

# Plans (PMT)

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Separator Sheet

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**EOT-18350**  
**01/17/06 CC**

**EX1.00**

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BANK (FINANCIAL INSTITUTION)  
Building 3,155 SF

Required Parking 16 Spaces (Total)  
(1/200 a.f. of 0.7A)

ARBY'S (RESTAURANT)  
Building 3,272 SF

Required Parking 63 Spaces (Total)  
(1/100 a.f. of Public 630 Public = 33 Spaces  
Private & Retail 2000 Retail = 30 Spaces  
1/100 a.f. Retail 2000 Retail = 30 Spaces  
1/100 a.f. Retail 2000 Retail = 30 Spaces

TIMBERS (RESTAURANT/TAVERN/BAR)  
Building 5,289 SF

Required Parking 61 Spaces (Total)  
(1/100 a.f. of Public 610 Public = 31 Spaces  
Private & Retail 2000 Retail = 30 Spaces  
1/100 a.f. Retail 2000 Retail = 30 Spaces  
1/100 a.f. Retail 2000 Retail = 30 Spaces

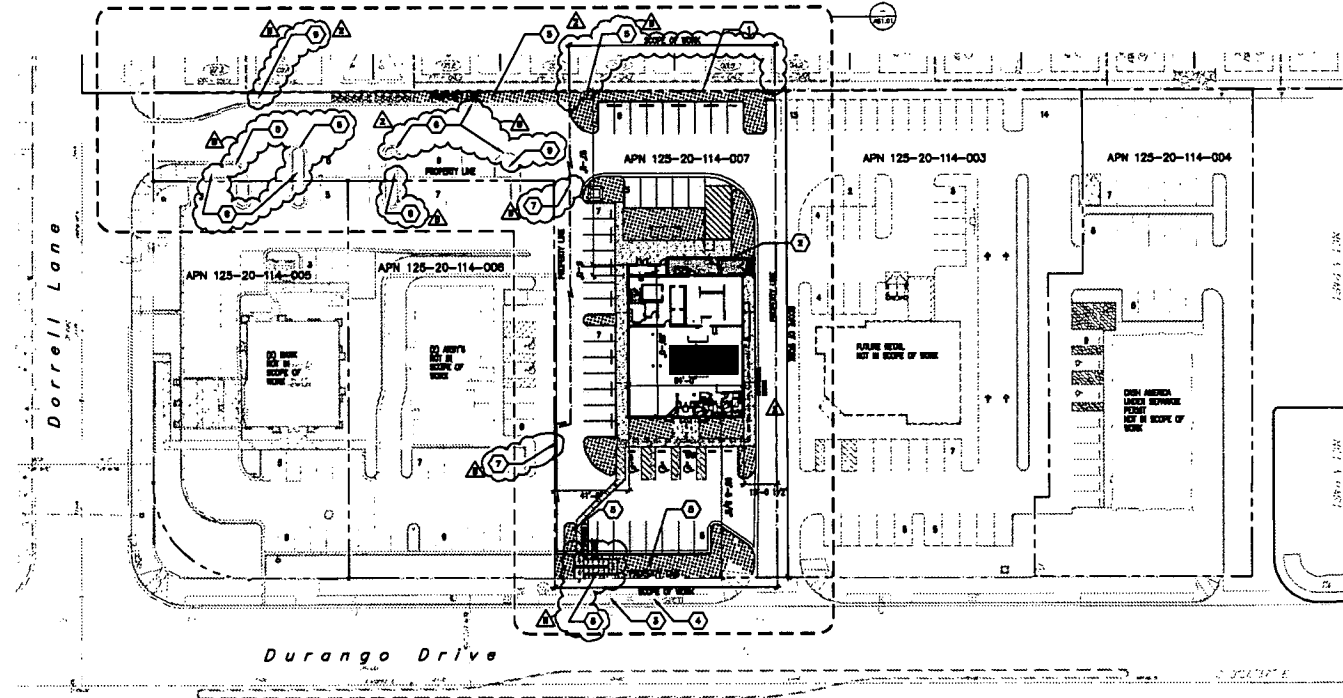
FUTURE RETAIL (CONVENIENCE STORE)  
Building 4,246 SF

Required Parking 17 Spaces (Total)  
(1/200 a.f. of 0.7A)

CASH AMERICA (RETAIL)  
Building 8,472 SF

Required Parking 37 Spaces (Total)  
(1/176 a.f. of 0.7A)

TOTAL PARKING SPACES REQUIRED: 174  
TOTAL PARKING SPACES PROVIDED: 196



⊕ SITE PLAN  
1/32" = 1'-0"

# SITE PLAN NOTES

1. NORMAL GRADE FOR MAPS ON THE SHEET IS 1272  
2. CONSTRUCTION SHALL CONSIDER THIS SHEET WITH ALL OTHER SHEETS PRIOR TO CONSTRUCTION AND BEING RESPONSIBLE TO THE CONTRACTOR'S ATTENTION.

## SHEET KEYNOTES

1. EXISTING CURB WALL
2. 4'-0" HIGH CURB WALL AT SIDE OF ROAD
3. EXISTING LIGHT POLE STRUCTURE
4. EXISTING FIRE HYDRANT
5. NEW LANDSCAPING SEE LANDSCAPE PLAN ALSO
6. EXISTING CURB, SEE CURB PLAN
7. EXISTING AND NEW EXISTING AL. SEE CURB, SIGNAGE
8. NEW ACCESSIBLE RAMP FOR CURB ENTRANCE, SEE ALSO SHEET 11 & 12 ON SHEET ALSO
9. EXISTING LANDSCAPING

CONTRACTOR

**BRESLIN BUILDERS**

IS A DIV. OF COMMERCIAL  
LICENSED GENERAL CONTRACTOR  
LICENSE # 80618169

6020 POLARIS AVENUE, SUITE B  
LAS VEGAS, NEVADA 89118  
(702) 798-3877  
FAX (702) 798-3878  
www.breslinbuilders.com

Project

**TIMBERS AT MONTECITO**

DURANGO DRIVE/DORRELL LANE

APN 125-20-114-007

Sheet Title

**SITE PLAN**

Date

02/24/06

Project No.

1300A

Author/Checker

Lee Nye

Designed By

Tim AKA

Drawn By

CA

Checked By

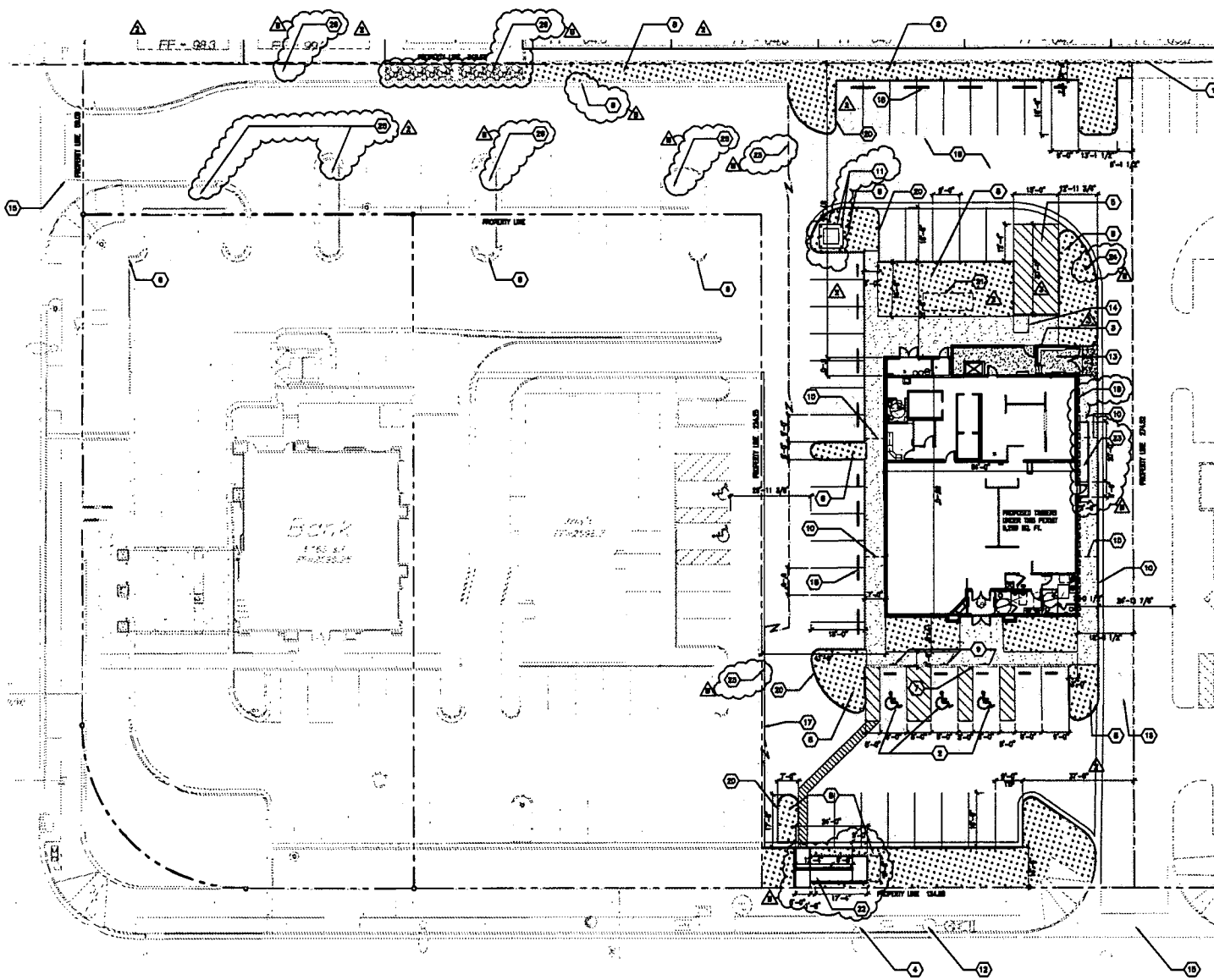
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EOT-18350  
01/17/06 CC

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ENLARGED SITE PLAN  
1/16" = 1'-0"

### SITE PLAN NOTES

REFER TO NOTES FOR TYPICAL NOTES & CHIL DRAWINGS FOR MORE INFORMATION.  
SEE CHIL DRAWINGS AT PROPOSED BUILDING ARE TO FACE OF PROPOSED BUILDING/CONCRETE FLOORING.  
FOR SEE LOCATIONS REFER TO ELECTRICAL SHEETS. FOR SEE LOCATIONS REFER TO 7/06/12.

