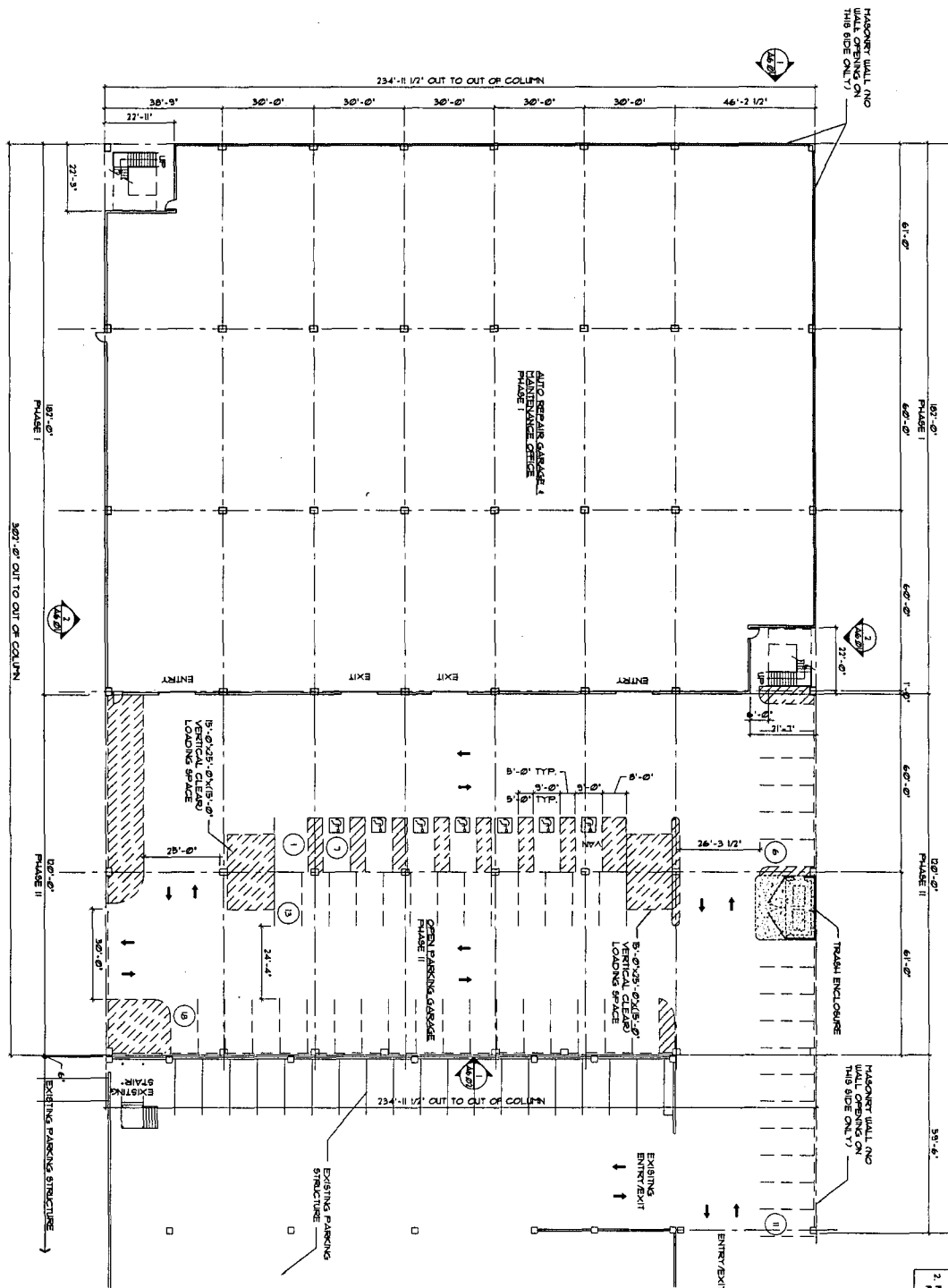


Plans (PMT)



Separator Sheet



NOTES:
1. REFER TO SHEET A910 FOR PARKING CALCULATIONS.
2. PHASE I & II TYPICAL 9'-0\"/>

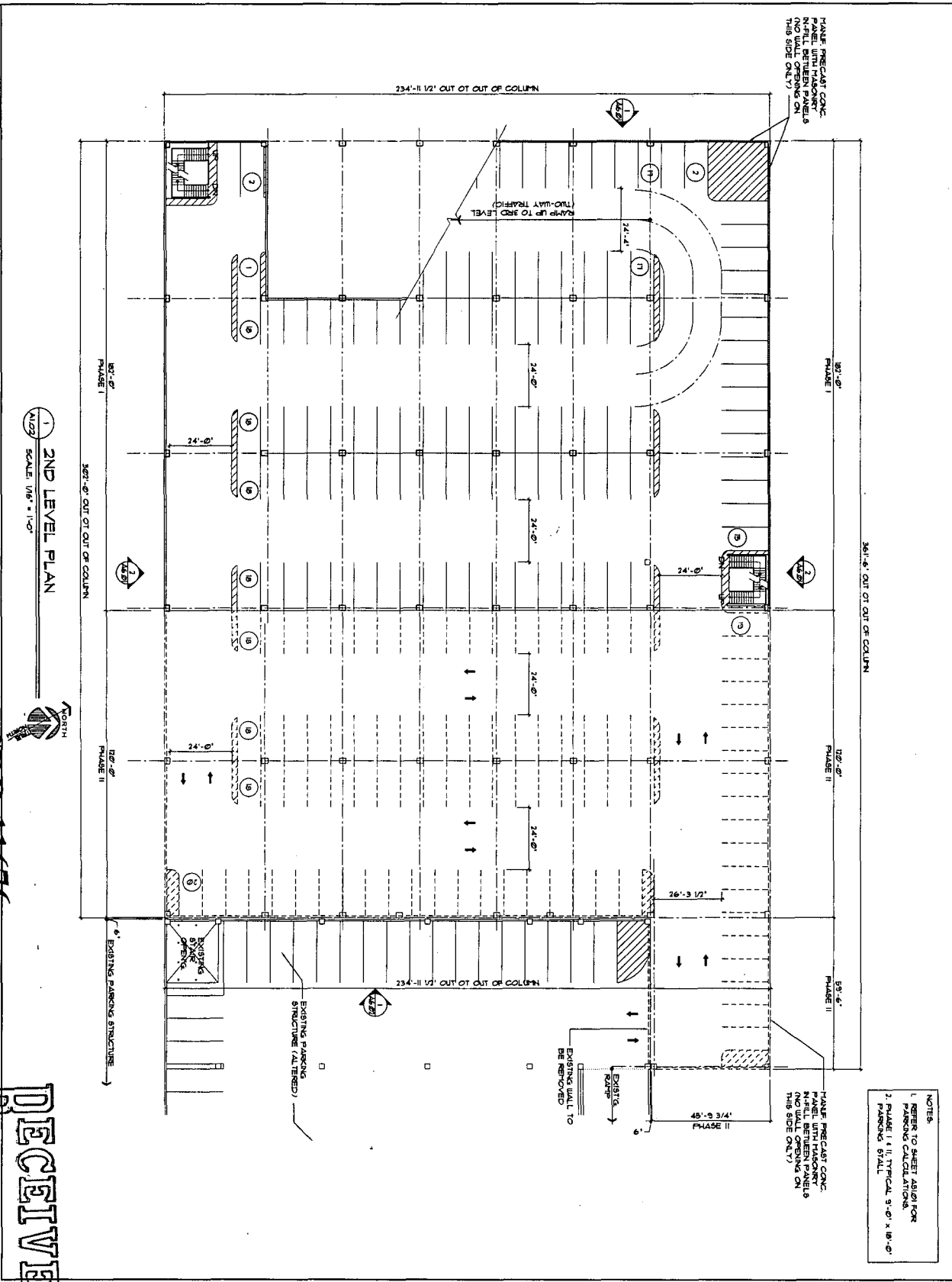
1
1ST LEVEL PLAN
SCALE: 1/8\"/>



SDR-H1676
05-11-06 PC
REVISED

RECEIVED
APR 07 2006

AS INSTRUMENTS OF SERVICE THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECT'S WRITTEN CONSENT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR THEIR USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECTS. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED. THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALID, UNLESS THEY ARE SIGNED, SEALED, AND DATED. NMC 023 PRO. GROUND WORKMAN AND ASSOCIATES P.C.		sheet title: 1ST FLOOR LEVEL	PRELIMINARY NOT FOR CONSTRUCTION 3-31-06	project title: BELL TRANS PARKING GARAGE 1014 S. INDUSTRIAL ROAD LAS VEGAS, NEVADA	ARCHITECT GERALD GARADICH • AIA • LLC 10 COMMERCE CENTER DRIVE RENDERSON, NEVADA 89014 (702) 454-5842 FAX (702) 454-7842
---	--	--	---	--	--



1 2ND LEVEL PLAN
SCALE: 1/8" = 1'-0"



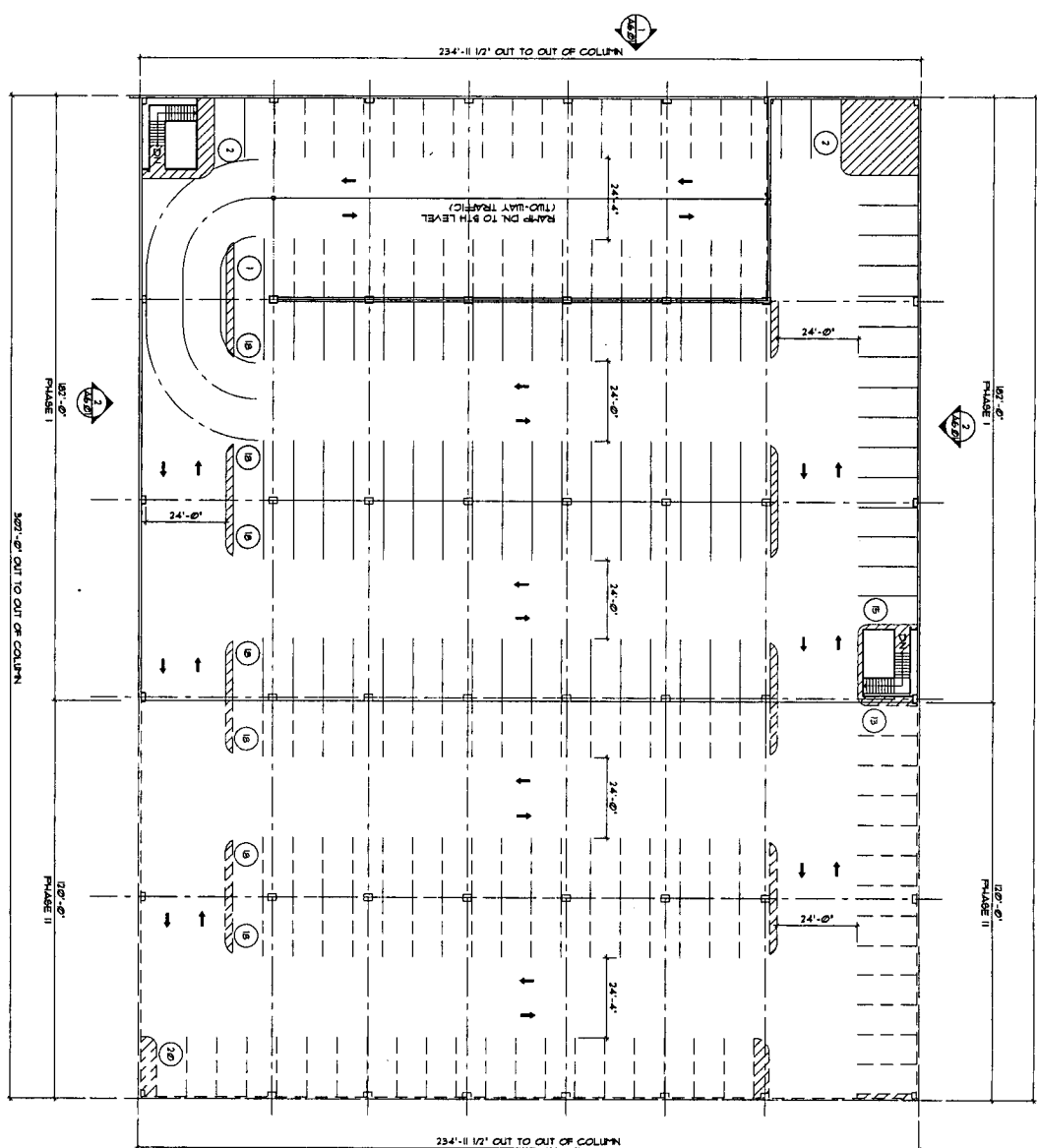
SDR-11676
05-11-06 PC
REVISED

RECEIVED
APR 07 2006

NOTES:
1. REFER TO SHEET A101 FOR PARKING CALCULATIONS.
2. PHASE I & II TYPICAL 9'-0" x 18'-0" PARKING STALL

AS INSTRUMENTS IN SERVICE THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECT'S WRITTEN CONSENT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR THEIR USE AND FOR THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECTS. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED. THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALUED, UNLESS THEY ARE SIGNED, SEALED AND DATED. WAC 03.170. CERRAD GARADACH AND ASSOCIATES © 2006.	sheet title 2ND LEVEL PLAN	PRELIMINARY NOT FOR CONSTRUCTION 9-31-06	project title BELL TRANS PARKING GARAGE 1914 S. INDUSTRIAL ROAD LAS VEGAS, NEVADA	ARCHITECT CERRAD GARADACH • AIA • LLC 100 COMMERCE CENTER DRIVE HERNDON, NEVADA 89114 (702) 454-5843 FAX (702) 454-7842
---	--	--	---	--

P:\05-194\Review\Arch (Prelim. Study)\5194A103.dwg Wed, 19 Apr 2006 - 1:41pm



NOTES:
1. REFER TO SHEET AS101 FOR PARKING CALCULATIONS.
2. PHASE I & II, TYPICAL 9'-0" x 15'-0" PARKING STALL

ALL INSTRUMENTS OF SERVICE, THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECT'S WRITTEN CONSENT. COPIES OF THE DRAWINGS AND SPECIFICATIONS OBTAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR THEIR USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECTS. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED. THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALID, UNLESS THEY ARE SIGNED, SEALED, AND DATED. NAC 103.100 Gerald Garadich and Associates B3-0004.

