FILE IN FILE 89, PAGE 16 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

EXCEPTING THEREFROM LOT 1 (A.P.N. 164-12-710-001) OF BLOCK B AND LOT 4 (A.P.N. 164-12-810-002) OF BLOCK C OF "SUMMERLIN VILLAGE 14A EAST, UNIT NO. 1B" AS SHOWN BY MAP THEREOF ON FILE IN BOOK 81, PAGE 38 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

971218.01090

7

TOGETHER WITH PARCEL 1 (A.P.N. 164-23-000-004 & 164-36-001-001),
PARCEL 2 (A.P.N. 164-14-000-004) AND PARCEL 4 (A.P.N. 164-02-000-
002). AS SHOWN BY MAP THEREOF ON FILE IN FILE 89, PAGE 95 OF
PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY,
NEVADA.

TOGETHER WITH LOT 26 (A.P.N. 164-12-611-026) OF BLOCK A AND
COMMON ELEMENT "V" (A.P.N. 164-12-611-044) OF BLOCK B AS SHOWN BY
MAP OF "SUMMERLIN VILLAGE 14A EAST WILLOW COURTS" IN BOOK 77,
PAGE 96 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK
COUNTY, NEVADA.

TOGETHER WITH LOT 14 THROUGH LOT 23 OF BLOCK A AS SHOWN BY MAP OF
"AMENDED PLAT OF SUMMERLIN VILLAGE 14A EAST WILLOW COURTS" IN
BOOK 82, PAGE 41 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE,
CLARK COUNTY, NEVADA (A.P.N.'s WERE NOT AVAILABLE AS OF 12-15-
97).

THIS LISTING IS PROVIDED FOR ASSESSOR PARCEL NUMBER REFERENCE
ONLY, AND IS NOT INTENDED AS A LEGAL DESCRIPTION OF SAID PARCELS.

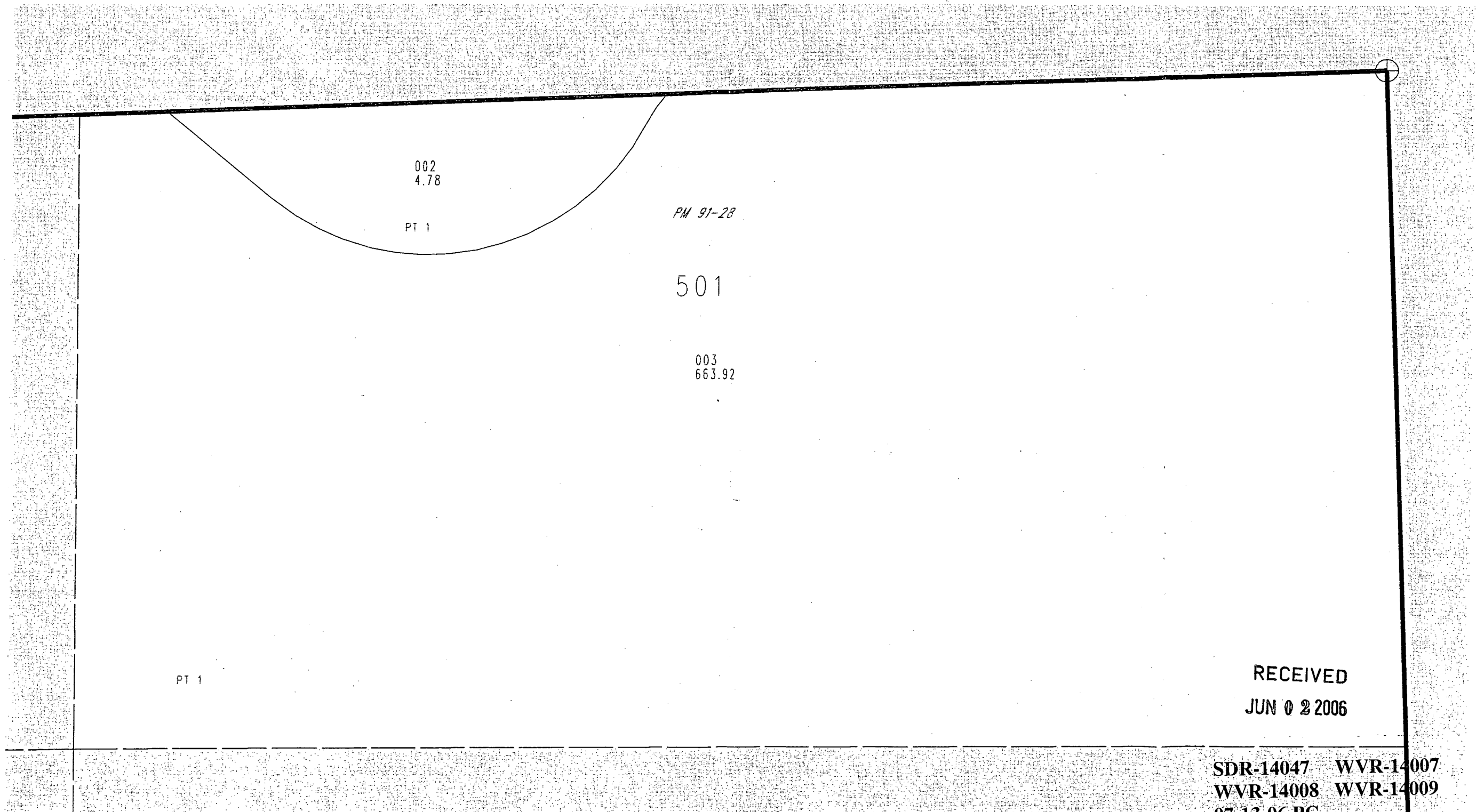
RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

