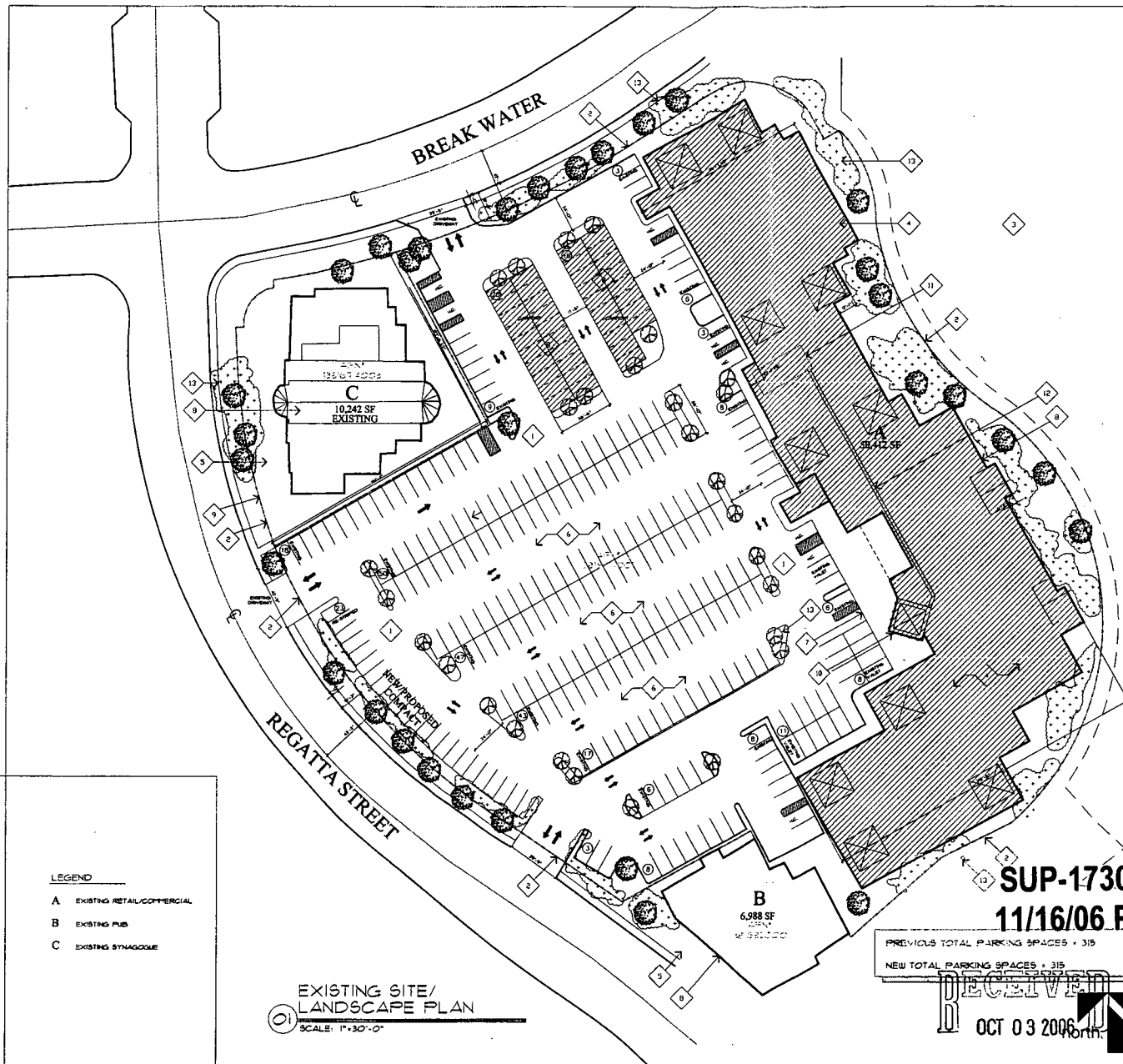


Plans (PMT)



Separator Sheet



PARKING CODE ANALYSIS		REVISIONS
OVERALL SITE AREA	9.80 ACRES	△
TOTAL SHOPPING CENTER SIZE	6,134.32	△
15,440 RETAIL		△
6,598 TAVEN		△
10,141 CHURCH/CHURCH		△
1,000 OUTSIDE DRING		△
SITE COVERAGE	28.4%	△
PARKING REQUIRED (CALCULATED AS SHOPPING CENTER)		△
SHOPPING CENTER (4 SPACES PER 1,000 SF)	270 SPACES REQUIRED	△
61,342 / 1,000 = 61,342 / 4	30 SPACES REQUIRED	△
OUTSIDE DRING (1 SPACES PER 10 SF)	72 SPACES REQUIRED	△
1,000 / 10 =		△
TOTAL PARKING REQUIRED		△
PARKING PROVIDED		△
STANDARD STALLS (TYPE I)	184 SPACES	△
VALET PARKING	30 SPACES	△
COMPACT PARKING (TYPE II)	23 SPACES	△
HC PARKING	18 SPACES	△
TOTAL PARKING PROVIDED	255 SPACES PROVIDED	△
PREVIOUS PARKING TOTAL PROVIDED	310 SPACES	△
PARKING SURPLUS OVER PARKING REQUIRED	75 SPACES	△
PERCENT DEFICIENT ALLOWED PER VARIANCE * V-0073-01		△

SITE PLAN KEYNOTES	
1 EXISTING AC PAVING	8 EXISTING BUILDING
2 EXISTING PROPERTY LINE	9 EXISTING SIDEWALK
3 EXISTING LAKE	10 EXISTING CU ANTENNAS TO BE CHARGED OUT
4 EXISTING ROOF DECK	11 EXISTING CU EQUIPMENT ROOF LOCATED IN UPSTAIRS SUITE
5 EXISTING ADJACENT PROPERTY	12 EXISTING CU ROOF MOUNTED CABLE TRAY
6 EXISTING PARKING	13 EXISTING TREES / LANDSCAPE
7 EXISTING CURB	

ASSESSORS PARCEL NUMBERS
 13816117002
 13816114003
 13816870001

JURISDICTION: LAS VEGAS 39128

SUP-17307
11/16/06 PC

PREVIOUS TOTAL PARKING SPACES = 310
 NEW TOTAL PARKING SPACES = 315

RECEIVED
 OCT 03 2006

LEGEND

A EXISTING RETAIL/COMMERCIAL
 B EXISTING PUB
 C EXISTING SYNAGOGUE

EXISTING SITE/ LANDSCAPE PLAN
 SCALE: 1"=30'-0"

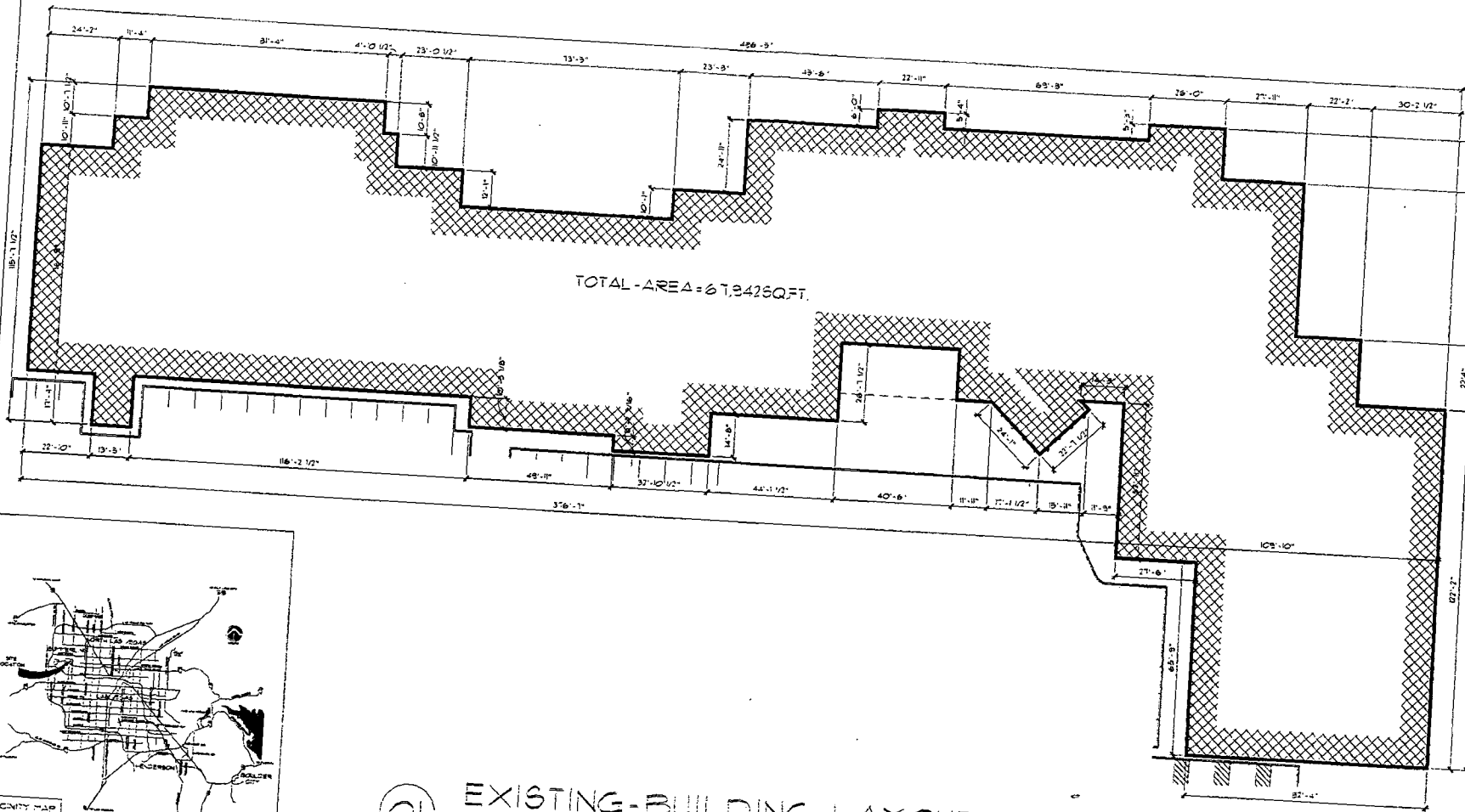
VICINITY MAP

LOCATION MAP

PROJECT:
 LAKE SIDE CENTER
 REGATTA & BREAK WATER
 HENDERSON, NEVADA

ISSUE DATE:
 JOB NUMBER:
 PLOT DATE:
 DRAWN BY:
 SHEET TITLE:
 SHEET NO:

A1.0



TOTAL AREA = 67,942 SQ. FT.

01

EXISTING-BUILDING-LAYOUT-PLAN

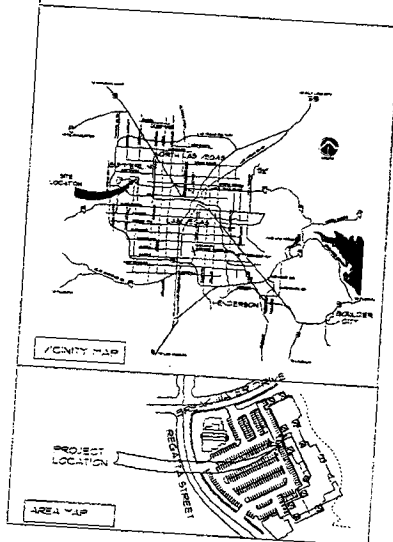
SCALE 1/16"=1'-0"

RECEIVED
OCT 03 2006

SUP-17307
11/16/06 PC



A11



RESERVED



NEVADA DEPARTMENT OF TRANSPORTATION

CONSTRUCTION

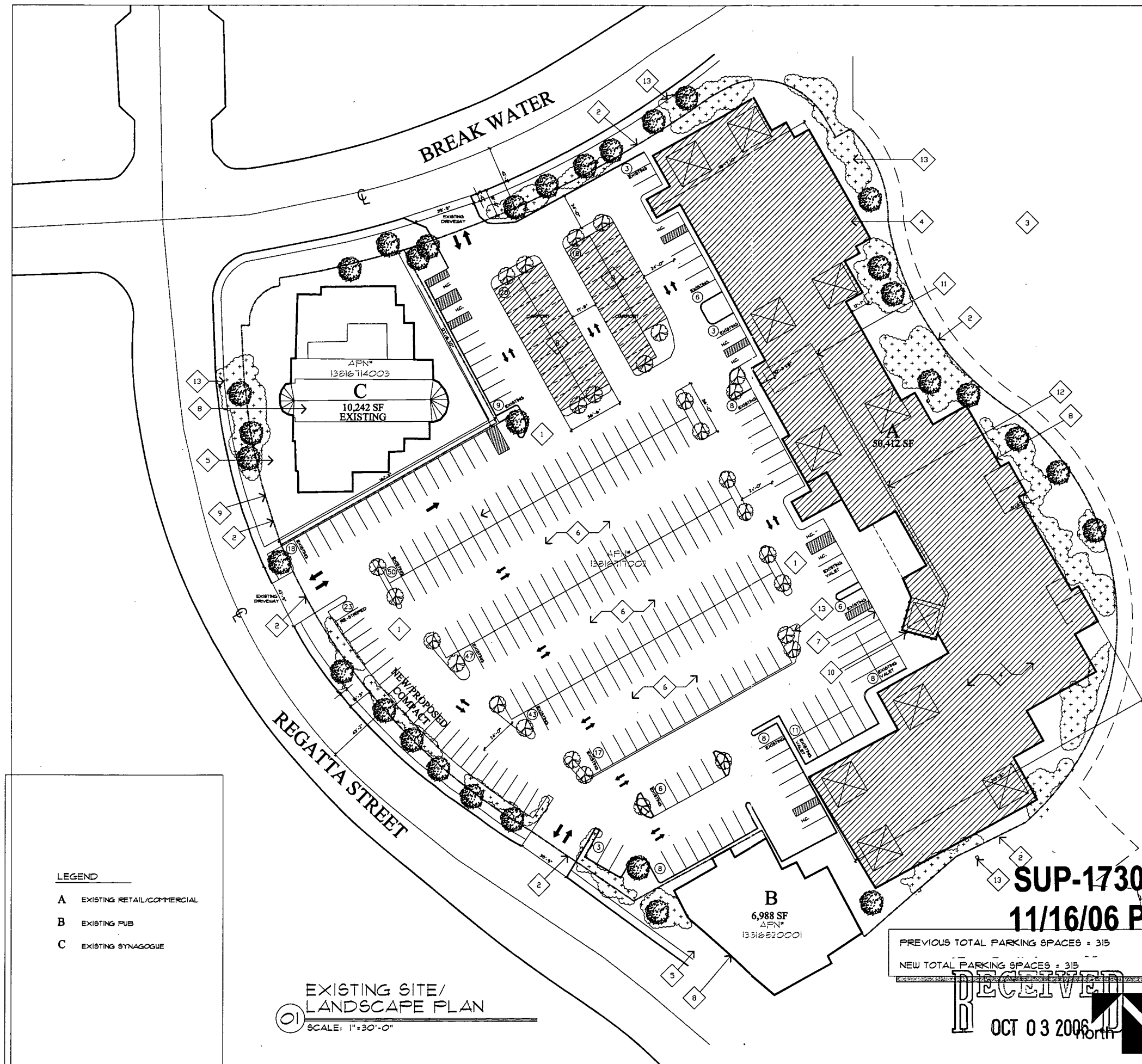
LAKE SIDE CENTER

REGATTA & BREAK WATER
HENDERSON, NEVADA

Plans (Approved Site Plan)



Separator Sheet



PARKING CODE ANALYSIS

OVERALL SITE AREA	9.50 ACRES
TOTAL SHOPPING CENTER SIZE	61,942 SF
43,412 RETAIL	
6,988 TAVERN	
10,242 CHURCH/WORSHIP	
1,000 OUTSIDE DINING	
SITE COVERAGE	28.4%
PARKING REQUIRED (CALCULATED AS SHOPPING CENTER)	
SHOPPING CENTER (4 SPACES PER 1,000 SF)	247 SPACES REQUIRED
61,942 / 1,000 = 61.942 * 4	
OUTSIDE DINING (1 SPACES PER 50 SF)	20 SPACES REQUIRED
1,000 / 50 =	
TOTAL PARKING REQUIRED:	267 SPACES REQUIRED
PARKING PROVIDED:	
STANDARD STALLS (8'x12')	264 SPACES
VALET PARKING	20 SPACES
COMPACT PARKING (8'x12')	23 SPACES
H.C. PARKING	8 SPACES
TOTAL PARKING PROVIDED:	315 SPACES PROVIDED
PREVIOUS PARKING TOTAL PROVIDED	310 SPACES
PARKING SURPLUS OVER PARKING REQUIRED	23 SPACES
PERCENT DEFICIENT ALLOWED PER VARIANCE * V-0013-01	

REVISIONS

8375 west flamingo rd. ste 100
las vegas, nv 89147
p. 702.733.7849
www.raarchitecture.com

Client Information

SITE PLAN KEYNOTES

1 EXISTING AC PAVING	8 EXISTING BUILDING
2 EXISTING PROPERTY LINE	9 EXISTING SIDEWALK
3 EXISTING LAKE	10 EXISTING CU ANTENNAS TO BE CHAINED OUT
4 EXISTING ROOF DECK	11 EXISTING CU EQUIPMENT ROOM LOCATED IN UPSTAIRS SUITE
5 EXISTING ADJACENT PROPERTY	12 EXISTING CU ROOF MOUNTED CABLE TRAY
6 EXISTING PARKING	13 EXISTING TREES / LANDSCAPE
7 EXISTING CURB	

ASSESSORS PARCEL NUMBERS

13816711002
13816714003
13816820001

JURISDICTION: LAS VEGAS 89128

VICINITY MAP

PROJECT LOCATION

LOCATION MAP

PROJECT LOCATION

SUP-17307
11/16/06 PC

PREVIOUS TOTAL PARKING SPACES = 315
NEW TOTAL PARKING SPACES = 315

RECEIVED
OCT 03 2006

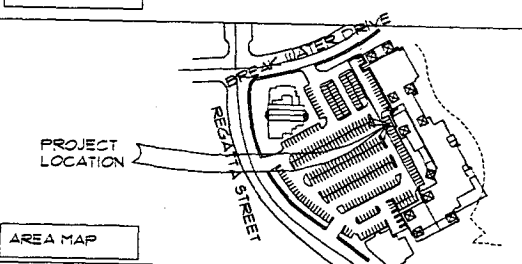
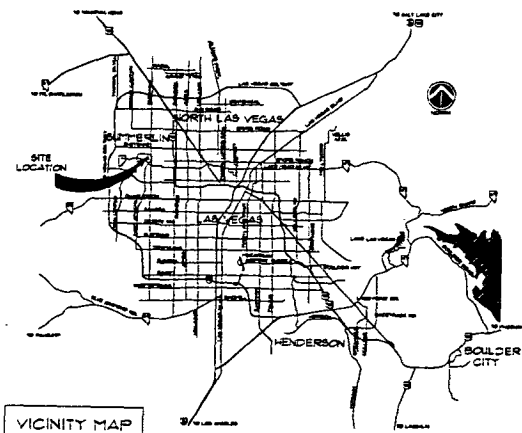
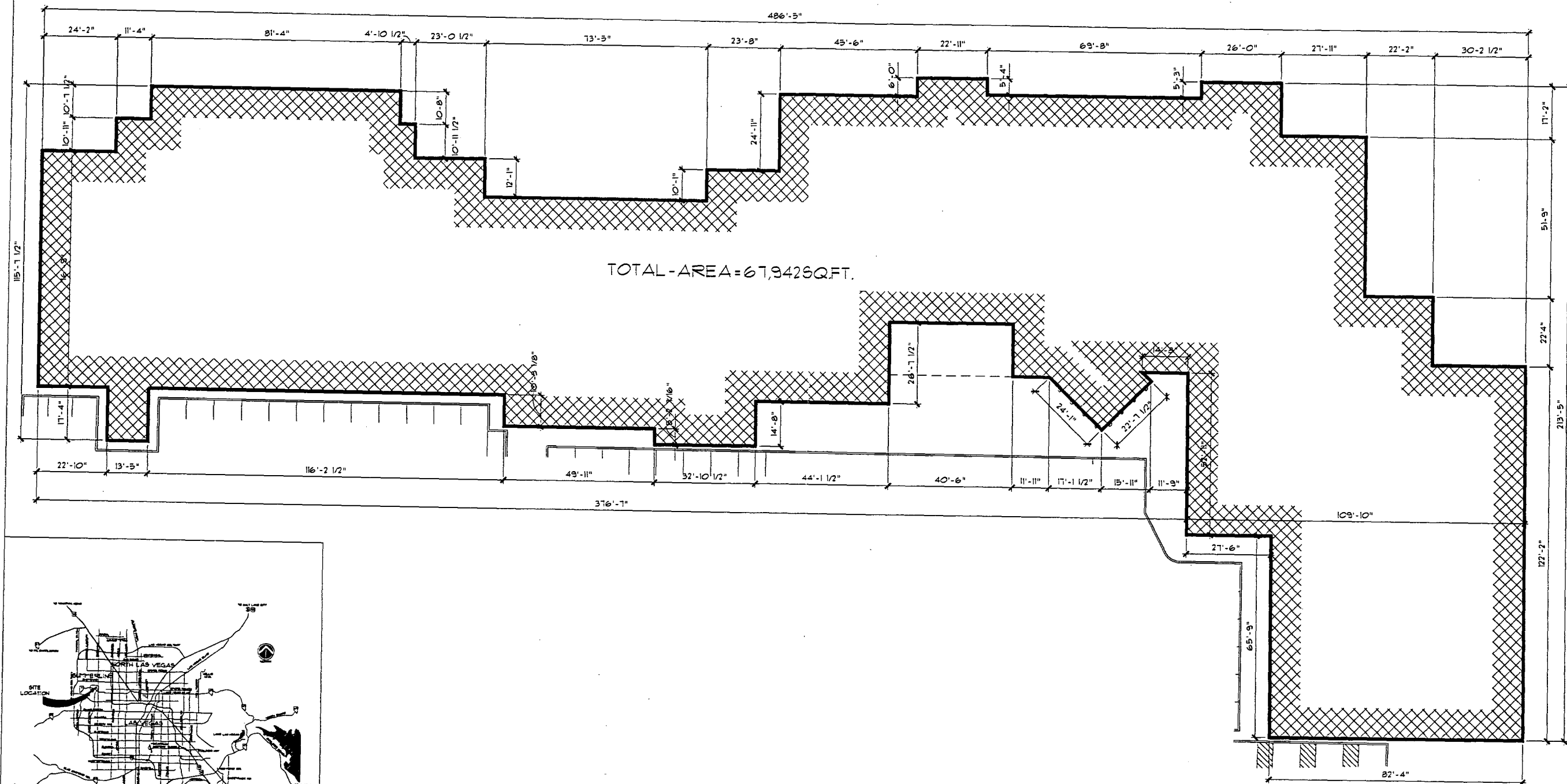
PROJECT: LAKE SIDE CENTER
REGATTA & BREAK WATER
HENDERSON, NEVADA

