

Memo

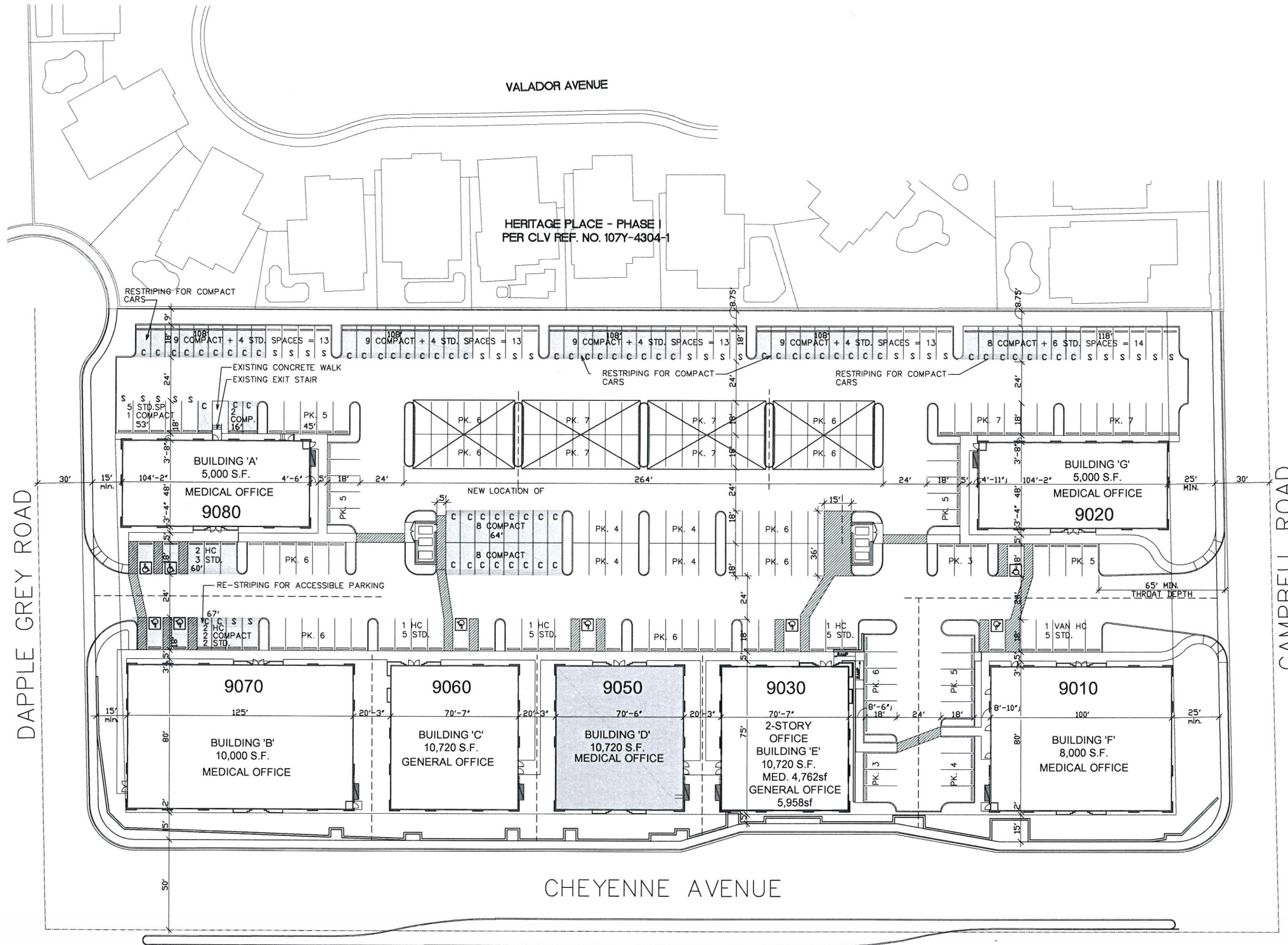
10/09/14

- The Planning Department Staff administratively approved a request for an amended parking-lot striping plan associated with Site Development Plan Review (SDR-18660) which increased the overall parking provided on-site from 267 parking spaces to 278 parking spaces by incorporating 65 (23%) compact spaces. The revised parking design complies with Title 19.08.110 standards.
(See revised Site Plan date stamped 10/09/14)

Jonathan Boyles 10/09/14

A handwritten signature in black ink, appearing to read "Jonathan Boyles", followed by the date "10/09/14". The signature is written over a horizontal line.

DRAWING NAME: 2.1 - PROJECTS 2014 PROJECTS/BMC-CMP CHEYENNE VARIANCE - 140066LV.DWG - CONSTRUCTION DOCUMENTS/CURRENT CAD ARCHITECTURAL/V1010.DWG | PLOT DATE: 10/9/2014 9:24 AM | PLOTTED BY: HANSHU SHROFF | © 2010 MILLER ARCHITECTURAL CORPORATION ALL RIGHTS RESERVED



SITE PLAN
SCALE: 1" = 30'-0"



AREA/PARKING SUMMARY

BUILDING - 'A' - (9080)					
USE	HEIGHT	AREA	PKG. RATIO	PKG. REQ'D	TOTAL PKG. REQ'D PER BUILDING
MEDICAL LEASE 'A'	1-STORY	5,000 S.F. 2,000 S.F. 3,000 S.F.	1/200 1/175	10 18	28

BUILDING - 'B' - (9070)					
USE	HEIGHT	AREA	PKG. RATIO	PKG. REQ'D	TOTAL PKG. REQ'D PER BUILDING
MEDICAL LEASE 'B'	1-STORY	10,000 S.F. 2,000 S.F. 8,000 S.F.	1/200 1/175	10 46	56

BUILDING - 'C' - (9060)					
USE	HEIGHT	AREA	PKG. RATIO	PKG. REQ'D	TOTAL PKG. REQ'D PER BUILDING
OFFICE LEASE 'C'	2-STORY	10,720 S.F.	1/300	36	36

BUILDING - 'D' - (9050)					
USE	HEIGHT	AREA	PKG. RATIO	PKG. REQ'D	TOTAL PKG. REQ'D PER BUILDING
MEDICAL LEASE 'D'	2-STORY	10,720 S.F. 2,000 S.F. 8,720 S.F.	1/200 1/175	10 50	60

BUILDING - 'E' - 10,720 S.F. TOTAL - (9030)					
USE	HEIGHT	AREA	PKG. RATIO	PKG. REQ'D	TOTAL PKG. REQ'D PER BUILDING
MEDICAL LEASE 'E'	2-STORY	4,762 S.F. 2,000 S.F. 2,762 S.F. 5,958 S.F.	1/200 1/175 1/300	10 16 20	46

BUILDING - 'F' - (9010)					
USE	HEIGHT	AREA	PKG. RATIO	PKG. REQ'D	TOTAL PKG. REQ'D PER BUILDING
MEDICAL LEASE 'F'	1-STORY	8,000 S.F. 2,000 S.F. 6,000 S.F.	1/200 1/175	10 35	45

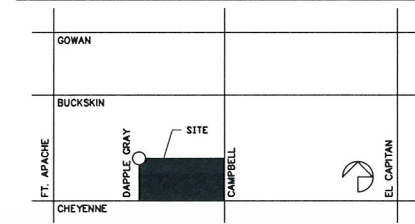
BUILDING - 'G' - (9020)					
USE	HEIGHT	AREA	PKG. RATIO	PKG. REQ'D	TOTAL PKG. REQ'D PER BUILDING
MEDICAL LEASE 'G'	1-STORY	5,000 S.F. 2,000 S.F. 3,000 S.F.	1/200 1/175	10 18	28

TOTAL PARKING REQUIRED FOR ALL BUILDINGS 299
TOTAL PARKING PROVIDED FOR ALL BUILDINGS 278
NUMBER OF SPACES FOR PARKING VARIANCE 21

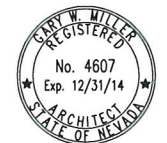
PROVIDED PARKING:
STANDARD PARKING SPACES - 9'-0"x15'-0" 204 SPACES
(Max) 30% 83 COMPACT PARKING SPACES - 8'-0"x15'-0" 65 SPACES
STANDARD ACCESSIBLE PARKING SPACES - 19'-0"x15'-0" 8 SPACES
VAN ACCESSIBLE PARKING SPACES 1 SPACES

PROVIDED TOTAL 278 SPACES
SITE ACREAGE 181,066 S.F. 4.16 ACRES
BUILDING COVERAGE 27.3%
APNR: 138-08-401-032

LOCATION



1771 E. FLAMINGO RD, Suite A106
LAS VEGAS, NV 89119
Phone: (702) 434-9695
Fax: (877) 476-9661
info@miller-aip.com



owner approval

initials	date	phase
----------	------	-------

revisions/addenda

mark	date	comment
1	00/00/00	--
2		
3		
4		
5		
6		
7		
8		
9		
10		



CSN HOLDINGS, LLC
PARKING VARIANCE
9050 WEST CHEYENNE AVENUE
LAS VEGAS, NV 89129

project information

PROJECT NO: 1400066.LV
DWG FILE: AS101.DWG
DRAWN BY: HS
CHECKED BY: GWM
DRAWING SCALE: 1" = 30'-0"
DATE: 05/15/2014

sheet name

SITE PLAN

sheet number

AS101

APPROVED
Amended Parking Lot Striping Plan for SDR-18060
BY *[Signature]* 10/09/14
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS

Comments



Separator Sheet

MEMORANDUM

City of Las Vegas Planning & Development Department

To: Land Development
From: Steve Gebeke
Phone: (702) 229-5410 **Fax:** (702) 385-7268
CC: Land Development Civil Plan Ref. # 20548
Date: 04/09/07 2nd Review
Re: Cheyenne/Campbell Commercial Subdivision

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. Revise Detail L on sheet DT-1 to depict the 15'-0" minimum landscape area and the beginning of the future pad site along Cheyenne Ave.
2. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits; including, civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

MEMORANDUM

City of Las Vegas Planning & Development Department

To: Land Development
From: Steve Gebeke
Phone: (702) 229-5410 **Fax:** (702) 385-7268
CC: Land Development Civil Plan Ref. # 20548
Date: 03/15/07 1st Review
Re: Cheyenne/Campbell Commercial Subdivision

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. The signature line on the cover sheet should state "Doug Rankin, AICP, Planning Manager" and "This plan meets the applicable standards of the Planning and Development Department."
2. The submitted civil improvement plans do not match the plan approved for Site Development Review SDR-18660. The buildings along Cheyenne Avenue appear to have increased in building area, resulting in narrowed landscape areas between buildings and the loss of sidewalks shown in the approved plans. Any increase in building area would require a Major Modification to the Site Review. Revise the civil improvement plans to match the approved Site Review, or submit revised plans to the Planning and Development Department for review to determine if a Major Modification is necessary. A comprehensive review of the civil improvement plans cannot be completed until this issue is resolved.
3. Please revise all applicable sheets to show wheel stops adjacent to all landscape planters (regardless of planter width) and sidewalks that are less than 7-feet wide. Wheel stops within zero-curb handicap parking spaces must be shown. Include a construction note to reference the wheel stops.
4. Revise Sections A, B, C, D, E and H on Sheet DT-1 to depict the landscape areas.
5. Revise Sections I and K to remove the "by others" when depicting landscape areas. These details show conditions that were not present in the approved plans for SDR-18660 (see comment #2 above).
6. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits; including, civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

Project Checklist



Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes
Item Required				
YES	NO			
APPLICATION				
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)		
☒	☐	Grant deed and legal description		
☒	☐	<i>Detailed</i> justification letter		
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations		
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations		
☒	☐	Correct fee(s): \$ <u>500</u> \$ <u>300</u> \$ _____ Total = \$ <u>800</u>		
☒	☐	Statement of Financial Interest		
☐	☒	Development Impact Notice and Assessment (DINA)		
☐	☒	Project of Regional Significance		
SITE PLAN Folded Plans: <u>19</u> Rolled/Colored Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	<i>All</i> property lines and present dimensions labeled		
☒	☐	<i>All</i> building setbacks labeled		
☒	☐	<i>All</i> adjacent existing land uses and street names labeled		
☒	☐	<i>All</i> points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized: <u>medical Office & Professional Office</u>		
☒	☐	Parking space count and typical dimensions labeled #regular #compact #handicap Total		
☒	☐	<i>All</i> free-standing sign locations shown and heights and sizes noted		
LANDSCAPE PLAN Folded Plans: <u>3</u> Rolled/Colored Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	<i>All</i> property lines and present dimensions labeled		
☒	☐	<i>All</i> required perimeter landscape planters shown		
☒	☐	<i>All</i> required parking lot fingers/islands shown		
☒	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover		
BUILDING ELEVATIONS Folded Plans: <u>2</u> Rolled/Colored Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	Scale and building dimensions labeled		
☒	☐	North, south, east, and west elevations of <i>all</i> buildings		
☒	☐	<i>All</i> building materials and colors noted		
☒	☐	8" x 10" photo of original color and material board		
☒	☐	<i>All</i> wall sign locations shown and sizes noted		
FLOOR PLANS Folded Plans: <u>1</u> Rolled Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	Scale and building dimensions labeled		
☒	☐	<i>All</i> building entrances/exits shown		
☒	☐	Use of <i>all</i> rooms noted/labeled		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: Megan Williams Application Type: SDR
 APN: 138-08-401-008 & 009 Location: 9040 W. Cheyenne Ave
 Planner: for traces Pre-App Meeting Date: 11-20-06 Earliest PC Date: 1-25-07

Justification Letter



Separator Sheet

April 2, 2007

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING & DEVELOPMENT
731 South Fourth Street
Las Vegas, Nevada 89101

Re: Justification Letter – Administrative Site Plan Development Review
Cheyenne West Professional Centre Office Project
9040 and 9092 West Cheyenne Avenue
Tax Assessor's Parcel No.: 138-08-401-008 & 009

The plans we are submitting today for your review depict a one and to story office project previously approved under ZON-14420, SDR-14423 and TMP-16175. The previous site plan development review number was SDR 14423. Most recently, a variance was approved to allow 33.2% coverage with a total building area of 60,160 square feet (VAR-18908).

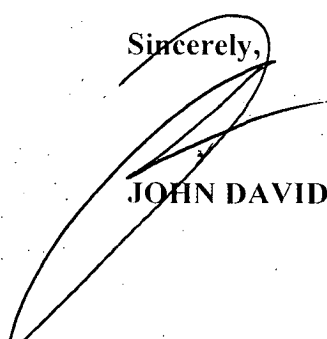
This request is to allow the following minor changes:

- due to the added bus turn out on Cheyenne, show building 'E' as future so that a variance to reduce the front setback can be applied for. That application will be made after permits have been pulled.
- The 1st floor footprints of buildings 'C' and 'D' have been increased slightly to account for the opening up of the lobbies to two story volumes. The overall square footage of these buildings and consequently the overall square footage and building coverage on the site has **not** been increased. This did however reduce the separation between the buildings to 20' where 22' was previously approved

Otherwise, these plans are consistent with the master plan and with the requirements of City of Las Vegas Zoning Code and all previous approvals.

We respectfully request your consideration in this matter. If you have any questions or comments, please call.

Sincerely,



JOHN DAVID BURKE, ARCHITECT

November 14, 2006

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING & DEVELOPMENT
731 South Fourth Street
Las Vegas, Nevada 89101

Re: Justification Letter – Site Plan Development Review
Office Project
9040 and 9092 West Cheyenne Avenue
Tax Assessor's Parcel No.: 138-08-401-008 & 009

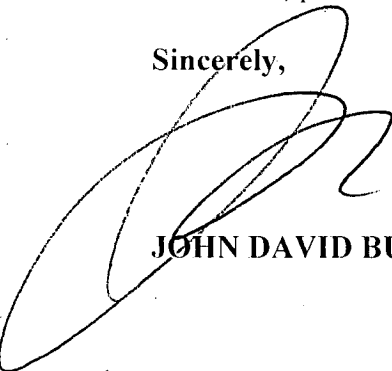
The plans we are submitting today for your review depict a one and to story office project previously approved under ZON-14420, SDR-14423 and TMP-16175. This is a request for a site plan development review to slightly revise the site plan and reduce the requested total building area. Also revised are the exterior elevations of the buildings. There are seven smaller size buildings (previously there were five) and a new architect has been hired (thereby generating new exteriors).

The elevations depict multi-colored stucco exteriors in an earthtone/desert palette with decorative steel tube awnings and standing seam metal roofs. The entries are enhanced with cultured stone veneer. The balance of the elevations are enhanced with aluminum storefront windows/doors and decorative light sconces.

Otherwise, these plans are consistent with the master plan and with the requirements of City of Las Vegas Zoning Code and all previous approvals.

We respectfully request your consideration in this matter. If you have any questions or comments, please call.

Sincerely,



JOHN DAVID BURKE, ARCHITECT

SDR-18660
01/25/07 PC

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Application



A P P L I C A T I O N

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PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SITE DEVELOPMENT REVIEW
Project Address (Location) 9040 & 9092 W CHEYENNE
Project Name CHEYENNE OFFICE PARK Proposed Use OFFICE
Assessor's Parcel #(s) 138-08-401-008 & 009 Ward # 4
General Plan: existing U(O) proposed U(O) Zoning: existing R-PD7 proposed R-PD7
Commercial Square Footage _____ Floor Area Ratio _____
Gross Acres 5 Lots/Units _____ Density _____
Additional Information RELATED APPS=ZON-10766/ZON-14420/GPA-14417/SDR-14423

PROPERTY OWNER FFPW Medical Development Contact Scott Walker
Address 723 S. Casino Center Phone: (702) 656-6345 Fax: (702) 240-0979
City Las Vegas State Nevada Zip 89101

APPLICANT Scott Walker Contact Scott Walker
Address 723 S. Casino Center Phone: (702) 656-6345 Fax: (702) 240-0979
City Las Vegas State Nevada Zip 89101

REPRESENTATIVE John David Burke Architect Contact John David Burke Architect
Address 3471 W OQUENDO ROAD #301 Phone: (702) 876-4863 Fax: (702) 876-9355
City LAS VEGAS State Nevada Zip 89118

Property Owner Signature* Gregory Scott Walker

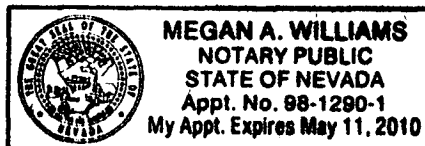
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Gregory Scott Walker

Subscribed and sworn before me

This 11th day of December, 20 06

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #
<u>SDR - 18660</u>
Meeting Date:
<u>1/25/06</u>
Total Fee:
<u>\$ 800.00</u>
Date Received:*
<u>12/11/06</u>
Received By:
<u>John D. McArthur</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

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Deed



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20060927-0004974

APN: 138-08-401-008 138-08-401-009
Affix R.P.T.T. \$19,125.00

**WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:**

FFPW MEDICAL DEVELOPMENT LLC
DUANE FORTE
7780 DUNEVILLE STREET, BLDG 2
LAS VEGAS, NV 89135

Fee: \$21.00 RPTT: \$18,997.50
N/C Fee: \$0.00

09/27/2006 13:52:05

T20060167753

Requestor:
CHICAGO TITLE

Charles Harvey CDO
Clark County Recorder Pgs: 10

ESCROW NO: 06018110-081-KRF

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Devyani J. Mehta, a married woman as her sole and separate property as to an undivided 15.993% interest and Carl Unger, an unmarried man as to an undivided 11.683% interest and Campbell 2.5, LLC, a Nevada limited liability company as to an undivided 72.324% interest as to parcel 1; Mark A. Schnippel and Jacqueline R. Schnippel, Trustees of the Schnippel Family Trust dated July 24, 1991 as to an undivided 4.2353% interest; Devyani J. Mehta, a married woman as her sole and separate property as to an undivided 37.9412% interest; Carl Unger, a single man as to an undivided 2.8235% interest and Diana F. Weiland, Trustee of the Trust "B" under the Gerald R. Weiland and Diana F. Weiland Revocable Trust Agreement dated May 25, 1995 as to an undivided 55% interest as to Parcel 2

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to

FFPW Medical Development, LLC, a Nevada limited liability company

all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

Subject to: 1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness my/our hand(s) this 25th day of September, 2006.

