

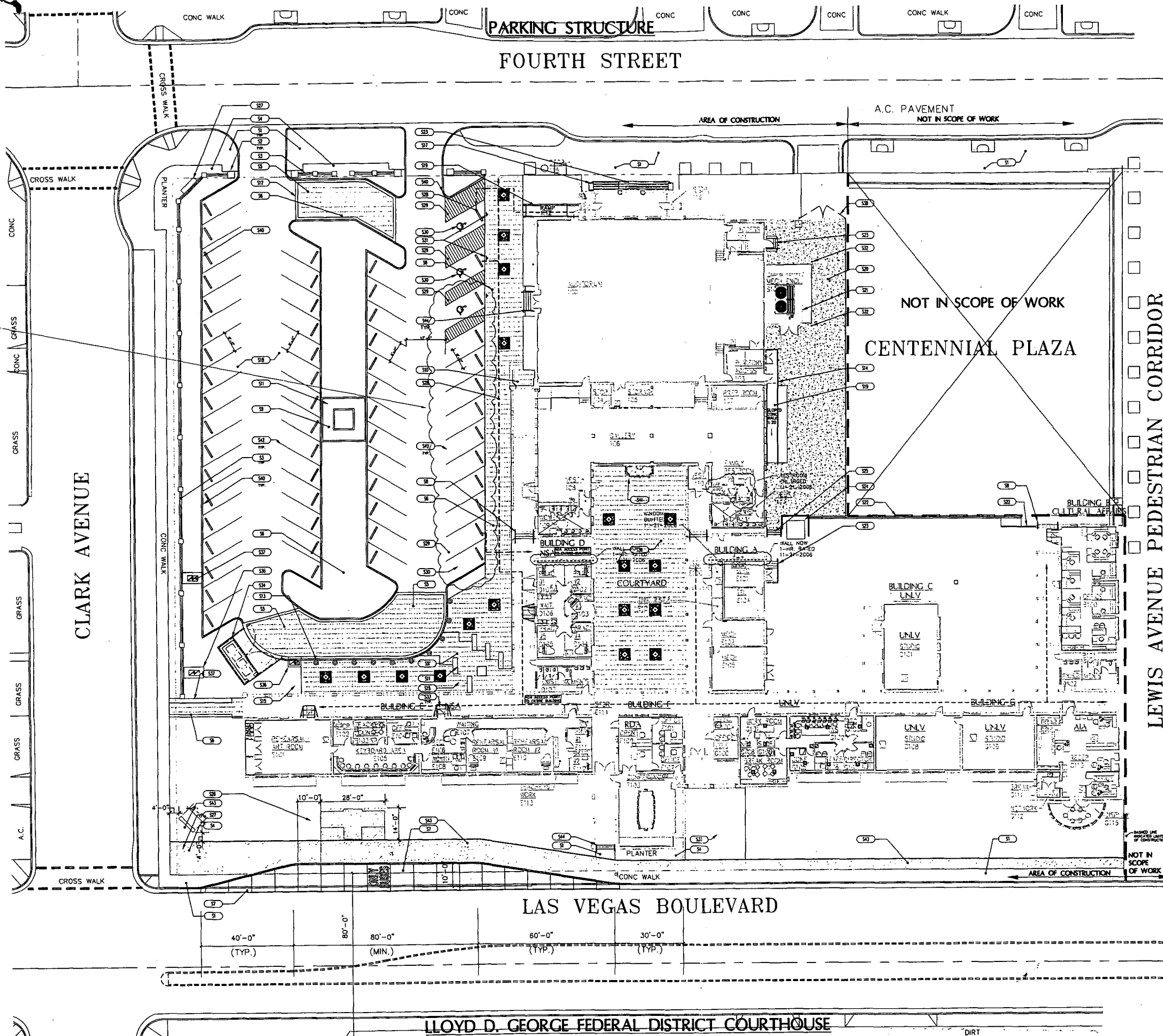
# Plans (Approved Site Plan)

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Separator Sheet

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OVERALL SITE PLAN  
SCALE: 1/16" = 1'

SDR-18357  
01/11/07 ADMIN

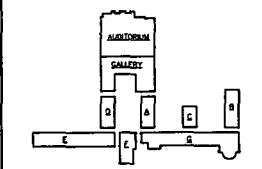
# SITE NOTES

1. EXISTING CONCRETE SIDEWALK.
2. LARGE ENTRY OBELISK.
3. DECORATIVE FENCE.
4. AREA FOR LANDSCAPE PLANTING WITH DECOMPOSED GRANITE. SEE LANDSCAPE.
5. DECORATIVE COLORED CONCRETE PAVING W/ 4"x4" SAWCUTS.
6. DECORATIVE COLORED CONCRETE PAVING STYLE AND SAWCUTS. SEE DETAIL 11/AS2.01.
7. NEW BUS TURNOUT.
8. PROVIDE NEW HANDRAIL AT STAIR. SEE SHEET AS2.01.
9. EXPOSED AGGREGATE PAVING SEE LANDSCAPE AND CIVIL DRAWING.
10. DECORATIVE COLOR CONC. SLOPED WALK.
11. 12" DECORATIVE CONCRETE BANDING.
12. LIGHT BOLLARD.
13. REMOVABLE HANDRAIL FOR DELIVERIES.
14. BENCH (TYPICAL).
15. NOT USED.
16. NEW CONCRETE STAIR AND PARTITION TO MATCH EXISTING.
17. ASPHALTIC CONCRETE PAVING PER CIVIL.
18. NEW ACCESSIBLE CONCRETE WALK AND RAIL.
19. EXIST. GRAVEL TO BE REPLACED W/ STAINED/COLORED CONC. TO MATCH CENTENNIAL PLAZA CONCRETE FLOOR.
20. NEW CMU/STUCCO COVERED MECHANICAL ENCLOSURE WITH GATE. SEE SHEET AS2.01.
21. PROVIDE NEW HANDRAIL AT CENTENNIAL PLAZA AND COURTYARD TRANSITION.
22. EXISTING CONCRETE STAIR.
23. EXISTING TRANSFORMER SEE ELECTRICAL.
24. NEW CONCRETE STAIR AND HANDRAILS.
25. NEW BUS SHELTER. SEE SHEET AS2.02.
26. MONUMENT SIGNAGE. SEE SHEET AS2.02.
27. ACCESSIBLE ROUTE.
28. PAINTED HANDICAPPED PARKING ACCESS.
29. ASIDE STRIPING - COLOR: WHITE.
30. PAINTED HANDICAPPED PARKING STALL SYMBOL - COLOR: WHITE WITH BLUE BACKGROUND.
31. HANDICAP PARKING SIGN PER DETAIL. SEE SHEET AS2.01.
32. 6'-0" TALL STEEL BOLLARD. SEE DETAIL 9/AS2.01.
33. NEW ADA ACCESS WALK SEE SHEET AS2.01.
34. TRASH ENCLOSURE WITH STEEL GATES PER SHEET AS 03 & AS 04.
35. EXISTING FLAG POLE AND CONCRETE BASE TO REMAIN. NON-ORIGINAL TILE ON CONCRETE BASE SHALL BE REMOVED.
36. EXISTING ELECTRICAL VAULT.
37. RELOCATED VAULT.
38. EXISTING GATE.
39. COURTYARD SHALL BE PREPARED AND RESURFACED FOR NEW HANDSCAPE PER LANDSCAPE/CIVIL DRAWINGS.
40. RAISED CONCRETE CURBING.
41. WATER FOUNTAIN.
42. 4" WIDE PAINTED PARKING STRIPES.
43. SHADED AREA INDICATES NEW CONCRETE SIDEWALK.
44. HANDRAIL AT STEPS. SEE DETAIL 10/AS2.01.

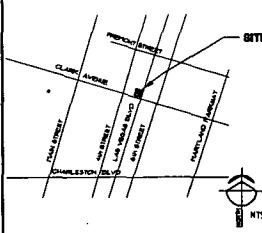
## GENERAL NOTES

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. IN AREAS REQUIRING REPAIR AND/OR REMOVAL, CONTRACTOR SHALL PATCH AND PREP SURFACES FOR NEW FINISH.
2. SEE ACCOMPANYING LANDSCAPE PLANS FOR DETAILED LANDSCAPE INFORMATION. REFER TO CIVIL DRAWINGS FOR ALL NEW AND EXISTING SITE INFORMATION AND DIMENSIONS.
3. FOR RAMP REMOVAL OR PROPOSED NEW ACCESSIBLE RAMP THROUGHOUT BREEZEWAYS SEE SHEET AS2.01.

## BUILDING MAP



## VICINITY MAP



**REDEVELOPMENT AGENCY**

**FIFTH STREET SCHOOL REHABILITATION**

**BUILDING DEPARTMENT SUBMITTAL**

**OWNER: CITY OF LAS VEGAS**  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES

400 EAST STEWART AVENUE  
LAS VEGAS, NEVADA 89121  
PHONE: (702) 229-5555  
FAX: (702) 229-5555  
TDD: (702) 229-5555

**OVERALL SITE PLAN**  
11/1/2006  
VLS

**RECEIVED**  
NOV 28 2006  
AS1.01

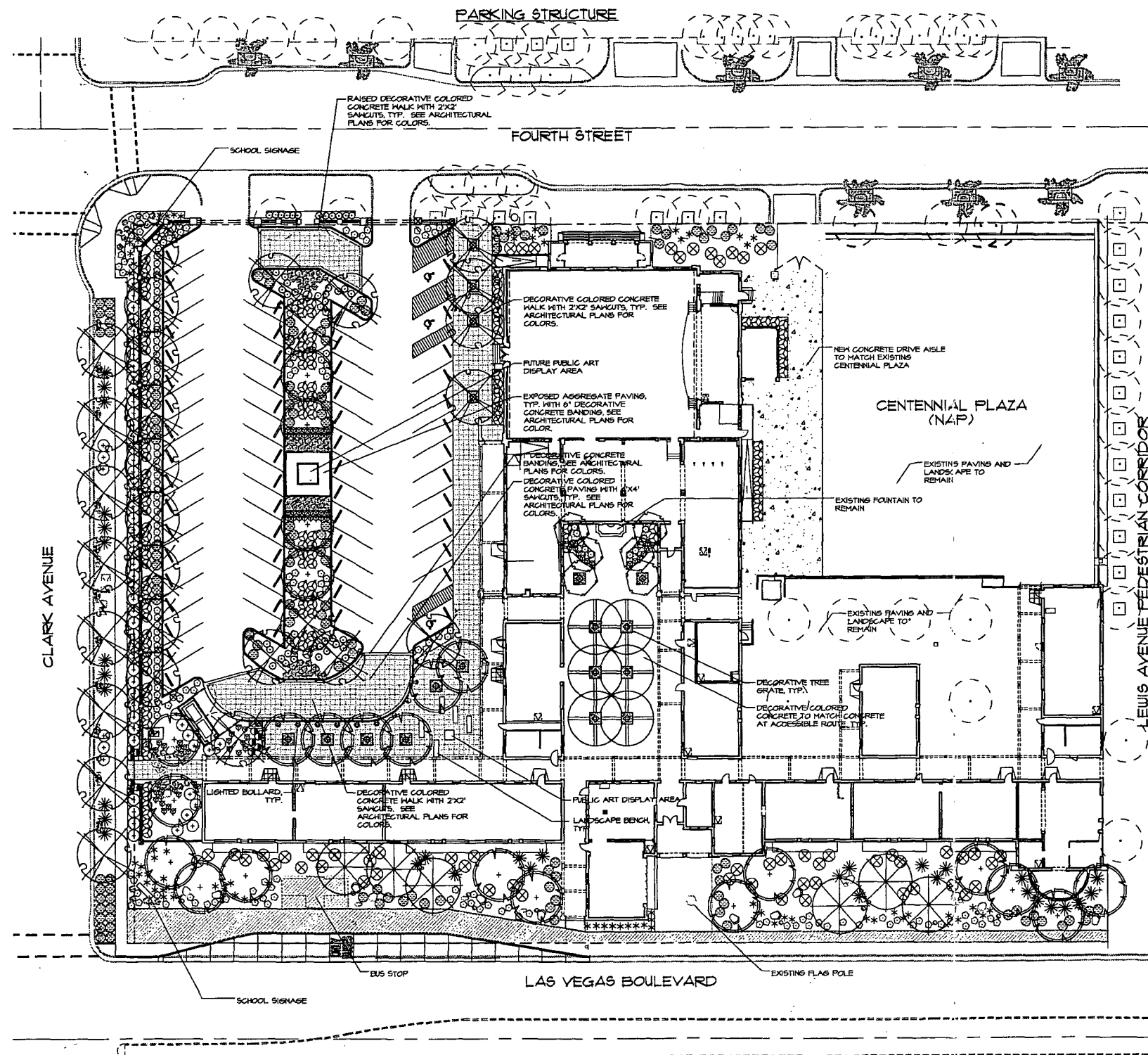
APPROVED

BY *ADMIN SDR*

*Reddy*

CURRENT PLANNING DIVISION

CITY OF LAS VEGAS



# PLANT SCHEDULE

| SYMBOL | BOTANICAL NAME                     | COMMON NAME              | QTY. | SIZE    | REMARKS     |
|--------|------------------------------------|--------------------------|------|---------|-------------|
|        | <b>TREES</b>                       |                          |      |         |             |
|        | CELESTINUM X DESERT MUSEUM         | DESERT MUSEUM PALO VERDE | 6    | 24" BOX | MULTI-TRUNK |
|        | CHITALPA TASKENTENSIS PINK DAWN    | CHITALPA                 | 23   | 24" BOX |             |
|        | ELAEAGARUS OLIVE                   | JAPANESE BLUEBERRY       | 6    | 24" BOX |             |
|        | FRAXINUS VELUTINA RIO GRANDE       | FAN TEX ASH              | 21   | 24" BOX |             |
|        | FRAXINUS VELUTINA RIO GRANDE       | FAN TEX ASH              | 6    | 40" BOX |             |
|        | <b>EXISTING TREES TO REMAIN</b>    |                          |      |         |             |
|        | <b>EXISTING PALM TREE</b>          |                          |      |         |             |
|        | <b>EXISTING TREE</b>               |                          |      |         |             |
|        | <b>SHRUBS</b>                      |                          |      |         |             |
|        | LEUCOPHYLLUM LAMARCKIAE RIO BRAVO  | RIO BRAVO SAGE           | 61   | 5 GAL   |             |
|        | SENA (CASSIA) OLIGORHIZA 'OUTBACK' | OUTBACK CASSIA           | 51   | 5 GAL   |             |
|        | XYLOSHA CONGESTUM 'COMPACTA'       | COMPACT XYLOSHA          | 136  | 5 GAL   |             |
|        | <b>GROUNDCOVERS</b>                |                          |      |         |             |
|        | DALIA GREGGII                      | TRAILING INDIGO BUSH     | 126  | 5 GAL   |             |
|        | LANTANA SPECIES 'NEH GOLD'         | NEH GOLD LANTANA         | 110  | 5 GAL   |             |
|        | LANTANA MONTEVIDENSIS              | PURPLE TRAILING LANTANA  | 70   | 5 GAL   |             |
|        | MALEPHORA LUTEA                    | ROCKY POINT ICE PLANT    | 11   | 5 GAL   |             |
|        | TRACHELOSPERMUM ASIATICUM          | ASIATIC JASMINE          | 10   | 5 GAL   |             |
|        | <b>ACCENTS</b>                     |                          |      |         |             |
|        | DAUTLON WHEELER                    | DESERT SPOON             | 32   | 5 GAL   |             |
|        | DIETES BICOLOR                     | EVERGREEN IRIS           | 14   | 5 GAL   |             |
|        | HEPERALOE PARVIFLORA               | RED YUCCA                | 10   | 5 GAL   |             |
|        | MALEPHORA CAPILLARIS REGAL HST     | REGAL HST DEER GRASS     | 44   | 5 GAL   |             |

## GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT SCHEDULE IS INTENDED AS A REFERENCE ONLY.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10% OF THE TOTAL QUANTITY OF EACH SPECIES, SHOWING GENUS, SPECIES, VARIETY, ETC.
- CONTRACTOR TO PROVIDE MATCHING SIZES AND FORMS OF LIKE SHRUB SPECIES AS SHOWN ON DRAWINGS.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES, WALLS, AND ON ALL SIDEWALKS ACCORDING TO ALL CODES, REGULATIONS, AND REQUIREMENTS.
- DECOMPOSED GRANITE 1/2" MINUS, COLOR: "FALCONING CORAL", 2" DEPTH TYPICAL IN ALL PLANTING BEDS. DECOMPOSED GRANITE SHALL CONTAIN 60% AGGREGATE AND 40% FINES. CONTRACTOR TO RECEIVE VERIFICATION FROM ROCK SUPPLIER AND PRESENT VERIFICATION TO THE OWNER PRIOR TO ANY CONSTRUCTION.  
WHOLESALE DEALER:  
KALAMAZOO MATERIALS, INC.  
6415 NORTH ORACLE ROAD  
TUSCON, AZ 85704  
TELEPHONE: (102) 246-4135  
CONTACT: CARRISA D'ALESSIO
- ALL PLANTING AREAS IN THE COURTYARD ARE TO BE OVER-EXCAVATED TO A DEPTH OF 24", THEN FILLED WITH ONE PART TOP SOIL TO ONE PART SOILS PLUS BY BIOMER. COMPACT AREA AS NEEDED, ADDING MORE SOIL AND SOILS PLUS AS NEEDED.
- CONTRACTOR TO INSTALL ROOT GUARD AT THE PERIMETER/EDGE OF PAVEMENT OF ALL PARKING ISLANDS AND ANY OTHER PLANTING AREAS NOTED ON THE PLANTING PLAN. CONTRACTOR TO INSTALL ROOT GUARD PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.  
MODEL: UB 24-2  
MANUFACTURER: DEEP ROOT PARTNERS, L.P.  
345 LORTON AVENUE  
BURLINGAME, CA 94010  
TELEPHONE: (800) 458-1668
- CONTRACTOR TO PROTECT AND PRESERVE EXISTING LANDSCAPE AS NOTED ON SHEET L1.01. ANY PLANT MATERIAL OR LANDSCAPE MATERIALS DAMAGED BY DEMOLITION OR CONSTRUCTION IS TO BE REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR IS TO REPLACE DAMAGED PLANT MATERIAL WITH MATERIAL OF THE SAME SIZE, GENUS, SPECIES, FORM, ETC.
- LANDSCAPE BOULDERS ARE TO BE GRANITE AND ROUND IN SHAPE. COLOR TO MATCH ROCK GROUND COVER. CONTRACTOR SHALL SUBMIT A SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL. CONTRACTOR TO SET 1/4 OF ROCK DIAMETER INTO FINISH GRADE. BOULDERS TO BE 2' TO 4' IN DIAMETER, SIZED ACCORDING TO THE FOLLOWING PERCENTAGES:  
20% 4' LARGEST DIAMETER  
40% 3' LARGEST DIAMETER  
40% 2' LARGEST DIAMETER  
TOTAL QUANTITY OF BOULDERS: 33
- SEE SHEET L3.01 FOR IRRIGATION AND SHEET L1.01 FOR MAINTENANCE OF EXISTING PLANT MATERIAL TO REMAIN.
- LANDSCAPE BENCH, (PER CLV GAS STANDARDS) COLOR: "FALCONING CORAL", SMOOTH TEXTURE, MATTE FINISH.  
QUICKCRETE PRODUCTS  
741 W PARKERIDGE AVE  
PO BOX 634  
NORCO, CA 91760  
(909) 731-6240  
MODEL: QI-VIC-848  
HUSKATE STOP GROOVE  
CENTER DIVIDER  
QUICKCRETE PRODUCTS  
741 W PARKERIDGE AVE  
PO BOX 634  
NORCO, CA 91760  
(909) 731-6240  
MODEL: QS-60C-TC
- TREE GRATE:  
QUICKCRETE PRODUCTS  
741 W PARKERIDGE AVE  
PO BOX 634  
NORCO, CA 91760  
(909) 731-6240  
MODEL: GS-60C-TC

**APPROVED**  
**ADMINISTRATIVE**  
**CURRENT PLANNING DIVISION**  
**CITY OF LAS VEGAS**

**AVZUNINO & ASSOCIATES**  
LANDSCAPE ARCHITECTURE - LAND PLANNING  
2701 SOUTH JEFFERSON BLVD. - LAS VEGAS, NEVADA 89102  
PHONE: (702) 242-0000 - FAX: (702) 242-0000 - WWW.AVZUNINO.COM

SCALE: 1" = 20'-0"



CITY OF LAS VEGAS  
REDEVELOPMENT AGENCY

FIFTH STREET SCHOOL  
REHABILITATION  
CONSTRUCTION DOCUMENTS 35%

OWNER: CITY OF LAS VEGAS  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES  
400 EAST STEWART AVENUE  
LAS VEGAS, NEVADA 89101  
(702) 228-8811  
FAX: (702) 228-8811  
TDD: (702) 228-8811

LANDSCAPE PLAN  
10/26/2006  
1" = 20'-0"

**RECEIVED**  
NOV 28 2006  
L3.01

**SDR-18357**  
**01/11/07 ADMIN**

# Plans (Elevations)

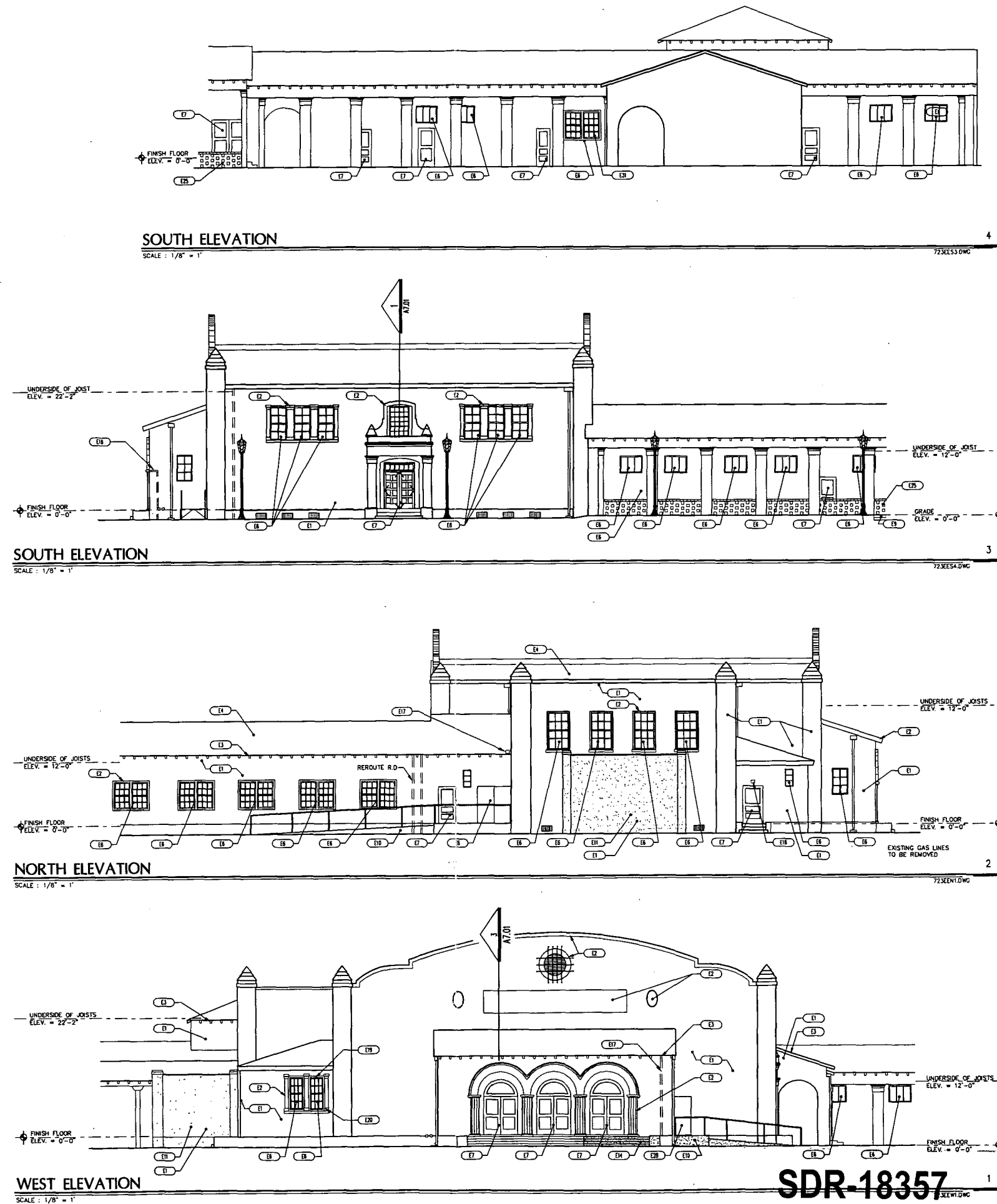
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PLANS - ELEVATIONS

Separator Sheet

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**SDR-18357**

**01/11/07 ADMIN**

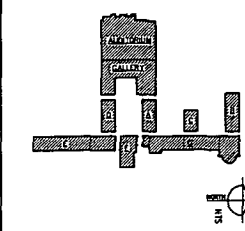
# **ELEVATION NOTES**

| E   | DESCRIPTION                                                                                                                                                                 |
|-----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| E1  | PAINT: FIELD COLOR (ALL EXISTING CONCRETE PARTITIONS) BENJAMIN MOORE DECORATORS WHITE 1-04                                                                                  |
| E2  | PAINT: TRIM COLOR (ALL DOORS AND DOOR AND WINDOW TRIM) BENJAMIN MOORE ELEPHANT TUSK 00-8                                                                                    |
| E3  | PAINT: ACCENT COLOR (ALL EXTERIOR DARK WOOD RAFTERS AND COLUMNS) BENJAMIN MOORE EARTHLY RUSET 2173-10                                                                       |
| E4  | REMOVE EXISTING ROOF TILES EXPOSE ROOF DECK, PREP FOR NEW SHEET MEMBRANE & ROOF TILES                                                                                       |
| E5  | REMOVE EXISTING SIDESTOPS & REPLACE PER SPECIFICATIONS                                                                                                                      |
| E6  | EXISTING DOOR/WINDOW SYSTEM TO BE REMOVED AND/OR RESTORED TO ALLOW FOR INSTALLATION OF NEW DOOR SYSTEM PER DOOR AND WINDOW SCHEDULE                                         |
| E7  | EXISTING DOOR SYSTEM TO BE REMOVED AND/OR RESTORED PER DOOR SCHEDULE EXISTING WALL TO BE REMOVED, REPLACE W/NEW WINDOW OR DOOR PER SCHEDULE                                 |
| E8  | REMOVE EXISTING CONCRETE STAIR AND STEM WALL                                                                                                                                |
| E9  | PROVIDE NEW HANDICAP ACCESSIBLE CONCRETE RAMP AND HANDRAIL, NEW MECHANICAL ENCLOSURE-C.M.U. PARTITION W/FINISH SYSTEM TO MATCH EXISTING                                     |
| E10 | REMOVE EXISTING HANDRAIL SYSTEM FOR LOWER LEVEL STAIR AND BACKFILL STAIR VOID & BASEMENT WITH DIRT, POUR STANDARD SLAB-ON-GRADE CONCRETE TO MEET SURROUNDING PAVEMENT LEVEL |
| E11 | REMOVE EXISTING STEEL GRATE, PLATFORM & FORM AND POUR CONCRETE EXTENSION FOR EXISTING LANDING                                                                               |
| E12 | PROVIDE NEW STAIR AND STEM WALL TO MATCH EXISTING                                                                                                                           |
| E13 | EXISTING FOUNTAIN TO BE REACTIVATED, EXISTING DOWNSPOUT TO BE RELOCATED AS REQUIRED                                                                                         |
| E14 | EXISTING GUTTERS TO BE REMOVED, EXISTING EXTERIOR LIGHT FIXTURE TO BE REMOVED                                                                                               |
| E15 | EXISTING HYVAC TO BE REMOVED                                                                                                                                                |
| E16 | REMOVE ROD IRON FENCE                                                                                                                                                       |
| E17 | EXISTING ACCESS LADDER TO BE REMOVED, REPLACE MISSING OR DAMAGED LOUVERS, VERIFY IN FIELD                                                                                   |
| E18 | REPLACE DAMAGED VENT AND BRIDGESCREENS, VERIFY LOCATIONS IN FIELD                                                                                                           |
| E19 | EXISTING CONCRETE PAD TO BE REMOVED, RECONSTRUCT SEGMENT OF PARTIAL HEIGHT WALL TO MATCH ADJACENT EXISTING WALL                                                             |
| E20 | LINE INDICATES CONCRETE PATCH, RELOCATED ELECTRICAL PANEL SYSTEM, EXISTING OPENING TO HAVE NEW SLAB DOOR INSTALLED, COLOR TO MATCH SURROUNDING CONCRETE                     |
| E21 | INFILL EXTERIOR CONCRETE PENETRATIONS TO COVER ANY ACCESS TO BASEMENT                                                                                                       |
| E22 | INFILL TO MATCH SURROUNDING SURFACE, REMOVE EXISTING CONCRETE STAIR AND REPLACE WITH NEW CONCRETE STEPS TO AREA, COLOR AND MATERIAL OF INFILL TO MATCH SURROUNDING SURFACE  |
| E23 | PATTERNED GLASS PER SPECIFICATIONS, EXISTING CONCRETE RAMP AND HANDRAILS TO BE REMOVED                                                                                      |
| E24 | EXISTING STEEL GATE TO REMAIN, CLEAN GATE AND DRILL CONCRETE TO ACCEPT EXISTING CAME BOLTS                                                                                  |

## **GENERAL NOTES**

- DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF MASONRY OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
- INFORM ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING WORK.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS IN AREAS REQUIRING REPAIR AND/OR REMOVAL. CONTRACTOR SHALL PATCH AND PREP SURFACES FOR NEW FINISH.

## **BUILDING MAP**



**KCA ARCHITECTS**  
400 SOUTH MAIN, SUITE 100  
LAS VEGAS, NEVADA 89101  
PHONE: (702) 251-5533  
FAX: (702) 384-8846  
TDD: (702) 384-8846

**HERITAGE ARCHITECTURE & PLANNING**  
ONE - VINTAGE  
1000 N. VINTAGE  
SUITE 100-100  
LAS VEGAS, NV 89115  
PHONE: 702-799-7700

**BARBER CROTTAN ASSOCIATES**  
STRUCTURAL ENGINEERS  
1000 N. VINTAGE  
SUITE 100-100  
LAS VEGAS, NV 89115  
PHONE: 702-799-7700

**MECHANICAL - PLUMBING - ELECTRICAL**  
IN-SITU - MECHANICAL - PLUMBING - ELECTRICAL  
JBA CONSULTING ENGINEERS  
1000 N. VINTAGE  
SUITE 100-100  
LAS VEGAS, NV 89115  
PHONE: 702-799-7700

**CONCRETE LIGHTING DESIGN GROUP**  
1000 N. VINTAGE  
SUITE 100-100  
LAS VEGAS, NV 89115  
PHONE: 702-799-7700

**JWELAND & ASSOCIATES**  
1000 N. VINTAGE  
SUITE 100-100  
LAS VEGAS, NV 89115  
PHONE: 702-799-7700

**CONCRETE**  
1000 N. VINTAGE  
SUITE 100-100  
LAS VEGAS, NV 89115  
PHONE: 702-799-7700

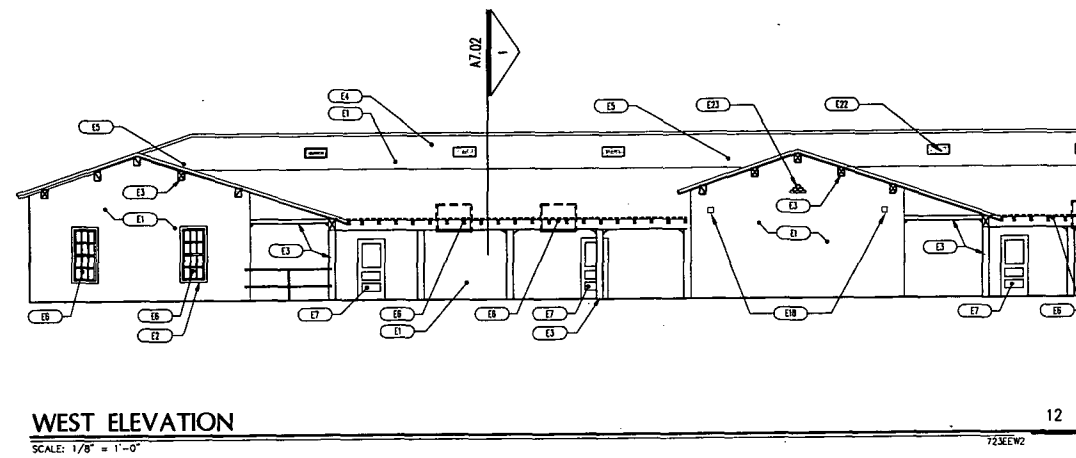
**LEVEY & BAILEY**  
1000 N. VINTAGE  
SUITE 100-100  
LAS VEGAS, NV 89115  
PHONE: 702-799-7700

**REDEVELOPMENT AGENCY**  
FIFTH STREET SCHOOL  
REHABILITATION  
BUILDING DEPARTMENT SUBMITTAL

**OWNER: CITY OF LAS VEGAS**  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES

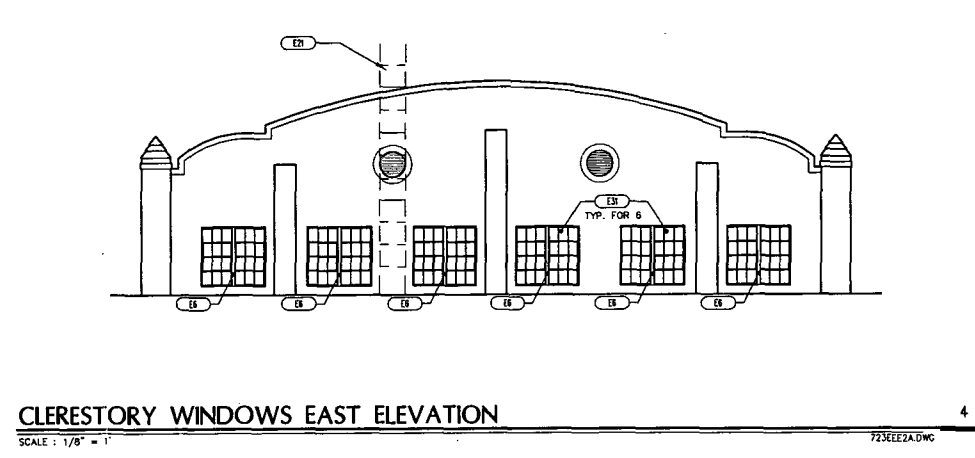
**APPROVED**  
BY *ADMIN SDR*  
DATE *12/12/06*  
CURRENT PLANNING DIVISION  
CITY OF LAS VEGAS

