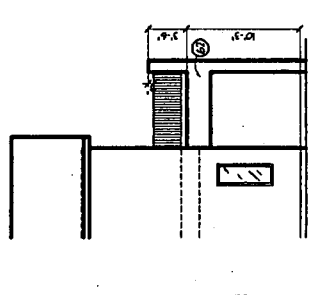
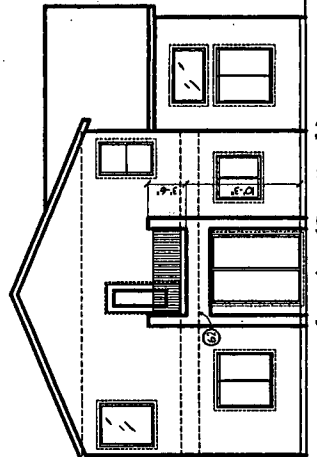
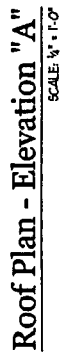
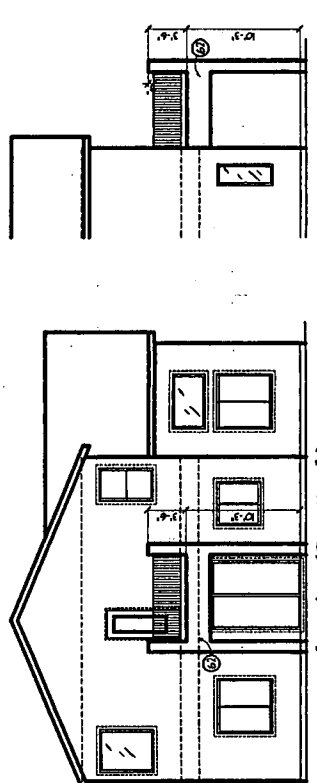


Plans (Elevations)

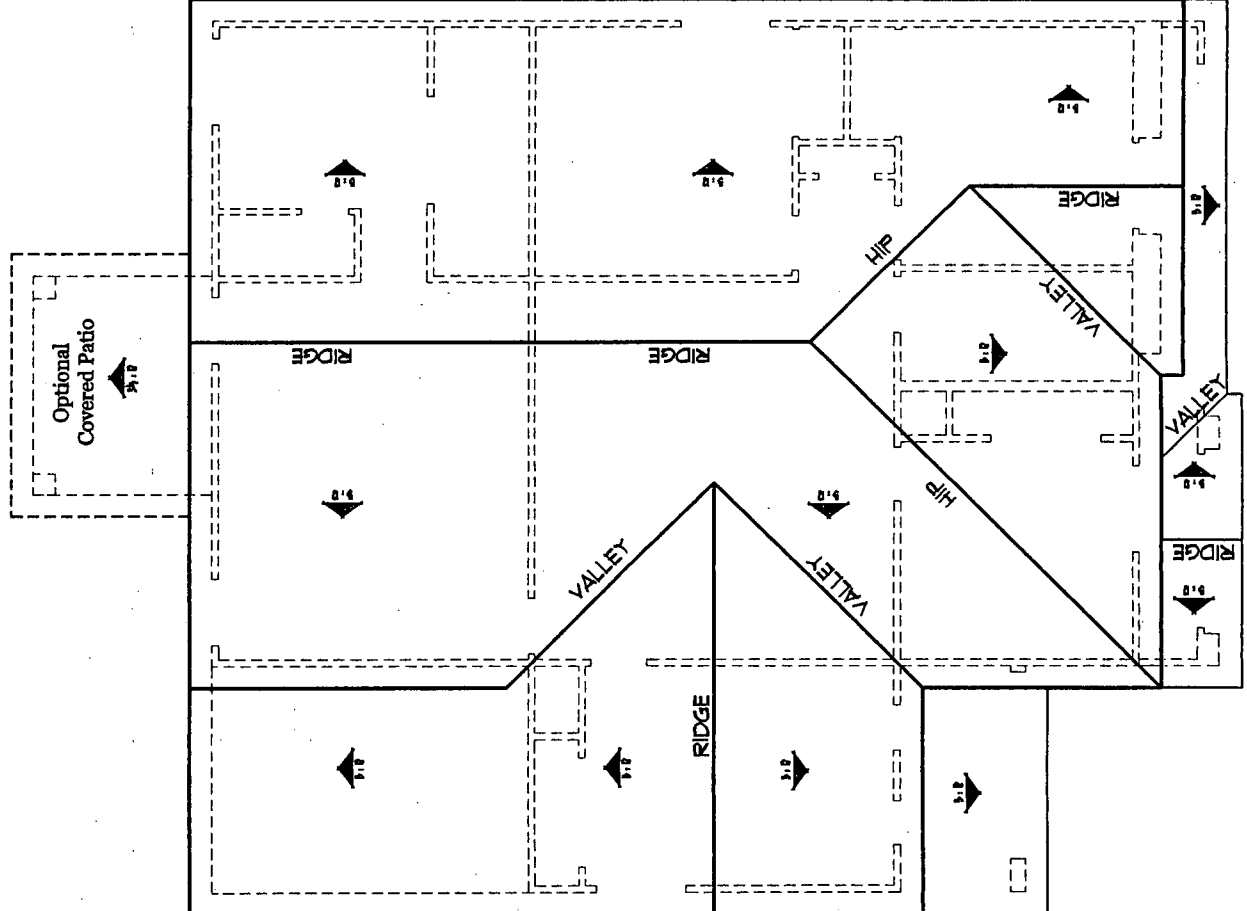
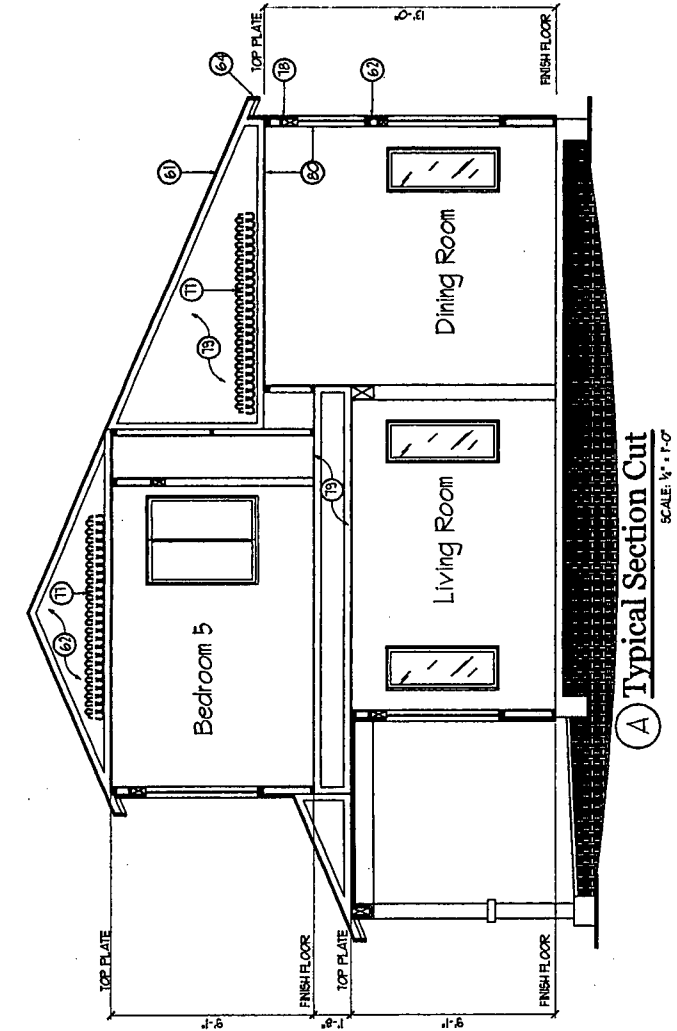


Separator Sheet

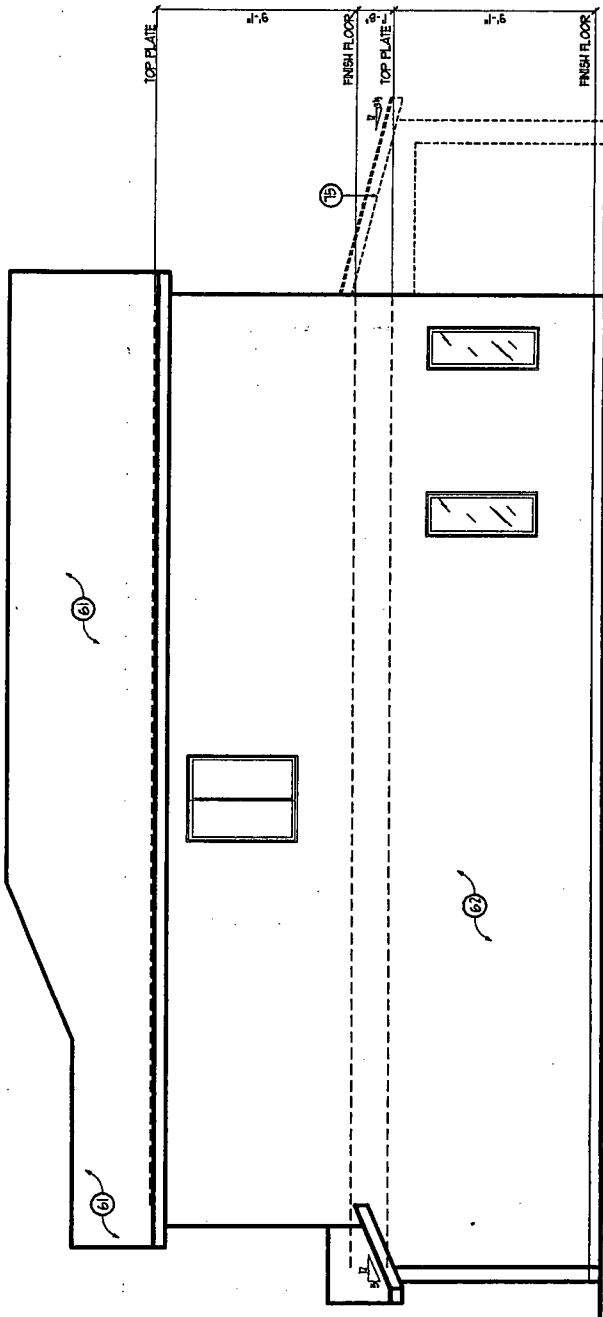
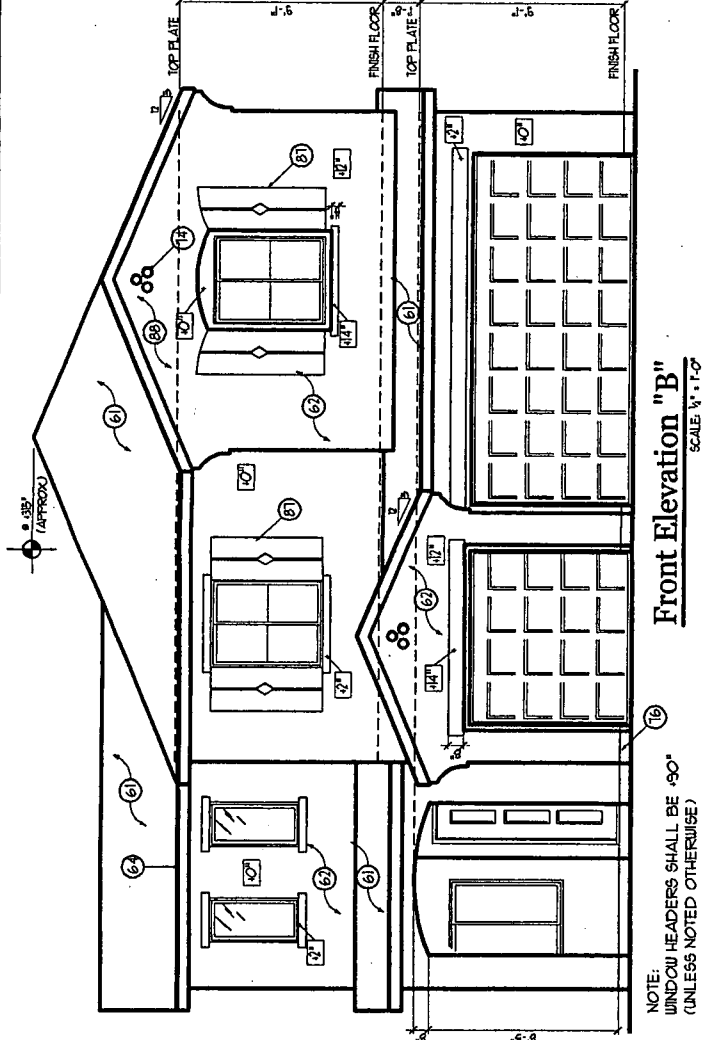
ED 02/08/07 PC



ZON-17693 **SDR-17694**
REVISED **02/08/07 PC**

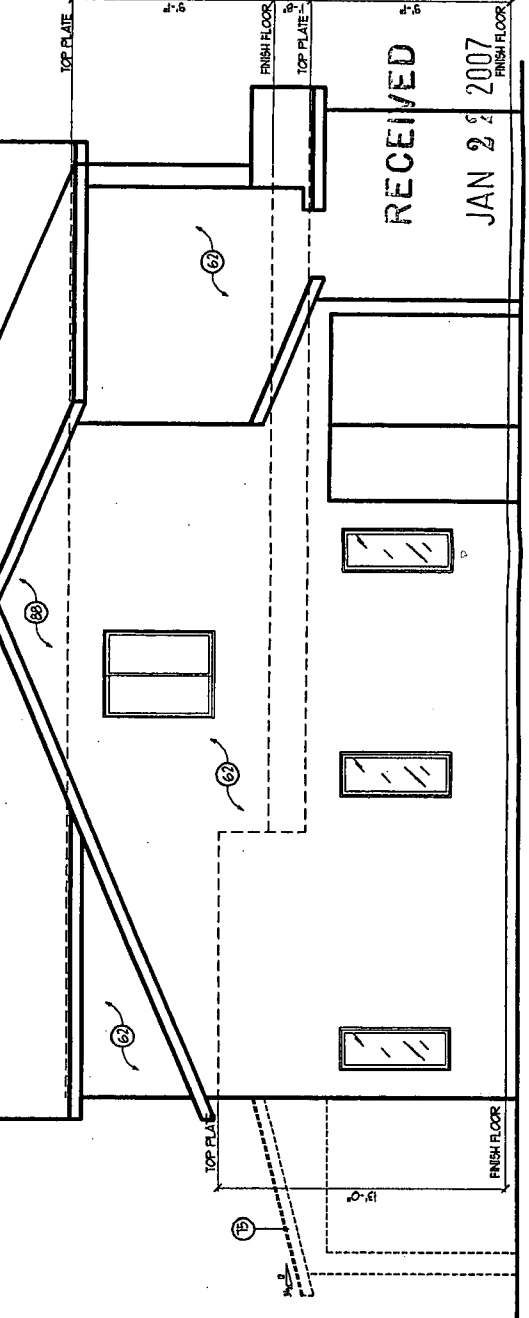


Roof Plan - Elevation "B"
SCALE: 1/4" = 1'-0"



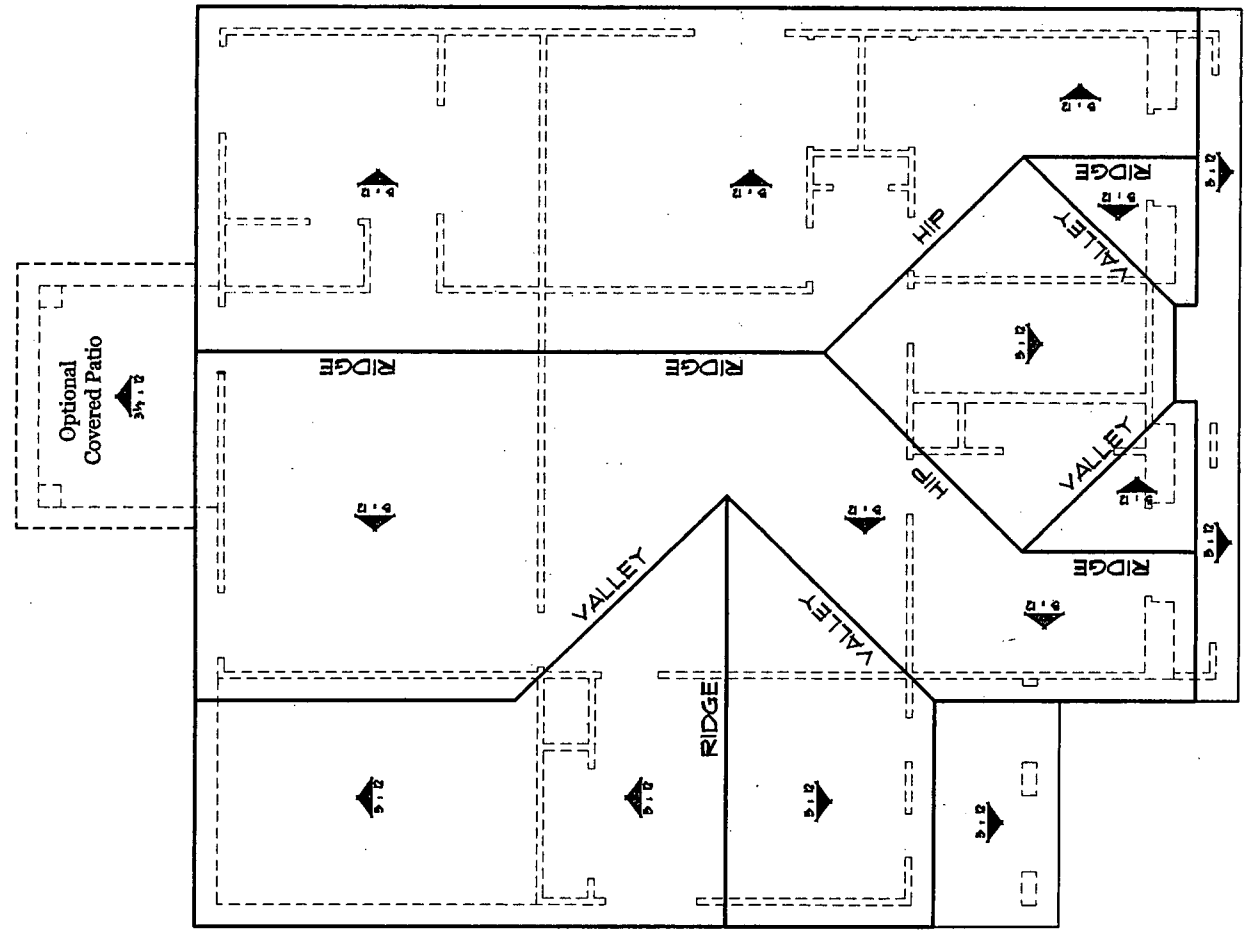
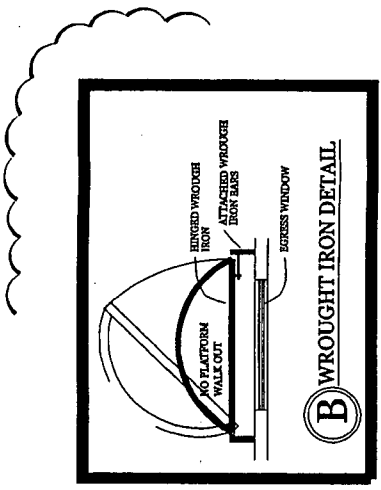
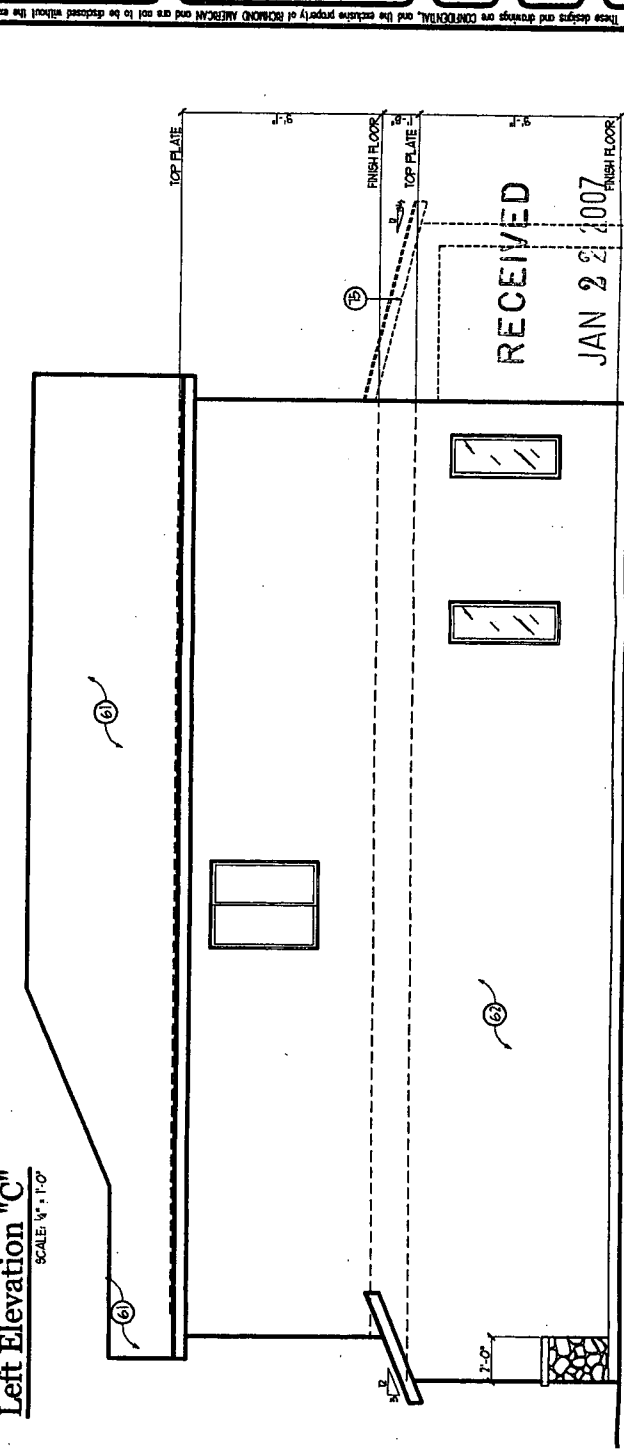
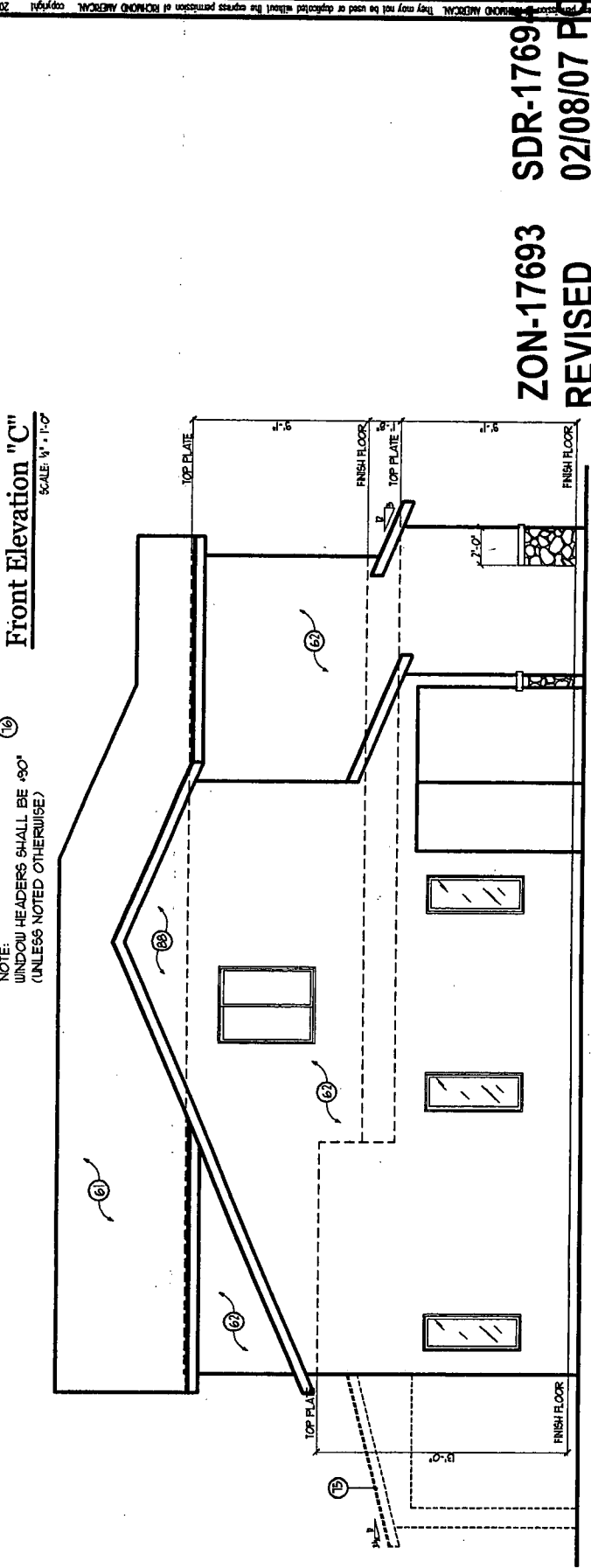
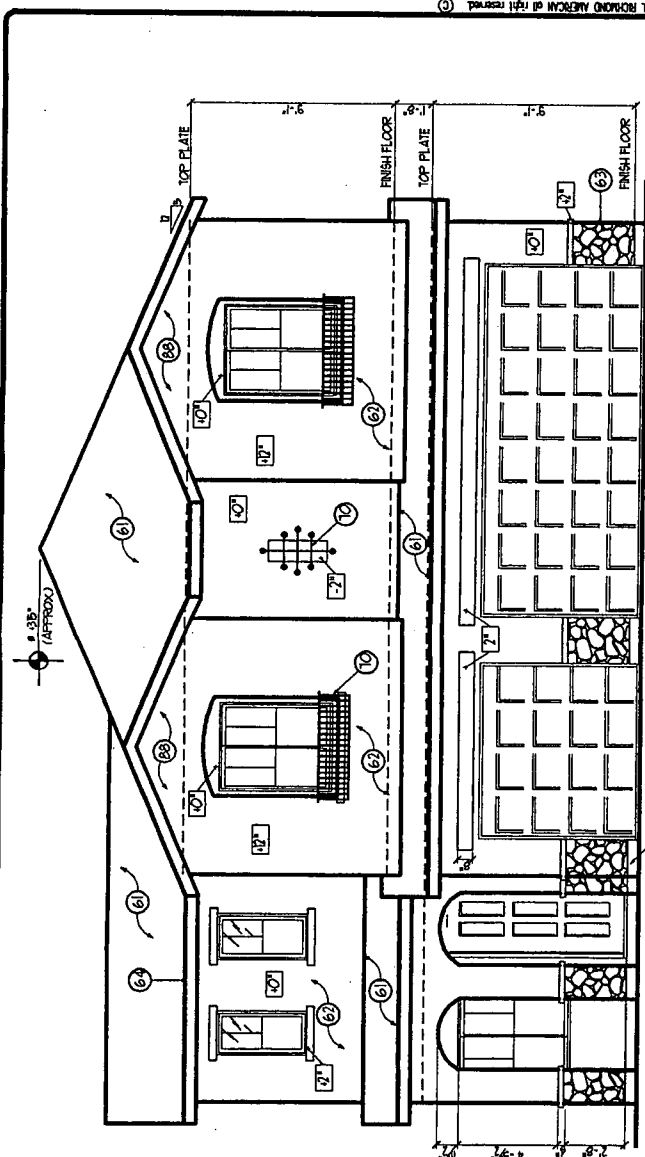
Right Elevation "B"
SCALE: 1/4" = 1'-0"