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Parcel 1

By: Devyani J. Mehta
Devyani J. Mehta

By: Carl Unger
Carl Unger

Campbell 2.5, LLC, a Nevada limited liability company

By: [Signature]

Name: Mark Schnippel

Title: Managing Member

Parcel 2

By: Devyani J. Mehta
Devyani J. Mehta

By: Carl Unger
Carl Unger

Trust "B" under the Gerald R. Weiland and Diana F. Weiland Revocable Trust Agreement dated May 25, 1995

By: Diana F. Weiland, Trustee

The Schnippel Family Trust dated July 24, 1991

By: Mark A. Schnippel, Trustee

By: Jacqueline R. Schnippel, Trustee

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Parcel 1

By: Devyani J. Mehta
Devyani J. Mehta

By: Carl Unger
Carl Unger

Campbell 2.S, LLC, a Nevada limited liability company

By: [Signature]

Name: MDA Schnippel

Title: Mary Mouser

Parcel 2

By: Devyani J. Mehta
Devyani J. Mehta

By: Carl Unger
Carl Unger

Trust "B" under the Gerald R. Weiland and Diana F. Weiland Revocable Trust Agreement dated May 25, 1995

By: Diana F. Weiland, Trustee

The Schnippel Family Trust dated July 24, 1991

By: Mark A. Schnippel, Trustee

By: Jacqueline R. Schnippel, Trustee

*Clarification
Copy*

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Parcel 1

By: Devyani J. Mehta
 By: Carl Unger

Campbell 2.5, LLC, a Nevada limited liability company

By: [Signature]
 Name: Mark Schnippel
 Title: Managing Member

Parcel 2

By: Devyani J. Mehta
 By: Carl Unger

Trust "B" under the Gerald R. Weiland and Diana F. Weiland Revocable Trust Agreement dated May 25, 1995

By: Diana F. Weiland, Trustee
 Diana F. Weiland, Trustee

The Schnippel Family Trust dated July 24, 1991

By: Mark A. Schnippel, Trustee
 By: Jacqueline R. Schnippel, Trustee

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 DEC 11 2006

ESCROW NO: 06018110-081-KRF

STATE OF Nevada)
) ss.
COUNTY OF Clark)

On this September 25, 2006
appeared before me, a Notary Public,
Devyani J. Mehta

personally known or proven to me to be
the person(s) whose name(s) is/are
subscribed to the above instrument, who
acknowledged that he/she/they executed
the instrument for the purposes therein
contained.

Joanne Beitz
Notary Public

My commission expires: Oct. 22, 2007



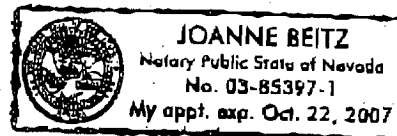
STATE OF Nevada)
) ss.
COUNTY OF Clark)

On this September 25, 2006
appeared before me, a Notary Public,
Carl Unger

personally known or proven to me to be
the person(s) whose name(s) is/are
subscribed to the above instrument, who
acknowledged that he/she/they executed
the instrument for the purposes therein
contained.

Joanne Beitz
Notary Public

My commission expires: Oct. 22, 2007



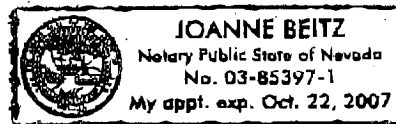
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STATE OF Nevada)
) ss.
COUNTY OF Clark)

On this September 25, 2006
appeared before me, a Notary Public,
Mark A. Schnippel and
Jacqueline R. Schnippel
personally known or proven to me to be
the person(s) whose name(s) is/are
subscribed to the above instrument, who
acknowledged that he/she/they executed
the instrument for the purposes therein
contained.

Joanne Beitz
Notary Public

My commission expires: Oct. 22, 2007



STATE OF Nevada)
) ss.
COUNTY OF Clark)

On this September 25, 2006
appeared before me, a Notary Public,

personally known or proven to me to be
the person(s) whose name(s) is/are
subscribed to the above instrument, who
acknowledged that he/she/they executed
the instrument for the purposes therein
contained.

Notary Public

My commission expires: _____

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State of Nevada Declaration of Value

1. Assessor's Parcel Number(s)

a) 138-08-401-008

b) 138-08-401-009

c)

d)

2. Type of Property:

- a) ☒ Vacant Land b) ☐ Single Fam. Resi
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☐ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Documentation/Instrument #: _____
Book: _____ Page: _____
Date of Recording: _____
Notes: _____

3. Total Value/Sales Price of Property: \$3,725,000.00

Deed in Lieu of Foreclosure Only (value of property): ()

Transfer Tax Value: \$3,725,000.00

Real Property Transfer Tax Due: \$19,125.00

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature _____

Capacity MANAGING MEMBER

Signature Wanda F. Weiland, Trustee

Capacity Seller

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: MARK SCHWIPER
Address: 9960 W. Meyer Ave. #210
City: LV
State: NV Zip: 89129

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: Duane Forte
Address: 7780 Dunsmuir St. Bldg 2
City: Las Vegas
State: NV Zip: 89135

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title
Address: 3980 Howard Hughes Parkway
City/State/Zip: Las Vegas, NV 89109

Escrow #: 06018110-081

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State of Nevada Declaration of Value

1. Assessor's Parcel Number(s)

a) 138-08-401-008

b) 138-08-401-009

c)

d)

2. Type of Property:

- a) ☒ Vacant Land b) ☐ Single Fam. Resi
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☐ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Documentation/Instrument #: _____

Book: _____ Page: _____

Date of Recording: _____

Notes:

3. Total Value/Sales Price of Property:

\$3,725,000.00

Deed in Lieu of Foreclosure Only (value of property):

Transfer Tax Value:

\$3,725,000.00

Real Property Transfer Tax Due:

\$19,125.00

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: _____%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature _____

Capacity Managing Member

Signature Robert F. McFarland, Trustee

Capacity Seller

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: MARK SCHWITZER

Address: 9960 W. Meyer Ave. #210

City: LV.

State: NV. Zip: 89129

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: Deane Forte

Address: 7780 Denerville St. Bldg 2

City: Las Vegas

State: NV Zip: 89135

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title

Escrow #: 06018110-081

Address: 3980 Howard Hughes Parkway

City/State/Zip: Las Vegas, NV 89109

RECEIVED
DEC 11 2006

ESCROW NO: 06018110-081-KRF

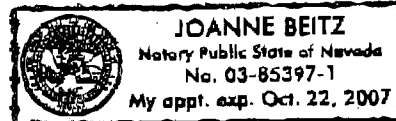
STATE OF Nevada)
COUNTY OF Clark) ss.

On this September 25, 2006
appeared before me, a Notary Public,
Diana F. Weiland

personally known or proven to me to be
the person(s) whose name(s) is/are
subscribed to the above instrument, who
acknowledged that he/she/they executed
the instrument for the purposes therein
contained.

Joanne Beitz
Notary Public

My commission expires: Oct. 22, 2007



STATE OF _____)
COUNTY OF _____) ss.

On this _____
appeared before me, a Notary Public,

personally known or proven to me to be
the person(s) whose name(s) is/are
subscribed to the above instrument, who
acknowledged that he/she/they executed
the instrument for the purposes therein
contained.

Notary Public

My commission expires: _____

RECEIVED
DEC 11 2006

ESCROW NO: 06018110-081-KRF

EXHIBIT A

All that land situated in the County of Clark, State of Nevada, more particularly described as follows:

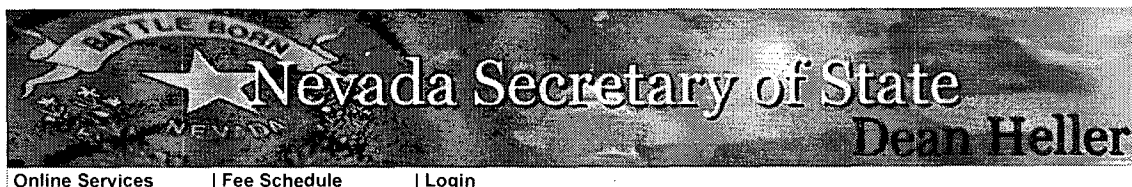
PARCEL 1:

The Southwest Quarter (SW 1/4) of the Southeast Quarter (SE 1/4) of the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section 8, Township 20 South, Range 60 East, M.D.B. & M., Clark County, Nevada.

PARCEL 2:

The Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section 8, Township 20 South, Range 60 East, M.D.B. & M., Clark County, Nevada.

RECEIVED
DEC 11 2006



FFPW MEDICAL DEVELOPMENT, LLC

PRINT

Business Entity Information			
Status:	Active on 8/18/2006	File Date:	6/8/2006 8:16:05 AM
Type:	Domestic Limited-Liability Company	Corp Number:	E0439882006-3
Qualifying State:	NV	List of Officers Due:	6/30/2007
Managed By:	Managing Members	Expiration Date:	

Resident Agent Information			
Name:	CORPORATE SERVICES COMPANY	Address 1:	723 S CASINO CENTER BLVD 2ND FL
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89101-6716
Phone:		Fax:	
Email:		Mailing Address 1:	
Mailing Address 2:		Mailing City:	
Mailing State:		Mailing Zip Code:	

View all business entities under this resident agent

Financial Information			
No Par Share Count:	0	Capital Amount:	\$ 0
No stock records found for this company			

Officers			
☒ Include Inactive Officers			
Managing Member - DANA FORTE			
Address 1:	723 S CASINO CENTER BLVD	Address 2:	2ND FL
City:	LAS VEGAS	State:	NV
Zip Code:	89101	Country:	
Status:	Active	Email:	
Managing Member - DUANE FORTE			
Address 1:	723 S CASINO CENTER BLVD	Address 2:	2ND FL
City:	LAS VEGAS	State:	NV
Zip Code:	89101	Country:	
Status:	Active	Email:	
Managing Member - SCOTT PENSIVY			
Address 1:	723 S CASINO CENTER BLVD	Address 2:	2ND FL

RECEIVED
DEC 11 2006

City:	LAS VEGAS	State:	NV
Zip Code:	89101	Country:	
Status:	Active	Email:	
Managing Member - GREGORY SCOTT WALKER			
Address 1:	723 S CASINO CENTER BLVD	Address 2:	2ND FL
City:	LAS VEGAS	State:	NV
Zip Code:	89101	Country:	
Status:	Active	Email:	

Actions\Amendments

[Click here to view 2 actions\amendments associated with this company](#)[New Search](#)[Printer Friendly](#)

SOS Contact Information



You are currently not logged in

Copyright © 1996-2005

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DEC 11 2006

SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18660** APN: 138-08-401-008 & 009

Name of Property Owner: FFPW MEDICAL DEVELOPMENT, LLC

Name of Applicant: SCOTT WALKER

Name of Representative: JOHN DAVID BURKE ARCHITECT

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

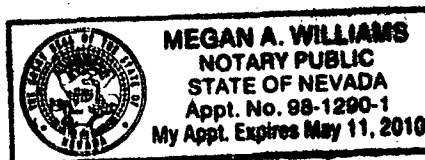
APN: _____

Signature of Property Owner: _____

Print Name: GREGORY SCOTT WALKER

Subscribed and sworn before me

This 14th day of December, 2006
Megan A. Williams
Notary Public in and for said County and State



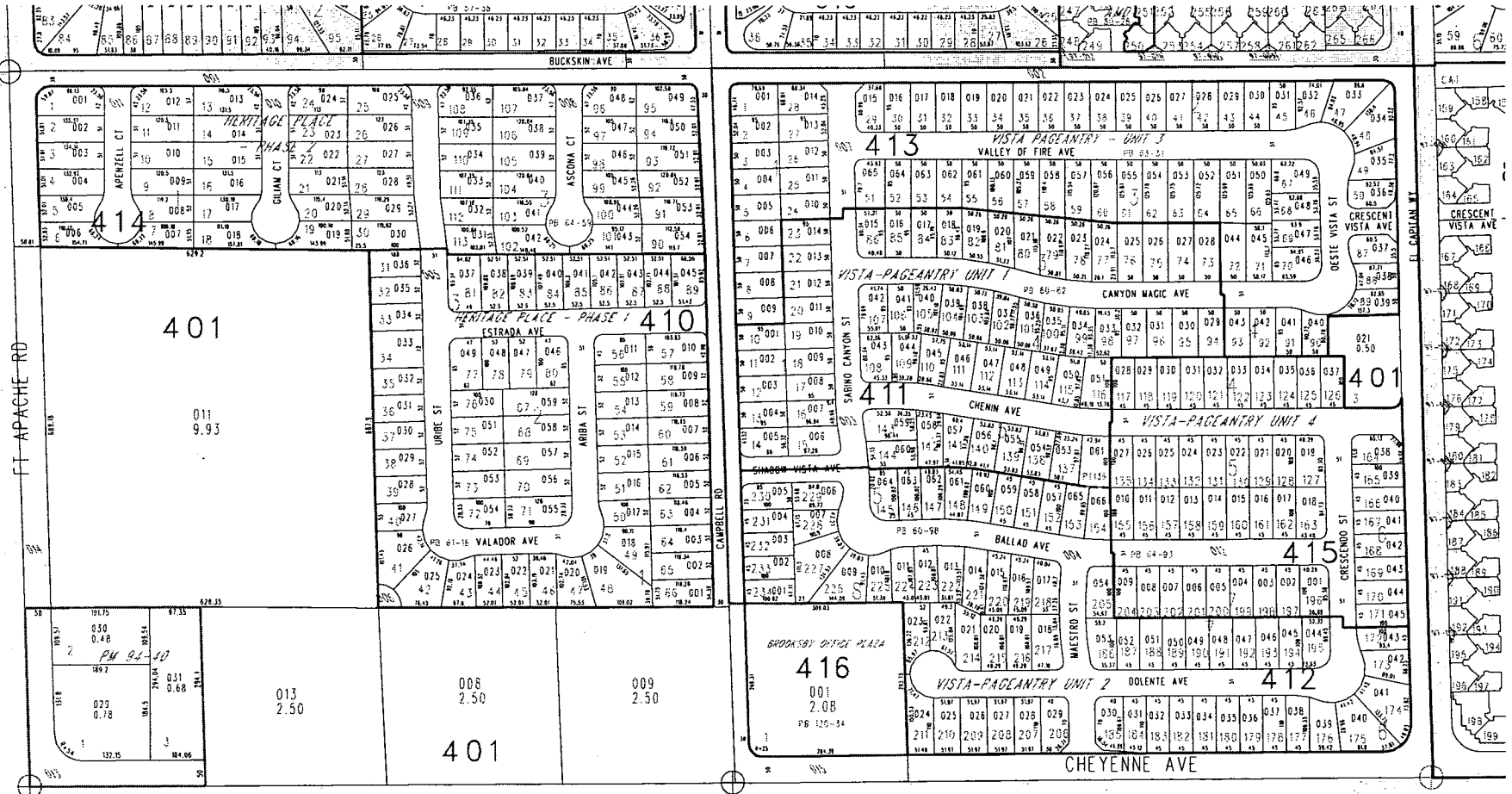
RECEIVED
DEC 11 2006

APN Map



Separator Sheet

NOTES	This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.		USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL	
	MAP LEGEND — PARCEL BOUNDARY --- SUBD BOUNDARY --- ROAD EASEMENT --- PM/LD BOUNDARY --- NON-PARCEL LOT LINE --- WATCH LINE / LEADER LINE --- ROAD ID NUMBER		ASSESSOR'S PARCELS - CLARK CO., NV. M. W. Schofield, Assessor	
	AVERAGE DA VALUE 21		T20S R60E 08 S 2 SW 4	
	PARCEL NUMBER 001 ACREAGE 1.00 PARCEL SUB/SEO NUMBER 202 PLAT RECORDING NUMBER 5 BLOCK NUMBER 5 LOT NUMBER 5 GOV. LOT NUMBER 065		Scale: 1"=200' Rev: 12/20/04	



SDR-18660
01/25/07 PC

TAX DIST 200

Route Form



Separator Sheet

Report Date 12/12/2006 10:11 AM

Submitted By Robert Summerfield

Page 1

A/P # 18660 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	12/11/2006 15:34	983538	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-18660 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: FFPW MEDICAL DEVELOPMENT, LLC - Request for a Site Development Plan Review FOR A PROPOSED 60,160 SQUARE-FOOT OFFICE DEVELOPMENT on 5.0 acres adjacent to the northeast corner of North Campbell Road and West Cheyenne Avenue (APNs 138-08-401-008 and 009), U (Undeveloped) Zone [O (Office) General Plan Designation] under Resolution of Intent to O (Office) Zone, Ward 4 (Brown).

Parent A/P #

Project #	18660	Project/Phase Name	Phase #
Size/Area	5.00 ACRE	Size Description	Subdivision Code
Proposed Start		Proposed Stop	% Completed
% Complete Formula			0.00

Property/Site Information

Parcel 13808401008

Location

Owner/Tenant

Contact ID AC1319080	Name	FFPW MEDICAL DEVELOPMENT, LLC	
Mailing Address 723 S CASINO CENTER	Organization		
City LAS VEGAS	State/Province NV		
ZIP/PC 89101	Country		☐ Foreign
Day Phone (702)656-6345 x	Evening Phone		
Fax (702)240-0979	Mobile #		

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

9092 W CHEYENNE AVE
LAS VEGAS, 89129-

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13808401008
13808401009

Applicants/Contacts

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 12/12/2006 10:11 AM

Submitted By Robert Summerfield

Page 2

Applicants/Contacts

Primary N Capacity OTHER Other REP Contact ID AC1319079 ☐ Foreign
Effective Expire

Name JOHN DAVID BURKE ARCHITECT

Day Phone (702)876-4863 x

Pager Eve Phone

Fax (702)876-9355 Mobile

E-Mail Organization

Address 3471 W. OQUENDO ROAD #301

LAS VEGAS, NV 89118

Seasonal Addr

Valid From To

Comments
John Burke - 702.876.4863

Primary Y Capacity OWNER Contact ID AC1319080 ☐ Foreign
Effective Expire

Name FFPW MEDICAL DEVELOPMENT, LLC

Day Phone (702)656-6345 x Eve Phone

Pager PIN # Organization

Fax (702)240-0979 Mobile Profession

E-Mail

Address 723 S CASINO CENTER

LAS VEGAS, NV 89101

Seasonal Addr

Valid From To

Comments
Scott Walker - 702.656.6345

Contractors

No Contractors

Item Description

Item Status

Check Conditions

Condition Assigned

Approval Supervisor

Approved By Required

Approved Date Comments

Applied By

Applied Date

No Conditions

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

Final City Council letter received

N Parent Project link required?

Annotated minutes recieved

Y Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

Public, Non-Public, AdminPUBIC

If yes, when does it need to be reviewed?

Meeting Information

Meeting Info

Meeting Date

Meeting Type

Meeting Status

Comments

Add Date

Modified By

Modified Date

YES Votes

NO Votes

ABSTENTIONS

01/25/2007

PC

SCHEDULED

0

0

0

JMCCELLAND

12/11/2006

JMCCELLAND

12/11/2006

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date** 12/12/2006 10:11 AM**Submitted By** Robert Summerfield

Page 3

Meeting Info
Meeting Date
Comments
Added By**Meeting Type****Meeting Status****Add Date****Modified By****Modified Date****YES Votes****NO Votes****ABSTENTIONS****Template Type A/P #****A/P Type****Status****Stage**

No children exist for this project

Employee
Employee ID**Last****First****MI****Comments**

No Employee Entries

Log
Action
Hours**Description**
Comments**Entered By****Start****Stop**PAYMNT CK NAME,# WHO PICKED UP PERMIT 970040
0.00 MEAGAN WILLIAMS, FFPW MEDICAL LLC CK 1008, 656-6345

12/11/2006 15:37

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-18660 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER:
FFPW MEDICAL DEVELOPMENT, LLC - Request for a Site Development Plan Review FOR A
PROPOSED 60,160 SQUARE-FOOT OFFICE DEVELOPMENT on 5.0 acres at the northeast corner of North
Campbell Road and West Cheyenne Avenue (APNs 138-08-401-008 and 009), U (Undeveloped) Zone [O
(Office) General Plan Designation] under Resolution of Intent to O (Office) Zone, Ward 4 (Brown).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½)
OF THE SOUTHWEST QUARTER (SW¼) OF SECTION 8, TOWNSHIP 20 SOUTH, RANGE 60 EAST,
M.D.M.