**RECEIVED**  
NOV 28 2006  
A6.01



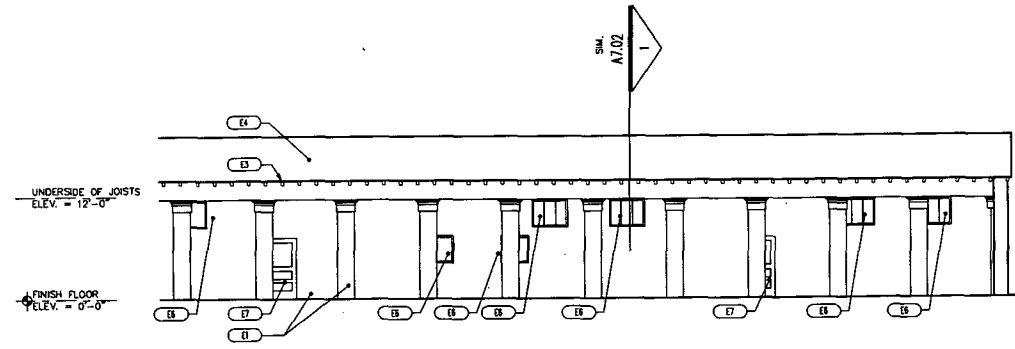
WEST ELEVATION

SCALE: 1/8" = 1'-0"



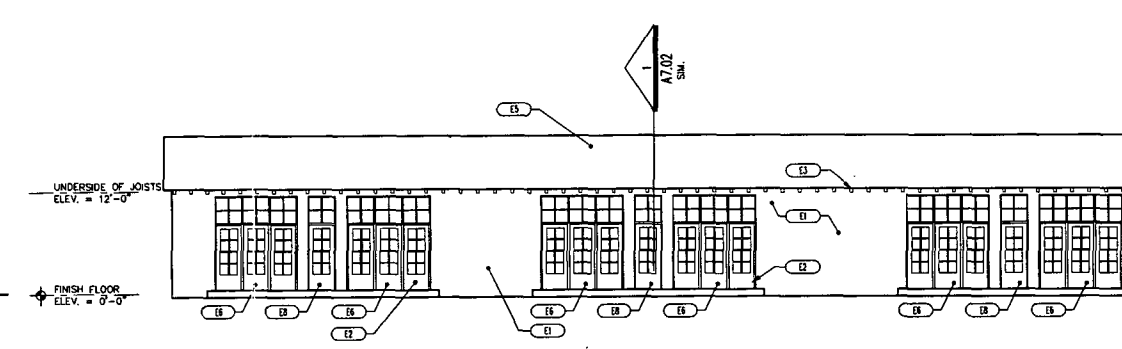
CLERESTORY WINDOWS EAST ELEVATION

SCALE: 1/8" = 1'-0"



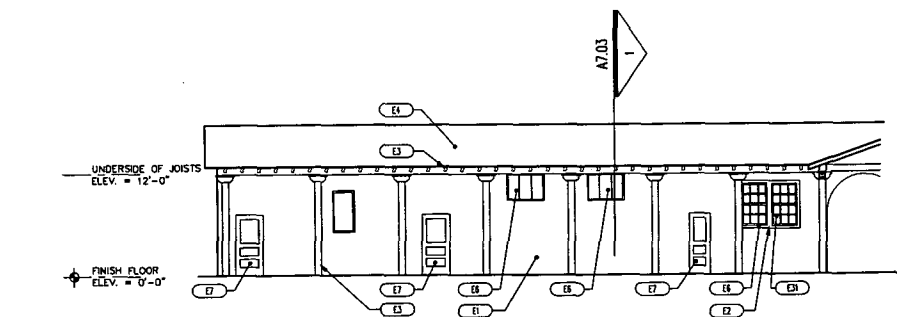
WEST ELEVATION

SCALE: 1/8" = 1'-0"



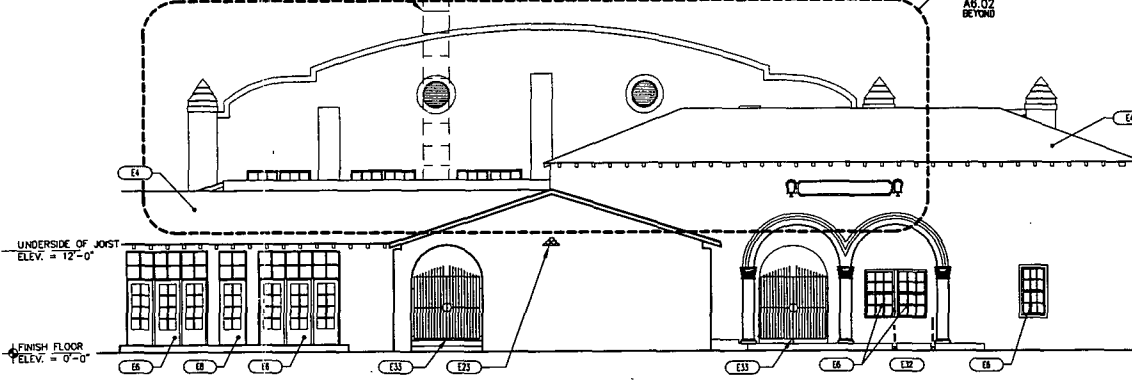
EAST ELEVATION

SCALE: 1/8" = 1'-0"



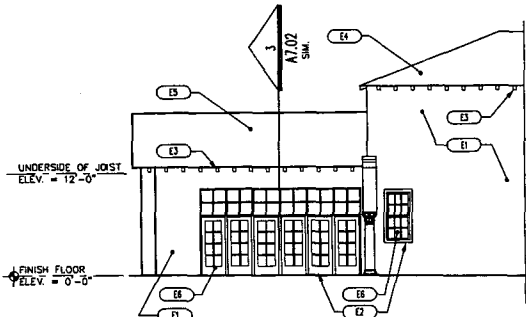
SOUTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



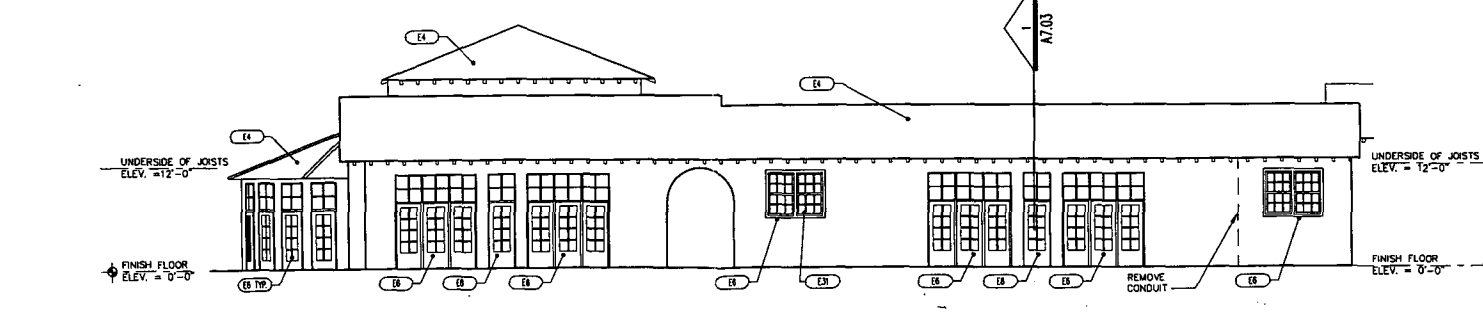
EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

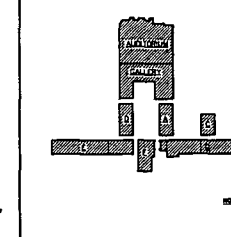
## ELEVATION NOTES

- | DESCRIPTION                                                                                                                                                                                                                                                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| E1 PAINT: FIELD COLOR (ALL EXISTING CONCRETE PARTITIONS) BENJAMIN MOORE DECORATORS WHITE 1-04                                                                                                                                                                                  |
| E2 PAINT: TRIM COLOR (ALL DOORS AND DOOR AND WINDOW TRIM) BENJAMIN MOORE ELEPHANT TUSK 0C-8                                                                                                                                                                                    |
| E3 PAINT: ACCENT COLOR (ALL EXTERIOR DARK WOOD RAFTERS AND COLUMNS) BENJAMIN MOORE EARTHLY RUSSET 2173-10                                                                                                                                                                      |
| E4 REMOVE EXISTING ROOF TILES. EXPOSE ROOF DECK. PREP FOR NEW SHEET MEMBRANE & ROOF TILES                                                                                                                                                                                      |
| E5 REMOVE EXISTING BIRDSTOPS & REPLACE PER SPECIFICATIONS                                                                                                                                                                                                                      |
| E6 EXISTING DOOR/WINDOW SYSTEM TO BE REMOVED AND/OR RESTORED TO ALLOW FOR INSTALLATION OF NEW DOOR SYSTEM PER DOOR AND WINDOW SCHEDULE                                                                                                                                         |
| E7 EXISTING DOOR SYSTEM TO BE REMOVED AND/OR RESTORED PER DOOR SCHEDULE                                                                                                                                                                                                        |
| E8 EXISTING WALL TO BE REMOVED. REPLACE W/NEW WINDOW OR DOOR PER SCHEDULE                                                                                                                                                                                                      |
| E9 REMOVE EXISTING CONCRETE STAIR AND STEM WALL                                                                                                                                                                                                                                |
| E10 PROVIDE NEW HANDICAP ACCESSIBLE CONCRETE RAMP AND HANDRAIL                                                                                                                                                                                                                 |
| E11 NEW MECHANICAL ENCLOSURE-C.M.U. PARTITION W/FINISH SYSTEM TO MATCH EXISTING                                                                                                                                                                                                |
| E12 REMOVE EXISTING HANDRAIL SYSTEM FOR LOWER LEVEL STAIR AND BACKFILL STAIR VOID & BASEMENT WITH DIRT. POUR STANDARD SLAB-ON-GRADE CONCRETE TO MEET SURROUNDING PAVEMENT LEVEL. REMOVE EXISTING STEEL GRATE. PLATFORM & FORM AND POUR CONCRETE EXTENSION FOR EXISTING LANDING |
| E13 PROVIDE NEW STAIR AND STEM WALL TO MATCH EXISTING                                                                                                                                                                                                                          |
| E14 EXISTING FOUNTAIN TO BE REACTIVATED                                                                                                                                                                                                                                        |
| E15 EXISTING DOWNSPOUT TO BE RELOCATED AS REQUIRED                                                                                                                                                                                                                             |
| E16 EXISTING GUTTERS TO BE REMOVED                                                                                                                                                                                                                                             |
| E17 EXISTING EXTERIOR LIGHT FIXTURE TO BE REMOVED                                                                                                                                                                                                                              |
| E18 EXISTING HVAC TO BE REMOVED                                                                                                                                                                                                                                                |
| E19 REMOVE ROD IRON FENCE                                                                                                                                                                                                                                                      |
| E20 EXISTING ACCESS LADDER TO BE REMOVED                                                                                                                                                                                                                                       |
| E21 REPLACE MISSING OR DAMAGED LOUVERS. VERIFY IN FIELD                                                                                                                                                                                                                        |
| E22 REPLACE DAMAGED VENT AND BIRDSCREENS                                                                                                                                                                                                                                       |
| E23 VERIFY LOCATIONS IN FIELD                                                                                                                                                                                                                                                  |
| E24 EXISTING CONCRETE PAD TO BE REMOVED                                                                                                                                                                                                                                        |
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| E26 LINE INDICATES CONCRETE PATCH                                                                                                                                                                                                                                              |
| E27 RELOCATED ELECTRICAL PANEL SYSTEM                                                                                                                                                                                                                                          |
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| E29 INFILL EXTERIOR CONCRETE PENETRATIONS TO COVER ANY ACCESS TO BASEMENT                                                                                                                                                                                                      |
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| E32 PATTERNED GLASS PER SPECIFICATIONS                                                                                                                                                                                                                                         |
| E33 EXISTING CONCRETE RAMP AND HANDRAILS TO BE REMOVED                                                                                                                                                                                                                         |
| E34 EXISTING STEEL GATE TO REMAIN                                                                                                                                                                                                                                              |
| E35 CLEAN GATE AND DRILL CONCRETE TO ACCEPT EXISTING CANE BOLTS                                                                                                                                                                                                                |

## GENERAL NOTES

1. DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF MASONRY OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
2. INFORM ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING WORK.
3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. IN AREAS REQUIRING REPAIR AND/OR REMOVAL, CONTRACTOR SHALL PATCH AND PREP SURFACES FOR NEW FINISH.

## BUILDING MAP



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OWNER: CITY OF LAS VEGAS  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES

1400 EAST STEWART AVENUE  
LAS VEGAS, NEVADA 89101  
PHONE: (702) 258-5533  
FAX: (702) 384-6646  
TYPED: (702) 288-5108

RECEIVED

NOV 25 2006

A6.02

APPROVED

BY *ADMIN SDR*

12/12/06

CURRENT PLANNING DIVISION

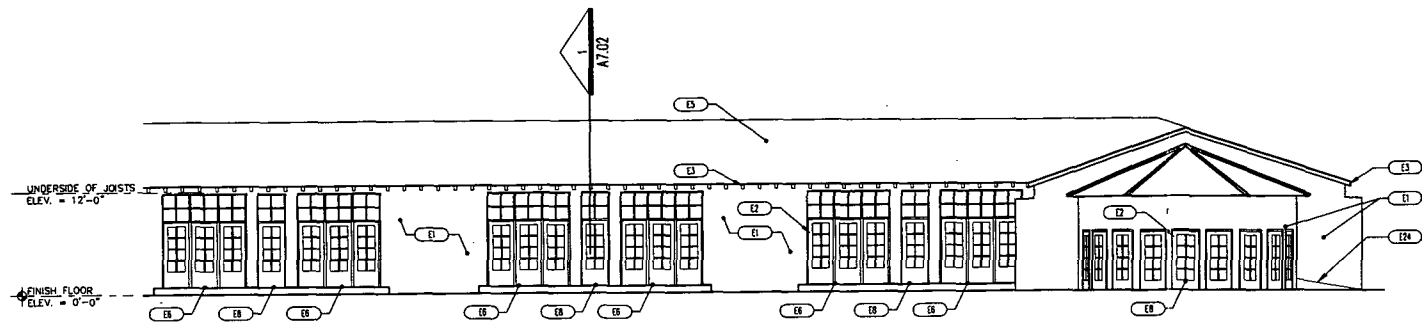
CITY OF LAS VEGAS

SDR-18357

01/11/07 ADMIN

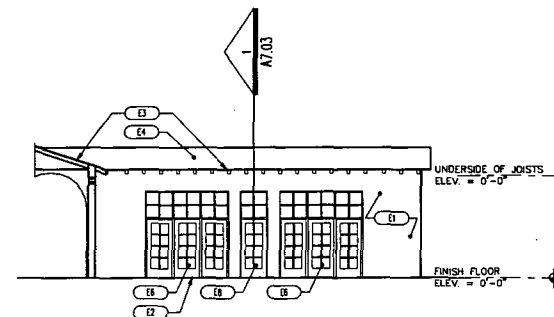
EAST ELEVATION

SCALE: 1/8" = 1'-0"



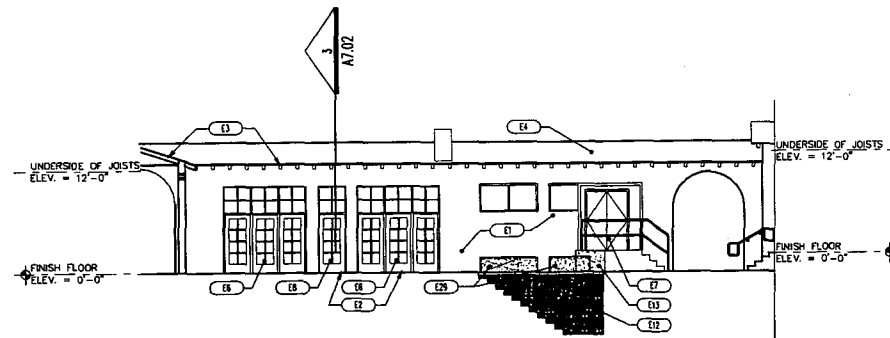
NORTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



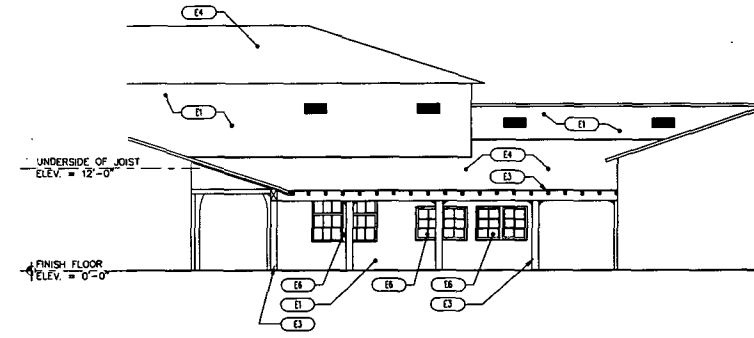
NORTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



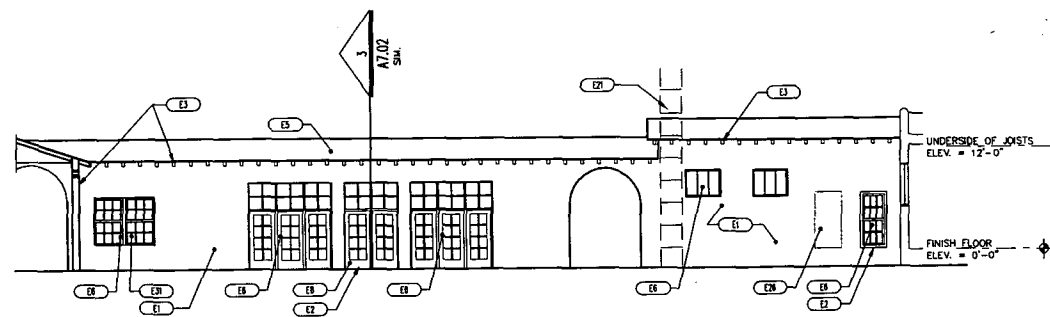
WEST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