### SHEET KEYNOTES

- 1 EXISTING CHIL WALL SHALL REMAIN & BE PROTECTED IN PLACE.
- 2 ACCESSIBLE WALL. SEE REMOTE (R) FOR REMOTE.
- 3 6'-0" HIGH CHIL WALL AT BACK OF BUILDING. SEE EXISTING ELEVATIONS ON ALSO A REPLY FOR MORE INFO.
- 4 EXISTING OFF-ICE LIGHT POLE FUTURE.
- 5 17'-0" LOADING DOCK PER CITY OF LAS VEGAS TITLE 18.
- 6 EXISTING CONCRETE CURB OR PROPOSED BY CHIL.
- 7 COMPOSED CURB FOR UNPROPOSED ACCESS PER CHIL DRAWING.
- 8 NEW LANDSCAPE PLANTING PER LOADING ON ALSO.
- 9 PROVIDE ACCESSIBLE WALL REMOTE. SEE 4/06/12.
- 10 NEW DOWN EXISTING TO CURB. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
- 11 PROPOSED MEDIUM POWER TRANSFORMER AND LOCAL. PROVIDE ON TO BOLLARD TYP. AS SHOWN. SEE DETAIL 10/06/12.
- 12 EXISTING OFF-ICE FIRE EXTINGUISHER.
- 13 TYPICAL EXISTING. SEE 4/06/12.
- 14 ACCESS DRIP WITH MAX. SLOPE OF 1:12.
- 15 EXISTING DRAINAGE. SEE CHIL DRAWING.
- 16 NEW IMPACT WITH AREA. CONSTRUCTION TO COORDINATE LIMITS OF CURB.
- 17 INTERLOCKED VALLEY SLATES AS REQUIRED. SEE CHIL DRAWING.
- 18 WALL. SEE TYPICAL. REQUIRED TO PREVENT OVERFLOWING OF ALL LANDSCAPE AREAS. AND ALL WALLS THAT ARE USED TO HOLD UP CURB.
- 19 EXISTING FUTURE CURB TO CURB AT BACK SIDE OF BUILDING PER CHIL DRAWING.
- 20 NEW CONCRETE CURB. SEE CHIL PLAN.
- 21 EXISTING EXISTING. REFINISHED FLOORING CHIL.
- 22 ACCESSIBLE CONCRETE DRIP TO 1/4" SLOPE OF 1:12. AND 1/4" HIGH WALL. PROVIDE 1/4" SLOPE FROM FUTURE SLOPE OF DRIP SLOPE. PROVIDE 1/4" CONCRETE CURB AT CHIL. SEE CHIL DRAWING FOR MORE INFORMATION. SEE 4/06/12.
- 23 ACCESSIBLE CONCRETE DRIP TO 1/4" SLOPE OF 1:12. AND 1/4" HIGH WALL. PROVIDE 1/4" SLOPE FROM FUTURE SLOPE OF DRIP SLOPE. PROVIDE 1/4" CONCRETE CURB AT CHIL. SEE CHIL DRAWING FOR MORE INFORMATION. SEE 4/06/12.
- 24 NEW FIRE EXTINGUISHER PER CHIL DRAWING.
- 25 WALLS AND DOWN EXISTING AS PER CHIL DRAWING.
- 26 EXISTING DRIP WITH MAX. SLOPE OF 1:12.

| NO. | DATE     | DESCRIPTION |
|-----|----------|-------------|
| 1   | 02/24/06 | REV. 001    |
| 2   | 03/01/06 | REV. 002    |
| 3   | 03/01/06 | REV. 003    |

Small Business and Family Owned  
Breslin Builders, Inc. is a small business and family owned company. We are committed to providing quality service and products to our customers. We are a member of the National Association of Home Builders (NAHB) and the International Brotherhood of Builders (IBB).

**CONTRACTOR**  
BRESLIN BUILDERS  
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LAS VEGAS, NEVADA 89118  
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Project:  
**TIMBERS AT MONTECITO**  
DURANGO DRIVE/DORREL LAKE  
A.P.N. 125-20-114-007

Sheet Title:  
**ENLARGED SITE PLAN**

|                         |                      |
|-------------------------|----------------------|
| Date: 02/24/06          | Designed By: TMB/CAA |
| Project No.: 12520      | Drawn By: CA         |
| Author/Checker: Lm Yago | Checked By: TMB      |

**AS1.01**

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**EOT-18350**  
**01/17/06 CC**

# CODE ANALYSIS:

2003 IBC WITH CITY OF LAS VEGAS AMENDMENTS

EXISTING ZONING

OCCUPANCY GROUP (IBC 304.1)

TYPE OF CONSTRUCTION (IBC CHAPTER 602.5)

BASIC ALLOWABLE AREA (IBC TABLE 603)

ALLOWABLE INCREASE (IBC SECTION 603.1)

ALLOWABLE AREA

TOTAL ACTUAL SQUARE FOOTAGE

HEIGHT ALLOWABLE (TABLE 603)

HEIGHT PROVIDED

EXTENSION WALL AND CHIMNEY PROTECTION

BASED ON LOCATION OF PROPERTY (IBC TABLE 603)

ROOF COVERING REQUIREMENTS (IBC TABLE 1603.1)

OCCUPANT LOAD (IBC TABLE 1003.3.1)

PLUMBING FIXTURES (CITY OF LAS VEGAS AMENDMENTS TO 2003 IBC)

127.50 OR 128 ASSEMBLY OCCUPANCY (PUBLIC)

128.00 OR 129 ASSEMBLY OCCUPANCY (PRIVATE)

129.00 OR 130 ASSEMBLY OCCUPANCY (PRIVATE)

130.00 OR 131 ASSEMBLY OCCUPANCY (PRIVATE)

131.00 OR 132 ASSEMBLY OCCUPANCY (PRIVATE)

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186.00 OR 187 ASSEMBLY OCCUPANCY (PRIVATE)

187.00 OR 188 ASSEMBLY OCCUPANCY (PRIVATE)

188.00 OR 189 ASSEMBLY OCCUPANCY (PRIVATE)

189.00 OR 190 ASSEMBLY OCCUPANCY (PRIVATE)

## 2003 IECC ENERGY CODE SYNOPSIS

IECC Table 302.1 - Exterior Design Conditions (in degree Fahrenheit) (Per the 2003 Southern Nevada IECC Amendments)

| CONDITIONS                        | Value       |
|-----------------------------------|-------------|
| Winter Design Drybulb Temperature | 27 degrees  |
| Summer Design Drybulb Temperature | 128 degrees |
| Winter Design Wetbulb Temperature | 68 degrees  |
| Design Day Heating                | 2288        |
| Design Day Cooling                | 2215        |
| Climate zone                      | 3B          |

### EXTERIOR ENVELOPE (See M-1)

|                                                    |               |
|----------------------------------------------------|---------------|
| Trade Factor Area                                  | 6,269 sq. ft. |
| % of glass area to total wall area                 | 15%           |
| Project Factor (PF) = A/E per IECC Section 603.3.1 | 10%           |

### Method of Compliance:

Prescriptive Method Component Performance Method ☒ Checkmark

### Walls:

Insulation cavity: ☒ between framing members or ☐ continuously  
Wall Type 1: 8" rigid foam, R-19, exterior W-9, interior W-9, 1/2" gypsum board, 5/8" EP  
No other wall exterior wall types in the project.

### Roof Components:

Insulation cavity: ☒ between framing members or ☐ continuously  
Roof Type 1: 8" rigid foam, R-30, Roof Area: 6,269 sq. ft.  
No other roof areas or eaves in the project.

### Floor Area (over unheated space):

Area of unheated/unconditioned space: 6,269 sq. ft. Perimeter: 308 ft. Area: 104

### BUILDING MECHANICAL SYSTEM (See M-1 & M-2)

HVAC System Type: Single ☒ Dual ☐  
System 1: Cooling-Roof Top Package unit, Capacity: 440 - 4136 Btu/h, Air Cooled Condenser Single  
HVAC Equip. Efficiency Rating: 13.5 EER, Seasonal Requirement: Required

### Service Water Heating System (See M-1)

(1) Instantaneous Water Heater (2) Service Water Heater or Circulation Pump  
Efficiency Rating: 0.62 EFP

### ELECTRICAL LIGHTING BUDGET (See E-7)

Power provided to the Whole Building Method: ☒ Off Target Area Method  
Actual designed lighting load is 0.6% better than calculated lighting power budget.

### OTHER NOTES AND REQUIREMENTS:

1. All windows must have energy code labels displayed on the surface for inspection. Though all built windows are subject to the requirements, they must be assembled, packaged and tested per manufacturers installation instructions and ASTM E 913.  
All systems shall comply with IECC Section 603.3.2.

### NEIGHBORHOOD MAP

DURANGO DRIVE/DORREL LAKE

PROJECT LOCATION

SECTION

DETAIL

ELEVATION

DOOR NO.

WINDOW TYPE

REVISION NUMBER

KEYNOTE

BREAKLINE

WALL TYPE

NOTES:

REFER TO THE ELECTRICAL DRAWINGS FOR INFORMATION REGARDING THE FIRE ALARM SYSTEM AS REQUIRED BY IBC SECTION 907. A FULL FIRE ALARM SYSTEM SHALL BE PROVIDED THROUGHOUT THE ENTIRE SPACE.

FOR IBC SECTION 704.11 PERMITTED WALLS ARE NOT REQUIRED FOR THIS PROJECT BUT HAVE BEEN PROVIDED.

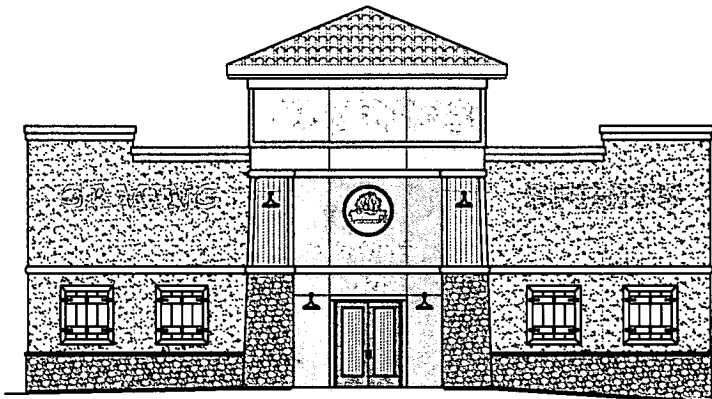
FOR IBC 717.4.3 (2) (b) (i) IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.

# TIMBERS AT MONTECITO

DURANGO DRIVE/DORREL LAKE

A.P.N. 125-20-114-007

5,269 SQ. FT.



BRESLIN PROJECT NO.: 1305A

### CONSULTANTS:

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Las Vegas, NV 89118  
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(702) 798-8811  
(702) 798-8805 FAX  
(702) 798-8805 FAX  
CONTACT: David Leggett

### CIVIL

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(702) 880-8300 FAX  
(702) 880-8300 FAX  
CONTACT: David Leggett

### STRUCTURAL

JCI Engineering  
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Las Vegas, NV 89118  
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(702) 353-8280 FAX  
CONTACT: David Leggett

### MECHANICAL, PLUMBING, ELECTRICAL

84 Remedy  
4179 S. King St., Ste. 200  
Las Vegas, NV 89147  
(702) 877-0970  
(702) 877-0970 FAX  
CONTACT: Alan Andrews

### FOOD SERVICE

The Design Method, Inc.  
2150 South Valley View Blvd.  
Las Vegas, NV 89102  
(702) 831-9171  
(702) 831-9170  
CONTACT: Mark Leggett

### Sheet List Table

| Sheet  | Description                   | Quantity |
|--------|-------------------------------|----------|
| A0.00  | Cover Sheet                   | 1        |
| C1     | Cover Sheet                   | 1        |
| C2     | General Notes & Abbreviations | 1        |
| C3     | Horizontal Control            | 1        |
| C4     | Grading Plan                  | 1        |
| C5     | Utility Plan                  | 1        |
| C6     | Plan Plan                     | 1        |
| C7     | Detail Plan                   | 1        |
| ADA.1  | ADA References                | 1        |
| ADA.2  | ADA References                | 1        |
| ADA.3  | ADA References                | 1        |
| ADA.4  | ADA References                | 1        |
| ADA.5  | ADA References                | 1        |
| ADA.6  | ADA References                | 1        |
| ADA.7  | ADA References                | 1        |
| ADA.8  | ADA References                | 1        |
| ADA.9  | ADA References                | 1        |
| ADA.10 | ADA References                | 1        |
| ADA.11 | ADA References                | 1        |
| ADA.12 | ADA References                | 1        |
| ADA.13 | ADA References                | 1        |
| ADA.14 | ADA References                | 1        |
| ADA.15 | ADA References                | 1        |
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| ADA.18 | ADA References                | 1        |
| ADA.19 | ADA References                | 1        |
| ADA.20 | ADA References                | 1        |
| ADA.21 | ADA References                | 1        |
| ADA.22 | ADA References                | 1        |
| ADA.23 | ADA References                | 1        |
| ADA.24 | ADA References                | 1        |
| ADA.25 | ADA References                | 1        |
| ADA.26 | ADA References                | 1        |
| ADA.27 | ADA References                | 1        |
| ADA.28 | ADA References                | 1        |
| ADA.29 | ADA References                | 1        |
| ADA.30 | ADA References                | 1        |
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| ADA.44 | ADA References                | 1        |
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| ADA.46 | ADA References                | 1        |
| ADA.47 | ADA References                | 1        |
| ADA.48 | ADA References                | 1        |
| ADA.49 | ADA References                | 1        |
| ADA.50 | ADA References                | 1        |