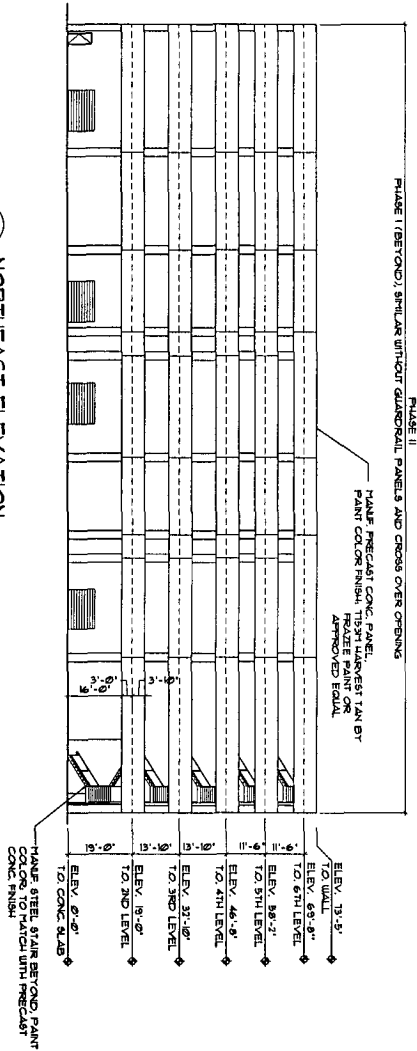
sheet title
6TH LEVEL PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION
3-31-08

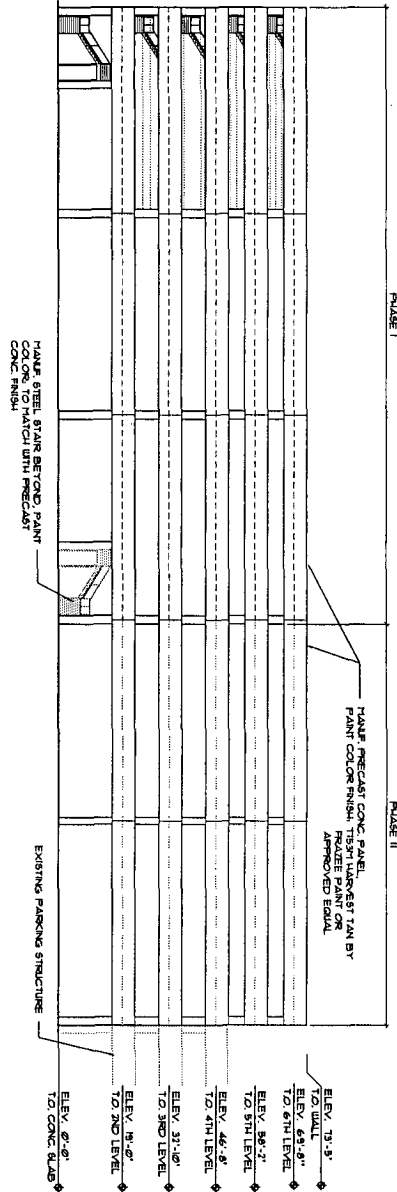
project title
**BELL TRANS
PARKING GARAGE**
1014 S. INDUSTRIAL ROAD
LAS VEGAS, NEVADA

ARCHITECT
GERALD GARADICH • AIA • LLC
10 COMMERCIAL CENTER DR.
HENDERSON, NEVADA 89001
(702) 454-5842 FAX (702) 454-7844

1 NORTHEAST ELEVATION
SCALE: 3/32" = 1'-0"



2 SOUTHEAST ELEVATION
SCALE: 3/32" = 1'-0"

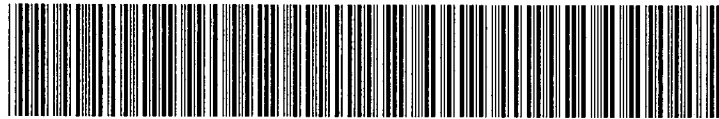


SDR-11676
05-11-06 PC
REVISED

RECEIVED
APR 07 2006

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE ARCHITECT'S WRITTEN CONSENT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE LIMITED ONLY FOR THEIR USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECTS. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED. THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE, AND THEREFORE NOT VALID, UNLESS THEY ARE SIGNED, SEALED, AND DATED. NAC 503.700 CEDRAL GARADACH AND ASSOCIATES © 2006.	sheet title: EXTERIOR ELEVATIONS	PRELIMINARY NOT FOR CONSTRUCTION 3-31-06	project title: BELL TRANS PARKING GARAGE 1014 S. INDUSTRIAL ROAD LAS VEGAS, NEVADA	ARCHITECT CEDRAL GARADACH • AIA • LLC 100 COMMERCE CENTER DRIVE SPRINGFIELD, NEVADA 89104 (702) 454-5842 FAX (702) 454-7842
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City Council Action Letter



CITY COUNCIL ACTION LETTER

Separator Sheet



July 14, 2006

Mr. Brent Bell
Bell Real Estate, LLC
1902 Industrial Way
Las Vegas, Nevada 89102

RE: SDR-11676 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF JULY 12, 2006

Dear Mr. Bell:

The City Council at a regular meeting held July 12, 2006 APPROVED the request for A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT on 1.77 acres at 2030, 2112, 2100, and 2114 Industrial Road (APNs 162-04-704-008; 162-04-802-001, 002, 003 and 004), M (Industrial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on July 13, 2006. This approval is subject to:

Planning and Development

1. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City of Las Vegas.
2. All development shall be in conformance with the site plan and building elevations, date stamped 04/07/06, except as amended by conditions herein.
3. A Waiver from the Downtown Centennial Plan is hereby approved, to allow no building step-back where a five-foot step-back is required at the fourth floor.
4. The conceptual landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect the required streetscape treatment as outlined by Section DS4 of the Downtown Centennial Plan. A five-foot landscaped amenity zone and an 11-foot wide sidewalk are required along Industrial Road. The amenity area shall be planted with a minimum of 25-foot tall Palm Trees located a maximum of 35 feet on-center. Shade trees may be provided in double or single rows between palm trees if desired.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009



5. A permanent underground sprinkler system shall be installed in all landscape areas as required by the City of Las Vegas and shall be permanently maintained in a satisfactory manner.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. The landscape plan shall include irrigation specifications.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City departments must be satisfied.

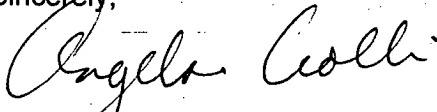
Public Works

13. Coordinate with the City Surveyor to determine the appropriate mapping method for this site prior to the issuance of any permits; comply with the recommendations of the City Surveyor.
14. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
15. Coordinate with the City Engineers office for information regarding the possible future widening of Industrial Road; comply with the recommendations of the City Engineer.
16. The proposed driveway shall be designed, located and constructed in accordance with Standard Drawing #222a.

Mr. Brent Bell
SDR-11676 – Page Three
July 14, 2006

17. All landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
18. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage patterns for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Ms. Steffanie Nelson
Peak Development Services
6402 McLeod Drive, Suite #2
Las Vegas, Nevada 89120

Action Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

July 11, 2006

CORRECTED LETTER

Mr. Brent Bell
Bell Real Estate, LLC
1902 Industrial Way
Las Vegas, Nevada 89102

RE: SDR-11676 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Bell:

Your request for a Site Development Plan Review FOR A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT on 1.77 acres at 2030, 2112, 2100, and 2114 Industrial Road (APNs 162-04-704-008; 162-04-802-001, 002, 003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on June 8, 2006. NOTE: THIS APPLICATION IS BEING RE-NOTIFIED TO INCREASE THE SQUARE FOOTAGE OF THE AUTO REPAIR GARAGE USE TO 41,777 SQUARE FEET.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning and Development

1. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City of Las Vegas
2. All development shall be in conformance with the site plan and building elevations, date stamped 04/07/06, except as amended by conditions herein.
3. A Waiver from the Downtown Centennial Plan is hereby approved, to allow no building step-back where a five-foot step-back is required at the fourth floor.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



4. The conceptual landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect the required streetscape treatment as outlined by Section DS4 of the Downtown Centennial Plan. A five-foot landscaped amenity zone and an 11-foot wide sidewalk are required along Industrial Road. The amenity area shall be planted with a minimum of 25-foot tall Palm Trees located a maximum of 35 feet on-center. Shade trees may be provided in double or single rows between palm trees if desired.
5. A permanent underground sprinkler system shall be installed in all landscape areas as required by the City of Las Vegas and shall be permanently maintained in a satisfactory manner.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. The landscape plan shall include irrigation specifications.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City departments must be satisfied.

Mr. Brent Bell
SDR-11676 - Page Three - CORRECTED LETTER
July 11, 2006

Public Works

13. Coordinate with the City Surveyor to determine the appropriate mapping method for this site prior to the issuance of any permits; comply with the recommendations of the City Surveyor.
14. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
15. Coordinate with the City Engineers office for information regarding the possible future widening of Industrial Road; comply with the recommendations of the City Engineer.
16. The proposed driveway shall be designed, located and constructed in accordance with Standard Drawing #222a.
17. All landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
18. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage patterns for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

This item will be considered by the City Council on **July 12, 2006**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:dm

cc: Ms. Steffanie Nelson
Peak Development Services
6402 McLeod Drive, Ste 2
Las Vegas, Nevada 89120

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

June 9, 2006

Mr. Brent Bell
Bell Real Estate, LLC
1902 Industrial Way
Las Vegas, Nevada 89102

RE: SDR-11676 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Bell:

Your request for a Site Development Plan Review FOR A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT on 1.77 acres at 2030, 2112, 2100, and 2114 Industrial Road (APNs 162-04-704-008; 162-04-802-001, 002, 003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on June 8, 2006. NOTE: THIS APPLICATION IS BEING RE-NOTIFIED TO INCREASE THE SQUARE FOOTAGE OF THE AUTO REPAIR GARAGE USE TO 41,777 SQUARE FEET.

The Planning Commission voted to recommend ***APPROVAL*** of your request, subject to the following:

Planning and Development

1. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City of Las Vegas
2. All development shall be in conformance with the site plan and building elevations, date stamped 04/07/06, except as amended by conditions herein.
3. A Waiver from the Downtown Centennial Plan is hereby approved, to allow no building step-back where a five-foot step-back is required at the fourth floor.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



4. The conceptual landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect the required streetscape treatment as outlined by Section DS4 of the Downtown Centennial Plan. A five-foot landscaped amenity zone and an 11-foot wide sidewalk are required along Industrial Road. The amenity area shall be planted with a minimum of 25-foot tall Palm Trees located a maximum of 35 feet on-center. Shade trees may be provided in double or single rows between palm trees if desired.
5. A permanent underground sprinkler system shall be installed in all landscape areas as required by the City of Las Vegas and shall be permanently maintained in a satisfactory manner.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. The landscape plan shall include irrigation specifications.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

13. Coordinate with the City Surveyor to determine the appropriate mapping method for this site prior to the issuance of any permits; comply with the recommendations of the City Surveyor.

Mr. Brent Bell
SDR-11676 - Page Three
June 9, 2006

14. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
15. Coordinate with the City Engineers office for information regarding the possible future widening of Industrial Road; comply with the recommendations of the City Engineer.
16. The proposed driveway shall be designed, located and constructed in accordance with Standard Drawing #222a.
17. All landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
18. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage patterns for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

This item will be considered by the City Council on **July 12, 2006**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:dm

cc: Ms. Steffanie Nelson
Peak Development Services
6402 McLeod Drive, Ste 2
Las Vegas, Nevada 89120

Applicant Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

May 17, 2006

Mr. Brent Bell
Bell Real Estate, LLC
1902 Industrial Way
Las Vegas, Nevada 89102

RE: SDR-11676 - SITE DEVELOPMENT PLAN REVIEW

Dear Applicant:

Please be advised the City Planning Commission at its regular meeting on *June 8, 2006* has referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the *final agenda* will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:nl

cc: Ms. Steffanie Nelson
Peak Development Services
6402 McLeod Drive, Ste 2
Las Vegas, Nevada 89120

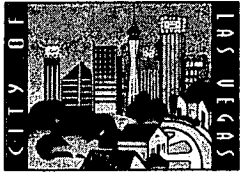
Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

March 31, 2006

Mr. Brent Bell
Bell Real Estates, LLC
1902 Industrial Way
Las Vegas, Nevada 89102

RE: SDR-11676 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Bell:

Please be advised the City Planning Commission at its regular meeting on *April 13, 2006* as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the *final agenda* will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:kl

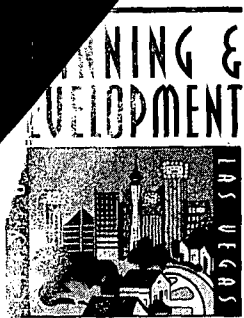
cc: Ms. Steffanie Nelson
Peak Development Services
6402 McLeod Drive, Suite #2
Las Vegas, Nevada 89120

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby





DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

March 24, 2006

Mr. Brent Bell
Bell Real Estates, LLC
1902 Industrial Way
Las Vegas, Nevada 89102

RE: SDR-11676 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Bell:

Your request for a Site Development Plan Review FOR A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT on 1.77 acres at 2030, 2112, 2100, and 2114 Industrial Road (APNs 162-04-704-008; 162-04-802-001, 002, 003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on March 23, 2006.