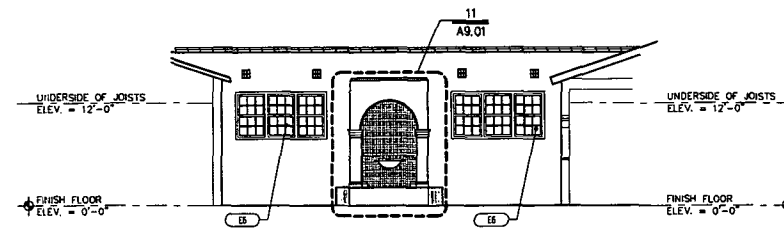
NORTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



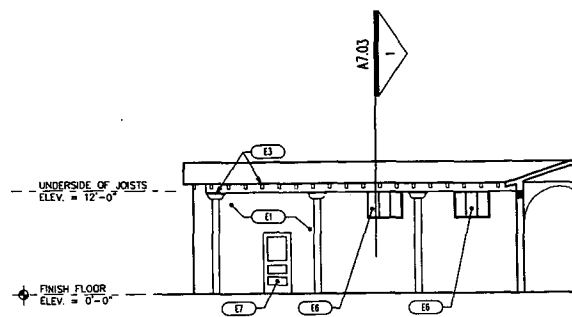
EAST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



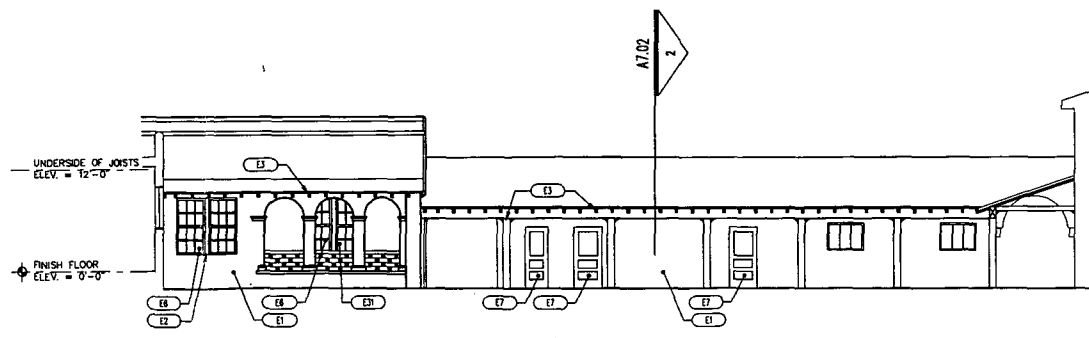
SOUTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



SDR-18357

01/11/07 ADMIN

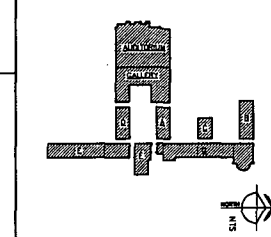
# ELEVATION NOTES

- | DESCRIPTION                                                                                                                                                                     |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| E1 PAINT: FIELD COLOR (ALL EXISTING CONCRETE PARTITIONS) BENJAMIN MOORE DECORATORS WHITE 1-04                                                                                   |
| E2 PAINT: TRIM COLOR (ALL DOORS AND DOOR AND WINDOW TRIM) BENJAMIN MOORE ELEPHANT TUSK 00-8                                                                                     |
| E3 PAINT: ACCENT COLOR (ALL EXTERIOR DARK WOOD BATTERS AND COLUMNS) BENJAMIN MOORE EARTHLY RUSSET 2173-10                                                                       |
| E4 REMOVE EXISTING ROOF TILES. EXPOSE ROOF DECK. PREP FOR NEW SHEET MEMBRANE & ROOF TILES                                                                                       |
| E5 REMOVE EXISTING BIRDSTOPS & REPLACE PER SPECIFICATIONS                                                                                                                       |
| E6 EXISTING DOOR/WINDOW SYSTEM TO BE REMOVED AND/OR RESTORED TO ALLOW FOR INSTALLATION OF NEW DOOR SYSTEM PER DOOR AND WINDOW SCHEDULE                                          |
| E7 EXISTING DOOR SYSTEM TO BE REMOVED AND/OR RESTORED PER DOOR SCHEDULE EXISTING WALL TO BE REMOVED.                                                                            |
| E8 REPLACE W/NEW WINDOW OR DOOR PER SCHEDULE                                                                                                                                    |
| E9 REMOVE EXISTING CONCRETE STAIR AND STEM WALL                                                                                                                                 |
| E10 PROVIDE NEW HANDICAP ACCESSIBLE CONCRETE RAMP AND HANDRAIL                                                                                                                  |
| E11 NEW MECHANICAL ENCLOSURE-C.M.U. PARTITION W/FINISH SYSTEM TO MATCH EXISTING                                                                                                 |
| E12 REMOVE EXISTING HANDRAIL SYSTEM FOR LOWER LEVEL STAIR AND BACKFILL STAIR VOID & BASEMENT WITH DIRT. POUR STANDARD SLAB-ON-GRADE CONCRETE TO MEET SURROUNDING PAVEMENT LEVEL |
| E13 REMOVE EXISTING STEEL GRATE PLATFORM & FORM AND POUR CONCRETE EXTENSION FOR EXISTING LANDING                                                                                |
| E14 PROVIDE NEW STAIR AND STEM WALL TO MATCH EXISTING                                                                                                                           |
| E15 EXISTING FOUNTAIN TO BE REACTIVATED                                                                                                                                         |
| E16 EXISTING DOWNSPOUT TO BE RELOCATED AS REQUIRED                                                                                                                              |
| E17 EXISTING GUTTERS TO BE REMOVED                                                                                                                                              |
| E18 EXISTING EXTERIOR LIGHT FIXTURE TO BE REMOVED                                                                                                                               |
| E19 EXISTING HVAC TO BE REMOVED                                                                                                                                                 |
| E20 REMOVE ROD IRON FENCE                                                                                                                                                       |
| E21 EXISTING ACCESS LADDER TO BE REMOVED                                                                                                                                        |
| E22 REPLACE MISSING OR DAMAGED LOUVERS. VERIFY IN FIELD.                                                                                                                        |
| E23 REPLACE DAMAGED VENT AND BIRDSCREENS VERIFY LOCATIONS IN FIELD                                                                                                              |
| E24 EXISTING CONCRETE PAD TO BE REMOVED                                                                                                                                         |
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| E26 LINE INDICATES CONCRETE PATCH                                                                                                                                               |
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| E32 CLEAN GATE AND DRILL CONCRETE TO ACCEPT EXISTING CANE BOLTS                                                                                                                 |
| E33                                                                                                                                                                             |

## GENERAL NOTES

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## BUILDING MAP



FIFTH STREET SCHOOL  
REHABILITATION  
BUILDING DEPARTMENT SUBMITTAL



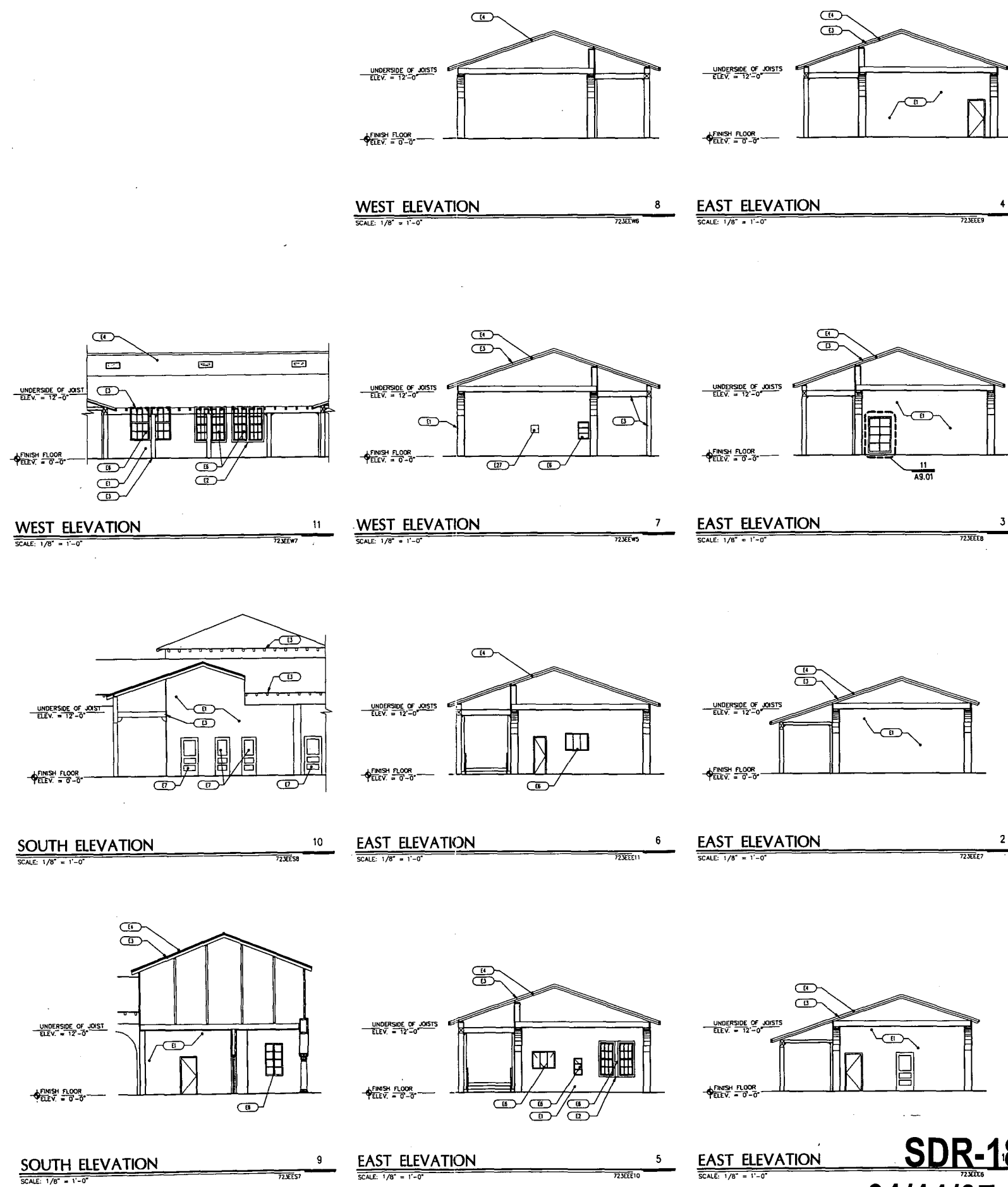
OWNER: CITY OF LAS VEGAS  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES

EXTERIOR ELEVATIONS  
11/1/2006  
SCALE: 1/8" = 1'-0"

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NOV 28 2006  
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APPROVED  
BY *Ann SDR*  
CURRENT PLANNING DIVISION  
CITY OF LAS VEGAS





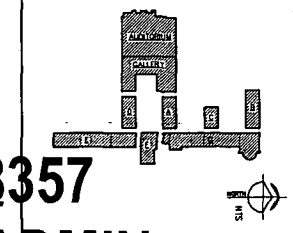
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# GENERAL NOTES

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# BUILDING MAP



KCA  
ARCHITECTS  
100 SOUTH POLARIS AVENUE  
SUITE 100  
LAS VEGAS, NV 89111  
PHONE: (702) 334-8833  
FAX: (702) 334-8848  
WWW.KCA-ARCHITECTS.COM

HERITAGE ARCHITECTURE & PLANNING  
1001 W. WYOMING AVE., SUITE 100  
LAS VEGAS, NV 89101  
PHONE: (702) 462-7788  
WWW.HERITAGE-ARCH.COM

BARKER DROTTER ASSOCIATES  
STRUCTURAL ENGINEERS  
1001 W. WYOMING AVE., SUITE 100  
LAS VEGAS, NV 89101  
PHONE: (702) 462-7788

MECHANICAL - PLUMBING - ELECTRICAL  
LIFE SAFETY - SECURITY - CIVIL ENGINEERING  
JSA CONSULTING ENGINEERS  
1001 W. WYOMING AVE., SUITE 100  
LAS VEGAS, NV 89101  
PHONE: (702) 462-7788

CD-48 LIGHTING DESIGN GROUP  
1001 W. WYOMING AVE., SUITE 100  
LAS VEGAS, NV 89101  
PHONE: (702) 462-7788

JWZUNING & ASSOCIATES  
1001 W. WYOMING AVE., SUITE 100  
LAS VEGAS, NV 89101  
PHONE: (702) 462-7788

COTT CONTRACTORS  
1001 W. WYOMING AVE., SUITE 100  
LAS VEGAS, NV 89101  
PHONE: (702) 462-7788

JOHN JOSEPH  
ENDELMAN AND ASSOCIATES  
1001 W. WYOMING AVE., SUITE 100  
LAS VEGAS, NV 89101  
PHONE: (702) 462-7788

FIFTH STREET SCHOOL  
REHABILITATION  
BUILDING DEPARTMENT SUBMITTAL

CITY OF LAS VEGAS

REDEVELOPMENT AGENCY

OWNER: CITY OF LAS VEGAS  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES

400 EAST STEWART AVENUE  
LAS VEGAS, NEVADA 89101  
PHONE: (702) 334-8833  
FAX: (702) 334-8848  
WWW.KCA-ARCHITECTS.COM

APPROVED  
BY *APR 11/07*  
CURRENT PLANNING DIVISION  
CITY OF LAS VEGAS

SDR-18357  
01/11/07 ADMIN

RECEIVED  
NOV 28 2006  
A6.04



# Comments

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# Separator Sheet

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December 12, 2006

City of Las Vegas  
Planning and Development Department  
731 South Fourth Street  
Las Vegas, Nevada 89101

Attention: Flinn Fagg, Planning Manager

SUBJECT: CITY OF LAS VEGAS ZONING APPLICATION REVIEW

The Las Vegas Valley Water District Design and the Production Divisions have reviewed the attached zoning applications and determined that the proposed projects will have no conflict with the District's existing telemetry antenna locations.

If you require any additional information or have any questions, please call me at 822-8574.

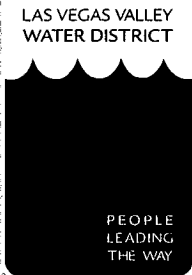
Sincerely,



Doa J. Meade  
Sr. Civil Engineer

DJM:TLL:lar  
Attachment

Jim Ross, Electronics Supervisor, w/attch, M/S 1080



1001 SOUTH VALLEY VIEW BLVD.  
LAS VEGAS, NV 89153  
TELEPHONE, 702/870-2011

*Board of Directors*  
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PRESIDENT

Yvonne Atkinson Gates  
VICE PRESIDENT

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Lynette Boggs McDonald

Rory Reid

Bruce Woodbury

Patricia Mulroy  
GENERAL MANAGER

# Memorandum

City of Las Vegas  
Department of Public Works  
Development Coordination

**To:** Department of Planning and Development  
**From:** Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*  
**CC:** Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riecki, Survey (FM, PM, & A's only)  
**Date:** December 8, 2006  
**Re:** **SDR-18357** City of Las Vegas 400 Las Vegas Boulevard South  
Request for a Site Development Plan Review for the rehabilitation of an existing school

---

## **CONDITIONS OF APPROVAL:**

1. Construct the bus turnout on Las Vegas Boulevard adjacent to this site concurrent with development of this site; coordinate these improvements with the City Engineer.
2. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site; provide and improve all drainage ways as recommended.

# CITY OF LAS VEGAS

## DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department  
Current Planning Division  
731 South Fourth Street  
Las Vegas, Nevada 89101  
(702) 229-6301 phone (702) 385-7268 fax

**SDR-18357 - SITE DEVELOPMENT PLAN REVIEW - ADMINISTRATIVE - APPLICANT: CITY OF LAS VEGAS - OWNER: CITY OF LAS VEGAS REDEVELOPMENT AGENCY** - Request for a Site Development Plan Review FOR THE REHABILITATION OF AN EXISTING SCHOOL on 3.03 acres at 400 Las Vegas Boulevard South (APN 139-34-303-001), C-V(Civic) Zone, Ward 3 (Reese).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE SOUTHWEST QUARTER (SW¼) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

PLANNING COMMISSION: JANUARY 11, 2007 CITY COUNCIL: FEBRUARY 7, 2007

CASE PLANNER: JOHN KORKOSZ



PUBLIC HEARING

Comments Due: **DECEMBER 13, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili ([damarsili@lasvegasnevada.gov](mailto:damarsili@lasvegasnevada.gov)), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

**LIST COMMENTS BELOW:**

Las Vegas Metropolitan Police Dept.  
Office of Intergovernmental Services

No Law Enforcement Issue



## MEMORANDUM

TO: Doug Rankin, Planning Supervisor

FROM: Frank Trupiano

FT

CC:

DATE: November 27, 2006

SUBJECT: **Fifth Street School - Phase III**

Doug,

Please find attached the site plan, landscape plan and building elevations of the subject project as you requested. It is my understanding from our meeting on November 20, 2006 with Mayor Pro Tem Reese that Planning will generate the SDR application for an Administrative review. As you know, the Fifth Street School is on the National Historic Register and the project has been presented to and approved by the Historic Preservation Committee. With that said, I respectfully request the following items for consideration regarding the conditions for approval:

1. Parking requirements will be limited to what is currently available due to the restrictions of the historical site.
2. Trellis over the trash enclosure will not be required due to the conflict with the historic fabric of the buildings.
3. Landscape plan for Clark and Las Vegas Blvd. be approved without changes.
4. Improvements to existing sidewalks and driveways on Fourth Street, Clark Avenue and Las Vegas Blvd. will not be required other than what is shown on the plans for a new bus turnout on Las Vegas Blvd.