ISSUE DATE:
JOB NUMBER: 06-112
PLOT DATE:
DRAWN BY:
SHEET TITLE: SITE PLAN
SHEET NO: **A1.0**

Plans (Floor Plans)



Separator Sheet



01 EXISTING-BUILDING-LAYOUT-PLAN
SCALE 1/16" = 1'-0"

SCALE 1/16" = 1'-0"

RECEIVED
OCT 03 2006

OCT 03 200

SUP-17307
11/16/06 PC

11/16/06 PC



PROJECT: LAKE SIDE CENTER REGATTA & BREAK WATER HENDERSON, NEVADA	
ISSUE DATE: JOB NUMBER: PLOT DATE: DRAWN BY: SHEET TITLE: SHEET NO.	06-112 SITE PLAN
A11	



rsj architecture

8375 west flamingo rd, s
las vegas, nv 89147
p. 795.7839
f. 795.7849
www.rjarchitecture.com

Client informat

LAKE SIDE CENTER

REGATTA & BREAK WATER

GATTA & BREAK WATER

Subject

1957 DATE

100

PLC DATE

TRAIN BY

SHEET 114

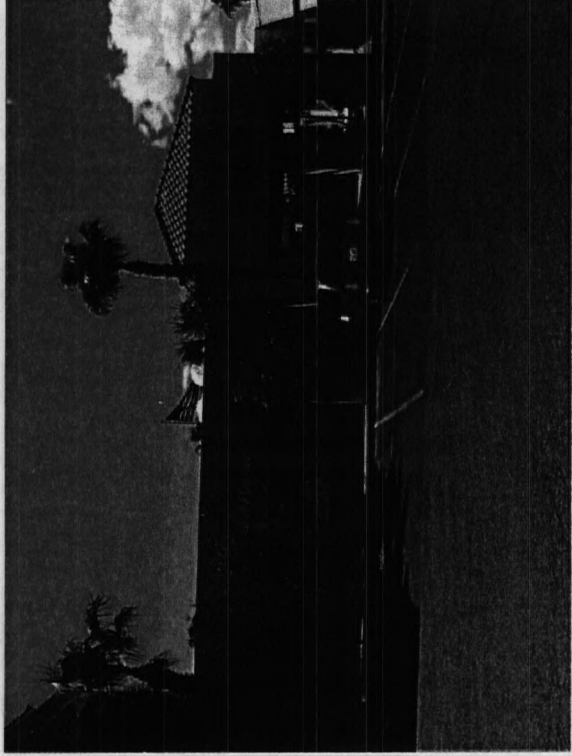
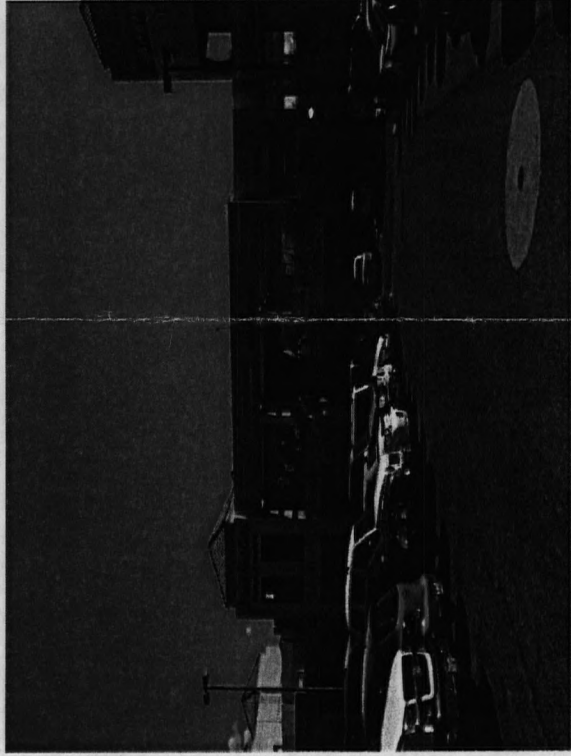
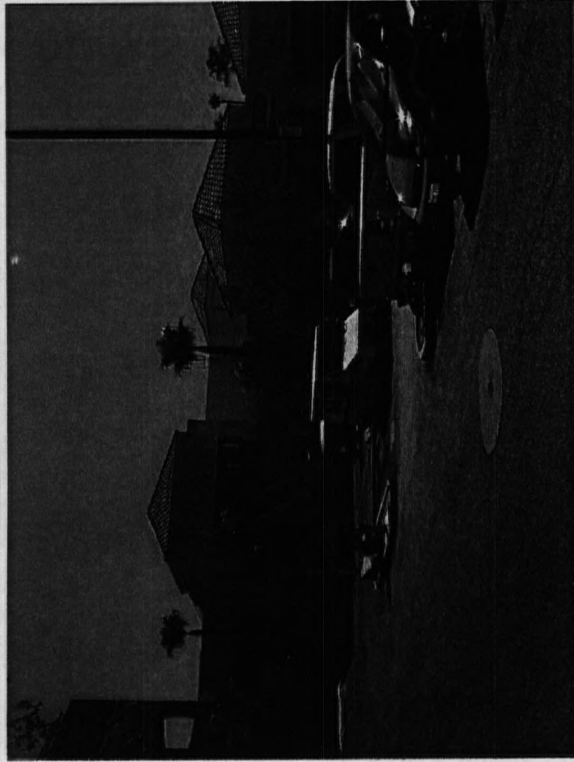
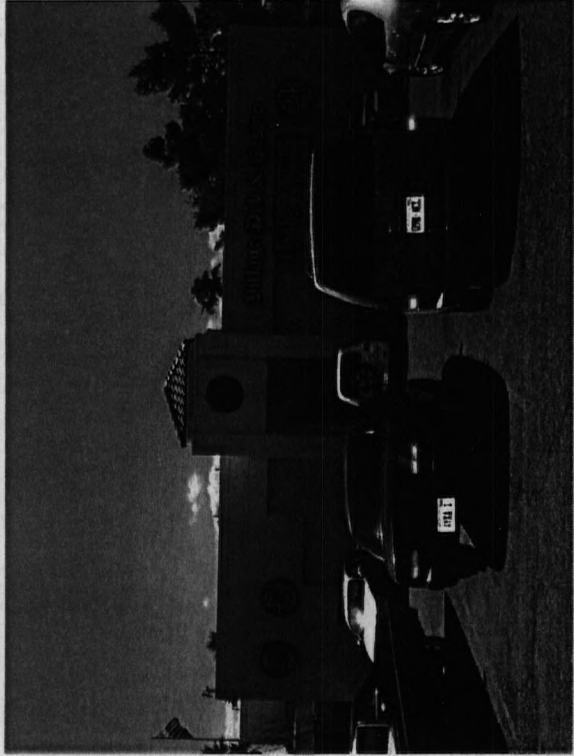
0121 22

A1.

Plans (Elevations)



Separator Sheet



REVISIONS



rsj architecture
6375 West Broadway, Ste. 100
Las Vegas, NV 89147
P: 702.734.1234
www.rsjarchitecture.com

Client Information

LAKE SIDE CENTER
REGATTA & BREAK WATER
HENDERSON, NEVADA

SUP-17307
11/16/06 PC

ISSUE DATE:
JOB NUMBER: 06-112
PLOT DATE:
DRAWN BY:
SHEET TITLE: EXTERIOR ELEVATIONS
SHEET NO:

A2.0

SHEET NO. A2.1
 ELEVATION
 SHEET TITLE
 DRAIN ST.
 PLOT DATE
 JOB NO.
 ISSUE DATE

SUP-17307
 11/16/06 PC

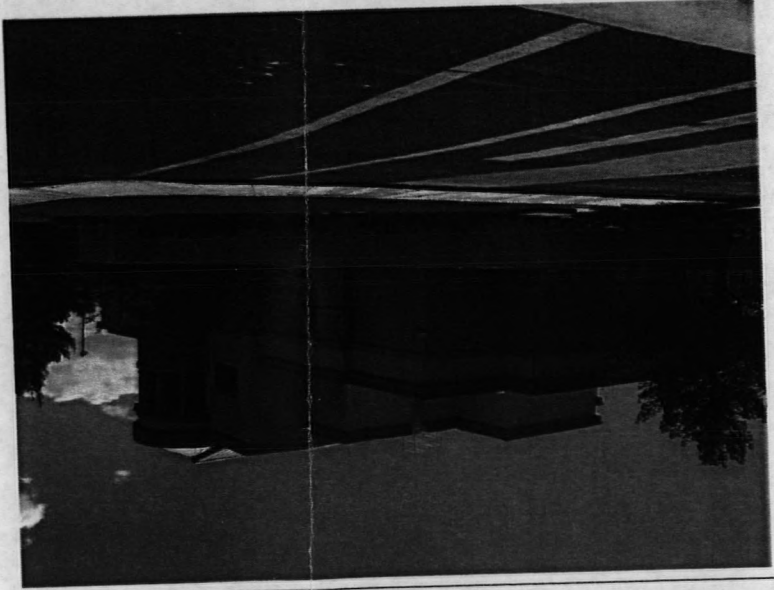
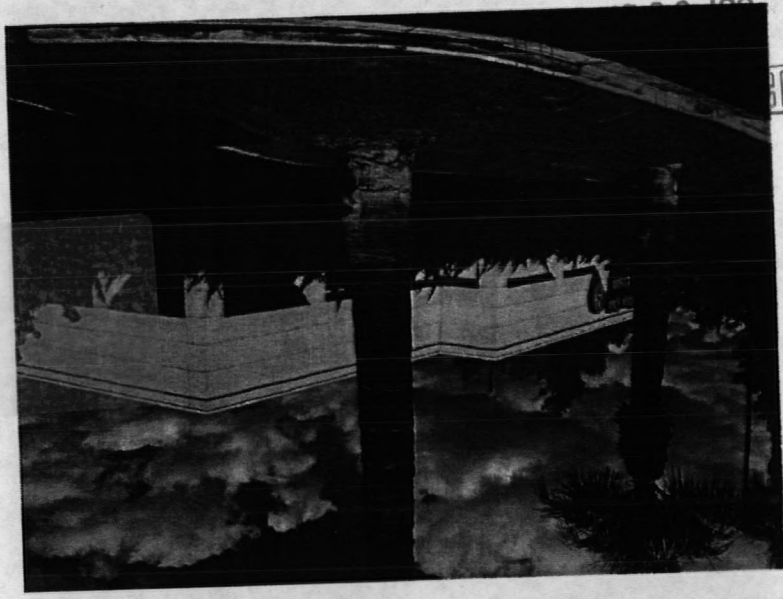
LAKE SIDE CENTER
 REGATTA & BREAK WATER
 HENDERSON, NEVADA

Client Information

6375 West Sahara Rd. Ste 100
 Las Vegas, NV 89147
 T 702.738.1238
 www.fsiarchitects.com



REVISIONS
☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐



Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

SPECIAL USE PERMIT

MEETING: PLANNING COMMISSION
DATE: NOVEMBER 16, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SUP-17307

APPLICANT: LAKESIDE CENTER - OWNER: WFTNV, LLC - REQUEST FOR A SPECIAL USE PERMIT FOR A PROPOSED RESTAURANT SERVICE BAR AND A WAIVER OF THE 400-FOOT DISTANCE SEPARATION REQUIREMENT FROM AN EXISTING CHURCH AT 2620 REGATTA DRIVE , SUITE #117 (APN 138-16-717-002), C-1 (LIMITED COMMERCIAL) ZONE, WARD 4 (BROWN).

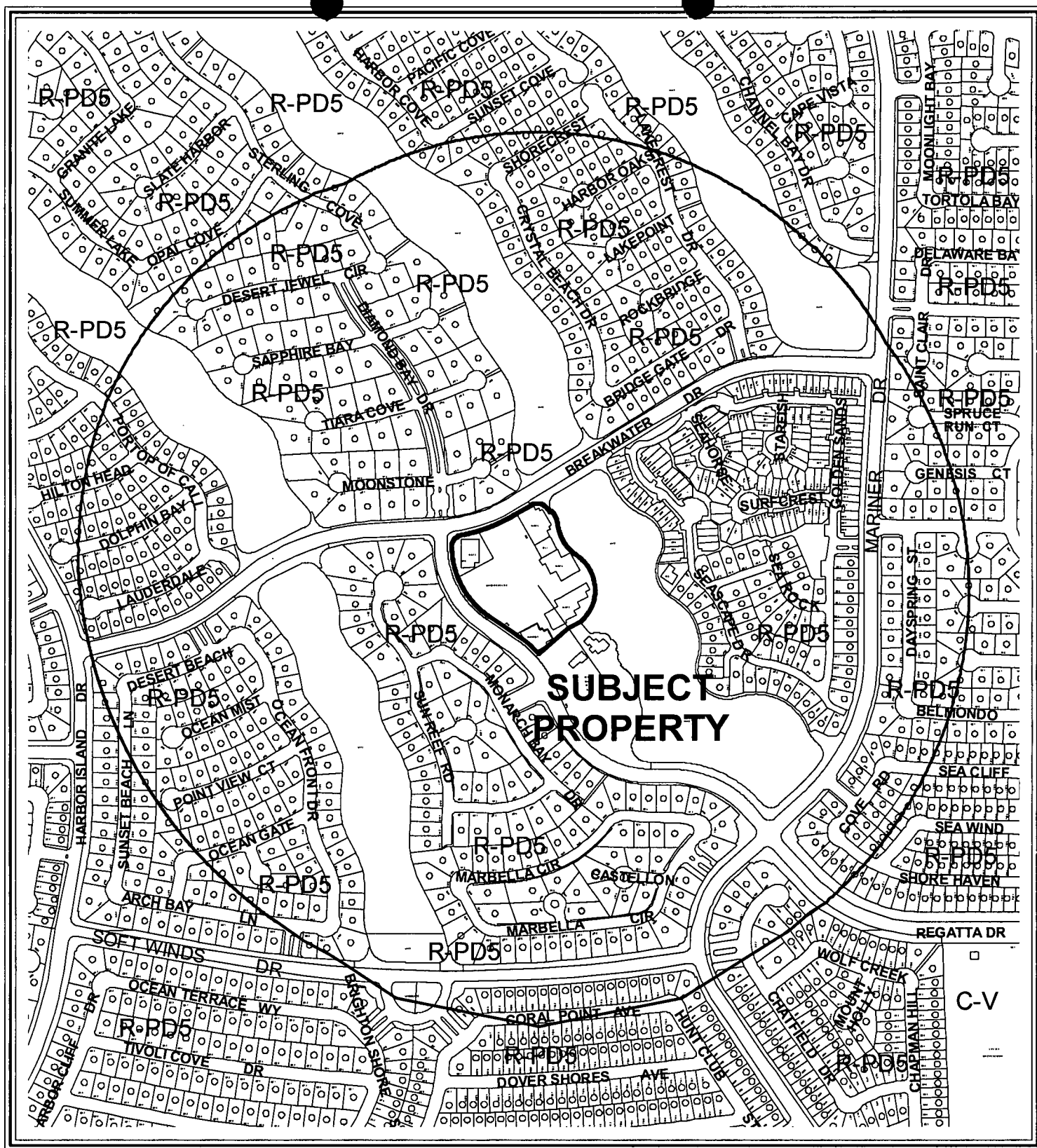
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF NORTH HALF (N½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 16, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objection thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. This request may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after discussion of the item. You will receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



DOUG RANKIN, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

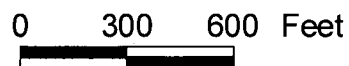
SEE LOCATION MAP ON REVERSE SIDE



CASE: SUP-17307

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



Protest / Approval Letter



Separator Sheet



Chabad of Summerlin/Desert Shores

7"2

An affiliate of the Worldwide Chabad Lubavitch Movement

Chabad of Summerlin
2640 Regatta Drive
Las Vegas, Nevada 89128
(702) 855-0770
(702) 433-0770 Fax
www.chabadofsummerlin@yahoo.com

November 7, 2006

Rabbi Yisroel Schanowitz
Director

Rabbi Chaim Ozer Metal
Youth and Program Director

John Korkosz
Planning Supervisor
City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89101

Regional Headquarters
1261 S. Arville Street
Las Vegas, Nevada 89102
(702) 259-0770
(702) 877-0770 Fax
www.chabadlv@aol.com

Rabbi Shea Harlig
Director

RE: Lakeside Center - Ivy Grill

Dear Mr. Korkosz:

I'm writing on behalf of the Chabad of Summerlin Located at 2640 Regatta Drive In the Lakeside Center, to express our support for the proposed Ivy Grill with Accompanying service bar. Having worked with the owners of Lakeside Center Now for over 10 years, we know they will continue their established trend of Professionalism while bringing yet another wonderful amenity to the area.

Thank you for taking time to consider our position on this item.


Sincerely,
Chabad of Summerlin

Rabbi Yisroel Schanowitz
Director

- Adult Education • Burial Society • Crisis Counseling • Daily Minyan • Desert Torah Academy Day School • Early Childhood Mommy & Me •
- Family Holiday Programs • Gan Israel Day Camp • Hebrew School • Informative Lecture Series • Jewish Super Phone • Koshering Services •
- Lending Library • Mikvah • Moshlach Awareness • N'shei Chabad • One on One Rabbinical Studies • Prison & Hospital Visitations •
- Religious Studies • Shabbatons • Torah Tots Preschool • Visits to Retirement Homes • Weekly Torah Fax • Youth Groups •

A



Chabad of Summerlin/Desert Shores

ה"ב

An affiliate of the Worldwide Chabad Lubavitch Movement

Chabad of Summerlin
2640 Regatta Drive
Las Vegas, Nevada 89128
(702) 855-0770
(702) 433-0770 Fax
www.chabadofsummerlin@yahoo.com

November 7, 2006

Rabbi Yisroel Schanowitz
Director

Rabbi Chaim Ozer Metal
Youth and Program Director

John Korkosz
Planning Supervisor
City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89101

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(702) 877-0770 Fax
www.chabadlv@aol.com

Rabbi Shea Harlig
Director

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Chabad of Summerlin

Rabbi Yisroel Schanowitz
Director

- Adult Education • Burial Society • Crisis Counseling • Daily Minyan • Desert Torah Academy Day School • Early Childhood Mommy & Me •
- Family Holiday Programs • Gan Israel Day Camp • Hebrew School • Informative Lecture Series • Jewish Super Phone • Koshering Services •
- Lending Library • Mikvah • Moshlach Awareness • N'shei Chabad • One on One Rabbinical Studies • Prison & Hospital Visitations •
- Religious Studies • Shabbatons • Torah Tots Preschool • Visits to Retirement Homes • Weekly Torah Fax • Youth Groups •

A

Ellis & Gordon

Attorneys At Law

510 S. Ninth Street - Las Vegas, NV 89101

Phone: (702) 385-3727 Facsimile: (702) 386-6826

November 14, 2006

HAND-DELIVERED

Mr. Doug Rankin
Planning Supervisor
Planning and Development Department
Current Planning Division
Development Services Center
731 South Fourth Street
Las Vegas, NV 89101

Re: SUP-17307

Meeting: Planning Commission
Date: November 16, 2006
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, NV

Dear Mr. Rankin:

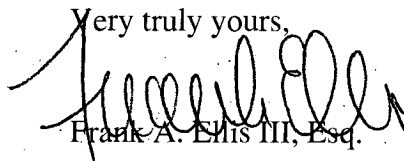
I represent Village Pub Summerlin Holdings, the owner of the real property and improvements at 2610 Regatta Drive (Parcel # 13816820001), and Village Pub & Casino-Summerlin the company that owns and operates the business upon those premises.