\\cra-c\office\wp\win\wpdoc\thc-nr.052
REVISED 12-17-97

CLARK COUNTY, NEVADA
JUDITH A. VANDEVER, RECORDER
RECORDED AT REQUEST OF:
STEWART TITLE OF NEVADA

12-18-97 11:47 CDD 12
BOOK: 971218 INST: 01048
FEE: 18.00 RPTT: EX#018

NOTES	This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road=Document=Listing=in=the=Assessor's=Office. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.	MAP LEGEND	AVERAGE QA VALUE 22	ASSESSOR'S PARCELS - CLARK CO., NV. M. W. Schofield, Assessor		BOOK T20S R59E	SEC 14	MAP N 2 NE 4	137-14-5	
			001	PARCEL BOUNDARY	001	PARCEL NUMBER	R58E R59E R60E	6 5 4 3 2 1	8 4 8 4	
			202	SUBD BOUNDARY	1.00	ACREAGE	T19S 127 126 125	7 8 9 10 11 12	5 1 5 1	
			001	ROAD EASEMENT	25-45	PARCEL SUB/SEQ NUMBER	T20S 136 137 138	18 17 16 15 14 13	6 2 6 2	
001	PM/LD BOUNDARY	5	BLOCK NUMBER	T21S 165 164 163	19 20 21 22 23 24	7 3 7 3				
	NON-PARCEL LOT LINE	5	LOT NUMBER		30 29 28 27 26 25	8 4 8 4				
	MATCH LINE / LEADER LINE	GL5	GOV. LOT NUMBER		31 32 33 34 35 36	5 1 5 1				
USE THIS SCALE(Feet) WHEN MAP REDUCED FROM 11X17 ORIGINAL						Scale:1"=200'	Rev:05/21/03			



RECEIVED
JUN 02 2006

SDR-14047 WVR-14007
WVR-14008 WVR-14009
07-13-06 PC

TAX DIST 206

Comments



Separator Sheet

MEMORANDUM

City of Las Vegas Planning & Development Department

To: Land Development
From: Peter Lowenstein
Phone: (702) 229-4693 Fax: (702) 385-7268
CC: Land Development Civil Plan Ref. #18839
Date: 12/28/06
Re: Desert Hope Drive [Access Road for Reverence (Village 26)]