ZON-17693 SDR-17694
REVISED 02/08/07 P01

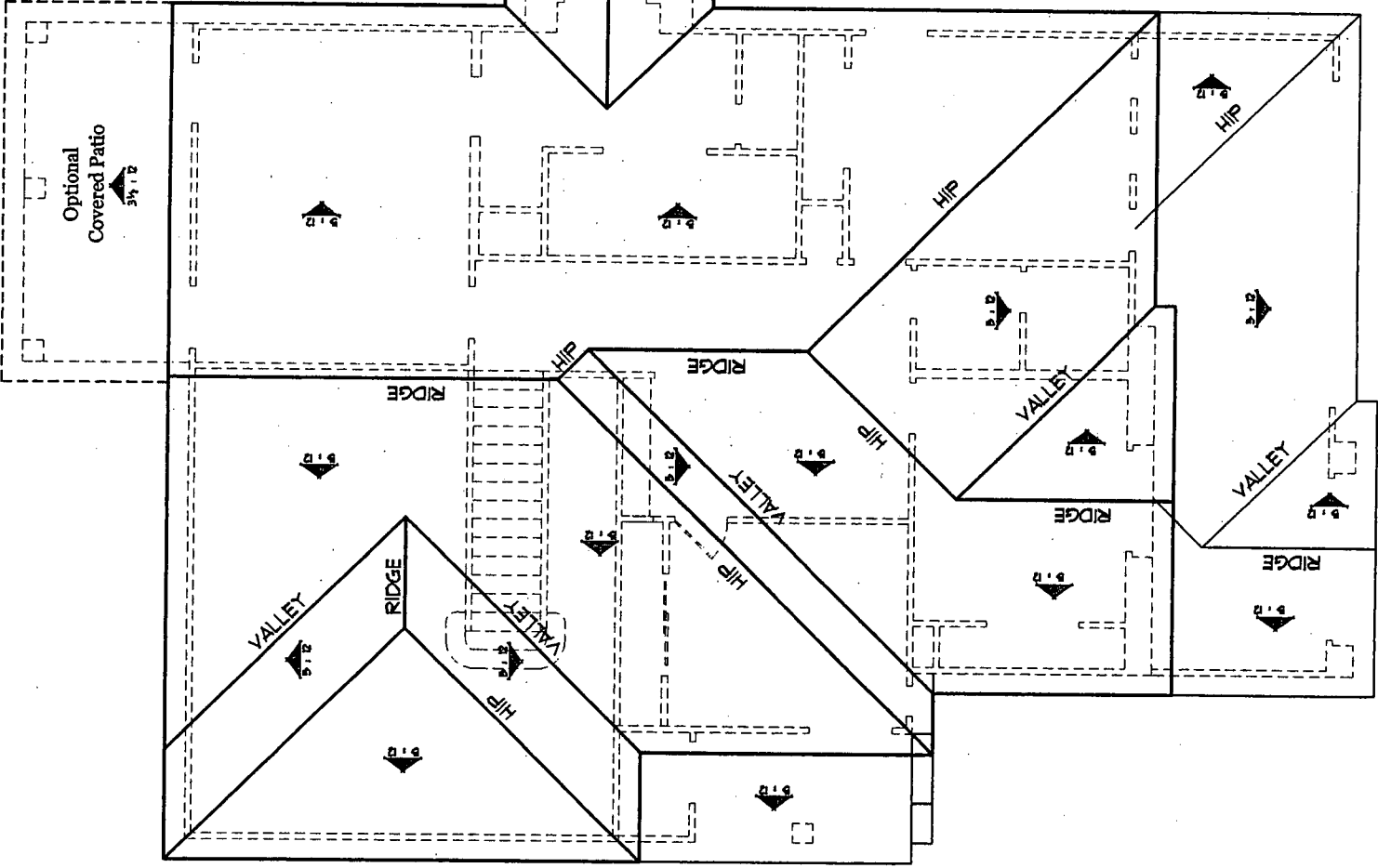


Left Elevation "B"
SCALE: 1/4" = 1'-0"

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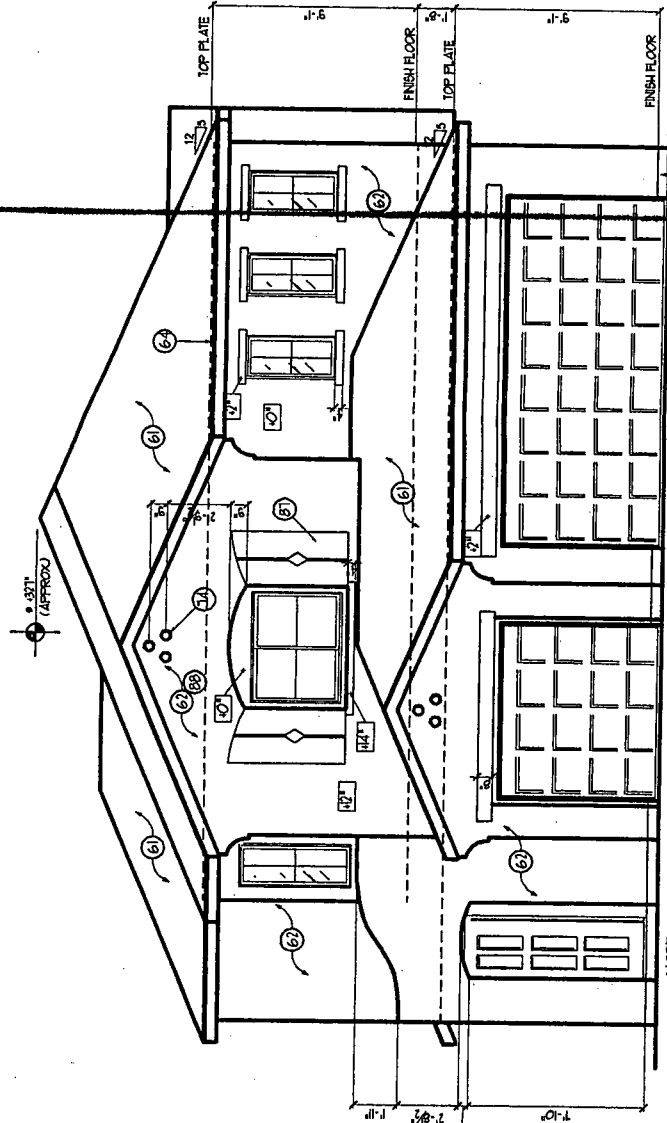


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JAN 22 2007



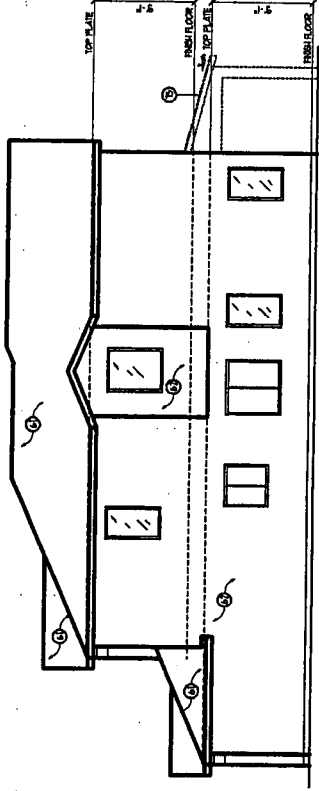
Roof Plan - Elevation "B"

SCALE: 1/4" = 1'-0"



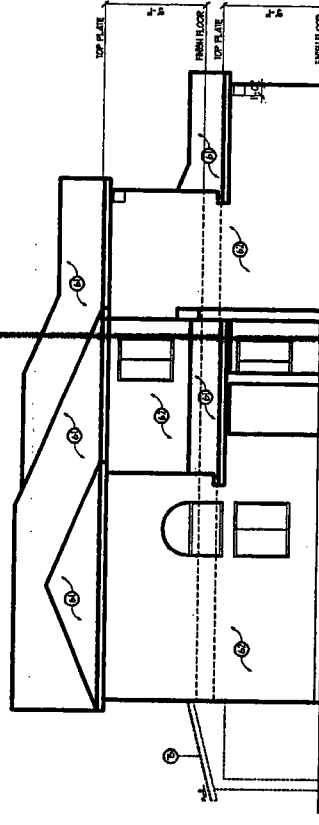
Front Elevation "B"

SCALE: 1/4" = 1'-0"



Left Elevation "B"

SCALE: 1/4" = 1'-0"



Right Elevation "B"

SCALE: 1/4" = 1'-0"

ZON-17693 SDR-17694
REVISED 02/08/07 PC

ROOF FRAMING, FRONT, REAR, & SIDE
OF ELEVATION "B"

DATE: 04/22/02	REVISED: DATE
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2526
SUBMITTER: Brighton
SHEET NO.: 2504025
A2.B

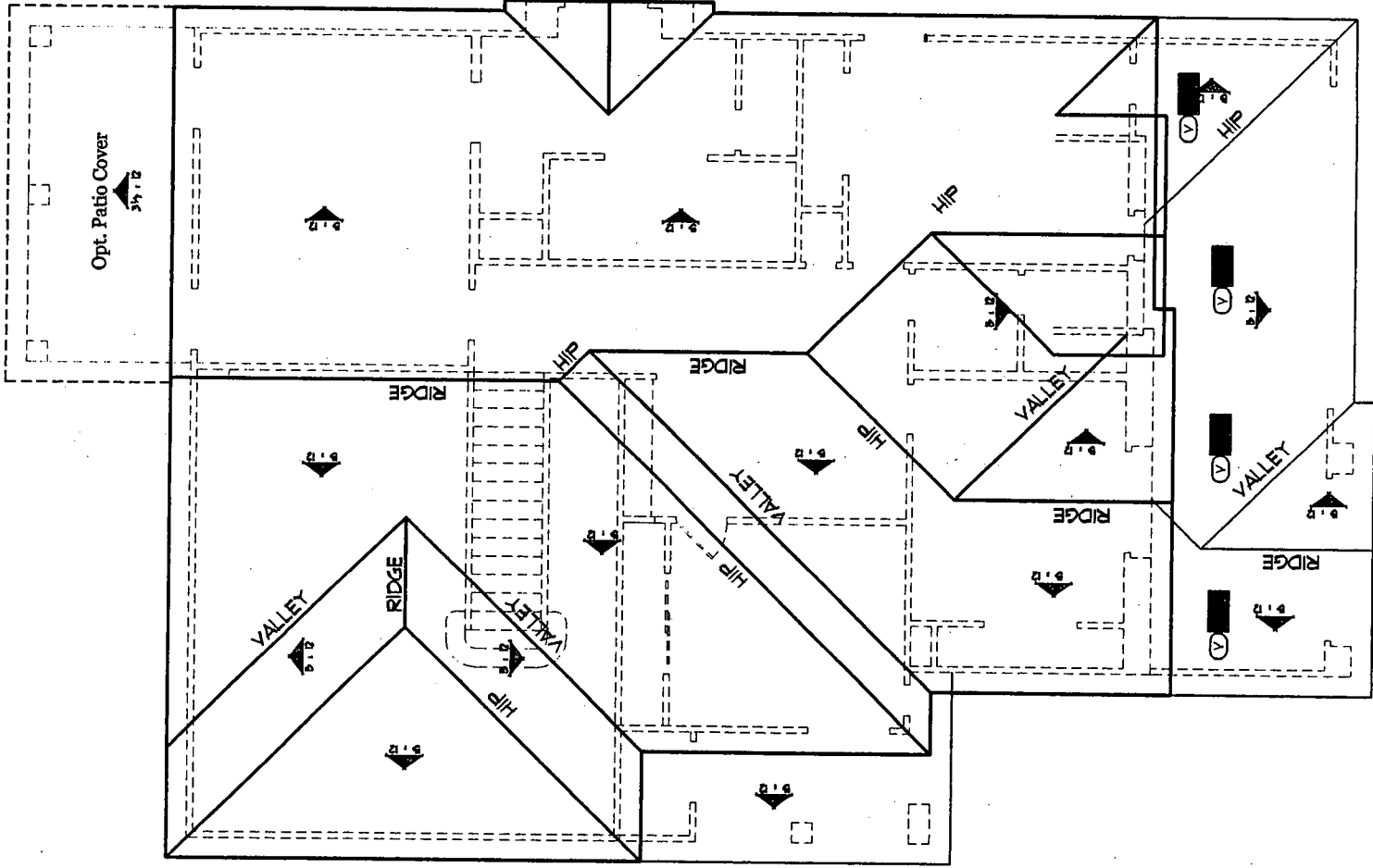
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JAN 28 2007

Horizontal Section Cut

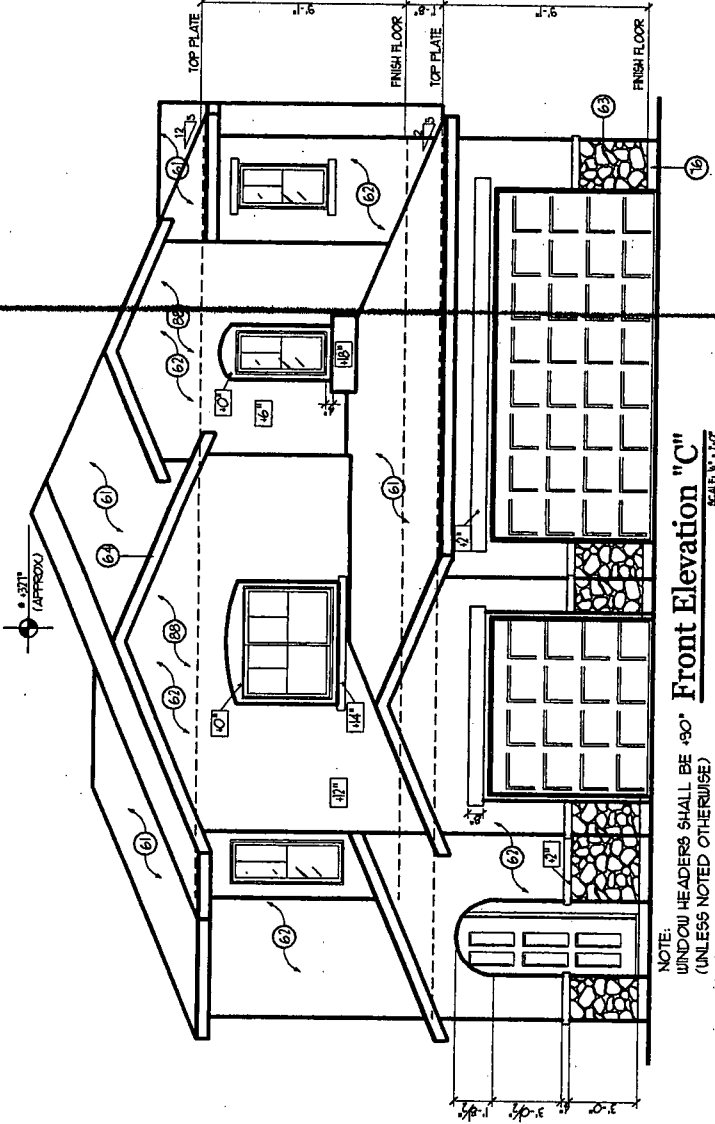
SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5600

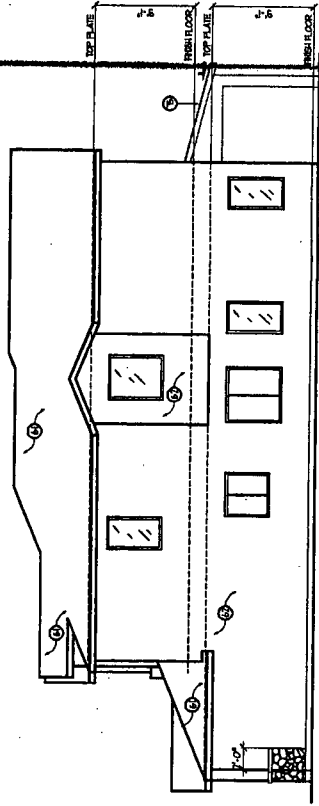
RICHMOND
AMERICAN HOMES
CLARK COUNTY, HENDERSON
LAS VEGAS, & NORTH LAS VEGAS



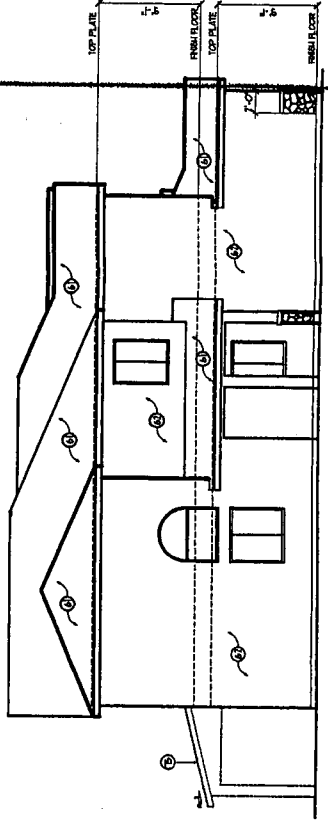
Roof Plan - Elevation "C"
SCALE 1/4" = 1'-0"



NOTE: WINDOW HEADERS SHALL BE 4'-0" (UNLESS NOTED OTHERWISE)
Front Elevation "C"
SCALE 1/4" = 1'-0"



Left Elevation "C"
SCALE 1/4" = 1'-0"



Right Elevation "C"
SCALE 1/4" = 1'-0"

RECEIVED

ZON-17693 SDR-17694
REVISED 02/08/07 PC

JAN 22 2007

PLAN #

2526

SUBDIVISION

Brighton

SHEET NO.

2504020

DATE: 04/22/02

REV. NO.

DATE

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OWNER

FR. M. C.

DATE: 04/22/02

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OWNER

FR. M. C.