### Sheet List Continued

| Sheet | Description                                             | Quantity |
|-------|---------------------------------------------------------|----------|
| EN.1  | Cover Sheet                                             | 1        |
| EN.2  | Element Details, Symbol Legend & Abbreviations          | 1        |
| EN.3  | Foundation Plan                                         | 1        |
| EN.4  | Foundation Details                                      | 1        |
| EN.5  | Roof Framing Plan                                       | 1        |
| EN.6  | Roof Framing Details                                    | 1        |
| EN.7  | Interior Timber Carving                                 | 1        |
| EN.8  | Mechanical Legend & Specifications                      | 1        |
| EN.9  | Mechanical Plan                                         | 1        |
| EN.10 | Mechanical Details                                      | 1        |
| EN.11 | Plumbing Legend & Specifications                        | 1        |
| EN.12 | Plumbing Schedule & Details                             | 1        |
| EN.13 | Plumbing Floor Plan Underpump                           | 1        |
| EN.14 | Plumbing Schematic Water, Vent, & Gas Piping Floor Plan | 1        |
| EN.15 | Plumbing Roof Plan                                      | 1        |
| EN.16 | Plumbing Water & Vent Schematics                        | 1        |
| EN.17 | Plumbing Schematic Diagrams                             | 1        |
| EN.18 | Deck Schematic Diagrams, Notes & Sheet Index            | 1        |
| EN.19 | Deck Schematic Diagrams                                 | 1        |
| EN.20 | Deck Schematic Diagrams                                 | 1        |
| EN.21 | Deck Schematic Diagrams                                 | 1        |
| EN.22 | Deck Schematic Diagrams                                 | 1        |
| EN.23 | Deck Schematic Diagrams                                 | 1        |
| EN.24 | Deck Schematic Diagrams                                 | 1        |
| EN.25 | Deck Schematic Diagrams                                 | 1        |
| EN.26 | Deck Schematic Diagrams                                 | 1        |
| EN.27 | Deck Schematic Diagrams                                 | 1        |
| EN.28 | Deck Schematic Diagrams                                 | 1        |
| EN.29 | Deck Schematic Diagrams                                 | 1        |
| EN.30 | Deck Schematic Diagrams                                 | 1        |
| EN.31 | Deck Schematic Diagrams                                 | 1        |
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| EN.37 | Deck Schematic Diagrams                                 | 1        |
| EN.38 | Deck Schematic Diagrams                                 | 1        |
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| EN.46 | Deck Schematic Diagrams                                 | 1        |
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| EN.48 | Deck Schematic Diagrams                                 | 1        |
| EN.49 | Deck Schematic Diagrams                                 | 1        |
| EN.50 | Deck Schematic Diagrams                                 | 1        |

DECEMBER

EOT-18350

01/17/06 CC

NOV 28 2006

| Item | Date    | Description |
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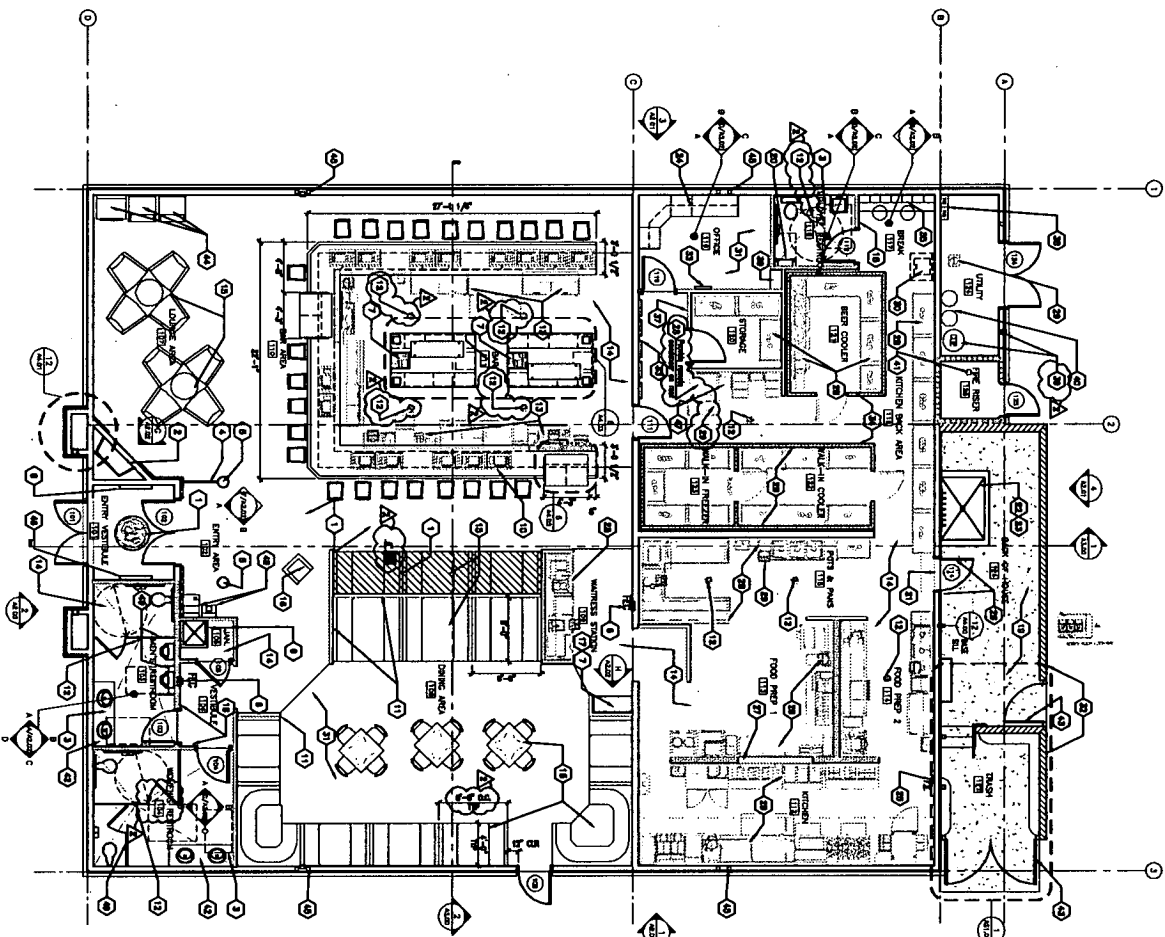
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### FLOOR PLAN NOTES

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## SHEET KEYNOTES

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**CONTRACTOR**[illegible]

# BRESLIN BUILDERS

LICENSING  
 6025 POLARIS AVE  
 #  
 LAS VEGAS, NEVADA

DURANGO DRIVE/DORR  
LANE

APN: 125-20-114-007

## FLOOR PLAN

|              |          |              |        |
|--------------|----------|--------------|--------|
| Date:        | 02/24/08 | Designed By: | TIM/CA |
| Project No.: | 1300A    | Drawn By:    | CA     |

**FOI-18350**

**01/17/06 CC**

NOV 28 2006





P:\JLISA Teachers at Work\Teacher's Job Description Construction Document\JLISA Teachers at Work\Teacher's Job Description Construction Document PDF.pdf

| ROOM # | ROOM NAME        | FLOOR | WALL | WALLS | W | E | S | N | CEILING | NOTES                             |
|--------|------------------|-------|------|-------|---|---|---|---|---------|-----------------------------------|
| 101    | BATH VESTIBULE   | N     | W    | W     | W | W | W | W | CEILING | FRONTING SHOWERED TOOK IN PLASTER |
| 102    | BATH AREA        | N     | W    | W     | W | W | W | W | CEILING | W - FRONK PLASTER BRICKS          |
| 103    | BATH BEDROOM     | N     | W    | W     | W | W | W | W | CEILING |                                   |
| 104    | SHOWER BEDROOM   | N     | W    | W     | W | W | W | W | CEILING |                                   |
| 105    | BEDROOM          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 106    | VESTIBULE        | N     | W    | W     | W | W | W | W | CEILING |                                   |
| 107    | DINING AREA      | N     | W    | W     | W | W | W | W | CEILING | W - FRONK PLASTER BRICKS          |
| 108    | KITCHEN AREA     | N     | W    | W     | W | W | W | W | CEILING |                                   |
| 109    | BATHROOM BEDROOM | N     | W    | W     | W | W | W | W | CEILING |                                   |
| 110    | BED AREA         | N     | W    | W     | W | W | W | W | CEILING |                                   |
| 111    | BED AREA         | N     | W    | W     | W | W | W | W | CEILING | W - UNDERNEATH AND BACK OF BATH   |
| 112    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 113    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 114    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 115    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 116    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 117    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 118    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 119    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 120    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 121    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 122    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 123    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 124    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 125    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 126    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |
| 127    | STORAGE          | N     | W    | W     | W | W | W | W | CEILING | W - 4" HIGH                       |