Please let me know if you need any additional information.

DEPARTMENT OF  
PUBLIC WORKS

**OAS**

OFFICE OF  
ARCHITECTURAL  
SERVICES

400 STEWART AVENUE  
LAS VEGAS, NEVADA 89101

TELEPHONE: (702) 229-6535  
FAX: (702) 384-4846  
TDD: (702) 386-9108

[www.lasvegasnevada.gov](http://www.lasvegasnevada.gov)

RECEIVED  
NOV 28 2006

**SDR-18357**  
**01/11/07 ADMIN**

# MEMORANDUM

## City of Las Vegas Planning & Development Department

**To:** Land Development  
**From:** Peter Lowenstein  
**Phone:** (702) 229-4693 **Fax:** (702) 385-7268  
**CC:** Land Development Civil Plan Ref. #18021  
**Date:** 12/19/06  
**Re:** Fifth Street School Rehabilitation

---

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. Please revise the Grading Plan on Sheet GR1 to denote the "proposed decorative fence," as being per the Historic Preservation Committee's (HPC) approval.
2. Please revise Detail E on Sheet DT2 to depict the overall height of the proposed wall. In addition, please revise the detail so that the proposed wall is labeled as a "Decorative Fence per Historic Preservation Committee Approval."
3. Detail G on Sheet GR1 is illustrated as crossing through a proposed wall, yet within the corresponding Detail G on Sheet DT2, no wall is depicted. Please revise the detail to show the proposed fence. In addition, please denote the overall height of the proposed wall, as well as label it as a "Decorative Fence per Historic Preservation Committee Approval."
4. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits; including, civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

# APN Map

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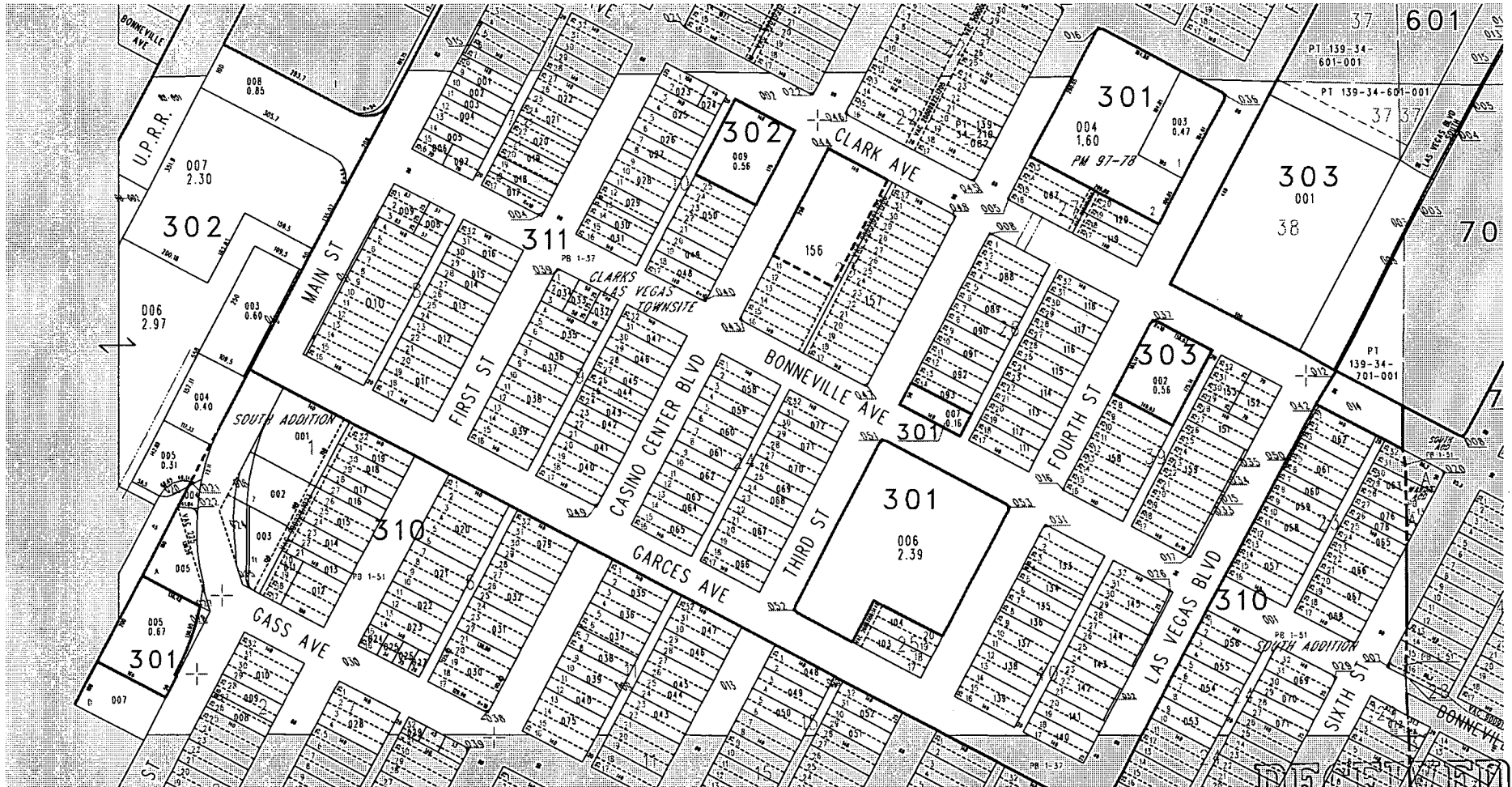


Separator Sheet

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| <b>NOTES</b><br>This map is for assessment use only and does NOT represent a survey.<br>No liability is assumed for the accuracy of the data delineated herein.<br>Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.<br>This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.<br>USE THIS SCALE(Feet) WHEN MAP REDUCED FROM 11x17 ORIGINAL<br> | <b>MAP LEGEND</b><br>——— PARCEL BOUNDARY<br>- - - SUBD BOUNDARY<br>- - - ROAD EASEMENT<br>- - - PM/LD BOUNDARY<br>- - - NON-PARCEL LOT LINE<br>- - - MATCH LINE / LEADER LINE<br>- - - ROAD ID NUMBER                           | <b>ASSESSOR'S PARCELS - CLARK CO., NV.</b><br>M. W. Schofield, Assessor |      | <b>T20S R61E</b><br><table border="1"> <tr> <th>R60E</th> <th>R61E</th> <th>R62E</th> </tr> <tr> <td>125</td> <td>124</td> <td>123</td> </tr> <tr> <td>138</td> <td>139</td> <td>140</td> </tr> <tr> <td>163</td> <td>162</td> <td>161</td> </tr> </table> | R60E | R61E | R62E | 125 | 124 | 123 | 138 | 139 | 140 | 163 | 162 | 161 | <b>34</b><br><table border="1"> <tr> <th>6</th> <th>5</th> <th>4</th> <th>3</th> <th>2</th> <th>1</th> </tr> <tr> <td>8</td> <td>9</td> <td>10</td> <td>11</td> <td>12</td> <td></td> </tr> <tr> <td>18</td> <td>17</td> <td>16</td> <td>15</td> <td>14</td> <td>13</td> </tr> <tr> <td>19</td> <td>20</td> <td>21</td> <td>22</td> <td>23</td> <td>24</td> </tr> <tr> <td>30</td> <td>29</td> <td>28</td> <td>27</td> <td>26</td> <td>25</td> </tr> <tr> <td>31</td> <td>32</td> <td>33</td> <td>34</td> <td>35</td> <td>36</td> </tr> </table> | 6 | 5 | 4 | 3 | 2 | 1 | 8 | 9 | 10 | 11 | 12 |  | 18 | 17 | 16 | 15 | 14 | 13 | 19 | 20 | 21 | 22 | 23 | 24 | 30 | 29 | 28 | 27 | 26 | 25 | 31 | 32 | 33 | 34 | 35 | 36 | <b>N 2 SW 4</b><br><table border="1"> <tr> <th>8</th> <th>4</th> <th>8</th> <th>4</th> </tr> <tr> <td>5</td> <td>1</td> <td>5</td> <td>1</td> </tr> <tr> <td>6</td> <td>2</td> <td>6</td> <td>2</td> </tr> <tr> <td>7</td> <td>3</td> <td>7</td> <td>3</td> </tr> <tr> <td>8</td> <td>4</td> <td>8</td> <td>4</td> </tr> <tr> <td>5</td> <td>1</td> <td>5</td> <td>1</td> </tr> </table> | 8 | 4 | 8 | 4 | 5 | 1 | 5 | 1 | 6 | 2 | 6 | 2 | 7 | 3 | 7 | 3 | 8 | 4 | 8 | 4 | 5 | 1 | 5 | 1 | <b>139-34-3</b><br> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|------|------|-----|-----|-----|-----|-----|-----|-----|-----|-----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|---|---|---|---|---|---|---|----|----|----|--|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---------------------|
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                 | R60E                                                                    | R61E | R62E                                                                                                                                                                                                                                                       |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                 | 125                                                                     | 124  | 123                                                                                                                                                                                                                                                        |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                 | 138                                                                     | 139  | 140                                                                                                                                                                                                                                                        |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 163                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | 162                                                                                                                                                                                                                             | 161                                                                     |      |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 5                                                                                                                                                                                                                               | 4                                                                       | 3    | 2                                                                                                                                                                                                                                                          | 1    |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 8                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 9                                                                                                                                                                                                                               | 10                                                                      | 11   | 12                                                                                                                                                                                                                                                         |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 18                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 17                                                                                                                                                                                                                              | 16                                                                      | 15   | 14                                                                                                                                                                                                                                                         | 13   |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 19                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 20                                                                                                                                                                                                                              | 21                                                                      | 22   | 23                                                                                                                                                                                                                                                         | 24   |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 30                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 29                                                                                                                                                                                                                              | 28                                                                      | 27   | 26                                                                                                                                                                                                                                                         | 25   |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 31                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | 32                                                                                                                                                                                                                              | 33                                                                      | 34   | 35                                                                                                                                                                                                                                                         | 36   |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 8                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 4                                                                                                                                                                                                                               | 8                                                                       | 4    |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 1                                                                                                                                                                                                                               | 5                                                                       | 1    |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 2                                                                                                                                                                                                                               | 6                                                                       | 2    |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 7                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 3                                                                                                                                                                                                                               | 7                                                                       | 3    |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 8                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 4                                                                                                                                                                                                                               | 8                                                                       | 4    |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| 5                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | 1                                                                                                                                                                                                                               | 5                                                                       | 1    |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
| <b>AVERAGE DA VALUE</b><br>55                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>PARCEL NUMBER</b><br>001<br><b>ACREAGE</b><br>1.00<br><b>PARCEL SUB/SEQ NUMBER</b><br>202<br><b>PLAT RECORDING NUMBER</b><br>PB 23-45<br><b>BLOCK NUMBER</b><br>5<br><b>LOT NUMBER</b><br>5<br><b>GOV. LOT NUMBER</b><br>015 | <b>Scale: 1"=200'</b><br><b>Rev: 06/14/06</b>                           |      |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                 |                                                                         |      |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                 |                                                                         |      |                                                                                                                                                                                                                                                            |      |      |      |     |     |     |     |     |     |     |     |     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |   |   |   |   |   |   |   |   |    |    |    |  |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                          |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |                     |



**SDR-18357**  
**01/11/07 ADMIN**

**RECEIVED**  
 TAX DIST 203  
 NOV 28 2006

# Deed

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# Separator Sheet

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20050118-0004752

Fee: \$0.00  
W/C Fee: \$0.00

RPTT: EX#003

01/18/2005  
T20050011315

15:21:05

Requestor:  
LAS VEGAS CITY

Frances Deane  
Clark County Recorder

ADF  
Pas: 6

APN# 134-34-303-001

11 digit number may be obtained at:  
<http://sandgate.co.clark.nv.us/cicsAssessor/owner.htm>

Quitclaim Deed

**Type of Document**

(Example: Declaration of Homestead, Quit Claim Deed, etc.)

re-record correct

Legal Description

Recording requested by:

City of Las Vegas

Return to:

Name City of Las Vegas

Address 200 Stewart Ave 4th Flr

City/State/Zip Las Vegas NV 89101

This page added to provide additional information required by NRS 111.312 Sections 1-2  
(An additional recording fee of \$1.00 will apply.)

This cover page must be typed or printed clearly in black ink only.

CS12/03

RE-RECORDED

RECEIVED  
NOV 28 2006

SDR-18357  
01/11/07 ADMIN

A.P.N. 139-34-303-001

20040823-0003153  
Fee: \$0.00 RPTT: EX002  
08/23/2004 13:25:01 T20040008353  
Req: LAS VEGAS CITY  
Frances Deane N/C: \$0.00  
Clark County Recorder Pgs: 3

## QUITCLAIM DEED

By this instrument dated \_\_\_\_\_ day of \_\_\_\_\_, 2004, for a valuable consideration, the City of Las Vegas, a municipal corporation of the State of Nevada, does hereby REMISE, RELEASE and FOREVER QUITCLAIM to the City of Las Vegas Redevelopment Agency, any and all interest in the following described real property in the State of Nevada, County of Clark:

~~Be-refered correct exhibit~~  
See attached Exhibit "A" for complete legal description to be made a part hereof by reference herein.

### MORE COMMONLY KNOWN AS:

400 S. Las Vegas Boulevard  
Las Vegas, NV 89101

The purpose of this Quitclaim deed is to transfer title of land from the name of the City of Las Vegas to reflect title in the name of the City of Las Vegas Redevelopment Agency. Recording shall be paid by the City of Las Vegas Redevelopment Agency.

By: [Signature]  
CITY OF LAS VEGAS  
OSCAR B. GOODMAN, MAYOR

Witness my hand this 11th day of August, 2004

STATE OF NEVADA )  
COUNTY OF CLARK ) s.s.

ATTEST:  
By: [Signature]  
BARBARA JO RONEMUS, CITY CLERK

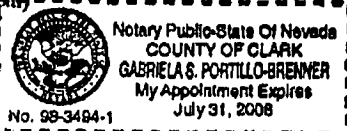
On August 11th, 2004  
Before me, a Notary Public personally appeared  
Oscar B. Goodman personally known to me  
(or proved to me on the basis of satisfactory evidence)  
to be the person whose name is subscribed to this  
instrument, and acknowledged that he executed it.

APPROVED AS TO FORM:

By: [Signature] 7/15/04  
DEPUTY CITY ATTORNEY DATE

Signature [Signature]  
(Notary Public)

(Notarial Seal)



### RECORDING REQUESTED BY:

Steven Van Gorp, Redevelopment Officer  
City of Las Vegas Redevelopment Agency  
400 Stewart Avenue, 2<sup>nd</sup> Floor  
Las Vegas, NV 89101

### AFTER RECORDING MAIL TO:

Tax Statements To:  
Redevelopment Office of  
City of Las Vegas Redevelopment Agency  
400 Stewart Avenue, 2<sup>nd</sup> Floor  
Las Vegas, NV 89101

EXHIBIT "A"  
LEGAL DESCRIPTION

SITUATE IN THE LAS VEGAS VALLEY WATER DISTRICT, CITY OF LAS VEGAS, COUNTY OF CLARK, STATE OF NEVADA AND BOUNDED AND DESCRIBED AS FOLLOWS:

THE PORTION OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., IN THE COUNTY OF CLARK, STATE OF NEVADA, BOUNDED ON THE NORTHEAST BY THE SOUTHEASTERLY PROLONGATION OF THE CENTER LINE OF LEWIS STREET; BOUNDED ON THE NORTHWEST BY THE SOUTHEASTERLY LINE OF FOURTH STREET; BOUNDED ON THE SOUTHWEST BY THE NORTHEASTERLY LINE OF CLARK STREET AND BOUNDED ON THE SOUTHEAST BY THE SOUTHWESTERLY AND NORTHEASTERLY PROLONGATIONS OF THE NORTHWESTERLY LINE OF FIFTH STREET (NOW LAS VEGAS BOULEVARD, SOUTH), AS SAID STREETS ABOVE NAMED ARE SHOWN ON PLAT OF CLARK'S LAS VEGAS TOWNSITE, ON FILE AND OF RECORD IN BOOK 1 OF PLATS, PAGE 37, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA, AND IN BOOK "A" OF PLATS, PAGE 5, LINCOLN COUNTY, NEVADA, RECORDS.

SAID LAND IS ALSO DESCRIBED AS FOLLOWS:

SITUATED IN THE CITY OF LAS VEGAS, COUNTY OF CLARK, STATE OF NEVADA, TO WIT:

THAT CERTAIN TRACT OR PARCEL OF LAND LYING WITHIN THE CITY OF LAS VEGAS COUNTY OF CLARK, STATE OF NEVADA AND BEING A PORTION OF THE NORTH ONE-HALF (N 1/2) OF THE SOUTH ONE-HALF (S 1/2) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 1, BLOCK 39 OF CLARK'S LAS VEGAS TOWNSITE AS SHOWN BY MAP THEREOF IN BOOK 1 OF PLATS, PAGE 37, IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA; THENCE NORTH 27°45'00" EAST ALONG THE NORTHEASTERLY PROLONGATION OF THE EASTERLY RIGHT OF WAY LINE OF SOUTH FOURTH STREET (80.00 FEET IN WIDTH) A DISTANCE OF 80.00 FEET TO THE NORTHEASTERLY CORNER OF THE INTERSECTION OF SOUTH FOURTH STREET AND CLARK STREET AS SHOWN BY SAID PLAT, THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 27°15'00" EAST ALONG SAID EASTERLY RIGHT OF WAY LINE OF SOUTH FOURTH STREET A DISTANCE OF 440.00 FEET TO A POINT OF INTERSECTION WITH THE SOUTHEASTERLY PROLONGATION OF THE CENTER LINE OF LEWIS STREET (80.00 FEET IN WIDTH); THENCE SOUTH 62°15'00" EAST ALONG THE PROLONGATION OF THE AFOREMENTIONED CENTER LINE OF LEWIS STREET, A DISTANCE OF 300.00 FEET TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY LINE OF LAS VEGAS BOULEVARD SOUTH (80.00 FEET IN WIDTH) FORMERLY KNOWN AS FIFTH STREET; THENCE SOUTH 27°45'00" WEST ALONG THE NORTHWESTERLY RIGHT OF WAY LINE OF LAS VEGAS BOULEVARD SOUTH, A DISTANCE OF 440.00 FEET TO THE NORTHWEST CORNER OF THE INTERSECTION OF LAS VEGAS BOULEVARD SOUTH AND CLARK STREET (EACH 80.00 FEET IN WIDTH); THENCE NORTH 62°15'00" WEST ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF CLARK STREET (80.00 FEET IN WIDTH) A DISTANCE OF 300.00 FEET TO THE TRUE POINT OF BEGINNING.