Village Pub Summerlin Holdings also owns a portion of the parking lot adjacent its building, and has rights to all of the parking lot by virtue of, among other things, a cross parking easement with the owner of the Lakeside Center.

We are concerned with the application only to the extent that the applicant is seeking, or will seek in the future, a variance to the minimum parking spaces required for the proposed restaurant and service bar. Parking is already tight at this center.

If you have any questions in this regard, please do not hesitate to contact me.

Very truly yours,



Frank A. Ellis III, Esq.

SUP-17307

(R)

P

Comments



Separator Sheet

DATE: November 14, 2006

TO: DOUG RANKIN
Planning Supervisor

FROM: JOHN ALABADO
Planner I

SUBJECT: IVY GRILL SUP-17307; EXISTING ON-SITE LIQUOR SALES
LICENSES AT LAKESIDE CENTER

Additional research related to business licensing at Lakeside Center was conducted for the Special Use Application for the proposed Ivy Grill Restaurant (SUP-17307). The following information was compiled:

Lakeside Center currently has a tenant restaurant use licensed to sell liquor and a freestanding gaming tavern currently operates on site. Additionally, both restaurants are located within a 400 foot radius of the existing synagogue.

- The use at 2620 Regatta Drive is permitted to sell beer and wine as well as package liquor.
- The use at 2610 Regatta Drive is licensed to sell liquor and operate gaming activities.

Both licenses are active.

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riecki, Survey (FM, PM, & A's only)
Date: October 18, 2006
Re: **SUP-17307** Lakeside Center SEC of Regatta Drive and Breakwater Drive
Request for a Special Use Permit for a restaurant service bar

COMMENTS:

We have no comment on the Request for a Special Use Permit application for property located on the southeast corner of Regatta Drive and Breakwater Drive within the existing Village Pub Commercial Subdivision, for a proposed restaurant service bar and a waiver of the 400 foot distance separation requirement from an existing church.

We note that this site is the subject of a Site Development Plan Review SDR-17309; all site-related conditions of approval are addressed with that action.

Applicant Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

November 3, 2006

Ms. Cheryl Yamaguchi
WPT, NV, LLC
815 3rd Street
Santa Monica, California 90404

RE: SUP-17307 - SPECIAL USE PERMIT

Dear Ms. Yamaguchi:

Please be advised the City Planning Commission at its regular meeting on **November 16, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:clb

cc: Mr. Matt Sobers
Lakeside Center
2620 Regatta Drive, Suite #100
Las Vegas, Nevada 89128

Mr. Rudy Stark
RSJ, Architecture
8375 West Flamingo Road, Suite #100
Las Vegas, Nevada 89147

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Action Letter



Separator Sheet



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

November 21, 2006

CORRECTED LETTER

Ms. Cheryl Yamaguchi
WPT, NV, LLC
815 3rd Street
Santa Monica, California 90404

RE: SUP-17307 - SPECIAL USE PERMIT

Dear Ms. Yamaguchi:

Your request for a Special Use Permit FOR A PROPOSED RESTAURANT SERVICE BAR AND A WAIVER OF THE 400-FOOT DISTANCE SEPARATION REQUIREMENT FROM AN EXISTING CHURCH at 2620 Regatta Drive, Suite #117 (APN 138-16-717-002), C-1 (Limited Commercial) Zone, Ward 4 (Brown), was considered by the Planning Commission on November 16, 2006.

The Planning Commission voted to recommend ***APPROVAL*** of your request, subject to the following:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Restaurant Service Bar use.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

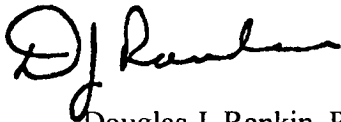
City Manager
Douglas A. Selby



Ms. Cheryl Yamaguchi
SUP-17307 - Page Two - **CORRECTED LETTER**
November 21, 2006

This item will be considered by the City Council on January 3, 2007, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:clb

cc: Mr. Matt Sobers
Lakeside Center
2620 Regatta Drive, Suite #100
Las Vegas, Nevada 89128

Mr. Rudy Stark
RSJ, Architecture
8375 West Flamingo Road, Suite #100
Las Vegas, Nevada 89147

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

November 17, 2006

Ms. Cheryl Yamaguchi
WPT, NV, LLC
815 3rd Street
Santa Monica, California 90404

RE: SUP-17307 - SPECIAL USE PERMIT

Dear Ms. Yamaguchi:

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Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Ms. Cheryl Yamaguchi
SUP-17307 - Page Two
November 17, 2006

This item will be considered by the City Council on **December 20, 2006**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:clb

cc: Mr. Matt Sobers
Lakeside Center
2620 Regatta Drive, Suite #100
Las Vegas, Nevada 89128

Mr. Rudy Stark
RSJ, Architecture
8375 West Flamingo Road, Suite #100
Las Vegas, Nevada 89147

City Council Action Letter



Separator Sheet



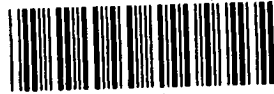
LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER



065427

January 4, 2007

Ms. Cheryl Yamaguchi
WPT, NV, LLC
815 3rd Street
Santa Monica, California 90404

RE: SUP-17307 – SPECIAL USE PERMIT
CITY COUNCIL MEETING OF JANUARY 3, 2007

Dear Ms. Yamaguchi:

The City Council at a regular meeting held January 3, 2007 APPROVED the request for a Special Use Permit FOR A PROPOSED RESTAURANT SERVICE BAR AND A WAIVER OF THE 400-FOOT DISTANCE SEPARATION REQUIREMENT FROM AN EXISTING CHURCH at 2620 Regatta Drive, Suite #117 (APN 138-16-717-002), C-1 (Limited Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on January 4, 2007. This approval is subject to:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Restaurant Service Bar use.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,

Lean Coleman
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV-7009

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

APN Map



Separator Sheet

NOTES

This map is for assessment use only and does NOT represent a survey.
No liability is assumed for the accuracy of the data delineated herein.
Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE(Feet) WHEN MAP REDUCED FROM 11X17 ORIGINAL

0

50

100

200

400

600

800

MAP LEGEND

AVERAGE
QA VALUE
22

PARCEL BOUNDARY 001
SUBD BOUNDARY 1.00
ROAD EASEMENT 202
PM/LD BOUNDARY PB 25-45
NON-PARCEL LOT LINE 5
MATCH LINE / LEADER LINE 5
ROAD ID NUMBER GL5

ASSESSOR'S PARCELS - CLARK CO., NV.
M. W. Schofield, Assessor

T20S R60E

R59E R60E R61E

T19S 126 125 124
T20S 137 138 139
T21S 164 163 162

16

6 5 4 3 2 1
7 8 9 10 11 12
18 17 16 15 14 13
19 20 21 22 23 24
30 29 28 27 26 25
31 32 33 34 35 36

8 4 8 4
5 1 5 1
6 2 6 2
7 3 7 3
8 4 8 4
5 1 5 1

138-16-7

Scale: 1"=200'

Rev: 06/04/03

PARCEL NUMBER
ACREAGE
PARCEL SUB/SEQ NUMBER
PLAT RECORDING NUMBER
BLOCK NUMBER
LOT NUMBER
GOV. LOT NUMBER

The main map displays a detailed land assessment for Clark County, NV. It features numerous numbered parcels, many of which are labeled with 'DESERT SHORES NO 1' or 'VILLAGE PUB'. Key streets include Crystal Beach Dr, Rockridge Cir, Lakewood Dr, Bridge Gate Dr, Breakwater Dr, Bluewater Dr, Starfish Ct, and Spruce Run Ct. The map also shows various other streets like Niagara Cove Cir, Moonstone Cir, Regatta Dr, and Buffalo Dr. Several areas are marked with 'PRIVATE' or 'HIDDEN DUNES AVE'. The map includes a grid system with T20S, R60E, and various lot numbers. A 'RECEIVED' stamp is visible in the bottom right corner of the map area.

RECEIVED
OCT 03 2006
SUP-17367
11/16/06 PC
TAX DIST 200

Extraction List



Separator Sheet

34/6

PARCELS	900
LABELS	789

Report of All Selected Parcels

Case Number: SUP-17307

Printed On: Fri: October 20, 2006

Owner

Address

Parcel Numbe

13816797030
13816897024
13816797021
13816897011
13816797028
13816397011
13816797029
13816397012
13816797022
13816797027
13816397013
13816397019
13816897028
13816397022
13816797019
13816797024
13816796002
13816397020
13816797025
13816897025
13816397014
13816797009
13816797018
13816397005
13816897001
13816797023
13816797003
13816797002
13816396002
13816797034
13816897022
13816897023

Report of All Selected Parcels**Case Number:** SUP-17307**Printed On:** Fri: October 20, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
		13816397015
		13816797004
		13816797017
		13816397016
		13816897019
		13816897026
		13816897018
		13816797008
		13816397018
		13816897020
		13816796003
		13816797001
		13816897029
		13816397021
		13816797032
		13816897027
		13816897021
		13816797031
		13816797005
		13816397017
		13816497006
		13816397003
		13816397002
		13816497004
		13821197023
		13816797006
		13821597010
		13821597006
		13821597007
		13816397004
		13816497008
		13816897016

Report of All Selected Parcels**Case Number:** SUP-17307**Printed On:** Fri: October 20, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
		13816497007
		13821597005
		13816296003
		13816897009
		13816897005
		13816497011
		13821197007
		13821197008
		13816696002
		13816897010
		13816897013
		13816897014
		13816897007
		13816797010
		13816397007
		13821597017
		13816897002
		13816497009
		13821197004
		13821597004
		13816797020
		13816897003
		13821597001
		13816897030
		13816797007
		13821597002
		13816397006
		13816897004
		13821197003
		13816897012
		13816796001
		13816897015

Report of All Selected Parcels**Case Number:** SUP-17307**Printed On:** Fri: October 20, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
		13816497005
1928 HARVEST L L C	2428 OCEAN FRONT DR LAS VEGAS NV	13816413110
1928 HARVEST L L C	2536 OCEAN FRONT DR LAS VEGAS NV	13816413122
A & S FAMILY TRUST	8101 DESERT JEWEL CIR LAS VEGAS NV	13816218002
A B C D PROTECTION TRUST	8108 TIARA COVE CIR LAS VEGAS NV	13816312046
ADAMS DEBRA	8225 DOLPHIN BAY CT LAS VEGAS NV	13816314045
ADAMS KARLETTE M	8024 SHORECREST DR LAS VEGAS NV	13816615012
ADAMS-ALLEN FAMILY TRUST	8029 SHORECREST DR LAS VEGAS NV	13816615057
AGUILAR MARIO & LISA TRNKA	2604 SUN REEF RD LAS VEGAS NV	13816316005
AHARONI ESTHER	7629 SPRUCE RUN CT LAS VEGAS NV	13816715007
ALBANESE JOANN	7900 BRIDGE GATE DR LAS VEGAS NV	13816711043
ALEMAN RANDEL W & JEANNE M	7272 S EL CAPITAN WY #2 LAS VEGAS NV	13816713059
ALI SYED AKHTAR & FOZIA A	5840 SW 130TH TER PINECREST FL	13816314037
ALLISON KAREN M	2656 SEASHORE DR LAS VEGAS NV	13816713153
ALLISON RODNEY D	7924 CORAL POINT AVE LAS VEGAS NV	13821512011
ALMAZAN REYNALDO A & TERESITA	8212 LAUDERDALE CT LAS VEGAS NV	13816314039
ALTON DORIS E REVOCABLE LIV TR	8216 POINT VIEW CT LAS VEGAS NV	13816413062
ALVAREZ ALEJANDRO & ELSA R	8017 RYANS REEF LN LAS VEGAS NV	13816812012
ALVEAR WILLIAM	8120 MOONSTONE CIR LAS VEGAS NV	13816312038
AMMON LORA	2505 SEA VENTURE DR LAS VEGAS NV	13816817056
AMSTER DANIEL S & GAIL L	2525 SUN REEF RD LAS VEGAS NV	13816412008
ANDERSON BRENDA	%GREENPOINT MTGE 100 WOOD HOLLOW DR NOVATO CA	13816711005
ANDERSON JAMES	8032 MARBELLA CIR LAS VEGAS NV	13821510006
ANGEL FAMILY TRUST	7921 BRIDGE GATE DR LAS VEGAS NV	13816711016
ANGELILLO JOSEPH JR	2605 SURFWOOD DR LAS VEGAS NV	13821512009
ANGLIN HARLEY L JR & HEATHER E	7853 SURFCREST CT LAS VEGAS NV	13816713133
ANN JOYCE TRUST	3970 MOUNTAIN BIRCH ST LAS VEGAS NV	13816413049
ARCHIBALD BILLY & CLAUDETTE	2809 CHANNEL BAY DR LAS VEGAS NV	13816613027
ARES ALEXIS G	2641 SEAHORSE DR LAS VEGAS NV	13816713072
ARIENO SUZANNE	8125 SUNSET COVE DR LAS VEGAS NV	13816611018
ARMITAGE STEVEN A & SUSAN A	7709 SEA CLIFF WY LAS VEGAS NV	13816815053
ARMOUR FAMILY TRUST	2548 MONARCH BAY DR LAS VEGAS NV	13816412020

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
ARMSTRONG GRACE MADRID	10279 EVENING PRIMROSE AVE LAS VEGAS NV	13816314079
ASSAD ROBERT J	859 PORTERVILLE RD EAST AURORA NY	13816413105
ASSADOURIAN JACK	1226 N HOWARD ST GLENDALE CA	13816713087
ATAMOH IRUKA F	2657 GOLDEN SANDS DR LAS VEGAS NV	13816713107
ATAMOH OGONNA M	2509 SEASCAPE DR LAS VEGAS NV	13816811016
ATKINS VAN P & BETTY A	2541 DAYSPRING ST LAS VEGAS NV	13816715029
AVANTS BEECHER E	2708 LAKECREST DR LAS VEGAS NV	13816711023
AVRAHAM NIR	8233 HILTON HEAD CT LAS VEGAS NV	13816314064
AZOULAY ARNAUD	7925 MARBELLA CIR LAS VEGAS NV	13816816028
AZOULAY ELIYA	P O BOX 35006 LAS VEGAS NV	13816615052
BACON MARY 2003 TRUST	4431 BORREGO SPRINGS WY LAS VEGAS NV	13816615030
BAHRAMI NASRIN N	7817 SEA ROCK RD LAS VEGAS NV	13816811028
BAILEY PAULINE A TRUST	2509 SEA VENTURE DR LAS VEGAS NV	13816817055
BAKRANIA PRAVIN P & VEENA P	8133 SAPPHIRE BAY CIR LAS VEGAS NV	13816312020
BALLEW FAMILY TRUST	2808 LAKECREST DR LAS VEGAS NV	13816615023
BANK H S B C TRS	%CHASE HOME FIN LLC 10790 RANCHO BERNARDO DR SAN DIEGO CA	13816713033
BANK U S N A TRS	%HOMECOMINGS FIN NETWORK INC 9350 WAXIE WY SAN DIEGO CA	13816711019
BANKS HERBERT C JR	8076 MARBELLA CIR LAS VEGAS NV	13816816024
BARAN EDWARD E & NOVIA M	8040 MARBELLA CIR LAS VEGAS NV	13821510008
BARANIK RUSSELL A & EILEEN T	2756 PORT OF CALL DR LAS VEGAS NV	13816314080
BAR-AVI GALIA	8213 DOLPHIN BAY CT LAS VEGAS NV	13816314042
BARBER KIMBERLY D & TOMMY D	7632 SPRUCE RUN CT LAS VEGAS NV	13816715003
BARBET IRREVOCABLE TRUST	8300 CHERRY GLAZE AVE #202 LAS VEGAS NV	13816713002
BARTON SUSAN D	7864 SKIFF LN LAS VEGAS NV	13816713025
BASHARYAR ZALMAI	2656 ONTARIO LAS VEGAS NV	13816713074
BAY ROBERT C REVOCABLE LIV TR	7625 DESERT LARGO AVE LAS VEGAS NV	13816715034
BAYER SHERRY LYNN	2633 STARFISH CT LAS VEGAS NV	13816713095
BECKER FAMILY TRUST	7933 LAKEPOINT CIR LAS VEGAS NV	13816711028
BEDICH GEORGE J	9300 PROVENCE GARDEN LN LAS VEGAS NV	13816713112
BENESCH MICHAEL & INGRID FAM TR	2632 GOLDEN SANDS DR LAS VEGAS NV	13816713044
BENHAMO SHIMON & VICTORIA	2428 CHATFIELD DR LAS VEGAS NV	13816818008
BENITEZ JOSE	2417 CHATFIELD DR LAS VEGAS NV	13816818001

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
BENOIT DAVID P	8225 LAUDERDALE CT LAS VEGAS NV	13816411006
BERGHEER ROLAND O TRUST	2617 SEASHORE DR LAS VEGAS NV	13816713012
BERJIS FARZI GOLEH	79470 MARBELLA CIR LAS VEGAS NV	13816816013
BERKSOY EREN	2608 GOLDEN SANDS DR LAS VEGAS NV	13816713038
BERNSTEIN JACKI	8100 MOONSTONE CIR LAS VEGAS NV	13816710010
BERNSTEIN LEROY & C FAM TR	7921 ROCKBRIDGE CIR LAS VEGAS NV	13816711047
BERTA FIRMIN J & DIANE L	2556 MONARCH BAY DR LAS VEGAS NV	13816412021
BILODEAU PETER A & SUSAN A	7632 DESERT LARGO AVE LAS VEGAS NV	13816715025
BITTON MEYER	2485 SUN REEF RD LAS VEGAS NV	13816412013
BLACKWELL BARBARA A	8052 MARBELLA CIR LAS VEGAS NV	13821510011
BLAINE MARGARET O	17319 BLAINE DR HAGERSTOWN MD	13816615004
BLEVINS BEDFORD D & REN-NA L	2716 LAKECREST DR LAS VEGAS NV	13816711025
BLOOM JOHN P & VETA	8305 OPAL COVE DR LAS VEGAS NV	13816215026
BLOUNT J MARIE COLLIER TRUST	8228 LAUDERDALE CT LAS VEGAS NV	13816314036
BLUE SEASHORE L L C	%B SPERRY 8328 SPINNAKER COVE DR LAS VEGAS NV	13816713058
BLUE SEASHORE L L C	%B SPERRY 8328 SPINNAKER COVER DR LAS VEGAS NV	13816713146
BODERMANN TRUST	31494 FLYING CLOUD DR LAGUNA NIGUEL CA	13816413096
BOGLER GEORGE H & PATRICIA M	210 CHESHIRE CT BOLINGBROOK IL	13816413100
BOHOLANO GINA	7808 APACHE CLIFF ST LAS VEGAS NV	13816817007
BONELLI JOSEPH A & JOYCE I	2821 CRYSTAL BEACH DR LAS VEGAS NV	13816615006
BORA BORA LIVING TRUST	7833 SEA ROCK RD LAS VEGAS NV	13816811032
BORIS NEILL P & HELENE M	2628 PORT OF CALL DR LAS VEGAS NV	13816314020
BORIS P MILORADOVICH	7605 ADORNMENT CT LAS VEGAS NV	13816711038
BORNS LEO F & MARY SUSAN	2548 SEASCAPE DR LAS VEGAS NV	13816811033
BOROCHOFF JOHNATHAN & RENEE V	8024 RYANS REEF LN LAS VEGAS NV	13816812017
BOWER D	1820 WENGART LAS VEGAS NV	13816815055
BOWER D & I	1820 WENGERT AVE LAS VEGAS NV	13816815001
BOWER D & I	1820 WENGERT AVE LAS VEGAS NV	13816817054
BOYD DOUGLAS P & INYOUNG S	8101 TIARA COVE CIR LAS VEGAS NV	13816710005
BRAKE NEAL RAY	7925 CASTELLON CT LAS VEGAS NV	13816816036
BRAMHALL GREGORY & SUSAN A	8060 MARBELLA CIR LAS VEGAS NV	13821510013
BRAND RIKI	3627 E 8TH ST LOS ANGELES CA	13816412018