PLANNING COMMISSION: **JANUARY 25, 2007**

CITY COUNCIL: **FEBRUARY 21, 2007**

CASE PLANNER: **DOUG RANKIN**



PUBLIC HEARING

Comments Due: **DECEMBER 26, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-18660

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEMUS
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	DOA J. MEADE, ENGINEERING DESIGN DIVISION	1001 S. VALLEY VIEW BLVD.

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR
12/12/2006

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: January 25, 2007

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-18660

American West Village

American West Village II HOA

Cimarron Gowan Community Association

Desert Shores Community Association

Firethorne I HOA

Grand Estates HOA

Sun City Summerlin Community Association

Extraction List



Separator Sheet

PARCELS	442
LABELS	428

Report of All Selected Parcels

Case Number: SDR-18660
Address VAR-18908

Printed On: Thu: December 21, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
ABUNADI ISAM M	3340 URIBE ST LAS VEGAS NV	13817197005
AHLBRAND JOHN & RUTH	%REMAX CENTRAL 8400 W SAHARA AVE LAS VEGAS NV	13817196002
ALBREGTS RICHARD T & CECELIA C	2209 LANDINGS LN DELAVAN WI	13817197001
ALI SYED MURAD	64 STONEGATE LN STREAMWOOD IL	13817196001
ALLENWOOD DONNA SUSAN FINIDORI	760 S KIHEI RD #426 KIHEI HI	13817197004
ANDERSEN ERIC	6001 CABO SAN LUCAS AVE LAS VEGAS NV	13818596003
ANDERSON FAMILY TRUST	3037 WONDERVIEW DR LAS VEGAS NV	13818597006
ANDERSON JEFFREY	3172 N RAINBOW #139 LAS VEGAS NV	13817197002
ANGLIN MARY JANE REVOCABLE TRUST	9101 CHENIN AVE LAS VEGAS NV	13818597014
APODACA WENDY DIANE	9217 VALADOR AVE LAS VEGAS NV	13818597003
APPELZOLLER DAVID III & SUSAN K	3329 URIBE ST LAS VEGAS NV	13808414034
ARBUTINA FAMILY TRUST	9240 JANUARY DR LAS VEGAS NV	13817110016
ARDELEAN JOHN & MARIA	3329 GILIAM CT LAS VEGAS NV	13817110055
ARIAS ARMANDO	9000 BALLAD AVE LAS VEGAS NV	13808411018
ARTHUR TRUST	9137 VILLA RIDGE DR LAS VEGAS NV	13817110027
AUTRY LOIS A	3012 TELHURST CT DAYTON OH	13808411007
AVANCE JIM	9108 BALLAD AVE LAS VEGAS NV	13817111028
AYALA YOLANDA	3305 URIBE ST LAS VEGAS NV	13808410034
BACA JAMIE A	3333 GILIAM CT LAS VEGAS NV	13808411054
BACKUS LELAND E	9117 VILLA RIDGE LAS VEGAS NV	13808410019
BALLARD MARK R & CAROLYN F	3340 APENZELL CT LAS VEGAS NV	13808414030
BALLIET PAUL H & THERESA S	9829 MEANDERING CREEK CT LAS VEGAS NV	13817112007

Report of All Selected Parcels**Case Number:** SDR-18660**Printed On:** Thu: December 21, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
BANK NEVADA STATE	750 E WARM SPRINGS RD LAS VEGAS NV	13807801011
BARBERA FRANK TRUST	3308 Ariba St Las Vegas NV	13808410012
BARCUS RITA J & AMOS F	4316 VICKSBURG DR SYLVANIA OH	13817111021
BARNES PATRICIA A	3301 Ariba St Las Vegas NV	13808410058
BARTIZAL FAMILY TRUST	3100 Birch Hill Ct Las Vegas NV	13817110022
BARTLOW DOROTHY J	3104 BUCKNELL DR LAS VEGAS NV	13818511038
BATISTA JAMES A & JANET L REV TR	2855 SIERRA MESA CT MINDEN NV	13808411036
BECKER JUDITH ANN	1100 TEAL POINT DR HENDERSON NV	13817111037
BEHLING MARIA K	3646 MOONCSEST CIR LAS VEGAS NV	13808412013
BELFORD WILLIAM R	3100 BUCKNELL DR LAS VEGAS NV	13818511039
BENNETT TRUST	3101 WONDERVIEW DR LAS VEGAS NV	13817111024
BERMAN JOSEPH WILLIAM	3108 BIRCH HILL CT LAS VEGAS NV	13817110020
BETHERS REVOCABLE LIVING TRUST	3245 URIBE ST LAS VEGAS NV	13808410027
BISHOP KENNETH R	3224 N CAMPBELL RD LAS VEGAS NV	13808412003
BLACK JOHN R & ANITA R	3245 Ariba St Las Vegas NV	13808410055
BLANK ELAINE TRUST	3021 GOLF LINKS DR LAS VEGAS NV	13817113016
BLOCK SOPHIE LIVING TRUST	9220 JANUARY DR LAS VEGAS NV	13817112012
BOEHME WAYNE & SHERRI	9109 CHENIN AVE LAS VEGAS NV	13808411056
BORCHARD ROY A & NANCY E FAM TR	3248 URIBE ST LAS VEGAS NV	13808410053
BOURNE JEFFREY G & KATRINA T	3320 N CAMPBELL RD LAS VEGAS NV	13808413009
BOZARTH DAVID A	9108 CANYON MAGIC AVE LAS VEGAS NV	13808411020
BRAKE MARGARET C	3105 GOODHOPE CT LAS VEGAS NV	13817111009
BRESEE SHIRLEY M	3336 APENZELL CT LAS VEGAS NV	13808414009
BROWN LIONEL	8909 MARBLE DR LAS VEGAS NV	13817110040
BRUSCA ANDREW O JR & SHERREEN L	3344 ASCONA CT LAS VEGAS NV	13808414047
BUCHHOLZ DONNA SEP PPTY REV TR	BUCHHOLZ DONNA TRS P O BOX 3012 INCLINE VILLAGE NV	13817111034
BUGG SUZANNE M	9009 FAIRCREST LAS VEGAS NV	13817111040
CAENEN JOHN D & DORIS J	3100 FOREST BROOK CT LAS VEGAS NV	13817110031
CAFONE ANGELA	9125 BALLAD AVE LAS VEGAS NV	13808412011
CALLAHAN JAMES & FAY	3313 SABINO CANYON ST LAS VEGAS NV	13808411009
CAMPOS JOSE	3308 N CAMPBELL RD LAS VEGAS NV	13808411003
CANFIL SPENCER B	6128 BRAESIDE CT LAS VEGAS NV	13808412049

Report of All Selected Parcels**Case Number:** SDR-18660**Printed On:** Thu: December 21, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
CAPOLUPO P & DECARLO M LIV TR	3336 URIBE ST LAS VEGAS NV	13808414033
CARMAN CHARLES P III & ELSA I	3300 ARIBA ST LAS VEGAS NV	13808410014
CARROLL FRANK W & KATHLEEN K	9301 DEER LODGE LN LAS VEGAS NV	13807816007
CAYLOR DAVID A	9121 VILLA RIDGE DR LAS VEGAS NV	13817110048
CERMINARA MARY & RALPH	186 FREE UNION RD BELVIDERE NJ	13808413003
CHARTER DOROTHY K & LINCOLN	3341 N CAMPBELL RD LAS VEGAS NV	13808414051
CHEKENIAN ANTHONY T	9244 JANUARY DR LAS VEGAS NV	13817112006
CHILDS MICHAEL R	9225 VALADOR AVE LAS VEGAS NV	13808410021
CHURCH SOONJOO D	9133 BALLAD AVE LAS VEGAS NV	13808412009
CILETTI CAROL LYNN TRUST 1995	3305 ARIBA ST LAS VEGAS NV	13808410059
CLARK DAVID L	3341 ASCONA CT LAS VEGAS NV	13808414039
CLARK WILL & JO ANN	3104 BIRCH GROVE CT LAS VEGAS NV	13817110041
COCO ANTHONY S & JANET L	3332 APENZELL CT LAS VEGAS NV	13808414008
COHEN JANET	3101 BIRCH GROVE CT LAS VEGAS NV	13817110032
COLLINS MARK L & SHARON M FAM TR	9308 FRESH SPRING DR LAS VEGAS NV	13818511034
COLONNA DANIEL J & MAUREEN E	3308 RED LODGE DR LAS VEGAS NV	13807816004
COLVIN TRUST	3105 GLADSTONE CT LAS VEGAS NV	13817110002
COMPTON JAMES R	9024 CANYON MAGIC AVE LAS VEGAS NV	13808411024
CONTE RICHARD S & ANGELIQUE	3345 GILLIAM CT LAS VEGAS NV	13808414014
COOPER LARRY J & SANDY L	9021 BALLAD AVE LAS VEGAS NV	13808415009
CORBILLA-FAGARAGAN JOANALYN R	9009 CHENIN AVE LAS VEGAS NV	13808415024
COSENTINO MARK	3313 URIBE ST LAS VEGAS NV	13808410033
CRAVEDI KATHLEEN A	9121 VALLEY OF FIRE AVE LAS VEGAS NV	13808413063
CROSS JAMES A & JOANNE C	9220 ESTRADA AVE LAS VEGAS NV	13808410040
CROSS JOAN B	3345 ASCONA CT LAS VEGAS NV	13808414038
CRUZ ARTHUR M & KELLY L	9016 DOLENTE AVE LAS VEGAS NV	13808412051
D F J LIVING TRUST	9000 DOLENTE AVE LAS VEGAS NV	13808412047
D K P LIVING TRUST	9228 JANUARY DR LAS VEGAS NV	13817112010
DALEY FAMILY TRUST 1991	9049 VILLA RIDGE DR LAS VEGAS NV	13817113002
DALLEN KATIE L	9121 CANYON MAGIC AVE LAS VEGAS NV	13808411040
DANZIGER BEATRICE	9013 FAIRCREST DR LAS VEGAS NV	13817111039
DAUZ JOSE & GLADIOLI	9100 CANYON MAGIC AVE LAS VEGAS NV	13808411022

Report of All Selected Parcels**Case Number:** SDR-18660**Printed On:** Thu: December 21, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
DAVIS CONNIE M	9232 JANUARY DR LAS VEGAS NV	13817112009
DAVIS DONNA	3300 N CAMPBELL RD LAS VEGAS NV	13808411005
DAVIS TRUST	3100 ANGELICA CT LAS VEGAS NV	13817110015
DAY DANIEL B	9237 VALADOR AVE LAS VEGAS NV	13808410024
DEARSTINE CHARLES M	3329 N CAMPBELL RD LAS VEGAS NV	13808414054
DEBENEDETTO JACK & GAIL A ETAL	3345 CAMPBELL RD LAS VEGAS NV	13808414050
DELACRUZ RONUEL G	9024 DOLENTE AVE LAS VEGAS NV	13808412053
DELUCA MICHAEL M & JOZEFA FAM TR	9105 BALLAD AVE LAS VEGAS NV	13808412016
DEPOWELL IRMA A D LIVING TRUST	3112 MOONGOLD CT LAS VEGAS NV	13817111014
DESAUTEL PHILIP G JR	3304 SABINO CANYON ST LAS VEGAS NV	13808411059
DIKTAKIS DAVID	9020 CANYON MAGIC AVE LAS VEGAS NV	13808411025
DIKTAKIS DAVID & MARIA	9021 CANYON MAGIC AVE LAS VEGAS NV	13808411032
DIXON JOE E SR LIVING TRUST	9221 ESTRADA AVE LAS VEGAS NV	13808410046
DIXON LISA & BRADLEY	3312 Ariba ST LAS VEGAS NV	13808410011
DONATO JOSEPH & KRISTINE	9012 CHENIN AVE LAS VEGAS NV	13808415030
DONBERT L L C	3275 N FORT APACHE #110 LAS VEGAS NV	13807821006
DONDOY ROLANDO B & ANDREA O	9120 BALLAD AVE LAS VEGAS NV	13808412062
DORSEY JON L	3121 BIRCH GROVE CT LAS VEGAS NV	13817110036
DUMAIS GILBERT E & DENISE M	3100 MOONGOLD CT LAS VEGAS NV	13817111011
EDGETT ROBERT H & FLORENCE A	3240 Ariba ST LAS VEGAS NV	13808410018
EDWARDS JOAN N LIVING TRUST	3328 URIBE ST LAS VEGAS NV	13808414031
EDWARDS RUSSELL	9141 VILLA RIDGE DR LAS VEGAS NV	13817110053
ELAMRANI ABDELOUAHED & JOAN L	3249 Ariba ST LAS VEGAS NV	13808410056
ERICKSON JASON & WILMUTH FAM TR	3225 SABINO CANYON ST LAS VEGAS NV	13808412008
EVERAKES FAMILY TRUST	11104 ARBOR PINE AVE LAS VEGAS NV	13808414032
FACHINI FAMILY TRUST	3108 FOREST BROOK CT LAS VEGAS NV	13817110029
FALLON VINCENT F & LINDA	9053 VILLA RIDGE DR LAS VEGAS NV	13817113001
FEATHERSTONE KEVIN J & PAULA J	9100 BALLAD AVE LAS VEGAS NV	13808412057
FEINER CYNTHIA S	9216 JANUARY DR LAS VEGAS NV	13817112013
FERRIS ROBERTA H	3340 N CAMPBELL RD LAS VEGAS NV	13808413004
FERRUCCIO SUSAN BURKE	9001 BALLAD AVE LAS VEGAS NV	13808415004
FLEISCHER 1992 TRUST	3041 WONDERVIEW DR LAS VEGAS NV	13817111027

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FLYGARE TODD K	5421 AVENIDA CABALLO LAS VEGAS NV	13808411033
FORT APACHE CONVENIENCE L L C	4475 S PECOS RD LAS VEGAS NV	13808401029
FORTNER PAUL B & MARY LEE	3337 ASCONA CT LAS VEGAS NV	13808414040
FOSTER FAMILY TRUST 1988	2560 RED ARROW DR LAS VEGAS NV	13808401013
FOUNDERS IV L L C	1512 CHAMPION HILLS LN LAS VEGAS NV	13808401031
FRIED RICHARD S & MARILYN FAM TR	3104 GLADSTONE CT LAS VEGAS NV	13817110007
GAMPONIA WILLIAM SR & LEILANI F	3313 N CAMPBELL RD LAS VEGAS NV	13808410010
GELOBTER RALPH C & IRENE	3348 GILIAM CT LAS VEGAS NV	13808414024
GERHARDT BARBARA A	9212 ESTRADA AVE LAS VEGAS NV	13808410042
GERHARDT J A FAMILY REVOCABLE TR	3109 BIRCH HILL CT LAS VEGAS NV	13817110018
GIANNO JOSEPH A & PATRICIA E	3348 N CAMPBELL RD LAS VEGAS NV	13808413002
GINN ALBERT M	P O BOX 30853 LAS VEGAS NV	13808411001
GIORDANO NICHOLAS LIVING TRUST	3104 BIRCH HILL CT LAS VEGAS NV	13817110021
GLASSER SCOTT & ORATHAI	753 JADED EMERALD CT LAS VEGAS NV	13808412061
GORDON SCOTT A & BELINDA D	3349 URIBE ST LAS VEGAS NV	13808414025
GRAVES IDA MAY FAMILY LIVING TR	9017 CANYON MAGIC AVE LAS VEGAS NV	13808411031
GRAVES RICHARD L & MARY D	9024 VILLA RIDGE DR LAS VEGAS NV	13817111061
GRAY DENISE R	3329 APENZELL CT LAS VEGAS NV	13808414006
GRIMES THOMAS F & JANE K	9145 VILLA RIDGE DR LAS VEGAS NV	13817110054
GROPER HERBERT S & D REV LIV TR	9305 FRESH SPRING DR LAS VEGAS NV	13818511071
GUBA ANDREW & PATRICIA A	3101 GOODHOPE CT LAS VEGAS NV	13817111010
GUGLIUZZA PATRICIA A	9021 CHENIN AVE LAS VEGAS NV	13808415027
GULLICKSON STEVEN S & PAMELA J	3333 N CAMPBELL RD LAS VEGAS NV	13808414053
HALL LIVING TRUST	2251 N RAMPART BLVD #196 LAS VEGAS NV	13817110057
HAMMERMANN NEIL B & REBECCA S	1005 CORNHILL WY FOLSOM CA	13808410015
HANSEN DARRIN S & SUZANNE C	3689 CALLAHAN AVE LAS VEGAS NV	13808413062
HANSON ERIC M	3253 ARIBA ST LAS VEGAS NV	13808410057
HARRIGAN RICHARD V & GAIL P	3104 WONDERVIEW DR LAS VEGAS NV	13817111019
HARRIS LEBERT RESIDUAL TRUST	3108 BUCKNELL DR LAS VEGAS NV	13818511037
HARRIS PATRICIA JEAN	3337 SABINO CANYON ST LAS VEGAS NV	13808413010
HARRISON ROYCE	9820 DOUBLE ROCK DR LAS VEGAS NV	13808410025
HARVEY NANCY T REVOCABLE TRUST	9052 PENNYSTONE AVE LAS VEGAS NV	13817113014

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HATCHER MARCUS D	3337 GILIAM CT LAS VEGAS NV	13808414016
HELMPROBST BRUCE	1605 SILVER POINT AVE LAS VEGAS NV	13808411023
HEMPHILL BRIAN L & LYNN S	3337 URIBE ST LAS VEGAS NV	13808414028
HENDERSON MARK	104 WALKER WY BOULDER CITY NV	13817113005
HENKEL VIRGINIA L & THOMAS J	9113 BALLAD AVE LAS VEGAS NV	13808412014
HENSON KATHLEEN A & ROY E	9113 VALLEY OF FIRE AVE LAS VEGAS NV	13808413061
HERNANDEZ FAMILY TRUST	9112 CHENIN AVE LAS VEGAS NV	13808411046
HERRER CLEMENT N	P O BOX 3550 TONOPAH NV	13817111059
HILSON ROBERT A & ABIGAIL	5852 MARIA DEL MAR ST LAS VEGAS NV	13818515001
HINTON LINDA J & DANIEL S	3241 N CAMPBELL RD LAS VEGAS NV	13808410003
HOBACK MICHAEL W & JANICE	3249 URIBE ST LAS VEGAS NV	13808410028
HOCHMAN G H & F 1990 REV LIV TR	3017 GOLF LINKS DR LAS VEGAS NV	13817113017
HODNICK MAY COIT	3105 ANGELICA CT LAS VEGAS NV	13817110010
HOFFMAN RICHARD D & SUSAN K	3333 SABINO CANYON ST LAS VEGAS NV	13808411014
HOLLAND ANN TRUST	3049 WONDERVIEW DR LAS VEGAS NV	13817111025
HOLLIMAN JON & SARAH	3301 N CAMPBELL RD LAS VEGAS NV	13808410007
HOLMSTROM LEROY CHARLES III	9233 VALADOR AVE LAS VEGAS NV	13808410023
HOOK ELISHA	3348 ASCONA CT LAS VEGAS NV	13808414048
HOPKINS DEBRA L	2358 CROMBIE CT WEST LAKE VILLAGE CA	13808414043
HOPKINS GRANT P & DIANE M	9204 ESTRADA AVE LAS VEGAS NV	13808410044
HOUSE KENNETH W	225 ASHVILLE CT HENDERSON NV	13808412007
HOWELL RONALD L & LAVERNE	9200 ESTRADA AVE LAS VEGAS NV	13808410045
HUGHES GARY R & ROBBIE A	9212 JANUARY DR LAS VEGAS NV	13817112014
HYDORN MARSHALL P & DIANE M	P O BOX 4138 CARMEL CA	13808411015
IBARRA ISABEL	3220 N CAMPBELL RD LAS VEGAS NV	13808412002
INMAN JUNE	9029 VILLA RIDGE DR LAS VEGAS NV	13817113007
IONOV ADIR	3353 SABINO CANYON ST LAS VEGAS NV	13808413014
IRELAND MARK S & DIANE S	9100 CHENIN AVE LAS VEGAS NV	13808411049
JACOBS DALE M & ROBERTA L	9208 JANUARY DR LAS VEGAS NV	13817112015
JAUQUAY KENNETH & CHERYL	9109 VILLA RIDGE DR LAS VEGAS NV	13817110045
JOHNSON KATHRYN L LIVING TRUST	%P NEWMYER 18775 LAUREL WY COTTONWOOD CA	13808412048
JOHNSON WILLIAM R & ELIABETH A	1555 CLARITA AVE SAN JOSE CA	13808411034