Correct legal

Exhibit A 139-34-33-cc1

Situate in the Las Vegas Valley Water District, City of Las Vegas, County of Clark, State of Nevada and bounded and described as follows:

The portion of Section 34, Township 20 South, Range 61 East, M.D.M., in the County of Clark, State of Nevada, bounded on the Northeast by the Southeasterly prolongation of the center line of Lewis Street; Bounded on the Northwest by the Southeasterly line of Fourth Street, bounded on the Southwest by the Northeasterly line of Clark Street and bounded on the Southeast by the Southwesterly and Northeasterly prolongations of the Northwesterly line of Fifth Street (Now Las Vegas Boulevard, South), as said streets above named are shown on Plat of Clark's Las Vegas Townsite, on file and of record in Book 1 of Plats, page 37, in the Office of the County Recorder of Clark County, Nevada, and in Book "A" of Plats, page 5, Lincoln County, Nevada, Records.

Said Land is also described as follows:

Situated in the City of Las Vegas, County of Clark, State of Nevada, to wit:

That certain tract or parcel of land lying within the City of Las Vegas, County of Clark, State of Nevada and being a portion of the North One-Half (N ½) of the South One-Half (S ½) of Section 34, Township 20 South Range 61 East, M.D.M., Clark County, Nevada, described as follows:

Commencing at the Northwest corner of Lot One (1), Block 39 of Clark's Las Vegas Townsite as shown by map thereof in Book 1 of Plats, page 37, in the Office of the County Recorder, Clark County, Nevada; Thence North 27°45'00" East along the Northeasterly prolongation of the Easterly right of way line of South Fourth Street (30.00 feet in width), a distance of 80.00 feet to the Northeasterly corner of the intersection of South Fourth Street and Clark Street as shown by said Plat, the True Point of Beginning; Thence continuing North 27°45'00" East along said Easterly right of way line of South Fourth Street a distance of 440.00 feet to a point of intersection with the Southeasterly prolongation of the center line of Lewis Street (80.00 feet in width); Thence South 62°15'00" East along the prolongation of the aforementioned center line of Lewis Street, a distance of 300.00 to a point on the Northwesterly right of way line of Las Vegas Boulevard South (80.00 feet in width) formerly known as Fifth Street; Thence South 27°45'00" West along the Northwesterly right of way line of Las Vegas Boulevard South, a distance of 440.00 feet to the Northwest corner of the intersection of Las Vegas Boulevard South and Clark Street (each 80.00 feet in width); Thence North 62°15'00" West along the Northeasterly right of way line of Clark Street (80.00 feet in width) a distance of 300.00 feet to the True Point of Beginning.

STATE OF NEVADA  
DECLARATION OF VALUE FORM

1. Assessor Parcel Number(s)

a) 139-34-303-001  
b) \_\_\_\_\_  
c) \_\_\_\_\_  
d) \_\_\_\_\_

2. Type of Property:

a) ☐ Vacant Land b) ☐ Single Fam. Res.  
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex  
e) ☐ Apt. Bldg f) ☐ Comm'l/Ind'l  
g) ☐ Agricultural h) ☐ Mobile Home  
☒ Other Government Building

FOR RECORDER'S OPTIONAL USE ONLY

Book: \_\_\_\_\_ Page: \_\_\_\_\_

Date of Recording: \_\_\_\_\_

Notes: \_\_\_\_\_

3. Total Value/Sales Price of Property

Deed in Lieu of Foreclosure Only (value of property) \$ 4,300,000

Transfer Tax Value: \$ - 0 -

Real Property Transfer Tax Due \$ - 0 -

4. If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section (2)

b. Explain Reason for Exemption: The Redevelopment Agency is a political subdivision of the City of Las Vegas

5. Partial Interest: Percentage being transferred: \_\_\_\_\_%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature \_\_\_\_\_ Capacity Sr. Econ. Dev. Off.

Signature \_\_\_\_\_ Capacity \_\_\_\_\_

**SELLER (GRANTOR) INFORMATION**  
(REQUIRED)

Print Name: City of Las Vegas  
Address: 400 Stewart  
City: Las Vegas, NV  
State: NV Zip: 89101

**BUYER (GRANTEE) INFORMATION**  
(REQUIRED)

Print Name: Redevelopment Agency  
Address: 400 Stewart  
City: Las Vegas  
State: NV Zip: 89101

**COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)**

Print Name: Steven Van Gorp Escrow #: (City Council Action)  
Address: 400 Stewart Ave 2nd Flr  
City: Las Vegas NV State: NV Zip: 89101

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

**RE-RECORDED**

3153

STATE OF NEVADA  
DECLARATION OF VALUE FORM

1. Assessor Parcel Number(s)

a) 139-34-303-001  
b) \_\_\_\_\_  
c) \_\_\_\_\_  
d) \_\_\_\_\_

2. Type of Property:

a) ☐ Vacant Land b) ☐ Single Fam. Res.  
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex  
e) ☐ Apt. Bldg f) ☐ Comm/Ind'l  
g) ☐ Agricultural h) ☐ Mobile Home  
☒ Other government building

FOR RECORDER'S OPTIONAL USE ONLY

Book: \_\_\_\_\_ Page: \_\_\_\_\_  
Date of Recording: \_\_\_\_\_  
Notes: \_\_\_\_\_

3. Total Value/Sales Price of Property

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

Real Property Transfer Tax Due

\$ 4,300,000  
\_\_\_\_\_  
\$ \_\_\_\_\_  
\$ \_\_\_\_\_

4. If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090. Section

b. Explain Reason for Exemption

Re-record for correct Legal Description

5. Partial Interest: Percentage being transferred: \_\_\_\_\_%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature Jill Meene Capacity City Council Action

Signature \_\_\_\_\_ Capacity \_\_\_\_\_

**SELLER (GRANTOR) INFORMATION  
(REQUIRED)**

Print Name: City of Las Vegas  
Address: 100 Stewart Ave 4th Flr  
City: Las Vegas  
State: NV Zip: 89101

**BUYER (GRANTEE) INFORMATION  
(REQUIRED)**

Print Name: Redevelopment Agency  
Address: 400 Stewart Ave 3rd Flr  
City: Las Vegas  
State: NV Zip: 89101

**COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)**

Print Name: Jill Meene Escrow #: City Council Action  
Address: 400 Stewart Ave  
City: Las Vegas State: NV Zip: 89101

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

4752



# Application

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Separator Sheet

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# PLANNING & DEVELOPMENT DEPARTMENT

## APPLICATION / PETITION FORM

Application/Petition For: Site Development Review  
 Project Address (Location) 400 S. Las Vegas Blvd.  
 Project Name 5th Street School phase III Proposed Use \_\_\_\_\_  
 Assessor's Parcel #(s) 139-34-303-001 Ward # 3  
 General Plan: existing PF proposed \_\_\_\_\_ Zoning: existing C-V proposed \_\_\_\_\_  
 Commercial Square Footage \_\_\_\_\_ Floor Area Ratio \_\_\_\_\_  
 Gross Acres \_\_\_\_\_ Lots/Units \_\_\_\_\_ Density \_\_\_\_\_  
 Additional Information \_\_\_\_\_

PROPERTY OWNER City Of Las Vegas Redevelopment Contact Scott Adams  
 Address 400 Stewart Phone: 229-6551 Fax: \_\_\_\_\_  
 City Las Vegas State NV Zip 89101

APPLICANT City of Las Vegas Contact Frank Trupiano  
 Address 400 Stewart Phone: 229-6535 Fax: \_\_\_\_\_  
 City Las Vegas State NV Zip 89101

REPRESENTATIVE Cit of Las Vegas Contact Frank Trupiano  
 Address 400 Stewart Phone: 229-6535 Fax: \_\_\_\_\_  
 City Las Vegas State NV Zip 89101

Property Owner Signature\* Douglas Selby

\* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

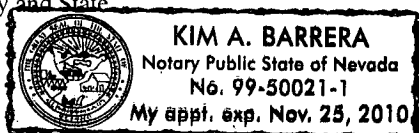
Print Name Douglas Selby

Subscribed and sworn before me

This 28 day of November, 20 06

Kim A. Barrera

Notary Public in and for said County and State



### FOR DEPARTMENT USE ONLY

|                 |                    |
|-----------------|--------------------|
| Case #          | <u>SDR-18357</u>   |
| Meeting Date:   | <u>11</u>          |
| Total Fee:      |                    |
| Date Received:* | <u>11/28/06</u>    |
| Received By:    | <u>[Signature]</u> |

\*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

RECEIVED  
NOV 28 2006

# Hansen Sheet

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# Separator Sheet

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City of Las Vegas  
400 Stewart Ave  
Las Vegas, NV 89101-2927

SDR Application

Report Date 11/29/2006 10:51 AM

Submitted By

Page 1

A/P # 18357 SITE DEVELOPMENT PLAN REVIEW

Application Information

| Stages    |  | Date / Time      | By     | Date / Time | By |
|-----------|--|------------------|--------|-------------|----|
| Processed |  | 11/28/2006 16:01 | 984548 | Temp COO    |    |
| Approved  |  |                  |        | COO Issued  |    |
| Final     |  |                  |        | Expires     |    |

Associated Information

|                  |                                                  |            |                      |      |
|------------------|--------------------------------------------------|------------|----------------------|------|
| Type of Work     | # Plans                                          | 0          | Declared Valuation   | 0.00 |
| Dept of Commerce | # Plans                                          | 0          | Calculated Valuation | 0.00 |
| Priority         | <input checked="" type="checkbox"/> Auto Reviews | Bill Group | Actual Valuation     | 0.00 |

Description of Work

SDR-18357 - SITE DEVELOPMENT PLAN REVIEW - ADMINISTRATIVE -  
APPLICANT: CITY OF LAS VEGAS - OWNER: CITY OF LAS VEGAS REDEVELOPMENT AGENCY - Request for a Site Development Plan Review FOR  
THE REHABILITATION OF AN EXISTING SCHOOL on 3.03 acres at 400 South Las Vegas Boulevard (APN 139-34-303-001), C-V(Civic) Zone, Ward 3 (Reese).

Parent A/P #

|                    |       |                    |                             |                  |      |
|--------------------|-------|--------------------|-----------------------------|------------------|------|
| Project #          | 18357 | Project/Phase Name | 5TH STREET SCHOOL PHASE III | Phase #          |      |
| Size/Area          | 3.05  | Size Description   | ACRE                        | Subdivision Code |      |
| Proposed Start     |       | Proposed Stop      |                             | % Completed      | 0.00 |
| % Complete Formula |       |                    |                             |                  |      |

Property/Site Information

Parcel 13934303001

Location

Owner/Tenant

|                 |                           |      |                                 |                |                                  |
|-----------------|---------------------------|------|---------------------------------|----------------|----------------------------------|
| Contact ID      | AC1301956                 | Name | CITY OF LAS VEGAS REDEVELOPMENT | Organization   |                                  |
| Mailing Address | 400 E STEWART AVE 2ND FLR |      |                                 | State/Province | NV                               |
| City            | LAS VEGAS                 |      |                                 | Country        | <input type="checkbox"/> Foreign |
| ZIP/PC          | 89101-2913                |      |                                 | Evening Phone  |                                  |
| Day Phone       | (702)229-6551 x           |      |                                 | Mobile #       |                                  |
| Fax             |                           |      |                                 |                |                                  |

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

401 S 4TH ST  
LAS VEGAS, 89101-

400 S LAS VEGAS BLVD  
LAS VEGAS, 89101-

400 S LAS VEGAS BLVD 101  
LAS VEGAS, 89101-

**City of Las Vegas**400 Stewart Ave  
Las Vegas, NV 89101-2927**SDR Application****Report Date** 11/29/2006 10:51 AM**Submitted By**

Page 2

**Linked Parcels**

No Parcels are linked to this Application

**A/P Linked Parcels**

13934303001

**Applicants/Contacts**

|                      |                                                       |                  |       |                     |           |                          |                |
|----------------------|-------------------------------------------------------|------------------|-------|---------------------|-----------|--------------------------|----------------|
| <b>Primary</b>       | N                                                     | <b>Capacity</b>  | OWNER | <b>Contact ID</b>   | AC1301956 | <input type="checkbox"/> | <b>Foreign</b> |
| <b>Effective</b>     |                                                       | <b>Expire</b>    |       |                     |           |                          |                |
| <b>Name</b>          | CITY OF LAS VEGAS REDEVELOPMENT                       |                  |       |                     |           |                          |                |
| <b>Day Phone</b>     | (702)229-6551 x                                       | <b>Eve Phone</b> |       | <b>Organization</b> |           |                          |                |
| <b>Pager</b>         |                                                       | <b>PIN #</b>     |       | <b>Position</b>     |           |                          |                |
| <b>Fax</b>           |                                                       | <b>Mobile</b>    |       | <b>Profession</b>   |           |                          |                |
| <b>E-Mail</b>        |                                                       |                  |       |                     |           |                          |                |
| <b>Address</b>       | 400 E STEWART AVE 2ND FLR<br>LAS VEGAS, NV 89101-2913 |                  |       |                     |           |                          |                |
| <b>Seasonal Addr</b> |                                                       |                  |       |                     |           |                          |                |

|                          |           |
|--------------------------|-----------|
| <b>Valid From</b>        | <b>To</b> |
| <b>Comments</b>          |           |
| Scott Adams 702-229-6551 |           |

|                      |                                               |                  |      |                     |           |                          |                |
|----------------------|-----------------------------------------------|------------------|------|---------------------|-----------|--------------------------|----------------|
| <b>Primary</b>       | Y                                             | <b>Capacity</b>  | APPL | <b>Contact ID</b>   | AC1000343 | <input type="checkbox"/> | <b>Foreign</b> |
| <b>Effective</b>     |                                               | <b>Expire</b>    |      |                     |           |                          |                |
| <b>Name</b>          | CITY OF LAS VEGAS                             |                  |      |                     |           |                          |                |
| <b>Day Phone</b>     | (702)229-6535 x                               | <b>Eve Phone</b> |      | <b>Organization</b> |           |                          |                |
| <b>Pager</b>         |                                               | <b>PIN #</b>     |      | <b>Position</b>     |           |                          |                |
| <b>Fax</b>           |                                               | <b>Mobile</b>    |      | <b>Profession</b>   |           |                          |                |
| <b>E-Mail</b>        |                                               |                  |      |                     |           |                          |                |
| <b>Address</b>       | 400 E STEWART AVE<br>LAS VEGAS, NV 89101-2927 |                  |      |                     |           |                          |                |
| <b>Seasonal Addr</b> |                                               |                  |      |                     |           |                          |                |

|                             |           |
|-----------------------------|-----------|
| <b>Valid From</b>           | <b>To</b> |
| <b>Comments</b>             |           |
| Frank Trupiano 702-229-6535 |           |

**Contractors**

No Contractors

**Check Conditions**

| Condition           | Approval | Approved By | Approved Date | Applied By | Applied Date | Assigned |
|---------------------|----------|-------------|---------------|------------|--------------|----------|
| Supervisor Required |          | Comments    |               |            |              |          |

No Conditions

Report Date 11/29/2006 10:51 AM

Submitted By

Page 3

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance? Final City Council letter received  
N Parent Project link required? Annotated minutes recieved  
N Will this go to the City Council? Is there a condition of approval for a Required Review?  
Hearing Type If yes, when does it need to be reviewed?  
Public, Non-Public, Admin ADMIN

Meeting Information

| Meeting Info<br>Meeting Date<br>Comments<br>Added By | Meeting Type<br>Add Date | Meeting Status<br>Modified By<br>Modified Date | YES Votes | NO Votes | ABSTENTIONS |
|------------------------------------------------------|--------------------------|------------------------------------------------|-----------|----------|-------------|
| 01/17/2007                                           | ADMIN                    | SCHEDULED                                      |           |          |             |
| JGRIDER                                              | 11/28/2006               |                                                | 0         | 0        | 0           |

| Template Type | A/P # | A/P Type | Status | Stage |
|---------------|-------|----------|--------|-------|
|---------------|-------|----------|--------|-------|

No children exist for this project

| Employee<br>Employee ID | Last | First | MI | Comments |
|-------------------------|------|-------|----|----------|
|-------------------------|------|-------|----|----------|

No Employee Entries

| Log<br>Action<br>Comments | Description | Entered By | Start | Stop | Hours |
|---------------------------|-------------|------------|-------|------|-------|
|---------------------------|-------------|------------|-------|------|-------|

No Log Entries

# Final DRT

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# Separator Sheet

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# **CITY OF LAS VEGAS**

## **DEVELOPMENT REVIEW COMMENT FORM**



**Planning and Development Department**  
**Current Planning Division**  
**731 South Fourth Street**  
**Las Vegas, Nevada 89101**  
**(702) 229-6301 phone (702) 385-7268 fax**