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
BRENES BYRON E & PATRICIA I	7624 MARLUNA CT LAS VEGAS NV	13816814035
BRENNAN TERRY & CYNTHIA JAY	8016 MARBELLA CIR LAS VEGAS NV	13821510001
BRENNAN TERRY & CYNTHIA JAY	8016 MARBELLA CIR LAS VEGAS NV	13821510002
BRENNER FAMILY TRUST 1996	1243 SHARROW WY CARSON CITY NV	13816713154
BRIDGE JOHN W & JOAN E	4089 PENROSE CT TROV MI	13816811017
BRISCO BRIANA	7840 BLUE WATER DR LAS VEGAS NV	13816713062
BRITTAN MARC & DOLORES	2680 139TH AVE S E #51 BELLEVUE WA	13816811012
BRONSON THOMAS L & NADIA REV TR	1400 CLARIDGE DR BEVERLY HILLS CA	13816316002
BROWN 1987 TRUST	8125 DESERT JEWEL CIR LAS VEGAS NV	13816312010
BROWN CHARLES	2632 SEAHORSE DR LAS VEGAS NV	13816713077
BROWN ROBERT L & IRMA L	19300 FLAMING ARROW CIR WALNUT CA	13816413038
BROWNE THOMAS ROY	8113 SAPPHIRE BAY CIR LAS VEGAS NV	13816312025
BRUNELLE RONALD P	10815 VALLEY FORGE CT K OF PRUSSIA PA	13816713090
BUENING LYNNE	8117 SUNSET COVE DR LAS VEGAS NV	13816611016
BUNTZ JEFFREY B	2544 GOLDEN SANDS DR LAS VEGAS NV	13816713035
BURGER CLIFFORD E & KAREN A	7936 LAKEPOINT CIR LAS VEGAS NV	13816615035
BURKE TED R & OLGA	2533 SUN REEF RD LAS VEGAS NV	13816412007
BURKHART DENNIS L & JANE A	8228 OCEAN GATE WY LAS VEGAS NV	13816413082
BUSHELL DOUGLAS G	2532 MONARCH BAY DR LAS VEGAS NV	13816812027
BYRNES EDWARD	8225 OCEAN MIST CT LAS VEGAS NV	13816413051
C M M LIVING TRUST	8137 DESERT JEWEL CIR LAS VEGAS NV	13816312007
CABRAL LEOVIGILDO R & MARIA B A	537 HARBOR TERR BARTLETT IL	13816817052
CABRERA RUBEN & STELLA M	8216 OCEAN GATE WY LAS VEGAS NV	13816413079
CACUCI GABRIEL D	P O BOX 34468 LAS VEGAS NV	13816215032
CADETTE DONALD & JEANNIE L	8116 DESERT JEWEL CIR LAS VEGAS NV	13816312001
CAILLIER ROBERT E & PATSY D	2588 SUN REEF RD LAS VEGAS NV	13816412022
CAMERON SCOTT & JACQUELINE	2517 SEA VENTURE DR LAS VEGAS NV	13816817053
CANADA MONA CHUNG	1141 MORNING MELODY CT HENDERSON NV	13816615031
CAPLAN MEL & CAROLE LIVING TRUST	7900 MARBELLA CIR LAS VEGAS NV	13816816023
CARLSON MERILEE C & PHILIP J	2508 GOLDEN SANDS DR LAS VEGAS NV	13816811021
CARPENTER FAMILY TRUST	8221 POINT VIEW CT LAS VEGAS NV	13816413069
CARPENTER FAMILY TRUST	8209 POINT VIEW CT LAS VEGAS NV	13816413072

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CARTON CHRISTOPHER P	8136 DESERT JEWEL CIR LAS VEGAS NV	13816312006
CARTWRIGHT FAMILY TRUST	2513 SEASCAPE DR LAS VEGAS NV	13816811015
CASCIOLA FAMILY LIVING TRUST	8201 ARCH BAY LN LAS VEGAS NV	13821111007
CASHMAN DONALD E & CARMEN P	2652 SEASHORE DR LAS VEGAS NV	13816713152
CAVANAUGH MARTIN D	2424 CHATFIELD DR LAS VEGAS NV	13816819001
CAVENDER GARY & SHERRY FAMILY TR	8121 MOONSTONE CIR LAS VEGAS NV	13816312043
CERVONI VINCENT & RITA	2801 CRYSTAL BEACH DR LAS VEGAS NV	13816615001
CHABAD SUMMERLIN INC	2620 REGATTA DR #17 LAS VEGAS NV	13816714003
CHANDLER LIVING TRUST	8217 LAUDERDALE CT LAS VEGAS NV	13816411008
CHANG KEVIN & TAMMY Y	2460 MONARCH BAY DR LAS VEGAS NV	13816812005
CHILDERS GREER QUAL PER RES TR	2565 SUN REEF RD LAS VEGAS NV	13816412026
CHIU CHI TAK	8113 TIARA COVE CIR LAS VEGAS NV	13816312035
CHONG SUNNY M S & MICHELE M	2812 CRYSTAL BEACH DR LAS VEGAS NV	13816615060
CHURCHILL JOANN REVOCALBE LIV TR	8236 LAUDERDALE CT LAS VEGAS NV	13816314034
CIAGLIA CHRISTINE	2644 SEASHORE DR LAS VEGAS NV	13816713150
CLAIBORNE SYLVIA & BENNIE	7909 ROCKBRIDGE CIR LAS VEGAS NV	13816711044
CLARK 1994 EXEMPTION TRUST B	2524 OCEAN FRONT DR LAS VEGAS NV	13816413119
COATS HAROLD BARD	8112 SAPPHIRE BAY CIR LAS VEGAS NV	13816312014
COLE MARK A & EVELYN REV TR	8217 OCEAN GATE WY LAS VEGAS NV	13816413101
CONDUCTOR ROBERT & CAROLE LIV TR	8004 HARBOR OAKS CIR LAS VEGAS NV	13816615051
CONNER LAWRENCE F LIVING TRUST	8105 TIARA COVE CIR LAS VEGAS NV	13816710006
COOK DONALD J & PEGGY A	P O BOX 543 DEMING WA	13816713079
COOK GARY WILLIAM TRUST	8101 DESERT JEWEL CIR LAS VEGAS NV	13816218005
COOKE ROSEMARY SECREST TRUST	2532 GOLDEN SANDS DR LAS VEGAS NV	13816811027
COOPER HELEN S	2648 STARFISH CT LAS VEGAS NV	13816713101
COSTON ROY P & LYNN R	8048 MARBELLA CIR LAS VEGAS NV	13821510010
COURTNEY DAVID & SUSAN	2520 OCEAN FRONT DR LAS VEGAS NV	13816413118
CRIST CASEY	2812 HUBER HEIGHTS LAS VEGAS NV	13816814007
CRISTMAN CHERRILL C	2741 CRYSTAL BEACH DR LAS VEGAS NV	13816711001
CRUZ NILO C & MARIA ELENA S	8056 MARBELLA CIR LAS VEGAS NV	13821510012
CSILLAG MICHAEL B	911 N BUFFALO RD #213 LAS VEGAS NV	13816411001
CUMMINGS SARAH E	7964 MARBELLA CIR LAS VEGAS NV	13816816007

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
CURTIS RICHARD R	5213 ABBEY RD FORT COLLINS CO	13816314040
D B L R RESIDENCE TRUST	%DBLR PERS RES TR 2515 CREST VIEW DR LOS ANGELES CA	13816413106
D E C LIVING TRUST	2813 CHANNEL BAY DR LAS VEGAS NV	13816613026
DAHLE KAREN R	8169 SODONA SUNSET LAS VEGAS NV	13816713104
D'ALESSIO PATRICIA L SEP PPTY TR	8212 OCEAN GATE WY LAS VEGAS NV	13816413078
DALEY RONALD L & CAROLE Y	8221 DOLPHIN BAY CT LAS VEGAS NV	13816314044
DANDREA LAURIE LEE	2636 SEAHORSE DR LAS VEGAS NV	13816713078
DANOWITZ HAROLD J & EVELYN J	1263 CASIANO RD LOS ANGELES CA	13816713042
DAVENPORT EVELYN R	2636 STARFISH CT LAS VEGAS NV	13816713098
DAVERIN Y M	1031 GREBE ST FOSTER CITY CA	13816314024
DAVIDSON HOWARD REVOCABLE TRUST	8121 SAPPHIRE BAY CIR LAS VEGAS NV	13816312023
DAVIDSON MICHELE A	7745 SHORE HAVEN DR LAS VEGAS NV	13816817004
DELAPENA EVELYN B	755 HICKEY BLVD BOX 162 PACIFICA CA	13816715013
DENNIS ANTHONY R	6227 E MARILYN RD SCOTTSDALE AZ	13816816043
DERRICK DESIREE E	61 FEATHER SOUND DR HENDERSON NV	13816811029
DESERT SHORES COMMUNITY ASSN	2500 REGATTA DR LAS VEGAS NV	13816612001
DESERT SHORES COMMUNITY ASSN	2500 REGATTA DR LAS VEGAS NV	13816414001
DESERT SHORES COMMUNITY ASSN	2500 REGATTA DR LAS VEGAS NV	13816414001
DESERT SHORES COMMUNITY ASSN	2500 REGATTA DR LAS VEGAS NV	13816813001
DESERT SHORES COMMUNITY ASSN	2500 REGATTA DR LAS VEGAS NV	13816216001
DESERT SHORES COMMUNITY ASSN	2500 REGATTA DR LAS VEGAS NV	13816313001
DESERT SHORES COMMUNITY ASSN	2500 REGATTA DR LAS VEGAS NV	13816813002
DESERT SHORES RACQUET CLUB H O A	%MASTERS ASSN MGMT 7381 PRAIRIE FALCON #140 LAS VEGAS NV	13816713155
DICKELMAN KATHY L	2525 DAYSPRING ST LAS VEGAS NV	13816814003
DICKMAN MICHAEL D & SUSAN B	2532 SEASCAPE DR LAS VEGAS NV	13816811037
DIVANBEIGI FARAH	2508 OCEAN FRONT DR LAS VEGAS NV	13816413115
DIVENTO ANTHONY J & BONNIE	8200 DESERT BEACH DR LAS VEGAS NV	13816413123
DOBBS LARRY E & ANN	7633 SPRUCE RUN CT LAS VEGAS NV	13816715006
DOCKERY JAMES P	8104 MOONSTONE CIR LAS VEGAS NV	13816710014
DONALDSON CARL A & NORMA L	7804 BLUEWATER DR LAS VEGAS NV	13816713053
DORAZIO ROBERT	8209 LAUDERDALE CT LAS VEGAS NV	13816314030
DOUGLAS CAROL & NIGEL J	9416 SALTWATER CT LAS VEGAS NV	13816713114

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DOW NANCY R & MICHAEL P	8983 SIDEBROOK CT LAS VEGAS NV	13816817003
DRAGO MARIO C & JUDITH	2805 CHANNEL BAY DR LAS VEGAS NV	13816613028
DRAGOMIRETSKIY VITALY	8121 SUNSET COVE DR LAS VEGAS NV	13816611017
DUFFY ELEANOR	8000 MARBELLA CIR LAS VEGAS NV	13816816003
DUTRA ROBERT E & LAURA D TRUST	2425 LA SEYNE CT LAS VEGAS NV	13816816041
DZIEDZIC LISA M	2732 LAKECREST DR LAS VEGAS NV	13816615028
EADE VINCENT H & RHONDA G	2709 SAINT CLAIR DR LAS VEGAS NV	13816712004
EANES STEPHEN F	58 TOURAN LN GOLETA CA	13816812015
EARLE ROBERT & DOROTHY	7944 MARBELLA CIR LAS VEGAS NV	13816816012
EBBIN AUDRY VOGEL 1990 FAMILY TR	2477 SUN REEF RD LAS VEGAS NV	13816412014
ECKMANN JEFFREY	P O BOX 33581 LAS VEGAS NV	13816312022
ECKMANN JENNIFER	%WEISS 8120 DESERT JEWEL LAS VEGAS NV	13816713082
ECKSTROM WAYNE E & A 1990 FAM TR	2529 SUNSET BEACH LN LAS VEGAS NV	13816413008
EDWARDS FAMILY TRUST	1250 S EASTERN AVE LAS VEGAS NV	13816312024
EDWARDS LEWIS E & SHIRLEY A	2432 OCEAN FRONT DR LAS VEGAS NV	13816413111
EGTEDAR ASCAR	2701 CRYSTAL BEACH DR LAS VEGAS NV	13816711011
ELI IRREVOCABLE TRUST	2609 SEASHORE DR LAS VEGAS NV	13816713014
ELLIS CHRISTINE TRUST	8216 DOLPHIN BAY CT LAS VEGAS NV	13816314061
ELLIS WILLIAM J	2420 CRYSTAL RIVER CT LAS VEGAS NV	13816413099
EMBREE DAVID L	2540 DAYSPRING ST LAS VEGAS NV	13816715030
ENGELBRETSON ROY	7840 SEA ROCK RD LAS VEGAS NV	13816713029
EPSTEIN MARK & R REV FAM TR	8016 SECRET HARBOR CT LAS VEGAS NV	13816812022
ERICKSON JOHN R	%UNITED EAST INDIA CO %L RILEY 4045 S SPENCER ST LAS VEGAS NV	13816710004
ESPENSCHIED DANIEL F	2540 SEASCAPE DR LAS VEGAS NV	13816811035
ESTRADA JUAN & ORLI	7741 SHORE HAVEN DR LAS VEGAS NV	13816817005
ETON PROPERTIES CORP	9101 W SAHARA AVE #105-117 LAS VEGAS NV	13816713046
EVANS STERLING C	8204 OCEAN GATE WY LAS VEGAS NV	13816413076
EVSAN TRUST	8024 SECRET HARBOR CT LAS VEGAS NV	13816812023
FABER RAYMOND	7917 BRIDGE GATE DR LAS VEGAS NV	13816711017
FABRE LUIS R & MARY A	2484 MONARCH BAY DR LAS VEGAS NV	13816812002
FABRE LUIS R & MARY A	2484 MONARCH BAY DR LAS VEGAS NV	13816812003
FANNING LAWRENCE J & ELIZABETH A	8229 DOLPHIN BAY CT LAS VEGAS NV	13816314046

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FAREIO JOHN J & GINGER L	2708 PORT OF CALL DR LAS VEGAS NV	13816314013
FARRIS DANIEL R	8044 MARBELLA CIR LAS VEGAS NV	13821510009
FAUL RHONDA R & FERDINAND J	8072 MARBELLA CIR LAS VEGAS NV	13816816025
FAZIO CHARLES & PATRICIA	7836 BLUEWATER DR LAS VEGAS NV	13816713061
FELDMAN ROBERT L	800 N RAINBOW BLVD #208 LAS VEGAS NV	13816812006
FERRARA ALBERT G & LETA F	2628 GOLDEN SANDS DR LAS VEGAS NV	13816713043
FERRARA KENNETH LIVING TRUST	2537 SEASCAPE DR LAS VEGAS NV	13816811009
FERRARA RICHARD F & RHEA E	8200 POINT VIEW CT LAS VEGAS NV	13816413058
FILENE LIVING TRUST	2529 SEASCAPE DR LAS VEGAS NV	13816811011
FINISTRELLA SALVATORE & GRACE	7836 SEA ROCK RD LAS VEGAS NV	13816713030
FINKELSTEIN SONIA & THEODORE E	7917 ROCKBRIDGE CIR LAS VEGAS NV	13816711046
FOGGIA TAMMY R	2428 LA SEYNE CT LAS VEGAS NV	13816816040
FOLEY CARMEN A REVOCABLE TRUST	1813 MARINGER DR #145 TARPON SPRINGS FL	13816413034
FORN NEIL II	8220 LAUDERDALE CT LAS VEGAS NV	13816314038
FRANK IRWIN Z & SHERRILL FAM TR	17528 ORNA DR GRANADA HILLS CA	13816413116
FRANK MARCIA	7900 ABALONE COVE DR LAS VEGAS NV	13816811005
FRANTZEN GINGER L	889 S RAINBOW #108 LAS VEGAS NV	13816713135
FRATE JOHN D	7820 BLUEWATER DR LAS VEGAS NV	13816713057
FREEMAN PAUL W & TRACEY L	2700 PORT OF CALL DR LAS VEGAS NV	13816314015
FRIARY BRITTANY	2404 HUNT CLUB ST LAS VEGAS NV	13821513005
FRULLA YVES	7917 LAKEPOINT CIR LAS VEGAS NV	13816615032
FUKUMOTO MARK S & ELAINE YEE C	16127 BONSALLO AVE GARDENA CA	13816713124
FULLER CHARLOTTE ANN	8028 SHORECREST DR LAS VEGAS NV	13816615011
FULTON SEENEA LA MAR	2528 SEASCAPE DR LAS VEGAS NV	13816811038
FUNSTON ROD B & LAURA A LIV TR	2589 SUN REEF RD LAS VEGAS NV	13816412001
FUOCO ALFRED P & DEBORAH RAE	943 OLD SCHOOL HOUSE RD BLAIRSTOWN NJ	13816413009
FURTADO GARY K & LORI ANN	2409 CHATFIELD DR LAS VEGAS NV	13821514001
G SQUARED TRUST	7924 ROCKBRIDGE CIR LAS VEGAS NV	13816711049
GABAT ADOLFO M & LETICIA B	981410 HOOHIKI ST PEARL CITY HI	13816715033
GALLAHAR JAMES & SUSAN	8125 TIARA COVE CIR LAS VEGAS NV	13816312032
GAMBEE ROBERT E	8201 LAUDERDALE CT LAS VEGAS NV	13816314028
GANESHA TRUST	2517 SUN REEF RD LAS VEGAS NV	13816412009

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GARCIA JUAN C & LYNNE C	8125 MOONSTONE CIR LAS VEGAS NV	13816312042
GARDNER ERNEST H & EILEEN R	2821 COVERT RD GLENVIEW IL	13816713117
GAUGHAN SHU YUN	8240 DOLPHIN BAY CT LAS VEGAS NV	13816314056
GAVRELEDES GARY	2624 PORT OF CALL DR LAS VEGAS NV	13816314021
GAY ELIA YOLANDA	2640 PORT OF CALL DR LAS VEGAS NV	13816314017
GERACI HELEN A	8237 DOLPHIN BAY CT LAS VEGAS NV	13816314048
GERMAIN FAMILY TRUST 2005	8216 DESERT BEACH LAS VEGAS NV	13816413002
GERMANO EMILIO & K 1990 LIV TR	2717 CRYSTAL BEACH DR LAS VEGAS NV	13816711007
GESSER ESTER	7856 BLUEWATER DR LAS VEGAS NV	13816713066
GEVORKIAN FAMILY TRUST	7916 MARBELLA CIR LAS VEGAS NV	13816816019
GINGUE SUZANNE	2632 PORT OF CALL DR LAS VEGAS NV	13816314019
GINSBURG JACK N & B Z REV TR	8205 OCEAN MIST CT LAS VEGAS NV	13816413056
GIOIA CRAIG & JOY TRUST	P O BOX 3391 BLUE JAY CA	13816713141
GIOVENCO BENJAMIN REV LIV TR	8109 DESERT JEWEL CIR LAS VEGAS NV	13816312051
GOEB ROGER & CHRISTA REV LIV TR	8112 TIARA COVE CIR LAS VEGAS NV	13816312026
GOLDMAN HOWARD	2128 SUN CLIFFS ST LAS VEGAS NV	13816713089
GOLLAZ JAMES & SANDRA	21617 GOLDEN POPPY CT WALNUT CA	13816816002
GORDON JUDITH & JOHN B JR	7629 GENESIS CT LAS VEGAS NV	13816715017
GORDON PAUL D & LINDA S	2645 SEASHORE DR LAS VEGAS NV	13816713005
GORE FEONA I TRUST	2520 SEASCAPE DR LAS VEGAS NV	13816811040
GOSSARD NANCY	2644 STARFISH CT LAS VEGAS NV	13816713100
GOTSHALL SCOTT & LAURIE	2649 SEAHORSE DR LAS VEGAS NV	13816713070
GRABILL ELIZABETH	2516 SEASCAPE DR LAS VEGAS NV	13816811041
GRANDUSKY GERALD J & NORMA J	7817 SURFCREST CT LAS VEGAS NV	13816713142
GRAY FAMILY TRUST	8032 SHORECREST DR LAS VEGAS NV	13816615010
GRAYSON FAMILY TRUST	8224 DESERT BEACH DR LAS VEGAS NV	13816413004
GREEN CATHERINE R	8245 DOLPHIN BAY CT LAS VEGAS NV	13816314050
GREENGARD LIVING TRUST	7924 CASTELLON CT LAS VEGAS NV	13816816032
GREENLEE JAMES K	110 POSHARD ST PLEASANT HILL CA	13816215029
GREENWALD WON S	8025 SECRET HARBOR CT LAS VEGAS NV	13816812020
GRONAUER ROBERT A & CATHY A	7936 MARBELLA CIR LAS VEGAS NV	13816816014
GROSSFIELD WILLIAM A & ESTHER	2616 PORT OF CALL DR LAS VEGAS NV	13816314023