11. STAINED CONCRETE--SPRAY COLOR EPOXY BASE COAT, WITH ACYLURE RESIN BLENDED STAIN. ACENT  
 12. STAIN FROM STAIN AND EPOXY TOPCOAT.  
 13. FORMING TIE - 1" x 1/2" x 12" GALV. ZINC PLATED (EPOXY TOPCOAT).  
 14. EXPOSED CONCRETE - BOLD  
 15. BLUE GLOSSY TIE-CHAINS--RED BLACK IMPREGNATION.  
 16. BLUE GLOSSY TIE-CHAINS--RED BLACK IMPREGNATION.  
 17. EXPOSED CONCRETE BLUE  
 18. 18. ALL WOOD BARS - NATURAL, PINK BOLD OR PINK - BULL HORNED TOP EDGE GRAY-GRANDED OR BETTER  
 19. 19. CEMENT TIE COVE BASE, TO MATCH WALL  
 20. 20. 21. WOODEN BARS, BROWN PICO BLACK  
 21. 21. 22. 22. 23. 23. 24. 24. 25. 25. 26. 26. 27. 27. 28. 28. 29. 29. 30. 30. 31. 31. 32. 32. 33. 33. 34. 34. 35. 35. 36. 36. 37. 37. 38. 38. 39. 39. 40. 40. 41. 41. 42. 42. 43. 43. 44. 44. 45. 45. 46. 46. 47. 47. 48. 48. 49. 49. 50. 50. 51. 51. 52. 52. 53. 53. 54. 54. 55. 55. 56. 56. 57. 57. 58. 58. 59. 59. 60. 60. 61. 61. 62. 62. 63. 63. 64. 64. 65. 65. 66. 66. 67. 67. 68. 68. 69. 69. 70. 70. 71. 71. 72. 72. 73. 73. 74. 74. 75. 75. 76. 76. 77. 77. 78. 78. 79. 79. 80. 80. 81. 81. 82. 82. 83. 83. 84. 84. 85. 85. 86. 86. 87. 87. 88. 88. 89. 89. 90. 90. 91. 91. 92. 92. 93. 93. 94. 94. 95. 95. 96. 96. 97. 97. 98. 98. 99. 99. 100. 100. 101. 101. 102. 102. 103. 103. 104. 104. 105. 105. 106. 106. 107. 107. 108. 108. 109. 109. 110. 110. 111. 111. 112. 112. 113. 113. 114. 114. 115. 115. 116. 116. 117. 117. 118. 118. 119. 119. 120. 120. 121. 121. 122. 122. 123. 123. 124. 124. 125. 125. 126. 126. 127. 127. 128. 128. 129. 129. 130. 130. 131. 131. 132. 132. 133. 133. 134. 134. 135. 135. 136. 136. 137. 137. 138. 138. 139. 139. 140. 140. 141. 141. 142. 142. 143. 143. 144. 144. 145. 145. 146. 146. 147. 147. 148. 148. 149. 149. 150. 150. 151. 151. 152. 152. 153. 153. 154. 154. 155. 155. 156. 156. 157. 157. 158. 158. 159. 159. 160. 160. 161. 161. 162. 162. 163. 163. 164. 164. 165. 165. 166. 166. 167. 167. 168. 168. 169. 169. 170. 170. 171. 171. 172. 172. 173. 173. 174. 174. 175. 175. 176. 176. 177. 177. 178. 178. 179. 179. 180. 180. 181. 181. 182. 182. 183. 183. 184. 184. 185. 185. 186. 186. 187. 187. 188. 188. 189. 189. 190. 190. 191. 191. 192. 192. 193. 193. 194. 194. 195. 195. 196. 196. 197. 197. 198. 198. 199. 199. 200. 200. 201. 201. 202. 202. 203. 203. 204. 204. 205. 205. 206. 206. 207. 207. 208. 208. 209. 209. 210. 210. 211. 211. 212. 212. 213. 213. 214. 214. 215. 215. 216. 216. 217. 217. 218. 218. 219. 219. 220. 220. 221. 221. 222. 222. 223. 223. 224. 224. 225. 225. 226. 226. 227. 227. 228. 228. 229. 229. 230. 230. 231. 231. 232. 232. 233. 233. 234. 234. 235. 235. 236. 236. 237. 237. 238. 238. 239. 239. 240. 240. 241. 241. 242. 242. 243. 243. 244. 244. 245. 245. 246. 246. 247. 247. 248. 248. 249. 249. 250. 250. 251. 251. 252. 252. 253. 253. 254. 254. 255. 255. 256. 256. 257. 257. 258. 258. 259. 259. 260. 260. 261. 261. 262. 262. 263. 263. 264. 264. 265. 265. 266. 266. 267. 267. 268. 268. 269. 269. 270. 270. 271. 271. 272. 272. 273. 273. 274. 274. 275. 275. 276. 276. 277. 277. 278. 278. 279. 279. 280. 280. 281. 281. 282. 282. 283. 283. 284. 284. 285. 285. 286. 286. 287. 287. 288. 288. 289. 289. 290. 290. 291. 291. 292. 292. 293. 293. 294. 294. 295. 295. 296. 296. 297. 297. 298. 298. 299. 299. 300. 300. 301. 301. 302. 302. 303. 303. 304. 304. 305. 305. 306. 306. 307. 307. 308. 308. 309. 309. 310. 310. 311. 311. 312. 312. 313. 313. 314. 314. 315. 315. 316. 316. 317. 317. 318. 318. 319. 319. 320. 320. 321. 321. 322. 322. 323. 323. 324. 324. 325. 325. 326. 326. 327. 327. 328. 328. 329. 329. 330. 330. 331. 331. 332. 332. 333. 333. 334. 334. 335. 335. 336. 336. 337. 337. 338. 338. 339. 339. 340. 340. 341. 341. 342. 342. 343. 343. 344. 344. 345. 345. 346. 346. 347. 347. 348. 348. 349. 349. 350. 350. 351. 351. 352. 352. 353. 353. 354. 354. 355. 355. 356. 356. 357. 357. 358. 358. 359. 359. 360. 360. 361. 361. 362. 362. 363. 363. 364. 364. 365. 365. 366. 366. 367. 367. 368. 368. 369. 369. 370. 370. 371. 371. 372. 372. 373. 373. 374. 374. 375. 375. 376. 376. 377. 377. 378. 378. 379. 379. 380. 380. 381. 381. 382. 382. 383. 383. 384. 384. 385. 385. 386. 386. 387. 387. 388. 388. 389. 389. 390. 390. 391. 391. 392. 392. 393. 393. 394. 394. 395. 395. 396. 396. 397. 397. 398. 398. 399. 399. 400. 400. 401. 401. 402. 402. 403. 403. 404. 404. 405. 405. 406. 406. 407. 407. 408. 408. 409. 409. 410. 410. 411. 411. 412. 412. 413. 413. 414. 414. 415. 415. 416. 416. 417. 417.

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**LICENCE #015349**  
**6625 POLARIS AVENUE,**  
**SUITE 8**  
**LAS VEGAS, NEVADA 89118**  
**(702)789-3977**  
**FAX (702)789-3808**  
**www.bayshoreadvertising.com**

DURANGO DRIVE/DORREL  
LANE

A.P.N. 125-20-114-007

|                             |                         |
|-----------------------------|-------------------------|
| Date:<br>02/24/08           | Designed By:<br>TMM/CAA |
| Project No.:<br>1305A       | Drawn By:<br>CA         |
| Justification:<br>See Notes | Checked By:<br>TMM      |

### A1.03

**01/17/06 CC**

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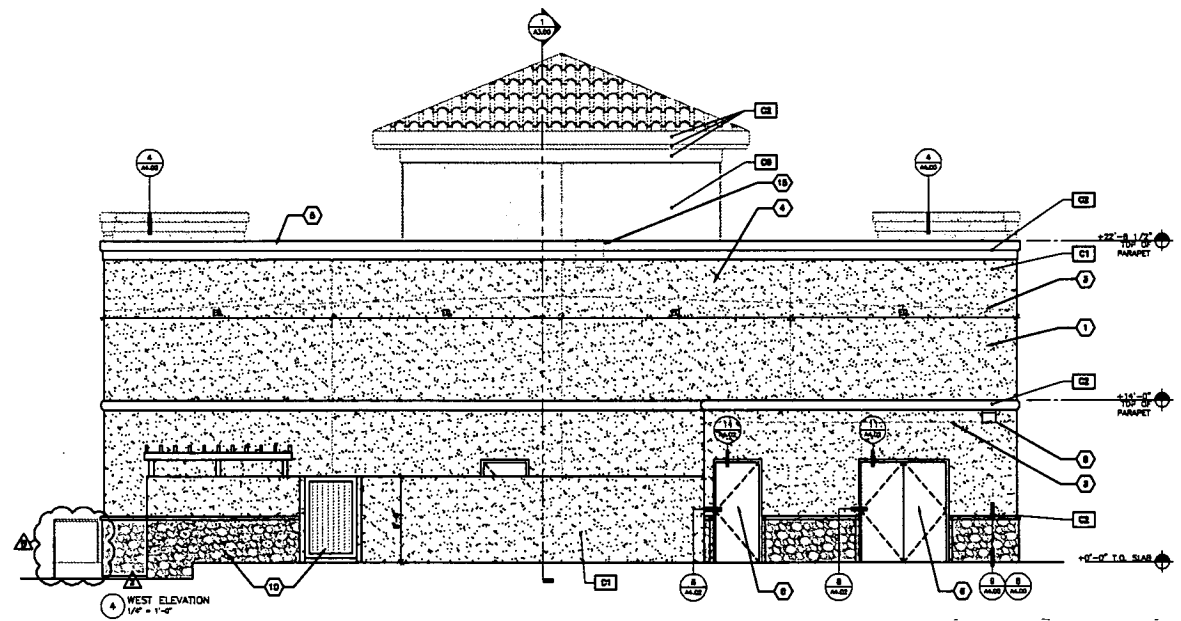
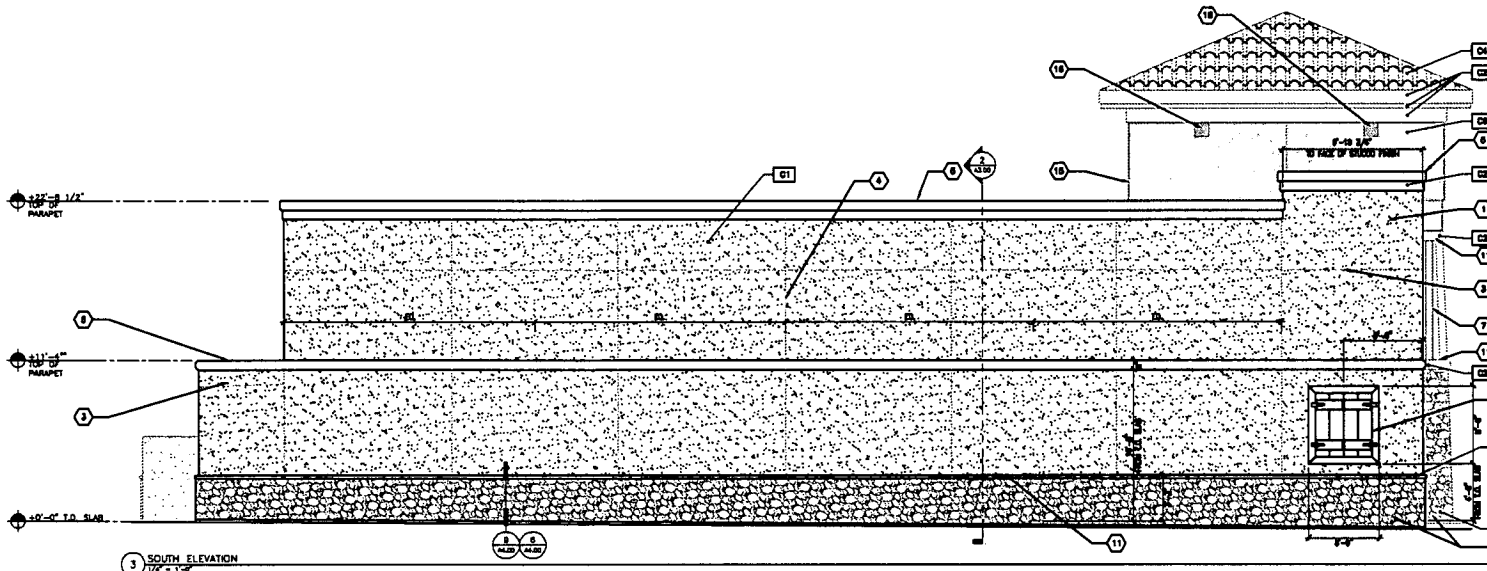
### A1.03











### SHEET KEYNOTES

- 1/4" GROUND PLASTER SYSTEM (DASH FINISH), PAINTED WITH BLACKENING PRIMER, TOP.
- INSULATING PLASTER-ON ROCK INSULATING TO MATCH EXISTENCE ROCK FINISH.
- TOP OF PLUMBED BRICKWORK AT ROOF EAVES, BRICK CHIMNEY.
- STUCCO EXTERIOR, 5/8" GYPSUM, 1/2" TYPE WITH EXPANDED METAL PLASTER, TOP.
- POP-OUT STUCCO CORNER TRIM AT PARAPET FOR DETAIL, 4 IN. 7/16" DIA. SEE DETAIL PLAN.
- PAINTED YELLOW METAL CORNER SEE COLOR SCHEDULE ON THIS SHEET.
- CORNER PLASTER SYSTEM WITH EXPANDED METAL.
- OVERLAP BRICKWORK FOR DETAIL, 1/4" DIA.
- BRICK ROCK BRICK VENEER DETAIL AT EAVE AND PLASTER.
- 6" x 6" WOOD CHIMNEY WALL AT BACK OF HOUSE WITH 7-8 IN. x 1 1/2 IN. x 6" METAL ROOF BRICKWORK, CORNER 9-10 IN. x 1 1/2 IN. x 6" METAL ROOF BRICKWORK, SEE 9/16" DIA. AND STRUCTURAL CORNER. PROVIDE YELLOW CONCRETE AT CORNER DETAIL ONLY DETAIL 1/4" DIA.
- THIS WITH STUCCO FINISH.
- CLAY ROOF TILE FOR COLOR SCHEDULE ON THIS SHEET.
- TOP OF PLUMBED BRICKWORK AT ROOF EAVES, BRICK CHIMNEY.
- PROVIDE A 3/4" x 1/2" BRICKWORK CORNER AT BACK OF HOUSE 7-8 IN. x 1 1/2 IN. x 6" METAL ROOF BRICKWORK, CORNER 9-10 IN. x 1 1/2 IN. x 6" METAL ROOF BRICKWORK, SEE 9/16" DIA. AND STRUCTURAL CORNER. PROVIDE YELLOW CONCRETE AT CORNER DETAIL ONLY DETAIL 1/4" DIA.
- ASSEMBLY CONCRETE BRICK 1/4" x 1/2" SLICE TO MATCH EXISTENCE 1/4" x 1/2" SLICE TO MATCH EXISTENCE, SEE DETAIL 1/4" DIA. FOR MORE INFORMATION AND DETAIL 9/16" DIA.