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JONES TROY D & MARY JANE	9025 CHENIN AVE LAS VEGAS NV	13808411061
JOYCE JAMES & LOUISE FAMILY TR	3248 Ariba ST LAS VEGAS NV	13808410016
KACHMARYK FAMILY TRUST	9201 JANUARY DR LAS VEGAS NV	13817112017
KALEM FRANK R & JOSEPHINE T	3113 FOREST BROOK CT LAS VEGAS NV	13817110026
KALOGERIS CHRISTOPHER	3352 N CAMPBELL RD LAS VEGAS NV	13808413001
KAU SAMUEL SZE-KIT	3344 GILIAM CT LAS VEGAS NV	13808414023
KAUTZMAN DIANNA	3245 N CAMPBELL RD LAS VEGAS NV	13808410004
KELLER RICK & KRISTIN	18 PINE HOLLOW HENDERSON NV	13808410009
KEOVIENGXAI VATSANA	3150 SOFT BREEZES #2220 LAS VEGAS NV	13817110056
KESHISHYAN MASIS	8014 GROVE ST SUNLAND CA	13808415005
KING GEORGE APARTMENTS	5315 OBERLIN AVE LORAIN OH	13817113013
KISEROW RHONDA	3309 SABINO CANYON ST LAS VEGAS NV	13808411008
KISTLER PAUL W & BARBARA L	9129 VILLA RIDGE DR LAS VEGAS NV	13817110050
KITTS CHARLES T	9229 ESTRADA AVE LAS VEGAS NV	13808410048
KNIGHT ROGER T & LUCILLE FAM TR	3244 URIBE ST LAS VEGAS NV	13808410054
KOFOED KORTNEY & DOLORES	9040 PENNYSTONE AVE LAS VEGAS NV	13817113011
KONG XIAOYU & OICHU	6994 PACIFIC COAST ST LAS VEGAS NV	13807816009
KRAMER KEITH F	3345 URIBE ST LAS VEGAS NV	13808414026
KWIATKOWSKI FRED D TRUST	9217 VILLA RIDGE DR LAS VEGAS NV	13817110060
LADOUCEUR ADRIAN L & ANGELINE F	3304 RED LODGE DR LAS VEGAS NV	13807816005
LAGMAN MARIA	9024 BALLAD AVE LAS VEGAS NV	13808412066
LAIRD ROBERT W	9041 VILLA RIDGE DR LAS VEGAS NV	13817113004
LANSING JAMES W & ANNA MARIA	3325 URIBE ST LAS VEGAS NV	13808410036
LAS VEGAS VALLEY WATER DISTRICT	3700 W CHARLESTON BLVD LAS VEGAS NV	13808401011
LATINA STEPHEN	3319 BRACE CANYON RD BURBANK CA	13817111026
LAZO MANUEL C JR & MARIE CARMEN	5935 BENNER ST HIGHLAND PARK CA	13808415013
LEIBOLD BRUCE M & SALLY K	3349 N CAMPBELL RD LAS VEGAS NV	13808414049
LEWIS DONALD L & VALERIE S	9104 CANYON MAGIC AVE LAS VEGAS NV	13808411021
LEXI HOLDINGS L L C	3320 N BUFFALO DR #102 LAS VEGAS NV	13807821014
LIONETTI DEBORAH L	9101 DOLENTE AVE LAS VEGAS NV	13808412029
LIPINSKI MARIE	3112 BIRCH GROVE CT LAS VEGAS NV	13817110039
LIPNICK PATTY JEAN & GARY LEE	9592 BORGATA BAY BLVD LAS VEGAS NV	13818511072

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LITZ TIMOTHY M & KATHLEEN K	9028 CHENIN AVE LAS VEGAS NV	13808411050
LODICO MARY	9049 FAIRCREST DR LAS VEGAS NV	13817111030
LOEFFLER SHEILA A REVOCABLE TR	9052 VILLA RIDGE DR LAS VEGAS NV	13817111068
LOPEZ RAUL M & PATRICIA	9104 DOLENTE AVE LAS VEGAS NV	13808412019
LOUDEN MARILYN K	9009 BALLAD AVE LAS VEGAS NV	13808415006
LUCIER AMY	9109 VALLEY OF FIRE AVE LAS VEGAS NV	13808413060
LUJAN ROBERT JR & GINA MARIE	9024 CHENIN AVE LAS VEGAS NV	13808411051
LUKE JAMES K	9048 VILLA RIDGE DR LAS VEGAS NV	13817111067
M & S PATRICK L L C	3295 N FORT APACHE RD #150 LAS VEGAS NV	13807821010
MACKENZIE GILLIAN & SEAN P	3104 ANGELICA CT LAS VEGAS NV	13817110014
MACKAY CHRISTOPHER N & VALERIE A	9116 CHENIN AVE LAS VEGAS NV	13808411045
MADDOX THEODORE M	9045 FAIRCREST DR LAS VEGAS NV	13817111031
MAGANA MARCO A	9012 BALLAD AVE LAS VEGAS NV	13808415012
MAGAW EDWARD LAWRENCE	9008 CHENIN AVE LAS VEGAS NV	13808415031
MAGNUS LINDA T LIVING TRUST	3341 URIBE ST LAS VEGAS NV	13808414027
MALEKI MANIJEHMOAYERI	3216 N CAMPBELL RD LAS VEGAS NV	13808412001
MALLOY FAMILY TRUST	9033 VILLA RIDGE DR LAS VEGAS NV	13817113006
MANTEL EVELYN M & DAVID	4935 VAN NOORD AVE SHERMAN OAKS CA	13808410017
MANUEL FRANCES ELAINE REV LIV TR	9108 CHENIN ST LAS VEGAS NV	13808411047
MARCEK CLIFFORD W	8325 PASEO VISTA DR LAS VEGAS NV	13808411048
MARCO EDWARD J & TERESA ETAL	9120 CHENIN AVE LAS VEGAS NV	13808411044
MARGRAF THAMAS A	3324 N CAMPBELL RD LAS VEGAS NV	13808413008
MARTIN GEORGE & CLEE LOVING TR	9032 VILLA RIDGE DR LAS VEGAS NV	13817111063
MARTIN SAM & VIVIAN 1998 LIV TR	3105 FOREST BROOK CT LAS VEGAS NV	13817110024
MARTINEZ NILA	9101 VALLEY OF FIRE AVE LAS VEGAS NV	13808413058
MASON DON E & BRENDA S	9124 CANYON MAGIC AVE LAS VEGAS NV	13808411016
MATSUURA MARK M	9020 VALLEY OF FIRE AVE LAS VEGAS NV	13808412065
MAYER KURT REVOCABLE LIVING TR	9204 JANUARY DR LAS VEGAS NV	13817112016
MCCARTHY PATRICK W JR	3304 N CAMPBELL RD LAS VEGAS NV	13808411004
MCCLANAHAN FAMILY TR AGMT TR A	9044 VILLA RIDGE DR LAS VEGAS NV	13817111066
MC GEE MICHAELINE & PATRICK	9109 BALLAD AVE LAS VEGAS NV	13808412015
MCKEARNEY LOUISE	9116 DOLENTE AVE LAS VEGAS NV	13808412022

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MCNEIL ANDY J & SHELLY L	9305 DEER LODGE LN LAS VEGAS NV	13807816008
MCPARTLIN KEVIN M & SHERI A	3729 BRONCO BILLY CT LAS VEGAS NV	13808414037
MCQUIVEY DUSTIN R & MANDI L	9012 DOLENTE AVE LAS VEGAS NV	13808412050
MEAD SVEN A & RENEE	9117 CANYON MAGIC AVE LAS VEGAS NV	13808411039
MEADE CYRIL FRANK & LETITIA	3333 ASCONA CT LAS VEGAS NV	13808414041
MEEK VIRGINIA D	9100 DOLENTE AVE LAS VEGAS NV	13808412018
MELCHERT GREGORY	1728 ROBBIE LN MT PROSPECT IL	13817111038
MENDEZ MAYRA	9233 ESTRADA AVE LAS VEGAS NV	13808410049
MIANULLI RONALD B	9036 VILLA RIDGE DR LAS VEGAS NV	13817111064
MILEN STILIAM	6130 W TROPICANA AVE #141 LAS VEGAS NV	13808412032
MILLER NEIL T	3345 SABINO CANYON ST LAS VEGAS NV	13808413012
MILLER PATRICIA F	9105 VILLA RIDGE DR LAS VEGAS NV	13817110044
MINCHEY OWEN W & DELAINA P	2050 MONUMENT BLVD #40 PLEASANT HILL CA	13808413017
MONGIARDO KAREN LIVING TRUST	3120 BIRCH GROVE CT LAS VEGAS NV	13817110037
MOORE FAMILY TRUST	3101 MOONGOLD CT LAS VEGAS NV	13817111017
MORING JOSEPHINE	3340 ASCONA CT LAS VEGAS NV	13808414046
MURDOCK JOYCE L & ERNEST E	3341 GILLIAM CT LAS VEGAS NV	13808414015
MYERS RALPH J & RHONA L	9124 CHENIN AVE LAS VEGAS NV	13808411043
NAKASHIMA DANIEL T & PEGGY H	3304 Ariba ST LAS VEGAS NV	13808410013
NAKAZAWA CHIYOKO	16415 ST ANDREWS PL GARDENA CA	13808415007
NAKAZAWA CHIYOKO	16415 ST ANDREWS PL GARDENA CA	13808415010
NAVARRO JAVIER	9124 VALLEY OF FIRE AVE LAS VEGAS NV	13808413016
NAVARRO MARTHA B	3233 SABINO CANYON ST LAS VEGAS NV	13808412006
NELSON WILLIAM J & JAQUELINE	9209 VILLA RIDGE DR LAS VEGAS NV	13817110058
NGUYEN HENRIET	7801 HOPI RD STANTON CA	13808412010
O'CONNELL ROBERT & A REV FAM TR	9101 VILLA RIDGE DR LAS VEGAS NV	13817110043
O'CONNOR JEAN	9029 FAIRCREST DR LAS VEGAS NV	13817111035
OLIVER WILLIAM REVOCABLE TRUST	3302 VOSBURG ST PASADENA CA	13817110035
OLSEN LEUGENE SR & LINDA M	9125 VALLEY OF FIRE AVE LAS VEGAS NV	13808413064
ORTEGA EDWARD	3332 ASCONA CT LAS VEGAS NV	13808414044
PACIFIC NORTHWEST FOUNDATION	%F COOK 7619 SW 26TH AVE PORTLAND OR	13808412033
PADILLA WENDY	3847 W 134TH PL HAWTHORNE CA	13808410052

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PAGANO NICHOLAS A & BEATRICE	9133 VILLA RIDGE DR LAS VEGAS NV	13817110051
PANGBORN GARY & DOLORES 1990 TR	29829 CORTE GRANADA TEMECULA CA	13808411017
PANITZ ALBERT	9300 FRESH SPRING DR LAS VEGAS NV	13818511036
PARNES ALAN R & SANDRA K REV TR	14558 HUSTON ST SHERMAN OAKS CA	13808412030
PATTISON FAMILY TRUST	9125 VILLA RIDGE DR LAS VEGAS NV	13817110049
PAUL WILLIAM M LIVING TRUST	9041 EAGLE HILLS DR LAS VEGAS NV	13808411041
PELLINO STEPHEN H & PHYLLIS E	3312 N CAMPBELL RD LAS VEGAS NV	13808411002
PERAZA-NUNES ERNESTINE C	9221 VALADOR AVE LAS VEGAS NV	13808410020
PEREZ DEBRA J LIVING TRUST	9113 DOLENTE AVE LAS VEGAS NV	13808412026
PERREIRA ROBERT G & MILDRED M TR	3340 GILIAM CT LAS VEGAS NV	13808414022
PERRY CARL & ELEANOR	9128 VALLEY OF FIRE AVE LAS VEGAS NV	13808413015
PETERS JACK A & ROSE M	9028 VILLA RIDGE DR LAS VEGAS NV	13817111062
PETROVA IRINA	40 E CALVADA BLVD PAHRUMP NV	13808410032
PHILBIN BERNARD A & DONNA E	3300 URIBE ST LAS VEGAS NV	13808410051
PHILIP WILLIAM G & SHIRLEY	3333 APENZELL CT LAS VEGAS NV	13808414005
PILATO JOHN	9044 PENNYSTONE AVE LAS VEGAS NV	13817113012
PILTZ ROBERT JR	3300 RED LODGE DR LAS VEGAS NV	13807816006
PINSON RICHARD A	3233 N CAMPBELL RD LAS VEGAS NV	13808410001
PIPKIN ANTHONY & MARESA	3312 RED LODGE DR LAS VEGAS NV	13807816003
POTTER GARY J & CONSTANCE M	9609 GRANDVIEW DR DENTON TX	13817110030
PROSSER JOHN S & P L 1991 FAM TR	3116 BIRCH GROVE CT LAS VEGAS NV	13817110038
PUTNAM MARVA L & JACK L	9105 VALLEY OF FIRE AVE LAS VEGAS NV	13808413059
QUINDICI L L C	P O BOX 6968 BIG BEAR LAKE CA	13807821005
RAINBOW PROF OFFICE DEV L L C	8960 W CHEYENNE #190 LAS VEGAS NV	13808416001
RALSTON DAVE	3348 URIBE ST LAS VEGAS NV	13808414036
RAPP PATRICIA A	9045 VILLA RIDGE DR LAS VEGAS NV	13817113003
RAZINIA VIDA TRUST	1517 YALE ST SANTA MONICA CA	13808401030
RAZON JULES	3109 BIRCH GROVE CT LAS VEGAS NV	13817110034
REBACK IRVING M & SYLVIA M	3101 FOREST BROOK CT LAS VEGAS NV	13817110023
REED J C & A V LIV REV TR 2005	3232 N CAMPBELL RD LAS VEGAS NV	13808412005
REES RICHARD J	9037 FAIRCREST DR LAS VEGAS NV	13817111033
RENSVOLD JAMES R	9113 CHENIN AVE LAS VEGAS NV	13808411057

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RIACH D & MARTINEZ-RIACH FAM TR	%M MARTINEZ-RIACH 3108 ANGELICA CT LAS VEGAS NV	13817110013
RISDON ROBERT M	9004 BALLAD AVE LAS VEGAS NV	13808415014
ROBB DIANE TRUST	9025 FAIRCREST DR LAS VEGAS NV	13817111036
ROBERTS ALICE	9878 LAKE SEMINOLE DR W LARGO FL	13817111060
ROSE G LYNN	9232 ESTRADA AVE LAS VEGAS NV	13808410037
ROSENBERG FAMILY TRUST	3332 CAMPBELL RD LAS VEGAS NV	13808413006
ROWLAND LESLIE D	3325 SABINO CANYON ST LAS VEGAS NV	13808411012
ROWLEY KYLE F & PENNY	9113 CANYON MAGIC LAS VEGAS NV	13808411038
ROYER DAVID E & KATHERINE M	9304 FRESH SPRING DR LAS VEGAS NV	13818511035
RUBIN YORAM	700 CAMPBELL DR LAS VEGAS NV	13808411058
RUEADAS BRYANT N	9020 CHENIN AVE LAS VEGAS NV	13808415028
SACCO ANTHONY	15039 TEAKWOOD MONROE MI	13817111008
SAGERT BRIAN A& DEBORAH A	P O BOX 35548 LAS VEGAS NV	13808412031
SALEN SIMONE	10005 CENTRAL VALLEY AVE LAS VEGAS NV	13808412064
SALTZMAN EDWARD & DIANA	9041 FAIRCREST DR LAS VEGAS NV	13817111032
SAMPSEL ALAN V & SHIRLEY M TRUST	3108 MOONGOLD CT LAS VEGAS NV	13817111013
SANDBORN MELISSA	3329 SABINO CANYON ST LAS VEGAS NV	13808411013
SARTIN TAMMY	3241 URIBE ST LAS VEGAS NV	13808410026
SCHILLING DANNIELLE E	9129 VALLEY OF FIRE AVE LAS VEGAS NV	13808413065
SCHMALL KATHLEEN O	9117 DOLENTE AVE LAS VEGAS NV	13808412025
SCHMIDT LINDA R REV TR AGMT	9236 JANUARY DR LAS VEGAS NV	13817112008
SCHUSTER HENRY D & A REV FAM TR	3321 URIBE ST LAS VEGAS NV	13808410035
SCOTT MYRA	9036 PENNYSTONE AVE LAS VEGAS NV	13817113010
SELES STEVE & GLENDA	3108 GLADSTONE CT LAS VEGAS NV	13817110006
SEVEN TREES L L C	%L GIRROIR 11580 VELICATA CT LAS VEGAS NV	13808412027
SHELTON SALLY R FAMILY TRUST	9216 ESTRADA AVE LAS VEGAS NV	13808410041
SHERMAN 1993 REVOCABLE LIVING TR	3105 WONDERVIEW DR LAS VEGAS NV	13817111023
SHERMAN DONALD A	3336 CAMPBELL RD LAS VEGAS NV	13808413005
SHERMAN ROBERT & CATHI	67 LONE STAR LN MANALAPAN NJ	13817111016
SHIELDS KENNETH	3328 GILIAM CT LAS VEGAS NV	13808414019
SHORT TIMOTHY J	3316 RED LODGE DR LAS VEGAS NV	13807816002
SHOUKRY EMAD	1300 S FARMVIEW DR DOVER DE	13808412028

Report of All Selected Parcels**Case Number:** SDR-18660**Printed On:** Thu: December 21, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
SHREENAN RAYMOND J & CAROLYN M	2829 ILOPANGO DR HACIENDA HEIGHTS CA	13808412063
SHRINAK VINCENT & ROSALIND	3304 URIBE ST LAS VEGAS NV	13808410050
SHUKES NELDA M LIVING TRUST	2251 N RAMPART BLVD #321 LAS VEGAS NV	13817110005
SIEMENS ERIC P	9101 CANYON MAGIC AVE LAS VEGAS NV	13808411035
SIMON ZIA G	6834 GLEN VIEW DR SAN JOSE CA	13808410008
SIMONI LETIZIA	9229 VALADOR AVE LAS VEGAS NV	13808410022
SIMONPOUR MARIA S	9020 DOLENTE AVE LAS VEGAS NV	13808412052
SINERT SUSAN REVOCABLE LIVING TR	9053 FAIRCREST DR LAS VEGAS NV	13817111029
SIRIANNI JOSEPH	9029 CHENIN AVE LAS VEGAS NV	13808411053
SLATER DONALD E & LAURA L	3328 APENZELL CT LAS VEGAS NV	13808414007
SMITH ALAN C	9108 DOLENTE AVE LAS VEGAS NV	13808412020
SMITH BARBARA J	3253 URIBE ST LAS VEGAS NV	13808410029
SMITH FRANCES ELIZABETH LIV TR	2251 N RAMPART BLVD P M B 150 LAS VEGAS NV	13817110012
SMITH GARY L & NANCY M	3332 GILIAM CT LAS VEGAS NV	13808414020
SMITH RONALD A & DIANE M	%SUPREME METAL PRODUCTS 7375 TRAMMERE DR MISSISSAUGA ONTARIO CANADA L5S1L4	13817111015
SNOW WILLIAM N & BRENDA R	9112 CANYON MAGIC AVE LAS VEGAS NV	13808411019
SNOWDEN MICHAEL L	9121 DOLENTE AVE LAS VEGAS NV	13808412024
SNOWDEN RYAN D	9120 DOLENTE AVE LAS VEGAS NV	13808412023
SOBOTA WALTER S JR & PATRICIA A	8317 GRANITE LAKE DR LAS VEGAS NV	13808415029
SPALLINO ANTONINIA	149-31 3 AVE WHITESTONE NY	13808413007
SPIEGEL BERNARD & SANDRA LEE	3301 URIBE ST LAS VEGAS NV	13808410030
SPRAGUE LINDA	9104 BALLAD AVE LAS VEGAS NV	13808412058
STACHOVIK CECELIA ANN LIVING TR	9112 BALLAD AVE LAS VEGAS NV	13808412060
STAHR CELIA M	3172 N RAINBOW BLVD #230 LAS VEGAS NV	13817110046
STEWART GREGORY & ELLEN	3108 GOODHOPE CT LAS VEGAS NV	13817111007
STILLMAN GENE E	3336 ASCONA CT LAS VEGAS NV	13808414045
STRAHL ROSEMARIE L	9121 BALLAD AVE LAS VEGAS NV	13808412012
SUN CITY SUMMERLIN COMMUNITY	%DEL WEBB COMMUNITIES INC 9107 DEL WEBB BLVD LAS VEGAS NV	13818512002
SUN CITY SUMMERLIN COMMUNITY	%DEL WEBB COMMUNITIES INC 9107 DEL WEBB BLVD LAS VEGAS NV	13817116001
SUN CITY SUMMERLIN COMMUNITY	%DEL WEBB COMMUNITIES INC 9107 DEL WEBB BLVD LAS VEGAS NV	13817116002
SUN CITY SUMMERLIN COMMUNITY	%DEL WEBB COMMUNITIES INC 9107 DEL WEBB BLVD LAS VEGAS NV	13818512002
SURMA WILLIAM R & VERDA L	9101 BALLAD AVE LAS VEGAS NV	13808412017