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GROSSO JOHN M	8105 MOONSTONE CIR LAS VEGAS NV	13816710012
GUEDRY FAMILY TRUST	8112 MOONSTONE DR LAS VEGAS NV	13816312036
GUERIN JERRY & JOANNE	7628 MARLUNA CT LAS VEGAS NV	13816814036
GULLO FAMILY TRUST	7929 CASTELLON CT LAS VEGAS NV	13816816035
GUTIERREZ ISIDORO G & TEOFILA E	13717 ALDERTON LN CERRITOS CA	13821513004
GUTIERREZ LUIS & GABRIELA N	8032 SECRET HARBOR CT LAS VEGAS NV	13816812024
HAAS ROBERT J & GAYLE F FAM TR	2808 STERLING COVE DR LAS VEGAS NV	13816215033
HALE LEVESTER & ANNIE L	2544 SEASCAPE DR LAS VEGAS NV	13816811034
HALL JOSEPH E II & CAROLYN SUE	P O BOX 35170 LAS VEGAS NV	13816816015
HAM JOANN & W BENJAMIN	2521 SEASCAPE DR LAS VEGAS NV	13816811013
HAMEL LIONEL	7808 BLUEWATER DR LAS VEGAS NV	13816713054
HAMPTON ROBERT D & EILEEN	8212 POINT VIEW CT LAS VEGAS NV	13816413061
HAN MYONG T & JANICE	9057 NATIONAL PARK DR LAS VEGAS NV	13816314047
HANDAL ALICE A	8009 RYANS REEF LN LAS VEGAS NV	13816812010
HANDLON BILLY & KAREN REV LIV TR	8220 DESERT BEACH DR LAS VEGAS NV	13816413003
HANSEN ALYCIA K & TODD	8212 OCEAN MIST CT LAS VEGAS NV	13816413047
HANSEN FAMILY TRUST	2721 CRYSTAL BEACH DR LAS VEGAS NV	13816711006
HANSEN KIPLING G & GWENDOLYN E	7928 MARBELLA CIR LAS VEGAS NV	13816816016
HARDERN HUBERT R & TERESA	%G SCHLATTER 2244 BRIGHTON SHORE LAS VEGAS NV	13816816017
HARMS FAMILY TRUST	7921 CASTELLON CT LAS VEGAS NV	13816816037
HARPER WALTER & DOROTHIE FAM TR	8236 DOLPHIN BAY CT LAS VEGAS NV	13816314057
HARRINGTON DAVID B & HEIDI L	8108 MOONSTONE CIR LAS VEGAS NV	13816710016
HARRIS LARRY Q & PAMELA D	8021 RYANS REEF LN LAS VEGAS NV	13816812013
HARRISON Nanci I	7816 BLUEWATER DR LAS VEGAS NV	13816713056
HASTINGS DEAN P & KRISTINE	2549 MONARCH BAY DR LAS VEGAS NV	13816812025
HASTINGS FAMILY TRUST	8105 SAPPHIRE BAY CIR LAS VEGAS NV	13816312048
HASTINGS VIRGINIA J TRUST	2517 SEASCAPE DR LAS VEGAS NV	13816811014
HAUCK JEANNE L	2648 GOLDEN SANDS DR LAS VEGAS NV	13816713048
HEIDT WILLIAM F & SHEILA A	7841 SEA ROCK RD LAS VEGAS NV	13816713020
HELM GEORGE & SVETLANA A	2720 LAKECREST DR LAS VEGAS NV	13816711026
HENNIGAR BRUCE E & ZAIDA	7913 ROCKBRIDGE CIR LAS VEGAS NV	13816711045
HERSH AVI C & LORRAINE	8128 SAPPHIRE BAY CIR LAS VEGAS NV	13816312018

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HERTZ HALEY	2816 LAKECREST DR LAS VEGAS NV	13816615021
HERTZ MURRAY REVOCABLE FAMILY TR	2729 CRYSTAL BEACH DR LAS VEGAS NV	13816711004
HILLBOURN RICHARD & CINDY	2728 LAKE CREST DR LAS VEGAS NV	13816615029
HIRSCH FAMILY TRUST 1991	8208 OCEAN MIST CT LAS VEGAS NV	13816413046
HO CHUNG	8101 SAPPHIRE BAY CIR LAS VEGAS NV	13816710002
HOEFER MYRON P & PEGGY M	2620 PORT OF CALL DR LAS VEGAS NV	13816314022
HOFFMAN BERNARD	P O BOX 480425 LOS ANGELES CA	13821111008
HOFFMAN BERNARD	P O BOX 480425 LOS ANGELES CA	13816815002
HOFLAND BRADLEY J	4495 S PECOS RD LAS VEGAS NV	13816713145
HOFMAN SAMUEL	369-B 3RD ST #561 SAN RAFAEL CA	13816316007
HOGSETTE DONALD B & LISA L	7937 BRIDGE GATE DR LAS VEGAS NV	13816711012
HOLDER ELAINE & RICHARD H	2728 CRYSTAL BEACH DR LAS VEGAS NV	13816711031
HOLLAND ANGELA	7864 SURFCREST CT LAS VEGAS NV	13816713126
HOLT JOSEPH P & ELIZABETH M	2436 OCEAN FRONT DR LAS VEGAS NV	13816413112
HOLTHAUS THOMAS J	1972 ALPET DR MORGAN HILL CA	13816316001
HOPKINS ALBERT E & MARJORIEDELLE	1324 WIERFIELD DR PASADENA CA	13816711029
HOPKINS PINKIE M TRUST	2013 W 70TH ST LOS ANGELES CA	13816413088
HOTCHKISS DONALD L JR	2524 COVE RD LAS VEGAS NV	13816815054
HOWARD JOSEPH & DOROTHY TRUST	7912 ROCKBRIDGE CIR LAS VEGAS NV	13816711052
HOWARD MARK JAMES & DEBORAH G	7641 BELMONDO LN LAS VEGAS NV	13816814006
HOWELL ELEANOR	7920 MARBELLA CIR LAS VEGAS NV	13816816018
HUDSON RONALD B	5104 U ST WASHOUGAL WA	13816815004
HUNT LORNETTA FAMILY TRUST	8209 DESERT BEACH DR LAS VEGAS NV	13816413041
HURST TRACY LEE LIVING TRUST	P O BOX 34720 LAS VEGAS NV	13816713073
HUTCHISON PATRICK & CAPRICE M	2501 SEASCAPE DR LAS VEGAS NV	13816811018
IANNUCILLI MICHAEL	8109 TIARA COVE CIR LAS VEGAS NV	13816710007
IM SEUNG	7956 MARBELLA CIR LAS VEGAS NV	13816816009
INY Y & T FAMILY TRUST	8350 W SAHARA AVE #210 LAS VEGAS NV	13816711010
IREY BRIAN L	7948 MARBELLA CIR LAS VEGAS NV	13816816011
J & S YASKIN LIVING TRUST	8240 HILTON HEAD CT LAS VEGAS NV	13816314078
J G D LIVING TRUST	5104 DESERT LILY LN LAS VEGAS NV	13816818003
JACKSON STEVE A & TAMARA J	7848 BLUEWATER DR LAS VEGAS NV	13816713064

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JAGET DAVID & LAURA	2508 MONARCH BAY DR LAS VEGAS NV	13816812030
JAMESON CHARLES & GERRY	7625 NOCTURNE CT LAS VEGAS NV	13816814026
JANSSEN RICHARD B	1720 HORIZON HEIGHTS CIR EL CAJON CA	13816713103
JANUARY FAMILY TRUST	4165 LA JUNTA DR CLAREMONT CA	13816713075
JEFFREYS ROBERT W & LAURA LYNN	2712 CRYSTAL BEACH DR LAS VEGAS NV	13816711035
JENKINS VIVIAN H & YOLANDA L	6363 CHRISTIE AVE #807 EMERYVILLE CA	13816713092
JIANG XUN	2740 LAKECREST DR LAS VEGAS NV	13816615026
JINKERSON BARBARA R	8120 SAPPHIRE BAY CIR LAS VEGAS NV	13816312016
JOHNSON HARLEY G & JUDY A	7860 SKIFF LN LAS VEGAS NV	13816713026
JOHNSON JERE M & SANDRA J AMES	2641 STARFISH CT LAS VEGAS NV	13816713093
JOHNSON RILEY JR & SHIRLEY JEAN	723 W 123RD ST LOS ANGELES CA	13816413113
JOHNSTON RENATTA G	8008 MARBELLA CIR LAS VEGAS NV	13816816001
JONES MARIE L	7908 CORAL POINT AVE LAS VEGAS NV	13821512015
JOSEPH A LLEWELLYN & AUDREY	2921 HARBOR COVE DR LAS VEGAS NV	13816213020
JOYCE FAMILY TRUST	8128 DESERT JEWEL CIR LAS VEGAS NV	13816312004
JUBAY F JR & M S	2548 DAYSPRING ST LAS VEGAS NV	13816715032
KALB ROCHELLE A	7904 MARBELLA CIR LAS VEGAS NV	13816816022
KAMP DANIEL W & DOROTHY V	2704 LAKECREST DR LAS VEGAS NV	13816711022
KARJOO RAHIM	26862 VILLA LA MIRADA SAN JUAN CAPISTRANO CA	13816615061
KASKY RICHARD J & JUDITH ANN	8241 DOLPHIN BAY CT LAS VEGAS NV	13816314049
KAUFMANN KAREN & SHANE	2533 SEASCAPE DR LAS VEGAS NV	13816713134
KAUFMANN KAREN LIVING TRUST	2533 SEASCAPE DR LAS VEGAS NV	13816811010
KAVEH SASSAN SEPARATE PPTY TR	3150 N TENAYA #450 LAS VEGAS NV	13816611019
KEITH KAREN FAMILY TRUST	2408 ELLIOT KEY DR LAS VEGAS NV	13816413103
KELLEHER PAUL	7712 SEA CLIFF WY LAS VEGAS NV	13816815006
KERMANIAN DORON	8213 DESERT BEACH DR LAS VEGAS NV	13816413040
KERMANIAN MANSOUR & NAHID REV TR	8213 DESERT BEACH DR LAS VEGAS NV	13816413043
KHANBIJIAN ALEX & SABAB	7913 BRIDGE GATE DR LAS VEGAS NV	13816711018
KIDANE SISAY G	1452 PINNER CT #102 LAS VEGAS NV	13816312028
KIM WILLIAM W & MAERI	8013 HARBOR OAKS CIR LAS VEGAS NV	13816615044
KING ALICE & THOMAS LIVING TRUST	4510 334TH CT S E FALL CITY WA	13816713108
KING CHERYL LYNN	8020 HARBOR OAKS CIR LAS VEGAS NV	13816615047

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KING JAMES H & CONSTANCE G	2536 DAYSPRING ST LAS VEGAS NV	13816810002
KING JORINA E	8221 LAUDERDALE CT LAS VEGAS NV	13816411007
KINGSBURY STEVEN J & SUSAN M	2421 LA SEYNE CT LAS VEGAS NV	13816816042
KIRK OLLIE	8013 RYANS REEF LN LAS VEGAS NV	13816812011
KISH WALTER & CHOM SIM	2804 CRYSTAL BEACH DR LAS VEGAS NV	13816711008
KISH WALTER & CHOMSIM	2804 CRYSTAL BEACH DR LAS VEGAS NV	13816615062
KLAMANN DAVID	2656 GOLDEN SANDS DR LAS VEGAS NV	13816713050
KLENKE THOMAS J & MARIA B	7624 GENESIS CT LAS VEGAS NV	13816715011
KLINGSBERG EVAN & KATHLEEN	2810 W CHARLESTON BLVD #H84 LAS VEGAS NV	13816713125
KLINK JOHANNES W LIVING TR AGMT	2528 OCEAN FRONT DR LAS VEGAS NV	13816413120
KNEPP DONALD L	2416 OCEAN FRONT DR LAS VEGAS NV	13816413107
KOHANTEB BENNY B	2509 COVE RD LAS VEGAS NV	13816817001
KOHL JAMES V	5015 W SAHARA #125 LAS VEGAS NV	13816711015
KOLK JOLYNN	7873 SURFCREST CT LAS VEGAS NV	13816713128
KOLLER JUDITH LIVING TRUST	8133 SUNSET COVE DR LAS VEGAS NV	13816611020
KOLTOUKHCHIAN ROBERT	2501 SEA VENTURE DR LAS VEGAS NV	13816817057
KOPEC KEVIN	7628 GENESIS CT LAS VEGAS NV	13816715012
KOURAFAS CHRISTOPHER & PATRICIA	8117 TIARA COVE CIR LAS VEGAS NV	13816312034
KRAMER DONALD P & FLORDELIZ S	4100 WALTERS AVE NORTHBROOK IL	13816711002
KRAMER KIP A	2549 SEASCAPE DR LAS VEGAS NV	13816811002
KRAVITS FAMILY TRUST	2433 CHATFIELD DR LAS VEGAS NV	13816818005
KRITZLER MICHAEL JAN & GLORIA A	8016 CORAL POINT AVE LAS VEGAS NV	13821512003
KRUEGER DANIEL	7625 MARLUNA CT LAS VEGAS NV	13816814037
KRUTULEWSKI JO	7624 NOCTURNE CT LAS VEGAS NV	13816716009
KUHN BARBARA M & DALE E	9 HARMONY LN E SETAUKET NY	13816713003
KUHN FAMILY REVOCABLE LIVING TR	7908 BRIDGE GATE DR LAS VEGAS NV	13816711041
LAFOREST CHERYL LYNN & ERIN M	8224 DOLPHIN BAY CT LAS VEGAS NV	13816314059
LAGUNA BERNIE & ANITA	2633 GOLDEN SANDS DR LAS VEGAS NV	13816713113
LANIGAR EDWARD F & NATALIE	2424 LA SEYNE CT LAS VEGAS NV	13816816039
LARSON BRENT T & TRACY TAYLOR	5777 S 3550 W ROY UT	13816713013
LARSON FAMILY TRUST	7837 SEA ROCK RD LAS VEGAS NV	13816713021
LARSON ROBERT D JR & HELEN R	8201 OCEANMIST CT LAS VEGAS NV	13816413057

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LASTER JACQUELINE TRUST 2004	2644 SEAHORSE DR LAS VEGAS NV	13816713080
LEFKOWITZ DARIN	7629 NOCTURNE CT LAS VEGAS NV	13816814025
LEITNER MARC	8132 DESERT JEWEL CIR LAS VEGAS NV	13816312005
LEMAY CLAUDE	2925 HARBOR COVE DR LAS VEGAS NV	13816213019
LEO PATRICK	2632 STARFISH CT LAS VEGAS NV	13816713097
LEONE NADJA T	P O BOX 715 LA HABRA CA	13816713006
LEVINSON AUDREY S	7925 LAKEPOINT CIR LAS VEGAS NV	13816615034
LEVY FAMILY TRUST	1982 N RAINBOW BLVD #231 LAS VEGAS NV	13816312017
LEWIS LIVING TRUST	2516 GOLDEN SANDS DR LAS VEGAS NV	13816811023
LICHSTEIN LEONARD	7908 ABALONE COVE DR LAS VEGAS NV	13816811007
LITHERLAND MELISSA	2505 COVE RD LAS VEGAS NV	13816817002
LOEWY MARIA 1995 TRUST	8104 DESERT JEWEL CIR LAS VEGAS NV	13816218003
LONG RAY A	2660 SEASHORE DR LAS VEGAS NV	13816713084
LONG TRUST	2592 SUN REEF RD LAS VEGAS NV	13816412023
LORENZO KATHY A LIVING TRUST	2732 CRYSTAL BEACH DR LAS VEGAS NV	13816413042
LORENZO KATHY A LIVING TRUST	2732 CRYSTAL BEACH DR LAS VEGAS NV	13816711030
LOUGHLIN E G	2636 GOLDEN SANDS DR LAS VEGAS NV	13816713045
LUCUARA JESUS	8008 CORAL POINT AVE LAS VEGAS NV	13821512005
LUGASHI CAROL	2549 SUN REEF RD LAS VEGAS NV	13816412028
LUTON JEFF M & SHARON	2436 CHATFIELD DR LAS VEGAS NV	13816818006
LYNCH DAWNIE J	2625 SEASHORE DR LAS VEGAS NV	13816713010
MADSEN CHARLES C & NANCY L	7868 SKIFF LN LAS VEGAS NV	13816713024
MALCOLM JOHN M	92 NATOMA ST SAN FRANCISCO CA	13816412003
MALDONADO FRANCISCO	8229 HILTON HEAD CT LAS VEGAS NV	13816314063
MALKO ALEC	2540 MONARCH BAY DR LAS VEGAS NV	13816812026
MANNELLO JOE	7825 SURFCREST CT LAS VEGAS NV	13816713140
MARCELLO CARL D & CHRISTINE	7920 CASTELLON CT LAS VEGAS NV	13816816031
MARCHAND ARTURO E & MERIDA	8108 SAPPHIRE BAY CIR LAS VEGAS NV	13816312050
MARKENSON WILLIAM D & RHEA	6022 ELBA PL WOODLAND HILLS CA	13816413114
MARKEWICH GARY S & ROSA K	2870 S MARYLAND PKWY #120 LAS VEGAS NV	13816812019
MARTIN DOROTHY JEAN TRUST	2512 GOLDEN SANDS DR LAS VEGAS NV	13816811022
MARTIN JOSEPH & CLARE	8113 DESERT JEWEL CIR LAS VEGAS NV	13816312013

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MARTINEK RICHARD FAMILY TRUST	2508 SUNSET BEACH LN LAS VEGAS NV	13816413031
MASKALA ARTHUR J & BARBARA A	P O BOX 33609 LAS VEGAS NV	13816412002
MASSOUD BOZENA & ALAA	2532 DAYSPRING ST LAS VEGAS NV	13816814051
MATHER CECILIA	8105 DESERT JEWEL CIR LAS VEGAS NV	13816312052
MATSUDA PHYLLIS Y FAMILY TRUST	8200 LAUDERDALE CT LAS VEGAS NV	13816314041
MATTEUCCI LUANNE LIVING TRUST	8225 POINT VIEW CT LAS VEGAS NV	13816413068
MCCALL JIMMIE	7921 MARBELLA CIR LAS VEGAS NV	13816816029
MCCORD RICHARD D JR	7916 ROCKBRIDGE CIR LAS VEGAS NV	13816711051
MCDONALD NORVEL & SHELLEY	3678 HOLBORO DR LOS ANGELES CA	13816413035
MCENTIRE DAVID R	8132 SAPPHIRE BAY CIR LAS VEGAS NV	13816312019
MCGHIN CONSTANCE T	2524 MONARCH BAY DR LAS VEGAS NV	13816812028
MCGIRL PATRICIA A & PATRICK	2557 MONARCH BAY DR LAS VEGAS NV	13816412019
MCGRAW ROBERT & CLARE TRUST	1982 N RAINBOW BLVD #122 LAS VEGAS NV	13816711033
MCINNES JULIE	8241 HILTON HEAD CT LAS VEGAS NV	13816314066
MCJIMSON ANDREW & SHERRY	2545 DAYSPRING ST LAS VEGAS NV	13816715028
MCKLVEEN CARL R & EDNA R	8017 HARBOR OAKS CIR LAS VEGAS NV	13816615045
MCLAUGHLIN ROBERT A & VIRGINIA L	2525 COVE RD LAS VEGAS NV	13816815003
MELKO INVESTMENT CO INC	P O BOX 681210 PARK CITY UT	13816713011
MELNICK STANLEY M & SANDRA	2636 PORT OF CALL DR LAS VEGAS NV	13816314018
MENDELSON MAIDEE F	2616 GOLDEN SANDS DR LAS VEGAS NV	13816713040
MENNITI JOHN	2661 SEASHORE DR LAS VEGAS NV	13816713001
MERIN HYL A	5952 RUTHWOOD DR CALABASAS CA	13816713122
MERRIMAN DOYLE G & LYNDA	8200 ARCH BAY LN LAS VEGAS NV	13816413093
MESHKAT NUCHINE	2533 DAYSPRING ST LAS VEGAS NV	13816814001
MESSINGER ERWIN	2800 CRYSTAL BEACH DR LAS VEGAS NV	13816615063
METZGER JENNIFER	2637 STARFISH CT LAS VEGAS NV	13816713094
MIGNERON GERALD K & GLORIA R	152 HIGHLAND RD SIMI VALLEY CA	13816817008
MIGNONE MARILYN M	2520 GOLDEN SANDS DR LAS VEGAS NV	13816811024
MIGUEZ-TAPIA JOSE F	8224 POINT VIEW CT LAS VEGAS NV	13816413064
MILKIE JOHN	2812 LAKE CREST DR LAS VEGAS NV	13816615022
MILLER JOHN R & PRISCILLA F	2533 SUNSET BEACH LN LAS VEGAS NV	13816413007
MILLER JOHN SCOTT & WENDI M	8112 DESERT JEWEL CIR LAS VEGAS NV	13816218001