The Planning Commission voted to hold this item in **ABEYANCE** to allow the applicant to redesign the project.

This item is scheduled to be heard again at the **April 13, 2006** Planning Commission meeting which will be held at 6:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

Gary Leobold, Planning Supervisor
Planning and Development Department
Current Planning Division

GL:clb

cc: Ms. Steffanie Nelson
Peak Development Services
6402 McLeod Drive, Suite #2
Las Vegas, Nevada 89120

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

March 10, 2006

Mr. Brent Bell

Bell Real Estates, LLC

1902 Industrial Way

Las Vegas, Nevada 89102

RE: SDR-11676 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Bell:

Please be advised the City Planning Commission at its regular meeting on *March 23, 2006* has referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the *final agenda* will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Gary Leobold, Planning Supervisor
Planning and Development Department
Current Planning Division

GL:clb

cc: Ms. Steffanie Nelson
Peak Development Services
6402 McLeod Drive, Suite #2
Las Vegas, Nevada 89120

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

April 14, 2006

Mr. Brent Bell
Bell Real Estates, LLC
1902 Industrial Way
Las Vegas, Nevada 89102

RE: ABEYANCE - SDR-11676 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Bell:

Your request for a Site Development Plan Review FOR A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT on 1.77 acres at 2030, 2112, 2100, and 2114 Industrial Road (APNs 162-04-704-008; 162-04-802-001, 002, 003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on April 13, 2006.

The Planning Commission voted to hold this item in **ABEYANCE** to allow the applicant time to redesign this project.

This item is scheduled to be heard again at the **May 11, 2006** Planning Commission meeting which will be held at 6:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative choose not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:clc

cc: Ms. Steffanie Nelson
Peak Development Services
6402 McLeod Drive, Suite #2
Las Vegas, Nevada 89120

Mayor
Oscar B. Goodman

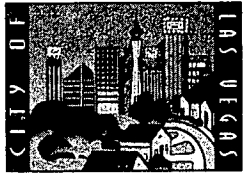
City Council
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PLANNING & DEVELOPMENT



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Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

May 12, 2006

Mr. Brent Bell
Bell Real Estates, LLC
1902 Industrial Way
Las Vegas, Nevada 89102

RE: ABEYANCE - SDR-11676 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Bell:

Your request for a Site Development Plan Review FOR A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT on 1.77 acres at 2030, 2112, 2100, and 2114 Industrial Road (APNs 162-04-704-008; 162-04-802-001, 002, 003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on April 13, 2006.

The Planning Commission voted **ABEY** this item to the June 8, 2006 Planning Commission meetings.

Sincerely,

Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:kl

cc: Ms. Steffanie Nelson
Peak Development Services
6402 McLeod Drive, Suite #2
Las Vegas, Nevada 89120

Mayor
Oscar B. Goodman

City Council
Gary Reese
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PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

April 28, 2006

Ms. Stephanie Nelson
Peak Development Services
6402 McLeod Drive, Suite 2
Las Vegas, Nevada 89120

RE: ABEYANCE - SDR-11676 - SITE DEVELOPMENT PLAN REVIEW

Dear Applicant:

Please be advised the City Planning Commission at its regular meeting on *May 11, 2006* has referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the *final agenda* will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:kl

cc: Mr. Brent Bell
Bell Real Estate, LLC
1902 Industrial Way
Las Vegas, Nevada 89102

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
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Steven D. Ross

City Manager
Douglas A. Selby



Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: MAY 11, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

RENOTIFICATION

SDR-11676

APPLICANT/OWNER: BELL REAL ESTATE, LLC - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT ON 1.77 ACRES AT 2030, 2112, 2100, AND 2114 INDUSTRIAL ROAD (APNS 162-04-704-008; 162-04-802-001, 002, 003 AND 004), M (INDUSTRIAL) ZONE, WARD 1 (TARKANIAN). NOTE: THIS APPLICATION IS BEING RE-NOTIFIED TO INCREASE THE SQUARE FOOTAGE OF THE AUTO REPAIR GARAGE USE TO 41,777 SQUARE FEET.

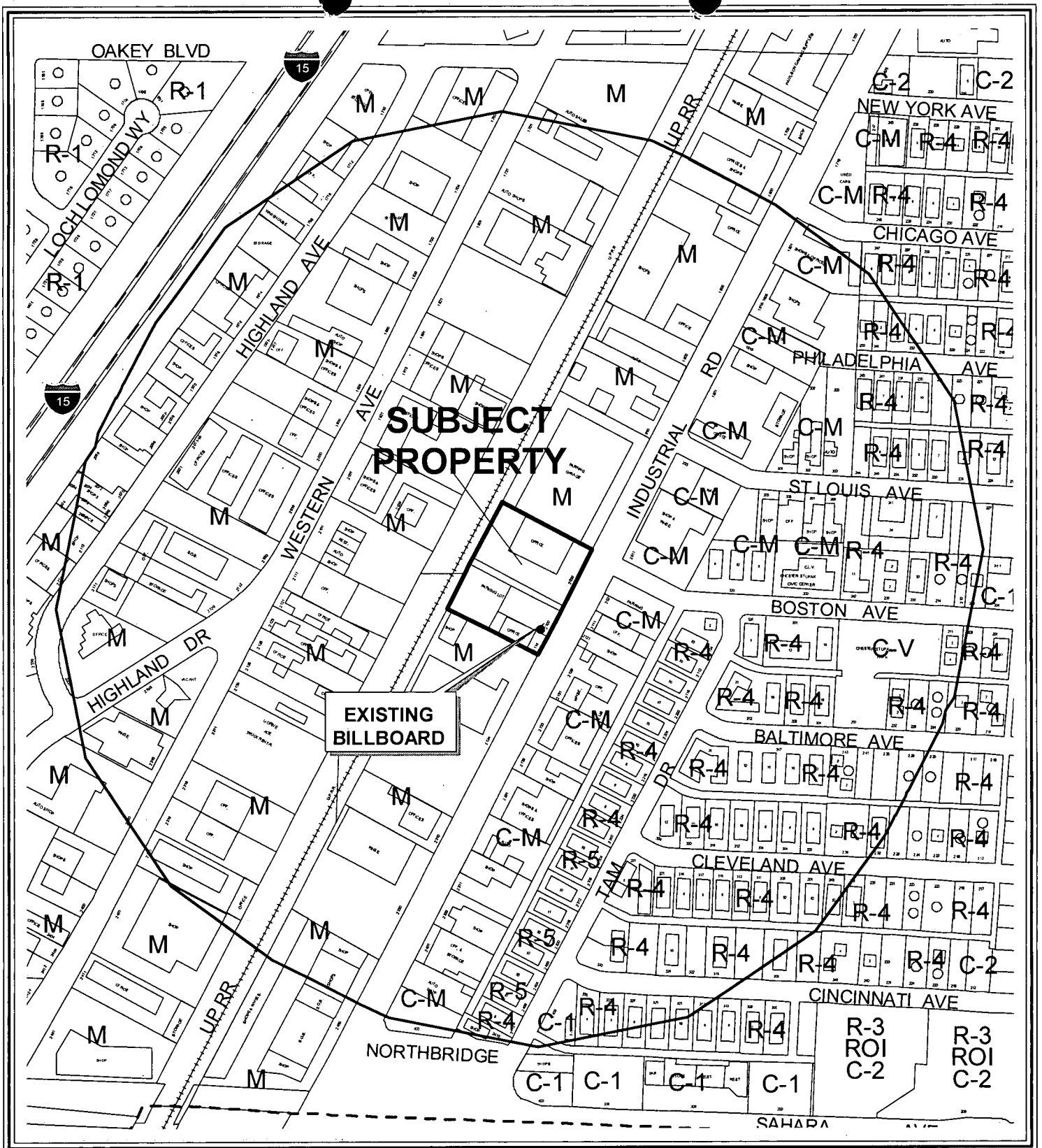
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTHEAST QUARTER (SE¼) OF THE SOUTHWEST QUARTER (SW¼) OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



DOUG RANKIN, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: **SDR-11676**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: M (INDUSTRIAL)

0 400 800 Feet



NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: MARCH 23, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SDR-11676

APPLICANT/OWNER: BELL REAL ESTATE, LLC - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT ON 1.77 ACRES AT 2030, 2112, 2100, AND 2114 INDUSTRIAL ROAD (APNS 162-04-704-008; 162-04-802-001, 002, 003 AND 004), M (INDUSTRIAL) ZONE, WARD 1 (TARKANIAN).

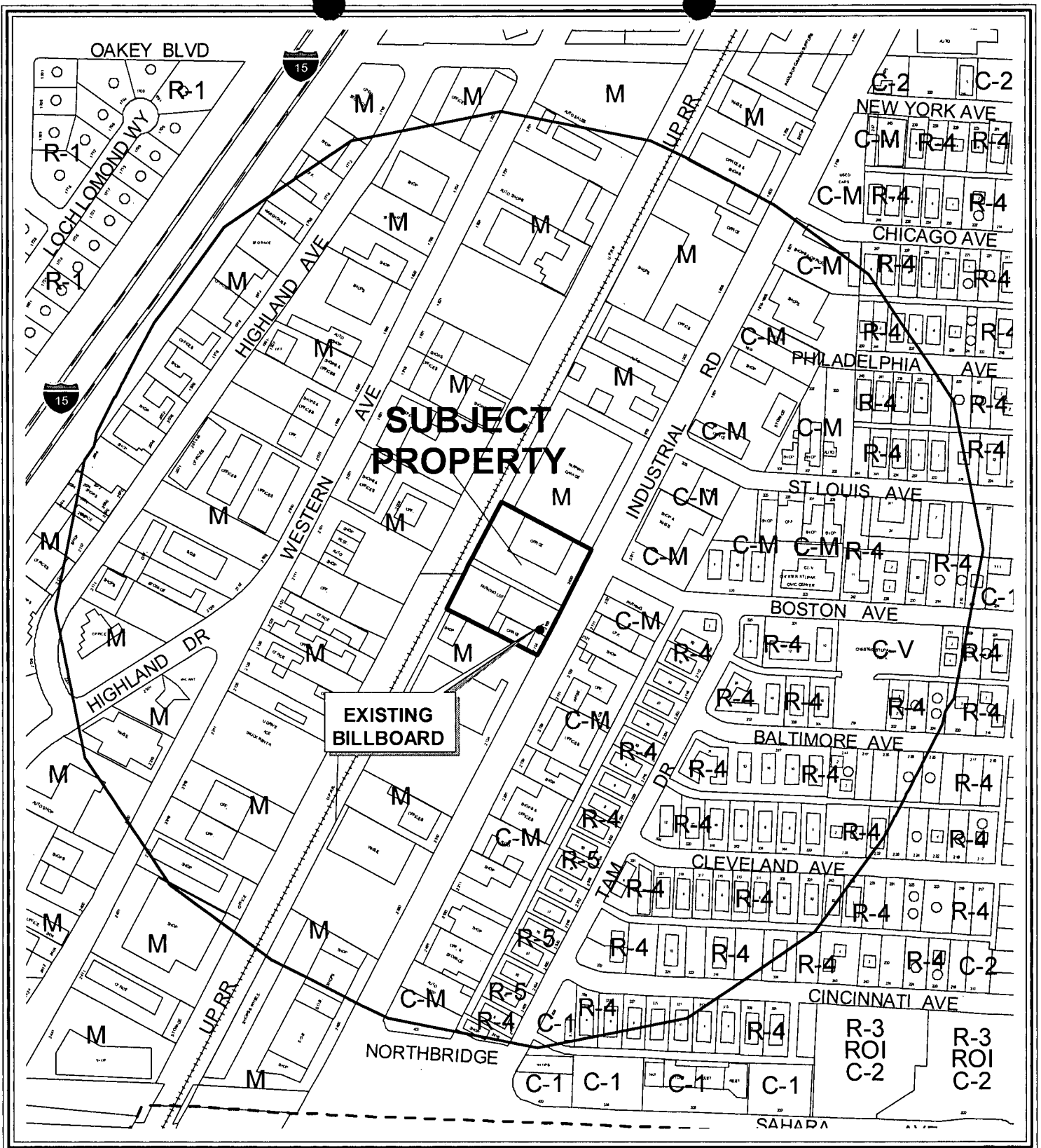
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Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



GARY LEOBOLD, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

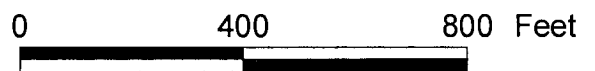
SEE LOCATION MAP ON REVERSE SIDE



CASE: SDR-11676

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: M (INDUSTRIAL)



Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BTA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekkii, Survey (FM, PM, & A's only)
Date: March 2, 2006
Re: **SDR-11676** Bell Real Estate, LLC 2030, 2112, 2100 and 2114 Industrial Road
Request for a Site Development Plan Review for an auto repair and parking garage

CONDITIONS OF APPROVAL:

1. Coordinate with the City Surveyor to determine the appropriate mapping method for this site prior to the issuance of any permits; comply with the recommendations of the City Surveyor.
2. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
3. Coordinate with the City Engineers office for information regarding the possible future widening of Industrial Road; comply with the recommendations of the City Engineer.
4. The proposed driveway shall be designed, located and constructed in accordance with Standard Drawing #222a.
5. All landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
6. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage patterns for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SDR-11676 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER:
BELL REAL ESTATE, LLC - Request for a Site Development Plan Review FOR A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT on 1.77 acres at 2030, 2112, 2100, and 2114 Industrial Road (APNs 162-04-704-008; 162-04-802-001, 002, 003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian). NOTE: THIS APPLICATION IS BEING RE-NOTIFIED TO INCREASE THE SQUARE FOOTAGE OF THE AUTO REPAIR GARAGE USE TO 41,777 SQUARE FEET.