**SDR-18357 - SITE DEVELOPMENT PLAN REVIEW - ADMINISTRATIVE - APPLICANT: CITY OF LAS VEGAS - OWNER: CITY OF LAS VEGAS REDEVELOPMENT AGENCY** - Request for a Site Development Plan Review FOR THE REHABILITATION OF AN EXISTING SCHOOL on 3.03 acres at 400 Las Vegas Boulevard South (APN 139-34-303-001), C-V(Civic) Zone, Ward 3 (Reese).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$ ) OF THE SOUTHWEST QUARTER (SW $\frac{1}{4}$ ) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

PLANNING COMMISSION: **JANUARY 11, 2007**      CITY COUNCIL: **FEBRUARY 7, 2007**

CASE PLANNER: **JOHN KORKOSZ**



**PUBLIC HEARING**

**Comments Due:      DECEMBER 13, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili ([damarsili@lasvegasnevada.gov](mailto:damarsili@lasvegasnevada.gov)), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

**LIST COMMENTS BELOW:**



# Route Form

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Separator Sheet

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# CITY OF LAS VEGAS

## INTER-OFFICE MEMORANDUM

### REQUEST FOR COMMENT

**FROM: PLANNING AND DEVELOPMENT**

**SDR-18357**

**HAND DELIVERED**

|                                 |                  |     |
|---------------------------------|------------------|-----|
| *DEVELOPMENT COORDINATION (DPW) | GARY REID        | DSC |
| FIRE ENGINEERING                | OZZIE MIRKHAH    | DSC |
| *FLOOD CONTROL (DPW)            | RAUL CRUZ        | DSC |
| *LAND DEVELOPMENT (DPW)         | JEFF GALAMBAS    | DSC |
| PERMITS/ INSPECTIONS            | ROD CLARK        | DSC |
| *RIGHT-OF-WAY (DPW)             | CAROLYN CAVINESS | DSC |
| *SANITARY SEWERS (DPW)          | TIM PARKS        | DSC |
| *TRAFFIC ENGINEERING (DPW)      | RICK SCHROEDER   | DSC |

**SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL**

|                                               |                                              |                                           |
|-----------------------------------------------|----------------------------------------------|-------------------------------------------|
| <CCSD>                                        | GUY CORRADO                                  | 4212 EUCALYPTUS ANNEX                     |
| METRO                                         | SGT. ROBERT ROSHACK                          | 7 <sup>th</sup> FLOOR CITY HALL           |
| OFFICE OF BUSINESS DEVELOPMENT                | DAVID BRATCHER                               | 2 <sup>nd</sup> FLOOR CITY HALL EXPANSION |
| NEIGHBORHOOD SERVICES                         | ANNE KILPONEN                                | 2 <sup>nd</sup> FLOOR CITY HALL           |
| *TEFO (DPW)                                   | TOM WILKING                                  | 3104 BONANZA ROAD                         |
| *STREETS & SANITATION (DPW)                   | JERRY WALKER                                 | 2900 RONEMUS                              |
| *PARKS & OPEN SPACES (DPW)                    | JOHN BLACK                                   | 2900 RONEMUS                              |
| *SID (DPW)                                    | T. McDANIEL                                  | 4 <sup>th</sup> FLOOR CITY HALL           |
| *SURVEY (DPW)                                 | ALAN RIEKKI                                  | WEST YARD                                 |
| <EMBARQ> (SDPR only)                          | SANDRA HOLLEY                                | 330 VALLEY VIEW BOULEVARD                 |
| LAS VEGAS VALLEY WATER DISTRICT<br>(NO PLANS) | DOA J. MEADE,<br>ENGINEERING DESIGN DIVISION | 1001 S. VALLEY VIEW BLVD.                 |

**\* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.  
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND  
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR  
11/29/2006

# Action Letter

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# Separator Sheet

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# PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street  
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

[www.lasvegasnevada.gov](http://www.lasvegasnevada.gov)

## - CORRECTED LETTER -

December 20, 2006

Mr. Scott Adams  
City of Las Vegas Redevelopment  
400 Stewart Avenue  
Las Vegas, Nevada 89101

Dear Mr. Adams:

Your request for a Site Development Plan Review FOR THE REHABILITATION OF AN EXISTING SCHOOL on 3.03 acres at 400 Las Vegas Boulevard South (APN 139-34-303-001), C-V(Civic) Zone, Ward 3 (Reese), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department staff has administratively **APPROVED** your request subject to the following:

### Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. A Waiver from the Downtown Centennial Plan: Downtown Las Vegas Transportation and parking Standards is hereby approved to allow the decorative fence as approved by the Historic Preservation Commission on 8/23/06 where the Standard Required Parking Lot Screen is required.
3. A Waiver from the Downtown Centennial Plan: Downtown Las Vegas Streetscape Design Standards is hereby approved, to allow:
  - a. Along Las Vegas Boulevard:
    - 1) A ten-foot sidewalk where an 11-foot sidewalk with five-foot amenity zone is required.
    - 2) 17 existing shade trees where 13 palm trees are required
  - b. Along Fourth Street:
    - 1) Three existing palm trees and 17 existing shade trees where 13 palm trees are required.

Mayor  
Oscar B. Goodman

City Council  
Gary Reese  
(Mayor Pro Tem)  
Larry Brown  
Lawrence Weekly  
Steve Wolfson  
Lois Tarkanian  
Steven D. Ross

City Manager  
Douglas A. Selby



- c. Along Clark Avenue:
  - 1) A nine-foot six-inch amenity zone, a five-foot sidewalk and a five-foot six-inch landscape buffer where an 11-foot sidewalk with five-foot amenity zone is required.
  - 2) Eight existing shade trees where ten shade trees are required.
- 4. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/20/06, except as amended by conditions herein.
- 5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
- 6. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
- 7. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
- 8. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
- 9. A Waiver from Title 19.08 is hereby approved, to not require trellis over the trash enclosure due to the conflict with the historical fabric of the buildings.
- 10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
- 11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

Mr. Scott Adams  
SDR-18357 Administrative - Page Three - Corrected Letter  
December 20, 2006

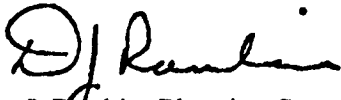
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

**Public Works**

13. This property is listed on the Las Vegas Historic Property Register and is therefore subject to additional review by the City of Las Vegas Historic Preservation Commission per LVMC Title 19.06.090.
14. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.
15. Construct the bus turnout on Las Vegas Boulevard adjacent to this site concurrent with development of this site; coordinate these improvements with the City Engineer.
16. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site; provide and improve all drainage ways as recommended.

This action by the Planning and Development Department staff is final.

Sincerely,



Douglas J. Rankin, Planning Supervisor  
Planning and Development Department  
Current Planning Division

DJR:dm

cc: Mr. Frank Trupiano  
City of Las Vegas  
400 Stewart Avenue  
Las Vegas, Nevada 89101

# PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street  
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

[www.lasvegasnevada.gov](http://www.lasvegasnevada.gov)

December 13, 2006

Mr. Scott Adams  
City of Las Vegas Redevelopment  
400 Stewart Avenue  
Las Vegas, Nevada 89101

Dear Mr. Adams:

Your request for a Site Development Plan Review FOR THE REHABILITATION OF AN EXISTING SCHOOL on 3.03 acres at 400 Las Vegas Boulevard South (APN 139-34-303-001), C-V(Civic) Zone, Ward 3 (Reese), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department staff has administratively **APPROVED** your request subject to the following:

### Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/20/06, except as amended by conditions herein.
3. A Waiver from the Downtown Centennial Plan is hereby approved, to allow 17 shade trees along Las Vegas Boulevard where 13 palm trees are required, to allow three palm trees and 17 shade trees along Fourth Street where 13 palm trees are required, and to allow 8 shade trees along Clark Avenue where 10 shade trees are required.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

Mayor  
Oscar B. Goodman

City Council  
Gary Reese  
(Mayor Pro Tem)  
Larry Brown  
Lawrence Weekly  
Steve Wolfson  
Lois Tarkanian  
Steven D. Ross

City Manager  
Douglas A. Selby



5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
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12. This property is listed on the Las Vegas Historic Property Register and is therefore subject to additional review by the City of Las Vegas Historic Preservation Commission per LVMC Title 19.06.090.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.



Mr. Scott Adams  
SDR-18357 Administrative - Page Three  
December 13, 2006

**Public Works**

14. Construct the bus turnout on Las Vegas Boulevard adjacent to this site concurrent with development of this site; coordinate these improvements with the City Engineer.
15. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site; provide and improve all drainage ways as recommended.

This action by the Planning and Development Department staff is final.

Sincerely,



Douglas J. Rankin, Planning Supervisor  
Planning and Development Department  
Current Planning Division

DJR:dm

cc: Mr. Frank Trupiano  
City of Las Vegas  
400 Stewart Avenue  
Las Vegas, Nevada 89101

# Plans (PMT)

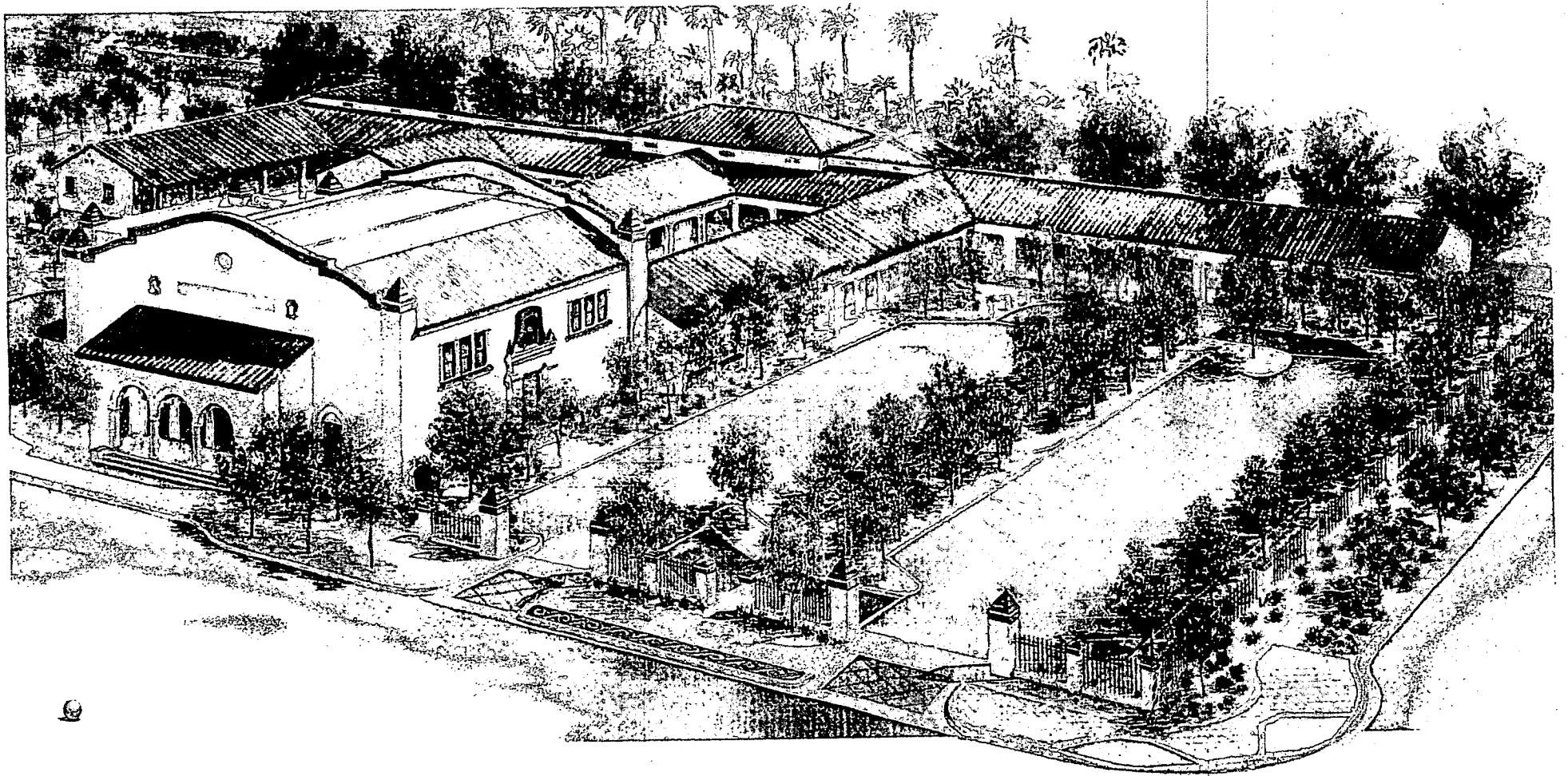
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P L A N S - P M T

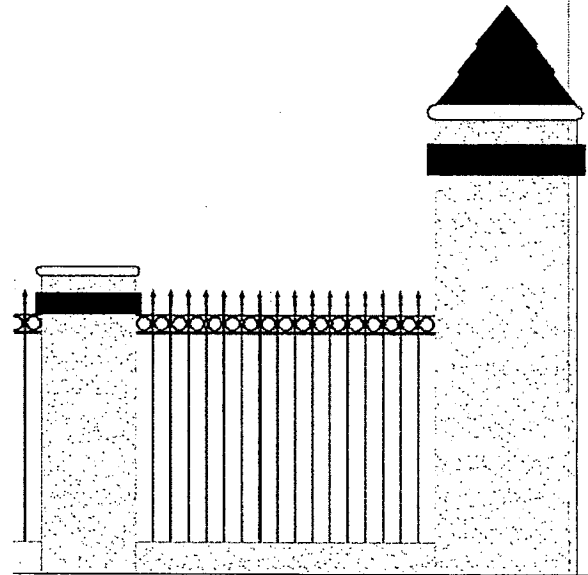
Separator Sheet

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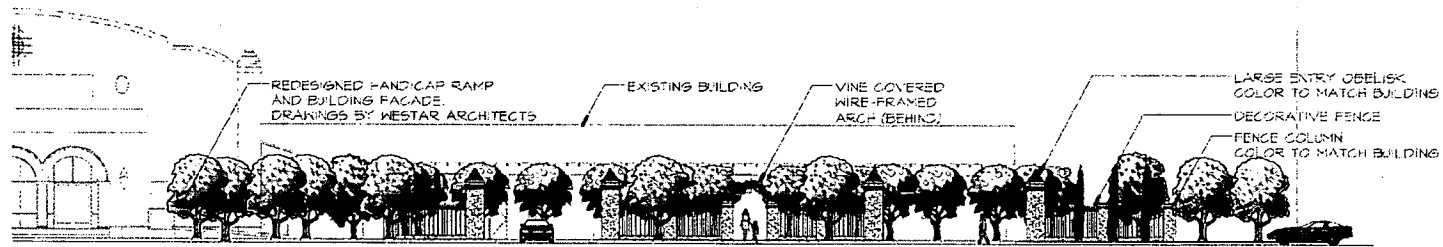




VINE COVERED WIRE-FRAMED ARCH DETAIL  
SCALE: 1" = 1'-0"



DECORATIVE FENCE DETAIL  
SCALE: 1" = 1'-0"



WEST ELEVATION  
SCALE: 1" = 8'-0"

# SOUTH PARKING LOT 5th ST. SCHOOL

## MASTER PLAN

APPROVED

WESTAR ARCHITECTS

MVZUNINO ASSOCIATES

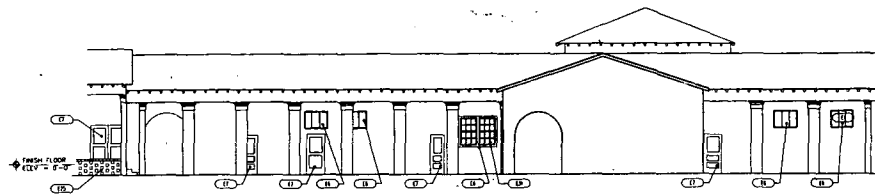
ADMIN SDR 183577 Per HPC  
BY *[Signature]* 12/12/05  
CURRENT PLANNING DIVISION  
CITY OF LAS VEGAS

SCALE: 1" = 60'-0"



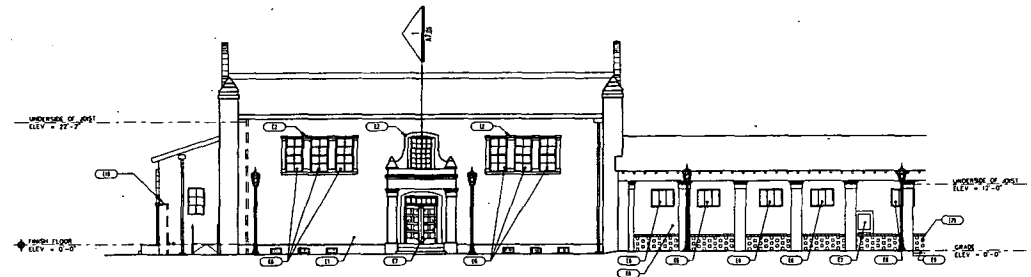


SDR-18357  
01/11/07 ADMIN  
BY ADMIN SDR 1/26/08  
CURRENT PLANNING DIVISION  
CITY OF LAS VEGAS



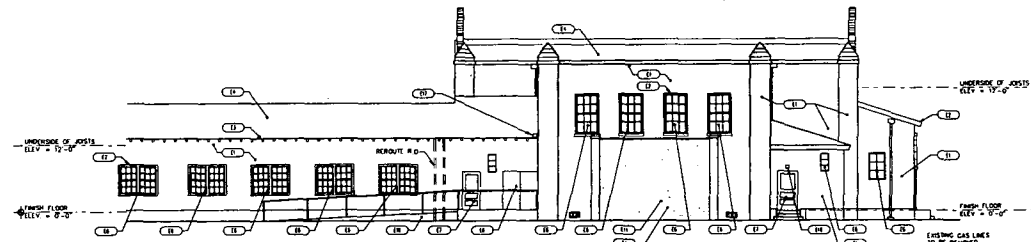
**SOUTH ELEVATION**

SCALE: 1/8" = 1'