CLARK COUNTY, HENDERSON,
LAS VEGAS, & NORTH LAS VEGAS

AMERICAN HOMES

RICHMOND

7250 West Peak, Suite 212

LAS VEGAS, NV. 89128

(702) 240-5600

LAS VEGAS DIVISION

OF ELEVATION "C"

ROOF FRAMING, FRONT, REAR, & SIDE

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KEYNOTES

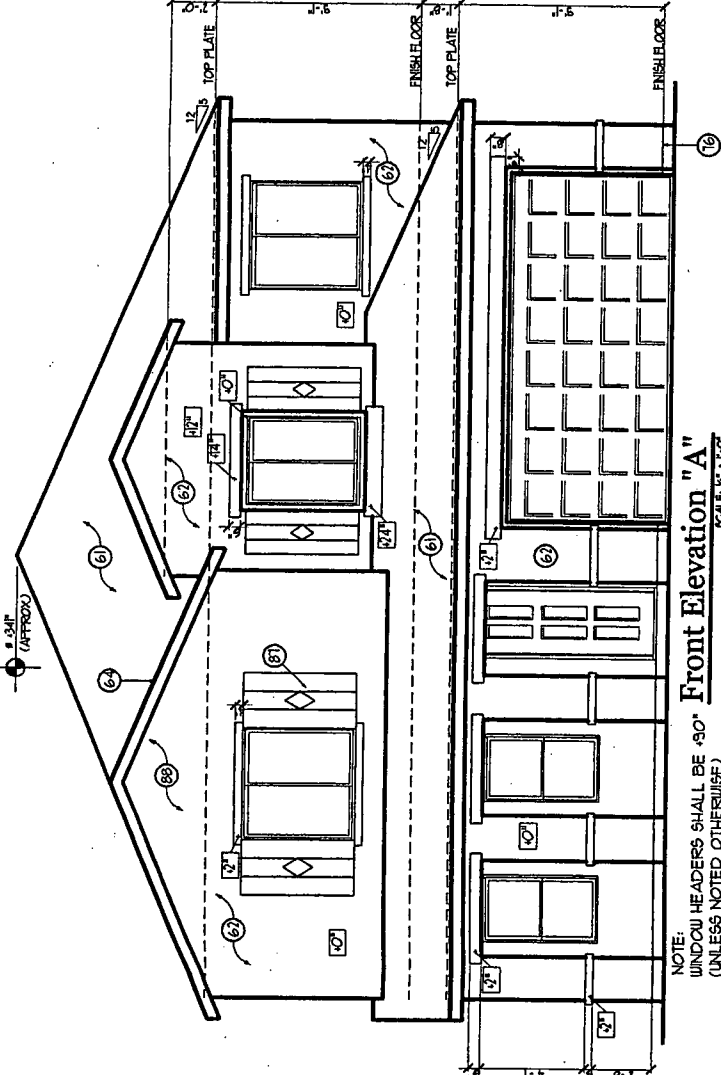
- 1. FOAM APPLICATIONS SHALL COMPLY PER IRC
- 2. WINDOW HEADERS SHALL BE # 1-6" (UNLESS NOTED OTHERWISE)
- 3. SEE COVER SHEET FOR ATTIC VENTILATION CALCULATIONS

- 61. FLAT CONCRETE TILE OF TYPE 30 FELT SIDE LAPPED 2" (15mm) END LAPPED 6" (15mm) ON 1" (25mm) THK. OSB (TYP)
- 62. STUCCO OR GYPSUM BOARD (GCB) 1/2" THK. ON EXTERIOR WALLS
- 63. WITH INDEX OF 0
- 64. STONE VENEER / APPLICATION SHALL COMPLY TO 2012 IRC 1003 REQUIREMENTS
- 65. 7/16" ROUGH SAWN FASCIA
- 66. TEMPERED GLASS (PAINTED BLACK) FOR DECORATIVE PURPOSES ONLY
- 67. PROVIDE CORROSION RESISTANT METAL FISH W/ FRESH OPENINGS OF 1/4" (6mm) IN DIMENSION
- 68. ADDRESS PLATE # 50" W/ OPT. COACH LIGHT # 24"
- 69. FREEHOLDING # 24" - TYPICAL
- 610. ALIS BOARD # ATTIC AREAS ABOVE PLATE LEAK
- 611. DECORATIVE WROUGHT IRON BARS / WROUGHT IRON GATE # 1" PONY WALL # OPT. COURTYARD ONLY. SEE DETAIL "H" ON SHEET D10 AND WROUGHT IRON RELEASE DETAIL ON SHEET A10.
- 612. BALCONY RAILING TO DETAIL "H"
- 613. LINE OF CEILING
- 614. CONTINUE STUCCO TO SLAB
- 615. DECORATIVE 6" ROUND CLAY PIPES
- 616. OPT. PATIO COVER WITH 1" BOX COLUMNS / ROOF SLOPED 3/4" EVERY 1"
- 617. PROVIDE NO. 26 GALVANIZED SHEET GAGE CORROSION RESISTANT DEEP SCREED 4" ABOVE EARTH 7' ABOVE PAVED
- 618. R-30 INSULATION
- 619. 2x4'S # 1/4" O.C. - TYP. # EXTERIOR LINABLE WALL - R-4 BATT INS. FACING - PROVIDE FREEHOLDING BARS REQUIRED
- 620. PRE-APPLICATED TRUSSES # 24" O.C. - SEE TRUSS CALCULATIONS FOR CONCERNING INFORMATION
- 621. 1/2" GYPSUM BOARD
- 622. 2x7/8" SCREENED COMBUSTIBLE AIR VENTS - LOCATE PER IBC 603.4
- 623. CHIMNEYS CROWNED VENT TILE UNIVERSAL BOSS 1/2" - SEE ROOF LAYOUT FOR LOCATIONS - INSTALL PER IBC SPEC.
- 624. OPT. SERVICE DOOR
- 625. DECORATIVE GARAGE WOOD DOORS - SEE SPECIFICATIONS / OPT. DECORATIVE FRONT DOOR TO MATCH GARAGE
- 626. FIRE MANUFACTURED DECORATIVE IRON SPIRE
- 627. FIRE MANUFACTURED METAL ROOF WITH IRON SPIRE
- 628. SHUTTERS (PDX or WOOD) - SEE SPECIFICATIONS
- 629. PROVIDE CORROSION RESISTANT SHEET METAL THAT FOAM PLASTIC INSULATION IS NOT EXPOSED # ATTIC (SECT. 1602.4) IN THE EVENT THAT TRAPPING PIPES # CABLE AREA BLOCK NET FREE AREA PROVIDE REPEATED ACCEPTABLE MEANS
- 630. ROOF VALLEY FLASHING SHALL NOT BE PROVIDED OF LESS THAN 100% CORROSION RESISTANT METAL
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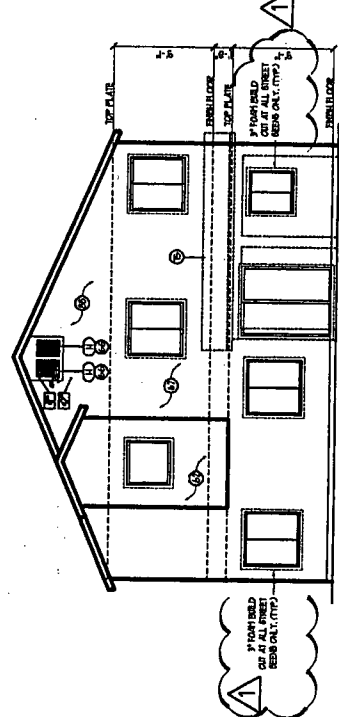
RICHMOND AMERICAN HOMES
STATE CONTRACTOR LICENSE #0026417
DIVISION PRESIDENT
ERNEST J. BELAIR, JR.
7250 West Peak, Suite 212
LAS VEGAS, NV, 89128 (702) 240-5600
LAS VEGAS DIVISION

OF ELEVATION "A"
ROOF FRAMING, FRONT, REAR & SIDE
DATE: 04/22/04
DRAWN BY: R.M.G.
DATE: 04/22/04
SCALE: 1/8" = 1'-0"

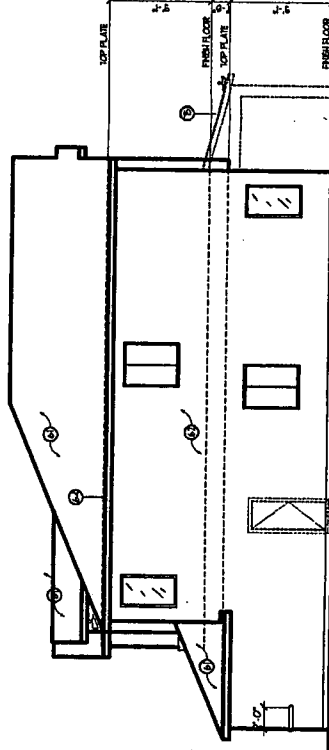
PLAN # 2781
SERIES BRIGHTON
SHEET NO. 2700A2A
A2.A



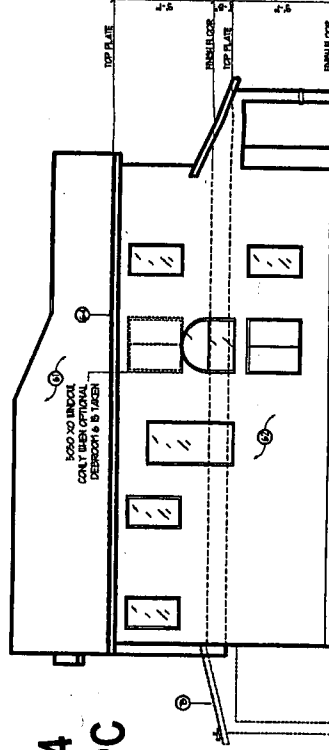
Front Elevation "A"
SCALE 1/8" = 1'-0"



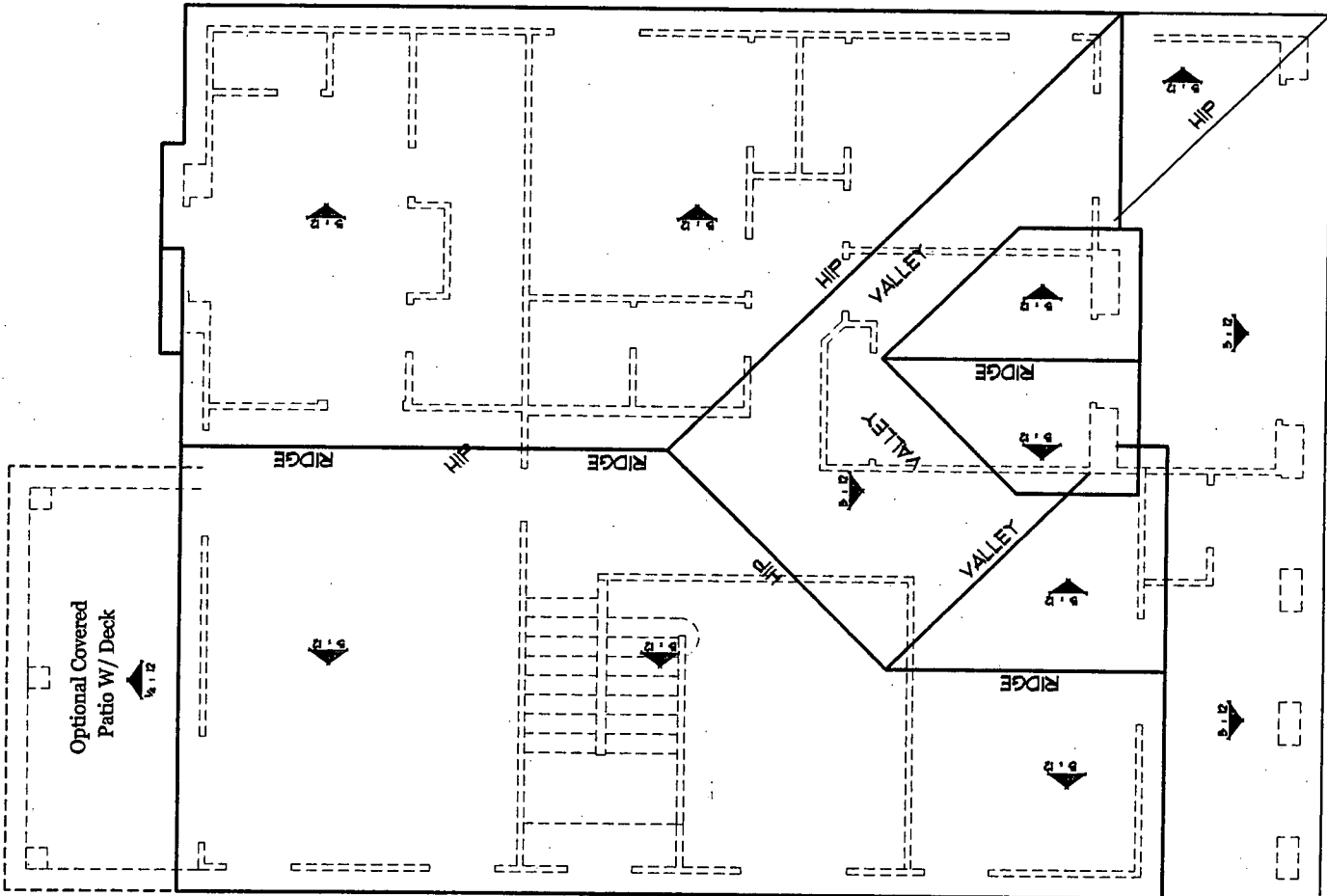
Typical Rear Elevation
SCALE 1/8" = 1'-0"



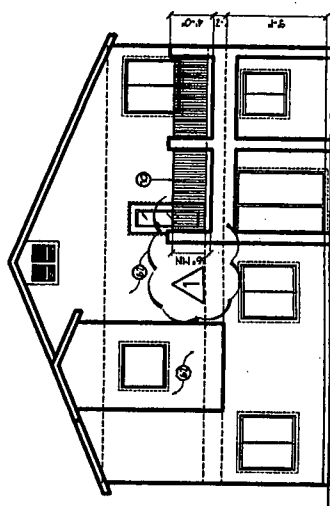
Right Elevation "A"
SCALE 1/8" = 1'-0"



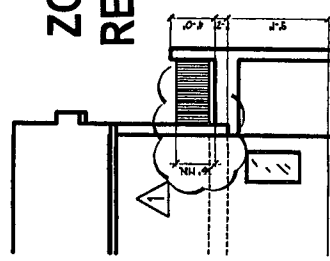
Left Elevation "A"
SCALE 1/8" = 1'-0"



Roof Plan - Elevation "A"
SCALE 1/8" = 1'-0"



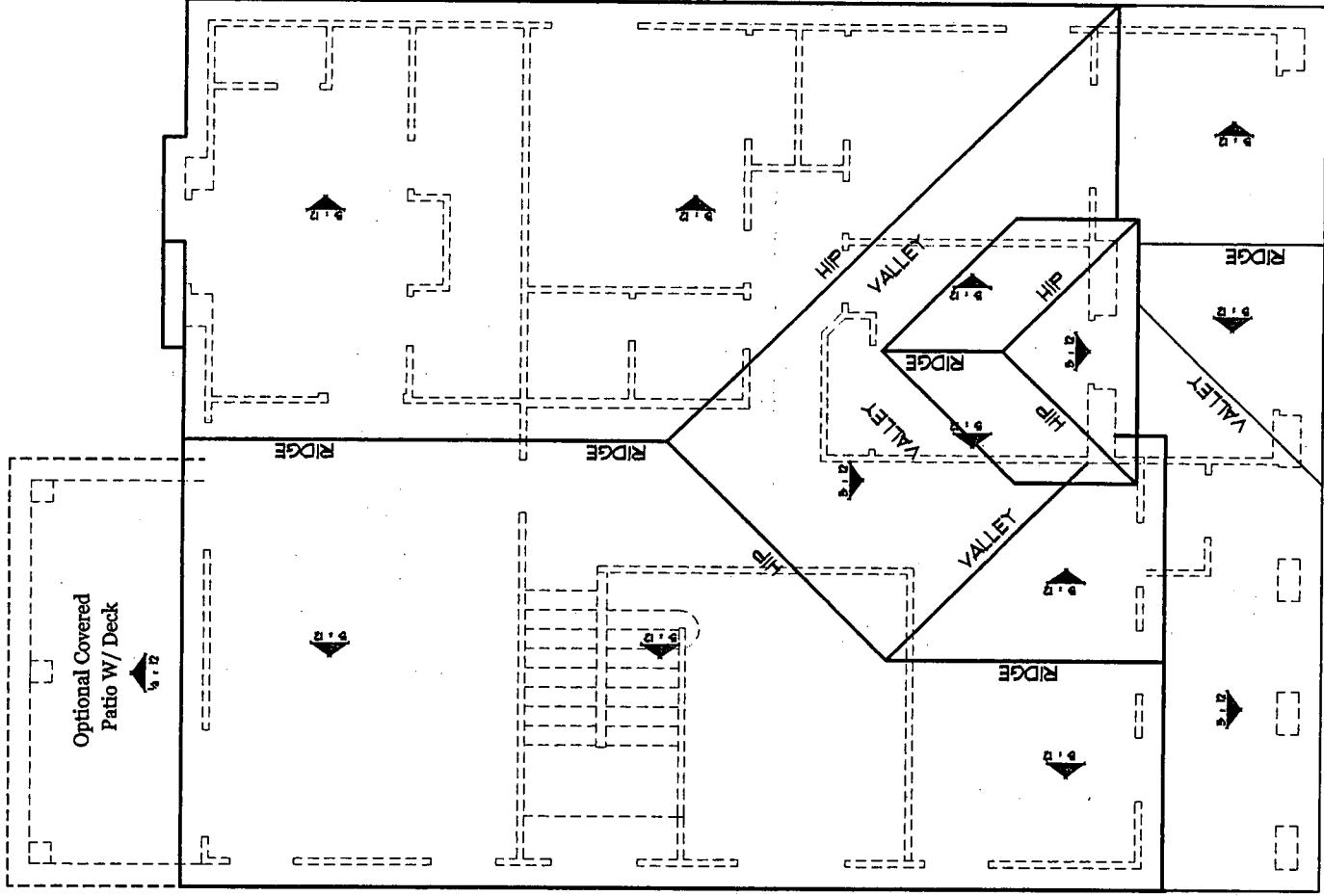
Rear Elevation (Deck Option)
SCALE 1/8" = 1'-0"



Right Elevation (Deck Option)
SCALE 1/8" = 1'-0"

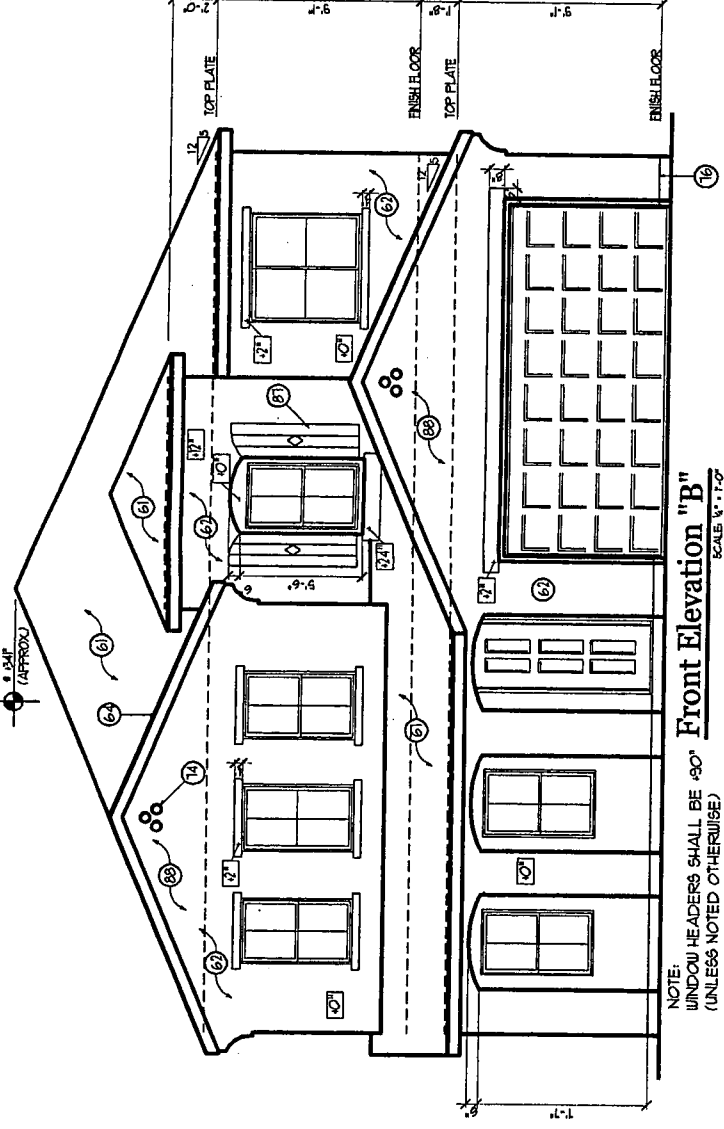
ZON-17693
SDR-17694
02/08/07 PC
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JAN 23 2007



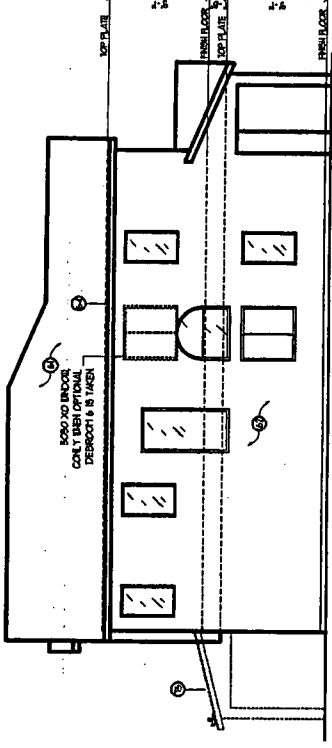
Roof Plan - Elevation "B"

SCALE: 1/8" = 1'-0"



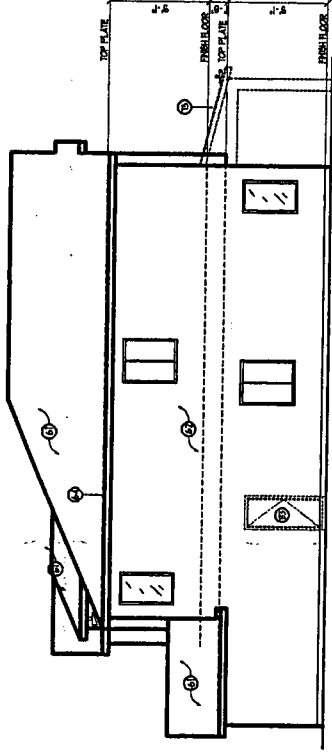
Front Elevation "B"

SCALE: 1/8" = 1'-0"



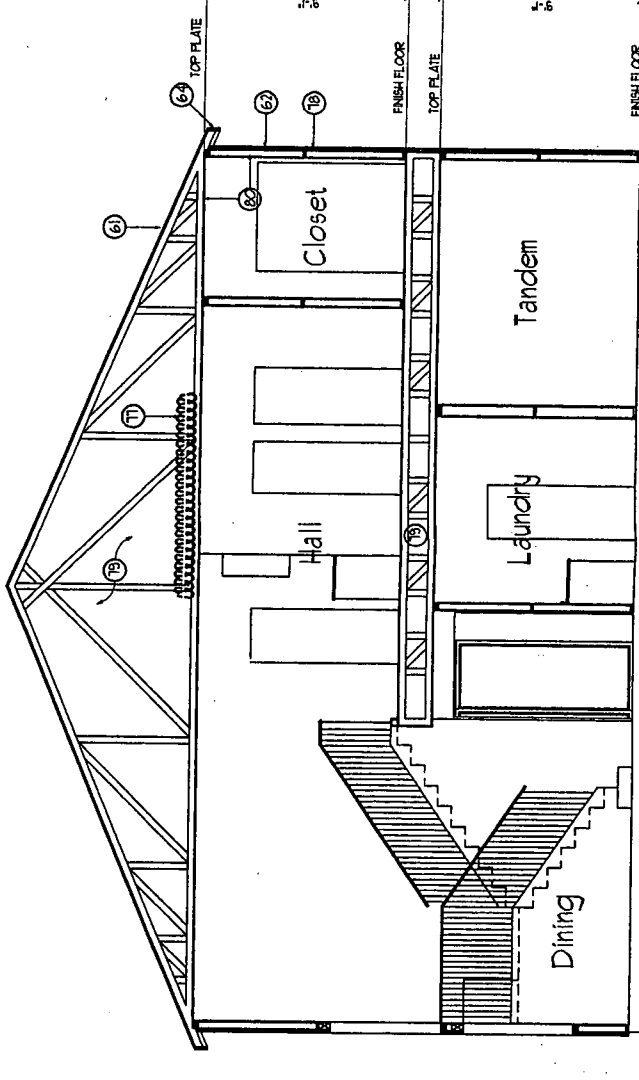
Left Elevation "B"

SCALE: 1/8" = 1'-0"



Right Elevation "B"

SCALE: 1/8" = 1'-0"



Typical Section Cut

SCALE: 1/8" = 1'-0"

ZON-17693 SDR-17694
REVISED 02/08/07 PC

RECEIVED

JAN 28 2007

A2.B

SHEET NO.

2700A2B

2781

PLAN #

REV.	DATE	BY	CHK.
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DATE: 04/22/02

REV. NO.

DATE

BY

CHK.