Report of All Selected Parcels**Case Number:** SDR-18660**Printed On:** Thu: December 21, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
SUTHERLAND DONALD A & NANCY L	3101 GLADSTONE CT LAS VEGAS NV	13817110001
SWANSON FAMILY TRUST	3100 BIRCH GROVE CT LAS VEGAS NV	13817110042
TABAK JAY & LEA	3237 N CAMPBELL RD LAS VEGAS NV	13808410002
TAKABUKI ANNE MATSUKO	707 MAALAHU ST WAILUKU HI	13808413011
TAKAHASHI FAMILY TRUST	3100 GLADSTONE CT LAS VEGAS NV	13817110008
TAKEUCHI FAMILY TRUST	3344 URIBE ST LAS VEGAS NV	13808414035
TAMARINDO PROFESSIONAL PARC ASSN	8920 W TROPICANA #105 LAS VEGAS NV	13807821013
TAUBMAN ELLEN	9017 BALLAD LAS VEGAS NV	13808415008
TAXPAYER	LAS VEGAS NV	13808410039
TEER ERIC SEAN SEPARATE PPTY TR	9005 CHENIN AVE LAS VEGAS NV	13808415023
THOMAS CURTIS W & KATHLEEN K	3112 BIRCH HILL CT LAS VEGAS NV	13817110019
THOMPSON FAMILY TRUST	3113 GLADSTONE CT LAS VEGAS NV	13817110004
THOMPSON TRUST	9040 VILLA RIDGE DR LAS VEGAS NV	13817111065
THORNHAM BRIAN	3300 SABINO CANYON ST LAS VEGAS NV	13808411060
THREADGILL MARY A	3101 ANGELICA CT LAS VEGAS NV	13817110009
THRONE KENNETH R & DAWN M	3301 SABINO CANYON ST LAS VEGAS NV	13808411006
TIGHE MICHAEL	3333 URIBE ST LAS VEGAS NV	13808414029
TOMPKINS JOHN REED	1635 DEWITT ESTATES RD ALPINE CA	13808414042
TRAIL EARL & LADORA J	9208 ESTRADA AVE LAS VEGAS NV	13808410043
TRETTIN FAMILY TRUST	3112 FOREST BROOK CT LAS VEGAS NV	13817110028
TRIOLA JOSEPH T	3349 GILIAM CT LAS VEGAS NV	13808414013
TSELIKIS PROPERTIES L L C	9225 ESTRADA AVE LAS VEGAS NV	13808410047
TUCCIO ANDREW	3249 N CAMPBELL RD LAS VEGAS NV	13808410005
UNGER CARL	%M SCHNIPPEL 9960 W CHEYENNE AVE #210 LAS VEGAS NV	13808401008
UNGER CARL ETAL	9960 W CHEYENNE AVE #210 LAS VEGAS NV	13808401009
VANGORDER MATTHEW & SUSAN C	3109 GLADSTONE CT LAS VEGAS NV	13817110003
VELTRE FAMILY TRUST	9009 DOLENTE AVE LAS VEGAS NV	13808412034
VERBANO GARY L	1716 MONTEREY CYPRESS ST LAS VEGAS NV	13808411011
VERGINA THOMAS P & VERONICA A	3228 N CAMPBELL RD LAS VEGAS NV	13808412004
VILLA NOLBERT REFUGIO & ELENA D	3317 SABINO CANYON ST LAS VEGAS NV	13808411010
VINSON ELAINE LIVING TRUST	3100 WONDERVIEW DR LAS VEGAS NV	13817111018
WALKER MONTE S	3265 N FORT APACHE #110 LAS VEGAS NV	13807821004

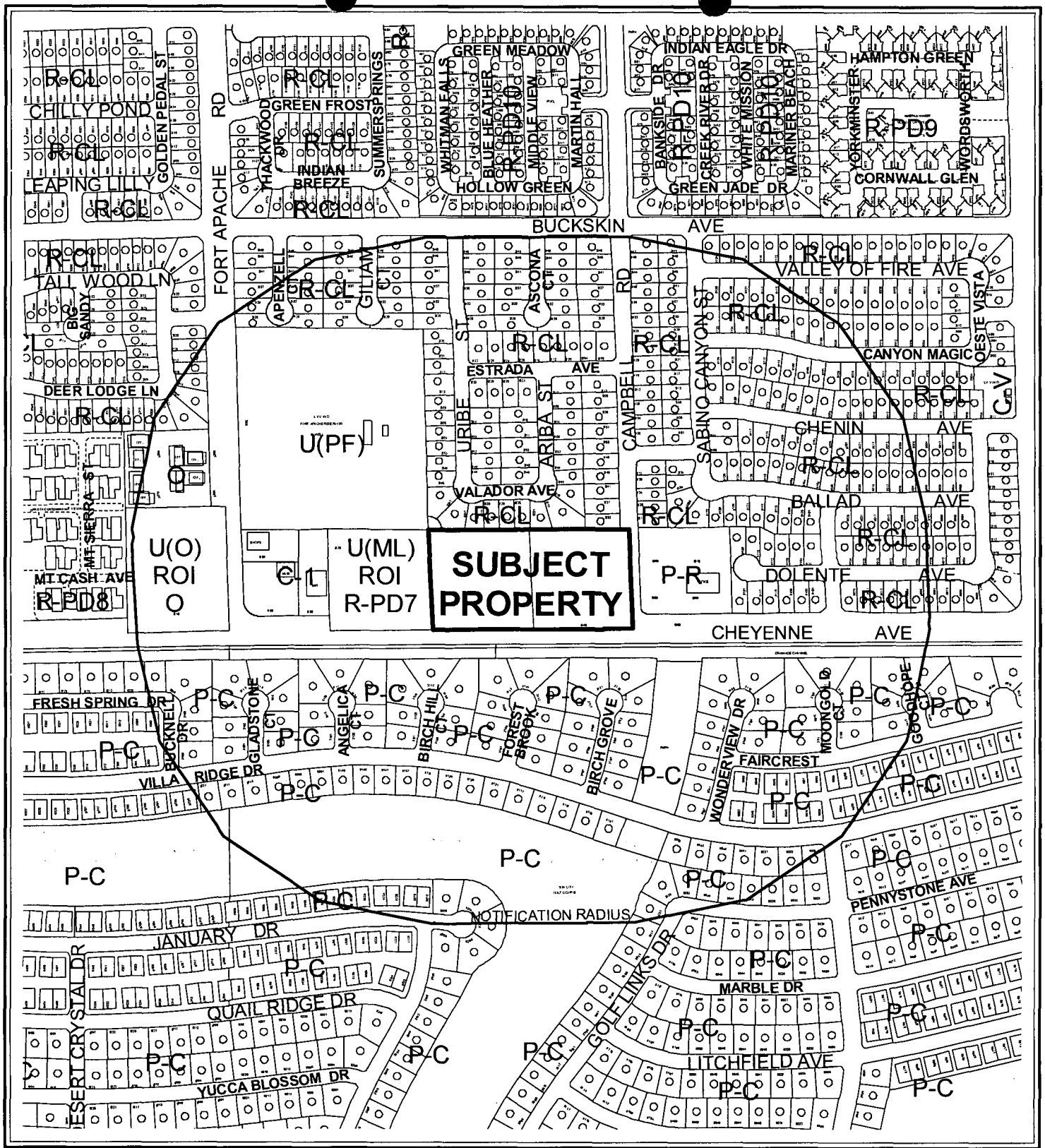
Report of All Selected Parcels**Case Number:** SDR-18660**Printed On:** Thu: December 21, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
WALKER MONTE S	3265 N FORT APACHE #150 LAS VEGAS NV	13807821003
WASIAK MARIA E FAMILY TRUST	3337 N CAMPBELL RD LAS VEGAS NV	13808414052
WATTS JOHNNY M	P O BOX 81555 LAS VEGAS NV	13808412036
WEAVER GERALD II & JANINE	3344 APENZELL CT LAS VEGAS NV	13808414011
WEST LISA E	9105 CHENIN AVE LAS VEGAS NV	13808411055
WESTBERG MARK I & SANDRA A	9016 BALLAD AVE LAS VEGAS NV	13808415011
WHALEN SHIRLEY A LIVING TRUST	5854 S PECOS RD #100 LAS VEGAS NV	13808412035
WHITE FAMILY TRUST 1997	9112 DOLENTE AVE LAS VEGAS NV	13808412021
WHITE JAMES O & JUSTINE	3726 WHITE LAKE HILLS DR WHITE LAKE MI	13808410006
WHITE RICHARD	207 N 44TH ST CODY WY	13817112011
WHITMAN ROBERT & MARJORIE FAM TR	9213 VILLA RIDGE DR LAS VEGAS NV	13817110059
WILLIAMS ELEANOR ETAL	3108 WONDERVIEW DR LAS VEGAS NV	13817111020
WILLIAMS TED J TRUST	1746 OLIVET RD SANTA ROSA CA	13808415026
WILLICK JERRY S & BIRDIE F	3104 MOONGOLD CT LAS VEGAS NV	13817111012
WISE WILLIAM & DEBRA	3349 SABINO CANYON LAS VEGAS NV	13808413013
WOLFE REBA M	9013 CHENIN AVE LAS VEGAS NV	13808415025
WRIGHT FAMILY TRUST 2000	3336 GILIAM CT LAS VEGAS NV	13808414021
WRIGHT ROBERT J	3337 APENZELL CT LAS VEGAS NV	13808414004
WYLIE MARDELL T & DONALD LEE	3070 AMERICAN RIVER LN LAS VEGAS NV	13817110011
YIP 1997 TRUST	3109 WONDERVIEW DR LAS VEGAS NV	13817111022
YU CYNTHIA	777 S MARENGO AVE #8 PASADENA CA	13808411037
ZAFUTO FRANCIS X	9228 ESTRADA AVE LAS VEGAS NV	13808410038
ZAKANYCZ STEPHEN & BARBARA A	3025 GOLF LINKS DR LAS VEGAS NV	13817113015
ZAVALA GUSTAVO & MARIVONNE G	9713 PIKEDALE DR LAS VEGAS NV	13817110017
ZIMMERMAN FAMILY LIVING TRUST	3105 BIRCH GROVE CT LAS VEGAS NV	13817110033
ZOELLNER HORST & ANNE CO-TRS	3109 FOREST BROOK CT LAS VEGAS NV	13817110025

Public Hearing Notice



Separator Sheet



CASE: **SDR-18660**

RADIUS: 1000 FT

0 600 1200 Feet

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [O (OFFICE) GENERAL PLAN LAND USE DESIGNATION]
 UNDER RESOLUTION OF INTENT O (OFFICE)



NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: JANUARY 25, 2007
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SDR-18660

APPLICANT/OWNER: FFPW MEDICAL DEVELOPMENT, LLC - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR A PROPOSED 60,160 SQUARE-FOOT OFFICE DEVELOPMENT ON 4.16 ACRES AT THE NORTHEAST CORNER OF CAMPBELL ROAD AND CHEYENNE AVENUE (APNS 138-08-401-008 AND 009), U (UNDEVELOPED) ZONE [O (OFFICE) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO O (OFFICE) ZONE, WARD 4 (BROWN).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHWEST QUARTER (SW¼) OF SECTION 8, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



DOUGLAS J. RANKIN, CURRENT PLANNING MANAGER
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

Applicant Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

January 12, 2007

Mr. Scott Walker
FFPW Medical Development
723 South Casino Center
Las Vegas, Nevada 89101

RE: SDR-18660 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Walker:

Please be advised the City Planning Commission at its regular meeting on **January 25, 2007** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, AICP
Current Planning Manager
Planning and Development Department

DJR:clb

cc: Mr. John David Burke
3471 West Oquendo Road, Suite #301
Las Vegas, Nevada 89118

Mr. Bob Gronauer
KKBRF
3800 Howard Hughes Parkway, 7th Floor
Las Vegas, Nevada 89109

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

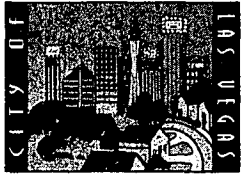


Action Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

January 26, 2007

Mr. Scott Walker
FFPW Medical Development
723 South Casino Center
Las Vegas, Nevada 89101

RE: SDR-18660 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Walker:

Your request for a Site Development Plan Review FOR A PROPOSED 60,160 SQUARE-FOOT OFFICE DEVELOPMENT on 4.16 acres at the northeast corner of Campbell Road and Cheyenne Avenue (APNs 138-08-401-008 and 009), U (Undeveloped) Zone [O (Office) General Plan Designation] under Resolution of Intent to O (Office) Zone, Ward 4 (Brown), was considered by the Planning Commission on January 25, 2007.

The Planning Commission voted to recommend ***APPROVAL*** of your request, subject to the following:

Planning and Development

1. Conformance to the Conditions of Approval for Variance (VAR-18908) shall be required, if approved.
2. Approval of this application shall expunge the previous Site Development Plan Review (SDR-14423), if approved.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All development shall be in conformance with the site plan, and landscape plan, date stamped 12/11/06, and building elevations, date stamped 01/19/07 except as amended by conditions herein.
5. A Waiver to allow 41 trees in the parking lot landscape finger area where 45 trees in the parking lot landscape finger area are the minimum required is hereby approved.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. Coordinate with the City Surveyor to determine whether a Merger and Re-Subdivision Map or other map is necessary; comply with the recommendations of the City Surveyor.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Pubic Works

14. Coordinate with the City Surveyor to determine the appropriate mapping method for this site; comply with the recommendations of the City Surveyor.

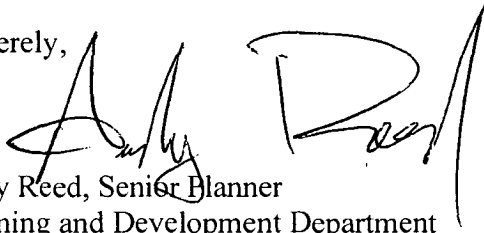
15. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
16. Submit an application for a deviation from Standard Drawing #222a for the driveways accessing this site from Campbell Road and Dapple Grey Drive.
17. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
18. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing#201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
19. Site development to comply with all applicable conditions of approval for ZON-14420 and all other applicable site-related actions.
20. Contact the City Engineer's Office at 229-6272 to coordinate the development of this project with the ITS Communication Infrastructure Phase III project and any other public improvement projects adjacent to this site. Comply with the recommendations of the City Surveyor.

Mr. Scott Walker
SDR-18660 - Page Four
January 26, 2007

21. The Applicant shall work with staff prior to submittal of a Site Development Plan Review to ensure that the final elevations of building pad(s) and parking lot are to the lowest height allowed by the Regional Flood Control District Manual and shall submit an exterior wall plan with the Site Development Plan Review showing existing and proposed grades, proposed wall heights and maximum retaining wall heights at the perimeters of the site.

This item will be considered by the City Council on **February 21, 2007**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



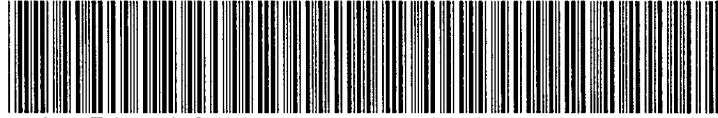
Andy Reed, Senior Planner
Planning and Development Department
Current Planning Division

AR:clb

cc: Mr. John David Burke
3471 West Oquendo Road, Suite #301
Las Vegas, Nevada 89118

Mr. Bob Gronauer
KKBRF
3800 Howard Hughes Parkway, 7th Floor
Las Vegas, Nevada 89109

City Council Action Letter



CITY COUNCIL ACTION LETTER

Separator Sheet



March 22, 2007

Mr. Scott Walker
FFPW Medical Development
723 South Casino Center
Las Vegas, Nevada 89101

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
WARD 5 (VACANT)

DOUGLAS A. SELBY
CITY MANAGER

RE: SDR-18660 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF FEBRUARY 21, 2007
RELATED TO VAR-18908

Dear Mr. Walker:

The City Council at a regular meeting held February 21, 2007 APPROVED the request for a Site Development Plan Review FOR A PROPOSED 60,160 SQUARE-FOOT OFFICE DEVELOPMENT on 4.16 acres at the northeast corner of Campbell Road and Cheyenne Avenue (APNs 138-08-401-008 and 009), U (Undeveloped) Zone [O (Office) General Plan Designation] under Resolution of Intent to O (Office) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on February 22, 2007. This approval is subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Variance (VAR-18908) shall be required, if approved.
2. Approval of this application shall expunge the previous Site Development Plan Review (SDR-14423), if approved.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All development shall be in conformance with the site plan, and landscape plan, date stamped 12/11/06, and building elevations, date stamped 01/19/07 except as amended by conditions herein.
5. A Waiver to allow 41 trees in the parking lot landscape finger area where 45 trees in the parking lot landscape finger area are the minimum required is hereby approved.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TDD 702.386.9108
www.lasvegasnevada.gov

6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties. All lighting shall be located as far as possible from adjacent residential properties.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. Coordinate with the City Surveyor to determine whether a Merger and Re-Subdivision Map or other map is necessary; comply with the recommendations of the City Surveyor.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

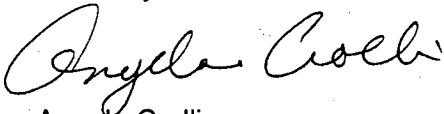
14. Coordinate with the City Surveyor to determine the appropriate mapping method for this site; comply with the recommendations of the City Surveyor.

15. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
16. Submit an application for a deviation from Standard Drawing #222a for the driveways accessing this site from Campbell Road and Dapple Grey Drive.
17. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
18. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing#201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
19. Site development to comply with all applicable conditions of approval for ZON-14420 and all other applicable site-related actions.
20. Contact the City Engineer's Office at 229-6272 to coordinate the development of this project with the ITS Communication Infrastructure Phase III project and any other public improvement projects adjacent to this site. Comply with the recommendations of the City Surveyor.

Mr. Scott Walker
SDR-18660 – Page Four
March 22, 2007

21. The Applicant shall work with staff prior to submittal of a Site Development Plan Review to ensure that the final elevations of building pad(s) and parking lot are to the lowest height allowed by the Regional Flood Control District Manual and shall submit an exterior wall plan with the Site Development Plan Review showing existing and proposed grades, proposed wall heights and maximum retaining wall heights at the perimeters of the site.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Beverly K. Bridges, CMC, Acting City Clerk



M. Margo Wheeler, AICP
Director
Planning and Development Department

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. John David Burke
3471 West Oquendo Road, Suite #301
Las Vegas, Nevada 89118

Mr. Bob Gronauer
KKBR&F
3800 Howard Hughes Parkway, 7th Floor
Las Vegas, Nevada 89109

Plans (PMT)



Separator Sheet

LANDSCAPE LEGEND

SYMBOL	LARGE TREES	TYPE	SIZE	SYMBOL	LARGE TREES	TYPE	SIZE
	SHADEMASTER HONEY LOCUST <i>Gleditsia</i>	LARGE DECIDUOUS	74" box		CAROLINA LAUREL CHERRY <i>Prunus caroliniana</i>	MEDIUM EVERGREEN	15 gallon
	TEXAS HONEY MESQUITE <i>Prosopis</i>	MEDIUM EVERGREEN	15 gallon		PURPLE ROBE LOCUST <i>Rosa</i>	DECIDUOUS	15 gallon
	ARIZONA ASH <i>Fraxinus</i>	LARGE DECIDUOUS	74" box		CHASTE TREE <i>Viburnum</i>	MEDIUM EVERGREEN	15 gallon
	SOUTHERN LIVE OAK <i>Quercus</i>	LARGE EVERGREEN	74" box		ALEPPO PINE <i>Pinus halepensis</i>	LARGE EVERGREEN	74" box

NOTES

INTERIOR PARKING NOTE:
ONE LARGE TREE MUST BE PROVIDED FOR EVERY 8 PARKING SPACES OR 1 MEDIUM TREE PER EVERY 8 PARKING SPACES. 9 LARGE TREES = 72 SPACES. 9 MEDIUM TREES = 72 SPACES.