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MINCIN DAVID	8217 DOLPHIN BAY CT LAS VEGAS NV	13816314043
MINEAR ELIZABETH A	2628 SEAHORSE DR LAS VEGAS NV	13816713076
MIRANDA DAVID C	2640 SEASHORE DR LAS VEGAS NV	13816713149
MIRANDA GLORIA	7844 SEA ROCK RD LAS VEGAS NV	13816713028
MOI USOALII JUNIOR & SELIANA S	7920 ROCKBRIDGE CIR LAS VEGAS NV	13816711050
MOLSBERRY TRUST	2733 CRYSTAL BEACH DR LAS VEGAS NV	13816711003
MONROE VICKI J	8309 OPAL COVE DR LAS VEGAS NV	13816215025
MONTALBANO MARY L	7868 SURFCREST CT LAS VEGAS NV	13816713127
MONTELEONE LOUIS & EMILY	8124 TIARA COVE CIR LAS VEGAS NV	13816312029
MOON DAVID D & VICTORIA	8016 HARBOR OAKS CIR LAS VEGAS NV	13816615048
MORANCEY SUSAN DANIELS	2528 GOLDEN SANDS DR LAS VEGAS NV	13816811026
MORGAN MICHAEL A & CATHERINE B	7925 ROCKBRIDGE CIR LAS VEGAS NV	13816711048
MORRIS CLAUDIUS A TRUST	8220 DOLPHIN BAY CT LAS VEGAS NV	13816314060
MORRIS ROBERT F & DONA L	7900 CORAL POINT AVE LAS VEGAS NV	13821513002
MORRISON LAWRENCE R & MARY ANN	8020 CORAL POINT AVE LAS VEGAS NV	13821512002
MOVAHED MOHAMMED R	7904 BRIDGE GATE DR LAS VEGAS NV	13816711042
MOWREY JAIME L	8128 TIARA COVE CIR LAS VEGAS NV	13816312030
MUCKLERoy MARTIN A	2412 CHATFIELD DR LAS VEGAS NV	13821511001
MUELLER MARY	7829 SEA ROCK RD LAS VEGAS NV	13816811031
MUELLER STEPHEN C & DIANA M	2724 CRYSTAL BEACH DR LAS VEGAS NV	13816711032
MULTANI MARGARET	8013 SHORECREST DR LAS VEGAS NV	13816615053
MURONE VINCENT P & C A LIV TR	8000 VILLA FINESTRA LAS VEGAS NV	13821512004
MURPHY GENIA	2600 SUN REEF COVE LAS VEGAS NV	13816316006
MURRAY MICHAEL M & JUDITH FAM TR	8104 TIARA COVE CIR LAS VEGAS NV	13816710003
MUSANTE MICHAEL & JANICE E	8124 MOONSTONE CIR LAS VEGAS NV	13816312039
MYERS ROBERT W & K L REV LIV TR	8204 ARCH BAY LN LAS VEGAS NV	13816413092
N R L REVOCABLE LIVING TRUST	7737 SHORE HAVEN DR LAS VEGAS NV	13816817006
NAGUIT WILSON R	26562 BLACK OAK DR VALENCIA CA	13816710011
NASH NANCY	8100 SAPPHIRE BAY CIR LAS VEGAS NV	13816710001
NATARA HOLDING CO L L C	2955 E SUNSET RD #108 LAS VEGAS NV	13816713004
NELLIS ANA MARIA & GARY A	8129 SAPPHIRE BAY CIR LAS VEGAS NV	13816312021
NELLIS ROBERT M & LAURIE Y	7869 SURFCREST CT LAS VEGAS NV	13816713129

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NELSON DEAN W & JENNIFER S	P O BOX 470 LAS VEGAS NV	13816615040
NELSON JOYCE A	8100 DESERT JEWEL CIR LAS VEGAS NV	13816218004
NELSON SHARON L	2549 DAYSPRING ST LAS VEGAS NV	13816715027
NEWLIN JARED EDWARD & JEANNE L	2645 GOLDEN SANDS DR LAS VEGAS NV	13816713110
NGUYEN HAO	10025 BROOKSHIRE AVE DOWNEY CA	13816816026
NICHOLS HARLAN L & CHARLES O	2561 SEASCAPE DR LAS VEGAS NV	13816713017
NICKELS ALLEN J & ALICE	8036 MARBELLA CIR LAS VEGAS NV	13821510007
NIGAM CHARAN	1709 ENGLISH OAK ST LAS VEGAS NV	13816413124
NORD ELCENDIA REVOCABLE TRUST	8232 LAUDERDALE CT LAS VEGAS NV	13816314035
OAKS RANDY L & DAWN K	7928 CASTELLON CT LAS VEGAS NV	13816816033
O'GARA JOHN ROBERT	2600 PORT OF CALL DR LAS VEGAS NV	13816314027
OGILVIE GREG GARLAND	110 POSHARD ST PLEASANT HILL CA	13816711024
OHAYON AVI & SARA	P O BOX 60065 LAS VEGAS NV	13816812031
OKAZAKI-MORGAN DIANE T	8208 POINT VIEW CT LAS VEGAS NV	13816413060
ONGCHANGCO KAYUMANGGI N	11026 JERRY PL CERRITOS CA	13816413117
O'REILLY JAMES M	8205 LAUDERDALE CT LAS VEGAS NV	13816314029
OSBORNE AILEEN	2493 SUN REEF RD LAS VEGAS NV	13816412012
OSGOOD KENNETH & R L REV TR AGMT	8213 POINT VIEW CT LAS VEGAS NV	13816413071
OSHIRO SALLY K	2652 GOLDEN SANDS DR LAS VEGAS NV	13816713049
OSIECKI ANTHONY & LOUISE 2005	7908 MARBELLA CIR LAS VEGAS NV	13816816021
O'SULLIVAN JOHN G & JOYCE LIV TR	7876 SKIFF LN LAS VEGAS NV	13816713022
OUELLETTE RICHARD T & CAROL A	2425 OCEAN FRONT DR LAS VEGAS NV	13816413097
OYANAGI FAMILY TRUST	2652 STARFISH CT LAS VEGAS NV	13816713102
OZER NISSIM	7633 GENESIS CT LAS VEGAS NV	13816715016
PARISH ROBERT L & RUTH E	7708 SEA CLIFF WY LAS VEGAS NV	13816815007
PARKE JERY CHARLES	2528 SUNSET BEACH LN LAS VEGAS NV	13816413036
PARKER FAMILY TRUST	8000 RYANS REEF LN LAS VEGAS NV	13816812014
PARNELLO LORI	2532 SUNSET BEACH LN LAS VEGAS NV	13816413037
PASSIFIUME BRANDI L	2824 EDGE ROCK CIR LAS VEGAS NV	13816818007
PAULSEN DENNIS J	8217 POINT VIEW CT LAS VEGAS NV	13816413070
PAVKOVIC FRANK & BESS G	8200 OCEAN GATE WY LAS VEGAS NV	13816413075
PAYNE JULIE	2809 STERLING COVE DR LAS VEGAS NV	13816215028

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PEACE ROBERT J & NANCY J	6309 BRISTOL WY LAS VEGAS NV	13821512010
PERESS SHIMON & HANNAH K TRUST	8109 SAPPHIRE BAY CIR LAS VEGAS NV	13816312047
PERRINO NICHOLAS A & PAULA M	2420 LA SEYNE CT LAS VEGAS NV	13816816038
PERRY ALAN F & PATRICIA D	9820 RUSSETTWOOD CIR LAS VEGAS NV	13816815056
PERZY FAMILY LIVING TRUST	2424 OCEAN FRONT DR LAS VEGAS NV	13816413109
PETERSON CONNIE	7904 CORAL POINT AVE LAS VEGAS NV	13821513001
PETERSON MARY CECELIA	7060 GARDEN GROVE BLVD WEST MINSTER CA	13816314016
PFEIFER SHIRLEY A	2700 LAKECREST DR LAS VEGAS NV	13816711021
PHASTA FAMILY L P	%DIPHASTA FAM TR 2729 CYRSTAL BEACH DR LAS VEGAS NV	13816711009
PHOTIAS GEORGE N & FRANCES J	8217 OCEAN MIST CT LAS VEGAS NV	13816413053
PICCHIOTTI FAMILY TRUST	8212 DOLPHIN BAY CT LAS VEGAS NV	13816314062
PICKENS EARL FRANKLIN	8216 OCEAN MIST CT LAS VEGAS NV	13816413048
PIETREK MICHAEL & CAROLYN M	7916 BRIDGE GATE DR LAS VEGAS NV	13816711039
PIPER PAMELA L	2716 CRYSTAL BEACH DR LAS VEGAS NV	13816711034
PLEVA CHRISTIAN	2461 SUN REEF RD LAS VEGAS NV	13816412016
PLOTKIN LIVING TRUST	2800 LAKECREST DR LAS VEGAS NV	13816615025
POIRE DAVID I	2504 GOLDEN SANDS DR LAS VEGAS NV	13816811020
PONZIO VINCENT & NORA	8224 OCEAN GATE WY LAS VEGAS NV	13816413081
POPE CHARITA D	7920 16TH ST NW WASHINGTON DC	13816713060
POWELL FAMILY TRUST	8229 POINT VIEW CT LAS VEGAS NV	13816413067
PRASAD AMEET V	7624 DESERT LARGO AVE LAS VEGAS NV	13816715023
PRIMITIVE TECHNOLOGIES LTD	%W & D MEYER 8116 TIARA COVE CIR LAS VEGAS NV	13816312027
PROPER ROBERT & CAROLYN A	2420 OCEAN FRONT DR LAS VEGAS NV	13816413108
PRUITT FAMILY TRUST	5238 S HOLT AVE LOS ANGELES CA	13816713071
PUPA JAMES T	7861 SURFCREST CT LAS VEGAS NV	13816713131
PURER PHILLIP TRUST	16654 SOLEDAD CANYON RD #286 CANYON COUNTRY CA	13816713016
R B O TRUST	8224 OCEAN MIST CT LAS VEGAS NV	13816413050
R K M DECLARATION TRUST	%R MCDONALD 2582 LINCOLN BLVD #300 MARINA DEL REY CA	13816314026
RADULOVIC CECILIE	2600 SEASHORE DR LAS VEGAS NV	13816713143
RAKE LIVING TRUST	8313 OPAL COVE DR LAS VEGAS NV	13816215024
RALPHS PHILIP M & MARY B	8100 SHORECREST DR LAS VEGAS NV	13816615009
RAMIREZ REBECCA	2604 GOLDEN SANDS DR LAS VEGAS NV	13816713037

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RAMIREZ RIGOBERTO	8064 MARBELLA CIR LAS VEGAS NV	13821510014
RAMIREZ RUTH	P O BOX 37 CALIFON NJ	13816815008
RANDALL E BROOX	7624 BELMONDO LN LAS VEGAS NV	13816814045
RANDO CAROLYN J	7520 CORAL POINT AVE LAS VEGAS NV	13821512012
RATHBUN ANNOLA JEAN LIVING TRUST	8025 SHORECREST DR LAS VEGAS NV	13816615056
RAYMOND LISA M	8009 HARBOR OAK CIR LAS VEGAS NV	13816615043
REBELO FRANCISCO P & JAMIE	7625 GENESIS CT LAS VEGAS NV	13816715018
RECTOR MARY ANN	2516 DAYSPRING ST LAS VEGAS NV	13816814047
REDA JANIS B	2657 SEAHORSE DR LAS VEGAS NV	13816713068
REEDER BURRELL & LUCILLE REV TR	8216 ARCH BAY LN LAS VEGAS NV	13816413089
REGO RALPH R & MARIA A	2501 SUN REEF RD LAS VEGAS NV	13816412011
REIDER ROBERT V	211 2ND ST HUNTINGTON BEACH CA	13816815009
REMETA DINA	2649 GOLDEN SANDS DR LAS VEGAS NV	13816713109
REVELLE DONLEIGH G & A REV TR	2524 SEASCAPE DR LAS VEGAS NV	13816811039
RICO ALEX & MAGDALENA	8648 S ROBERTS RD #103 JUSTICE IL	13816713065
RIDLEY GRACE E	7629 BELMONDO LN LAS VEGAS NV	13816814009
RIGGS RONALD JOHNSON LIVING TR	8104 SHORECREST DR LAS VEGAS NV	13816615008
RILEY MICHAEL	7832 SEA ROCK RD LAS VEGAS NV	13816713031
RISPOLI PHILIPPE	2413 OCEAN FRONT LAS VEGAS NV	13816413094
RITZ COVE HOMEOWNERS ASSOCIATION	%KEY MGT 3172 N RAINBOW P M B 227 LAS VEGAS NV	13816412024
RITZ COVE HOMEOWNERS ASSOCIATION	3172 N RAINBOW BLVD P M B 227 LAS VEGAS NV	13816812032
RODGERS NILES G	9 E 45TH ST 3RD FL NEW YORK NY	13816615041
ROFFMAN IRWIN	8212 ARCH BAY LN LAS VEGAS NV	13816413090
ROHANI ARDESHIR	7633 BELMONDO LN LAS VEGAS NV	13816814008
RONSHAUGEN STEPHEN C & BONITA J	7976 MARBELLA CIR LAS VEGAS NV	13816816004
ROSEN MARK J & ERCELIA D	8129 TIARA COVE CIR LAS VEGAS NV	13816312031
ROSENBERG JAN GREGG & DARLENE K	7933 BRIDGE GATE DR LAS VEGAS NV	13816711013
ROSENFELD EFREM	%ROSENFELD LAW GROUP 6725 VIA AUSTI PKWY #200 LAS VEGAS NV	13816312015
ROSENFELD VALERIE J	8121 TIARA COVE CIR LAS VEGAS NV	13816312033
ROSS TIM & MARY	2537 DAYSPRING ST LAS VEGAS NV	13816810001
ROSS YVONNE	7829 SURFCREST CT LAS VEGAS NV	13816713139
ROWAN JOSEPH A & BARBARA ANN	8012 HARBOR OAKS CIR LAS VEGAS NV	13816615049

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ROXBURY FREDERICK G & STEPHANIE	2628 STARFISH CT LAS VEGAS NV	13816713096
RUBY SCOTT L	2529 DAYSPRING ST LAS VEGAS NV	13816814002
RUDNICKI ZIGMUND J	8228 POINT VIEW CT LAS VEGAS NV	13816413065
RUGGLES SHANN D	7865 SURFCREST CT LAS VEGAS NV	13816713130
RUPCHIAN FAMILY TRUST	817 W ASHIYA RD MONTEBELLO CA	13816314065
S V G LIVING TRUST	7924 LAKEPOINT CIR LAS VEGAS NV	13816615038
SANCHEZ FAMILY TRUST	8129 MOONSTONE CIR LAS VEGAS NV	13816312058
SANDERS JERRY K & CYNTHIA M	2541 SEASCAPE DR LAS VEGAS NV	13816811004
SANTAGATA FRANK L & DIANA	7628 DESERT LARGO AVE LAS VEGAS NV	13816715024
SANTIAGO ANNABELLE	2512 COVE RD LAS VEGAS NV	13816815057
SAPPHIRE BAY INVESTMENTS L L C	%R & J GRANT 8104 SAPPHIRE BAY CIR LAS VEGAS NV	13816312049
SATTERFIELD EDWARD & SHIRLEY T	8629 CANYON VIEW DR LAS VEGAS NV	13816814004
SAVAGE SCOTT & CORYN A	8024 MARBELLA CIR LAS VEGAS NV	13821510004
SAVERINO VINCENT M & MARY REV TR	7960 MARBELLA CIR LAS VEGAS NV	13816816008
SAVINO LINDA	2632 SEASHORE DR LAS VEGAS NV	13816713147
SCANLON JOHN M & MARIA D	7640 SPRUCE RUN CT LAS VEGAS NV	13816715005
SCARCELLI JOHN C & MARIANNE SUE	8021 HARBOR OAKS CIR LAS VEGAS NV	13816615046
SCHAGER SUSAN & ALAN	2536 SEASCAPE DR LAS VEGAS NV	13816811036
SCHANOWITZ YISROEL	2492 MONARCH BAY DR LAS VEGAS NV	13816812001
SCHEER FAMILY TRUST	7628 NOCTURNE CT LAS VEGAS NV	13816814024
SCHEFFLIN FAMILY TRUST	2661 GOLDEN SANDS DR LAS VEGAS NV	13816713106
SCHIFRIN BETTE REVOCABLE TRUST	2648 SEA HORSE DR LAS VEGAS NV	13816713081
SCHILLEREFF RICHARD R & PENNY L	2801 STERLING COVE DR LAS VEGAS NV	13816215030
SCHINDLER MARILYN & LESLIE	2509 SUN REEF RD LAS VEGAS NV	13816412010
SCHREPFFER KURT A	4550 W OAKLEY BLVD #111 LAS VEGAS NV	13816712005
SCHRUMM FRED J & JANICE M	7844 CORAL POINT AVE LAS VEGAS NV	13821513003
SCHWARTZ PHYLLIS LIVING TRUST	8205 POINT VIEW CT LAS VEGAS NV	13816413073
SCHWARZ ROBERT E & LORRAINE	7928 LAKEPOINT CIR LAS VEGAS NV	13816615037
SCHWIEGER ROERT G & JESSICA M	7628 BELMONDO LN LAS VEGAS NV	13816814046
SCINTA JOSEPH F & MARY A	7621 DESERT LARGO AVE LAS VEGAS NV	13816715035
SCOTT DEBRA G	7860 BLUEWATER DR LAS VEGAS NV	13816713067
SEARS SANDERS & MARY	8032 RYANS REEF LN LAS VEGAS NV	13816812018

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SEGRESS ROBERT E & BARBARA J	2640 STARFISH CT LAS VEGAS NV	13816713099
SELMA PEGGY M	2608 SUN REEF RD LAS VEGAS NV	13816316004
SELZNICK JOEL & ARLENE	8009 MARBELLA CIR LAS VEGAS NV	13816816044
SERAPHIM ENTERPRISES	2524 GOLDEN SANDS DR LAS VEGAS NV	13816811025
SEROTA ALVIN & BEVERLY I REV TR	2540 GOLDEN SANDS DR LAS VEGAS NV	13816713034
SEVOUGIAN S DAVID	8221 OCEAN GATE WY LAS VEGAS NV	13816413102
SEWANI FARIDA KHAN	2809 CRYSTAL BEACH DR LAS VEGAS NV	13816615003
SHAAR ROGER H & DONNA J	10742 WALNUT DR SHADOW HILLS CA	13816713008
SHADDY ROBERT	7968 MARBELLA CIR LAS VEGAS NV	13816816006
SHANKU MARILYN	2804 LAKECREST DR LAS VEGAS NV	13816615024
SHANNER JEFFFREY IAN & YOLANDA R	715 S 6TH ST LAS VEGAS NV	13816713015
SHAPIRO LEONARD B	7224 TRADING POST LN LAS VEGAS NV	13816312057
SHEPPARD TRUST	7848 SEA ROCK RD LAS VEGAS NV	13816713027
SHERMAN TRUST	7912 CORAL POINT AVE LAS VEGAS NV	13821512014
SHESTOVETSKY NATALIA & ALEXANDER	4179 SUNNYSLOPE AVE #101 SHERMAN OAKS CA	13816411005
SHIMOMURA KIYOJI & SETSUKO	8200 OCEAN MIST CT LAS VEGAS NV	13816413044
SIAMESE TRUST	7916 CORAL POINT AVE LAS VEGAS NV	13821512013
SIEGEL JANNEANE R	8000 CORAL POINT AVE LAS VEGAS NV	13821512007
SIMIK STANLEY S II & BETTY L B	8220 POINT VIEW CT LAS VEGAS NV	13816413063
SINGER FAMILY TRUST	8117 MOONSTONE CIR LAS VEGAS NV	13816312044
SINODINOS WILLIAM J & TOULA	35653 LINDA DR FREMONT CA	13816713132
SIRGO SANDRA JEAN REV LIV TR	7836 SURFCREST CT LAS VEGAS NV	13816713119
SLAVIK GARY W	7637 GENESIS CT LAS VEGAS NV	13816715015
SLOVAK EDWARD & CHASE E	8133 DESERT JEWEL LAS VEGAS NV	13816312008
SMITH ALBERT L & KIMBERLY A	7929 LAKEPOINT CIR LAS VEGAS NV	13816711027
SMITH CRYSTAL	8233 LAUDERDALE CT LAS VEGAS NV	13816411004
SMITH JAMES E REVOCABLE LIV TR	7852 SURFCREST CT LAS VEGAS NV	13816713123
SNYDER JANET & THEODORE G	7832 SURFCREST CT LAS VEGAS NV	13816713118
SOBHANI HESAM	%UNITED CAR CO P O BOX 722561 SAN DIEGO CA	13816713052
SORENSEN LIVING TRUST	P O BOX 33070 LAS VEGAS NV	13816615007
SORENSEN FRED C	2800 STERLING COVE LAS VEGAS NV	13816215031
SOUTHWICK CHRISTOPHER & SHANNON	7636 DESERT LARGO AVE LAS VEGAS NV	13816715026