PLANNING COMMISSION: MAY 11, 2006

CITY COUNCIL: JUNE 7, 2006

CASE PLANNER: DOUG RANKIN



PUBLIC HEARING

Comments Due:

APRIL 24, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Kathy Lytle (klytle@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

****REVISED PLANS****

**SQUARE FOOTAGE OF AUTO REPAIR GARAGE
INCREASED TO 41,777 SQUARE FEET.**

**Las Vegas Metropolitan Police Dept.
Office of Intergovernmental Services**

No Significant Law Enforcement Issue

A handwritten signature in black ink, appearing to read "L.E. Delgado", written over a horizontal line.



PEAK DEVELOPMENT SERVICES

March 16, 2006

City of Las Vegas
Planning Commission
731 S. Fourth Street
Las Vegas, NV 89101

RE: Site Development Plan Review – SDR-11676

Dear Planning Commission,

On behalf of our client, Bell Real Estate, LLC, we Peak Development Services, request item SDR-11676 to be held in abeyance till the April 27th, 2006 Planning Commission meeting. There are some minor modifications occurring to the site plan that will need to be reviewed and re-noticed by staff.

Should you have any questions or need additional information please contact our office at (702) 451-5700.

Sincerely,
Peak Development Services

Steffanie Nelson
Director of Development

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-11676

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ROSA CORTEZ	DSC
*LAND DEVELOPMENT (DPW)	KENT CHANG	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*STREETS & SANITATION	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES	JOHN BLACK	3124 BONANZA ROAD
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<SPRINT> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR
02/07/2006

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

REVISED
SDR-11676

FROM: PLANNING AND DEVELOPMENT

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ROSA CORTEZ	DSC
*LAND DEVELOPMENT (DPW)	KENT CHANG	DSC
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<SPRINT> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD

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SDPR
04/18/2006

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-11676 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-11674 - PUBLIC HEARING - APPLICANT/OWNER: BELL REAL ESTATE, LLC - Request for a Site Development Plan Review FOR A PROPOSED AUTO REPAIR GARAGE (MAJOR) AND PARKING GARAGE on 1.83 acres at 2030, 2112, 2100, and 2114 Industrial Road (APNs 162-04-704-008; 162-04-802-001, 002, 003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTHEAST QUARTER (SE¼) OF THE SOUTHWEST QUARTER (SW¼) OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M.

PLANNING COMMISSION: **MARCH 23, 2006**

CITY COUNCIL: **APRIL 19, 2006**

PLANNING SUPERVISOR: **GARY LEOBOLD**



PUBLIC HEARING

Comments Due:

FEBRUARY 22, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SDR-11676 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER:
BELL REAL ESTATE, LLC - Request for a Site Development Plan Review FOR A PROPOSED 25,906 SQUARE FOOT AUTO REPAIR GARAGE (MAJOR), A 1,208-SPACE PARKING GARAGE AND A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN STEPBACK REQUIREMENT on 1.77 acres at 2030, 2112, 2100, and 2114 Industrial Road (APNs 162-04-704-008; 162-04-802-001, 002, 003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian). NOTE: THIS APPLICATION IS BEING RE-NOTIFIED TO INCREASE THE SQUARE FOOTAGE OF THE AUTO REPAIR GARAGE USE TO 41,777 SQUARE FEET.

PLANNING COMMISSION: MAY 11, 2006

CITY COUNCIL: JUNE 7, 2006

CASE PLANNER: DOUG RANKIN



PUBLIC HEARING

Comments Due:

APRIL 24, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Kathy Lytle (klytle@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

****REVISED PLANS****

**SQUARE FOOTAGE OF AUTO REPAIR GARAGE
INCREASED TO 41,777 SQUARE FEET.**

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: March 23, 2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-11676

18b The Las Vegas Arts District NA

Beverly Green NA

Charleston McNeil NA

Downtown Business Operators Council

Downtown Central Development Committee
(DCDC)

East Las Vegas Community Development Corp.

Ellis Estates NA

Gateway District Association

Glen Heather Estates NA

John S. Park NA

Pinto Palomino Residents

Rancho Oakey NA

Rancho South NA

Richfield NA

Scotch 80's HOA

Southridge NA

Spanish Oaks HOA

Project Checklist



Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes	
Item Required					
YES	NO				

APPLICATION					
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)		1. 1.	
☒	☐	Grant deed and legal description			
☒	☐	Detailed justification letter			
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations			
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations			
☒	☐	Correct fee(s): \$500 \$ + \$300 Total = \$ 800			
☒	☐	Statement of Financial Interest			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance			
SITE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size		total for 3 apps	
☒	☐	North arrow, scale, and vicinity map			
☒	☐	All property lines and present dimensions labeled			
☒	☐	All building setbacks labeled			
☒	☐	All adjacent existing land uses and street names labeled			
☒	☐	All points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized: 19.10			
☒	☐	Parking space count and typical dimensions labeled #regular #compact #handicap Total			
☒	☐	All free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN				Folded Plans: Rolled/Colored Plans:	
☒	☐	11" x 17" min. to 24" x 36" max. page size		shown on site plan	
☒	☐	North arrow, scale, and vicinity map			
☒	☐	All property lines and present dimensions labeled			
☒	☐	All required perimeter landscape planters shown			
☒	☐	All required parking lot fingers/islands shown			
☒	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover			
BUILDING ELEVATIONS				Folded Plans: 2 Rolled/Colored Plans:	
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	Scale and building dimensions labeled			
☒	☐	North, south, east, and west elevations of <i>all</i> buildings			
☒	☐	All building materials and colors noted			
☒	☐	8" x 10" photo of original color and material board			
☒	☐	All wall sign locations shown and sizes noted			
FLOOR PLANS				Folded Plans: / Rolled Plans:	
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	Scale and building dimensions labeled			
☒	☐	All building entrances/exits shown			
☒	☐	Use of <i>all</i> rooms noted/labeled			

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

OWNER: BOB TRANSPARTATION Applicant: BOB TRANSPARTATION Application Type: SAR - Auto Repair Garage APN: 162-04-802-001 to 004 Location: 2100, 2114 + Industrial Rd. + parking Planner: [Signature] Pre-App Meeting Date: 1/25/06 Earliest PC Date: 3/23/06

☒ Meeting☐ Telephone

Conversation Record

Project Name BCC TRANSPORTATIONPage 1 of 1
Date 1/25/06
Time 3:00 am ☒ pmConversation between CLV Representative(s): Gary LeBlond, Dave Gorman,
and, Rick Schoder, Don White.

Name

Company/Department

Phone

FAX

Steffanie Nelson☐ see Meeting Attendance Sheet

Comments:

- remove 2 existing office structures on 4 adjacent lots & replace with a five-level parking structure (6 tiers) with an Auto Repair Garage, Major on part of the main level.

PW- Industrial is to be widened to 100' from 80'

- will have to liaise with City Engineers to see how design can accommodate widening.

- may need to update flood studies.

- will need to remove property lines within site and to incorporate adjacent site - contact ~~for~~ city surveyor + bldg and safety for methodology.

- r + v substn improvements along Industrial - no ^{drives} ~~parking~~

- one of the parcels shows no zoning - needs to be added

- bldg needs variance to allow 0 side yard where 10' is required.

- will be subject to traffic signal impact fee.

- SDR - for structure - 25,906 s.f. for Auto Repair + 17,774 sq ft on 1st floor, then 43,680 sq ft / each level = (228,340 s.f.) total space.

- h/c = 2% of all spaces - every 8th h/c = variance

- Auto Repair requires 5/1000 sq ft + 5 spaces.

Hansen Sheet



Separator Sheet

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date** 02/08/2006 09:00 AM**Submitted By**

Page 1

A/P # 11676 **SITE DEVELOPMENT PLAN REVIEW****Application Information****Stages**

	Date / Time	By		Date / Time	By
Processed	02/06/2006 15:56	983967	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Valuation	
Dept of Commerce	# Plans	0	Declared Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Calculated Valuation	0.00
			Actual Valuation	0.00

Description of Work

SDR-11676 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-11674 - PUBLIC HEARING - APPLICANT/OWNER: BELL REAL ESTATE, LLC- Request for a Site Development Plan Review FOR A PROPOSED PARKING GARAGE on 1.83 acres at 2030, 2112, 2100, AND 2114 Industrial Road (APNs 162-04-704-008; and 162-04-802-001 through 004), M (Industrial) Zone, Ward 1 (Tarkanian).

Parent A/P #

Project #	11676	Project/Phase Name	PARKING GARAGE	Phase #	
Size/Area	1.83 ACRE	Size Description		% Completed	0.00
Proposed Start		Proposed Stop			
% Complete Formula					

Property/Site Information**Parcel** 16204704008**Location****Owner/Tenant**

Contact ID AC231892	Name	BELL REAL ESTATE L L C	Organization	% WHITTLESEA BLUE CAB CO
Mailing Address	1910 INDUSTRIAL RD		State/Province	NV
City	LAS VEGAS		Country	☐ Foreign
ZIP/PC	89102-4610		Evening Phone	
Day Phone			Mobile #	
Fax				

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses2030 INDUSTRIAL RD
LAS VEGAS, 89102-**Linked Parcels**

No Parcels are linked to this Application

A/P Linked Parcels16204704008
16204802001
16204802002
16204802003
16204802004

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date** 02/08/2006 09:00 AM**Submitted By**

Page 2

Check Conditions Condition Supervisor Required	Approval	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
--	----------	-------------------------	---------------	------------	--------------	----------

No Conditions

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance? Final City Council letter received
N Parent Project link required? Annotated minutes recieved
Y Will this go to the City Council? Is there a condition of approval for a Required Review?
Hearing Type If yes, when does it need to be reviewed?
Public, Non-Public, Admin PUBLIC

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
03/23/2006	PC	SCHEDULED		0	0	0
RSUMMERFIELD	02/06/2006					

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

No Log Entries

Application



Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Plan Review
 Project Address (Location) 2030, 2112, 2100, 2114 Industrial Road
 Project Name Bell Parking Garage Proposed Use M
 Assessor's Parcel #(s) 162-04-704-008 & 162-04-802-001 to 004 Ward # 1
 General Plan: existing M proposed M Zoning: existing M proposed M
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 1.83 Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Bell Real Estate, LLC Contact Brent Bell
 Address 1902 Industrial Way Phone: _____ Fax: _____
 City Las Vegas State NV Zip 89102

APPLICANT Bell Real Estate, LLC Contact Brent Bell
 Address 1902 Industrial Way Phone: _____ Fax: _____
 City Las Vegas State NV Zip 89102

REPRESENTATIVE Peak Development Services Contact Steffanie Nelson
 Address 6402 McLeod Drive, STE2 Phone: 451-5700 Fax: 446-0469
 City Las Vegas State NV Zip 89120

FOR DEPARTMENT USE ONLY

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name BRENT BELL

Subscribed and sworn before me

This 31st day of January, 20 06.
Joni Heldman

Notary Public in and for said County and State



Case #	<u>11674-SDR</u>
Meeting Date:	<u>3/23/04</u>
Total Fee:	<u>800.00</u>
Date Received:*	<u>2/6/06</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Justification Letter



Separator Sheet



February 2, 2006

City of Las Vegas
Planning Department
731 S. 4th Street
Las Vegas, NV 89101
702-229-6301

RE: Bell Transportation Parking Structure – Site Development Plan Review & Variance

To Whom It May Concern:

On behalf of our client, Bell Transportation, Peak Development respectfully request consideration of the enclosed site development plan review and variance for the propose parking structure and auto repair garage. The site is currently zone Industrial District (M).

The proposed parking structure will consist of 5 tiers and six (6) levels of parking. Total estimated parking count for the parking structure is 1208 spaces. Height of the parking garage is 69' 1". The structure will connect to the existing parking structure to the north on the 2nd and 3rd levels. The auto garage is located on the ground level of the structure.

The total lot coverage of the parking structure is 94% therefore requiring the request for a variance allowing 0' lot side yard setback on both sides of the structure. The proposed parking structures set back are as follows:

Rear – 0' where 0' is permitted
Side – 0' where 10' is required
Front – 20' where 10' is required

The required parking for the proposed auto garage is 135 spaces. We have provided the required spaced along with the 5 Handicap Parking stalls requires per Title 19.10. All additional spaces within the structure are intended only for fleet vehicle and not for public use.

The total square footage of the proposed auto maintenance garage is 25,906 sf. The total square footage of the proposed parking structure is 228,340 sf.

Should you have any questions or need additional information please contact our office at (702) 451-5700.

Sincerely,
Peak Development


Steffanie Nelson
Director of Development

SDR-11676
03/23/06 PC

SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-11676** APN: 162-04-704-008 & 162-04-802-001 to 004

Name of Property Owner: Bell Real Estate LLC

Name of Applicant: Bell Real Estate LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: BRENT BELL

Subscribed and sworn before me

This 31st day of January, 2006
Toni Heldman

Notary Public in and for said County and State



RECEIVED

FEB 6 2006

Deed



Separator Sheet

STATE OF NEVADA
DECLARATION OF VALUE

20000929
01024

1. Assessor Parcel Number(s)

- a) 102-04-704-008
b) 102-04-902-001
c) _____
d) _____

FOR RECORDERS USE ONLY	
Documentation Reviewed by:	_____
Type of Documentation	_____
Assessor's Tag:	_____
Recording Deputy:	_____

2. Type of Property:

- | | |
|--|--|
| a) ☐ Vacant Land | b) ☐ Single Fam. Res. |
| c) ☐ Condo/Twnhse | d) ☐ 2-4 Plex |
| e) ☐ Apt. Bldg | f) ☐ Comm'l/Ind'l |
| g) ☐ Agricultural | h) ☐ Mobile Home |
| i) ☐ Other _____ | |

3. Total Value/Sales Price of Property

\$ 0 SEE EXEMPTION BELOW

Deduct Assumed Liens and/or Encumbrances

(0)

(Recording information on assumed amounts: Book/Instrument # _____)

4. Taxable Value (per NRS 375.010, Section 2):

\$ 0

Real Property Transfer Tax Due

\$ 0

If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section 10 /NAC 375, Section _____

b. Explain Reason for Exemption:

TRANSFER TO A BUSINESS ENTITY OF WHICH GRANTOR IS 100% OWNER.