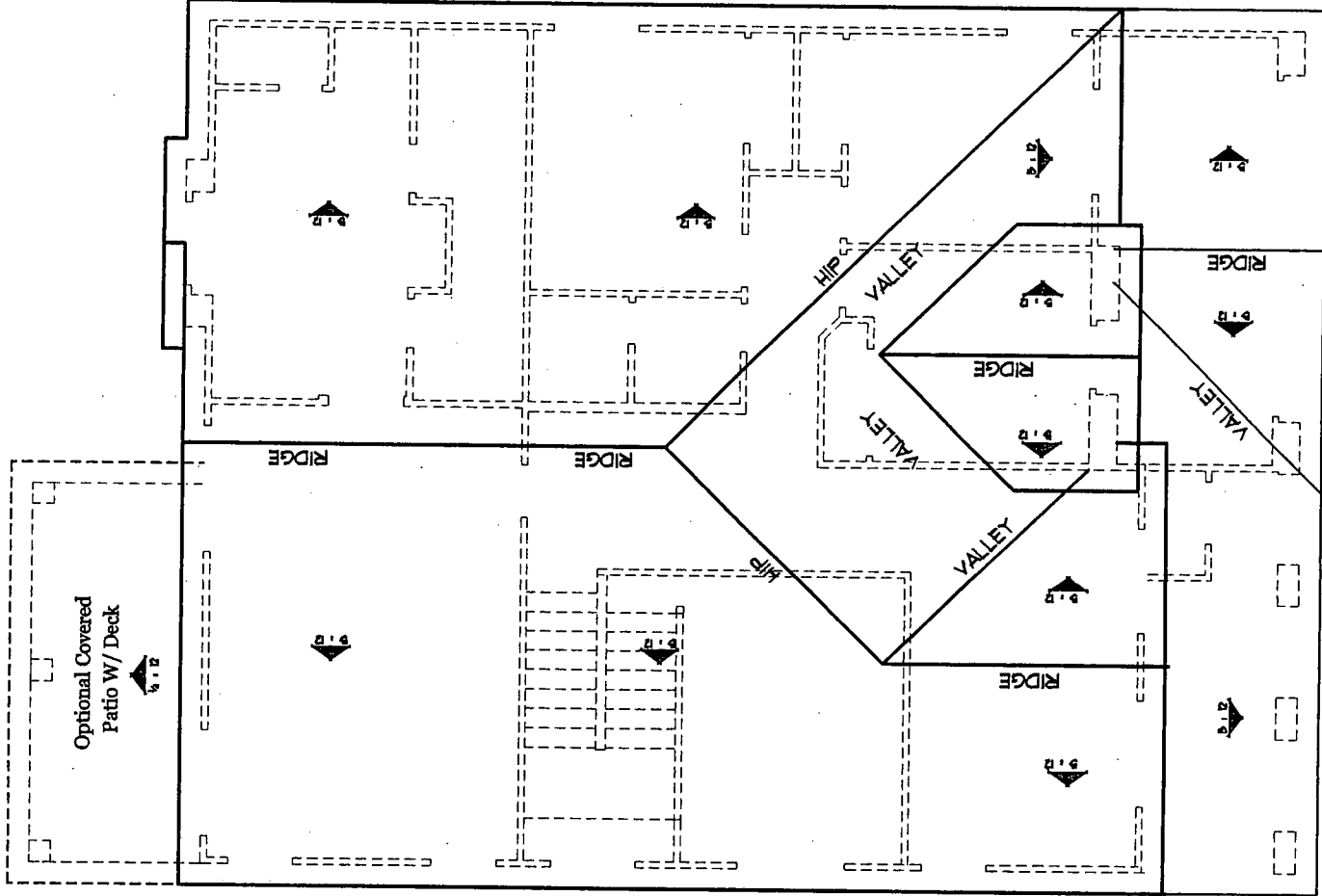
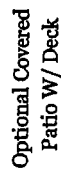
ROOF FRAMING, FRONT, REAR, & SIDE
OF ELEVATION "B" / SECTION CUT

RICHMOND
AMERICAN HOMES
CLARK COUNTY, HENDERSON,
LAS VEGAS, & NORTH LAS VEGAS

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV, 89128 (702) 240-5600



Right Elevation "C"



Roof Plan - Elevation "C"

SCALE: 1/4" = 1'-0"

JAN 22 2007

Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

REZONING

MEETING: PLANNING COMMISSION
DATE: DECEMBER 7, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

ZON-17693

APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS - REQUEST FOR A REZONING FROM: R-E (RESIDENCE ESTATES) TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) ON 7.27 ACRES ADJACENT TO THE NORTHEAST AND SOUTHEAST CORNERS OF BRADLEY ROAD AND SOLAR AVENUE (APNS 125-13-801-005, 125-13-801-006, AND 125-13-802-001), WARD 6 (ROSS).

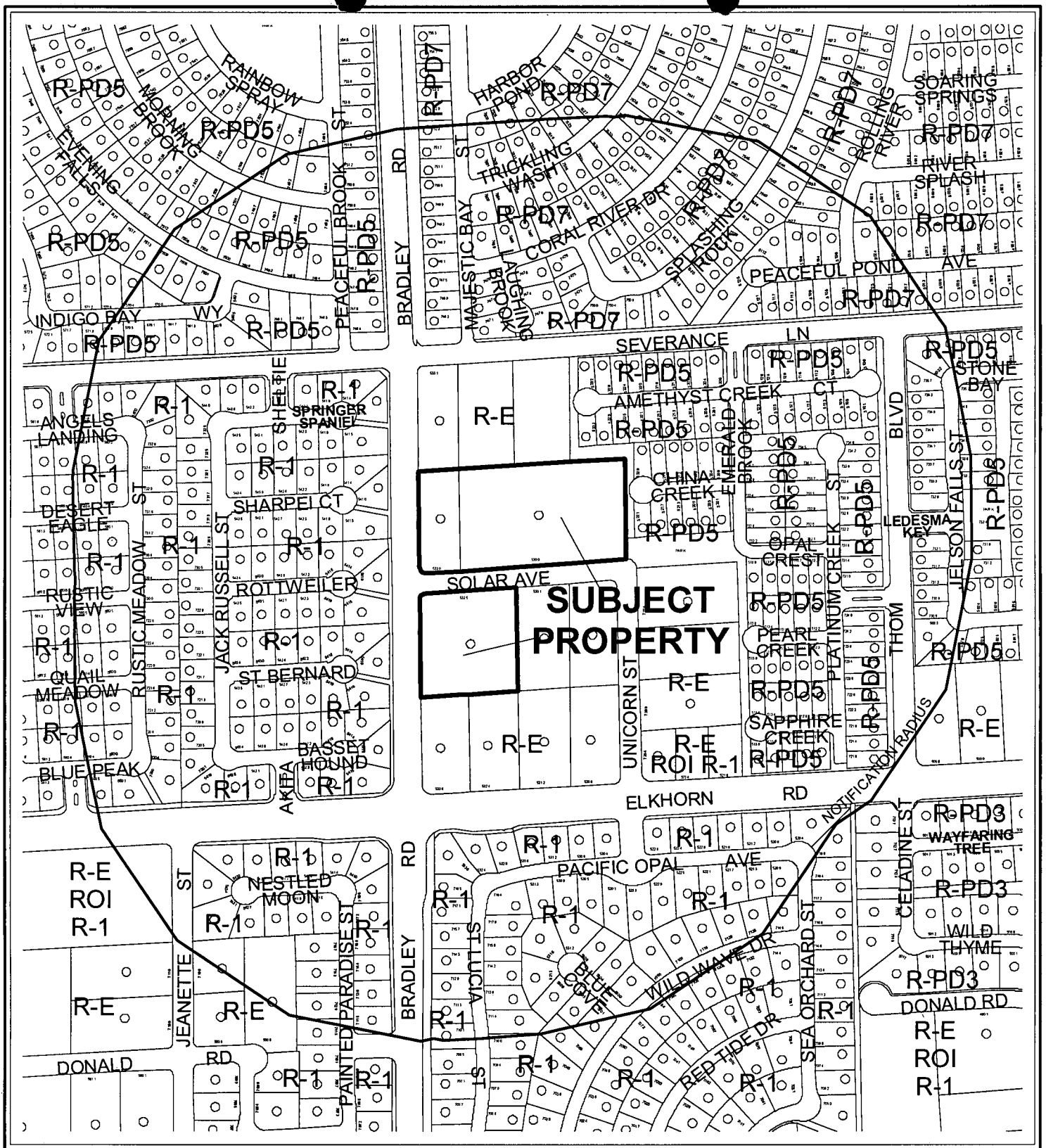
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 13, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



0 200 400 Feet



Applicant Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

November 22, 2006

Ms. Sharon Turbiville
5300 Solar Avenue
Las Vegas, Nevada 89131

RE: ZON-17693 - REZONING

Dear Ms. Turbiville:

Please be advised the City Planning Commission at its regular meeting on **December 7, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

cc: Paulo Chavez
Richmond American Homes
2490 Paseo Verde, Suite 120
Henderson, Nevada 89074

Ms. Kris Givant
Triton Engineering
6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146

Terry Karas
5325 Solar Avenue
Las Vegas, Nevada 89131

Delmar Dinkins
5330 Solar Avenue
Las Vegas, Nevada 89074



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353
Comp Planning 229-6022
Current Planning 229-6301
www.lasvegasnevada.gov

December 29, 2006

Ms. Sharon Turbiville
5300 Solar Avenue
Las Vegas, Nevada 89131

RE: ABEYANCE - ZON-17693 - REZONING

Dear Ms. Turbiville:

Please be advised the City Planning Commission at its regular meeting on *January 11, 2007* as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the *final agenda* will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

cc: Mr. Delmar Dinkins
5330 Solar Avenue
Las Vegas, Nevada 89131

Paulo Chavez
Richmond American Homes
2490 Paseo Verde, Suite 120
Henderson, Nevada 89074

Terry and Kathryn Karas
5325 Solar Avenue
Las Vegas, Nevada 89131

Ms. Kris Givant
Triton Engineering
6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

January 12, 2007

Ms. Sharon Turbiville
5300 Solar Avenue
Las Vegas, Nevada 89131

RE: ABEYANCE - ZON-17693 - REZONING

Dear Ms. Turbiville:

Please be advised the City Planning Commission at its regular meeting on **January 25, 2007** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, AICP
Current Planning Manager
Planning and Development Department

DJR:clb

cc: Mr. Delmar Dinkins
5330 Solar Avenue
Las Vegas, Nevada 89131

Paulo Chavez
Richmond American Homes
2490 Paseo Verde, Suite #120
Henderson, Nevada 89074

Terry and Kathryn Karas
5325 Solar Avenue
Las Vegas, Nevada 89131

Ms. Kris Givant
Triton Engineering
6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
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Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

January 26, 2007

Ms. Sharon Turbiville
5300 Solar Avenue
Las Vegas, Nevada 89131

RE: ABEYANCE - ZON-17693 - REZONING

Dear Ms. Turbiville:

Please be advised the City Planning Commission at its regular meeting on **February 8, 2007** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



JK:dm

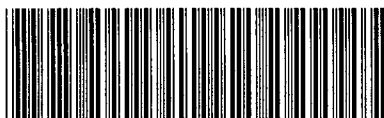
cc: Mr. Delmar Dinkins
5330 Solar Avenue
Las Vegas, Nevada 89131

Paulo Chavez
Richmond American Homes
2490 Paseo Verde, Suite #120
Henderson, Nevada 89074

Terry and Kathryn Karas
5325 Solar Avenue
Las Vegas, Nevada 89131

Ms. Kris Givant
Triton Engineering
6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146

Action Letter



ACTION LETTER

Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353
Comp Planning 229-6022
Current Planning 229-6301
www.lasvegasnevada.gov

February 9, 2007

Ms. Sharon Turbiville
5300 Solar Avenue
Las Vegas, Nevada 89131

RE: ABEYANCE - ZON-17693 - REZONING

Dear Ms. Turbiville:

Your Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross), was considered by the Planning Commission on February 8, 2007.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17694) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.
3. The approval shall be for an R-PD5 with a maximum of 40 lots.

Public Works

4. Coordinate with the City Surveyor to determine if mapping this site as a Merger and Resubdivision is appropriate; comply with the recommendations of the City Surveyor.
5. Dedicate an additional 5 feet of right-of-way for a total radius of 20 feet on the northeast and southeast corners of Bradley Road and Solar Avenue.
6. Construct half-street improvements on Bradley Road and half street and full width street improvements as appropriate on Solar Avenue, including transition paving, adjacent to this site concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

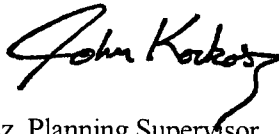


Ms. Sharon Turbiville
ZON-17693 - Page Two
February 9, 2007

7. A minimum of two lanes of asphalt pavement on the major access streets adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.
8. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

This item will be considered by the City Council on March 7, 2007, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Council requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

cc: Mr. Delmar Dinkins
5330 Solar Avenue
Las Vegas, Nevada 89131

Terry and Kathryn Karas
5325 Solar Avenue
Las Vegas, Nevada 89131

Paulo Chavez
Richmond American Homes
2490 Paseo Verde, Suite #120
Henderson, Nevada 89074

Ms. Kris Givant
Triton Engineering
6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

January 26, 2007

Ms. Sharon Turbiville
5300 Solar Avenue
Las Vegas, Nevada 89131

RE: ABEYANCE - ZON-17693 - REZONING

Dear Ms. Turbiville:

Your request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross), was considered by the Planning Commission on January 25, 2007.

The Planning Commission voted to hold this item in **ABEYANCE** in an effort to provide the applicant an opportunity to meet with the neighbors.

This item is scheduled to be heard again at the **February 8, 2007** Planning Commission meeting which will be held at 6:00 PM in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

Andy Reed, Senior Planner
Planning and Development Department
Current Planning Division

AR:clb

cc: Mr. Delmar Dinkins
5330 Solar Avenue
Las Vegas, Nevada 89131

Terry and Kathryn Karas
5325 Solar Avenue
Las Vegas, Nevada 89131

Paulo Chavez
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2490 Paseo Verde, Suite #120
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Ms. Kris Givant
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6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146

Mayor
Oscar B. Goodman

City Council
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City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



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Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353
Comp Planning 229-6022
Current Planning 229-6301
www.lasvegasnevada.gov

January 12, 2007

Ms. Sharon Turbiville
5300 Solar Avenue
Las Vegas, Nevada 89131

RE: ABEYANCE - ZON-17693 - REZONING

Dear Ms. Turbiville:

Your request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross), was considered by the Planning Commission on January 11, 2007.

The Planning Commission voted to hold this item in **ABEYANCE** per applicant's request.

This item is scheduled to be heard again at the **January 25, 2007** Planning Commission meeting which will be held at 6:00 PM in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

cc: Mr. Delmar Dinkins
5330 Solar Avenue
Las Vegas, Nevada 89131

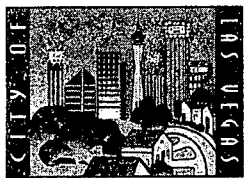
Paulo Chavez
Richmond American Homes
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Henderson, Nevada 89074

Terry and Kathryn Karas
5325 Solar Avenue
Las Vegas, Nevada 89131

Ms. Kris Givant
Triton Engineering
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Las Vegas, Nevada 89146



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

December 8, 2006

Ms. Sharon Turbiville
5300 Solar Avenue
Las Vegas, Nevada 89131

RE: ZON-17693 - REZONING

Dear Ms. Turbiville:

Your request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross), was considered by the Planning Commission on December 7, 2006.

The Planning Commission voted to hold this item in **ABEYANCE** for applicant to hold a neighborhood meeting.

This item is scheduled to be heard again at the **January 11, 2007** Planning Commission meeting which will be held at 6:00 PM in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

cc: Paulo Chavez
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2490 Paseo Verde, Suite 120
Henderson, Nevada 89074

Ms. Kris Givant
Triton Engineering
6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146

Terry Karas
5325 Solar Avenue
Las Vegas, Nevada 89131

Delmar Dinkins
5330 Solar Avenue
Las Vegas, Nevada 89074



City Council Action Letter



Separator Sheet



April 3, 2007

Ms. Sharon Turbiville
5300 Solar Avenue
Las Vegas, Nevada 89131

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

BRENDA J. WILLIAMS
INTERIM

DOUGLAS A. SELBY
CITY MANAGER

RE: ZON-17693 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF MARCH 7, 2007
RELATED TO SDR-17694

Dear Ms. Turbiville:

The City Council at a regular meeting held March 7, 2007 APPROVED the request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross). NOTE: This application is for RPD-5 (Residential Planned Development – 5 Units per Acre). The Notice of Final Action was filed with the Las Vegas City Clerk on March 8, 2007. This approval is subject to:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17694) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.
3. The approval shall be for an R-PD5 with a maximum of 40 lots.

Public Works

4. Coordinate with the City Surveyor to determine if mapping this site as a Merger and Resubdivision is appropriate; comply with the recommendations of the City Surveyor.
5. Dedicate an additional 5 feet of right-of-way for a total radius of 20 feet on the northeast and southeast corners of Bradley Road and Solar Avenue.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

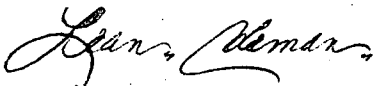
TDD 702.386.9108

www.lasvegasnevada.gov

Ms. Sharon Turbiville
ZON-17693 – Page Two
April 3, 2007

6. Construct half-street improvements on Bradley Road and half street and full width street improvements as appropriate on Solar Avenue, including transition paving, adjacent to this site concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
7. A minimum of two lanes of asphalt pavement on the major access streets adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.
8. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

Sincerely,



Leah Coleman
Deputy City Clerk II for
Beverly K. Bridges, CMC, Acting City Clerk

cc: See Attached list

Ms. Sharon Turbiville
ZON-17693 – Page Two
April 3, 2007

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. Delmar Dinkins
5330 Solar Avenue
Las Vegas, Nevada 89131

Paulo Chavez
Richmond American Homes
2490 Paseo Verde, Suite #120
Henderson, Nevada 89074

Terry and Kathryn Karas
5325 Solar Avenue
Las Vegas, Nevada 89131

Ms. Kris Givant
Triton Engineering
6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146

APN Map



Separator Sheet

NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

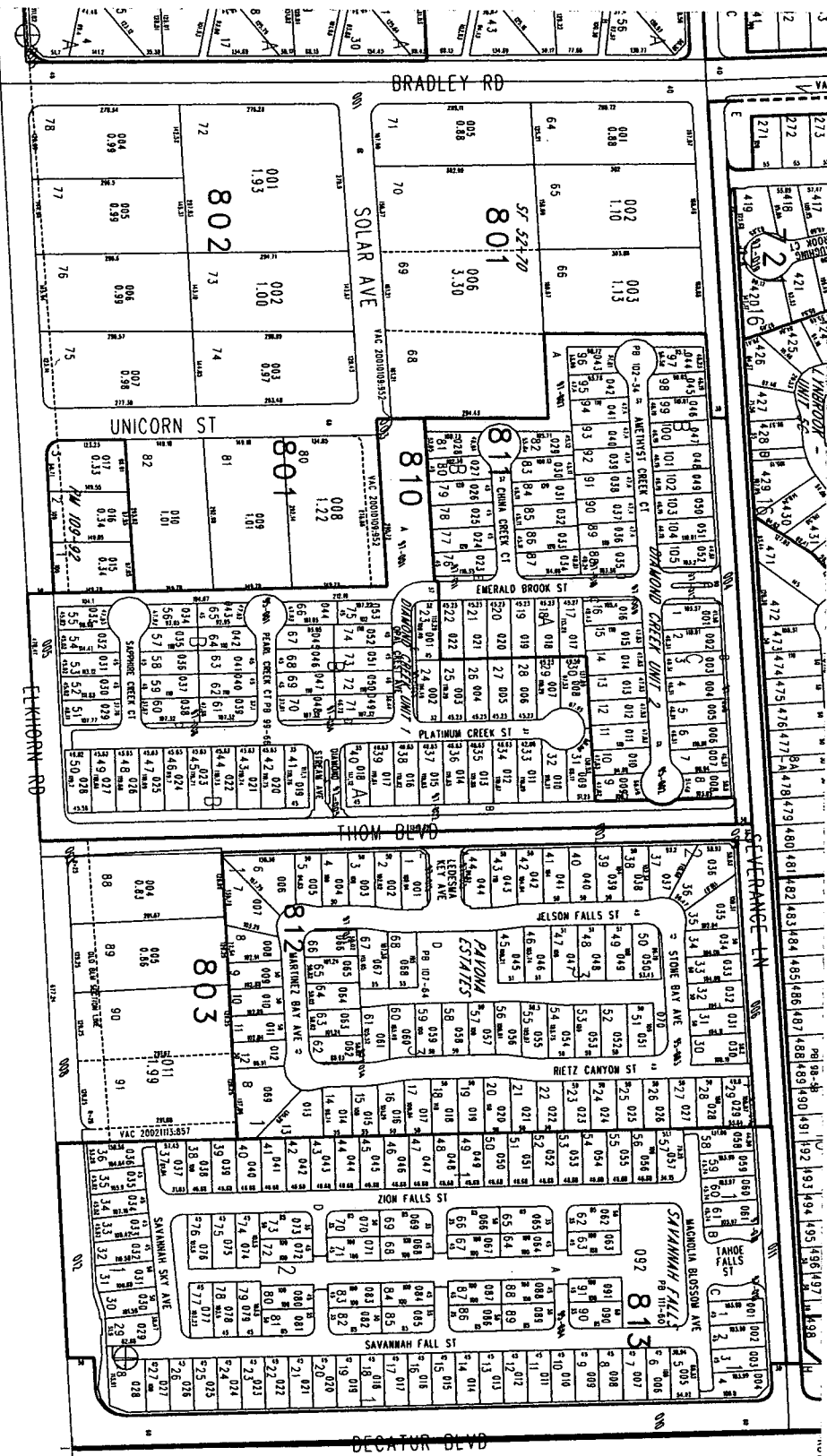
USE THIS SCALE (FEET) WHEN MAP REQUIRED FROM 1117 ORIGINAL

MAP LEGEND

AVERAGE DA VALUE	45
PARCEL BOUNDARY	0.01
SUBD BOUNDARY	1.00
ROAD EASEMENT	202
PWLD BOUNDARY	202
NON-PARCEL LOT LINE	5
LOT NUMBER	5
COV. LOT NUMBER	5

1995 R60E	13
99	100
126	124
137	139

125-13-8	13
99	100
126	124
137	139



ZON-17693
SDR-17694
12/07/06 PC

TAX DIST 200

Extraction List



EXTRACTION LIST

Separator Sheet

13/9

PARCELS	223 564
LABELS	521

Report of All Selected Parcels

Case Number: ZON-17693
Address SDR-17694

Printed On: Fri: November 3, 2006

Owner

<u>Parcel Numbe</u>
12513497001
12513897013
12513397015
12513897006
12513797020
12513797005
12513397016
12513497005
12524197001
12513497008
12513897008
12513497007
12513897001
12524597016
12524597004
12524597001
12524597003
12524597011
12524597009
12513496001
12513497013
12513797001
12513897011
12513897010
12513897009
12513897015
12513497006
12513897003
12513497015
12513797019
12513497010
12513897002

Report of All Selected Parcels

Case Number: ZON-17693

Printed On: Fri: November 3, 2006

Owner

Address

Parcel Number

ACUNA KAREN	5028 STONE BAY AVE LAS VEGAS NV	12513497014
ADAMSON ALAN & JACKIE	7500 EVENING FALLS DR LAS VEGAS NV	12513897017
AIKEN TIMOTHY J	7333 JELSON FALLS ST LAS VEGAS NV	12513497016
ALBERTO THOMAS M & MARIA L	7535 ROLLING RIVER DR LAS VEGAS NV	12513897005
ALLISON LARRY D & MARILYN A	7172 PAINTED PARADISE ST LAS VEGAS NV	12513897012
ALLYN WILLIAM L & JUDITH A	5430 BASSET HOUND AVE LAS VEGAS NV	12513397004
ALMAGURE MANUEL E & DOROTHY	7523 SPLASHING ROCK DR LAS VEGAS NV	12513897007
ALSTON MORGAN	5608 RUSTIC VIEW CT LAS VEGAS NV	12513797012
AMATO CARRIE	506 24TH ST HERMOSA BEACH CA	12513897004
AMBROSE BRET N	5430 NESTLED MOON CT LAS VEGAS NV	12513397003
ANDERSON CARL A & ANGELA M	5601 DESERT EAGLE CT LAS VEGAS NV	12524197005
ANDERSON SCOTT & CHRISTY	5608 ANGELS LANDING AVE LAS VEGAS NV	12513812035
ANTILLON FAMILY TRUST	7545 SPLASHING ROCK DR LAS VEGAS NV	12513317026
APPLEBAUM DAVID L & JUDY E	2340 GREEN MOUNTAIN CT LAS VEGAS NV	12513812043
AQUI TRUST CREDIT TRUST	4974 NATURE QUEST CT LAS VEGAS NV	12513715014
ARANGO ALBA	7504 EVENING FALLS DR LAS VEGAS NV	12524110005
ARDEN TIMOTHY	7471 LAUGHING BROOK CT LAS VEGAS NV	12513411009
AUDIA JOSEPHINE	7505 CORAL RIVER DR LAS VEGAS NV	12513722019
AUSTIN JERRY KENT JR	5116 AMETHYST CREEK LAS VEGAS NV	12513410031
BAKER GLADYS M & FLOYD E	7322 PLATINUM CREEK ST LAS VEGAS NV	12513411041
BAKER NICOLE T & KURT	7483 EVENING FALLS DR LAS VEGAS NV	12524110012