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SOZANSKI ROBERT A	2417 OCEAN FRONT DR LAS VEGAS NV	13816413095
SPENCE RICHARD E & DIANNE P	8221 OCEAN MIST CT LAS VEGAS NV	13816413052
SPERRY BRETT W	2553 SEASCAPE DR LAS VEGAS NV	13816811001
SPIERER ALLEN R TRUST	8020 MARBELLA CIR LAS VEGAS NV	13821510003
SPRAGUE HOWARD W	8228 DESERT BEACH DR LAS VEGAS NV	13816413005
STABINSKY MIRON & DORIS	8020 SHORECREST DR LAS VEGAS NV	13816615013
STAHL ALLAN & ELIZABETH	2469 SUN REEF RD LAS VEGAS NV	13816412015
STANDLEY JARY P & JACQUELYN B	7917 MARBELLA CIR LAS VEGAS NV	13816816030
STCLAIR RICHARD	2524 DAYSPRING ST LAS VEGAS NV	13816814049
STEIN STUART P & AMY R	2552 SEASCAPE DR LAS VEGAS NV	13816713019
STEINBERG BRIAN J & SABINA	8116 MOONSTONE CIR LAS VEGAS NV	13816312037
STEWART RICHARD F & CHRISTY K	8213 LAUDERDALE CT LAS VEGAS NV	13816314031
STILES JAMES O & LINDA	7972 MARBELLA CIR LAS VEGAS NV	13816816005
STOCHEL ALESIA A & EDWARD L	8208 ARCH BAY LN LAS VEGAS NV	13816413091
STOCKDALE FAMILY TRUST	2424 CRYSTAL RIVER CT LAS VEGAS NV	13816413098
STONE RICHARD C JR & KAREN H	7924 BRIDGE GATE DR LAS VEGAS NV	13816711037
STOUT RONALD L & PATRICIA L	8232 DOLPHIN BAY CT LAS VEGAS NV	13816314058
STRATTON GWENDOLYN	7812 BLUEWATER DR LAS VEGAS NV	13816713055
STUBBS DAVID & KATHY A	8113 MOONSTONE CIR LAS VEGAS NV	13816312045
SUAREZ MARTA & DIEGO J	7932 CASTELLON CT LAS VEGAS NV	13816816034
SUGARMAN NATE A & MIGDALIA	7820 SURFCREST CT LAS VEGAS NV	13816713115
SULLIVAN STACEY T	2516 SUNSET BEACH LN LAS VEGAS NV	13816413033
SUSTAITA ANTONIO C	8117 DESERT JEWEL CIR LAS VEGAS NV	13816312012
SUTTON RICK M	11 ISLAND CLUB DR NEW ORLEANS LA	13816713086
SWAYNE DAVE E & ANDREA C	1667 N CHUMASH ST ORANGE CA	13816615059
SYMINGTON ANA	8124 DESERT JEWEL CIR LAS VEGAS NV	13816312003
SZURAN RICK A & RICHARD ALDEN	8021 SHORECREST DR LAS VEGAS NV	13816615055
TABAK JUDAH	8004 CORAL POINT AVE LAS VEGAS NV	13821512006
TAN JOHN ALFRED Y	2508 COVE RD LAS VEGAS NV	13816815058
TARLETON JULIAN A & DORIS L	2517 DAYSPRING ST LAS VEGAS NV	13816814005
TASHJIAN SAM & R 2001 LIV TR	8001 RYANS REEF LN LAS VEGAS NV	13816812008
TATZ SURVIVOR'S TRUST A	2648 SEASHORE DR LAS VEGAS NV	13816713151

Report of All Selected Parcels**Case Number:** SUP-17307**Printed On:** Fri: October 20, 2006

Owner	Address	Parcel Number
TAYLOR FRED & JODI	8017 SHORECREST DR LAS VEGAS NV	13816615054
TAYLOR TERRY D & PHYLLIS J	2660 GOLDEN SANDS DR LAS VEGAS NV	13816713051
TELL DON & RITA FAMILY TRUST	2532 OCEAN FRONT DR LAS VEGAS NV	13816413121
TENAGLIA ANTONIO	2736 LAKECREST DR LAS VEGAS NV	13816615027
TENG CHUCK L & STELLA K	2704 PORT OF CALL DR LAS VEGAS NV	13816314014
TERRY BETTYE	2609 SUN REEF RD LAS VEGAS NV	13816316003
TERUYA HARRY H & NORMA	8208 OCEAN GATE WY LAS VEGAS NV	13816413077
TETREAULT STEVEN R & LEIGH M	2537 SUNSET BEACH LN LAS VEGAS NV	13816413006
THOMAS ANDREA W	8016 RYANS REEF LN LAS VEGAS NV	13816812016
THORNTON RICHARD D	7825 SEA ROCK RD LAS VEGAS NV	13816811030
TOBIAS PAMELA M	2604 SEASHORE DR LAS VEGAS NV	13816713144
TODARO LIVING TRUST	2557 SEASCAPE DR LAS VEGAS NV	13816713018
TREVINO MARIO H	7952 MARBELLA CIR LAS VEGAS NV	13816816010
TSCHERNE KIMBERLY	7841 SURFCREST CT LAS VEGAS NV	13816713136
TSENG AMY J QUAL PERS RES TR	2453 SUN REEF RD LAS VEGAS NV	13816412017
TSIAO T RYAN	8317 OPAL COVE DR LAS VEGAS NV	13816215023
TURNBULL DAVID W & DOROTHY	2504 COVE RD LAS VEGAS NV	13816817058
TURNER S KENT	2653 SEAHORSE DR LAS VEGAS NV	13816713069
TURNER OLIVE M & DAVID L	8209 OCEAN MIST CT LAS VEGAS NV	13816413055
UMNUSS LIVING TRUST	8205 ARCH BAY LN LAS VEGAS NV	13821111006
UNDERWOOD CASEY A	7928 BRIDGE GATE DR LAS VEGAS NV	13816711036
UNGAR MADELINE C	7825 BLUEWATER DR LAS VEGAS NV	13816713105
UNRUH LORI M	8213 OCEAN MIST CT LAS VEGAS NV	13816413054
URSICK DIANNE SEPARATE PPTY TR	7833 SURFCREST CT LAS VEGAS NV	13816713138
UYEDA GLEN M & BARBARA K	%M TERA0 12352 MARTHA ANN DR LOS ALAMITOS CA	13816818004
VACCARO DONNA	7921 LAKEPOINT CIR LAS VEGAS NV	13816615033
VANDERMEYDEN MARK PETER & KAREN	P O BOX 2713 BLUEJAY CA	13816713120
VANDEWAY JAMES F & DARLA R	2421 CHATFIELD DR LAS VEGAS NV	13816818002
VANFOSSEN RAY O & JANET L	5 JUDITH PL LONGVIEW WA	13816713111
VAUGHAN CHARLES E & JOAN A TRS	8033 SHORECREST DR LAS VEGAS NV	13816615058
VAUGHN JERRY	8237 LAUDERDALE CT LAS VEGAS NV	13816411003
VENTEAU JOHN & MARIE FAMILY TR	199 N ARROYO GRANDE #150 HENDERSON NV	13816713063

Report of All Selected Parcels**Case Number:** SUP-17307**Printed On:** Fri: October 20, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
VENTRESS RHONDA D	2649 STARFISH CT LAS VEGAS NV	13816713091
VERGE GREGOIRE M	8220 OCEAN GATE DR LAS VEGAS NV	13816413080
VERGITH DANIEL K & PATRICIA A	8201 POINT VIEW CT LAS VEGAS NV	13816413074
VERGONIA TERESITA	8008 HARBOR OAKS CIR LAS VEGAS NV	13816615050
VILLAGE PUB SUMMERLIN HOLDINGS	4178 KOVAL LN LAS VEGAS NV	13816820001
VILLARUZ PETRONA B	2520 DAYSPRING ST LAS VEGAS NV	13816814048
VILLEMIN LUCETTE GILDA	7716 SEA CLIFF WY LAS VEGAS NV	13816815005
VINNIK CHARLES A & NANCY	8028 MARBELLA CIR LAS VEGAS NV	13821510005
VIRATA MARC J & TITA B	2740 CRYSTAL BEACH DR LAS VEGAS NV	13816615064
VOITH LIVING TRUST	8204 OCEAN MIST CT LAS VEGAS NV	13816413045
VOLK MICHAEL LEFKOWITZ REV TR	8212 DESERT BEACH DR LAS VEGAS NV	13816413001
VUILLEMIN PAUL & ODILE M	7705 SEA CLIFF WY LAS VEGAS NV	13816815052
VUKASIN JILL	2700 SAINT CLAIR DR LAS VEGAS NV	13816712006
W F N FAMILY TRUST	4012 S RAINBOW BLVD #K502 LAS VEGAS NV	13816615036
W F T NV L L C	%C WESTPHAL 435 N OAKHURST DR BEVERLY HILLS CA	13816717002
WADDELL HELEN M & JOHN M	P O BOX 2507 OCEANSIDE CA	13816713148
WAGNER BARBARA J LIVING TRUST	8204 POINT VIEW CT LAS VEGAS NV	13816413059
WAGNER JIM & CINDY FAMILY TRUST	2444 MONARCH BAY DR LAS VEGAS NV	13816812007
WAHLIG MONA T 2004 TRUST	7920 LAKE POINT CIR LAS VEGAS NV	13816615039
WALLACE JAMES C & AURORA P	26080 BIG HORN MT WY YORBA LINDA CA	13816713007
WALTERS E CHARLES & KELLI A	7636 SPRUCE RUN CT LAS VEGAS NV	13816715004
WALTON CLAIRE M & RON R	2817 CRYSTAL BEACH DR LAS VEGAS NV	13816615005
WARREN BERYL TOOMES TRUST	2704 ST CLAIR LAS VEGAS NV	13816713039
WARREN BERYL TOOMES TRUST	2704 ST CLAIR DR LAS VEGAS NV	13816713137
WATSON MELINDA	8249 DOLPHIN BAY CT LAS VEGAS NV	13816314051
WATSON TRUST	7872 SKIFF LN LAS VEGAS NV	13816713023
WATTS ERIK	7912 ABALONE COVE DR LAS VEGAS NV	13816811008
WEB INVESTMENT SEARCH ENGINE INC	2817 CHANNEL BAY DR LAS VEGAS NV	13816613025
WEINSTEIN LAURENCE J	2644 GOLDEN SANDS DR LAS VEGAS NV	13816713047
WEISS HERBERT & MICHELINE	8120 DESERT JEWEL CIR LAS VEGAS NV	13816312009
WEISS HERBERT & MICHELINE	8120 DESERT JEWEL CIR LAS VEGAS NV	13816713088
WEISS HERBERT & MICHELINE	8120 DESERT JEWEL CIR LAS VEGAS NV	13816312002

Report of All Selected Parcels**Case Number:** SUP-17307**Printed On:** Fri: October 20, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
WEISS HERBERT & MICHELINE	1471 LIVONIA AVE LOS ANGELES CA	13816812029
WEISS-FISCHLER ROSE	7865 BLUEWATER DR LAS VEGAS NV	13816713085
WELLE MARILYN H	8005 RYANS REEF LN LAS VEGAS NV	13816812009
WELLS GORDON L & BETTY J	2620 GOLDEN SANDS DR LAS VEGAS NV	13816713041
WENTWORTH SUSAN A FAMILY TRUST	8245 HILTON HEAD CT LAS VEGAS NV	13816314067
WERCHOWSKY NORMAN E	8005 HARBOR OAKS CIR LAS VEGAS NV	13816615042
WEST MARLYS JOAN	2545 SEASCAPE DR LAS VEGAS NV	13816811003
WEST-THOMPSON PAMILA RENEE	7844 SURFCREST CT LAS VEGAS NV	13816713121
WHEELER EDWARD J	8121 DESERT JEWEL CIR LAS VEGAS NV	13816312011
WHEELER JESSICA	7828 SEA ROCK RD LAS VEGAS NV	13816713032
WHITBORD LORI LEE	2656 SEAHORSE DR LAS VEGAS NV	13816713083
WHITE ALFRED E JR	2404 OCEAN FRONT DR LAS VEGAS NV	13816413104
WHITE DAVID E	2468 MONARCH BAY LAS VEGAS NV	13816812004
WHITE JACK R & CINDY L	2528 DAYSPRING ST LAS VEGAS NV	13816814050
WHITE MTN L L C	%L GIRRIOR 11580 VELICATA CT LAS VEGAS NV	13816411002
WILLIAMS MARGO E	8217 DESERT BEACH DR LAS VEGAS NV	13816413039
WINTERS MICHAEL D TRS	1029 ARDEN DR ENCINITAS CA	13816816020
WITT WILLARD L	2500 GOLDEN SANDS DR LAS VEGAS NV	13816811019
WIVELANCHE FAMILY TRUST	2805 CRYSTAL BEACH DR LAS VEGAS NV	13816615002
WOFFORD MICHAEL P & KAREN ANN	2512 SUNSET BEACH LN LAS VEGAS NV	13816413032
WOLZINGER CONNIE	201 GLENWOOD CIR #100 MONTEREY CA	13816713036
WOODBURY WALLACE R INTERVIVOS TR	%WOODBURY CORP 2733 E PARLEYS WY #300 SALT LAKE CITY UT	13816711020
WOODWARD LIVING TRUST	7824 SURFCREST CT LAS VEGAS NV	13816713116
WRIGHT YELENA M	8017 SECRET HARBOR CT LAS VEGAS NV	13816812021
WYATT JEFFREY & RHONDA	8109 MOONSTONE CIR LAS VEGAS NV	13816710013
YABUT REGINA M	8240 LAUDERDALE CT LAS VEGAS NV	13816314033
YAMAMOTO KATHLEEN REIKO	5163 RODEO RD LOS ANGELES CA	13816715031
YANG EDWARD V C	%INSIGHT PROPERTY INC 5024 ALTA DR LAS VEGAS NV	13816713009
YEE LELING TRUST	7636 GENESIS CT LAS VEGAS NV	13816715014
YEOMANS RAEYN L & DENNIS G	8233 POINT VIEW CT LAS VEGAS NV	13816413066
YORK CHRISTIEN C	7912 BRIDGE GATE DR LAS VEGAS NV	13816711040
YORKIE LIVING TRUST	7904 ABALONE COVE DR LAS VEGAS NV	13816811006

Report of All Selected Parcels**Case Number:** SUP-17307**Printed On:** Fri: October 20, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
ZACHEA JAIME F & TERRI L	7929 MARBELLA CIR LAS VEGAS NV	13816816027
ZARUCHAEVA LARISA	60 CAPE HALTERAS CT REDWOOD CITY CA	13816711014
ZUCKER VALERIE	9867 MILBURN DR SUN VALLEY CA	13816314025
ZUCKER VALERIE SHIELA DEC TR	9867 MILBURN DR SUN VALLEY CA	13821512008

Deed



Separator Sheet

**WFTNV, LLC, a Nevada Limited Liability Co.
c/o Charles Westphal
435 N. Oakhurst Drive
Beverly Hills, CA 90210**

APN: 138-16-717-002138-16-717-002
Escrow No: 06051835-303-YRB
Title No: 0401094RM

200403 15
01609

1022400000 F. 1022400000

Space above this line for Recorder's use

GRANT DEED

**THE UNDERSIGNED GRANTOR(S) DECLARE(S)
DOCUMENTARY TRANSFER TAX IS \$0.00, CITY TAX 0.00**

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Free Enterprise Institute, LLC

, hereby GRANT(S) to

WFT NV, LLC, a Nevada Limited Liability Company

the following described real property in the County of Clark, State of Nevada:

Commonly known as: 2620 Regatta Drive, Las Vegas, NV

Dated: March 12, 2004

Free Enterprise Institute, Inc.

Charles Westphal, Manager

STATE OF CALIFORNIA

COUNTY OF Los Angeles } SS:

On March 12, 2004, before me, V. R. Bankston, Notary Public,
personally appeared Charles Westphal

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature



FOR NOTARY SEAL OR STAMP

MAIL TAX STATEMENTS AS DIRECTED ABOVE

CONFIDENTIAL "A"

Situated in the County of Clark, State of Nevada, described as follows:

PARCEL I:

Lot One (1) of Final Map of Village Pub, a Commercial Subdivision as shown by map thereof on file in Book 107 of Plats, Page 97, in the Office of the County Recorder of Clark County, Nevada.

EXCEPTING THEREFROM that portion conveyed to Village Pub Summerlin Holdings, LLC, a Nevada limited liability company by Deed recorded April 9, 2003 in Book 20030409 as Document No. 00286, Official Records.

PARCEL II:

Non-exclusive easements for access, ingress, egress, drainage, maintenance, repairs and for other purposes, all as described in the Master Declaration of Covenants, Conditions and Restrictions and Reservation of easement for Desert Shores recorded June 1, 1988 in Book 880601 as Document No. 00011, Official Records Clark County, Nevada and the Notice of Annexation recorded July 12, 1990 in Book 900712 as Document No. 00831, Official Records, Clark County, Nevada.

PARCEL III:

Non-exclusive easement for ingress and egress over that portion of common landscape area Lot HH of Desert Shores No. 1, as shown by map thereof on file in Book 39 of Plats, Page 26, in the Office of the County Recorder of Clark County, Nevada.

PARCEL IV:

Easements for boat slip purposes as granted by the Boat Slip Easement Deed recorded December 11, 1992 in Book 921211 as Document No. 00506, Official Records.



Facsimile transmittal

To: Sean Fax: 7987849

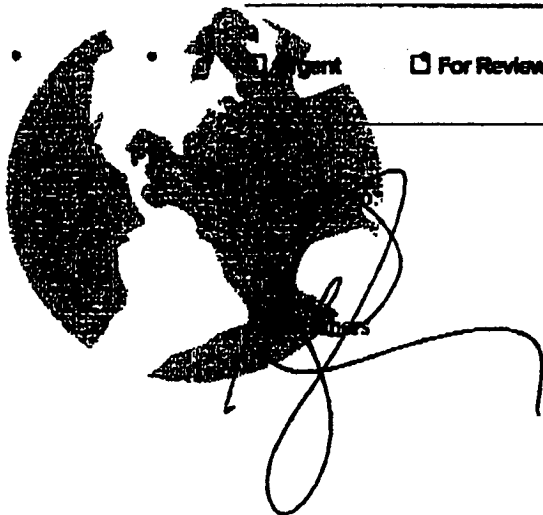
From: Matt Sobers Date: October 2, 2006

Re: Legal desc, and grant deed Pages: (3) (12)

CC:

☐ Urgent ☐ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

*casement
agreement*



RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:

Chabad of Summerlin, Inc.
c/o S. Jack Fenigstein, Esq.
Fenigstein & Kaufman
1900 Avenue of the Stars, Suite 2300
Los Angeles, CA 90067

01135507-004-TDS

PARKING AND DRIVEWAY EASEMENT AGREEMENT

This PARKING AND DRIVEWAY EASEMENT AGREEMENT (this "Agreement") is dated as of the 28th day of December, 2001, by and between CHABAD OF SUMMERLIN, INC., a Nevada corporation ("Chabad"), and FREE ENTERPRISE INSTITUTE LLC, a Nevada limited liability company ("FEI"), with reference to the following facts:

RECITALS

a. FEI is the owner of that certain parcel of real property located in the City of Las Vegas, County of Clark, Nevada, legally described as set forth in Exhibit "A" attached hereto and incorporated herein, and commonly known as the Lakeside Shopping Center (the "Lakeside Center Property").

b. Chabad is or will soon be the owner of that certain parcel of real property located in the City of Las Vegas, County of Clark, Nevada, legally described as set forth in Exhibit "B" attached hereto and incorporated herein (the "Chabad Property"), and which property is located immediately adjacent to the Lakeside Center Property.

c. FEI desires to establish for the benefit of the present and future owners of the Chabad Property a non-exclusive easement for egress and ingress, and parking and driveway purposes over certain portions of the Lakeside Center Property, subject to and upon the terms and conditions contained herein.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

AGREEMENT

1. Grant of Ingress and Egress and Parking Easements. FEI hereby establishes for the benefit of the Chabad Property, and hereby grants to the present and future owners of the Chabad Property (or any portion thereof), a perpetual non-exclusive easement for (i) vehicle and related

pedestrian ingress and egress to, from and over all parking lots and adjoining driveway and public street entrance way areas on the Lakeside Center Property, as the same may exist from time to time, and each part thereof (collectively, the "Parking Areas"), (ii) vehicle parking purposes over and across the Parking Areas; and (iii) such incidental driveway purposes over and across the Parking Areas as may be necessary in connection with utilizing the foregoing parking easement.

2. Maintenance of Parking Areas\Reimbursement of Maintenance Expenses

2.1 The present and future owners of the Lakeside Center Property (hereinafter, the "Lakeside Owner") shall at all times undertake all periodic maintenance, replacements, and repairs to the Parking Areas including, without limitation, all resurfacing, repainting/re-stripping, lighting, security personnel, trash removal, and related landscaping as shall be required to maintain and keep in good order and repair the Parking Areas, and each part thereof (the "Maintenance Obligations"). The Lakeside Owner shall be entitled to reimbursement from the present and future owners of the Chabad Property (hereinafter, the "Chabad Owner") for the "Chabad's Portion" (as hereinafter defined) of the direct costs reasonably paid or incurred by the Lakeside Owner (the "Parking Area Maintenance Costs") in fulfilling its Maintenance Obligations, less any portion of the Maintenance Obligations which constitute "capital" expenditures as that term is used in standard accounting practices, which portion of the Maintenance Obligations shall be the sole responsibility of the Lakeside Owner. Real property taxes, homeowners' association assessments and/or insurance costs attributable to the Parking Areas are specifically excluded from and shall not constitute any portion of the Parking Area Maintenance Costs subject to reimbursement hereunder. The Chabad Owner shall have the Lakeside Owner named as an additional insured to the general liability insurance policy maintained by the Chabad Owner.