### COLOR SCHEDULE

|   |                                                                                                                                                                                    |
|---|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1 | FIELD AREA TYPICAL, FINISH PL. NO. 820 CHINA                                                                                                                                       |
| 2 | TRIM/POP-OUT, FINISH PL. NO. 820 CHINA ROOF                                                                                                                                        |
| 3 | BRICKWORK CORNER WORKING BY CLAYTON BRICK, LIME WHITE BRICK ROCK BRICKWORK FOR THE BRICKWORK CORNER AND DETAIL BRICKWORK INFORMATION, SEE DETAIL 9/16" DIA. AND STRUCTURAL CORNER. |
| 4 | CONCRETE, 1/4" x 1/2" SLICE TO MATCH EXISTENCE, SEE DETAIL 1/4" DIA. FOR MORE INFORMATION AND DETAIL 9/16" DIA.                                                                    |
| 5 | ACCENT AREA, FINISH PL. NO. 7740 SPAN GOLD                                                                                                                                         |
| 6 | ACCENT AREA, FINISH PL. NO. 820 CHINA GOLD                                                                                                                                         |

| Item | Qty | Description                          |
|------|-----|--------------------------------------|
| 1    | 100 | 1/4" x 1/2" SLICE TO MATCH EXISTENCE |
| 2    | 100 | 1/4" x 1/2" SLICE TO MATCH EXISTENCE |
| 3    | 100 | 1/4" x 1/2" SLICE TO MATCH EXISTENCE |
| 4    | 100 | 1/4" x 1/2" SLICE TO MATCH EXISTENCE |
| 5    | 100 | 1/4" x 1/2" SLICE TO MATCH EXISTENCE |
| 6    | 100 | 1/4" x 1/2" SLICE TO MATCH EXISTENCE |

### CONTRACTOR

BRESLIN BUILDERS  
 8800 POLARIS AVENUE, SUITE 100  
 LAS VEGAS, NEVADA 89115  
 (702) 798-3877  
 FAX (702) 798-3878  
 www.breslinbuilders.com

### PROJECT

**TIMBERS AT MONTECITO**  
 DURANGO DRIVE/DORREL LANE  
 A.P.N. 125-20-114-007

### Sheet Title

**EXTERIOR ELEVATIONS**

### A2.01

EOT-18350  
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| ITEM | REMARKS, MAKE                    | COLOR MAKE                 | SIZE    | REMARKS |
|------|----------------------------------|----------------------------|---------|---------|
| 1212 |                                  |                            |         |         |
| ●    | FRANK WELTON "BO<br>GOMER"       | RD CRANE 401               | 34" 32X |         |
| ●    | LEE W. WELLS 329                 | WELLS 329RD KELLY          | 34" 32X |         |
| ●    | CHARLIE THOMPSON "THE<br>DUFF"   | FOR DUFF CHARLIE           | 34" 32X |         |
| ●    | FRANK CHILDRIN                   | CHILDRIN CHERY LABEL       | 34" 32X |         |
| ●    | WILLIAMSON POLICE                | WELSON FOR PAUL            | 34" 32X |         |
| ●    |                                  |                            |         |         |
| ●    | CLARENCE A "WHEELIE"             | CLARENCE CLARENCE          | 3 0L    |         |
| ●    | LEE GORDON                       | WELSON KELLY               | 3 0L    |         |
| ●    | FRANKLIN TERRY<br>"WHEELIE DUFF" | WELSON'S DUFF BOCK CRANE   | 3 0L    |         |
| ●    | WHEELIE'S BUCK KAY<br>DUFF       | KAY DUFF WELSON            | 3 0L    |         |
| ●    |                                  |                            |         |         |
| ●    | JAMIE WHEELIE                    | LEE CHUCKY JAMIE           | 3 0L    |         |
| ●    | LEWIS WHEELIE                    | PURPLE CHUCKY LEWIS        | 1 0L    |         |
| ●    | LEWIS WHEELIE "RED KAY"          | RED KAY LEWIS              | 1 0L    |         |
| ●    | WELLS WELSON                     | WELLS WEL                  | 3 0L    |         |
| ●    | FRANKLIN WELSON<br>WELSON        | WELSON WELSON              | 3 0L    |         |
| ●    | WELSON CRANE "WELSON<br>DUFF"    | WELSON DUFF WELSON, WELSON | 3 0L    |         |
| ●    | WELLS WELSON                     | WELLS WEL                  | 3 0L    |         |

# BRESLIN BUILDERS

12 INCH & CONCRETE  
 LICENSED GENERAL CONTRACTOR  
 LICENSE #00419499  
 6020 POLARIS AVENUE,  
 SUITE 9  
 LAS VEGAS, NEVADA 89119  
 (702)798-3977  
 FAX (702)798-3808  
[www.breezeflowdoors.com](http://www.breezeflowdoors.com)

Project  
**TIMBERS AT MONTECITO**  
DURANGO DRIVE/DORREL  
LANE  
A.P.N. 125-20-114-007

Sheet Title  
**LANDSCAPE PLAN**

|                              |                         |
|------------------------------|-------------------------|
| Date:<br>02/24/08            | Designed By:<br>TMM/CAA |
| Project No.:<br>1300A        | Drawn By:<br>JCE        |
| Author/Checker:<br>Lee Yogan | Checked By:<br>TMM      |

AL1.00

 **LANDSCAPE PLAN**  
1/16" = 1'-0"

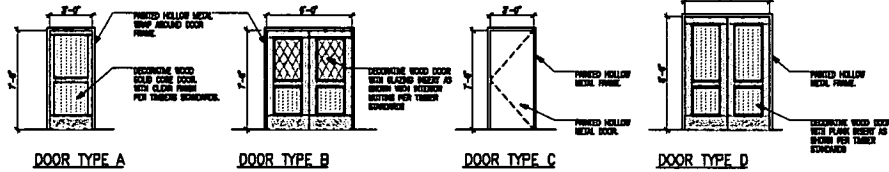
**EOT-18350**  
**01/17/06 CC**

RECEIVED  
NOV 28 2006

# DOOR SCHEDULE

| DOOR | ROOM NAME        | SIZE (WxH)    | MATERIAL | STYLE | FINISH | HARDWARE | FRAME | COMMENTS               |
|------|------------------|---------------|----------|-------|--------|----------|-------|------------------------|
| 101  | ENTRY VESTIBULE  | 4'-0" x 8'-0" | WOOD     | B     |        |          | MAL   |                        |
| 102  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | B     |        |          | MAL   |                        |
| 103  | KITCHEN RESTROOM | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   | PROVIDE ADA COMPLIANCE |
| 104  | RESTROOM         | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   | PROVIDE ADA COMPLIANCE |
| 105  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 106  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 107  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 108  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 109  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 110  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 111  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 112  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 113  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 114  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 115  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 116  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 117  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 118  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 119  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 120  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 121  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 122  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 123  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 124  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |
| 125  | ENTRY AREA       | 4'-0" x 8'-0" | WOOD     | A     |        |          | MAL   |                        |

## DOOR TYPES



- NOTES:
1. INSTALL ALL DOORS AND HARDWARE PER AND ATTACHED SECTION 4.13 REQUIREMENTS FOR FINISHING ACCESSORIES.
  2. DOOR SWINGS (ALL) 90° OUT OF NON-ADJACENT DOORS SHALL HAVE A MINIMUM UNOBSTRUCTED SWING OF FOUR FEET (DOOR TYPE B & D).
  3. ALL DOOR HARDWARE SHALL HAVE A BRONZE FINISH - UNLESS NOTED.

## DOOR TYPES

SCALE: 1/4" = 1'-0"

# DOOR HARDWARE GROUP

- GROUP 1
- 1. 1/2" PIN BATS 4x4x8 IN
  - 1. STANDARD LOCK
  - 1. STANDARD PUSH/PULL PLATE
  - 1. ALUMINUM KICK PLATE 1'0"X4"
  - 1. SELF CLOSURE
  - 1. DOOR STOP
  - 1. ALUMINUM THRESHOLD BARRIER FREE (1/2" MINIMUM HEIGHT)
  - 1. BRONZE LINE BARS AT ACTIVE LEAF AND 1 FLUSH BOLTS TOP AND BOTTOM
- GROUP 2
- 1. 1/2" PIN BATS 4x4x8 IN
  - 1. FRAME HARDWARE (KEY STYLE LOCK) WITH ELECTRONIC LOCKING DEVICE ATTACHED TO BRACKET AT NEW AREA FOR AFTER HOURS LOCKOUT. COORDINATE WITH OWNER. PROVIDE FULL TURNING ACTION
  - 1. SELF CLOSURE (CONCEALED)
  - 1. FLUSH STOP
  - 1. PUSH/PULL PLATE
  - 1. DOOR STOP
  - 1. ALUMINUM KICK PLATE 1'0"X4"
- GROUP 3
- 1. 1/2" PIN BATS 4x4x8 IN
  - 1. FRAME HARDWARE (KEY STYLE LOCK) WITH ELECTRONIC LOCKING DEVICE ATTACHED TO BRACKET AT NEW AREA FOR AFTER HOURS LOCKOUT. COORDINATE WITH OWNER.
  - 1. SELF CLOSURE
  - 1. FLUSH STOP
  - 1. PUSH/PULL PLATE
  - 1. DOOR STOP
  - 1. ALUMINUM KICK PLATE 1'0"X4"
- GROUP 4
- 1. 1/2" PIN BATS 4x4x8 IN
  - 1. PUSH/PULL PLATE
  - 1. KICK PLATE 1'0"X4"
  - 1. SELF CLOSURE
  - 1. FLUSH STOP
  - 1. ALUMINUM THRESHOLD BARRIER FREE (1/2" MINIMUM HEIGHT)
  - 1. BRONZE LINE BARS AT ACTIVE LEAF AND 1 FLUSH BOLTS TOP AND BOTTOM
- GROUP 5
- 1. 1/2" PIN BATS 4x4x8 IN
  - 1. LOCKSET - OFFICE FUNCTION (KEY OPER ON OUTSIDE, FLUSH BUTTON LOCK ON INSIDE)
  - 1. SELF CLOSURE
  - 1. FLUSH STOP
  - 1. DOOR STOP
- GROUP 6
- 1. 1/2" PIN BATS 4x4x8 IN
  - 1. LOCKSET - OFFICE FUNCTION (KEY OPER ON OUTSIDE, FLUSH BUTTON LOCK ON INSIDE)
  - 1. SELF CLOSURE
  - 1. FLUSH STOP
  - 1. DOOR STOP

| Mark | Date     | Description |
|------|----------|-------------|
| A    | 10/10/06 | REV 1       |

These drawings are to be used only for the project and location specified. They are not to be used for any other project or location without the written consent of the designer. The designer is not responsible for any errors or omissions in these drawings.