STREET FRONTAGE NOTE:
SHRUBS SHALL BE DESIGNED TO COVER MORE THAN FIFTY PERCENT OF THE LANDSCAPED AREA AND MAY BE GROUPED IN DISTRIBUTED ALONG ENTIRE STRIP. PROVIDE ROOT SHIELDS FOR ANY TREE PLANTED CLOSER THAN 5' TO THE SIDEWALK.

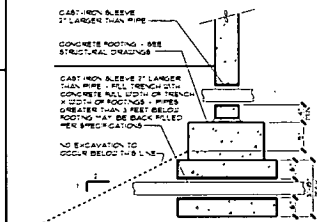
ALL IRON/STEEL GROUND COVER TO BE 3/4" INDIAN RED DASHED GRAVEL.

ACCESSIBILITY

ACCESSIBLE ROUTES OF TRAVEL:
SHALL MEET THE FOLLOWING CRITERIA:
CLEAR WIDTH OF ACCESSIBLE ROUTE SHALL BE 36" MINIMUM. INTERSECTIONS SHALL BE 48" MINIMUM. 20' MINIMUM REQUIRED AT CORNERS AND 48" MINIMUM. ANY FUTURE 10' MINIMUM PARKING SPACES AND 48" MINIMUM. 20' MINIMUM REQUIRED AT CORNERS AND 48" MINIMUM. 20' MINIMUM REQUIRED AT CORNERS AND 48" MINIMUM. 20' MINIMUM REQUIRED AT CORNERS AND 48" MINIMUM.

KEYNOTES

1. 4" x 12" HIGH CONCRETE BLOCK TRASH ENCLOSURE WITH PAIR OF STEEL TUBE GATES WITH STAMPED METAL BACKING AND LIFT PIN LOCK/LATCH - SEE DETAILS 1 & 10 ON SHEET A2.
2. 2" AC PAVING - SEE CIVIL DRAWINGS.
3. LANDSCAPED AREA - BY OTHERS.
4. CONCRETE SIDEWALK, CURB & GUTTER AS PER CITY OF LAS VEGAS.
5. 4" CONCRETE SIDEWALK W/ROCKSALT FINISH - SEE CIVIL DRAWINGS.
6. HANDICAP ACCESSIBLE AISLE - SEE DETAIL 2 ON SHEET A2.
7. HANDICAP CURB RAMP - SEE DETAIL 3 ON SHEET A2.
8. HANDICAP ACCESSIBLE ROUTE FROM PUBLIC WAY.
9. 15' x 75' (MIN) LOADING ZONE.
10. METAL GARMENTS - CONSTRUCTION DRAWINGS TO BE SUBMITTED BY VENDOR FOR PERMITTING (NOT IN CONTRACT).
11. CITY RETAINING WALL - SEE CIVIL DRAWINGS FOR MORE INFO.



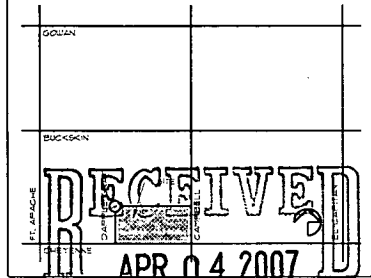
PIPE PROTECTION AT FOOTINGS

2) DETAIL

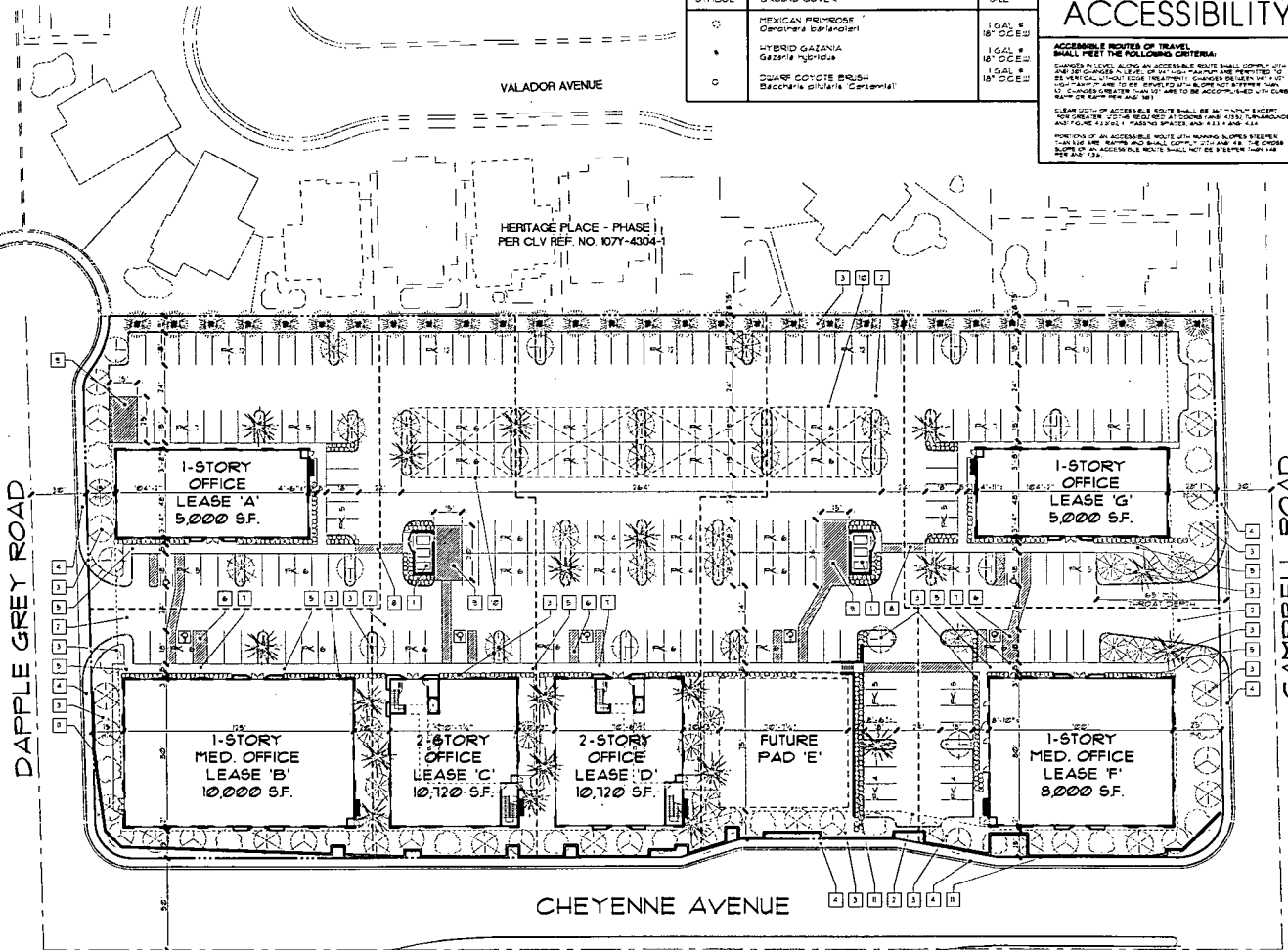
PROJECT DATA

REQUIRED ZONING:	C			
EXISTING ZONING:	C			
AREA SUMMARY				
USE	HEIGHT	AREA		
MEDICAL LEASE 'A'	1-8'0" MAX	5,000 SF.		
MEDICAL LEASE 'B'	1-8'0" MAX	10,000 SF.		
OFFICE LEASE 'C'	2-8'0" MAX	10,120 SF.		
OFFICE LEASE 'D'	2-8'0" MAX	10,120 SF.		
MEDICAL LEASE 'E'	1-8'0" MAX	8,000 SF.		
MEDICAL LEASE 'F'	1-8'0" MAX	8,000 SF.		
TOTAL		43,440 SF.		
USE		AREA	FACTOR	PMG.
REQD OFFICE	20,000 SF.	175		10
REQD OFFICE	10,000 SF.	175		10
OFFICE	14,440 SF.	100		17
		TOTAL:		231
PROVIDED PARKING:	288 SPACES			
SITE ACRES:	10,000 SF. 4.36 ACRES			
BUILDING COVERAGE:	71%			
APR:	138'-00" x 401'-00"			
	138'-00" x 401'-00"			

LOCATION



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SITE PLAN

SCALE: 1" = 30' - 0"

NOTE: SEE DETAIL 2 ON THIS SHEET FOR PROTECTION OF PIPES AT FOOTINGS

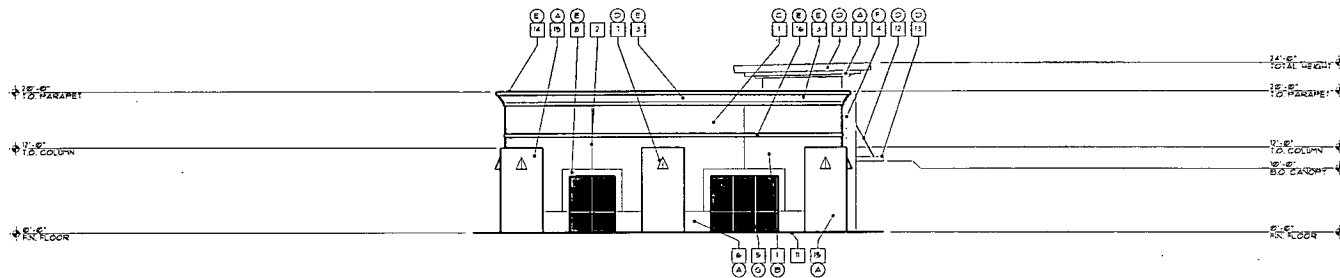
revisions
AKK

JOHN
DAVID
BURKE, ARCHITECT

CHEYENNE WEST
PROFESSIONAL CENTRE
for: FFW, LLC.
City of Las Vegas Nevada

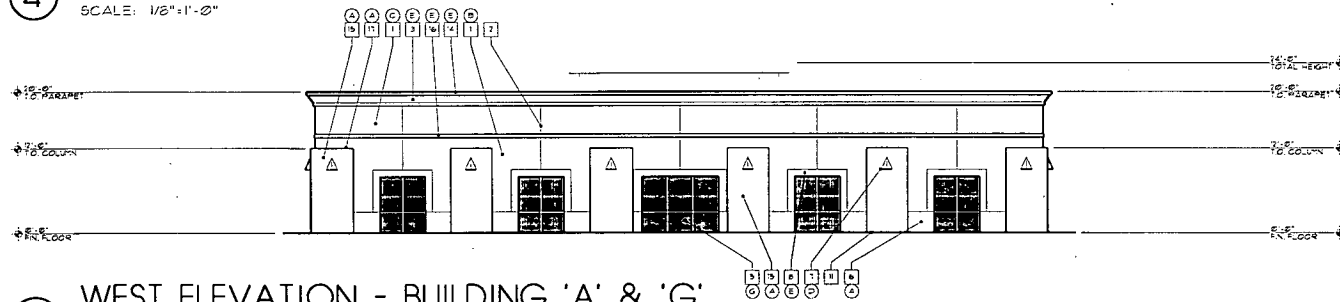
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proj. no.: 0004-11
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chkd. by:

sheet no.:
A1



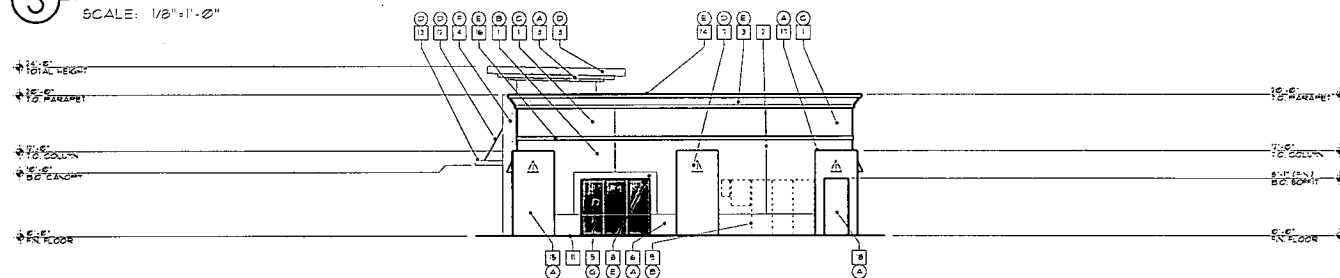
4 SOUTH ELEVATION - BUILDING 'A' NORTH ELEVATION 'G'

SCALE: 1/8"=1'-0"



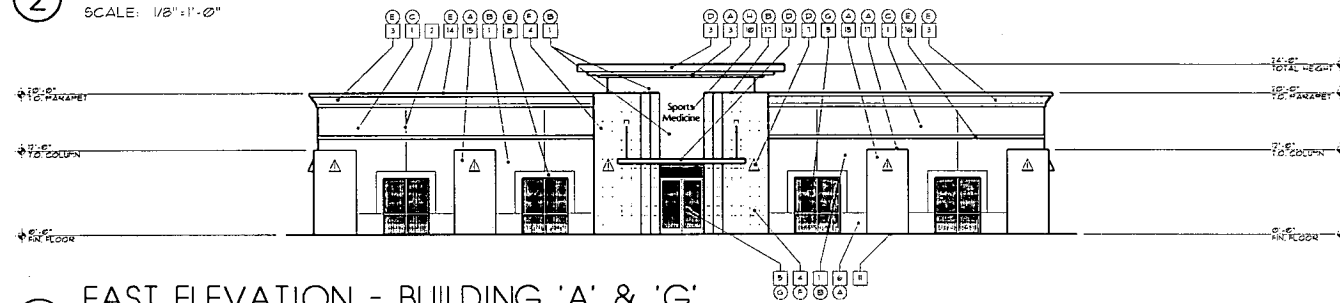
3 WEST ELEVATION - BUILDING 'A' & 'G'

SCALE: 1/8"=1'-0"



2 NORTH ELEVATION - BUILDING 'A' SOUTH ELEVATION BUILDING 'G'

SCALE: 1/8"=1'-0"

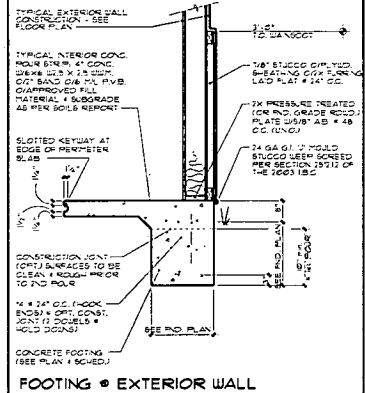


1 EAST ELEVATION - BUILDING 'A' & 'G'

SCALE: 1/8"=1'-0"

KEYNOTES

- 1 SYNTHETIC STUCCO FINISH SYSTEM (INTEGRAL COLOR) ON 2" LAYERS OF GRADE 'D' BUILDING PAPER OVER SHEATHING (SHEATHING VERTICAL KERNEL TO STUCCO CONTROL JOINT - PAINT TO MATCH COLOR SCHEDULE BELOW)
- 2 STUCCO FASCIA/CORNER - SEE DETAILS J & K ON SHEET A31
- 3 SLATE VENEER ATTACHED PER SECTION 1003 OF THE 1003 IBC - SEE DETAIL SHEET 1 COLOR SCHEDULE BELOW
- 4 ALUMINUM STOREFRONT DOOR OR WINDOW - SEE FLOOR PLAN
- 5 7X4 PURRED STUCCO WAINSCOT - SEE DETAIL 5 BELOW
- 6 DECORATIVE LIGHT SCONCE - SEE ELECTRICAL DRAWINGS
- 7 2X10 DECORATIVE STUCCO PLANT-ON
- 8 LOCATION OF SWITCH GEAR (PAINT TO MATCH) - SEE ELEC. DGS
- 9 SIGNAGE - BY OTHERS
- 10 24 GA G.I. STUCCO DEEP SCREED PER SECTION 1003 OF THE 1003 IBC
- 11 1/4" DIA. STEEL SUPPORT ROD FOR METAL LINING - SEE DETAILS
- 12 PAINTED STEEL CANOPY - SEE ROOF PLAN & DETAIL SHEETS
- 13 PARAPET CAP TO BE 1/4" STUCCO OVER BUTYRENE ADHESION PROOFING MEMBRANE OVER 2" STUCCO SHEATHING OVER 2" STUCCO AT 24" O.C. - PITCH 1/4" PER FOOT MINIMUM AWAY FROM BUILDING
- 14 7X4 PURRED STUCCO COLUMN - SEE FLOOR PLAN
- 15 2X6 DECORATIVE STUCCO PLANT-ON
- 16 DOWN GUTTER TO BE 1/4" STUCCO OVER BUTYRENE ADHESION PROOFING MEMBRANE OVER 2" STUCCO SHEATHING OVER 2" STUCCO AT 24" O.C. - PITCH 1/4" PER FOOT MINIMUM AWAY FROM BUILDING
- 17 FIRE SPRINKLER RISER ROOM DOOR - SEE FLOOR PLAN



5 WAINSCOT DETAIL SCALE: 3/4"=1'-0"

COLOR SCHEME

SYN. COLOR/MATERIAL	LOCATION
1 PRAIRIE 676N - YOGHA BROWN	STUCCO DARK FIELD
2 PRAIRIE 675A - COACH HOUSE	STUCCO MEDIUM FIELD
3 PRAIRIE 674M - MEADOW LAKE	STUCCO LIGHT FIELD
4 PRAIRIE 673N - FRENCH RED	METAL LINING ACCENT
5 PRAIRIE 673U - SAUTER'S FENCE	STUCCO TRIM
6 STONE CONNECTION SLATE VENEER	SLATE VENEER
7 ARCADE SLATE VENEER	SLATE VENEER
8 COLOR ANIST A 10' BACKGROUND	SIGNAGE
9 COLOR ANIST A 10' BACKGROUND	SIGNAGE
10 COLOR ANIST A 10' BACKGROUND	SIGNAGE