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BAKO TOBE	7352 JELSON FALLS ST LAS VEGAS NV	12513812050
BARAJAS MONICA L	5604 BLUE PEAK AVE LAS VEGAS NV	12513410008
BARNETT KATHLEEN D	7493 MORNING BROOK DR LAS VEGAS NV	12513312026
BARRETT JAMES A & SANDRA A	5316 BLUE COVE CT LAS VEGAS NV	12524511046
BARRETT LEVI E & STACY M	7516 CORAL RIVER DR LAS VEGAS NV	12513722024
BARRIE MELODY A & PETER N	7345 PLATINUM CREEK ST LAS VEGAS NV	12513810008
BARTOLOME CAROLYN C	7527 SPLASHING ROCK DR LAS VEGAS NV	12513722018
BASTIAN SCOTT E	5009 PEACEFUL POND AVE LAS VEGAS NV	12513718017
BASTION JERRY MICHAEL & CHERYL F	10818 NE 19TH OKLAHOMA CITY OK	12513317012
BATCHELOR ROBERT L & SHIRLEY A	5205 AMETHYST CREEK CT LAS VEGAS NV	12513811036
BAXTER CHARLES M JR & KATHY A	7509 JAVA SPARROW ST NO LAS VEGAS NV	12524510024
BAY VERLEEN	7482 PEACEFUL BROOK ST LAS VEGAS NV	12513317004
BEAN DAVID	5130 SAPPHIRE CREEK CT LAS VEGAS NV	12513810036
BECKER MICHAEL W	7357 JELSON FALLS LAS VEGAS NV	12513812037
BEERS BRANDON	7475 LAUGHING BROOK CT LAS VEGAS NV	12513721002
BENNIS MARK A & KARA L	5305 BLUE COVE CT LAS VEGAS NV	12524511043
BEYER MICHAEL S & COLLEEN L	5604 ANGELS LANDING AVE LAS VEGAS NV	12513412023
BILLS RONALD G & MYRNA K	14375 CRESTRIDGE DR CEMENT CITY MI	12524510073
BIRD RYAN P & WHITNEY M	5131 SAPPHIRE CREEK CT LAS VEGAS NV	12513810031
BOHNET MONIQUE J	7485 RAINBOW SPRAY DR LAS VEGAS NV	12513312016
BOINI KHALIL & NINA	24 EISENHOWER LN COTO DE CAZA CA	12513715018
BONDURANT STEVEN & TAMARA D	7501 TRICKLING WASH DR LAS VEGAS NV	12513719019
BONNER BERT E & BERT	7312 RUSTIC MEADOW ST LAS VEGAS NV	12513412030
BONTJE PAUL G & DARCIE L	5130 PEARL CREEK CT LAS VEGAS NV	12513810046
BORON JOHN W & ALINDA K REV TR	7506 HARBOR POND DR LAS VEGAS NV	12513719008
BOULDIN ROBERT K & VICKIE T	5224 PACIFIC OPAL AVE LAS VEGAS NV	12524510079
BRADLEY DAVID C & JANET L	5434 ROTTWEILER CT LAS VEGAS NV	12513411036
BREEDLOVE BARBARA S	5100 AMETHYST CREEK CT LAS VEGAS NV	12513811008
BRISCO JACK F & MARY G	5608 BLUE PEAK AVE LAS VEGAS NV	12513410007
BRITT ERNESTINE G	5105 AMETHYST CREEK CT LAS VEGAS NV	12513811010
BRODGEN WAYNE C & SALLY A	5410 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413020
BROOKS ARLENE M	7536 SPLASHING ROCK DR LAS VEGAS NV	12513722014

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BROWN CHAD E & LEIA M	7531 ROLLING RIVER DR LAS VEGAS NV	12513715015
BROWN VALERIE L	7312 JELSON FALLS ST LAS VEGAS NV	12513812067
BRUMMER FAMILY TRUST	7309 JACK RUSSELL ST LAS VEGAS NV	12513413032
BRUNO-GALLO JOSEPH	7512 EVENING FALLS DR LAS VEGAS NV	12513317023
BRZEZINSKI STEVEN	407 REGENCY CT #6 LOUISVILLE KY	12513722009
BUDZISZEWSKI JESSICA	5117 AMETHYST CREEK CT LAS VEGAS NV	12513811013
BUENDIA ROBERTO	5604 RUSTIC VIEW CT LAS VEGAS NV	12513410032
BULMER FAMILY TRUST	5229 PACIFIC OPAL AVE LAS VEGAS NV	12524510010
BUNKER FAMILY TRUST	2120 SHENLEY CT LAS VEGAS NV	12513810022
BURNETT LINNE	7509 CORAL RIVER DR LAS VEGAS NV	12513722034
BURTON MICHAEL E & NICOLE C	5201 AMETHYST CREEK CT LAS VEGAS NV	12513811035
CABALLES ROY	5423 SPRINGER AVE LAS VEGAS NV	12513413017
CAMP FAMILY TRUST	5426 ST BERNARD CT LAS VEGAS NV	12513411021
CAPIUZZO LIVING TRUST	7505 MAJESTIC BAY ST LAS VEGAS NV	12513721019
CARELLA JOSEPH A & KRISTINE L	5123 SAPPHIRE CREEK CT LAS VEGAS NV	12513810029
CARMICHAEL KAREN L	5232 AMETHYST CREEK CT LAS VEGAS NV	12513811044
CARPENTER DONN R & CATHLEEN MARY	7314 PLATINUM CREEK ST LAS VEGAS NV	12513810017
CARRILLO PETER V & NANCY JEAN	5113 AMETHYST CREEK CT LAS VEGAS NV	12513811012
CARROLL JAMES M & TONYA M	7226 PLATINUM CREEK ST LAS VEGAS NV	12513810024
CARTER JEFFREY & CECILIA	7540 SPLASHING ROCK DR LAS VEGAS NV	12513717014
CARUSO CHARLES E	5127 PEARL CREEK CT LAS VEGAS NV	12513810040
CASPERSON DARRYL & DAWN	5605 BLUE PEAK AVE LAS VEGAS NV	12513410045
CASSOTTI CARL ALLEN & SHIRLEY J	7524 SPLASHING ROCK DR LAS VEGAS NV	12513722010
CASTELO FILOMENA L & JUAN B	7544 SPLASHING ROCK DR LAS VEGAS NV	12513717016
CHAVEZ VICTORIANO	9841 ESTACIO AVE DELHI CA	12513413019
CHENAULT JERRY L	5418 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413022
CHITTENANGO LIVING REVOCABLE TR	7321 PLATINUM CREEK ST LAS VEGAS NV	12513810002
CHRISTENSEN BRENDA ANN	7528 CORAL RIVER DR LAS VEGAS NV	12513722027
CHRISTIANSEN DENNIS A & ELLEN J	5209 PACIFIC OPAL AVE LAS VEGAS NV	12524510015
CHUA WINSTON C & RATANA T	7517 CORAL RIVER DR LAS VEGAS NV	12513722032
CIRILLO MICHAEL A & LINDA H	7479 OLD HARBOR PL LAS VEGAS NV	12513722001
CISTRUNK ELENA M	520 PEACEFUL POND AVE LAS VEGAS NV	12513715034

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CLARKE STEPHEN & AMY	5609 INDIGO BAY WY LAS VEGAS NV	12513318006
COCHRAN LOUIS A & JANET E	5212 AMETHYST CREEK CT LAS VEGAS NV	12513811049
COLEMAN ROLAND	30331 MALLOREA PL CASTIAC CA	12513411002
COLLIER EDWIN A	7341 PLATINUM CREEK ST LAS VEGAS NV	12513810007
COLLINS JERRY L & TANYA D	5600 QUAIL MEADOW CT LAS VEGAS NV	12513410021
COLT SAMUEL G & MARY R	2132 DOVER CT WALNUT CREEK CA	12513811029
COLVIN SENORA	7523 MAJESTIC BAY LAS VEGAS NV	12513721022
CONRAD BRENTON L & PATRICIA L	5336 ELKHORN RD LAS VEGAS NV	12513802004
CORDIANO ARHTUR J & LORRAINE	7489 RAINBOW SPRAY DR LAS VEGAS NV	12513312015
COURTNEY LANS P	5301 PACIFIC OPAL AVE LAS VEGAS NV	12524510008
COWDELL JEREMY K	5529 RAVEN CREEK LAS VEGAS NV	12513801015
COX FAMILY TRUST	6280 DEERSPRINGS WY LAS VEGAS NV	12513715019
CRAWFORD MICHAEL C & MICHELEE	7316 JELSON FALLS ST LAS VEGAS NV	12513812068
CRISP JAMES GERALD & TRESSA ANN	7308 RUSTIC MEADOW ST LAS VEGAS NV	12513412031
CROCKETT JARED W	7214 PLATINUM CREEK ST LAS VEGAS NV	12513810027
CROSS ROGER L	5104 AMETHYST CREEK CT LAS VEGAS NV	12513811007
CUILTY MICHAEL A & BARBARA D	5122 PEARL CREEK CT LAS VEGAS NV	12513810048
CUTTING RICHARD	5601 BLUE PEAK AVE LAS VEGAS NV	12513410044
DAG LIVING TRUST	7108 WILD WAVE DR LAS VEGAS NV	12524510023
DALTON REX D & SHANNON L	7150 WILD WAVE DR LAS VEGAS NV	12524510020
DALTON TIMOTHY M & TONI	7492 MORNING BROOK DR LAS VEGAS NV	12513312018
DAMOTH MARY V	5427 ROTTWEILER CT LAS VEGAS NV	12513411026
DAVIS CLIFFORD J & DEBRA J	5434 SHARPEI CT LAS VEGAS NV	12513413013
DAVIS KATHIE	5312 PACIFIC OPAL AVE LAS VEGAS NV	12524510003
DAVIS WILLIAM J	5050 ELKHORN RD LAS VEGAS NV	12513803004
DEFALCO CHRISTOPHER & VALARIE	7523 TRICKLING WASH DR LAS VEGAS NV	12513719014
DEFULGENTILIS JOSEPH	4132 S RAINBOW BLVD #194 LAS VEGAS NV	12513318007
DELAHUERTA CYNTHIA LYNN	7225 JACK RUSSELL ST LAS VEGAS NV	12513411040
DELANGHE JASON	5228 AMETHYST CREEK CT LAS VEGAS NV	12513811045
DENMAN ERIK & CATHERINE J	7493 MAJESTIC BAY ST LAS VEGAS NV	12513721017
DESHAZO DEAN O & BEVERLY A	5426 NESTLED MOON CT LAS VEGAS NV	12524110011
DEVER SUSAN	7332 RUSTIC MEADOW ST LAS VEGAS NV	12513412025

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DEVIRGILIO DANIEL & COLLEEN	5410 ROTTWEILER CT LAS VEGAS NV	12513411030
DICKENSHEETS JEFFREY W & MARIA E	7492 EVENING FALLS DR LAS VEGAS NV	12513317028
DINKINS DELMAR	5330 SOLAR AVE LAS VEGAS NV	12513801005
DIX JASON A	7485 MORNING BROOK DR LAS VEGAS NV	12513312024
DUDLEY DREW & JONELLE	7217 JACK RUSSELL ST LAS VEGAS NV	12513411042
DUNN CHALRES E JR	7216 RUSTIC MEADOW ST LAS VEGAS NV	12513410039
DUNNE MICHAEL M & KATHY A	7224 UNICORN ST LAS VEGAS NV	12513801008
DUNSMOOR HERBERT & KARLA	5605 ANGELS LANDING AVE LAS VEGAS NV	12513412013
DURHAM DONALD G & KATHLEEN	4337 VICTORIA PARK DR LOS ANGELES CA	12513411001
DUTSON LEX L	5605 DESERT EAGLE CT LAS VEGAS NV	12513412002
EBARB DAVID A & JENIFER D	5228 PACIFIC OPAL AVE LAS VEGAS NV	12524510080
ECHOLS RICHARD & EILEEN	7489 MORNING BROOK DR LAS VEGAS NV	12513312025
ECKLUND JEFFERY R	5122 SAPPHIRE CREEK CT LAS VEGAS NV	12513810038
EDWARDS FAMILY REVOCABLE TRUST	3161 RODEO LN LIVERMORE CA	12513722003
ELLIANO HELEN R LIVING TRUST	5418 BASSET HOUND AVE LAS VEGAS NV	12513411006
ELSLAGER ROBERT & CAROL	7305 JACK RUSSELL ST LAS VEGAS NV	12513411037
ENZENAUER DAVID C & WENDY E	5330 PACIFIC OPAL AVE LAS VEGAS NV	12524511020
ERB GARA L	7491 EVENING FALLS DR LAS VEGAS NV	12513318003
ERSKINE INSTRUMENTS L L C	7521 CORAL RIVER DR LAS VEGAS NV	12513722031
ESLINGER MICHELLE A	7218 PLATINUM CREEK ST LAS VEGAS NV	12513810026
ESPIRITU CHYLA M	2012 SCENIC SUNRISE DR LAS VEGAS NV	12513317006
EVANOFF KATHLEEN E	7470 PEACEFUL BROOK ST LAS VEGAS NV	12513317002
EVEN PAMELA M	7500 TRICKLING WASH DR LAS VEGAS NV	12513719020
FALDMO STEVEN J	360 MANTI PL HENDERSON NV	12513801016
FANNING CHRISTINA G	8234 FENWICK ST SUNLAND CA	12513801002
FARNSWORTH JOEL	7170 ST LUCIA ST LAS VEGAS NV	12524511024
FEHLMAN SHAWN G & BLANCA	7337 PLATINUM CREEK ST LAS VEGAS NV	12513810006
FERRIOLO DIANE	5212 PACIFIC OPAL AVE LAS VEGAS NV	12524510076
FIGUEROA ERIK	7512 PEACEFUL BROOK ST LAS VEGAS NV	12513317009
FINE TIMOTHY J & DENISE M	7463 MAJESTIC BAY ST LAS VEGAS NV	12513721012
FINNAN JAMES F & KIMBERLY L	5435 ROTTWEILER CT LAS VEGAS NV	12513411024
FISHER-REED BETTY M	8395 GRAMBLING WY SANDY UT	12513412024

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FITZGERALD RAMON L & STEPHANIE D	5422 SHARPEI CT LAS VEGAS NV	12513413010
FLAHIVE LISA M	5415 NESTLED MOON CT LAS VEGAS NV	12524110018
FLASHNER IAN & RISA JULIE	7529 CORAL RIVER DR LAS VEGAS NV	12513722029
FLORES ROGELIO S	5431 ROTTWEILER CT LAS VEGAS NV	12513411025
FLOWERS STACEY A & RICHARD D	7340 JELSON FALLS ST LAS VEGAS NV	12513812047
FLYNN MARY ANN & VICTORIA ANN	5422 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413023
FOSTER JAMES L	7519 TRICKLING WASH DR LAS VEGAS NV	12513719015
FOSTER LIONEL S & CATHERINE B	5422 NESTLED MOON CT LAS VEGAS NV	12524110010
FOTINO MARJORIE A & ARTHUR G JR	7501 CORAL RIVER DR LAS VEGAS NV	12513721008
FOX GARY S & KATHLEEN J	5434 ST BERNARD CT LAS VEGAS NV	12513411023
FOY BRAD L & ROSEANNA	5419 ROTTWEILER CT LAS VEGAS NV	12513411028
FRAAS JAMES E JR & CRISTINE M	7501 MORNING BROOK DR LAS VEGAS NV	12513312028
FRAZIER JUDD	5216 PACIFIC OPAL LAS VEGAS NV	12524510077
FREEMAN ANTHONY D & VICTORIA A	7128 ST LUCIA ST LAS VEGAS NV	12524511027
FRIEDMAN ROSLYN M	5427 SHARPEI CT LAS VEGAS NV	12513413003
FULKERSON SUSAN	5013 PEACEFUL POND AVE LAS VEGAS NV	12513715031
GADESKI GARY & KATHY	5229 AMETHYST CREEK CT LAS VEGAS NV	12513811042
GAGEN DAVID P & JULIE L	7487 EVENING FALLS DR LAS VEGAS NV	12513318002
GAGNON CARLTON G & DONNA M	7537 SPLASHING ROCK LAS VEGAS NV	12513722015
GANDEL MARIA & IGOR	5422 BASSET HOUND AVE LAS VEGAS NV	12513411007
GARCIA GUILLERMO	7524 CORAL RIVER DR LAS VEGAS NV	12513722026
GARRETT L L C	1290 S JONES #250 LAS VEGAS NV	12524102001
GIACOMINI MICHAEL P & ROSANNE	5601 RUSTIC VIEW CT LAS VEGAS NV	12513410022
GIBSON VICTORIA	5213 PACIFIC OPAL AVE LAS VEGAS NV	12524510014
GILL MARLON D	5316 PACIFIC OPAL AVE LAS VEGAS NV	12524510004
GOMES GERALD J & JOHANNE REV TR	5423 ST BERNARD CT LAS VEGAS NV	12513411014
GOODRICH S CRAIG & ANNE C	7095 WILD WAVE DR LAS VEGAS NV	12524510021
GREGORY FAMILY TRUST	7481 MAJESTIC BAY ST LAS VEGAS NV	12513721015
GROTHER PAUL E & SHERRILL D	7317 JACK RUSSELL ST LAS VEGAS NV	12513413030
GUERRA EFREN	5025 PEACEFUL POND AVE LAS VEGAS NV	12513715028
GUMZ JACOB E & CAROL A	5126 PEARL CREEK CT LAS VEGAS NV	12513810047
GUNTHER JEFFREY F & ANN M	7475 MAJESTIC BAY ST LAS VEGAS NV	12513721014

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HAHN ROBERT M & NORMA J	5025 RIVER SPLASH AVE LAS VEGAS NV	12513723019
HALL TIMOTHY & CYNTHIA O	P O BOX 750039 LAS VEGAS NV	12513412010
HAMILTON JOHN F & CAROL	5135 PEARL CREEK DR LAS VEGAS NV	12513810042
HAMM MARK WILLIAM & DAWN MARIE	5713 INDIGO BAY WY LAS VEGAS NV	12513318012
HARDY KELLEN	5112 PEACEFUL POND AVE LAS VEGAS NV	12513715020
HARKNESS RICHARD M & LINDA M	7220 RUSTIC MEADOW ST LAS VEGAS NV	12513410038
HARRIS ERNEST C & JAMIE L	7476 PEACEFUL BROOK ST LAS VEGAS NV	12513317003
HARWARD KIMO	5208 CHINA CREEK CT LAS VEGAS NV	12513811032
HARWARD MORGAN W & MELISSA D	7156 ST LUCIA ST LAS VEGAS NV	12524511025
HAYLORSON JAMES E	5209 AMETHYST CREEK CT LAS VEGAS NV	12513811037
HAYS LOUIS & PAMELA	7144 PAINTED PARADISE ST LAS VEGAS NV	12524110003
HENDRICKS THANE J & BETTY ANN	7531 SPLASHING ROCK DR LAS VEGAS NV	12513722017
HENSLEY JEFFREY S	7305 JELSON FALLS ST LAS VEGAS NV	12513812005
HERNANDEZ LEEAN S & ENRIQUE	7129 PAINTED PARADISE ST LAS VEGAS NV	12524110021
HERNUJIST JEFFREY & VALERIE	410 RANCHO DEL NORTE DR NO LAS VEGAS NV	12513812048
HESKETH CHRISTOPHER L	7301 JACK RUSSELL ST LAS VEGAS NV	12513411038
HESS MARGARET E	5200 AMETHYST CREEK CT LAS VEGAS NV	12513811052
HESTER FRANK L JR	7498 CORAL RIVER DR LAS VEGAS NV	12513721011
HICKLE RANDY H & DAWN M	7338 EMERALD BROOK ST LAS VEGAS NV	12513811019
HILL BILL M & CATHY A	7129 ST LUCIA ST LAS VEGAS NV	12524511015
HILL JOSHUA G	7500 MORNING BROOK DR LAS VEGAS NV	12513312019
HIMMELSBACH BARRY & LAURA	7501 EVENING FALLS DR LAS VEGAS NV	12513317011
HINES BRIAN F	7208 UNICORN ST LAS VEGAS NV	12513801010
HINOJOSA HECTOR & ROCHELLE	7101 ST LUCIA ST LAS VEGAS NV	12524511013
HO KEITH	7515 TRICKLING WASH DR LAS VEGAS NV	12513719016
HOLBERG LARRY W & DARLYNE L	5427 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413016
HOLLNIGSHEAD JEFFREY	7045 WILD WAVE DR LAS VEGAS NV	12524511040
HORNE DONNA D	7514 HARBOR POND DR LAS VEGAS NV	12513719009
HOUK KEITH B & WINONA B	5704 INDIGO BAY LAS VEGAS NV	12513318027
HOUSE ROBERT & TERRY	7549 SPLASHING ROCK DR LAS VEGAS NV	12513717011
HUBER CHRISTINA	5127 OPAL CREST AVE LAS VEGAS NV	12513810050
HUMBLE B & VANLEUVEN P REV TR	7474 LAUGHING BROOK CT LAS VEGAS NV	12513721005

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HUNTER JUDITH R	7115 PAINTED PARADISE ST LAS VEGAS NV	12524110022
HUO WEIXIONG	7497 CORAL RIVER DR LAS VEGAS NV	12513721009
IN HIS SERVICE TRUST	%M/M R ROUSE 5436 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413025
INGALISE EUGENE E JR & MYONG S	7130 PAINTED PARADISE ST LAS VEGAS NV	12524110002
IRVIN KENNETH & PATRICIA	7115 WILD WAVE DR LAS VEGAS NV	12524510019
IZZO JOHN	2100 SPRINGSTEAD ST LAS VEGAS NV	12513811027
JACOBSEN LIVING TRUST	10633 W WELK DR SUN CITY AZ	12513719023
JACOBSON CHRISTOPHER M & LESLIE	5135 SAPPHIRE CREEK CT LAS VEGAS NV	12513810032
JAMESON K RICHARD FAMILY TRUST	P O BOX 363189 NO LAS VEGAS NV	12513802007
JARVIS ROBERT W	5101 PEACEFUL POND AVE LAS VEGAS NV	12513715027
JEFFERS CLIFFORD M & SANDRA	7353 JELSON FALLS ST LAS VEGAS NV	12513812038
JENKINS JANICE J LIVING TRUST	5100 PEACEFUL POND AVE LAS VEGAS NV	12513715017
JENSEN FAMILY LIVING TRUST	5204 CHINA CREEK CT LAS VEGAS NV	12513811033
JOHN MARK W & JANET V REV LIV TR	5431 W SPRINGER SPANIEL AVE LAS VEGAS NV	12513413015
JOHNSON FAMILY TRUST	5422 ST BERNARD CT LAS VEGAS NV	12513411020
JOHNSON JOHN H & MARY	5605 RUSTIC VIEW CT LAS VEGAS NV	12513410023
JOHNSON WILLIAM R	7212 RUSTIC MEADOWS ST LAS VEGAS NV	12513410040
JOHNSTON ROBERT E & JEAN S	7125 WILD WAVE DR LAS VEGAS NV	12524510018
JONES DEBRA A	7330 PLATINUM CREEK ST LAS VEGAS NV	12513810013
JONES JOHN P	5123 OPAL CREST AVE LAS VEGAS NV	12513810049
JUAREZ RICARDO G	7204 RUSTIC MEADOW ST LAS VEGAS NV	12513410042
KAHLE PAUL E & CATHERINE E	5216 AMETHYST CREEK CT LAS VEGAS NV	12513811048
KAMINAGA ROBERT S & CHARLOTTE	7408 BLUE SAGE CT LAS VEGAS NV	12524511016
KANAN COMPANY L L C	P O BOX 750522 LAS VEGAS NV	12513810020
KARAS TERRY ALAN & KATHRYN LYNIN	5325 SOLAR AVE LAS VEGAS NV	12513802001
KEISKER JEFFERY D & JEANNE M	5139 OPAL CREST AVE LAS VEGAS NV	12513810053
KENNEDY MICHAEL C	7142 ST LUCIA ST LAS VEGAS NV	12524511026
KERN JOSHUA L & DANIECE R	7310 PLATINUM CREEK ST LAS VEGAS NV	12513810018
KETCHELL PAUL S	5204 PACIFIC OPAL AVE LAS VEGAS NV	12524510074
KIEFER JACOB J & CAROLINE	7204 UNICORN LAS VEGAS NV	12513801017
KIM ALEXANDER P & HIEWON	107 EDUCATION AVE DURHAM NC	12513810003
KIM DONGWOO & JUNGMI	5604 DESERT EAGLE CT LAS VEGAS NV	12513412011