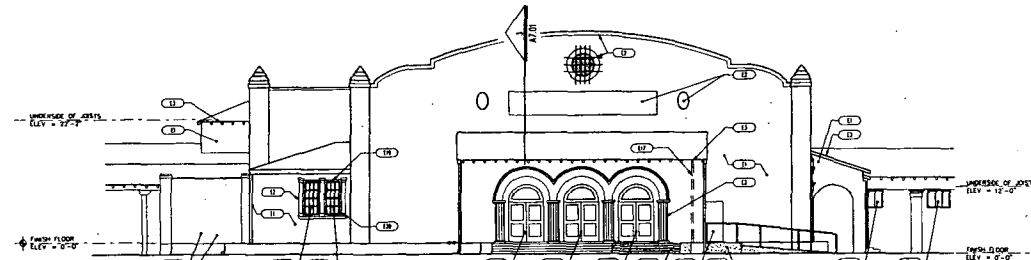
**SOUTH ELEVATION**

SCALE: 1/8" = 1'



**NORTH ELEVATION**

SCALE: 1/8" = 1'



**WEST ELEVATION**

SCALE: 1/8" = 1'

**ELEVATION NOTES**

**DESCRIPTION**

1. PAINT: FIELD COLOR (ALL EXISTING CONCRETE, BRICKWORK, BEAMWORK, EXTERIOR DOORS, WINDOWS, AND SHUTTERS) WHITE.
2. PAINT: TRIM COLOR (ALL EXISTING CONCRETE, BRICKWORK, BEAMWORK, EXTERIOR DOORS, WINDOWS, AND SHUTTERS) WHITE.
3. PAINT: TRIM COLOR (ALL EXISTING CONCRETE, BRICKWORK, BEAMWORK, EXTERIOR DOORS, WINDOWS, AND SHUTTERS) WHITE.
4. REMOVE EXISTING ROOF (SEE ELEV. 2013-10) AND REPLACE WITH NEW SHED.
5. REMOVE EXISTING ROOF (SEE ELEV. 2013-10) AND REPLACE WITH NEW SHED.
6. REMOVE EXISTING ROOF (SEE ELEV. 2013-10) AND REPLACE WITH NEW SHED.
7. REMOVE EXISTING ROOF (SEE ELEV. 2013-10) AND REPLACE WITH NEW SHED.
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14. REMOVE EXISTING ROOF (SEE ELEV. 2013-10) AND REPLACE WITH NEW SHED.
15. REMOVE EXISTING ROOF (SEE ELEV. 2013-10) AND REPLACE WITH NEW SHED.

**GENERAL NOTES**

1. DIMENSIONS ARE TO END LINE, FACE OF STUD, FACE OF MASONRY OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
2. UNIFORM INDICATES OF ANY DISCREPANCIES BEFORE BEGINNING WORK.
3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN AREAS REQUIRING REPAIR AND FOR REPAIRING CONTRACTOR SHALL PATCH AND PREP SURFACES FOR NEW FINISH.

**BUILDING MAP**



FIFTH STREET SCHOOL  
REHABILITATION  
BUILDING DEPARTMENT SUBMITTAL



CITY OF LAS VEGAS  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES

EXTERIOR ELEVATIONS  
11/1/2006

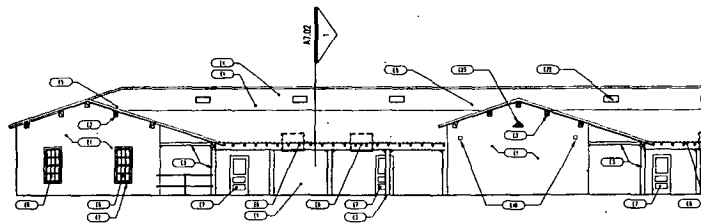
NOV 26 2006

A6.01

**SDR-18357 APPROVED**

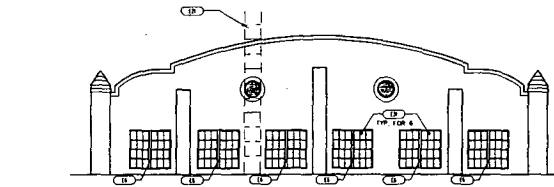
01/11/07 ADMIN

BY *[Signature]* 12/1/08  
CURRENT PLANNING DIVISION  
CITY OF LAS VEGAS



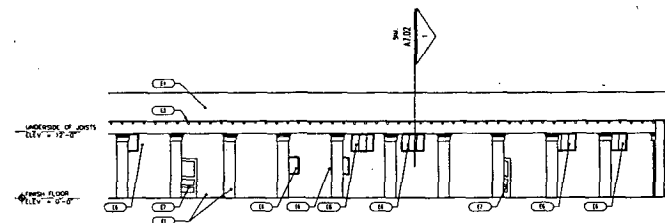
WEST ELEVATION

SCALE: 1/8" = 1'-0"



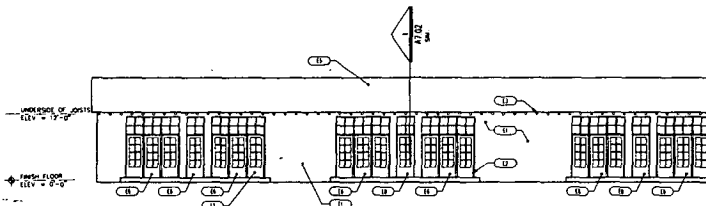
CLERESTORY WINDOWS EAST ELEVATION

SCALE: 1/8" = 1'-0"



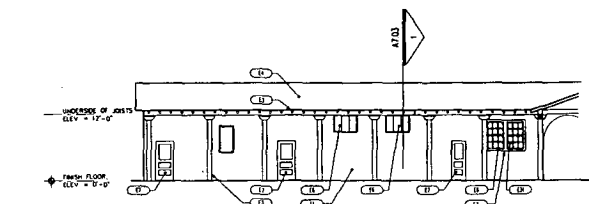
WEST ELEVATION

SCALE: 1/8" = 1'-0"



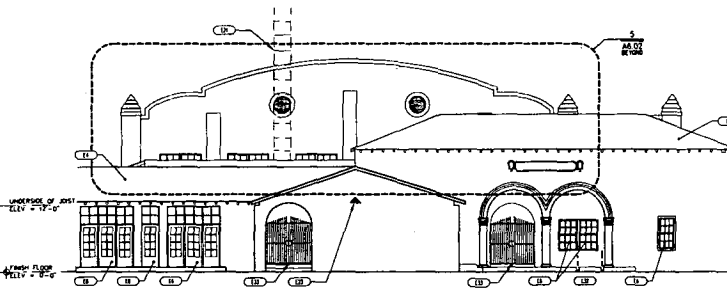
EAST ELEVATION

SCALE: 1/8" = 1'-0"



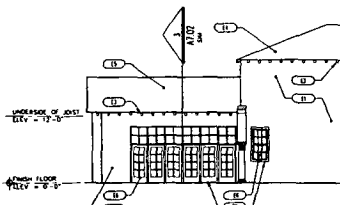
SOUTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



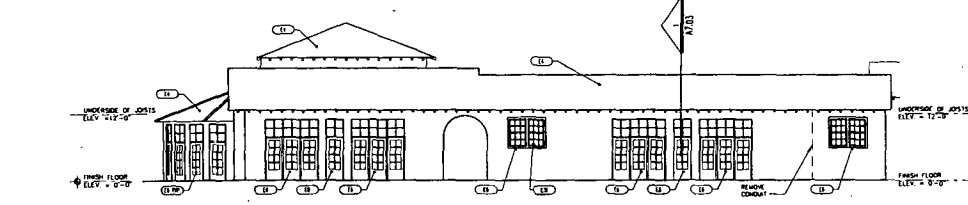
EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

# ELEVATION NOTES

1. PAINT - FIELD COLOR CALL EXISTING
2. CONCRETE PARTITION, BEAM, MOORE
3. CONCRETE PARTITION, BEAM, MOORE
4. PAINT - FIELD COLOR CALL EXISTING
5. PAINT - ACCENT COLOR CALL EXISTING
6. PAINT - ACCENT COLOR CALL EXISTING
7. PAINT - ACCENT COLOR CALL EXISTING
8. PAINT - ACCENT COLOR CALL EXISTING
9. PAINT - ACCENT COLOR CALL EXISTING
10. PAINT - ACCENT COLOR CALL EXISTING
11. PAINT - ACCENT COLOR CALL EXISTING
12. PAINT - ACCENT COLOR CALL EXISTING

## GENERAL NOTES

1. DIMENSIONS ARE TO GRID LINE, FACE OF
2. STUD, FACE OF WINDOW OR FACE OF
3. CONCRETE, UNLESS NOTED OTHERWISE
4. BEFORE REMOVAL OF ANY DISCREPANCIES
5. PRIOR TO CONSTRUCTION, CONTRACTOR
6. SHALL FIELD VERIFY ALL EXISTING
7. CONDITIONS, AND MAKE NECESSARY REPAIR
8. AND/OR REMOVAL, CONTRACTOR SHALL
9. PATCH AND PREP SURFACES FOR NEW
10. FINISH

## BUILDING MAP



FIFTH STREET SCHOOL  
REHABILITATION  
BUILDING DEPARTMENT SUBMITTAL



OWNER: CITY OF LAS VEGAS  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES

EXTERIOR ELEVATIONS  
1/1/2006  
1/1/2006

NOV 2 2006  
A6.02

SDR-18357  
01/11/07 ADMIN APPROVED

BY *[Signature]* 12/12/06  
CURRENT PLANNING DIVISION  
CITY OF LAS VEGAS



EAST ELEVATION

SCALE: 1/8" = 1'-0"

NORTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

NORTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

WEST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

NORTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

EAST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

SOUTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

SOUTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

# ELEVATION NOTES

1. PAINT: FIELD COLOR (ALL EXISTING CONCRETE PARTITIONS) BENJAMIN MOORE DECORATOR'S WHITE -0-0
2. PAINT: TRIM COLOR (ALL DOORS AND DOOR AND WINDOW TRIMS) BENJAMIN MOORE ELEGANT TRIM -0-0
3. PAINT: ACCENT COLOR (ALL EXTERIOR COLUMN MOOR BATTERS AND COLUMNS) BENJAMIN MOORE ELEGANT TRIM -0-0
4. REPAIR EXISTING ROOF TILES (EXPOSED) GROUP 1: REPAIR FROM NEW SHEET
5. REPAIR EXISTING ROOF TILES (EXPOSED) GROUP 2: REPAIR FROM NEW SHEET
6. REPLACE EXISTING BROCKERS & EXISTING ROOF DRAINAGE SYSTEM TO BE RELOCATED AND REPAIR TO ALLOW FOR INSTALLATION OF NEW DRAINAGE SYSTEM
7. EXISTING DRAINAGE SYSTEM TO BE REMOVED AND NEW DRAINAGE SYSTEM TO BE INSTALLED
8. EXISTING WALL TO BE REMOVED AND NEW CONCRETE WALL TO BE CAST
9. PROVIDE EXISTING CONCRETE STAIR AND NEW RAMP
10. PROVIDE NEW HANDICAP ACCESSIBLE CONCRETE RAMP AND HANDICAP ACCESSIBLE CONCRETE STAIR
11. PROVIDE NEW MECHANICAL INSULATION TO NEW PARTITION W/FRAMING SYSTEM TO MATCH EXISTING
12. PROVIDE EXISTING HANDICAP SYSTEM FOR NEW RAMP AND STAIRS
13. PROVIDE NEW CONCRETE TO MATCH EXISTING CONCRETE TO MEET SURROUNDING PAVEMENT LEVEL
14. PROVIDE EXISTING STEEL GRATE PLATFORMS & FORM AND POUR CONCRETE LITERATION FOR EXISTING CONCRETE
15. PROVIDE NEW STAIR AND STEEL WALL TO MATCH EXISTING
16. EXISTING CONCRETE TO BE RELOCATED AS REQUIRED
17. EXISTING EXTERIOR LIGHTS TO BE REMOVED
18. EXISTING CONCRETE TO BE REMOVED
19. EXISTING CONCRETE TO BE REMOVED
20. EXISTING CONCRETE TO BE REMOVED
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30. EXISTING CONCRETE TO BE REMOVED
31. EXISTING CONCRETE TO BE REMOVED
32. EXISTING CONCRETE TO BE REMOVED
33. EXISTING CONCRETE TO BE REMOVED

# GENERAL NOTES

1. DIMENSIONS ARE TO GRID LINE FACE OF WALLS UNLESS NOTED OTHERWISE
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# BUILDING MAP



FIFTH STREET SCHOOL  
REHABILITATION  
BUILDING DEPARTMENT SUBMITTAL



CITY OF LAS VEGAS  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES

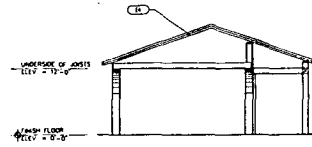
EXTERIOR ELEVATIONS  
11/1/2006

AG.03

SDR-18357  
01/11/07 ADMIN APPROVED

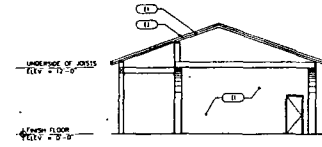
BY *[Signature]* 12/12/06  
CURRENT PLANNING DIVISION  
CITY OF LAS VEGAS

BY *[Signature]* 12/12/06  
APPROVED



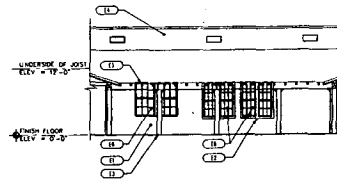
WEST ELEVATION

SCALE: 1/8" = 1'-0"



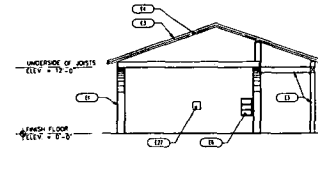
EAST ELEVATION

SCALE: 1/8" = 1'-0"



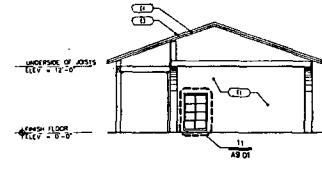
WEST ELEVATION

SCALE: 1/8" = 1'-0"



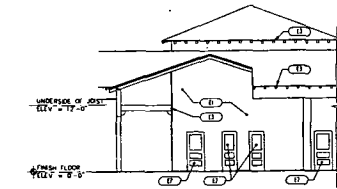
WEST ELEVATION

SCALE: 1/8" = 1'-0"



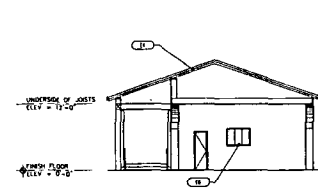
EAST ELEVATION

SCALE: 1/8" = 1'-0"



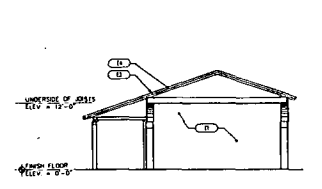
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



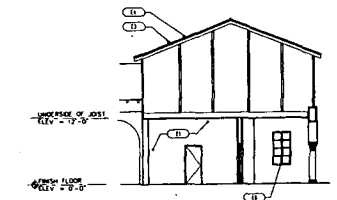
EAST ELEVATION

SCALE: 1/8" = 1'-0"



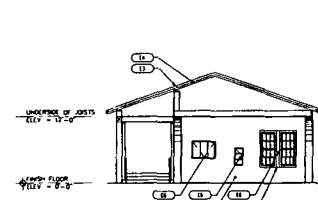
EAST ELEVATION

SCALE: 1/8" = 1'-0"



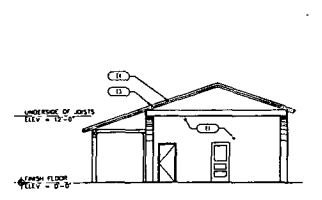
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

# ELEVATION NOTES

1. PAINT: FIELD COLOR (ALL EXISTING CONCRETE PARTITIONS) BENJAMIN MOORE DECORATIONS WHITE-100
2. PAINT: TRIM COLOR (ALL DOORS AND DOOR CASES) BENJAMIN MOORE DECORATIONS WHITE-100
3. PAINT: ACCENT COLOR (ALL EXTERIOR DOOR CASES) BENJAMIN MOORE DECORATIONS WHITE-100
4. REMOVE EXISTING ROOF VENTS EXPOSED ROOF VENTS TO BE REWORKED
5. REMOVE EXISTING ROOF VENTS EXPOSED ROOF VENTS TO BE REWORKED
6. REMOVE EXISTING ROOF VENTS EXPOSED ROOF VENTS TO BE REWORKED
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## GENERAL NOTES

1. DIMENSIONS ARE TO GRID LINE FACE OF THIS FACE OF WINDOW OR FACE OF CONCRETE UNLESS NOTED OTHERWISE
2. BEFORE ARCHITECT OF ANY DISCREPANCIES BEFORE BECOMING WORK
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33. BEFORE ARCHITECT OF ANY DISCREPANCIES BEFORE BECOMING WORK

## BUILDING MAP



EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

SDR-18357

01/11/07 ADMIN

BY *[Signature]* 12/12/06  
CURRENT PLANNING DIVISION  
CITY OF LAS VEGAS



FIFTH STREET SCHOOL  
REPAIRS  
BUILDING DEPARTMENT SUBMITTAL



CITY OF LAS VEGAS  
DEPARTMENT OF PUBLIC WORKS  
ARCHITECTURAL SERVICES

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

A6.04