REVISIONS

john
cauli
burnc. architect

CHEYENNE WEST
PROFESSIONAL CENTRE
for: FFW, LLC.
City of Las Vegas Nevada

date 10/20/2001
proj. no. 10004-41
dwn. by
chkd. by

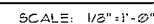
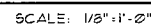
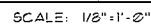
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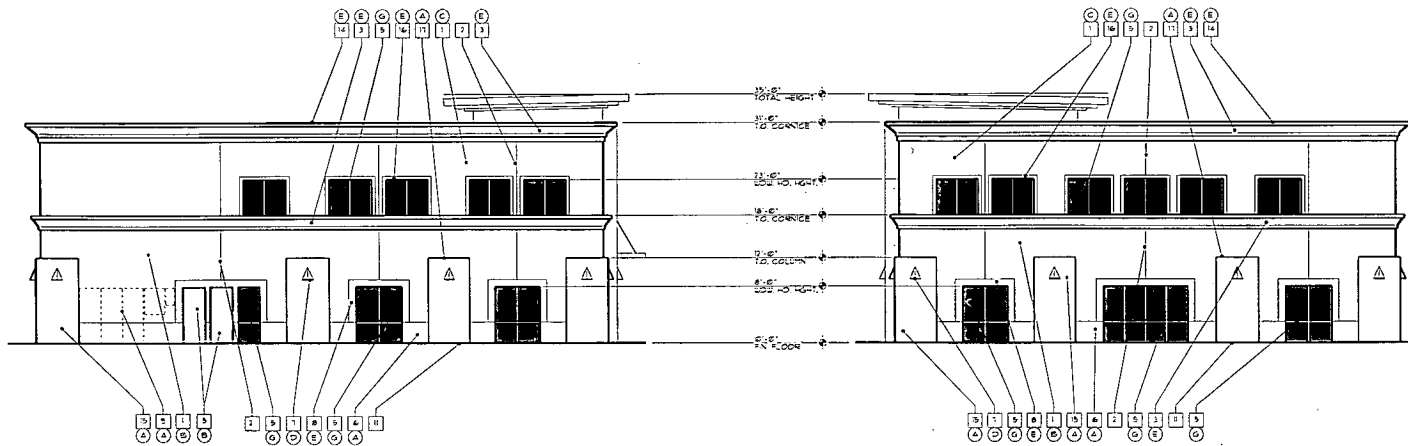
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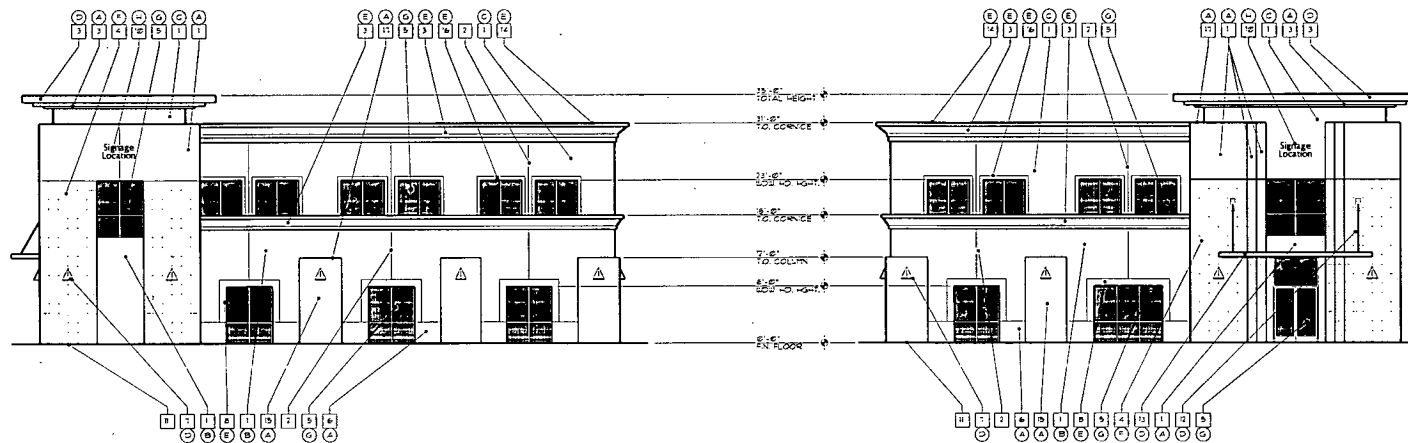
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	chkd. by	

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APR 03 2007



④ NORTH ELEVATION - BUILDING 'C'
SCALE: 1/8"=1'-0" (SOUTH ELEVATION BUILDING 'E' MIRRORED)

③ EAST ELEVATION - BUILDING 'C'
SCALE: 1/8"=1'-0" (BUILDING 'E' MIRRORED)

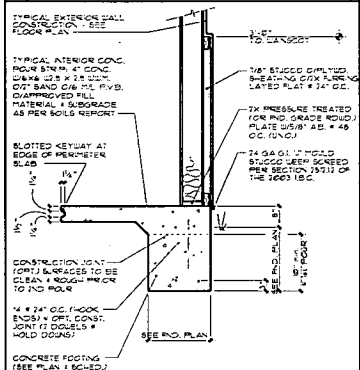


② SOUTH ELEVATION - BUILDING 'C'
SCALE: 1/8"=1'-0" (NORTH ELEVATION BUILDING 'E' MIRRORED)

① WEST ELEVATION - BUILDING 'C'
SCALE: 1/8"=1'-0" (BUILDING 'E' MIRRORED)

KEYNOTES

- description
- 1 SYNTHETIC STUCCO FINISH SYSTEM (INTERIOR COLOR OF 7)
- 2 VERTICAL KEYNOTES TO STUCCO CONTROL JOINT - PAINT TO MATCH COLOR SCHEDULE BELOW
- 3 STUCCO FASCIA/GRACE - SEE DETAIL 6 ON SHEET A35
- 4 SLATE VENEER ATTACHED PER SECTION 1455 OF THE 2003 IBC - SEE DETAIL SHEET 4 COLOR SCHEDULE BELOW
- 5 ALUMINUM STOREFRONT WINDOW OR DOOR
- 6 7X4 FURRED STUCCO WAINSCOT - SEE DETAIL 5 BELOW
- 7 DECORATIVE LIGHT SCOTCH
- 8 7X7 DECORATIVE STUCCO PLANT-ON
- 9 LOCATION OF SWITCH GEAR (PAINT TO MATCH) - SEE ELECT. DUGS
- 10 SIGNAGE - BY OTHERS
- 11 74 GA. G.I. STUCCO DEEP SCOTCH PER SECTION 1912 OF THE 2003 IBC
- 12 1/2" DIA. STEEL SUPPORT ROD FOR METAL LINING - SEE DETAILS
- 13 PAINTED STEEL CANOPY - SEE ROOF PLAN + DETAIL 5-BEATS
- 14 PARAPET CAP TO BE 7X12 STUCCO OVER 1/2" THICK 4800 WATER PROOFING MEMBRANE OVER 1/2" THICK SHEATHING OVER INSULATION AT 24" O.C. - MATCH 1/4" PER FOOT MINIMUM AWAY FROM BUILDING
- 15 7X6 FURRED STUCCO COLUMN - SEE FLOOR PLAN
- 16 7X6 DECORATIVE STUCCO PLANT-ON
- 17 COLUMN CAP TO BE 7X12 STUCCO OVER 1/2" THICK 4800 WATER PROOFING MEMBRANE OVER 1/2" THICK SHEATHING OVER INSULATION AT 24" O.C. - MATCH 1/4" PER FOOT MINIMUM AWAY FROM BUILDING



FOOTING • EXTERIOR WALL

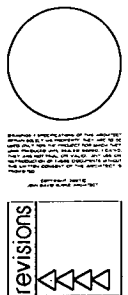
⑤ WAINSCOT DETAIL

SCALE: 3/4"=1'-0"

COLOR SCHEME

Sym.	Color/Material	Location
①	PAZZE 876N - MOCHA BROWN	STUCCO DARK FIELD
②	PAZZE 875A - COACH HOUSE	STUCCO MEDIUM FIELD
③	PAZZE 872M - HEADQUARTERS	STUCCO LIGHT FIELD
④	PAZZE 873N - FRENCH RED	METAL LINING ACCENT
⑤	PAZZE 873W - GARDEN'S FENCE	STUCCO TRIM
⑥	STONE CONNECTION SLATE 516 CONTACT 162-135-936	SLATE VENEER
⑦	ARCADIA STANDARD MEDIUM BRONZE 35-5 ANODIZED BRASS	STOREFRONT FRAMES
⑧	GLAZING	GLAZING
⑨	GLAZING	GLAZING
⑩	GLAZING	GLAZING
⑪	GLAZING	GLAZING
⑫	GLAZING	GLAZING
⑬	GLAZING	GLAZING
⑭	GLAZING	GLAZING
⑮	GLAZING	GLAZING
⑯	GLAZING	GLAZING
⑰	GLAZING	GLAZING
⑱	GLAZING	GLAZING
⑲	GLAZING	GLAZING
⑳	GLAZING	GLAZING
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APR 03 2007



revisions

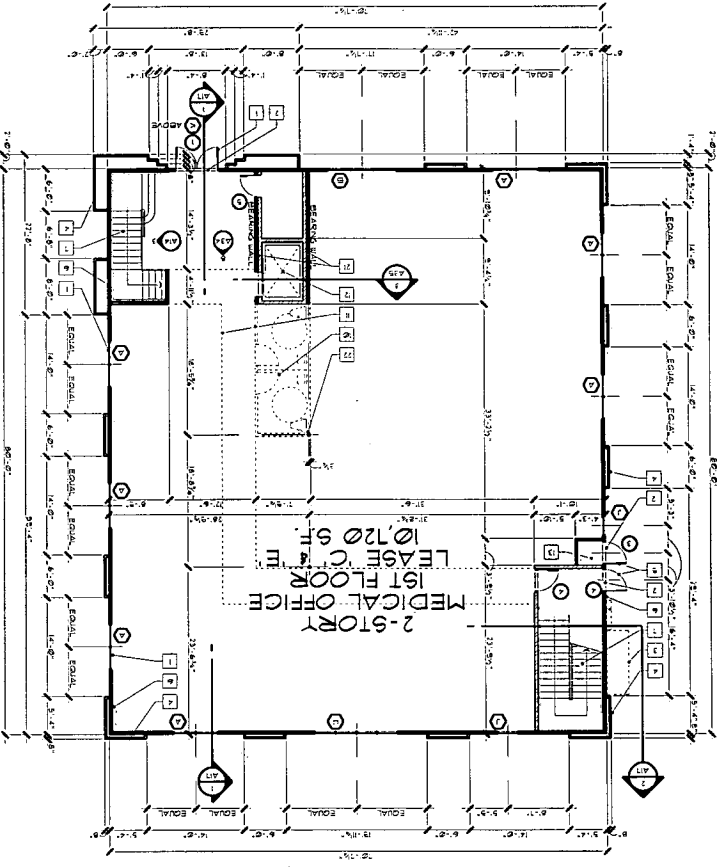
john
danielle
burne, architect

CHEYENNE WEST
PROFESSIONAL CENTRE
for: FFW, LLC.
City of Las Vegas, Nevada

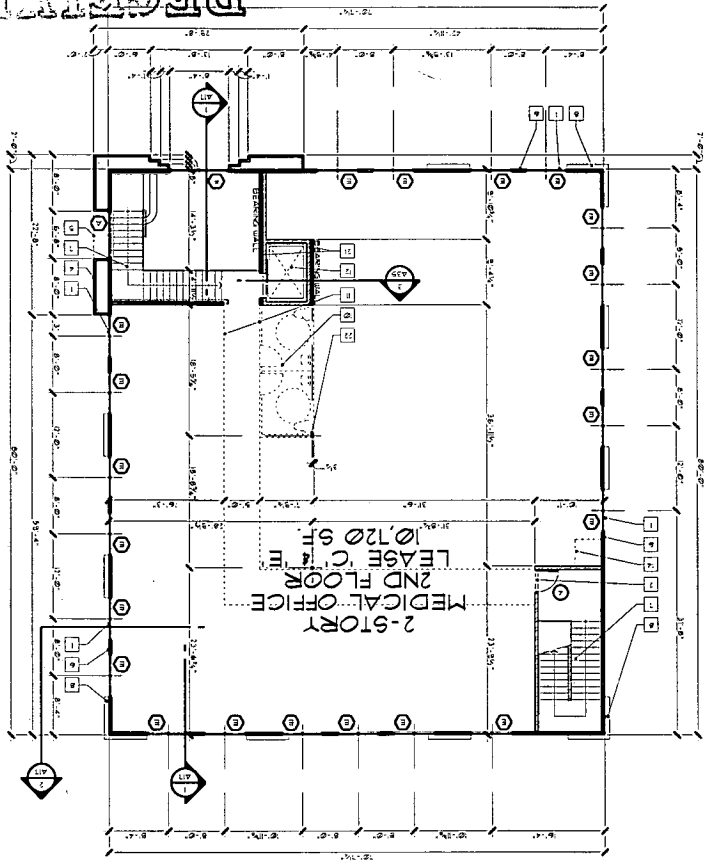
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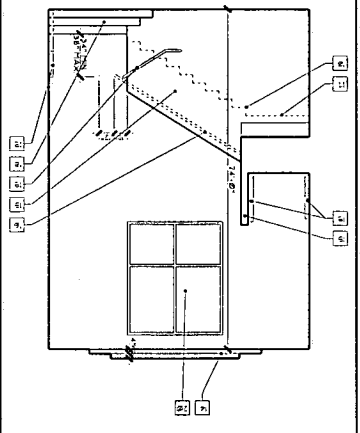
① 1st FLOOR PLAN - BUILDING 'C'
5,648 S.F.
TOTAL - 10,720 S.F.
SCALE: 1/8"=1'-0"



② 2nd FLOOR PLAN - BUILDING 'C'
5,072 S.F.
TOTAL - 10,720 S.F.
SCALE: 1/8"=1'-0"



③ INT. ELEVATION
SCALE: 1/4"=1'-0"
WALL LEGEND



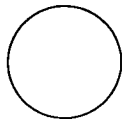
description	KEYNOTES
1. ALUMINUM STOREFRONT DOORS - SEE SCHEDULE & BEST	
2. ALUMINUM THRESHOLD - SEE DETAIL A ON SHEET A1 (TYPICAL)	
3. TELEPHONE AND ELECTRICAL SERVICES - SEE ELECTRICAL DRAWINGS	
4. FINISHED STUCCO EXTERIOR WALLS	
5. LINE OF ROOF RAYONS - SEE REFLECTED CEILING PLAN	
6. TYPICAL EXTERIOR WALL CONSTRUCTION - SEE WALL LEGEND SECTION	
7. GOOD STAIR CONSTRUCTION - SEE PLANS & DETAILS ON SHEET A1	
8. STUCCO OVER/UNDER LATH - SEE DETAIL B ON SHEET A1	
9. FINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
10. METAL DOOR - SEE DOOR & WINDOW SCHEDULE SHEET	
11. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
12. DASHED LINE OF UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
13. ELEVATOR - SEE DETAILS ON SHEET A1	
14. LOOK WATER FINE RISER ROOM - SEE TO BE (1) LATHING OF 1/2" LATH ON 1/2" GYPSUM BOARD WITH 1/2" GYPSUM BOARD OVER LATHING	
15. 1/2" GYPSUM BOARD OVER LATHING - SEE REFLECTED CEILING PLAN	
16. 1/2" GYPSUM BOARD OVER LATHING - SEE REFLECTED CEILING PLAN	
17. DASHED LINE OF UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
18. TYPICAL STAIR CONSTRUCTION - SEE DETAIL B ON SHEET A1	
19. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
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71. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
72. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
73. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
74. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
75. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
76. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
77. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
78. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
79. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
80. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
81. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
82. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
83. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
84. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
85. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
86. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
87. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
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93. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
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97. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
98. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
99. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	
100. UNFINISHED EXTERIOR WALL CONSTRUCTION - SEE DETAIL B ON SHEET A1	

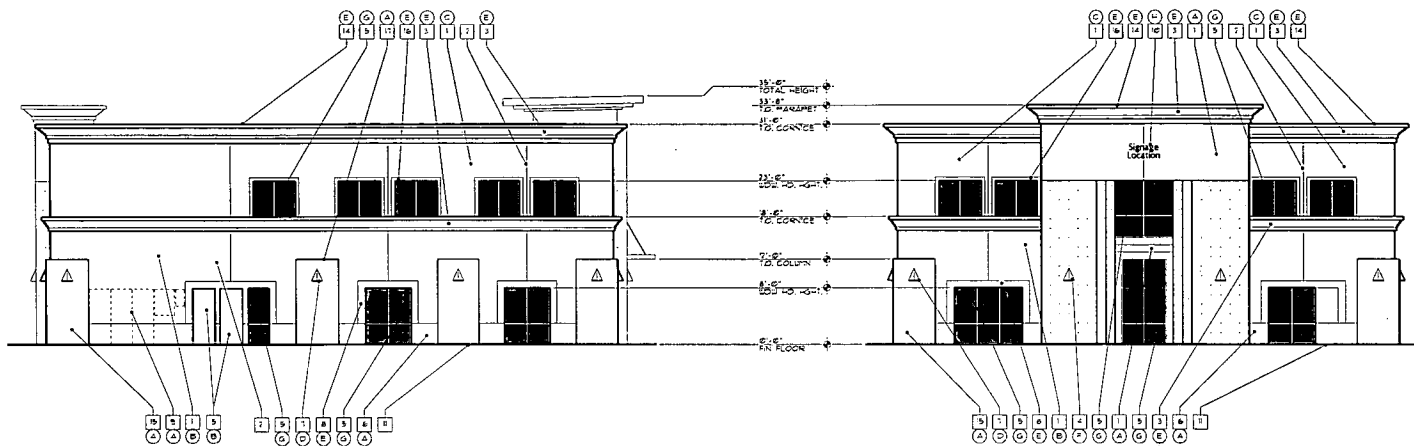
Sheet no. A14
date 07/04
proj. no. 0004-1
dwn. by
chkd. by

CHEYENNE WEST
PROFESSIONAL CENTRE
for FFPJ, LLC
City of Las Vegas Nevada

JOHN
DAHL
architect
3471 WEST GODDARD RD. #201 LAS VEGAS, NV 89118 (702) 251-4883

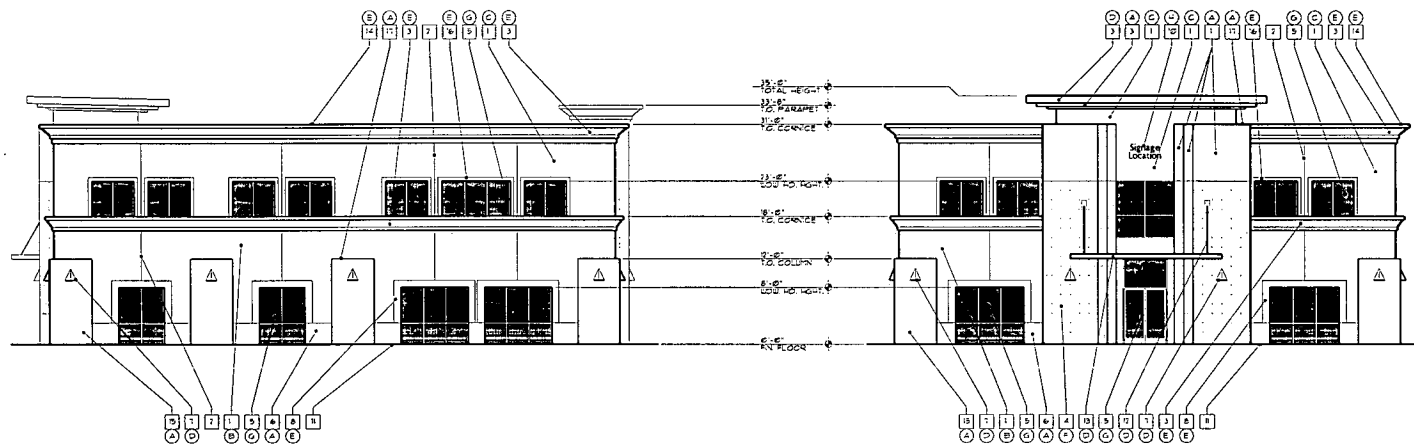
revisions





④ NORTH ELEVATION - BUILDING 'D'
SCALE: 1/8"=1'-0"

③ EAST ELEVATION - BUILDING 'D'
SCALE: 1/8"=1'-0"

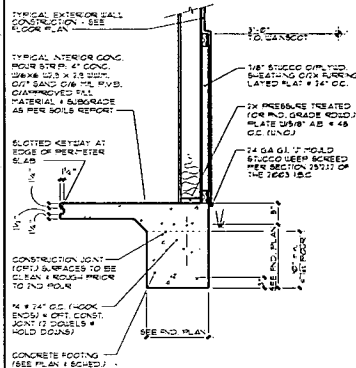


② SOUTH ELEVATION - BUILDING 'D'
SCALE: 1/8"=1'-0"

① WEST ELEVATION - BUILDING 'D'
SCALE: 1/8"=1'-0"

KEYNOTES

- 1 SYNTHETIC STUCCO FINISH SYSTEM, INTEGRAL COLOR ONLY
- 2 VERTICAL KEENE "B" STUCCO CONTROL JOINT - PAINT TO MATCH COLOR SCHEDULE BELOW
- 3 STUCCO PARASOL/SCREEN - SEE DETAIL 6 ON SHEET A30
- 4 SLATE VENEER ATTACHED PER SECTION 1009 OF THE 2003 IBC - SEE DETAIL SHEET 1 COLOR SCHEDULE BELOW
- 5 ALUMINUM STOREFRONT WINDOW OR DOOR
- 6 2X4 FLURRED STUCCO WAINSCOT - SEE DETAIL 5 BELOW
- 7 DECORATIVE LIGHT SCOOGE
- 8 2X2 DECORATIVE STUCCO PLANT-ON
- 9 LOCATION OF SWITCH GEAR (PLANT TO MATCH) - SEE ELECT. DUGS
- 10 SIGNAGE - BY OTHERS
- 11 24 GA. G.I. STUCCO DEEP SCREEN PER SECTION 1009 OF THE 2003 IBC
- 12 1/2" DIAM. STEEL SUPPORT ROD FOR METAL AWNING - SEE DETAILS
- 13 PAINTED STEEL CANOPY - SEE ROOF PLAN & DETAIL SHEETS
- 14 PARASOL CAP TO BE 1/8" STUCCO OVER 1/2" 4000 WATER PROOFING MEMBRANE OVER STUCCO SHEATHING OVER FRAMING AT 24" O.C. - HITCH 1/4" PER FOOT MINIMUM AWAY FROM BUILDING
- 15 2X FLURRED STUCCO COLUMN - SEE FLOOR PLAN
- 16 2X6 DECORATIVE STUCCO PLANT-ON
- 17 COLUMN CAP TO BE 1/8" STUCCO OVER 1/2" 4000 WATER PROOFING MEMBRANE OVER STUCCO SHEATHING OVER FRAMING AT 24" O.C. - HITCH 1/4" PER FOOT MINIMUM AWAY FROM BUILDING



FOOTING • EXTERIOR WALL

⑤ WAINSCOT DETAIL

SCALE: 3/4"=1'-0"

COLOR SCHEME

Sym.	Color/Material	Location
①	PAZZE 876N - MOCHA BROWN	STUCCO DARK FIELD
②	PAZZE 875A - COACH HOUSE	STUCCO PLASTER
③	PAZZE 874M - HEADQUARTERS	STUCCO LIGHT FIELD
④	PAZZE 873M - FRENCH RED	METAL AWNING ACCENT
⑤	PAZZE 873M - SAUTER'S FENCE	STUCCO TRIM
⑥	STONE CONNECTION SLATE 518	SLATE VENEER
⑦	CONTACT: 102-135-3566	
⑧	PARASOL STANDARD SYSTEM BRONZE AB'S ANCHORED FRAMES	STOREFRONT FRAMES
⑨	BRONZE REFLECTIVE ON T. DRIPAGE	SLAZING
⑩	COLOR 'A' AGAINST COLOR 'B' AGAINST COLOR 'C' AGAINST	



REVISIONS
A
B
C

jonni dani burke. archtcl
3471 WEST COQUENDO RD. #201 LAS VEGAS, NV 89118 (702) 276-4563

CHEYENNE WEST PROFESSIONAL CENTRE
for: FFRU, LLC.
City of Las Vegas Nevada

date
proj. no.
dwn. by
chkd. by

sheet no.
A18

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APR 03 2007



SCALE: 1/8" = 1'-0"

5.643 S.F.

TOTAL = 10,720 S.F.