**CONTRACTOR**

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_

STATE: \_\_\_\_\_

ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_

FAX: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**BRESLIN BUILDERS**

10000 POLARIS AVENUE, SUITE 100  
LAS VEGAS, NEVADA 89138

PHONE: (702) 798-3877  
FAX: (702) 798-3878

WWW.BRESLINBUILDERS.COM

Project:

**TIMBERS AT MONTECITO**

DURANGO DRIVE/DORREL LANE

A.P.N. 125-20-114-007

Sheet Title:

**DOOR & WINDOW SCHEDULE**

|                   |                      |
|-------------------|----------------------|
| Date: 02/24/06    | Designed By: TMM/CAH |
| Project No: 125DA | Drawn By:            |
| Author: LBC       | Checked By:          |
| Rev: 1            | Title:               |

A5.00

EOT-18350  
01/17/06 CC

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# City Council Action Letter

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Separator Sheet

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LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN  
MAYOR

GARY REESE  
MAYOR PRO TEM

LARRY BROWN  
LAWRENCE WEEKLY  
STEVE WOLFSON  
LOIS TARKANIAN  
STEVEN D. ROSS

DOUGLAS A. SELBY  
CITY MANAGER

January 19, 2007

Mr. Todd Kessler  
Arizona Investors, LLC  
206 North 3<sup>rd</sup> Street  
Las Vegas, Nevada 89101

RE: EOT-18434 – EXTENSION OF TIME – SPECIAL USE PERMIT  
CITY COUNCIL MEETING OF JANUARY 17, 2007

Dear Mr. Kessler:

The City Council at a regular meeting held January 17, 2007 APPROVED the request for an Extension of Time of an approved Special Use Permit (SUP-5723) THAT ALLOWED A TAVERN at 7045 North Durango Drive (APN 125-20-114-007), T-C (Town Center) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on January 18, 2007. This approval is subject to:

Planning & Development

1. This Extension of Time will expire on February 16, 2009 unless another Extension of Time is approved by the City Council.
2. Conformance to the Conditions of Approval for Special Use Permit (SUP-5723) and all other subsequent site related actions as required by the Planning and Development Department and Department of Public Works.

Sincerely,

A handwritten signature in cursive script, reading "Angela Crolli".

Angela Crolli  
Deputy City Clerk II for  
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.  
Development Coordination-DPW  
Dept. of Fire Services

CITY OF LAS VEGAS  
400 STEWART AVENUE  
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

[www.lasvegasnevada.gov](http://www.lasvegasnevada.gov)

18112-001-06-05  
CLV 7009



## LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN  
MAYORGARY REESE  
MAYOR PRO TEMLARRY BROWN  
LAWRENCE WEEKLY  
MICHAEL MACK  
STEVE WOLFSON  
LOIS TARKANIANDOUGLAS A. SELBY  
CITY MANAGER

February 17, 2005

Mr. Joe Gwerder  
Montecito Pads, LLC  
6600 West Charleston Boulevard, Suite #120  
Las Vegas, Nevada 89146RE: SUP-5723 - SPECIAL USE PERMIT  
CITY COUNCIL MEETING OF FEBRUARY 16, 2005  
Related to SUP-5718, SUP-5720, SUP-5722 and SDR-5731

Dear Mr. Gwerder:

The City Council at a regular meeting held February 16, 2005 APPROVED the request for a Special Use Permit FOR A PROPOSED LIQUOR ESTABLISHMENT (TAVERN) on Pad GG of the Montecito Marketplace Development adjacent to the northwest corner of Durango Drive and Dorrell Lane (APN 125-20-101-017), T-C (Town Center) Zone [UC-TC (Urban Center - Town Center) Special Land Use Designation]. The Notice of Final Action was filed with the Las Vegas City Clerk on February 17, 2005. This approval is subject to:

## Planning and Development

1. Conformance to all Minimum Requirements under Section 2.3 of the Montecito Town Center Development Agreement for a Liquor Sales use.
2. Approval of and conformance to the Conditions of Approval for Major Modification (MOD-3763), Rezoning (ZON-3840) and Site Development Plan Review (SDR-5731) and [SDR-3764].
3. This Special Use Permit shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
4. All City Code requirements and design standards of all City departments must be satisfied.
5. Approval of this Special Use Permit does not constitute approval of a liquor license.

CITY OF LAS VEGAS  
400 STEWART AVENUE  
LAS VEGAS, NEVADA 89101

E 702 229.6011

TTY 702.386.9108

www.lasvegasnevada.gov  
411-601-1-05  
LV 7009EOT-18350  
01/17/06 CC

# APN Map

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Separator Sheet

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**NOTES**

This map is for assessment use only and does NOT represent a survey.  
No liability is assumed for the accuracy of the data delineated herein.  
Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL

**MAP LEGEND**

- PARCEL BOUNDARY
- SUBD BOUNDARY
- - - ROAD EASEMENT
- - - PM/LD BOUNDARY
- - - NON-PARCEL LOT LINE
- - - MATCH LINE / LEADER LINE
- ROAD ID NUMBER

**ASSESSOR'S PARCELS - CLARK CO., NV.**  
M. W. Schofield, Assessor

**AVERAGE QA VALUE**  
35

**PARCEL NUMBER**  
202

**PLAT SUB/SEQ NUMBER**  
5

**LOT NUMBER**  
5

**GOV. LOT NUMBER**  
GL5

**T19S R60E**

|      |      |      |
|------|------|------|
| R59E | R60E | R61E |
| 118S | 99   | 100  |
| 119S | 126  | 125  |
| 120S | 137  | 138  |

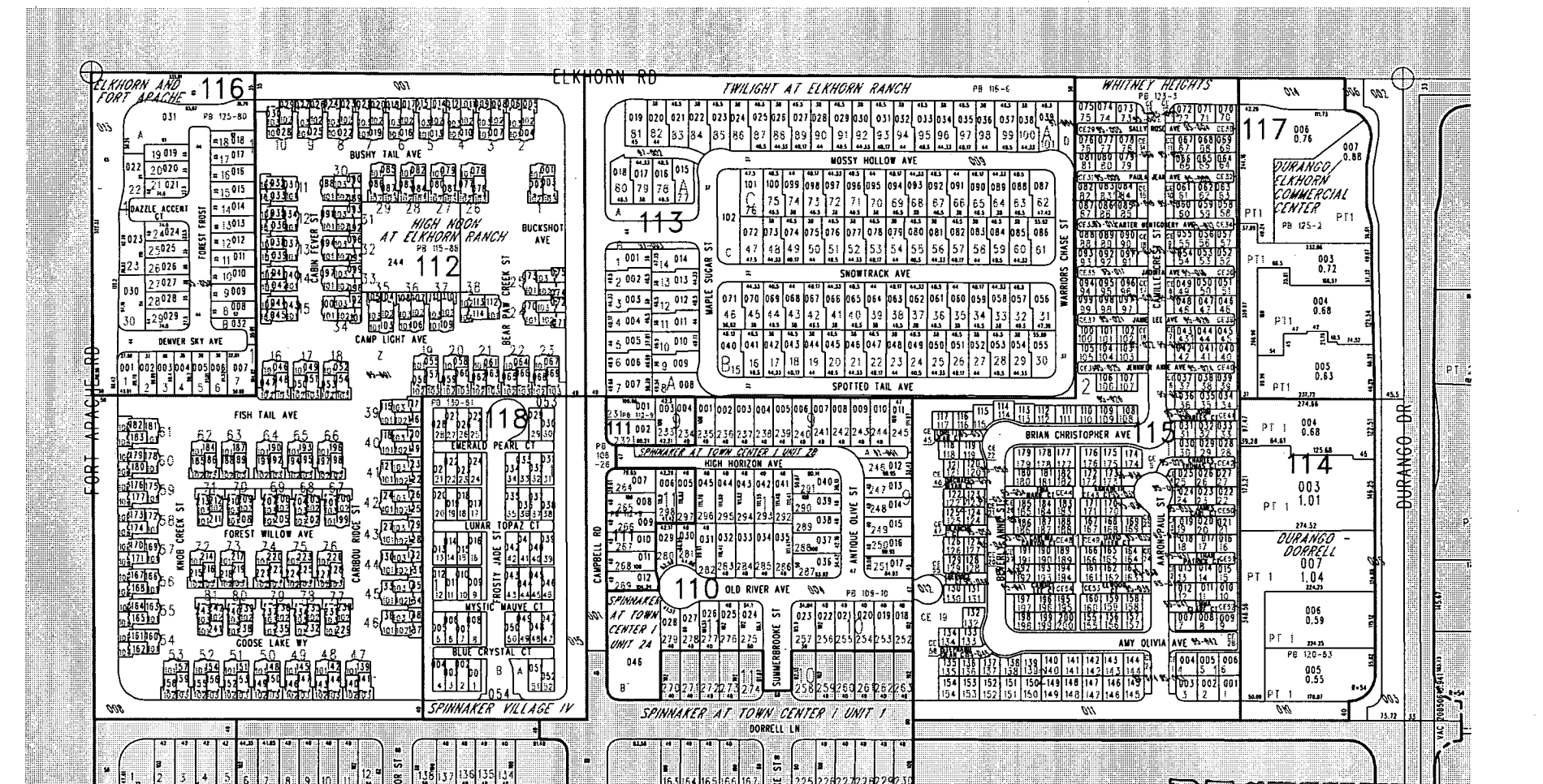
**20**

|    |    |    |    |
|----|----|----|----|
| 4  | 3  | 2  | 1  |
| 7  | 8  | 9  | 10 |
| 18 | 17 | 16 | 15 |
| 19 | 20 | 21 | 22 |
| 30 | 29 | 28 | 27 |
| 31 | 32 | 33 | 34 |

**N 2 NW 4**

|   |   |   |   |
|---|---|---|---|
| 8 | 4 | 8 | 4 |
| 5 | 1 | 5 | 1 |
| 6 | 2 | 6 | 2 |
| 7 | 3 | 7 | 3 |
| 8 | 4 | 8 | 4 |
| 5 | 1 | 5 | 1 |

**125-20-1**



EOT-18350  
01/17/06 CC

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TAX DIST 200

# Deed

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# Separator Sheet

---

APN: 125-20-114-002  
Affix R.P.T.T. \$6,887.55

WHEN RECORDED MAIL TO and MAIL TAX  
STATEMENT TO:

ARIZON INVESTORS, LLC  
450 FREMONT ST. #310  
LAS VEGAS, NV 89101

20050414-0003250

Fee: \$17.00 RPTT: \$7,068.60  
N7 Fee: \$25.00

04/14/2005 14:17:43  
T20050068044

Requestor:  
CHICAGO TITLE

Frances Deane RNS  
Clark County Recorder Pgs: 4

ESCROW NO: 05018574-086-JR

## GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

MONTESITO PADS, LLC., A NEVADA LIMITED LIABILITY COMPANY

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby  
Grant, Bargain, Sell and Convey to

ARIZONA INVESTORS, LLC., A NEVADA LIMITED LIABILITY COMPANY

all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:  
See Exhibit A attached hereto and made a part hereof.

Subject to: Taxes for the current fiscal year, paid current.

2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of  
record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise  
appertaining.