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KINCAID JEFFREY W & RACHEL P	5138 PEARL CREEK CT LAS VEGAS NV	12513810044
KINGSTON KATHLEEN L LIVING TRUST	5125 AMETHYST CREEK CT LAS VEGAS NV	12513811015
KITSON RITA E	7534 SPLASHING ROCK DR LAS VEGAS NV	12513722013
KLEIN ROBERT L & DENISE I	5423 ROTTWEILER CT LAS VEGAS NV	12513411027
KNOWLES ROBERT T & SHARON K	9312 PEBBLE BEACH DR ALBUQUERQUE NM	12513715023
KNUTH MICHAEL W	7479 LAUGHING BROOK CT LAS VEGAS NV	12513721001
KOEHL JAMES R	5113 PEACEFUL POND AVE LAS VEGAS NV	12513715024
KONTOS ALAYNA M	1009 NORTHCREST PEORIA IL	12513722020
KORSVIG LORETTA	7143 PAINTED PARADISE ST LAS VEGAS NV	12524110020
KRAFT RYAN C & NATASHA M	5434 NESTLED MOON CT LAS VEGAS NV	12524110013
KRAUSS MARK J	5600 DESERT EAGLE CT LAS VEGAS NV	12513412012
LACZKO GYORGY & CHRISTINA L	5608 QUAIL MEADOW CT LAS VEGAS NV	12513410019
LANE DANIEL R & LINDA K	5414 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413021
LAPIANO PATRICK A & MARIE	5131 OPAL CREST AVE LAS VEGAS NV	12513810051
LEE FAMILY TRUST	7469 MAJESTIC BAY ST LAS VEGAS NV	12513721013
LEHTINEN RALPH JOHN & TONI DIANE	5435 SHARPEI CT LAS VEGAS NV	12513413001
LENTZ LORRAINE R & DENNIS J	5024 MARTINEZ BAY AVE LAS VEGAS NV	12513812066
LEWANDOWSKI CHARLES & JANET	7535 SPLASHING ROCK DR LAS VEGAS NV	12513722016
LEWIS MARTIN M	5601 INDIGO BAY WY LAS VEGAS NV	12513318004
LINN PATRICK J & ANGELICA M	5419 NESTLED MOON CT LAS VEGAS NV	12524110017
LISZKA WILLIAM J & ELAINE B	7185 ST LUCIA ST LAS VEGAS NV	12524511019
LLEWELLYN DON J & DENISE L	5414 SHARPEI CT LAS VEGAS NV	12513413008
LOHR KEVIN	5033 MARTINEZ BAY AVE LAS VEGAS NV	12513812006
LONIGRO ARTHUR TRUST	5609 ANGELS LANDING AVE LAS VEGAS NV	12513412014
LOPEZ HECTOR	P O BOX 921336 SYLMAR CA	12524511022
LORE PAUL	7337 JELSON FALLS ST LAS VEGAS NV	12513812042
LUI HENRY CHARLES JR	2818 VIA FLORENTINE HENDERSON NV	12513715029
LUND DANIEL L & BRANDI L	5419 ST BERNARD CT LAS VEGAS NV	12513411015
LYNBROOK MASTER ASSOCIATION	%BENCHMARK ASSOCIATION SERVICES 1515 E TROPICANA AVE #350 A LAS VEGAS NV	12513722035
LYNBROOK MASTER ASSOCIATION	%BENCHMARK ASSOC SVCS 1515 E TROPICANA AVE #350A LAS VEGAS NV	12513318028
MACRAE FRANK R & LYNN M	5224 AMETHYST CREEK CT LAS VEGAS NV	12513811046
MAHLSTEDE SHERRY D	7500 PEACEFUL BROOK ST LAS VEGAS NV	12513317007

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MANKIEWICZ MARK D & TAMMIE J	5426 SHARPEI CT LAS VEGAS NV	12513413011
MANZULLO VIVIAN & JOSEPH	5431 SHARPEI CT LAS VEGAS NV	12513413002
MARCHAND RUSSELL D II & DORIAN L	7534 TRICKLING WASH DR LAS VEGAS NV	12513711015
MARKOVIC SAVA	5212 CHINA CREEK CT LAS VEGAS NV	12513811031
MARKOWITZ FAMILY TRUST	7317 JELSON FALLS ST LAS VEGAS NV	12513812002
MARLER JEFFERY SCOTT & KRISTY L	5134 PEARL CREEK CT LAS VEGAS NV	12513810045
MAROUN ANN	7506 PEACEFUL BROOK ST LAS VEGAS NV	12513317008
MARQUES ADELINO B & CAROL REV TR	5225 PACIFIC OPAL AVE LAS VEGAS NV	12524510011
MARSH DARYL A & CHRISTINA J	5233 PACIFIC OPAL AVE LAS VEGAS NV	12524510009
MARSHALL CHRISTOPHER JAMES	5405 BLUE HORIZON CT LAS VEGAS NV	12513811051
MARSHALL STEPHEN C & MYRIAM	5414 BASSET HOUND AVE LAS VEGAS NV	12513411005
MARTINEZ ALEX & BETTE L	7484 EVENING FALLS DR LAS VEGAS NV	12513317030
MATLOCK GREGORY	7527 ROLLING RIVER DR LAS VEGAS NV	12513715016
MATSUMOTO SHIRLEE REVOCABLE TR	5414 NESTLED MOON CT LAS VEGAS NV	12524110008
MAYBERRY VICKI M	5430 SHARPEI CT LAS VEGAS NV	12513413012
MAYFIELD-MACK LAVERNE	8370 W CHEYENNE #109-21 LAS VEGAS NV	12513410034
MAYFIELD-MACK LAVERNE P	8370 W CHEYENNE #109-21 LAS VEGAS NV	12524510075
MAYNARD CONNIE V & SHARON	11111 TUTTLEHILL RD MILAN MI	12513812049
MCCARTHY JANICE & ROBERT	7348 JELSON FALLS ST LAS VEGAS NV	12524110016
MCCCLONE LORI & SHAWN	5423 NESTLED MOON CT LAS VEGAS NV	12513812046
MCCULLEN DORRANCE E & JANET L	7336 JELSON FALLS ST LAS VEGAS NV	12513811030
MCDANIELS RODNEY J & ANNA L	5216 CHINA CT LAS VEGAS NV	12524510017
MC GILLIVRAY ARGYLE D & BARBARA E	7135 WILD WAVE DR LAS VEGAS NV	12513411022
MCGUIRE TONI L REVOCABLE TRUST	5430 ST BERNARD CT LAS VEGAS NV	12513317029
MCGUYER DONALD & ROYANNA S	7488 EVENING FALLS DR LAS VEGAS NV	12513410010
MC MILLAN REBECCA	5601 QUAIL MEADOW CT LAS VEGAS NV	12524511014
MCMURRY KIMBERLY S & RODNEY C	7115 ST LUCIA ST LAS VEGAS NV	12513413006
MECI RICKY & DENISE	5415 SHARPEI CT LAS VEGAS NV	12513810030
MEDINA RODNEY A & DEBBRA ANN	5127 SAPPHIRE CREEK CT LAS VEGAS NV	12513717013
MELGAREJO EDWING O	7541 SPLASHING ROCK DR LAS VEGAS NV	12513810033
MEREDITH STUART G & JERRIANN	5139 SAPPHIRE CREEK LAS VEGAS NV	12513715033
MILLER GERALD L & ELENA	8145 N TIOGA WY LAS VEGAS NV	

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MINOTTA GUILLERMO J & G REV TR	5605 INDIGO BAY WY LAS VEGAS NV	12513318005
MIZRAHI EREZ	5121 PEACEFUL POND AVE LAS VEGAS NV	12513715022
MOATS JAMES G & CAROLINA M	7508 SPLASHING ROCK DR LAS VEGAS NV	12513722006
MOLINARO GLORIA	7511 TRICKLING WASH DR LAS VEGAS NV	12513719017
MOLNAR TIBOR J & SHERRY M	7349 JELSON FALLS ST LAS VEGAS NV	12513812039
MONAHAN IMOGENE & JOHN	7504 TRICKLING WASH DR LAS VEGAS NV	12513719021
MONTGOMERY MARILYN J LIVING TR	5213 CHINA CREEK CT LAS VEGAS NV	12513811026
MOORE BARBARA L	5126 SAPPHIRE CREEK CT LAS VEGAS NV	12513810037
MOORE JANICE G	7505 TRICKLING WASH DR LAS VEGAS NV	12513719018
MORAN WILLIAM JR & SHERRY A	7496 EVENING FALLS DR LAS VEGAS NV	12513317027
MORGAN JOHN D	7536 CORAL RIVER DR LAS VEGAS NV	12513714019
MOSES DUAIN E & CYNTHIA M	7131 CELADINE ST LAS VEGAS NV	12524512051
MOUNSEY CHRISTI L & WILLIAM S	7345 JELSON FALLS ST LAS VEGAS NV	12513812040
MURATORI PAULA M	5221 CHINA CREEK CT LAS VEGAS NV	12513811028
MURNANE MATTHEW J & NANCY J	7334 EMERALD BROOK ST LAS VEGAS NV	12513811020
MURPHY MICHAEL R & JEANNE K	5410 SHARPEI CT LAS VEGAS NV	12513413007
NASH WILLIE L & RETHA FAMILY TR	5422 ROTTWEILER CT LAS VEGAS NV	12513411033
NELSON DALE S	5108 AMETHYST CREEK CT LAS VEGAS NV	12513811006
NELSON GLENN	1340 WHITE OAKS RD #A CAMPBELL CA	12513722023
NERI CARL H & PHYLLIS E	5705 INDIGO BAY WY LAS VEGAS NV	12513318010
NEWBY DONALD E	5312 ELKHORN RD LAS VEGAS NV	12513802006
NICHOLLS LISA S & COLIN M	5431 ST BERNARD CT LAS VEGAS NV	12513411012
NICHOLSON JUDY V	171 COTTAGE WALK DALLAS GA	12513411008
NOLAN TIMOTHY M & KARLA J	5217 PACIFIC OPAL AVE LAS VEGAS NV	12524510013
NORTON STEVE	5129 AMETHYST CREEK CT LAS VEGAS NV	12513811016
OCAMPO DEAN JACOB	7484 MORNING BROOK DR LAS VEGAS NV	12513312017
OCHOA BENJAMIN & M FAM TR	7096 WILD WAVE DR LAS VEGAS NV	12524510022
OEHLER WILLIAM F	5415 ST BERNARD CT LAS VEGAS NV	12513411016
OMMEN RICHARD	5200 CHINA CREEK CT LAS VEGAS NV	12513811034
O'ROURKE CHRISTOPHER R	7201 JACK RUSSELL ST LAS VEGAS NV	12513411046
OSSANA VINCENT C & PAMELA	7526 TRICKLING WASH DR LAS VEGAS NV	12513719027
PAGE WAYNE L & CHRISTY E	5427 NESTLED MOON CT LAS VEGAS NV	12524110015

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PALOMATA ETTTEL COSTES	7184 ST LUCIA ST LAS VEGAS NV	12524511023
PAMELA CLELLAND INVEST GROUP	8432 WOODLAND PRAIRIE AVE LAS VEGAS NV	12513715021
PARKER DEREL G	7157 PAINTED PARADISE ST LAS VEGAS NV	12524110019
PARKER KRISTI ANN & WESLEY DALE	5309 PACIFIC OPAL LAS VEGAS NV	12524510006
PATTI NICOLE L	5109 AMETHYST CREEK CT LAS VEGAS NV	12513811011
PAXON JOHN P	7346 PLATINUM CREEK ST LAS VEGAS NV	12513810009
PAYNE MARK K & MARIANN	5221 PACIFIC OPAL AVE LAS VEGAS NV	12524510012
PEDROZA NATEEH R & ANTHONY M	1726 W GREGORY ST #1 CHICAGO IL	12513411045
PELL D LOUISE	7475 OLD HARBOR PL LAS VEGAS NV	12513722002
PELLICAN BRYAN O & RACHEL E	7333 PLATINUM CREEK ST LAS VEGAS NV	12513810005
PELLICAN RALPH & CECILIA REV TR	7334 PLATINUM CREEK ST LAS VEGAS NV	12513810012
PENNY BLAKE	5201 CHINA CREEK CT LAS VEGAS NV	12513811023
PERRIN CHRISTINE	5017 PEACEFUL POND AVE LAS VEGAS NV	12513715030
PERRYMAN DANIEL J & DARLA G	7329 PLATINUM CREEK ST LAS VEGAS NV	12513810004
PETTY JENNIFER LYNN & JASON LEE	7518 PEACEFUL BROOK ST LAS VEGAS NV	12513317010
PEZZORELLO VINCENT G	5423 SHARPEI CT LAS VEGAS NV	12513413004
PFANTZ RONALD A & SUSAN K	7329 JACK RUSSELL ST LAS VEGAS NV	12513413027
PHILLIPS RICHARD K	5124 AMETHYST CREEK CT LAS VEGAS NV	12513811002
PHILLIPS SHAYA	20 COLUMBIA PL MERRICK NY	12513412015
PIOTROWSKI JOHN K & CHARMAINE R	7222 PLATINUM CREEK ST LAS VEGAS NV	12513810025
PITT SETH H & TERI D	7329 JELSON FALLS ST LAS VEGAS NV	12513812044
PLENERT GARY L	5609 RUSTIC VIEW CT LAS VEGAS NV	12513410024
PODVOLL MITCHELL & EVELYN	5220 PACIFIC OPAL AVE LAS VEGAS NV	12524510078
PORTMAN BARBRA	5600 RUSTIC VIEW CT LAS VEGAS NV	12513410033
POWER DAVID M & MARIA R	7342 PLATINUM CREEK ST LAS VEGAS NV	12513810010
PRADO THOMAS W & APRIL A	7171 ST LUCIA ST LAS VEGAS NV	12524511018
PRIMM KUMIKO	7770 LEON AVE LAS VEGAS NV	12513801003
PRINCIPE JOSE RAFAEL & ALICE	5708 INDIGO BAY WY LAS VEGAS NV	12513318026
PROCTOR CHARLES E & VIVIAN	7313 JELSON FALLS ST LAS VEGAS NV	12513812003
QARE ABDULELAH YOUSEF ABU	5431 NESTLED MOON CT LAS VEGAS NV	12524110014
RASMUSON DEAN & CARLA	7504 VIA RIMINI ST LAS VEGAS NV	12513411018
RATHBONE MICHAEL & JOYCE REV TR	5432 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413024

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RAWLINS MICHAEL T	7488 PEACEFUL BROOK ST LAS VEGAS NV	12513317005
REALWAY ASIA LIMITED	7246 PLATINUM CREEK ST LAS VEGAS NV	12513810019
REDMOND CATHY	9775 FOUR VIEW ST LAS VEGAS NV	12513810041
REESE HUEY JORDAN	5024 PEACEFUL POND AVE LAS VEGAS NV	12513715035
REID KEITH	2270 W CARNATION WY PAHRUMP NV	12513719024
REINHARDT PAUL E	7526 SPLASHING ROCK DR LAS VEGAS NV	12513722011
RESTIVO CARMEN A & PATRICIA J	7533 CORAL RIVER DR LAS VEGAS NV	12513714018
RICHARD THATCUS C	10015 DESERT MALLOW MORENO VALLEY CA	12513722012
RICHARDS DAVID T & DARLA D	5312 BLUE COVE CT LAS VEGAS NV	12524511047
RICHMOND AMERICAN HOMES NEVADA	9970 W CHEYENNE AVE #100 LAS VEGAS NV	12513812070
RICKARD JOHN L JR	5032 STONE BAY AVE LAS VEGAS NV	12513812036
RIMMAUDO JOHN R & SUSAN A	5617 INDIGO BAY WY LAS VEGAS NV	12513318008
RISSETTO CHRISTOPHER L & RACHEL	10314 YELLOW PINE DR VIENNA VA	12513810043
RIVERA FLORY L & AIDA	7209 JACK RUSSELL ST LAS VEGAS NV	12513411044
RIVERA-DIXON ELIZABETH	5209 CHINA CREEK CT LAS VEGAS NV	12513811025
ROBERTS COURTNEY L	7326 EMERALD BROOK ST LAS VEGAS NV	12513811022
ROBERTS FAMILY LIVING TRUST	5609 DESERT EAGLE CT LAS VEGAS NV	12513412003
RODRIGUEZ GEORGE & BETH M	7487 MAJESTIC BAY ST LAS VEGAS NV	12513721016
ROGERS MICHAEL W	5128 AMETHYST CREEK CT LAS VEGAS NV	12513811001
ROMERO JOHN J JR & GLORIA M	5604 QUAIL MEADOW CT LAS VEGAS NV	12513410020
ROMO RAFAEL & CATHERINE M	7508 CORAL RIVER DR LAS VEGAS NV	12513722022
RONQUILLO RAYMOND B & JENNIFER	7532 CORAL RIVER DR LAS VEGAS NV	12513722028
ROOS JUDY A	5301 BLUE COVE CT LAS VEGAS NV	12524511042
ROPER SHERMAN C & DONNA C	5324 ELKHORN RD LAS VEGAS NV	12513802005
ROSE THOMAS E & DIANE L FAM TR	5301 SOLAR AVE LAS VEGAS NV	12513802002
ROSENBERG LAWRENCE & KIM	5304 BLUE COVE CT LAS VEGAS NV	12524511049
ROSENFELD KELLY M & ARON M	7542 SPLASHING ROCK DR LAS VEGAS NV	12513717015
ROSENLUND GREGORY L & NESHA	7200 RUSTIC MEADOW ST LAS VEGAS NV	12513410043
ROSKOWSKI ANNETTE M	7332 JELSON FALLS ST LAS VEGAS NV	12513812045
ROSS DENNIS A III	5418 NESTLED MOON CT LAS VEGAS NV	12524110009
ROUNDS JOHN	7520 CORAL RIVER DR LAS VEGAS NV	12513722025
ROUNDY DOUGLAS C & LISA	5917 CASA CORONADO AVE LAS VEGAS NV	12513801009

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RUMELT DANIEL L	3972 GEORGETOWN CT NW WASHINGTON DC	12513812001
RYAN CLINTON P	5609 QUAIL MEADOW CT LAS VEGAS NV	12513410012
RYAN JUSTIN ERIC & KARLA LAURINE	5439 BASSET HOUND AVE LAS VEGAS NV	12513411047
RZEPKA JANICE	7065 W ANN RD #130-618 LAS VEGAS NV	12513715026
SABBATH STEVEN G & ANNA	5324 PACIFIC OPAL AVE LAS VEGAS NV	12524511021
SACO STEVEN CLARK & BONNIE R	23804 MCCORT DR BROWNSTOWN MI	12513719028
SAGE LINDA	5205 CHINA CREEK CT LAS VEGAS NV	12513811024
SAGUI EDWARD R & JOAN T	5309 BLUE COVE CT LAS VEGAS NV	12524511044
SALINAS MISAEI	5121 AMETHYST CREEK CT LAS VEGAS NV	12513811014
SANDERS ALDOROTHY	7515 SPLASHING ROCK DR LAS VEGAS NV	12513722021
SANTIAGO MARIA SOCORRO A LIV TR	27 WOODS CIR S SAN FRANCISCO CA	12513722007
SAPORITO SANTO & MARY	5300 BLUE COVE CT LAS VEGAS NV	12524511050
SAVINI VONA C & SALVATORE	5435 ST BERNARD CT LAS VEGAS NV	12513411011
SAXTON MATTHEW J	5313 PACIFIC OPAL AVE LAS VEGAS NV	12524510005
SCARPATI JOHN & JANICE	7516 SPLASHING ROCK DR LAS VEGAS NV	12513722008
SCHILDMEYER JEFFREY	7562 HARBOR POND DR LAS VEGAS NV	12513719007
SCHLEGEL GERARD J	10005 LAUREL SPRINGS AVE LAS VEGAS NV	12513811018
SCHWARTZ CHRISTOPHER	7527 TRICKLING WASH DR LAS VEGAS NV	12513719013
SCOGGINS ALAN	7525 CORAL RIVER DR LAS VEGAS NV	12513722030
SCOTT BRANDON S & APRIL D	7513 CORAL RIVER DR LAS VEGAS NV	12513722033
SCOTT VANCE	7499 MAJESTIC BAY ST LAS VEGAS NV	12513721018
SEIBERT TODD W	5308 BLUE COVE CT LAS VEGAS NV	12524511048
SELF ROGER A JR & CHRISTINE S	8756 AURUMN VALLEY LAS VEGAS NV	12524511045
SELL SCOTT ROBERT & KATHLEEN M	7509 EVENING FALLS DR LAS VEGAS NV	12513317013
SEVERSON KELLY	5217 AMETHYST CREEK CT LAS VEGAS NV	12513811039
SHADDY KENNETH M	5435 BASSET HOUND AVE LAS VEGAS NV	12513411048
SHIELDS CHRISTINE & HEATHER	1755 COACHMAN DR CAMARILLO CA	12513318009
SIKORA TRUST	7300 RUSTIC MEADOW ST LAS VEGAS NV	12513410035
SILVA FERNANDO G & CONSUELO	7330 EMERALD BROOK ST LAS VEGAS NV	12513811021
SINGEL RACHEL	5426 ROTTWEILER CT LAS VEGAS NV	12513411034
SKITZIS JOHN JR & STEPHANIE LYNN	7511 MAJESTIC BAY ST LAS VEGAS NV	12513721020
SLANINKA PAUL R & ROSALIE V	7324 RUSTIC MEADOW ST LAS VEGAS NV	12513412027