SCALE: 1/8" = 1'-0"

5.077 S.F

TOTAL = 10,720 S.F.

RECEIVED
APR 03 2007

1. WORK SHOWN WILL CONSTRUCTION OF 2X6 STUDS @ 16" OC
MEANS FILE NO. OF 2ND OF THE GYMNASIUM ANCHOR FIRE
RESISTANCE DESIGN MANUAL - 16TH EDITION

2. EX. EXTERIOR BUILD-OUT, 2X6 STUDS FINISH GYPSUM BOARD
MEANS ONE-SIDE-ANCHOR 2X6 STUDS @ 16" OC

3. 2X6 GYP. BO. FINISH AT EACH SIDE OF 1X4 STUDS AT 24" OC

4. 2X6 STUDS GYPSUM BOARD HEREIN ONE-SIDE-ANCHOR 2X6
STUDS @ 16" OC AND 8" R-13 INSULATION AT ALL EXTERIOR
WALLS (1" TYPE X GYP. BO. TO BE INSTALLED AT INTERIOR
FACE OF EXTERIOR TYPICAL)

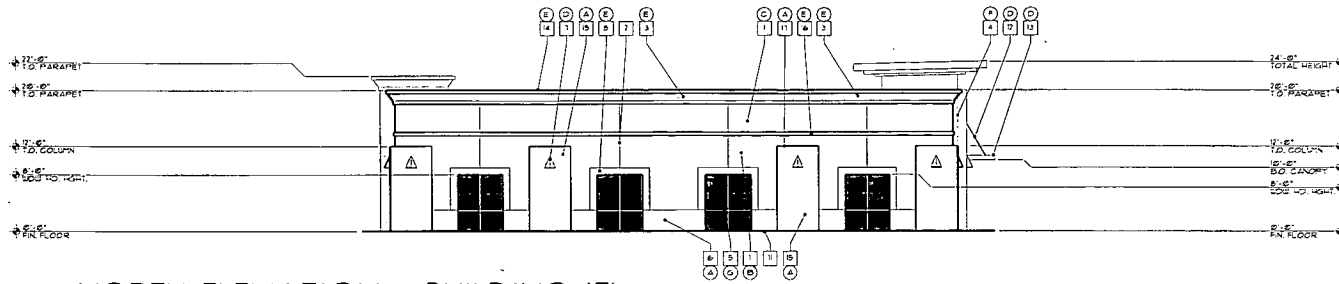
5. FINISH W/ 1/2" INTL. STUDS @ 24" OC 2X6 GYP. BOARD
EACH SIDE PRE-INSTALLED (SEE TEXT) OF THE 16TH EDITION
DETAILS @ 8" O.C.

revisions

john
david
burke. archived

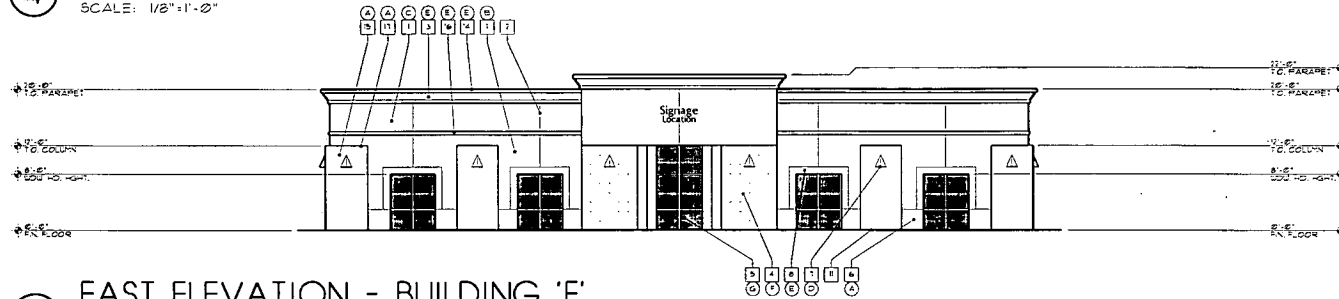
**CHEYENNE WEST
PROFESSIONAL CENTRE**
for: FFPW, LLC.
City of Las Vegas Nevada

sheet no.	A19
date	12/3/2016
proj. no.	2006-41
drwn. by	
chkd. by	



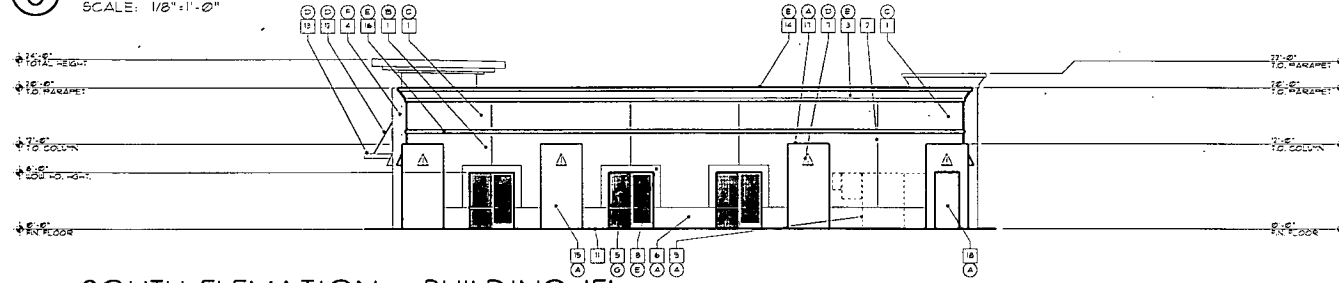
4 NORTH ELEVATION - BUILDING 'F'

SCALE: 1/8"=1'-0"



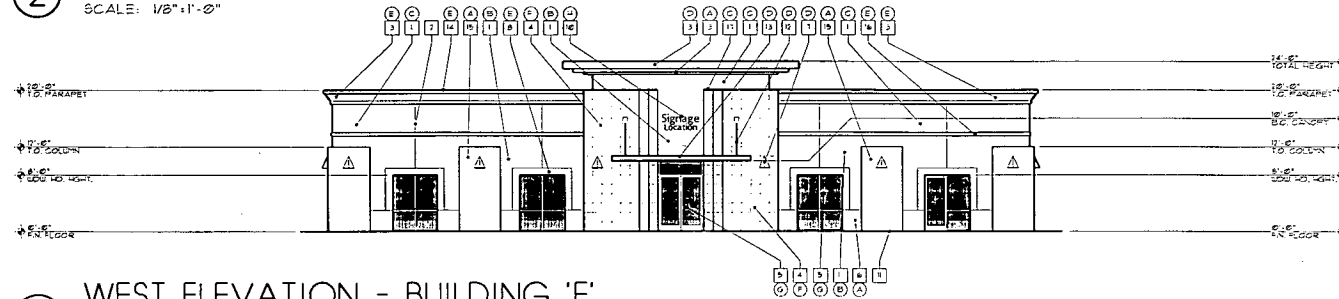
3 EAST ELEVATION - BUILDING 'F'

SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - BUILDING 'F'

SCALE: 1/8"=1'-0"

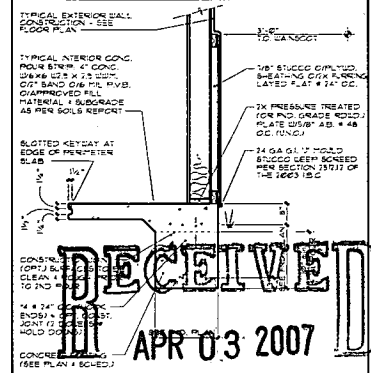


1 WEST ELEVATION - BUILDING 'F'

SCALE: 1/8"=1'-0"

KEYNOTES

- 1 SYNTHETIC STUCCO FINISH SYSTEM UNPAINTED COLOR 0122
- 2 LAYERS OF GRADE 0 BUILDING PAPER OVERHEATING GARMENT
- 3 VERTICAL KEENE'S STUCCO CONTROL JOINT - PAINT TO MATCH COLOR SCHEDULE BELOW
- 4 STUCCO PASCIA/CORNER - SEE DETAIL 5 ON SHEET A10
- 5 SLATE VENEER ATTACHED PER SECTION 14203 OF THE 2003 IBC
- 6 ALUMINUM STONEFRONT DOOR OR WINDOW
- 7 2X4 FURRED STUCCO WAINSCOT - SEE DETAIL 5 BELOW
- 8 DECORATIVE LIGHT SCOTCH
- 9 2X2 DECORATIVE STUCCO PLANT-ON
- 10 LOCATION OF SWITCH GEAR (PAINT TO MATCH) - SEE ELECT. DUGS
- 11 SIGNAGE - BY OTHERS
- 12 24 GA G1 STUCCO WEEP SCREED PER SECTION 15012 OF THE 2003 IBC
- 13 1/2" DIAM. STEEL SUPPORT ROD FOR METAL LINING - SEE DETAILS
- 14 PARAPET CAP TO BE 1/2" STUCCO OVERBURNISH 4500 WATER PROOFING MEMBRANE OVER STUCCO SHEETING OVER INSULATION AT 24" OC - MATCH STUCCO 1/4" PER FOOT MINIMUM TOWARD ROOF
- 15 2X4 FURRED STUCCO COLUMN - SEE FLOOR PLAN
- 16 2X6 DECORATIVE STUCCO PLANT-ON
- 17 COLUMN CAP TO BE 1/2" STUCCO OVERBURNISH 4500 WATER PROOFING MEMBRANE OVER STUCCO SHEETING OVER INSULATION AT 24" OC - MATCH 1/4" PER FOOT MINIMUM AWAY FROM BUILDING
- 18 FIRE SPRINKLER RISER ROOM DOOR - SEE FLOOR PLAN



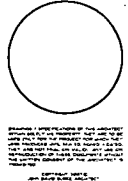
FOOTING • EXTERIOR WALL

5 WAINSCOT DETAIL

SCALE: 3/4"=1'-0"

COLOR SCHEME

Sum	Color/Material	Location
1	FRATZEE 8724N - MODA BROWN	STUCCO DARK FIELD
2	FRATZEE 8725A - COACH HOUSE	STUCCO MEDIUM FIELD
3	FRATZEE 8724N - HEADQUARTERS	STUCCO LIGHT FIELD
4	FRATZEE 8724N - FRENCH KID	METAL LINING ACCENT
5	FRATZEE 8724N - SARTER'S FENCE	STUCCO 1901
6	STONE CONNECTION SLATE 318	SLATE VENEER
7	CONTACT 103-139-3186	CONTACT
8	ARCADIA STANDARD MEDIUM BRONZE AB-9 ANODIZED FRAMES	STONEFRONT FRAMES
9	BRONZE REFLECTIVE ON 2 SURFACE	GLAZING
10	COLOR 'A' AGAINST 'C' BACKGROUND	SIGNAGE
11	COLOR 'B' AGAINST 'A' BACKGROUND	
12	COLOR 'C' AGAINST 'A' BACKGROUND	



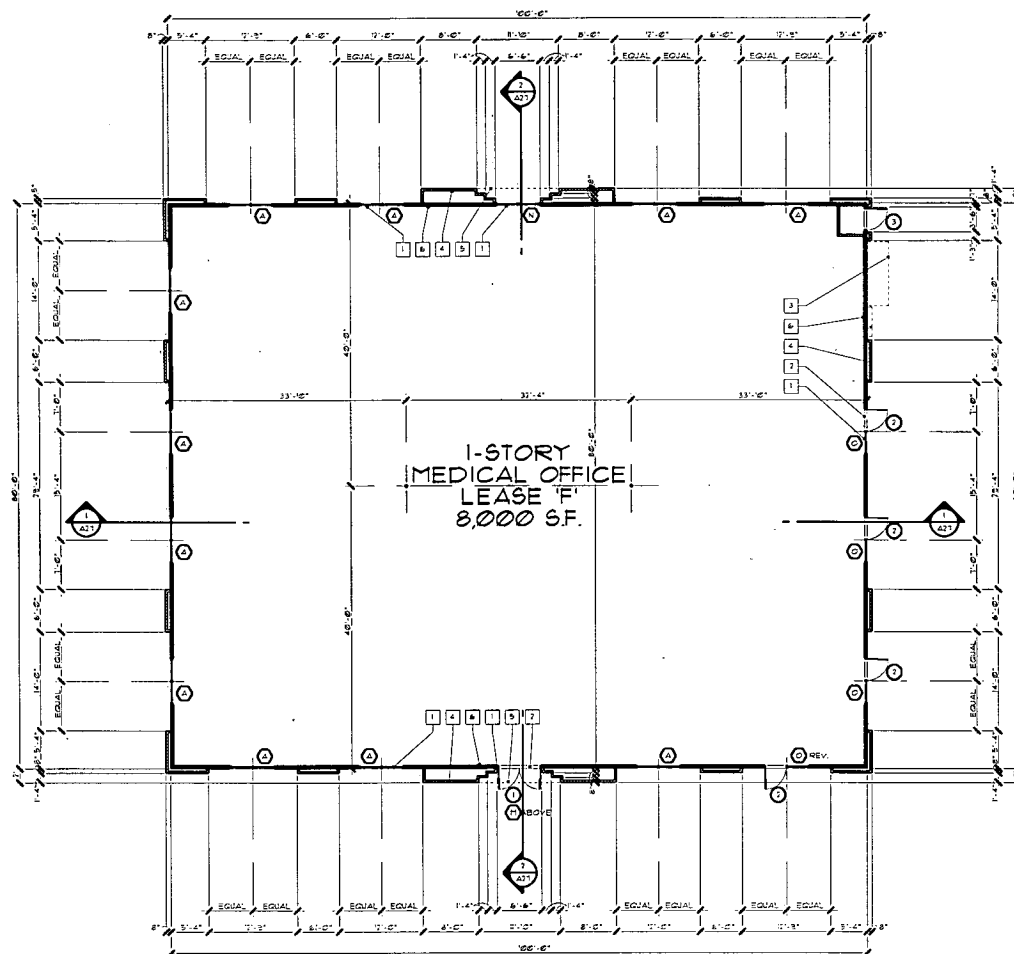
revisions

John Dume, Architect
3471 WEST COGNAC RD. #200 LAS VEGAS, NV 89118 (702) 936-4553

CHEYENNE WEST
PROFESSIONAL CENTRE
for: FFPW, LLC.
City of Las Vegas Nevada

date: 12/10/07
proj. no.: 0004-01
drwn. by:
chkd. by:

sheet no.
A23



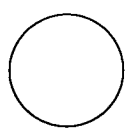
KEYNOTES	
#	description
1	ALUMINUM STOREFRONT DOORS / WINDOWS - SEE SCHEDULE SHEET
2	ALUMINUM THRESHOLD - PER DETAIL 4 ON SHEET A2 (TYPICAL)
3	TELEPHONE AND ELECTRICAL SERVICES - SEE ELECTRICAL CHASINGS
4	2X FLURRED STUCCO COLUMN
5	LINE OF SOFFIT ABOVE - SEE REFLECTED CEILING PLAN
6	TYPICAL EXTENSION WALL CONSTRUCTION - SEE WALL LEGEND BELOW
7	100% RATED FIRE RATED ROOF - SLG TO BE (T/L) LATER OF 30" TYPICAL 2" X 4" BRG. JOIST @ 16" O.C. MIN. INSULATION AND 2" GABLE TRUSS @ 16" O.C. PROVIDE ROOF WITH FREEZE AND EJECTION HEATER

WALL LEGEND	
1	100% EXTERIOR BUILD-OUT: 2" STUCCO FINISH OVERBACKED LEADERS OR GASTING OVER 4" STUCCO @ 5" O.C.
2	100% STUCCO OVERBACKED LEADERS OR GASTING OVER 4" STUCCO @ 5" O.C. AND 4" O.C. MIN. INSULATION AT ALL EXTERIOR WALLS 100% STUCCO TO BE INSTALLED AT EXTERIOR FACE OF FINISH FINISH
3	100% STUCCO OVERBACKED LEADERS OR GASTING OVER 4" STUCCO @ 5" O.C. AND 4" O.C. MIN. INSULATION AT ALL EXTERIOR WALLS 100% STUCCO TO BE INSTALLED AT EXTERIOR FACE OF FINISH FINISH

WALL LEGEND	
1	100% EXTERIOR BUILD-OUT: 2" STUCCO FINISH OVERBACKED LEADERS OR GASTING OVER 4" STUCCO @ 5" O.C.
2	100% STUCCO OVERBACKED LEADERS OR GASTING OVER 4" STUCCO @ 5" O.C. AND 4" O.C. MIN. INSULATION AT ALL EXTERIOR WALLS 100% STUCCO TO BE INSTALLED AT EXTERIOR FACE OF FINISH FINISH
3	100% STUCCO OVERBACKED LEADERS OR GASTING OVER 4" STUCCO @ 5" O.C. AND 4" O.C. MIN. INSULATION AT ALL EXTERIOR WALLS 100% STUCCO TO BE INSTALLED AT EXTERIOR FACE OF FINISH FINISH

1 FLOOR PLAN - BUILDING 'F'
SCALE: 1/8" = 1'-0"

8,000 S.F.



John Aquilino Burke Architects
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CHEYENNE WEST
PROFESSIONAL CENTRE
for: FFW, LLC.
City of Las Vegas Nevada

date	proj. no.	drawn by	chkd. by
10/2/06	1006-01		

sheet no.
A24

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APR 03 2007

Memo

10/09/14

- The Planning Department Staff administratively approved a request for an amended parking-lot striping plan associated with Site Development Plan Review (SDR-18660) which increased the overall parking provided on-site from 267 parking spaces to 278 parking spaces by incorporating 65 (23%) compact spaces. The revised parking design complies with Title 19.08.110 standards.
(See revised Site Plan date stamped 10/09/14)

Jonathan Boyles 10/09/14

A handwritten signature in black ink, appearing to read "Jonathan Boyles", followed by the date "10/09/14". The signature is written over a horizontal line.

Memo

10/09/14

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(See revised Site Plan date stamped 10/09/14)

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