EOT-18350  
01/17/06 CC

**ARIZONA INVESTORS, LLC****Business Entity Information**

|                   |                                    |                       |                     |
|-------------------|------------------------------------|-----------------------|---------------------|
| Status:           | Active                             | File Date:            | 2/3/2005 4:46:17 PM |
| Type:             | Domestic Limited-Liability Company | Corp Number:          | E0008362005-9       |
| Qualifying State: | NV                                 | List of Officers Due: | 2/28/2007           |
| Managed By:       | Managers                           | Expiration Date:      |                     |

**Resident Agent Information**

|                    |              |                    |                      |
|--------------------|--------------|--------------------|----------------------|
| Name:              | TODD KESSLER | Address 1:         | 206 NORTH 3RD STREET |
| Address 2:         |              | City:              | LAS VEGAS            |
| State:             | NV           | Zip Code:          | 89101                |
| Phone:             |              | Fax:               |                      |
| Email:             |              | Mailing Address 1: |                      |
| Mailing Address 2: |              | Mailing City:      |                      |
| Mailing State:     |              | Mailing Zip Code:  |                      |

**Financial Information**

|                     |   |                 |      |
|---------------------|---|-----------------|------|
| No Par Share Count: | 0 | Capital Amount: | \$ 0 |
|---------------------|---|-----------------|------|

**No stock records found for this company**

**Officers**☐ Include Inactive Officers

Manager - STEVEN MACK

|            |                                   |            |           |
|------------|-----------------------------------|------------|-----------|
| Address 1: | 6625 S. EASTERN AVENUE, SUITE 100 | Address 2: | LAS VEGAS |
| City:      | NEVADA                            | State:     | NV        |
| Zip Code:  | 89119                             | Country:   | USA       |
| Status:    | Active                            | Email:     |           |

**Actions\Amendments**

|                            |                               |                 |   |
|----------------------------|-------------------------------|-----------------|---|
| Action Type:               | Articles of Organization      |                 |   |
| Document Number:           | 20050008305-63                | # of Pages:     | 4 |
| File Date:                 | 02/03/2005                    | Effective Date: |   |
| (No Notes for this action) |                               |                 |   |
| Action Type:               | Initial List                  |                 |   |
| Document Number:           | 20050125513-64                | # of Pages:     | 1 |
| File Date:                 | 04/04/2005                    | Effective Date: |   |
| (No Notes for this action) |                               |                 |   |
| Action Type:               | Annual List                   |                 |   |
| Document Number:           | 20050607915-45                | # of Pages:     | 1 |
| File Date:                 | 12/12/2005                    | Effective Date: |   |
| (No Notes for this action) |                               |                 |   |
| Action Type:               | Resident Agent Address Change |                 |   |
| Document Number:           | 20060527745-08                | # of Pages:     | 2 |
| File Date:                 | 08/16/2006                    | Effective Date: |   |
| (No Notes for this action) |                               |                 |   |

**EOT-18350**  
**01/17/06 CC**

|                                     |                             |
|-------------------------------------|-----------------------------|
| <b>Plans Check Number:</b>          | C-0056-06                   |
| <b>Business:</b>                    | TIMBERS BAR & GRILL         |
| <b>Address:</b>                     | 7045 N DURANGO DR           |
| <b>Project:</b>                     | RESTAURANT/BAR BLDG FOR C/O |
| <b>Contractor:</b>                  | BRESLIN BUILDERS            |
| <b>Effective Date:</b>              | 3/1/2006                    |
| <b>Appointment Date &amp; Time:</b> | -                           |
| <b>Comment:</b>                     | ROLLED DOCS FILED           |

| Area | Exam  | First Review | Date Appr  | Status   | Comment              | Comment                                                                                               |
|------|-------|--------------|------------|----------|----------------------|-------------------------------------------------------------------------------------------------------|
| FIRE | GRANT | 3/16/2006    | 11/22/2006 | APPROVED |                      |                                                                                                       |
| TECH | JG/   | 3/1/2006     |            |          |                      | 6/6 A/M/P/E/S SHEETS.CALCS & LTRS IN *PH*TRUSSES V 10-06 A.M/P.S.UNAPPROVED CIVILS IN DRH**S.S.CALCS. |
| PLAN | BEN   | 4/7/2006     |            |          | CP2 ND CIVIL ONLY    | 12520114007 T-C; SDR-5731; ND REV LNDSP PLN; ND CIV MATCH/HNDCP ISSUES SENT FAX 4/7 - BEN             |
| ECON | RICK  | 3/9/2006     | 6/29/2006  | APPROVED | TS FEE \$2,998.20    |                                                                                                       |
| LAND | BARB  | 3/2/2006     |            |          | ND CVL SUBMITTAL C-2 | FOLDER ONLY                                                                                           |
| ARCH | WHITE | 3/13/2006    | 6/16/2006  | APPROVED | CP2:3/13;ADT6/21-JCF |                                                                                                       |
| STRU | LIL   | 3/9/2006     | 8/24/2006  | APPROVED | 6/15;7/14            | 3/10-SI.MISC.SENT FAX;6/15-MISC.SENT FAX;7/14-UNRES ISSUES.SENT FAX;8/24-I-107/120 HOLDS RE STEEL FAB |
| PLUM | MIKEC | 3/7/2006     |            |          | FX 3/8 6/13.7/19     | NEED APPRVD CIVILS                                                                                    |
| ELEC | DAVID | 3/8/2006     | 6/15/2006  | APPROVED |                      |                                                                                                       |



ESCROW NO: 05018574-086-JR

Witness my/our hand(s) this 13 day of April, 2005

SELLERS:

Montecito Pads, LLC, a Nevada limited liability company

By: SFI-NIC, LLC, a Nevada limited liability company  
Its: Managing Member

Frank Nielson  
Frank Nielson, Managing Member

STATE OF NEVADA )

) ss.

COUNTY OF Clark )

On this 13<sup>th</sup> Day of April, 2005

appeared before me, a Notary Public,

Frank Nielson  
Manager Montecito Pads LLC

personally known or proven to me to be the person(s)  
whose name(s) is/are subscribed to the above  
instrument, who acknowledged that he/she/they  
executed the instrument for the purposes therein  
contained.

Marsha Bloss  
Notary Public

My commission expires: 05/15/05



A PORTION OF APN 125-20-114-002

EXHIBIT "A"

LEGAL DESCRIPTION

LOT 1-1A:

BEING A PORTION OF LOT 1 AS SHOWN BY MAP OF "DURANGO / DORRELL - A COMMERCIAL SUBDIVISION" ON FILE IN BOOK 120, PAGE 63 OF PLATS IN THE COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA, LYING WITHIN THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 20, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE SOUTHWEST CORNER OF SAID LOT 1;

THENCE ALONG THE WEST LINE OF SAID LOT 1, NORTH 00°02'23" WEST, 348.56 FEET TO THE SOUTHWEST CORNER OF LOT 1-2 AS SHOWN BY MAP THEREOF ON FILE IN FILE 142, PAGE 44 OF SURVEYS, OFFICIAL RECORDS, CLARK COUNTY, NEVADA;

THENCE ALONG THE SOUTH LINE OF SAID LOT 1-2 (FILE 142, PAGE 44 OF SURVEYS) NORTH 89°53'01" EAST, 274.52 FEET TO AN INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF DURANGO DRIVE;

THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, SOUTH 00°00'37" EAST, 124.88 FEET;

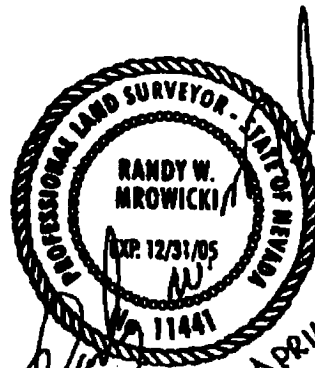
THENCE DEPARTING SAID WEST RIGHT-OF-WAY LINE, SOUTH 89°59'23" WEST, 224.25 FEET;

THENCE SOUTH 00°00'37" EAST, 224.36 FEET TO AN INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF DORRELL LANE;

THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, NORTH 89°48'55" WEST, 50.09 FEET TO THE POINT OF BEGINNING.

CONTAINING 45,455 SQUARE FEET (1.04 ACRES)

RANDY W. MROWICKI, PLS  
401 N. BUFFALO DRIVE, SUITE 100  
LAS VEGAS, NEVADA 89145



07-APRIL-2005

**State of Nevada  
Declaration of Value**

**1. Assessor's Parcel Number(s)**

a) Portion of 125-20-114-002

**2. Type of Property:**

- a) ☐ Vacant Land      b) ☐ Single Fam. Resi  
c) ☐ Condo/Twnhse      d) ☐ 2-4 Plex  
e) ☐ Apt. Bldg.      f) ☒ Comm'l/Ind'l  
g) ☐ Agricultural      h) ☐ Mobile Home  
i) ☐ Other \_\_\_\_\_

**FOR RECORDER'S OPTIONAL USE  
ONLY**

Documentation/Instrument #: \_\_\_\_\_

Book: \_\_\_\_\_ Page: \_\_\_\_\_

Date of Recording: \_\_\_\_\_

Notes: \_\_\_\_\_

**3. Total Value/Sales Price of Property:**

**\$[1,385,922.95]**

Deed in Lieu of Foreclosure Only (value of property):

Transfer Tax Value:

**\$[1,385,922.95]**

Real Property Transfer Tax Due:

**\$7,068.60**

**4. If Exemption Claimed:**

a. Transfer Tax Exemption, per NRS 375.090, Section: [ ]

b. Explain Reason for Exemption: [ ]

**5. Partial Interest: Percentage being transferred: [ ]%**

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110 that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature \_\_\_\_\_

Signature \_\_\_\_\_

Capacity \_\_\_\_\_ Seller \_\_\_\_\_

Capacity \_\_\_\_\_ Buyer \_\_\_\_\_

**SELLER (GRANTOR) INFORMATION**

**(REQUIRED)**

Print Name: Montecito Pads, LLC

Address: 6600 W. CHARLESTON BLVD. STE 120

City: LAS VEGAS

State: NEVADA Zip: 89146

**BUYER (GRANTEE)**

**(REQUIRED)**

Print Name: Arizona Investors, LLC

Address: 450 Fremont St #30

City: Las Vegas

State: NV Zip: 89101

**COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)**

Print Name: Chicago Title

Escrow #: 05018574-086

Address: 3980 Howard Hughes Parkway

City/State/Zip: Las Vegas, NV 89109

**AN ADDITIONAL RECORDING FEE OF \$1.00 WILL APPLY FOR EACH DECLARATION OF  
VALUE FORM PRESENTED TO CLARK COUNTY, EFFECTIVE JUNE 1, 2004.**

3250

# Justification Letter

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JUSTIFICATION LETTER

Separator Sheet

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# ARIZONA INVESTORS, LLC

November 28, 2006

**VIA HAND DELIVERY**

Douglas J. Rankin  
Planning Supervisor  
City of Las Vegas  
Planning & Development  
731 South Fourth Street  
Las Vegas, NV 89101

RE: SUP-5723

Dear Mr. Rankin;

Please accept this as our official justification letter for a request of an Extension of Time on the approved SUP-5723, for a Tavern at the property located at 7045 North Durango Drive, Las Vegas, NV 89149. (APN: 125-20-114-007).

Please note that we purchased the property on February 8, 2005 and have been diligently pursuing development plans ever since. In fact, our permit has been approved by all departments except Civil and we anticipate a permit by next week. We expect to open the Tavern no later than July 2007 and therefore, respectfully request a one year extension of time.

If you have any questions or concerns, please do not hesitate to contact me.