5. Partial Interest: Percentage being transferred: 100 %

The undersigned Seller (Grantor)/Buyer (Grantee), declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1 1/2% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

SELLER (GRANTOR) INFORMATION

Seller Signature: [Signature]
Print Name: Gregory J. Morris as Attorney-in-Fact for James A. Bell

Address: 1910 Industrial Rd.

City: Las Vegas

State: NV Zip: 89102

Telephone: (702) 471-0990

Capacity: owner

BUYER (GRANTEE) INFORMATION

Buyer Signature: [Signature]
Print Name: Gregory J. Morris as Attorney-in-Fact for James A. Bell

Address: 1910 Industrial Rd.

City: Las Vegas

State: NV Zip: 89102

Telephone: (702) 471-0990

Capacity: owner

COMPANY REQUESTING RECORDING

Co. Name: GREGORY J. MORRIS LTD. Escrow #: _____
(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

1024

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FEB 6 2006

APN: 162-04-704-008 & 162-04-802-001

GRANT, BARGAIN, SALE DEED (3)

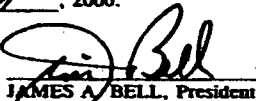
THIS INDENTURE WITNESSETH: That WHITTLESEA BLUE CAB COMPANY, A NEVADA CORPORATION without consideration, does hereby Grant, Bargain, Sell and Convey to BELL REAL ESTATE, LLC as amended, or restated, or their successors, all of their right, title and interest in that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO FOR A COMPLETE LEGAL DESCRIPTION AND BY THIS REFERENCE MADE A PART HEREOF.

GRANTEES ADDRESS: WHITTLESEA BLUE CAB COMPANY, 1910 Industrial Road,
Las Vegas, NV 89102

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in any wise appertaining.

Witness his hand this 11 day of August, 2000.


JAMES A. BELL, President

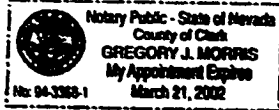
RECEIVED
FEB 6 2006

20000929
01024

STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

On this 11 day of August, 2000, before me the undersigned, a Notary Public in and for the said State, personally appeared JAMES A. BELL known to me to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same. WITNESS my hand and official seal.

Notary Public



When Recorded, Mail to:
WHITTLESEA BLUE CAB COMPANY
1910 Industrial Road
Las Vegas, NV 89102

RECEIVED
FEB 6 2006

EXHIBIT "A"**LEGAL DESCRIPTION**

Situated in the County of Clark, State of Nevada, described as follows:

PARCEL NO. 1:

That portion of Section 4, Township 21 South, Range 61 East, M.D.B. & M., described as follows:

COMMENCING at the Northeast corner of the Northwest Quarter (NW 1/4) of the Southeast Quarter (SE 1/4) of said Section 4; thence North 88°48'30" West along the Northwest Quarter (NW 1/4) of the Southeast Quarter (SE 1/4) a distance of 330.82 feet to a point distant 20.00 feet Easterly measured at a right angle to the East line of the Los Angeles and Salt Lake Railroad Company right-of-way; thence South 27°45'30" West parallel with the said East right-of-way line, a distance of 821.50 feet to the Southwest corner of that certain parcel of land conveyed by O.J. Scherer et al to C.K. Christensen et ux, by Deed recorded January 19, 1961 as Document No. 226433, Clark County, Nevada records; thence South 62°14'30" East a distance of 240.00 feet to a point; thence South 27°45'30" West along a line parallel with the said East right-of-way line, a distance of 480.28 feet to the TRUE POINT OF BEGINNING; thence continuing South 27°45'30" West along a line parallel with the said East right-of-way line a distance of 160.10 feet to a point; thence North 62°14'30" West a distance of 260.00 feet to a point on the said East right-of-way line; thence North 27°46'30" East along the said East right-of-way line a distance of 160.00 feet to a point, thence South 62°14'30" East a distance of 260.00 feet to the TRUE POINT OF BEGINNING.

PARCEL NO. 2:

That portion of Section 4, Township 21 South, Range 61 East, M.D.B. & M., described as follows:

BEGINNING at a point on the East right of way line of the Union Pacific Railroad right of way (100 feet wide) distant North 27°56'15" East 145 feet from the Southwest Corner of the property conveyed to ROBERT J. WAUGH and LOIS D. WAUGH, by Deed recorded February 16, 1962 as Document No. 277343 Clark County, Nevada Records. Thence South 62°03'45" East a distance of 260.00 feet to the West right of way line of Industrial Road (80 feet wide); thence South 27°56'15" West a distance of 19.76 feet to a point; thence North 62°03'45" west a distance of 260.0 feet to a point; thence North 27°56'15" East a distance of 19.75 feet to the TRUE POINT OF BEGINNING.

TOGETHER WITH all of the right, title and interest, if any, of the Sellers in and to the land lying in the bed of Industrial Road to the center line thereof.

CLARK COUNTY, NEVADA
JUDITH A. VANDEVER, RECORDER
RECORDED AT REQUEST OF:
WHITTLESEA BLUE CAB COMPANY
09-23-2008 11:28 AM
OFFICIAL RECORDS
BOOK 20000929 INST: 01024
FEE: 9.00 RPT: EX010

RECEIVED

FEB 6 2006

A.P.N.: 162-04-802-004
R.P.T.T.: \$4,207.50

Escrow #05-05-3025-JJA

Mail tax bill to and
When recorded mail to:
Bell Real Estate LLC
1900 Industrial Rd.
Las Vegas, NV 89102

20050622-0004748

Fee: \$18.00 RPTT: \$4,207.50
ATC Fee: \$0.00

06/22/2005 14:10:21
T20050114062

Requestor:
NEVADA TITLE COMPANY

Frances Deane JYB
Clark County Recorder Pgs: 5

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH, That **Steven E. Bramson Trustee of The Steven E. Bramson 1998 Revocable Trust, Dated December 10, 1998**, for a valuable consideration, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and Convey to **Bell Real Estate, LLC, a Nevada Limited Liability Company** all that real property situated in the County of **Clark**, State of Nevada, bounded and described as follows:

SEE LEGAL DESCRIPTION ATTACHED HERETO
AND MADE A PART HEREOF AS EXHIBIT "A".

SUBJECT TO:

1. Taxes for the current fiscal year, not delinquent, including personal property taxes of any former owner, if any;
2. Restrictions, conditions, reservations, rights, rights of way and easements now of record, if any, or any that actually exist on the property.

TOGETHER WITH all singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

RECEIVED
FEB 6 2006

IN WITNESS WHEREOF, this instrument has been executed this 6th day of June, 2005

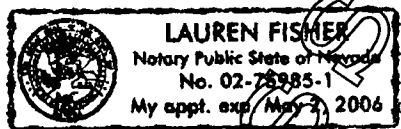
The Steven E. Bramson 1998 Revocable Trust

Steven E. Bramson, Trustee
By: Steven E. Bramson, Trustee

State of NEVADA

County of Clark

This instrument was acknowledged before me on June 6, 2005
by Steven E. Bramson as Trustee
of The Steven E. Bramson 1998 Revocable Trust



Lauren Fisher
NOTARY PUBLIC
My Commission Expires: 5-2-06

RECEIVED
FEB 6 2006

State of Nevada
Declaration of Value

1. Assessor Parcel Number(s)

a) 162-04-802-004

b) _____

c) _____

d) _____

2. Type of Property:

- | | |
|--|---|
| ☐ a) Vacant Land | ☐ b) Sgl. Fam. Residence |
| ☐ c) Condo/Twnhse | ☐ d) 2-4 Plex |
| ☐ e) Apt. Bldg. | ☒ f) Comm'l/Ind'l |
| ☐ g) Agricultural | ☐ h) Mobile Home |
| ☐ i) Other | |

FOR RECORDER'S OPTIONAL USE ONLY

Document/Instrument #: _____

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. Total Value/Sales Price of Property

\$825,000.00

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

\$825,000.00

Real Property Transfer Tax Due

\$4,207.50

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.118 that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: Steven E. Bramson, Trustee Capacity: GRANTOR/SELLER

Signature: _____ Capacity: GRANTEE/BUYER

SELLER (GRANTOR) INFORMATION

BUYER (GRANTEE) INFORMATION

(REQUIRED)

(REQUIRED)

Print Name: The Steven Bramson 1998 Revocable Trust

Print Name: Bell Real Estate, LLC, a Nevada limited liability company

Address: 5446 Ukiah Circle

Address: 1900 Industrial Road

City/State/Zip: Las Vegas, NV 89118

City/State/Zip: Las Vegas, NV 89102

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company

Esc. #: 05-05-3025-JJA

Address: 2500 N Buffalo, Suite 150

City: Las Vegas

State: NV

Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

4748
RECEIVED
FEB 6 2006

State of Nevada
Declaration of Value

1. Assessor Parcel Number(s)

- a) 162-04-802-004
b)
c)
d)

2. Type of Property:

- ☐ a) Vacant Land ☐ b) Sgl. Fam. Residence
☐ c) Condo/Twnhse ☐ d) 2-4 Plex
☐ e) Apt. Bldg. ☒ f) Comm'l/Inst'l
☐ g) Agricultural ☐ h) Mobile Home
i) Other

FOR RECORDER'S OPTIONAL USE ONLY

Document/Instrument #: _____
Book: _____ Page: _____
Date of Recording: _____
Notes: _____

3. Total Value/Sales Price of Property

\$825,000.00

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

\$825,000.00

Real Property Transfer Tax/Due

\$4,207.50

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090,
Section: _____

b. Explain Reason for
Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____ Capacity: GRANTOR/SELLER

Signature: _____ Capacity: GRANTEE/BUYER

SELLER (GRANTOR) INFORMATION
(REQUIRED)

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: The Steven Bramson 1998
Revocable Trust

Print Name: Bell Real Estate, LLC, a Nevada
limited liability company

Address: 5446 Ukiah Circle

Address: 1900 Industrial Road

City/State/Zip: Las Vegas, NV 89118

City/State/Zip: Las Vegas, NV 89102

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company

Esc. #: 05-05-3025-JJA

Address: 2500 N Buffalo, Suite 150

City: Las Vegas

State: NV

Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

4748
RECEIVED
FEB 6 2006

EXHIBIT "A"

THAT PORTION OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 61 EAST,
M.D.B.&M., DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER (S 1/4 COR.) OF SAID
SECTION 4; THENCE NORTH $87^{\circ}15'15''$ WEST ALONG THE SOUTH LINE
THEREOF A DISTANCE OF 61.79 FEET TO A POINT; THENCE NORTH
 $27^{\circ}56'15''$ EAST A DISTANCE OF 1311.23 FEET TO THE TRUE POINT OF
BEGINNING; THENCE CONTINUING NORTH $27^{\circ}56'15''$ EAST A DISTANCE OF
50 FEET TO A POINT; THENCE NORTH $62^{\circ}03'45''$ WEST A DISTANCE OF 140
FEET TO A POINT; THENCE SOUTH $27^{\circ}56'15''$ WEST A DISTANCE OF 50 FEET
TO A POINT; THENCE SOUTH $62^{\circ}03'45''$ EAST A DISTANCE OF 140 FEET TO A
TRUE POINT OF BEGINNING.

RESERVING THEREFROM THE NORTHERLY 7 FEET OF THE HEREINABOVE
DESCRIBED PROPERTY FOR ALLEY PURPOSES.

STATE OF NEVADA
DECLARATION OF VALUE

20000929
01022

1. Assessor Parcel Number(s)
a) 102-04-802-002
b) 102-04-802-003
c) _____
d) _____

FOR RECORDERS' USE ONLY
Documentation Reviewed by: _____
Type of Documentation: _____
Assessor's Tag: _____
Recording Deputy: _____

2. Type of Property:
a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg f) ☐ Comm/Indl
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other

3. Total Value/Sales Price of Property \$ SEE EXEMPTION BELOW

Deduct Assumed Liens and/or Encumbrances \$ _____
(Recording information on assumed amounts: Book/Instrument # _____)

4. Taxable Value (per NRS 375.010, Section 2): \$ _____

Real Property Transfer Tax Due \$ _____

If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section 10 NRS 375, Section _____

b. Explain Reason for Exemption: _____
TRANSFER TO A BUSINESS ENTITY OF WHICH GRANTOR IS 100% OWNER.

5. Partial Interest: Percentage being transferred: 100 %

The undersigned Seller (Grantor)/Buyer (Grantee), declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1 1/2% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

SELLER (GRANTOR) INFORMATION

Seller Signature: Gregory J. Morris as Attorney-in-Fact for James A. Bell
Print Name: Gregory J. Morris as Attorney-in-Fact for James A. Bell
Address: 1910 Industrial Rd.
City: Las Vegas
State: NV Zip: 89102
Telephone: (702) 471-0990
Capacity: owner

BUYER (GRANTEE) INFORMATION

Buyer Signature: Gregory J. Morris as Attorney-in-Fact for James A. Bell
Print Name: Gregory J. Morris as Attorney-in-Fact for James A. Bell
Address: 1910 Industrial Rd.
City: Las Vegas
State: NV Zip: 89102
Telephone: (702) 471-0990
Capacity: owner

COMPANY REQUESTING RECORDING

Co. Name: GREGORY J. MORRIS LTD. Escrow #: _____
(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

RECEIVED
FEB 6 2006

20000929
01022

APN: 162-04-802-002 & 162-04-802-003

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That WHITTLESEA BLUE CAB COMPANY, A NEVADA CORPORATION without consideration, does hereby Grant, Bargain, Sell and Convey to BELL REAL ESTATE, LLC as amended, or restated, or their successors, all of their right, title and interest in that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO FOR A COMPLETE LEGAL DESCRIPTION AND BY THIS REFERENCE MADE A PART HEREOF.