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SLATIN NEAL & JUDITH M	7325 JACK RUSSELL ST LAS VEGAS NV	12513413028
SMALING HANS & CHRISTA M	5419 SHARPEI CT LAS VEGAS NV	12513413005
SMEDLEY ROGER N	5418 ROTTWEILER CT LAS VEGAS NV	12513411032
SMITH JAMES R	68 DIANA ST SAN FRANCISCO CA	12513411010
SMITH LAWRENCE A JR & ALISA L	7508 EVENING FALLS DR LAS VEGAS NV	12513317024
SOLOMON ROBERT & BARBARA TRUST	5308 PACIFIC OPAL AVE LAS VEGAS NV	12524510002
SPIPKER ZAC C & JAMIE M	5101 AMETHYST CREEK CT LAS VEGAS NV	12513811009
SPIVEY FAMILY TRUST	7055 WILD WAVE DR LAS VEGAS NV	12524511041
STAIGER FAMILY LIVING REV TR	7322 EMERALD BROOK ST LAS VEGAS NV	12513810001
STECHER PETER J	7326 PLATIUM CREEK ST LAS VEGAS NV	12513810014
STEIERMANN JOHN H & KARLA L	5233 AMETHYST CREEK CT LAS VEGAS NV	12513811043
STEVENS LYDIA M	5123 PEARL CREEK CT LAS VEGAS NV	12513810039
STEWART JARED B & MELANIE A	7518 TRICKLING WASH DR LAS VEGAS NV	12513719025
STICH KEVIN M & CONNIE S	5435 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413014
STONE WAYNE M	28386 MIRABELLE LN SANTA CLARITA CA	12513412028
STOPS ARLIE	5605 QUAIL MEADOW CT LAS VEGAS NV	12513410011
STORMS JON M	7040 MEZZANINE WY LONG BEACH CA	12513317001
STUBBLEFIELD TRAVIS & JESSICA L	7238 PLATINUM CREEK LAS VEGAS NV	12513810021
STUCKEY SHAWNA	5109 PEACEFUL POND AVE LAS VEGAS NV	12513715025
SUTHERLAND CLINTON C & MARSHA K	5410 ST BERNARD CT LAS VEGAS NV	12513411017
SUTTON KARL L JR & IRENE S	5410 BASSET HOUND AVE LAS VEGAS NV	12513411004
SYLVESTER MICHAEL C & RAE LYNN	5431 BASSET HOUND AVE LAS VEGAS NV	12513411049
SZOSTEK MICHAEL E	7522 TRICKLING WASH DR LAS VEGAS NV	12513719026
TAM DANIEL	8502 BUCKI LN WILLOW SPRINGS IL	12513318011
TAPIADOR S LEONCIO & JOSEPHINE A	721 SKYLINE DR DALY CITY CA	12513722005
TAYLOR JAMES E	7540 CORAL RIVER DR LAS VEGAS NV	12513714020
TAYLOR TRACY A & PATRICIA Y	5500 DONALD RD LAS VEGAS NV	12524103004
TETTING DAVID J & KRISTINA M	7509 MORNINGBROOK LAS VEGAS NV	12513312029
THOMAS AHMED S & LILLIAN S	1096 DRUID LAKE DECATUR GA	12513410009
THOMAS DAVID L & GERALDINE L	5415 ROTTWEILER CT LAS VEGAS NV	12513411029
THOMAS DEAN L & DENISE	5430 ROTTWEILER CT LAS VEGAS NV	12513411035
THOMAS STEPHEN C & DEBORAH A	5220 AMETHYST CREEK CT LAS VEGAS NV	12513811047

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THOMASON JERRY D & MARTHA T	5418 ST BERNARD CT LAS VEGAS NV	12513411019
THORNTON TIFTON B & CHANTAL A	5138 SAPPHIRE CREEK CT LAS VEGAS NV	12513810034
THORSON KYATT G & TRACIE L	5112 AMETHYST CREEK CT LAS VEGAS NV	12513811005
TILT LANELL N & PHILIP G	7208 RUSTIC MEADOW ST LAS VEGAS NV	12513410041
TOBLER KARL B & JAN P	7228 RUSTIC MEADOW ST LAS VEGAS NV	12513410036
TORIO FELIMON C & EVELYN A	%EQUITY PRESERVATION INC 2732 NORBERT CT SAN JOSE CA	12524510001
TORNABENE STEVEN F & SHIELA M	5415 BASSET HOUND AVE LAS VEGAS NV	12513411003
TORRES JORGE U	2762 LANDER CT NEWBURY PARK CA	12513802003
TRAMMELL WILLIAM L & LESLIE R	7230 PLATINUM CREEK ST LAS VEGAS NV	12513810023
TRIPLE BRAIDED CORD L L C	P O BOX 98378 LAS VEGAS NV	12524511017
TROXELL SHEILA L	7517 MAJESTIC BAY LAS VEGAS NV	12513721021
TURBIVILLE SHARON D	5300 SOLAR AVE LAS VEGAS NV	12513801006
VANBUSKIRK LANCE & AMY L	7100 ST LUCIA ST LAS VEGAS NV	12524511029
VANDERLAAN ANGELA M	7321 JACK RUSSELL ST LAS VEGAS NV	12513413029
VANETTEN JOHN E & SUE	5419 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413018
VILLALUZ EDWARD	5135 OPAL CREST AVE LAS VEGAS NV	12513810052
VINCENT ALFRED P & ZULAL	%DEPT STATE 7130 SARAJEVO PL DULLES VA	12513411013
WALKER MATTHEW B & KAREN	7213 JACK RUSSEL ST LAS VEGAS NV	12513411043
WATTS MICHAEL V	7493 CORAL RIVER DR LAS VEGAS NV	12513721010
WEBB LAURIE H	7186 PAINTED PARADISE ST LAS VEGAS NV	12524110006
WEBER GILBERT A	1027 S RAINBOW BLVD #106 LAS VEGAS NV	12513810016
WEBER GILBERT A	7508 TRICKLING WASH DR LAS VEGAS NV	12513719022
WEINFURTER TOBY J	7114 ST LUCIA ST LAS VEGAS NV	12524511028
WELLS LYNNETTE	5440 SPRINGER SPANIEL AVE LAS VEGAS NV	12513413026
WERNER FAMILY TRUST	5208 AMETHYST CREEK CT LAS VEGAS NV	12513811050
WERNER MICHAEL A & STACY	5331 SEVERANCE LAS VEGAS NV	12513801001
WESLEY SAUL L	7478 LAUGHING BROOK CT LAS VEGAS NV	12513721006
WEST CHARLES D & MARY A	7328 RUSTIC MEADOW ST LAS VEGAS NV	12513412026
WEST DORIS A & RICHARD J	7497 MORNING BROOK DR LAS VEGAS NV	12513312027
WEST JOE	7109 JEANNETTE ST LAS VEGAS NV	12524103002
WHAT ABOUT ME L L C	2684 SATURN DR LAKE ORION MI	12524110001
WHITING TODD & KARI	7210 PLATINUM CREEK ST LAS VEGAS NV	12513810028

Report of All Selected Parcels

Case Number: ZON-17693

Printed On: Fri: November 3, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
WHITNEY CHRISTOPHER & KRISTINA	5225 AMETHYST CREEK CT LAS VEGAS NV	12513811041
WIERMA DOUGLAS J	5100 RICKY DR LAS VEGAS NV	12513413009
WILKS JOHN R & LORI A	7470 LAUGHING BROOK CT LAS VEGAS NV	12513721004
WILLARD MICHAEL L	7158 PAINTED PARADISE ST LAS VEGAS NV	12524110004
WILLIAMS BOBBY L & KRYNN A	7084 WILD WAVE DR LAS VEGAS NV	12524511051
WILLIAMS KISHA	7341 JELSON FALLS ST LAS VEGAS NV	12513812041
WILSON LELLANY	5134 SAPPHIRE CREEK CT LAS VEGAS NV	12513810035
WITCHER KENNETH L & SARITA A	7229 JACK RUSSELL ST LAS VEGAS NV	12513411039
WOLF ANDREAS E & STACEY J	7346 EMERALD BROOK ST LAS VEGAS NV	12513811017
WOLFF IRVIN J REVOCABLE TRUST	5029 MARTINEZ BAY AVE LAS VEGAS NV	12513812007
WOMACK SIDNEY HAYNES	5410 NESTLED MOON CT LAS VEGAS NV	12524110007
WOOD JAMES S & DEBBIE J	7338 PLATINUM CREEK ST LAS VEGAS NV	12513810011
WORTHAM EASTOL & MEIKO	8101 BAY DUNES ST LAS VEGAS NV	12513811038
WRIGHT JOHN M & KIMBERLY J	7316 RUSTIC MEADOW ST LAS VEGAS NV	12513412029
WRUCK PENNY L & DANIEL F	5305 PACIFIC OPAL AVE LAS VEGAS NV	12524510007
YANT BRYAN & JENNIFER	7500 SPLASHING ROCK DR LAS VEGAS NV	12513722004
YOUNGJOHN RONALD & JULIE	5120 AMETHYST CREEK CT LAS VEGAS NV	12513811003
ZALDIVAR MARCOS & LILLIAN	7145 WILD WAVE DR LAS VEGAS NV	12524510016
ZEISE RICHARD J & SANDRA L	7309 JELSON FALLS ST LAS VEGAS NV	12513812004
ZELLERS STEVEN & CASSANDRA	7313 JACK RUSSELL ST LAS VEGAS NV	12513413031

Deed



Separator Sheet

AMOUNT 1,625.00
APR 12513801006

20020918
00690

Title Order No. 22-89-4635

Escrow No. 22-89-4635-

WHEN RECORDED MAIL TO AND TAX
STATEMENTS TO

Name Sharon turbiville
Street 5300 Solar Ave.
Address Las Vegas, nv 89131
City & State

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT, BARGAIN AND SALE DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
James J. Kilbride and Kazumi H. Kilbride

hereby GRANT(S), BARGAIN(S), SELL(S) and CONVEY(S) to

Sharon D. Turbiville, a single woman

that property in Clark
described as:

County, Nevada,

see attached exhibit "A"

Dated July 8, 2002

James J. Kilbride
James J. Kilbride

Kazumi H. Kilbride
Kazumi H. Kilbride

STATE OF NEVADA
COUNTY OF Clark

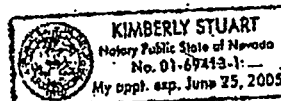
On 5-14-02 before me, the
undersigned, a Notary Public in and for said State, personally appeared

James J. Kilbride
Kazumi H. Kilbride

personally known to me (or proved to me on the basis of satisfactory
evidence) to be the person(s) whose name(s) is/are subscribed to the within
instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on
the instrument the person(s), or the entity upon behalf of which the person(s)
acted, executed the instrument.

WITNESS my hand and official seal.

Signature Kimberly Stuart
Name Kimberly Stuart
(typed or printed)



(This area for official notarial seal)

ZON-17693
SDR-17694
12/07/06 PC

EXHIBIT A

The land referred to is situated in the State of Nevada, County of Clark, City of Las Vegas, and is described as follows:

That portion of the South Half (S ½) of the Southeast Quarter (SE ¼) of Section 13, Township 19 South, Range 60 East, M.D.B & M. described as follows:

Lot Sixty-eight (68) in Block Sixty-nine (69) and Seventy (70) depicted on that certain Record of Survey in File 52, Page 70, in the Office of the County Recorder of Clark County, Nevada and recorded October 18, 1989 in Book 891018 of Official Records, as Document No. 00517, adopted and approved as set forth in Judgment and Decree Quieting Title and prior decisions and orders filed in Case No. A233462 and Case No. A274127 in the Eighth Judicial District Court of the State of Nevada in for the County of Clark and recorded October 26, 1989 in Book 891026 as Document No 794 of Official Records, Clark County Nevada.

AMR P.T.Y. 1. EXEMPT 3

9212100505

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That TERRY ALAN KARAS AND KATHRYN LYNN KARAS, who
acquired title as TERRY KARAS KATHRYN KARAS, husband and wife as to an undivided 50%
interest and TERRY KARAS AND KATHY KARAS, Husband and wife as joint tenants as to an
undivided 50% interest

FOR A VALUABLE CONSIDERATION, the receipt of which is hereby acknowledged, do hereby Grant,

Bargain, Sell and Convey to TERRY ALAN KARAS AND KATHRYN LYNN KARAS,

husband and wife as joint tenants

all that real property situated in the CITY OF LAS VEGAS County of CLARK

State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF FOR FULL LEGAL DESCRIPTION.

APN 01E-280-021

SUBJECT TO: 1. Taxes for the fiscal year.
2. Conveyance, conditions, restrictions, reservations, rights-of-way and easements of record.

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.
Witness our hand 8 this 9th day of December, 19 92

STATE OF NEVADA } ss.
COUNTY OF CLARK

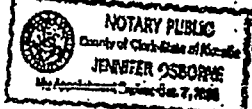
On 12-9-92
Before me, a Notary Public, personally appeared

TERRY ALAN KARAS AND
KATHRYN LYNN KARAS

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to this instrument and acknowledged that he (she or they) executed it.

Jennifer Osborne
(Notary Public)

(Notarial Seal)



10-7-95

Terry Karas
TERRY ALAN KARAS

Kathryn Lynn Karas
KATHRYN LYNN KARAS

ESCROW NO: 92-10-0981 KIC

MAIL TAX STATEMENTS TO: KARAS
5325 SOLAR AVE.
LAS VEGAS, NV

ZON-17693
SDR-17694
12/07/06 PC

Exhibit A

That Portion of the Southeast Quarter (SE ¼) Half of Section 13, Township 19 South, Range 60 East, M.D.B & M., described as follows:

Lot Seventy-Two (72) depicted on that certain Record of Survey in File 52, Page 70 in the office of the County Recorder of Clark County, Nevada and recorded October 18, 1989 in Book 891018 of Official Records as Document No. 00517, adopted and approved as set forth in judgment and Decree Quieting Title and prior decisions and orders filed in Case No. A233462, and Case No. A274127 in the Eighth Judicial District Court of the State of Nevada, in and for the County of Clark and recorded October 26, 1989 in Book No. 891026 as Document No. 794 of Official Records, Clark County, Nevada.

83072200423

880822-423

Affix L.R.S. 5

ORIGINAL

GRANT DEED

THIS INSTRUMENT WITNESSETH: That DELMAR DINKINS, a single manfor and in consideration of \$ 1.00 and other good and valuable considerations, the receipt of which is hereby acknowledged, do hereby Grant, Bargain and Convey to the CITY OF LAS VEGAS, a Municipal Corporation of theCounty of Clark, State of Nevada, and to its assigns forever, all of its right, title and interestin and to all that real property situate in the City of Las Vegas, County of Clark, State of Nevada, bounded and described as follows:

That portion of the Southeast Quarter (SE 1/4) of Section 13, Township 19 South, Range 60 East, N.D.M., in the City of Las Vegas, County of Clark, State of Nevada, described as:

A parcel of land bounded as follows: On the South by the North line of the South 30.00 feet of the West Half (W 1/2) of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of the Southwest Quarter (SW 1/4) of the Southeast Quarter (SE 1/4) of said Section 13; on the West by the East line of the West 40.00 feet of the West Half (W 1/2) of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of the Southwest Quarter (SW 1/4) of the Southeast Quarter (SE 1/4) of said Section 13; on the Northeast by the arc of a circle concave Northeasterly, having a radius of 20.00 feet and being tangent to the North line of said South 30.00 feet and to the East line of said West 40.00 feet; and on the Southwest by the arc of a circle concave Northeasterly, having a radius of 15.00 feet and being tangent to the North line of said South 30.00 feet and to the East line of said West 40.00 feet.

1E-28-15

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Witness hand this _____ day of _____, 19 _____

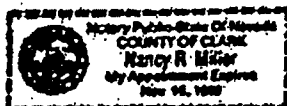
Delmar Dinkins
DELMAR DINKINS

STATE OF NEVADA

COUNTY OF CLARK

On AUGUST 3-1988
personally appeared before me, a Notary Public
DELMAR DINKINS

who acknowledged that he executed the above instrument.



(SEAL)

Nancy R. Miller
Notary Public in and for said County and State

WHEN RECORDED MAIL TO:
City Clerk - City Hall
400 East Stewart Avenue
Las Vegas, Nevada 89101

SPACE BELOW FOR RECORDER'S USE ONLY

ZON-17693
SDR-17694
12/07/06 PC

8 5 0 3 2 2 0 0 4 2 3

RESOLUTION OF ACCEPTANCE OF GRANT DEED

On motion of Councilman Nolen, and carried unanimously the following Resolution is adopted, and order made:

BE IT RESOLVED, this 17th day of August, 1988, by the City of Las Vegas, County of Clark, State of Nevada; that the Grant Deed

dated the 3rd day of August, 1988, executed by Delmer Dinkas, a single man

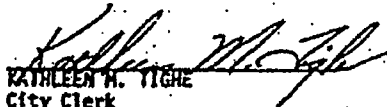
(Parcel # 01E-280-015)
to the City of Las Vegas, County of Clark, State of Nevada, and that the real property described therein be, and is hereby accepted, for the purpose of Real Property Acquisition;

and BE IT FURTHER RESOLVED, that a copy of this Resolution be attached to said Grant Deed, and that the same be recorded in the Office of the County Recorder of the County of Clark, State of Nevada, and this resolution to be filed in the records of this board.

STATE OF NEVADA)
COUNTY OF CLARK) ss

I, KATHLEEN M. TIGHE, City Clerk of the City of Las Vegas, County of Clark, State of Nevada, hereby certifying the foregoing to be a full, true and correct copy of the Resolution accepting the Grant Deed attached hereto duly adopted at a regular meeting of the City Council held on the 17th day of August, 1988.

IN WITNESS WHEREOF, I have hereto set my hand and affixed my official seal this 17th day of August, 1988.


KATHLEEN M. TIGHE
City Clerk

FOR: Real Property Acquisition

WHEN RECORDED, MAIL TO:
City Clerk-City Hall
400 E. Stewart Avenue
Las Vegas, Nevada 89101

CLARK COUNTY, NEVADA
JOAN L. SWIFT, RECORDER
RECORDED AT REQUEST OF:
LV/CITY OF

88-22-88 09:37 NR1
BOOK 688622 PAGE 00423
FEE: .00 RPT: E10002

SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17693** APN: 125-13-801-006

Name of Property Owner: Sharon Turbiville

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

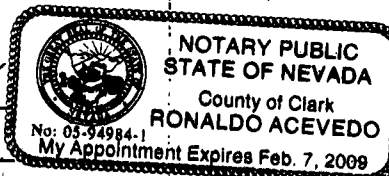
Signature of Property Owner: Sharon Turbiville

Print Name: Sharon Turbiville

Subscribed and sworn before me

This 2nd day of October, 2006

Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17693** APN: **125-13-801-005**

Name of Property Owner: **Delmar Dinkins**

Name of Applicant: **Richmond American Homes**

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

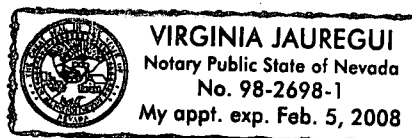
Signature of Property Owner: _____

Print Name: _____

Subscribed and sworn before me

This **28** day of **September**, 20 **06**

Virginia Jauregui
Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17693** APN: 125-13-802-001
Name of Property Owner: Terry & Kathryn Karas
Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: Terry Karas Kathryn Karas

Subscribed and sworn before me

This 3rd day of October 2006

Jana Shore
Notary Public in and for said County and State



Justification Letter



Separator Sheet

November 14, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Site Development Review
Bradley / Solar
APN # 125-13-801-001; 125-13-801-005; 006**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Site Development Review request for a proposed 58 lot single family project called "Bradley / Solar".

The applicant is requesting a Site Development Review for a proposed 58 lot single-family residential development on 7.27 acres (7.98 u/ac). Parcels adjacent to the proposed site have the following land use and zoning:

NE – R-E, R-PD5, R-PD7
NW – R-1, R-PD7, R-E
SE – R-1, R-PD3, R-E, R-PD5
SW – R-1, R-E

We are requesting the following setbacks for the RPD-8;

Typical Lot Size:	3,000 sq ft
Front to Building:	5' Minimum
Front to Garage:	5' or 18' plus
Side Yard to side of building or roof edge:	3' feet
Side on Corner to Side of building	6' feet
Rear Yard	10' feet
Rear Yard Cul-de-sac lots only	5' feet

Richmond American Homes believes that requesting RPD-8 zoning will compliment the area and would provide affordable housing.

Please place the attached request on the Planning Commission agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,

Kris Givant
Project Coordinator

RECEIVED
NOV 14 2006

**ZON-17693 SDR-17694
REVISED 12/07/06 PC**

Triton

Engineering

February 26, 2007

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Site Development Review
Bradley / Solar
APN # 125-13-801-001; 125-13-801-005; 006
SDR# 17694**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Site Development Review request for a proposed 40 lot single family project called "Bradley / Solar".

The applicant is requesting a Site Development Review for a proposed 40 lot single-family residential development on 7.28 acres (5.49 u/ac). Parcels adjacent to the proposed site have the following land use and zoning:

NE – R-E, R-PD5, R-PD7
NW – R-1, R-PD7, R-E
SE – R-1, R-PD3, R-E, R-PD5
SW – R-1, R-E

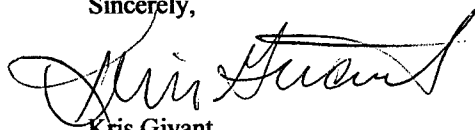
We are requesting the following setbacks for the RPD-5;

Typical Lot Size:	4,200 sq ft
Front to Building:	10' Minimum
Front to Garage:	18' plus Minimum
Side Yard to side of building or roof edge:	3' feet Minimum
Side on Corner to Side of building	10' feet Minimum
Rear Yard	10' feet Minimum

Richmond American Homes believes that requesting RPD-5 zoning will compliment the area and would provide affordable housing.

Please place the attached request on the March 7, 2007 City Council agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,


Kris Givant
Project Coordinator

SDR-17694

03-07-07 CC

Triton

Engineering

October 12, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Re-zoning
Bradley / Solar
APN # 125-13-802-001; 125-13-801-005; 006**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Zone Change request for a proposed 59 lot single family project called "Bradley / Solar".

The applicant is requesting that the zoning on this parcel be changed from R-1 to RPD-7 for a proposed 59 lot single-family residential development (7.43 d/ua). Parcels adjacent to the proposed site have the following zoning:

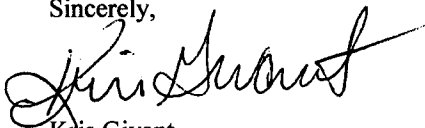
NE – R-E, R-PD5, R-PD7
NW – R-1, R-PD7, R-E
SE – R-1, R-PD3, R-E, R-PD5
SW – R-1, R-E

Richmond American Homes believes that requesting a RPD-7 zoning will compliment the area and would be consistent with the zoning that is currently surrounding the subject parcels.

We believe that the addition of single family homes at this location will increase traffic slightly, but any traffic concerns will be addressed either by submittal of a traffic study or through a traffic mitigation agreement.