Sincerely,



Todd Kessler

Enclosures

**EOT-18350  
01/17/06 CC**

# SOFI

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## Separator Sheet

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## PLANNING & DEVELOPMENT DEPARTMENT

### STATEMENT OF FINANCIAL INTEREST

Case Number: EOT-18350 APN: 125-20-114-007

Name of Property Owner: Arizona Investors, LLC

Name of Applicant: Arizona Investors, LLC

Name of Representative: Todd L. Kessler

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

Signature of Property Owner: \_\_\_\_\_

Print Name: Steven Mack-Manager, Arizona Investors, LLC

Subscribed and sworn before me

This 27th day of November, 2010  
Sarah Starr Smith  
Notary Public in and for said County and State



# Application

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Separator Sheet

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# PLANNING & DEVELOPMENT DEPARTMENT

## APPLICATION / PETITION FORM

Application/Petition For: Extension of Time for SUP 5723  
 Project Address (Location) 7045 N. Durango Drive, Las Vegas, NV 89149  
 Project Name Timbers Bar and Grill Proposed Use Tavern  
 Assessor's Parcel #(s) 125-20-114-007 Ward # \_\_\_\_\_  
 General Plan: existing \_\_\_\_\_ proposed \_\_\_\_\_ Zoning: existing T-C proposed \_\_\_\_\_  
 Commercial Square Footage 45,302.4 (1.04 Acres) Floor Area Ratio \_\_\_\_\_  
 Gross Acres 1.04 Lots/Units \_\_\_\_\_ Density \_\_\_\_\_  
 Additional Information \_\_\_\_\_

PROPERTY OWNER Arizona Investors, LLC Contact Todd L. Kessler  
 Address 206 North 3rd Street Phone: (702) 953-4320 Fax: (702) 312-3239  
 City Las Vegas State NV Zip 89101

APPLICANT Arizona Investors, LLC Contact Todd L. Kessler  
 Address 206 North 3rd Street Phone: (702) 953-4320 Fax: (702) 312-3239  
 City Las Vegas State NV Zip 89101

REPRESENTATIVE Todd L. Kessler Contact Todd L. Kessler  
 Address 206 North 3rd Street Phone: (702) 953-4230 Fax: (702) 312-3239  
 City Las Vegas State NV Zip 89101

Property Owner Signature\* [Signature]

\* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Steven Mack, Manager-Arizona Investors, LLC

Subscribed and sworn before me

This 27th day of November, 20 07.

[Signature]

Notary Public in and for said County and State



### FOR DEPARTMENT USE ONLY

|                 |                    |
|-----------------|--------------------|
| Case #          | <u>EOT-18350</u>   |
| Meeting Date:   | <u>1/17/07</u>     |
| Total Fee:      | <u>\$300.00</u>    |
| Date Received:* | <u>11/28/06</u>    |
| Received By:    | <u>[Signature]</u> |

\*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

# Hansen Sheet

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# Separator Sheet

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Report Date 11/28/2006 04:12 PM

Submitted By

Page 1

A/P # 18350 EXTENSION OF TIME

Application Information

Stages

|           | Date / Time      | By     |            | Date / Time | By |
|-----------|------------------|--------|------------|-------------|----|
| Processed | 11/28/2006 13:58 | 984478 | Temp COO   |             |    |
| Approved  |                  |        | COO Issued |             |    |
| Final     |                  |        | Expires    |             |    |

Associated Information

|                  |                                                  |            |                      |      |
|------------------|--------------------------------------------------|------------|----------------------|------|
| Type of Work     | # Plans                                          | 0          | Declared Valuation   | 0.00 |
| Dept of Commerce | # Plans                                          | 0          | Calculated Valuation | 0.00 |
| Priority         | <input checked="" type="checkbox"/> Auto Reviews | Bill Group | Actual Valuation     | 0.00 |

Description of Work

EOT-18350 - EXTENSION OF TIME - SPECIAL USE PERMIT - APPLICANT/OWNER: ARIZONA INVESTORS, LLC - Request for an Extension of Time of an approved Special Use Permit (SUP-5723) THAT ALLOWED A TAVERN at 7045 North Durango Drive (APN 125-20-114-007), T-C (Town Center) Zone, Ward 6 (Ross).

|                    |       |                    |                                |                  |      |
|--------------------|-------|--------------------|--------------------------------|------------------|------|
| Parent A/P #       | 5723  | Project/Phase Name | TIMBERS BAR AT 7045 N. DURANGO | Phase #          |      |
| Project #          | 18350 | Size Description   |                                | Subdivision Code |      |
| Size/Area          | 0.00  | Proposed Start     |                                | % Completed      | 0.00 |
| Proposed Stop      |       |                    |                                |                  |      |
| % Complete Formula |       |                    |                                |                  |      |

Property/Site Information

Parcel 12520114007

Location

Owner/Tenant

|                                |      |                         |                   |                                  |
|--------------------------------|------|-------------------------|-------------------|----------------------------------|
| Contact ID AC1261969           | Name | ARIZONA INVESTORS L L C | Organization      |                                  |
| Mailing Address 206 N THIRD ST |      |                         | State/Province NV |                                  |
| City LAS VEGAS                 |      |                         | Country           | <input type="checkbox"/> Foreign |
| ZIP/PC 89101-2931              |      |                         | Evening Phone     |                                  |
| Day Phone (702)953-4320 x      |      |                         | Mobile #          |                                  |
| Fax (702)312-3239              |      |                         |                   |                                  |

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

7045 N DURANGO DR  
LAS VEGAS, 89149-

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

12520114007

Applicants/Contacts

Report Date 11/28/2006 04:12 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity APPL Contact ID AC1261969 ☐ Foreign  
Effective Expire  
Name ARIZONA INVESTORS L L C  
Day Phone (702)953-4320 x Eve Phone Organization  
Pager PIN # Position  
Fax (702)312-3239 Mobile Profession  
E-Mail  
Address 206 N THIRD ST  
LAS VEGAS, NV 89101-2931  
Seasonal Addr

Valid From To  
Comments  
Todd L. Kessler (702) 953-4320

Primary N Capacity OTHER Contact ID AC1220925 ☐ Foreign  
Effective Expire  
Name TODD L. KESSLER  
Day Phone (702)953-4320 x Eve Phone Organization  
Pager PIN # Position  
Fax (702)312-3239 Mobile Profession  
E-Mail  
Address 206 N. 3RD ST  
LAS VEGAS, NEVADA 89101  
Seasonal Addr

Valid From To  
Comments  
Todd L. Kessler (702) 953-4320

Primary Y Capacity OWNER Contact ID AC1261969 ☐ Foreign  
Effective Expire  
Name ARIZONA INVESTORS L L C  
Day Phone (702)953-4320 x Eve Phone Organization  
Pager PIN # Position  
Fax (702)312-3239 Mobile Profession  
E-Mail  
Address 206 N THIRD ST  
LAS VEGAS, NV 89101-2931  
Seasonal Addr

Valid From To  
Comments  
Todd L. Kessler (702) 953-4320

Contractors

No Contractors

Activity Review Details

Detail SUBMITTAL CHECKLIST (EOT) Modified By DSULLIVAN Modified Date/Time 11/28/2006 13:56  
Comments  
No Comments

Report Date 11/28/2006 04:12 PM

Submitted By

Page 3

SUBMITTAL CHECKLIST

Indicate If item is being submitted

- Y Application/Petition Form
- Y Justificaton Letter
- Y Laser Print Site Plan
- Y Laser Print Floor Plan
- Y Laser Print Elevation
- Y Statement of Financial Interest
- Y Copy of Approval Letter

EXTENSION OF TIME

- Y Will this go to the City Council? Final City Council letter received
- Y Will this go DIRECTLY to City Council? Annotated minutes received

Parent Application Type SUP

Parent Project # 5723

Hearing Type

Public, Non-Public or Admin? NON-PUBLIC

Meeting Information

| Meeting Grid<br>Meeting Date<br>Comments<br>Added By | Meeting Type<br>Add Date | Meeting Status<br>Modified by | Modified Date | YES Votes | NO Votes | ABSTENTIONS |
|------------------------------------------------------|--------------------------|-------------------------------|---------------|-----------|----------|-------------|
| 01/17/2007<br>DSULLIVAN                              | CC<br>11/28/2006         | SCHEDULED                     |               | 0         | 0        | 0           |

Template Type A/P # A/P Type Status Stage

No children exist for this project

Employee  
Employee ID Last First MI Comments

No Employee Entries

Log  
Action Description Entered By Start Stop Hours

PAYMNT CK NAME,# WHO PICKED UP PERMIT 984053 11/28/2006 14:07 0.00  
SARAH SMITH, TIMBERS HOSPITALITY, CK#1013, 953-4323

# Final DRT

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# Separator Sheet

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## **CITY OF LAS VEGAS**

### **DEVELOPMENT REVIEW COMMENT FORM**



#### ***Planning and Development Department***

***Current Planning Division***

***731 South Fourth Street***

***Las Vegas, Nevada 89101***

***(702) 229-6301 phone (702) 385-7268 fax***

EOT-18350 - EXTENSION OF TIME - SPECIAL USE PERMIT - APPLICANT/OWNER: ARIZONA INVESTORS, LLC - Request for an Extension of Time of an approved Special Use Permit (SUP-5723) THAT ALLOWED A TAVERN at 7045 North Durango Drive (APN 125-20-114-007), T-C (Town Center) Zone, Ward 6 (Ross).

***\*NOTE: THIS IS A DIRECT TO COUNCIL ITEM - COMMENTS ARE DUE WITHIN APPROXIMATELY ONE WEEK***

**CITY COUNCIL MEETING: JANUARY 17, 2007**

**PUBLIC HEARING: NO**

**CASE PLANNER: BEN STICKA**

***Comments Due: December 26, 2006\****

*Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to CAROLE COMBS ([ccombs@lasvegasnevada.gov](mailto:ccombs@lasvegasnevada.gov)), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.*

**LIST COMMENTS BELOW:**

# Route Form

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# Separator Sheet

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# CITY OF LAS VEGAS

## INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

**FROM:** *PLANNING AND DEVELOPMENT*

**EOT-18350**

### HAND DELIVERED

|                                 |                  |     |
|---------------------------------|------------------|-----|
| *DEVELOPMENT COORDINATION (DPW) | GARY REID        | DSC |
| FIRE ENGINEERING                | OZZIE MIRKHAH    | DSC |
| *FLOOD CONTROL (DPW)            | RAUL CRUZ        | DSC |
| *LAND DEVELOPMENT (DPW)         | JEFF GALAMBAS    | DSC |
| PERMITS/ INSPECTIONS            | ROD CLARK        | DSC |
| *RIGHT-OF-WAY (DPW)             | CAROLYN CAVINESS | DSC |
| *SANITARY SEWERS (DPW)          | TIM PARKS        | DSC |
| *TRAFFIC ENGINEERING            | RICK SCHROEDER   | DSC |

### SENT VIA COURIER/ INTER-OFFICE MAIL/ OR US MAIL

|                                |                     |                                           |
|--------------------------------|---------------------|-------------------------------------------|
| <CCSD>                         | GUY CORRADO         | 4212 EUCALYPTUS ANNEX                     |
| METRO                          | SGT. ROBERT ROSHACK | 7 <sup>th</sup> FLOOR CITY HALL           |
| OFFICE OF BUSINESS DEVELOPMENT | DAVID BRATCHER      | 2 <sup>nd</sup> FLOOR CITY HALL EXPANSION |
| NEIGHBORHOOD SERVICES          | ANNE KILPONEN       | 2 <sup>nd</sup> FLOOR CITY HALL           |
| *TEFO (DPW)                    | TOM WILKING         | 3104 BONANZA ROAD                         |
| *SID (DPW)                     | T. McDANIEL         | 4 <sup>th</sup> FLOOR CITY HALL           |
| *SURVEY (DPW)                  | ALAN RIEKKI         | WEST YARD                                 |

**\* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.  
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND  
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**