GRANTEES ADDRESS: WHITTLESEA BLUE CAB COMPANY, 1940 Industrial Road, Las Vegas, NV 89102

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining.

Witness his hand this 11 day of August, 2000.

James A. Bell
JAMES A. BELL, President

2000929

STATE OF NEVADA)
COUNTY OF CLARK) ss.

On this 11 day of April, 2000, before me the undersigned, a Notary Public in and for the said State, personally appeared JAMES A. BELL, known to me to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same as his free act and deed.

Notary Public: Gregory J. Bell



When Recorded, Mail to:
WHITESEA BLUE CAB COMPANY
1910 Industrial Road
Las Vegas, NV 89102

RECEIVED
FEB 6 2006

20000929
01022

EXHIBIT "A"

LEGAL DESCRIPTION

That portion of Section 4, Township 21 South, Range 61 East, M.D.B. & M., described as follows:

COMMENCING at the South Quarter corner of said Section 4, thence North $87^{\circ}15'16''$ West along the South line thereof a distance of 61.79 feet to a point;
thence North $27^{\circ}56'15''$ East a distance of 1361.23 feet to the POINT OF BEGINNING;
thence continuing North $27^{\circ}56'15''$ East a distance of 75 feet to a point;
thence North $62^{\circ}03'45''$ West a distance of 260 feet to a point on the East line of the Los Angeles and Salt Lake (Union Pacific) Railroad right of way 100 feet wide;
thence South $27^{\circ}56'15''$ West a distance of 125 feet to a point;
thence South $62^{\circ}03'45''$ East a distance of 120 feet to a point;
thence North $27^{\circ}56'15''$ East a distance of 50 feet to a point;
thence South $62^{\circ}03'45''$ East a distance of 140 feet to the TRUE POINT OF BEGINNING.

CLARK COUNTY, NEVADA
JUDITH A. VANDEVER, RECORDER
RECORDED AT REQUEST OF:

WHITTLESER BLUE CAB COMPANY

09-29-2006 OFFICE RECORDS
BOOK 20000929 PAGE 01022

FEE: \$1.00 RPT: E10010

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FEB 6 2006

Extraction List



Separator Sheet

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203 PARCELS

133 LABELS

Report of All Selected Parcels

Case Number:

SDR-1167C

Printed On: Tue, February 14, 2006

Owner	Address	Parcel Number
		16204898001
		16204498001
		16204798001
1916 HIGHLAND PROPERTIES LTD	1916 HIGHLAND AVE LAS VEGAS NV	16204301005
2201 L L C	%A GILBERT 2830 ELK CANYON CT LAS VEGAS NV	16204803008
2201 L L C	%A GILBERT 2830 ELK CANYON CT LAS VEGAS NV	16204803009
2216 TAM L L C	3639 HAVEN WY BURBANK CA	16204811050
2216 TAM L L C	3639 HAVEN WY BURBANK CA	16204811048
2216 TAM L L C	3639 HAVEN WY BURBANK CA	16204811049
4 A HOLDINGS L L C	P.O BOX 14353 LAS VEGAS NV	16204707006
AHMED AKLAQ Q	3258 MEADWAY DR HOUSTON TX	16204710086
ALBRECHT KENNETH & BETH	23807 S ANGORA DR SUN LAKES AZ	16204703011
ALPHA OMEGA HOLDING L L C	6345 WOODSTOCK CT LAS VEGAS NV	16204302001
ALVERNAZ JOSEPH P & LINDA	235 UPPER CAMP LOOP RD ROSEBURG OR	16204406002
ALVERNAZ JOSEPH P & LINDA	235 UPPER CAMP LOOP RD ROSEBURG OR	16204406001
ANDERSON MARSHA J IRR TR ETAL	%M ANDERSON 375 LAUREL DR BOULDER CITY NV	16204404003
ANDERSON SIMA TRUST	P.O BOX 16873 IRVINE CA	16204710104
LAB B H L L C	2000 WESTERN ST LAS VEGAS NV	16204302004
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810001
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810006
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810002
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810007
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810008
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810004
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810005
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810003
BALTIMORE GARDENS L P	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204806001
BANK FIRST INTERSTATE NEVADA TRS	%PDS TAX SERV P.O BOX 13519 ARLINGTON TX	16204704003
BARON REAL ESTATE INC	%L VOGLER 3690 REDONDO BEACH AVE REDONDO BEACH CA	16204707001
BEARDEN NED & GENEVIEVE TRS	2885 MANN ST LAS VEGAS NV	16204404002
BELL REAL ESTATE L L C	1900 INDUSTRIAL RD LAS VEGAS NV	16204802004
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204802003

Report of All Selected Parcels

Case Number: VAR-11674

Printed On: Tue, February 14, 2006

Owner	Address	Parcel Number
BELL REAL ESTATE L L C	%BELL TRANS 1910 INDUSTRIAL RD LAS VEGAS NV	16204704006
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204704005
BELL REAL ESTATE L L C	%BELL TRANS 1910 INDUSTRIAL RD LAS VEGAS NV	16204704007
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204802002
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204704008
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204802001
BOILER GUY NEVADA L L C	305 W ST LOUIS AVE LAS VEGAS NV	16204707002
BOILER GUY NEVADA L L C	305 W ST LOUIS AVE LAS VEGAS NV	16204707003
BUTLER DAN JOHNSON	306 W ST LOUIS AVE LAS VEGAS NV	16204710103
BUTLER DAN JOHNSON	306 W ST LOUIS AVE LAS VEGAS NV	16204706006
BUTLER SHERMAN E & DORA J FAM TRUST	306 W ST LOUIS AVE LAS VEGAS NV	16204706007
C R V CLASSIC PROPERTIES L P	1241 N LAKEVIEW #D ANAHEIM CA	16204805002
C R V CLASSIC PROPERTIES L P	1241 N LAKEVIEW #D ANAHEIM CA	16204805001
C R V CLASSIC PROPERTIES L P	1241 N LAKEVIEW #D ANAHEIM CA	16204804001
C R V CLASSIC PROPERTIES L P	1241 N LAKEVIEW #D ANAHEIM CA	16204707007
CASPIAN INDUSTRIAL INVESTMENTS	1710 WESTERN AVE LAS VEGAS NV	16204702002
CASTELLANOS FAMILY TRUST	1009 N SHAFFER ORANGE CA	16204403001
CASTELLANOS FAMILY TRUST	1009 N SHAFFER ORANGE CA	16204302007
CASTELLANOS FAMILY TRUST	1009 N SHAFFER ORANGE CA	16204302006
CHAMBERLAIN DAVID T	11292 LOS ALAMITOS BLVD LOS ALAMITOS CA	16204811033
CHAMBERLAIN DAVID T	%CENTURY 21 %CHAMBERLAIN & ASSOC 11292 LOS ALAMITOS BLVD LOS ALAMITOS CA	16204811032
CHOO YOUNG W & CHA HEE	18951 KENTUCKY DOWNS LN YORBA LINDA CA	16204813023
CITY OF LAS VEGAS	400 E STEWART AVE LAS VEGAS NV	16204707008
CITY OF LAS VEGAS	400 E STEWART AVE LAS VEGAS NV	16204813109
D K M DEVELOPMENT L L C	3273 E WARM SPRINGS RD LAS VEGAS NV	16204703009
DEMICH MICHAEL	P O BOX 7201 RANCHO SANTA FE CA	16204813024
DEMICH MICHAEL A & JONI S	P O BOX 7201 RANCHO SANTA FE CA	16204710120
DERRYBERRY 1997 FAMILY TRUST	1309 E ST LOUIS AVE #1 LAS VEGAS NV	16204811038
DOWNTOWN VEGAS L L C	2125 WESTERN AVE LAS VEGAS NV	16204406004
DOWNTOWN VEGAS L L C	2125 WESTERN AVE LAS VEGAS NV	16204406003
DRAEGER JOHN E REVOCABLE TRUST	%DRAEGER CONST 2139 INDUSTRIAL RD LAS VEGAS NV	16204803007
ENGLERT BRAD & ROBYN	2333 WHISPERING HILLS CIR LAS VEGAS NV	16204406006

Report of All Selected Parcels**Case Number:** VAR-11674**Printed On:** Tue: February 14, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
ENGLERT BRAD & ROBYN	2333 WHISPERING HILLS CIR LAS VEGAS NV	16204406005
ESCAMILLA JOSE	11030 SUNNYBRAE AVE CHATSWORTH CA	16204811004
FELDMAN SAM TRUST	800 N RAINBOW BLVD #208 LAS VEGAS NV	16204301010
FERRIS FAMILY TRUST	2705 FULANO WY LAS VEGAS NV	16204301006
FERRIS INVEST INC	2705 FULCANO WY LAS VEGAS NV	16204301008
FLEMING KENNETH E & JOY C LIV TR	1841 NEWPORT BAY DR LAS VEGAS NV	16204406009
FOX GARRY & CATHERINE	2341 RICHARD DR HENDERSON NV	16204803005
FOX GARRY & CATHERINE	2341 RICHARD DR HENDERSON NV	16204803004
GALLIGAN THOMAS L L C	2110 S HIGHLAND LAS VEGAS NV	16204301011
GEO STAR INC	1801 WESTERN AVE LAS VEGAS NV	16204703004
GEORGIA TRUST	1424 DESERT HILLS DR LAS VEGAS NV	16204813037
GIBSON JANET	2820 SPALDING DR LAS VEGAS NV	16204301012
GRAINGER W W INC	%R/E LEGAL 100 GRAINGER PKWY LAKE FOREST IL	16204406010
GRIFFITH ISABEL	370 ALTAIR WY #252 SUNNYVALE CA	16204811009
GUPTA HEM C & KRISHNA	160 E SHELBOURNE AVE LAS VEGAS NV	16204811008
GUPTA HEM C & KRISHNA	160 E SHELBOURNE AVE LAS VEGAS NV	16204811007
HOME COMING LLC	%A HALBERT 3049 MOJAVE RD LAS VEGAS NV	16204813011
INDEPENDENT FIRE FABRICATION INC	505 VALLEY RD RENO NV	16204706004
INDUSTRIAL L C	%BEST CO 6450 SPRING MOUNTAIN RD #12 LAS VEGAS NV	16204802006
J & S H FAMILY L P ET AL	9680 SULTANA ST LAS VEGAS NV	16204803014
JANEWAY CO	2314 S WESTERN LAS VEGAS NV	16204406007
JANEWAY COMPANY	2314 S WESTERN LAS VEGAS NV	16204406008
JOHNCYN DEVELOPMENT L L C	11738 STONEWALL SPRINGS AVE LAS VEGAS NV	16204813022
JOSEPH JOHN M	2304 ZAFRA CT LAS VEGAS NV	16204813013
KARR JERRY K & JAMES N	2111 WESTERN AVE LAS VEGAS NV	16204801001
KLEEK NEVADA L L C	P O BOX 2164 SARATOGA CA	16204710117
LARKIN COMPANY INC	251 W CHICAGO ST LAS VEGAS NV	16204706002
LARKIN COMPANY INC	251 W CHICAGO ST LAS VEGAS NV	16204706003
LARKIN COMPANY INC	1801 INDUSTRIAL RD LAS VEGAS NV	16204706001
LEE KATY L	P O BOX 2309 SARATOGA CA	16204710088
LIVINGSTON FAMILY TRUST	1412 REISLING CT LAS VEGAS NV	16204710106
M H PROPERTIES LLC	%C FREEMAN 3030 S HIGHLAND LAS VEGAS NV	16204301004

Report of All Selected Parcels**Case Number:** VAR-11674**Printed On:** Tue, February 14, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
M H PROPERTIES L LC	%C FREEMAN 3030 S HIGHLAND DR LAS VEGAS NV	16204301014
MACMILLAN BYRON F	%RE #040-404-006-87 P O BOX 7440 LAS VEGAS NV	16204811002
MACMILLAN DOUGLAS JR	%H & L REALTY P.O BOX 7440 LAS VEGAS NV	16204811003
MAGAR JAMES G	2607 MASON LAS VEGAS NV	16204811026
MAKENZIE CORPORATION	2461 E ORANGETHORPE AVE #200 FULLERTON CA	16204710108
MAKENZIE CORPORATION INC	2461 E ORANGETHORPE AVE #200 FULLERTON CA	16204710107
MAKENZIE CORPORATION INC	%W WALTERS 2461 E ORANGETHORPE AVE #200 FULLERTON CA	16204710087
MARK SARA INVESTMENT GROUP	7739 INDUSTRY AVE PICO RIVERA CA	16204813026
MARSHALL FAMILY L P	%MARSHALL ROUSSO 2330 INDUSTRIAL RD LAS VEGAS NV	16204802007
MARTIN GENE & SUSAN	6541 VILLA BONITA RD LAS VEGAS NV	16204710105
MCQUAY SUPPLY CO	%AIR LIQUIDE AMER CORP P.O BOX 460149 HOUSTON TX	16204702004
MEJIA IVAN	827 RISING STAR HENDERSON NV	16204813038
MELLOR ROBIN & MICHELLE FAM TR	2338 MOORPARK WY HENDERSON NV	16204707004
MICHAEL TRUST	P.O BOX 90008 HENDERSON NV	16204811022
MICHAEL TRUST	P.O BOX 90008 HENDERSON NV	16204811021
MICHAEL TRUST	P.O BOX 90008 HENDERSON NV	16204811024
MICHAEL TRUST	P.O BOX 90008 HENDERSON NV	16204811025
MICHAEL TRUST	P.O BOX 90008 HENDERSON NV	16204811020
MICHAEL TRUST	P.O BOX 90008 HENDERSON NV	16204811019
MICHAEL TRUST	P.O BOX 90008 HENDERSON NV	16204811018
MICHAEL TRUST	716 N PALM BEVERLY HILLS CALIF	16204811031
MICHAEL TRUST	P.O BOX 90008 HENDERSON NV	16204811023
MICHAEL TRUST	716 N PALM BEVERLY HILLS CALIF	16204811016
MICHAEL TRUST	716 N PALM BEVERLY HILLS CALIF	16204811017
MICHELAS LLC	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710093
MICHELAS LLC	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710100
MICHELAS LLC	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710099
MICHELAS LLC	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710098
MICHELAS LLC	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710090
MICHELAS LLC	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710092
MICHELAS LLC	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710094
MICHELAS LLC	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710091