Please place the attached request on the Planning Commission agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,



Kris Givant
Project Coordinator

**ZON-17693
SDR-17694
12/07/06 PC**

Application



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Zone Change
 Project Address (Location) Bradley Road and Solar Avenue
 Project Name Bradley / Solar Proposed Use SFR
 Assessor's Parcel #(s) 125-13-801-008 Ward # 6
 General Plan: existing M-L proposed M-L Zoning: existing R-E proposed RPD-7
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 8.2 Lots/Units 59 Density 7.2
 Additional Information _____

PROPERTY OWNER Sharon D. Turbiville Contact _____
 Address 5300 Solar Avenue Phone: _____ Fax: _____
 City Las Vegas State NV Zip 89131

APPLICANT Richmond American Homes Contact Paulo E. Chavez
 Address 2490 Paseo Verde, Suite 120 Phone: 617-8400 Fax: 617-8499
 City Henderson State NV Zip 89074

REPRESENTATIVE Triton Engineering Contact Kris Givant
 Address 6757 W. Charleston Blvd. Suite B Phone: 254-1480 Fax: 254-3052
 City Las Vegas State NV Zip 89148

Property Owner Signature Sharon Turbiville

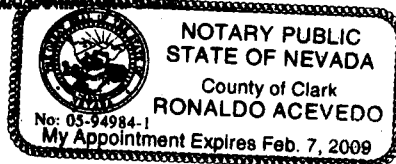
* An authorized agent may sign on behalf of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Sharon Turbiville

Subscribed and sworn before me

This 2nd day of October, 2006

Notary Public in and for said State of Nevada



Revised 04/26/05

FOR DEPARTMENT USE ONLY

Case #	<u>ZON-17693</u>
Meeting Date:	<u>12-7-06</u>
Total Fee:	<u>1000</u>
Date Received:	<u>10-23-06</u>
Received By:	<u>LS</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

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PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Zone Change
Project Address (Location) Bradley Road and Solar Avenue
Project Name Bradley / Solar Proposed Use SFR
Assessor's Parcel #(s) 125-13-801-005 Ward # 6
General Plan: existing M-L proposed M-L Zoning: existing R-E proposed RPD-7
Commercial Square Footage _____ Floor Area Ratio _____
Gross Acres 8.2 Lots/Units 59 Density 7.2
Additional Information _____

PROPERTY OWNER Delmar Dinkins Contact _____
Address 5330 Solar Avenue Phone: _____ Fax: _____
City Las Vegas State NV Zip 89131

APPLICANT Richmond American Homes Contact Paulo E. Chavez
Address 2490 Paseo Verde, Suite 120 Phone: 617-8400 Fax: 617-8499
City Henderson State NV Zip 89074

REPRESENTATIVE Triton Engineering Contact Kris Givant
Address 6757 W. Charleston Blvd. Suite B Phone: 254-1480 Fax: 254-3062
City Las Vegas State NV Zip 89146

Property Owner Signature* Delmar Dinkins

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name _____

Subscribed and sworn before me

This 28 day of September, 20 06

Virginia Jauregui

Notary Public in and for said County and State



VIRGINIA JAUREGUI
Notary Public State of Nevada
No. 98-2698-1
My appt. exp. Feb. 5, 2008

FOR DEPARTMENT USE ONLY

Case #
Meeting Date:
Total Fee:
Date Received:*
Received By:

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Zone Change
Project Address (Location) Bradley Road and Solar Avenue
Project Name Bradley / Solar Proposed Use SFR
Assessor's Parcel #(s) 125-13-802-001 Ward # 6
General Plan: existing M-I proposed M-I Zoning: existing R-E proposed RPD-7
Commercial Square Footage _____ Floor Area Ratio _____
Gross Acres 8.2 Lots/Units 59 Density 7.2
Additional Information _____

PROPERTY OWNER Terry & Kathryn Karas Contact _____
Address 5325 Solar Avenue Phone: _____ Fax: _____
City Las Vegas State NV Zip 89131

APPLICANT Richmond American Homes Contact Paulo E. Chavez
Address 2490 Paseo Verde, Suite 120 Phone: 617-8400 Fax: 617-8489
City Henderson State NV Zip 89074

REPRESENTATIVE Triton Engineering Contact Kris Givant
Address 6757 W. Charleston Blvd. Suite B Phone: 254-1480 Fax: 254-3062
City Las Vegas State NV Zip 89146

Property Owner Signature* Terry Karas
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Terry Karas Kathryn Karas

Subscribed and sworn before me

This 2nd day of October, 2006

Jana Shore
Notary Public in and for said County and State



Revised 04/26/05

FOR DEPARTMENT USE ONLY

Case #
Meeting Date:
Total Fee:
Date Received:*
Received By:

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

\\depot\Application Packet\Application Form.pdf

Hansen Sheet



Separator Sheet

Report Date 10/26/2006 09:55 AM

Submitted By

Page 1

A/P # 17693 REZONING

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	10/23/2006 14:30	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

ZON-17693 - REZONING RELATED TO SDR-17694 - PUBLIC HEARING - APPLICANT/OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS. - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD7 (RESIDENTIAL PLANNED DEVELOPMENT - 7 UNITS PER ACRE) on 8.20 acres adjacent to the east side of Bradley Road, approximately 330 feet north of Elkhorn Road (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross).

Parent A/P #

Project # 17693 Project/Phase Name BRADLEY & SOLAR 59 UNIT RPD-7 Phase #
Size/Area 8.20 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 12513801006

Location

Owner/Tenant

Contact ID AC1298334 Name SHARON TURBIVILLE Organization
Mailing Address 5300 SOLAR AVENUE State/Province NV
City LAS VEGAS Country ☐ Foreign
ZIP/PC Evening Phone
Day Phone Mobile #
Fax

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

5300 SOLAR AVE
LAS VEGAS, 89131-

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

12513801005
12513801006
12513802001

Item Description Item Status

Report Date 10/26/2006 09:55 AM

Submitted By

Page 2

Review Activities	Act #	Act Type	Status	Waived	Issued	Started	Completed
Comp By		Comments					

There are no Review Activities for this Report

Activity Review Details

Detail	SUBMITTAL CHECKLIST (ZON)	Modified By	FSOLIS	Modified Date/Time	10/23/2006 14:30
--------	---------------------------	-------------	--------	--------------------	------------------

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

- Y Pre-Application Conference Checklist
- Y Application/Petition Form
- Y Deed and Legal Description
- Y Justification Letter
- Y Assessor's Parcel Map
- Y Site Plans (18 Folded Blue Lines, 1 Rolled Colored)
- Y Laser Print of Site Plan
- Y Statement of Financial Interest
- Y DINA "Project of Regional Significance" (If Applicable)

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

REZONING

N DINA Required? N PRS N Parent required? Zoning Information

Final City Council letter received

Annotated minutes recieved

Is there a condition of approval for a Required Review?

If yes, when does it need to be reviewed?

ROI Expired

Meeting Information

Zoning Information	Acres	Existing	Existing ROI	Proposed	Approved	ROI?	ROI Exp Date	Ordinance Adopted
Ordinance #		Added By	Modified By	Comments				

8.20	R-E		R-PD7					
	FSOLIS							

Meeting Information	Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Add Date	Modified By	Modified Date			

12/07/2006	PC	SCHEDULED		0	0	0
FSOLIS	10/23/2006					

Report Date 10/26/2006 09:55 AM

Submitted By

Page 3

Meeting Information

Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Add Date	Modified By	Modified Date		

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee

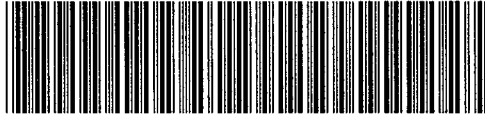
Employee ID	Last	First	MI	Comments
-------------	------	-------	----	----------

No Employee Entries

Log	Description	Entered By	Start	Stop	Hours
Action	Comments				

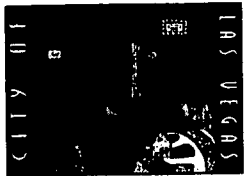
PAYMNT	CK NAME.# WHO PICKED UP PERMIT	983657	10/23/2006 14:44		0.00
	Richmond American HOmes ck 297339 (\$800) & 297340 (\$1000) Chris Givant / 254-1480				

Project Checklist



PROJECT CHECKLIST

Separator Sheet



☒ Meeting

☐ Telephone

☐ Conversation Record

Page 1 of 1
Date 10/14/06
Time 9:00 am pm

Project Name _____

Conversation between CLV Representative(s): _____
and,

Name	Company/Department	Phone	FAX

☐ see Meeting Attendance Sheet

Comments: EQUESTRIAN TRAIL REQUIRED ALONG BRADLEY
ROAD, DESIGNED PER EXHIBIT ONE OF
RECREATION TRAILS ELEMENT. NON-COMPLIANCE
REQUIRES A GENERAL PLAN AMENDMENT.

APPLICANT MUST PROVIDE INFO REQUIRED
BY 19.06.040,

OPEN SPACE MUST COMPLY WITH 19.06.040

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes	
Item Required					
YES	NO				
APPLICATION					
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)		TRAFFIC: RICK SCHROEDER 229 - 6578	
☒	☐	Grant deed and legal description			
☒	☐	<i>Detailed</i> justification letter			
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations			
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations			
☐	☐	Correct fee(s): \$700 \$300 \$ Total = \$ 1000 ⁰⁰			
☒	☐	Statement of Financial Interest			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance			
SITE PLAN					
				Folded Plans: <u>5</u> Rolled/Colored Plans: <u>0</u>	
☒	☐	11" x 17" min. to 24" x 36" max. page size		EQUESTRIAN TRAIL REQUIRED ALONG BRADLEY. SHOW OPEN SPACE CALC. ON SITE PLAN.	
☒	☐	North arrow, scale, and vicinity map			
☒	☐	<i>All</i> property lines and present dimensions labeled			
☒	☐	<i>All</i> building setbacks labeled			
☒	☐	<i>All</i> adjacent existing land uses and street names labeled			
☒	☐	<i>All</i> points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized: _____			
☒	☐	Parking space count and typical dimensions labeled			
☒	☐	#regular #compact #handicap Total			
☒	☐	<i>All</i> free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN					
				Folded Plans: <u>0</u> Rolled/Colored Plans: <u>0</u>	
☐	☐	11" x 17" min. to 24" x 36" max. page size			
☐	☐	North arrow, scale, and vicinity map			
☐	☐	<i>All</i> property lines and present dimensions labeled			
☐	☐	<i>All</i> required perimeter landscape planters shown			
☐	☐	<i>All</i> required parking lot fingers/islands shown			
☐	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
				Folded Plans: <u>0</u> Rolled/Colored Plans: <u>0</u>	
☐	☐	11" x 17" min. to 24" x 36" max. page size			
☐	☐	Scale and building dimensions labeled			
☐	☐	North, south, east, and west elevations of <i>all</i> buildings			
☐	☐	<i>All</i> building materials and colors noted			
☐	☐	8" x 10" photo of original color and material board			
☐	☐	<i>All</i> wall sign locations shown and sizes noted			
DOOR PLANS					
				Folded Plans: <u>0</u> Rolled Plans: <u>0</u>	
☐	☐	11" x 17" min. to 24" x 36" max. page size			
☐	☐	Scale and building dimensions labeled			
☐	☐	<i>All</i> building entrances/exits shown			
☐	☐	Use of <i>all</i> rooms noted/labeled			

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: KRIS GIVANT Application Type: REZONING
 APN: 125-13-801-005 AND 006 Location: SEVERANCE/BRADLEY
 Planner: A Reed Pre-App Meeting Date: 10/04/06 Earliest PC Date: 12/07/06

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

ZON-17693 SDR-17684
02/08/07 PC REVISED**

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEMUS
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*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	DOA J. MEADE, ENGINEERING DESIGN DIVISION	1001 S. VALLEY VIEW BLVD.

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

****NUMBER OF LOTS HAVE BEEN REDUCED FROM 58 TO 40.**

SDPR
01/23/2007

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

ZON-17693 AND SDR-17694
REVISED 12/07/06 PC**

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

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**** Acreage and Lot Size Reduced**

SDPR
11/15/2006

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

ZON-17693

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING	RICK SCHRODER	DSC

SENT VIA COURIER/INTER-OFFICE MAIL/ OR US MAIL

CCSD	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd Floor City Hall
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
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ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT **< US MAIL DELIVERY >**

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: December 07, 2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

ZON-17693

Bradley Ranch HOA

Diamond Creek Community Association

Gilcrease NA

Iron Mountain Estates HOA

Lamplight Manor at Iron Mountain Ranch HOA

Lone Mountain Citizens Advisory Council

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

ZON-17693 - PUBLIC HEARING - APPLICANT/OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD7 (RESIDENTIAL PLANNED DEVELOPMENT - 7 UNITS PER ACRE) on 8.20 acres adjacent to the northeast and southeast corner of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHEAST QUARTER (SE) OF SECTION 13, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: **DECEMBER 7, 2006** CITY COUNCIL: **JANUARY 3, 2007**

CASE PLANNER: **JOHN KORKOSZ**



PUBLIC HEARING

Comments Due: **NOVEMBER 8, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

ZON-17693 - PUBLIC HEARING - APPLICANT/OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD7 (RESIDENTIAL PLANNED DEVELOPMENT - 7 UNITS PER ACRE) on 8.20 acres adjacent to the northeast and southeast corner of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross).

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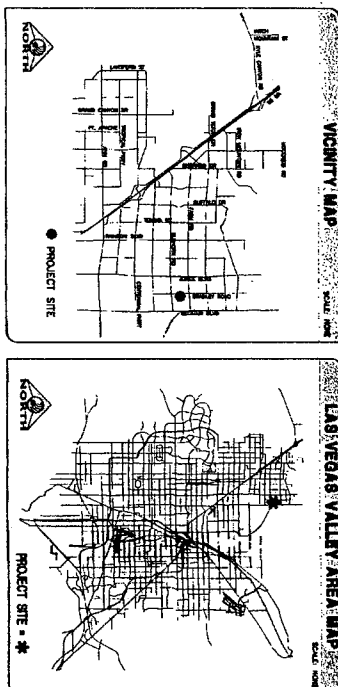
LIST COMMENTS BELOW:

Plans (PMT)



Separator Sheet

A PORTION OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF SECTION 13,
TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY,
NEVADA.



ASSISTANT PANCHAL NUMBER
 123-45-6789-00
 123-45-6789-00
 123-45-6789-00

SHEET INDEX
 1. COVER FRONT
 2. PER PLAN

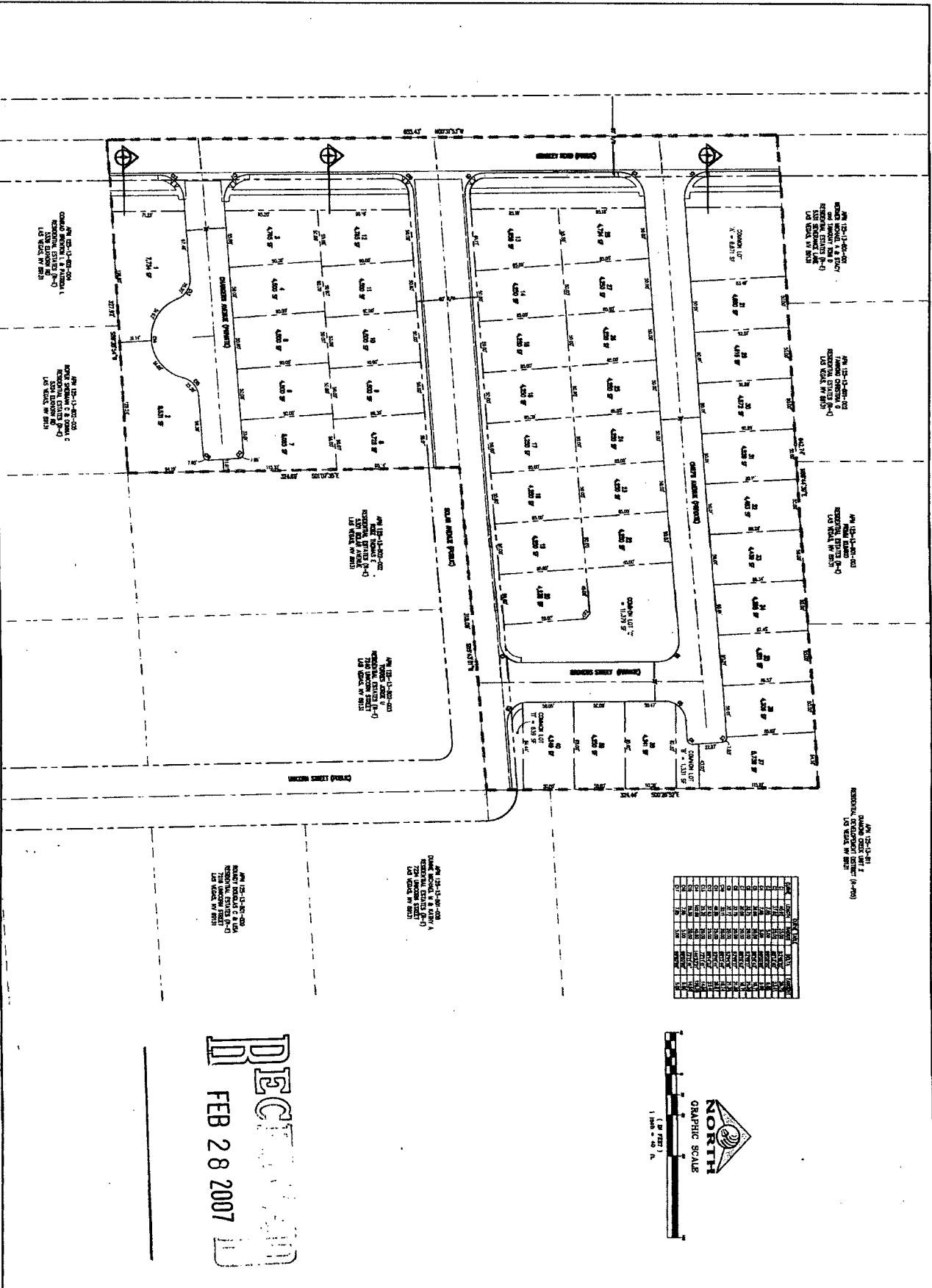
SETBACK REQUIREMENTS

MEASURED DIMENSION	MINIMUM SETBACK
FRONT TO BUILDING	4.000 ft
FRONT TO DRIVE	10.000 ft
FRONT TO SIDEWALK	5.000 ft
FRONT TO BALCONY OR PORCH FLOOR	5.000 ft
FRONT TO DRIVE	5.000 ft
FRONT TO DRIVE	5.000 ft

[illegible]

CLY. DIMS. INCH	RICHMOND AMERICAN HOMES OF NEVADA, INC. BRADLEY / SOLAR COVER SHEET	 Triton Engineering 6737 W. Charleston Blvd. Suite 10 Las Vegas, Nevada 89146 (702) 254-4480 Fax: (702) 224-5052 www.tritoneng.com	DATE: NOV 7, 2003 PM: DRAWN BY: CHECKED BY: ALP. CHECKED: 181.181 SCALE: 1" = 4'	NO. CLY-2003-RM DATE APP'D:

ZON-17693
SDR-17694
03-07-07 CC



SHEET 2 OF 1 CLY DWG/J	RICHMOND AMERICAN HOMES OF NEVADA, INC. BRADLEY / SOLAR	 Triton Engineering 6733 W. Charleston Blvd. Suite 10 Las Vegas, Nevada 89146 Office (702) 254-1428 Fax (702) 254-1622 www.tritoneng.com	DATE : NOV 2, 2006 DWG : DRAWN BY : DESIGNED BY : CHECKED BY : AQA CHECKED : JOB NO : SCALE : 1" = 48' BY : CH-16380-1006		DATE APP'D :	

ZON-17693
SDR-17694
03-07-07 CC

Comments



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

ZON-17693 SDR-17684
02/08/07 PC REVISED**

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
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*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
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****NUMBER OF LOTS HAVE BEEN REDUCED FROM 58 TO 40.**

**Las Vegas Metropolitan Police Dept.
Office of Intergovernmental Services**

No Law Enforcement Issue

SDPR
01/23/2007

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BAA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riecki, Survey (FM, PM, & A's only)
Date: November 9, 2006
Re: ZON-17693 Sharon Turbiville, Delmar Dinkins, and Terry & Kathryn Karas NEC & SEC Bradley Rd. & Solar Ave.
Request for Rezoning from R-E to R-PD7 on 8.20 acres

CONDITIONS OF APPROVAL:

1. Coordinate with the City Surveyor to determine if mapping this site as a Merger and Resubdivision is appropriate; comply with the recommendations of the City Surveyor.
2. Dedicate an additional 5 feet of right-of-way for a total radius of 20 feet on the northeast and southeast corners of Bradley Road and Solar Avenue.
3. Construct half-street improvements on Bradley Road and half street and full width street improvements as appropriate on Solar Avenue, including transition paving, adjacent to this site concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
4. A minimum of two lanes of asphalt pavement on the major access streets adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.
5. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

COMMENTS:

We note that there is a Multi Use Equestrian Trail adjacent to this site on Bradley Road and should be commented on by the Planning and Development Department.

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

ZON-17693 - PUBLIC HEARING - APPLICANT/OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD7 (RESIDENTIAL PLANNED DEVELOPMENT - 7 UNITS PER ACRE) on 8.20 acres adjacent to the northeast and southeast corner of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross).

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PLANNING COMMISSION: **DECEMBER 7, 2006** CITY COUNCIL: **JANUARY 3, 2007**

CASE PLANNER: **JOHN KORKOSZ**



PUBLIC HEARING

Comments Due: **NOVEMBER 8, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

**Las Vegas Metropolitan Police Dept.
Office of Internal Affairs Services**

No Law Enforcement Issue

November 8, 2006

City of Las Vegas
Planning and Development Department
731 South Fourth Street
Las Vegas, Nevada 89101

Attention: Flinn Fagg, Planning Manager

SUBJECT: CITY OF LAS VEGAS ZONING APPLICATION REVIEW

The Las Vegas Valley Water District Design and the Production Divisions have reviewed the attached zoning applications and determined that the proposed projects will have no conflict with the District's existing telemetry antenna locations.

If you require any additional information or have any questions, please call me at 822-8574.

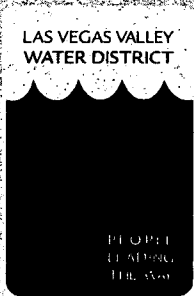
Sincerely,



Doa J. Meade
Sr. Civil Engineer

DJM:TLL:lar
Attachment

Jim Ross, Electronics Supervisor, w/attach, M/S 1080



1001 SOUTH VALLEY VIEW BLVD.
LAS VEGAS, NV 89153
TELEPHONE, 702/870-2011

Board of Directors
Myrna Williams
PRESIDENT

Yvonne Atkinson Gates
VICE PRESIDENT

Tom Collins

Chip Maxfield

Lynette Boggs McDonald

Rory Reid

Bruce Woodbury

Patricia Mulroy
GENERAL MANAGER

PLANNING AND
DEVELOPMENT

NOV 9 12 45 PM '06

RECEIVED

Affidavit of Sign Posting



A F F I D A V I T O F S I G N P O S T I N G

Separator Sheet



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

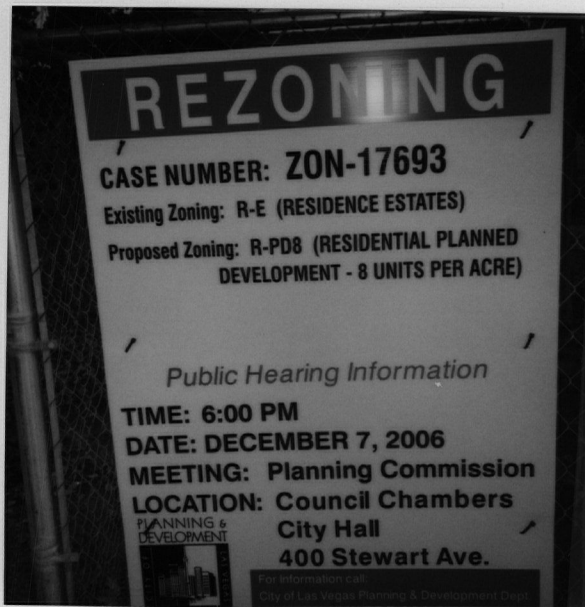


CASE NUMBER: ZON-17693

MEETING DATE: 12/07/06 PC

Sign 1 of 2

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



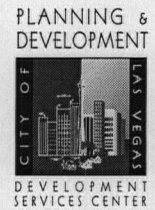
[Signature]
Signature

11-26-06
Date

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: ZON-17693

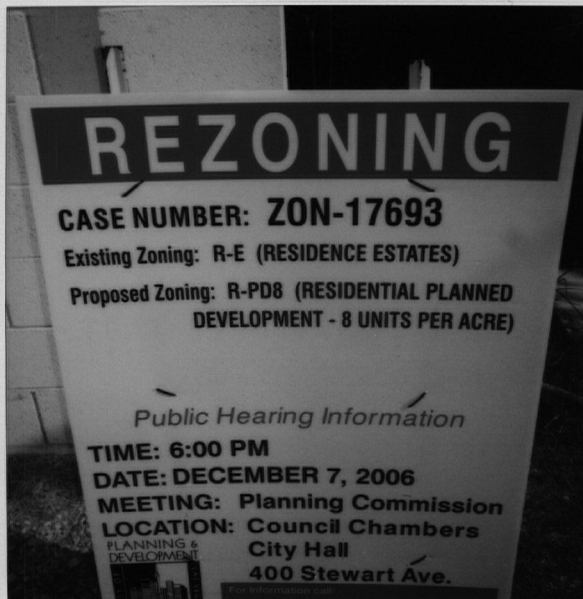
MEETING DATE: 12/07/06 PC

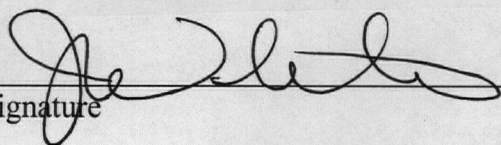
Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.

292

SOLAR

BRADLEY




Signature

11-26-06
Date

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.