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. The signature line on the cover sheet should state "Doug Rankin, AICP, Current Planning Manager" and "This plan meets the applicable standards of the Planning and Development Department."
2. Please add a signature line on the cover sheet that states, "Summerlin Design Review Committee."
3. Per the Summerlin Development Standards, walls may be built up to 14 feet in height, plus 4 feet in retaining, next to the Western Beltway without a major deviation. The submitted civil improvement plans indicate stand alone retaining wall heights of 12 feet in height, as well as retaining wall and screen wall heights of 10 feet in height. Therefore, failing to meet Summerlin Development Standards and requiring a major deviation to be approved prior to the approval of the submitted civil improvement plans. Please submit a written request for all deviations from the Summerlin Development Standards to the Department of Planning and Development in conformance with the guidelines described within Section 5-11 of the Summerlin Development Standards.
4. The proposed civil improvement plans contain a number of discrepancies concerning the streetscape designs from that of the approved Site Development Plan Review [SDR-14047]. (Refer to Comments 5-8 below for some of the specific changes identified) Please submit a pre-application conference request form to the Department of Planning and Development for a Major amendment to the approved Site Development Plan Review. NOTE – The submitted civil improvement plans will not be approved until such time as all discrepancies have been resolved.
5. Pursuant to approved Site Development Plan review [SDR-14047] a 56-foot private road section is to be composed of a five and a half (5.5) foot landscape buffer abutted by a four (4) foot sidewalk on both sides of the 37-foot roadway. The submitted civil improvement plans fail to meet this standard, as is evident from Sections 7, 8, 9 and 18 on Sheet D-1. Please revise these sections to depict the before mentioned standard.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits; including, civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

*TMQ-16199
Approved wall height*

6. Pursuant to approved Site Development Plan review [SDR-14047] a 28-foot private road section is to be composed a four (4) foot sidewalk on one side of the 28-foot roadway. The submitted civil improvement plans fail to meet this standard, as is evident from Sections 5, 9, 10, 11, 12, 17 and 19 on Sheet D-1. However, if this standard is to be applied it would conflict with the connecting streetscape design for the 56-foot private road. Therefore, the 56-foot streetscape should be applied. In turn please revise the before mentioned sections to depict a five and a half (5.5) foot landscape buffer abutted by a four (4) foot sidewalk on one side of the 28-foot private road.
7. Pursuant to approved Site Development Plan review [SDR-14047] a 37-foot private road section is to be composed of a five (5) foot landscape buffer abutted by a four (4) foot sidewalk on one side of the 37-foot roadway and a minimum of five (5) feet of landscaping on the other. The submitted civil improvement plans are in conformance with design standard above for one half of the street, but fails to provide a minimum of five (5) feet of landscaping on the second half of the street. Please revise Sections 16, 20 and 21 on Sheet D-1 to depict a minimum of five (5) feet of landscaping. NOTE – This section of the road provides no sidewalk on the Beltway side of the road and therefore creates a disconnect between the entrance to the north and the continuing roadway to the south. If this is the intent so be it, but if it is not then to rectify this discrepancy the instillation of a five and a half (5.5) foot landscape buffer abutted by a four (4) foot sidewalk would create continuity.
8. Pursuant to approved Site Development Plan review [SDR-14047] the 70-foot to 83.5-foot public entry road at Cheyenne Boulevard is to be composed of a five (5) foot sidewalk abutted by a minimum of 15 feet and a maximum of 35 feet of landscaping on both sides of the roadway. In addition, the median is to be a minimum of 14 feet and a maximum of 27.5 feet in width. Sections 1, 2, 3, 13 and 14 on Sheet D-1 fail to depict these standards and therefore will be required to be revised.
9. Wheel stops within handicap parking spaces must be shown. Include a construction note to reference the wheel stop and revise all applicable sheets.
10. NOTE – Within Sheets P-5 through P-8 and P-10 monument walls are depicted. The approval of the civil improvement plans is for the wall only and does not constitute approval of any signage. All signage will be handled by separate sign permits and will be held to the Lone Mountain West Master Development Plan and Design Standards.
11. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits; including, civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