Report of All Selected Parcels**Case Number:** VAR:11674**Printed On:** Tue, February 14, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
MICHELAS MICHAEL ETAL	4111 TARKIN AVE LAS VEGAS NV	16204710102
MICHELAS MICHAEL T FAMILY TRUST	4111 TARKIN AVE LAS VEGAS NV	16204710101
MONTCLAIR APTS INC	327 W CINCINNATI ST LAS VEGAS NV	16204811035
MONTCLAIR APTS INC	327 W CINCINNATI ST LAS VEGAS NV	16204811034
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811044
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811039
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811042
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811040
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811045
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811046
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811043
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811041
MORRIS PROPERTIES L L C	2311 S INDUSTRIAL RD LAS VEGAS NV	16204707005
MORRIS PROPERTIES L L C	2311 S INDUSTRIAL RD LAS VEGAS NV	16204803010
NEVADA RECYCLING CORP	P.O. BOX 15430 LAS VEGAS NV	16204703001
NEVADA RECYCLING CORP	856 E SAHARA AVE LAS VEGAS NV	16204703002
NOJASCASTRO ESPERDION A & DIANA S	7480 CLIFTON ST OAKLAND CA	16204813014
ORABONA 2000 FAMILY TRUST	700 VIA SANTA CATARINA CLAREMONT CA	16204710109
O'ROURKE FAMILY L P	1716 S HIGHLAND LAS VEGAS NV	16204701001
O'ROURKE FAMILY L P	1716 S HIGHLAND AVE LAS VEGAS NV	16204301001
O'ROURKE FAMILY L P	1716 S HIGHLAND LAS VEGAS NV	16204301002
O'ROURKE TIM & THERESA	1716 HIGHLAND DR LAS VEGAS NV	16204301007
O'ROURKE TIMOTHY ETAL	1716 S HIGHLAND DR LAS VEGAS NV	16204702003
O'ROURKE TIMOTHY ETAL	1716 N HIGHLAND DR LAS VEGAS NV	16204301013
OWINGS RICHARD & ROXANNA	%LEE & ASSOC 1100 GRIER DR LAS VEGAS NV	16204302003
OWINGS RICHARD & ROXANNA	%LEE & ASSOC 1100 GRIER DR LAS VEGAS NV	16204302002
OWINGS RICHARD & ROXANNE	%LEE & ASSOC 1100 GRIER DR LAS VEGAS NV	16204703007
OWINGS RICHARD & ROXANNE	%LEE & ASSOC 1100 GRIER DR LAS VEGAS NV	16204703008
PARK CIRCLE APARTMENTS L L C	%R OSTERHOUDT 6337 VISTA VERDE NORTH LAS VEGAS NV	16204813003
PARK CIRCLE APARTMENTS L L C	%R OSTERHOUDT 6337 VISTA VERDE NORTH LAS VEGAS NV	16204813002
R J L LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811006
R J L LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811005

Report of All Selected Parcels

Case Number: VAR-11674

Printed On: Tue: February 14, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
RAKOV NATHAN	%LANDRY & ASSOC INC 7235-A BERMUDA RD LAS VEGAS NV	16204302005
REBEL OIL COMPANY INC	2200 S HIGHLAND DR LAS VEGAS NV	16204403004
REBEL OIL COMPANY INCORPORATED	2200 S HIGHLAND DR LAS VEGAS NV	16204404001
REGHETTI REVOCABLE TRUST	505 VALLEY RD RENO NV	16204803003
REGHETTI REVOCABLE TRUST	505 VALLEY RD RENO NV	16204803002
REGHETTI REVOCABLE TRUST	505 VALLEY RD RENO NV	16204803001
RICRIZ L LC	2476 INDUSTRIAL RD LAS VEGAS NV	16204407001
BITTER SHARON D	2004 PLAZA DE SANTA FE LAS VEGAS NV	16204813019
BITTER SHARON D	2004 PLAZA DE SANTA FE LAS VEGAS NV	16204813020
ROMANO MARTIN A	P O BOX 2051 EL CAJON CA	16204813025
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811013
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811015
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811011
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811010
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811014
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERLAND MO	16204811012
SALGADO FRANCISCO P	210 W BOSTON AVE LAS VEGAS NV	16204710085
SANDPIPER STRAND LAS VEGAS L LC	%PRECISION CONST INC 2319 WESTERN AVE LAS VEGAS NV	16204711001
SCHIFF MARVIN JAMES TR	2401 INDUSTRIAL RD LAS VEGAS NV	16204803012
SCHUSTER CLAYTON	147 E MESA VERDE LN LAS VEGAS NV	16204803011
SHOEN BRADLEY S FAMILY TRUST	4671 RANCHO SIERRA BEND SAN DIEGO CA	16204803006
SHOEN FAMILY L P	P O BOX 14750 LAS VEGAS NV	16204802005
SMITH EDWARD D & MAURINE J	%SMITH CHRISTENSEN ENTPRS %D BALDWIN 856 E SAHARA AVE LAS VEGAS NV	16204703003
SPUR TIERRA L LC	P O BOX 379024 LAS VEGAS NV	16204811047
SRABERG GERALD A & ILENE	400 N BRIDGE LN LAS VEGAS NV	16204803013
STETSON L LC	2111 HIGHLAND AVE LAS VEGAS NV	16204403002
STETSON L LC	2111 S HIGHLAND AVE LAS VEGAS NV	16204403003
STOUT WALT	306 W ST LOUIS LAS VEGAS NV	16204706005
STRATOS INVESTMENTS L LC	3852 PALOS VERDES ST #40 LAS VEGAS NV	16204811001
STRATOS INVESTMENTS L LC	3852 PALOS VERDES ST #40 LAS VEGAS NV	16204710089
STUPAK BOB	1301 S 6TH ST LAS VEGAS NV	16204813021
STUBBS HIGHLAND PROPERTIES L LC	4720 N GRAND CANYON DR LAS VEGAS NV	16204301009

Report of All Selected Parcels

Case Number: VAR-11674

Printed On: Tue: February 14, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
TIBERTI COMPANY	1806 INDUSTRIAL RD LAS VEGAS NV	16204702001
TIBERTI COMPANY	P O BOX 15250 LAS VEGAS NV	16204704004
UNGAR INVESTMENTS L P	P O BOX 26185 LAS VEGAS NV	16204811037
URBAN LAND NEVADA	%T LEE 3271 S HIGHLAND DR #704 LAS VEGAS NV	16204807001
WADE IRREVOCABLE ISSUE'S TRUST	1048 PAR AVÉ PASEO ROBLES CA	16204703012
WARD ADAM	7085 ORANGE GROVE LAS VEGAS NV	16204710118
WARD ADAM	820 N SLOAN #202 LAS VEGAS NV	16204710119
WENDLING FRANCES A TRUST	3160 W SAHARA AVE #A-22 LAS VEGAS NV	16204811036
WHITNEY INVESTMENTS L L C	3434 KIER RD #1 NO LAS VEGAS NV	16204710084
WILKIE RICHARD E REVOCABLE TRUST	1310 ATHENS POINT AVE LAS VEGAS NV	16204703010
YURDUMYAN ASMIK	550 N BRAND BLVD #1800 GLENDALE CA	16204813012

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PARCELS 203
LABELS 133**Report of All Selected Parcels**Case Number: SDR-11676Printed On: Tue: April 25, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
		16204898001
		16204498001
		16204798001
1916 HIGHLAND PROPERTIES LTD	1916 HIGHLAND AVE LAS VEGAS NV	16204301005
2201 L L C	%A GILBERT 2830 ELK CANYON CT LAS VEGAS NV	16204803008
2201 L L C	%A GILBERT 2830 ELK CANYON CT LAS VEGAS NV	16204803009
2216 TAM L L C	3639 HAVEN WY BURBANK CA	16204811050
2216 TAM L L C	3639 HAVEN WY BURBANK CA	16204811048
2216 TAM L L C	3639 HAVEN WY BURBANK CA	16204811049
4 A HOLDINGS L L C	P O BOX 14353 LAS VEGAS NV	16204707006
AHMED AKLAQ Q	3258 MEADWAY DR HOUSTON TX	16204710086
ALBRECHT KENNETH & BETH	23807 S ANGORA DR SUN LAKES AZ	16204703011
ALPHA OMEGA HOLDING L L C	6345 WOODSTOCK CT LAS VEGAS NV	16204302001
ALVERNAZ JOSEPH P & LINDA	235 UPPER CAMP LOOP RD ROSEBURG OR	16204406002
ALVERNAZ JOSEPH P & LINDA	235 UPPER CAMP LOOP RD ROSEBURG OR	16204406001
ANDERSON MARSHA J IRR TR ETAL	%M ANDERSON 375 LAUREL DR BOULDER CITY NV	16204404003
ANDERSON SIMA TRUST	P O BOX 16873 IRVINE CA	16204710104
B B H L L C	2000 WESTERN ST LAS VEGAS NV	16204302004
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810001
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810006
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810002
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810007
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810008
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810004
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810005
BALTIMORE GARDEMS LTD PTNRSH	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204810003
BALTIMORE GARDENS L P	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204806001
BANK FIRST INTERSTATE NEVADA TRS	%PDS TAX SERV P O BOX 13519 ARLINGTON TX	16204704003
BARON REAL ESTATE INC	%L VOGLER 3690 REDONDO BEACH AVE REDONDO BEACH CA	16204707001
BEARDEN NED & GENEVIEVE TRS	2885 MANN ST LAS VEGAS NV	16204404002
BELL REAL ESTATE L L C	1900 INDUSTRIAL RD LAS VEGAS NV	16204802004
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204802003

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BELL REAL ESTATE L L C	%BELL TRANS 1910 INDUSTRIAL RD LAS VEGAS NV	16204704006
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204704005
BELL REAL ESTATE L L C	%BELL TRANS 1910 INDUSTRIAL RD LAS VEGAS NV	16204704007
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204802002
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204704008
BELL REAL ESTATE L L C	%WHITTLESEA BLUE CAB CO 1910 INDUSTRIAL RD LAS VEGAS NV	16204802001
BOILER GUY NEVADA L L C	305 W ST LOUIS AVE LAS VEGAS NV	16204707002
BOILER GUY NEVADA L L C	305 W ST LOUIS AVE LAS VEGAS NV	16204707003
BUTLER DAN JOHNSON	306 W ST LOUIS AVE LAS VEGAS NV	16204710103
BUTLER DAN JOHNSON	306 W ST LOUIS AVE LAS VEGAS NV	16204706006
BUTLER SHERMAN E & DORA J FAM TR	306 W ST LOUIS AVE LAS VEGAS NV	16204706007
C R V CLASSIC PROPERTIES L P	1241 N LAKEVIEW #D ANAHEIM CA	16204805002
C R V CLASSIC PROPERTIES L P	1241 N LAKEVIEW #D ANAHEIM CA	16204805001
C R V CLASSIC PROPERTIES L P	1241 N LAKEVIEW #D ANAHEIM CA	16204804001
C R V CLASSIC PROPERTIES L P	1241 N LAKEVIEW #D ANAHEIM CA	16204707007
CASPIAN INDUSTRIAL INVESTMENTS	1710 WESTERN AVE LAS VEGAS NV	16204702002
CASTELLANOS FAMILY TRUST	1009 N SHAFFER ORANGE CA	16204403001
CASTELLANOS FAMILY TRUST	1009 N SHAFFER ORANGE CA	16204302007
CASTELLANOS FAMILY TRUST	1009 N SHAFFER ORANGE CA	16204302006
CHAMBERLAIN DAVID T	11292 LOS ALAMITOS BLVD LOS ALAMITOS CA	16204811033
CHAMBERLAIN DAVID T	%CENTURY 21 %CHAMBERLAIN & ASSOC 11292 LOS ALAMITOS BLVD LOS ALAMITOS CA	16204811032
CHOO YOUNG W & CHA HEE	18951 KENTUCKY DOWNS LN YORBA LINDA CA	16204813023
CITY OF LAS VEGAS	400 E STEWART AVE LAS VEGAS NV	16204707008
CITY OF LAS VEGAS	400 E STEWART AVE LAS VEGAS NV	16204813109
D K M DEVELOPMENT L L C	3273 E WARM SPRINGS RD LAS VEGAS NV	16204703009
DEMICH MICHAEL	P O BOX 7201 RANCHO SANTA FE CA	16204813024
DEMICH MICHAEL A & JONI S	P O BOX 7201 RANCHO SANTA FE CA	16204710120
DERRYBERRY 1997 FAMILY TRUST	1309 E ST LOUIS AVE #1 LAS VEGAS NV	16204811038
DOWNTOWN VEGAS L L C	2125 WESTERN AVE LAS VEGAS NV	16204406004
DOWNTOWN VEGAS L L C	2125 WESTERN AVE LAS VEGAS NV	16204406003
DRAEGER JOHN E REVOCABLE TRUST	%DRAEGER CONST 2139 INDUSTRIAL RD LAS VEGAS NV	16204803007
ENGLERT BRAD & ROBYN	2333 WHISPERING HILLS CIR LAS VEGAS NV	16204406006

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ENGLERT BRAD & ROBYN	2333 WHISPERING HILLS CIR LAS VEGAS NV	16204406005
ESCAMILLA JOSE	11030 SUNNYBRAE AVE CHATSWORTH CA	16204811004
FELDMAN SAM TRUST	800 N RAINBOW BLVD #208 LAS VEGAS NV	16204301010
FERRIS FAMILY TRUST	2705 FULANO WY LAS VEGAS NV	16204301006
FERRIS INVEST INC	2705 FULCANO WY LAS VEGAS NV	16204301008
FLEMING KENNETH E & JOY C LIV TR	1841 NEWPORT BAY DR LAS VEGAS NV	16204406009
FOX GARRY & CATHERINE	2341 RICHARD DR HENDERSON NV	16204803005
FOX GARRY & CATHERINE	2341 RICHARD DR HENDERSON NV	16204803004
GALLIGAN THOMAS L L C	2110 S HIGHLAND LAS VEGAS NV	16204301011
GEO STAR INC	1801 WESTERN AVE LAS VEGAS NV	16204703004
GEORGIA TRUST	1424 DESERT HILLS DR LAS VEGAS NV	16204813037
GIBSON JANET	2820 SPALDING DR LAS VEGAS NV	16204301012
GRAINGER W W INC	%R/E LEGAL 100 GRAINGER PKWY LAKE FOREST IL	16204406010
GRIFFITH ISABEL	370 ALTAIR WY #252 SUNNYVALE CA	16204811009
GUPTA HEM C & KRISHNA	160 E SHELBOURNE AVE LAS VEGAS NV	16204811008
GUPTA HEM C & KRISHNA	160 E SHELBOURNE AVE LAS VEGAS NV	16204811007
HOME COMING L L C	%A HALBERT 3049 MOJAVE RD LAS VEGAS NV	16204813011
INDEPENDENT FIRE FABRICATION INC	505 VALLEY RD RENO NV	16204706004
INDUSTRIAL L L C	%BEST CO 6450 SPRING MOUNTAIN RD #12 LAS VEGAS NV	16204802006
J & S H FAMILY L P ETAL	9680 SULTANA ST LAS VEGAS NV	16204803014
JANEWAY CO	2314 S WESTERN LAS VEGAS NV	16204406007
JANEWAY COMPANY	2314 S WESTERN LAS VEGAS NV	16204406008
JOHNCYN DEVELOPMENT L L C	11738 STONEWALL SPRINGS AVE LAS VEGAS NV	16204813022
JOSEPH JOHN M	2304 ZAFRA CT LAS VEGAS NV	16204813013
KARR JERRY K & JAMES N	2111 WESTERN AVE LAS VEGAS NV	16204801001
KLEEK NEVADA L L C	P O BOX 2164 SARATOGA CA	16204710117
LARKIN COMPANY INC	251 W CHICAGO ST LAS VEGAS NV	16204706002
LARKIN COMPANY INC	251 W CHICAGO ST LAS VEGAS NV	16204706003
LARKIN COMPANY INC	1801 INDUSTRIAL RD LAS VEGAS NV	16204706001
LEE KATY L	P O BOX 2309 SARATOGA CA	16204710088
LIVINGSTON FAMILY TRUST	1412 REISLING CT LAS VEGAS NV	16204710106
M H PROPERTIES L L C	%C FREEMAN 3030 S HIGHLAND LAS VEGAS NV	16204301004

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M H PROPERTIES L L C	%C FREEMAN 3030 S HIGHLAND DR LAS VEGAS NV	16204301014
MACMILLAN BYRON F	%RE #040-404-006-87 P O BOX 7440 LAS VEGAS NV	16204811002
MACMILLAN DOUGLAS JR	%H & L REALTY P O BOX 7440 LAS VEGAS NV	16204811003
MAGAR JAMES G	2607 MASON LAS VEGAS NV	16204811026
MAKENZIE CORPORATION	2461 E ORANGETHORPE AVE #200 FULLERTON CA	16204710108
MAKENZIE CORPORATION INC	2461 E ORANGETHORPE AVE #200 FULLERTON CA	16204710107
MAKENZIE CORPORATION INC	%W WALTERS 2461 E ORANGETHORPE AVE #200 FULLERTON CA	16204710087
MARK SARA INVESTMENT GROUP	7739 INDUSTRY AVE PICO RIVERA CA	16204813026
MARSHALL FAMILY L P	%MARSHALL ROUSSO 2330 INDUSTRIAL RD LAS VEGAS NV	16204802007
MARTIN GENE & SUSAN	6541 VILLA BONITA RD LAS VEGAS NV	16204710105
MCQUAY SUPPLY CO	%AIR LIQUIDE AMER CORP P O BOX 460149 HOUSTON TX	16204702004
MEJIA IVAN	827 RISING STAR HENDERSON NV	16204813038
MELLOR ROBIN & MICHELLE FAM TR	2338 MOORPARK WY HENDERSON NV	16204707004
MICHAEL TRUST	P O BOX 90008 HENDERSON NV	16204811022
MICHAEL TRUST	P O BOX 90008 HENDERSON NV	16204811021
MICHAEL TRUST	P O BOX 90008 HENDERSON NV	16204811024
MICHAEL TRUST	P O BOX 90008 HENDERSON NV	16204811025
MICHAEL TRUST	P O BOX 90008 HENDERSON NV	16204811020
MICHAEL TRUST	P O BOX 90008 HENDERSON NV	16204811019
MICHAEL TRUST	P O BOX 90008 HENDERSON NV	16204811018
MICHAEL TRUST	716 N PALM BEVERLY HILLS CA	16204811031
MICHAEL TRUST	P O BOX 90008 HENDERSON NV	16204811023
MICHAEL TRUST	716 N PALM BEVERLY HILLS CA	16204811016
MICHAEL TRUST	716 N PALM BEVERLY HILLS CA	16204811017
MICHELAS L L C	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710093
MICHELAS L L C	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710100
MICHELAS L L C	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710099
MICHELAS L L C	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710098
MICHELAS L L C	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710090
MICHELAS L L C	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710092
MICHELAS L L C	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710094
MICHELAS L L C	%M MICHELAS %A CAMPBELL %P ROBINSON 4111 TARKIN AVE LAS VEGAS NV	16204710091

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MICHELAS MICHAEL ETAL	4111 TARKIN AVE LAS VEGAS NV	16204710102
MICHELAS MICHAEL T FAMILY TRUST	4111 TARKIN AVE LAS VEGAS NV	16204710101
MONTCLAIR APTS INC	327 W CINCINNATI ST LAS VEGAS NV	16204811035
MONTCLAIR APTS INC	327 W CINCINNATI ST LAS VEGAS NV	16204811034
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811044
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811039
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811042
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811040
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811045
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811046
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811043
MONTEREY VILLAS L L C	606 S HILL ST #802 LOS ANGELES CA	16204811041
MORRIS PROPERTIES L L C	2311 S INDUSTRIAL RD LAS VEGAS NV	16204707005
MORRIS PROPERTIES L L C	2311 S INDUSTRIAL RD LAS VEGAS NV	16204803010
NEVADA RECYCLING CORP	P O BOX 15430 LAS VEGAS NV	16204703001
NEVADA RECYCLING CORP	856 E SAHARA AVE LAS VEGAS NV	16204703002
OJASCASTRO ESPERDION A & DIANA S	480 CLIFTON ST OAKLAND CA	16204813014
ORABONA 2000 FAMILY TRUST	700 VIA SANTA CATARINA CLAREMONT CA	16204710109
OROURKE FAMILY L P	1716 S HIGHLAND LAS VEGAS NV	16204701001
OROURKE FAMILY L P	1716 S HIGHLAND AVE LAS VEGAS NV	16204301001
O'ROURKE FAMILY L P	1716 S HIGHLAND LAS VEGAS NV	16204301002
O'ROURKE TIM & THERESA	1716 HIGHLAND DR LAS VEGAS NV	16204301007
OROURKE TIMOTHY ETAL	1716 S HIGHLAND DR LAS VEGAS NV	16204702003
O'ROURKE TIMOTHY ETAL	1716 N HIGHLAND DR LAS VEGAS NV	16204301013
OWINGS RICHARD & ROXANNA	%LEE & ASSOC 1100 GRIER DR LAS VEGAS NV	16204302003
OWINGS RICHARD & ROXANNA	%LEE & ASSOC 1100 GRIER DR LAS VEGAS NV	16204302002
OWINGS RICHARD & ROXANNE	%LEE & ASSOC 1100 GRIER DR LAS VEGAS NV	16204703007
OWINGS RICHARD & ROXANNE	%LEE & ASSOC 1100 GRIER DR LAS VEGAS NV	16204703008
PARK CIRCLE APARTMENTS L L C	%R OSTERHOUDT 6337 VISTA VERDE NORTH LAS VEGAS NV	16204813003
PARK CIRCLE APARTMENTS L L C	%R OSTERHOUDT 6337 VISTA VERDE NORTH LAS VEGAS NV	16204813002
R J L LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811006
R J L LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811005

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RAKOV NATHAN	%LANDRY & ASSOC INC 7235-A BERMUDA RD LAS VEGAS NV	16204302005
REBEL OIL COMPANY INC	2200 S HIGHLAND DR LAS VEGAS NV	16204403004
REBEL OIL COMPANY INCORPORATED	2200 S HIGHLAND DR LAS VEGAS NV	16204404001
REGHETTI REVOCABLE TRUST	505 VALLEY RD RENO NV	16204803003
REGHETTI REVOCABLE TRUST	505 VALLEY RD RENO NV	16204803002
REGHETTI REVOCABLE TRUST	505 VALLEY RD RENO NV	16204803001
RICRIZ L L C	2476 INDUSTRIAL RD LAS VEGAS NV	16204407001
RITTER SHARON D	2004 PLAZA DE SANTA FE LAS VEGAS NV	16204813019
RITTER SHARON D	2004 PLAZA DE SANTA FE LAS VEGAS NV	16204813020
ROMANO MARTIN A	P O BOX 2051 EL CAJON CA	16204813025
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811013
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811015
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811011
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811010
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERFIELD MO	16204811014
S & F LIMITED PARTNERSHIP	%HEARTLAND BANK 14125 CLAYTON RD CHESTERLAND MO	16204811012
SALGADO FRANCISCO P	210 W BOSTON AVE LAS VEGAS NV	16204710085
SANDPIPER STRAND-LAS VEGAS L L C	%PRECISION CONST INC 2319 WESTERN AVE LAS VEGAS NV	16204711001
SCHIFF MARVIN JAMES TR	2401 INDUSTRIAL RD LAS VEGAS NV	16204803012
SCHUSTER CLAYTON	147 E MESA VERDE LN LAS VEGAS NV	16204803011
SHOEN BRADLEY S FAMILY TRUST	4671 RANCHO SIERRA BEND SAN DIEGO CA	16204803006
SHOEN FAMILY L P	P O BOX 14750 LAS VEGAS NV	16204802005
SMITH EDWARD D & MAURINE J	%SMITH-CHRISTENSEN ENTPRS %D BALDWIN 856 E SAHARA AVE LAS VEGAS NV	16204703003
SPUR TIERRA L L C	P O BOX 379024 LAS VEGAS NV	16204811047
SRABERG GERALD A & ILENE	400 N BRIDGE LN LAS VEGAS NV	16204803013
STETSON L L C	2111 HIGHLAND AVE LAS VEGAS NV	16204403002
STETSON L L C	2111 S HIGHLAND AVE LAS VEGAS NV	16204403003
STOUT WALT	306 W ST LOUIS LAS VEGAS NV	16204706005
STRATOS INVESTMENTS L L C	3852 PALOS VERDES ST #40 LAS VEGAS NV	16204811001
STRATOS INVESTMENTS L L C	3852 PALOS VERDES ST #40 LAS VEGAS NV	16204710089
STUPAK BOB	1301 S 6TH ST LAS VEGAS NV	16204813021
T B S HIGHLAND PROPERTIES L L C	4720 N GRAND CANYON DR LAS VEGAS NV	16204301009

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TIBERTI COMPANY	1806 INDUSTRIAL RD LAS VEGAS NV	16204702001
TIBERTI COMPANY	P O BOX 15250 LAS VEGAS NV	16204704004
UNGAR INVESTMENTS L P	P O BOX 26185 LAS VEGAS NV	16204811037
URBAN LAND NEVADA	%T LEE 3271 S HIGHLAND DR #704 LAS VEGAS NV	16204807001
WADE IRREVOCABLE ISSUE'S TRUST	1048 PAR AVE PASEO ROBLES CA	16204703012
WARD ADAM	7085 ORANGE GROVE LAS VEGAS NV	16204710118
WARD ADAM	820 N SLOAN #202 LAS VEGAS NV	16204710119
WENDLING FRANCES A TRUST	3160 W SAHARA AVE #A-22 LAS VEGAS NV	16204811036
WHITNEY INVESTMENTS L L C	3434 KIER RD #1 NO LAS VEGAS NV	16204710084
WILKIE RICHARD E REVOCABLE TRUST	1310 ATHENS POINT AVE LAS VEGAS NV	16204703010
YURDUMYAN ASMIK	550 N BRAND BLVD #1800 GLENDALE CA	16204813012