2.2 The "Chabad's Portion" of the Parking Area Maintenance Costs shall be that percentage which results from dividing the total useable square footage of the building to be erected upon the Chabad Property (as the same may be modified, expanded or replaced from time to time) by the total useable square footage of (i) all buildings located on the Lakeside Center Property (as the same may be modified, expanded or replaced from time to time), plus (ii) the useable square footage of the building on the Chabad Property (By way of example only, assuming the building to be erected on the Chabad Property contains 8,200 useable square feet, and the Lakeside Center Property has buildings with a total of 60,682 useable square feet, the Chabad Portion equals 11.90%, or 8,200 divided by 68,882).

2.3 The Chabad Owner shall pay to the Lakeside Owner the Chabad's Portion of the Parking Area Maintenance Costs on a quarterly basis within thirty (30) days of receipt by the Chabad Owner of a statement for same from the Lakeside Owner, which statement shall include reasonable detail and support. The Lakeside Owner shall have to the right to estimate the Parking Area Maintenance Costs on annual basis, and to provide such estimate and the reasonable support for same to the Chabad Owner at the beginning of each calendar year. In such event, the Lakeside Owner shall provide to the Chabad Owner at the end of each such year a reconciliation of the estimated versus actual Parking Area Maintenance Costs incurred, and an appropriate adjustment (credit or additional charge) shall be made to the next installment payable by the Chabad Owner toward the Parking Area Maintenance Costs.

2.4 The Chabad Owner shall have the right to, no more frequently than once per year, audit through its designated representatives, upon reasonable prior written notice and during normal business hours, the financial and accounting records of the Lakeside Owner relating to the Parking Area Maintenance Costs, at the sole cost and expense of the Chabad Owner. In the event such audit discloses a discrepancy, an appropriate adjustment shall be made to the next installment(s) payable by the Chabad Owner toward the Parking Area Maintenance Costs.

3. Conditions of Easements. The easements established and granted pursuant to Section 1 above shall be subject to the following conditions, restrictions and reservations:

3.1 Permitted Users of the Parking Easement. The easements established and granted over the Parking Areas pursuant to Section 1 above (the "Parking Area Easement") shall be for the non-exclusive benefit of the present and future owners of the Chabad Property (or any portions thereof), and their respective employees, agents, invitees, patrons, successors and assigns (the "Permitted Users").

3.2 Limitation on Uses. FEI hereby covenants and agrees with respect to the Parking Area Easement, as follows: (a) FEI shall not at any time utilize any portion of the Parking Areas for any use inconsistent with their intended use as parking and related driveway areas for vehicles; and, (b) the present and future owners of the Chabad Property, and their Permitted Users, shall at all times be provided with and have non-exclusive access to such minimum number of parking spaces within the Parking Areas as may be required from time to time by the City of Las Vegas, or such other governmental entity that shall have jurisdiction over the Chabad Property, in connection with the legal use and occupancy of the Chabad Property.

4. Binding Effect. This Agreement and the rights created hereby shall be appurtenant to and shall run with each of the Chabad Property and Lakeside Center Property in perpetuity, and shall be binding upon and shall benefit all present and subsequent owners of all or any portion of the Chabad Property and Lakeside Center Property, as applicable, until released in writing by the then owners of each such property.

5. Agreement to Perform Necessary Acts. Each party agrees to perform any further acts and execute and deliver any further documents which may be reasonably necessary or otherwise reasonably required to carry out the provisions of this Agreement.

6. Injunctive Relief. Each express covenant and agreement contained in this Agreement shall be a covenant running with the land, and shall be deemed to be equitable servitudes, and the breach thereof, or the continuance of any breach thereof, may be enjoined, abated or remedied by appropriate proceedings initiated by either party hereto or their successors or assigns.

7. Mortgage Protection. Without limiting in any manner the obligation of the parties to comply with and observe all of the agreements, covenants and restrictions contained in and created by this Agreement, the breach of any of the provisions, agreements, covenants or restrictions contained herein, or any action taken to enjoin, abate, or remedy the same, shall not defeat or render invalid the lien of any mortgage or deed of trust made in good faith and for value upon FEI Property

and/or the Chabad Property, but said provisions, agreements, charges, covenants, and restrictions contained herein shall be binding upon and effective against any owner of any portion or all of Lakeside Center Property and/or the Chabad Property, whose title thereto is acquired by foreclosure, trustee's sale or otherwise.

8. Attorney's Fees and Costs. In the event of any action at law or in equity or in any arbitration proceeding between the parties hereto to interpret or enforce any of the provisions hereof, the non-prevailing party or parties to such litigation or arbitration shall pay to the prevailing party or parties all costs and expenses, including actual attorneys' fees, incurred therein by such prevailing party or parties; and if such prevailing party or parties shall recover judgment in any such action or proceeding, such costs, expenses and attorneys' fees may be included in and as part of such judgment. The prevailing party shall be the party who is entitled to recover his or its costs of suit or arbitration, whether or not the suit proceeds to final judgment. A party not entitled to recover his or its costs shall not recover attorneys' fees.

9. Arbitration. Any dispute or controversy arising under or related to this agreement, except for an application for injunctive relief as contemplated under Section 6, above, shall be resolved by binding arbitration under the commercial arbitration rules of the American Arbitration Association. Any award or determination made in such arbitration may be confirmed and entered with the District Court of the State of Nevada, County of Clark.

10. Effect of Headings. The titles or headings of the various paragraphs hereof are intended solely for convenience of reference and are not intended and shall not be deemed to modify, explain or place any construction upon any of the provisions of this Agreement.

11. Counterparts. This Agreement may be executed in one or more counterparts by the parties hereto. All counterparts shall be construed together and shall constitute one instrument.

12. Governing Law. This Agreement shall be construed in accordance with the internal laws, and not the law of conflicts, of the State of Nevada applicable to agreements made and to be performed in such state.

13. Exhibits. All exhibits attached hereto and referred to herein are hereby incorporated herein as though fully set forth at length.

14. Ambiguities. The general rule that ambiguities are to be construed against the drafter shall not apply to this Agreement. In the event that any provision of this Agreement is found to be ambiguous, each party shall have an opportunity to present evidence as to the actual intent of the parties with respect to such ambiguous provision.

[SIGNATURES APPEAR ON FOLLOWING PAGE]

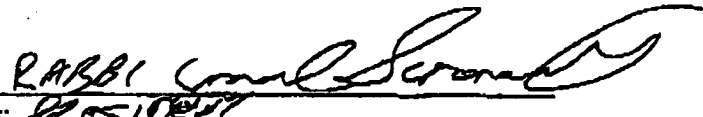
IN WITNESS WHEREOF, the parties have has executed this Agreement as of the date first above written.

FREE ENTERPRISE INSTITUTE LLC,
a Nevada limited liability company

By: 

Erik Watts, Managing Member

CHABAD OF SUMMERLIN, INC.,
a Nevada corporation

By: 

Its: RESIDENT

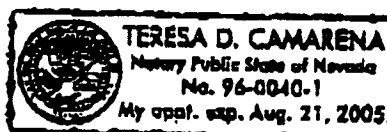
NAME: RABBI YISROEL SCHANOWITZ

State of Nevada)
County of Clark) ss.

On December 27, 2001, before me, Teresa D. Camarena, personally appeared Eric Watts, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Jorge D. Canavero (Seal)



State of Nevada)
) ss.
County of Clark)

On Dec 28 2001, before me, Kelly Finkler, personally appeared Kabbi Yisrael Schenowitz ^{president of} ~~and is~~ personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Kelly Linkley (Seal)

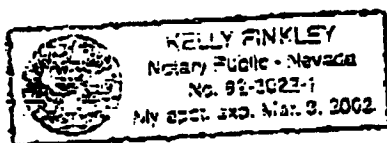


Exhibit "A"

Lot 10A of Parcel Map in File 101, Page 85, in the Office of the County Recorder of Clark County, Nevada, and recorded December 20, 2001, in Book 2001 1220, as Document No. 01739, Official Records.

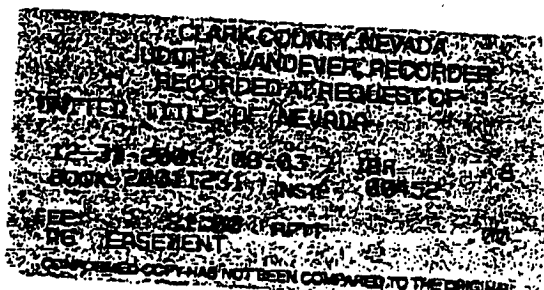
§

Exhibit "B"

Lot 10B of Parcel Map in file 101, Page 85, in the Office of the County Recorder of Clark County, Nevada, and recorded December 20, 2001, in Book 2001 1230, as Document No. 01739, Official Records.

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PARKING, DRIVEWAY, SEWER, REFUSE AND GARBAGE EASEMENT AGREEMENT

This **PARKING, DRIVEWAY, SEWER, REFUSE AND GARBAGE EASEMENT AGREEMENT**, (the "Joint Use Agreement") is dated as of the 30 day of October, 2002, by and between Enterprise Institute, LLC (the "Village Pub Property"), and FREE ENTERPRISE INSTITUTE, LLC a Nevada limited liability company ("FEI"), with reference to the following facts:

RECITALS

- a. FEI is the owner of that certain parcel of real property located in the City of Las Vegas, County of Clark, Nevada, legally described as set forth in Exhibit "A" attached hereto and incorporated herein, and commonly known as the Lakeside Shopping Center ("Lakeside").
- b. Free Enterprise Institute is or will soon be the owner of that certain parcel of real property located in the City of Las Vegas, County of Clark, Nevada, legally described as set forth in Exhibit "B" attached hereto and incorporated herein (the "Village Pub parcel"), and which property is located immediately adjacent to Lakeside.
- c. FEI desires to establish for the benefit of the present and future owners of the Village Pub Property a non-exclusive easement for egress and ingress, and parking, driveway purposes and use of sewer, refuse and garbage containers located on the Lakeside property over certain portions of the Lakeside property, subject to and upon the terms and conditions contained herein.

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

AGREEMENT

1. **GRANT OF INGRESS AND EGRESS AND PARKING EASEMENTS** FEI hereby establishes for the benefit of the Village Pub Property, and hereby grants to the present and future owners of the Village Pub Property (or any portion thereof), a personal non-exclusive easement for (i) vehicle and related pedestrian ingress and egress to, from and over all parking lots and adjoining driveway and public street entrance way areas on the Lakeside Center Property, as the same may exist from time to time, and each part thereof (collectively, the "Parking Areas"), (ii) vehicle parking purposes over and across the Parking Areas; and (iii) such incidental driveway purposes over and across the Parking Areas as may be necessary in connection with utilizing the foregoing parking easement.
2. **GRANT OF JOINT USE OF ANY AND ALL SEWER FACILITIES** FEI hereby establishes for the benefit of the Village Pub Property, and hereby grants to the present and future owners of the Village Pub Property (or any portion thereof), a personal non-exclusive easement and Joint Use Agreement for (i) use of and any related future use and access to all sewer facilities owned and operated by Lakeside for the benefit of all lakeside owners, tenants and visitors on the Lakeside Center Property, as the same may exist from time to time, and each part thereof (collectively, the "Sewer Facilities").
3. **GRANT OF REFUSE AND GARBAGE USE RIGHTS AND PRIVILEGES** FEI hereby establishes for the benefit of the Village Pub Property, and hereby grants to the present and future owners of the Village Pub Property (or any portion thereof), a personal non-exclusive right of use to the refuse and garbage container located immediately

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Feb-10-03 13:25

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adjacent to the Village Pub Property as evidenced on Exhibit A, attached hereto. Such rights of use shall carry with it the responsibilities as described below.

4. **MAINTENANCE OF PARKING AREAS, SEWERS /REIMBURSEMENT OF GENERAL MAINTENANCE EXPENSES.**

- a. The present and future owners of the Lakeside Center Property (hereinafter the "Lakeside Owner") shall at all times undertake all periodic maintenance, replacements, and repairs to the Parking Areas including, without limitation, all resurfacing, repainting/re-stripping, lighting, security personnel, related landscaping and sewer related expenses as shall be required to maintain and keep in good order and repair the Parking Areas, and sewer facilities serving the Village Pub Parcel and each part thereof (the "Maintenance Obligations"). Lakeside Owner shall also grant non-exclusive use to the trash, refuse garbage containers adjacent to the Village Pub property to Village Pub and Lakeside Owner shall be responsible for the contracting of the trash, refuse and garbage removal. The Lakeside Owner shall be entitled to reimbursement from the present and future owners of the Village Pub for the Village Pub Portion of such items, as described above, of the direct costs reasonable paid or incurred by the Lakeside Owner in fulfilling its above described Obligations ("Maintenance Costs"). In addition, the Village Pub shall have the Lakeside Owner named as an additional insured to the general liability insurance policy maintained by the Village Pub.
 - b. The Village Pub Portion of the Maintenance Costs shall be that percentage which results from dividing the total number of square feet occupied by the Village Pub into the total number of square feet contained in the Lakeside Center Parcel excluding the square footage of the synagogue parcel but including the Synagogue Parcel's share of the costs (as based upon their specific easement agreement calculating the synagogue contribution to maintenance costs by the number of parking spaces required by the City into the whole number of the parking spaces available).
 - c. The Village Pub Owner shall pay to the Lakeside Owner the Village Pub's Portion of the Maintenance Costs on a monthly basis within thirty (30) days of receipt by the Village Pub of a statement for same from the Lakeside Owner, such costs may be estimated on an annual basis by the Lakeside Owner and shall be paid in equal monthly installments by the Village Pub Owner. Should such Maintenance Costs be over or under estimated for any calendar year such costs shall be corrected once annually by Lakeside Center Owner at the conclusion of such year and such reconciliation shall be forwarded to the Village Pub Owner within 90 days following the end of the calendar year.
 - d. The Village Pub Owner shall have the right to, no more frequently than once per year, audit through its designated representatives, upon reasonable prior written notice and during normal business hours, the financial and accounting records of the Lakeside owner relating to the Maintenance Costs, at the sole cost and expense of the Village Pub. In the event such audit discloses a discrepancy, an appropriate adjustment shall be made to the next installment(s) payable by the Village Pub toward the Maintenance Costs.
5. **Conditions of Easement.** The easements established and granted pursuant to Section 1 above shall be subject to the following conditions, restrictions and reservations:
- a. **Permitted Users of the Parking Easement.** The easements established and granted over the parking Areas pursuant to Section 1 above (the "Parking Use Area Easement") shall be for the non-exclusive benefit of the present and future owners of the Village Pub (or any portions thereof) and their respective
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employees, agents, invitees, patrons, successors and assigns (the "Permitted Users").

- b. Limitation on Usage. FEI hereby covenants and agrees with respect to the Parking/Use Area Easement, as follows: (a) FEI shall not at any time utilize any portion of the Parking Area for any use inconsistent with their intended use as parking and related driveway areas for vehicles; and (b) the present and future owners of the Village Pub, and their Permitted Users, shall at all times be provided with and have non-exclusive access to such minimum number of parking spaces within the Parking Areas as may be required from time to time by the City of Las Vegas, or such other governmental entity that shall have jurisdiction over the Village Pub property, in connection with the legal use and occupancy of the Village Pub Property.
6. Binding Effect. This Joint Use Agreement and the rights created hereby shall be appurtenant to and shall run with each of the Village Pub Property and Lakeside Center Property in perpetuity, and shall be binding upon and shall benefit all present and subsequent owners of all or any portion of the Village Pub Property and Lakeside Center property, as applicable, until released in writing by the then owners of each such property.
7. Agreement to Perform Necessary Acts. Each party agrees to perform and further acts and execute and deliver any further documents which may be reasonably necessary or otherwise reasonably required to carry out the provisions of this Joint Use Agreement.
8. Injunctive Relief. Each express covenant and agreement contained in this Joint Use Agreement shall be a covenant running with the land, and shall be deemed to be equitable servitudes, and the breach thereof, or the continuance of any breach thereof, may be enjoined, abated or remedied by appropriate proceedings initiated by either party hereto or their successors or assigns.
9. Mortgage Protection. Without limiting in any manner the obligation of the parties to comply with and observe all of the agreements, covenants and restrictions contained in and created by this Joint Use Agreement, the breach of any of the provisions, agreements, covenants or restrictions contained herein, or any action taken to enjoin, abate or remedy the same, shall not defeat or render invalid the lien of any mortgage or deed of trust made in good faith and for value upon FEI Property and/or the Village Pub Property, but said provisions, agreements, charges, covenants and restrictions contained herein shall be binding upon and effective against any owner of any portion or all of Lakeside Center property and/or the Village Pub Property, whose title thereto is acquired by foreclosure, trustee's sale or otherwise.
10. Attorney's Fees and Costs. In the event of any action at law or in equity, or in any arbitration proceeding between the parties hereto to interpret or enforce any of the provisions hereof, the non-prevailing party or parties to such litigation or arbitration shall pay to the prevailing party or parties all costs and expenses, including actual attorneys' fees, incurred therein by such prevailing party or parties; and, if such prevailing party or parties shall recover judgment in any such action or proceeding, such costs, expenses and attorneys' fees may be included in and as part of such judgment. The prevailing party shall be the party who is entitled to recover his or its costs of suit or arbitration, whether or not the suit proceeds to final judgment. A party not entitled to recover his or its costs shall not recover attorneys' fees.
11. Arbitration. Any dispute or controversy arising under or related to this agreement, except for an application for injunctive relief as contemplated under Section 7, above, shall be resolved by binding arbitration under the commercial arbitration rules of the American Arbitration Association. Any award or determination made in such arbitration

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may be confirmed and entered with the District Court of the State of Nevada, County of Clark.

12. Effect of Headings. The titles or headings of the various paragraphs hereof are intended solely for convenience or reference and are not intended and shall not be deemed to modify, explain or place any construction upon any of the provisions of this Joint Use Agreement.
13. Counterparts. This Joint Use Agreement may be executed in one or more counterparts by the parties hereto. All counterparts shall be construed together and shall constitute one instrument.
14. Governing Law. This Joint Use Agreement shall be construed in accordance with the internal laws, and the law of conflicts, of the State of Nevada applicable to agreements made and to be performed in such state.
15. Exhibits. All exhibits attached hereto and referred to herein are hereby incorporated herein as though fully set forth at length.
16. Ambiguities. The general rule that ambiguities are to be construed against the drafter shall not apply to this Joint Use Agreement. In the event that any provision of this Joint Use Agreement is found to be ambiguous, each party shall have an opportunity to present evidence as to the actual intent of the parties with respect to such ambiguous provision.

IN WITNESS WHEREOF, the parties have executed this Joint Use Agreement as of the date first above written.

FREE ENTERPRISE INSTITUTE, LLC
A Nevada limited liability company

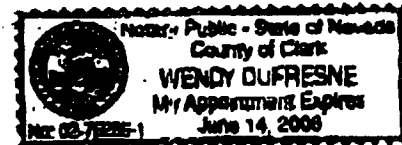


Erik Watts, Managing Member

FREE ENTERPRISE INSTITUTE, LLC
A Nevada limited liability company



Erik Watts, Managing Member



Sig: Wendy Dufresne
Date: Feb 4, 2003

SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

SUP-17307

Case Number: SUP-17307 APN: 138-16-717-002

Name of Property Owner: WFT NV LLC

Name of Applicant: Ivy Grill

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

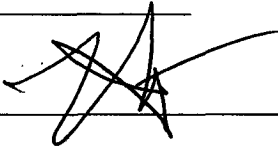
☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

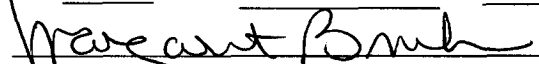
Partner(s): _____

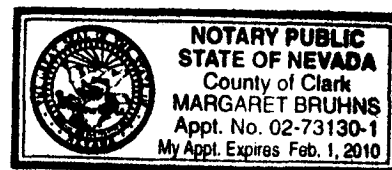
APN: _____

Signature of Property Owner: 

Print Name: Hamilton von Watts

Subscribed and sworn before me

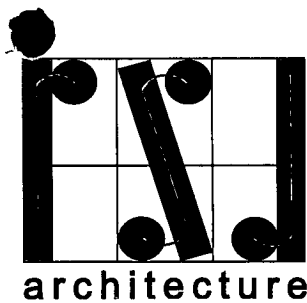
This 3rd day of October, 2006

Notary Public in and for said County and State



Justification Letter



Separator Sheet



October 2, 2006

City of Las Vegas Planning & Development
731 S. Fourth Street
Las Vegas, NV 89101

Re: Justification letter: SUP – Waiver of Separation of Service Bar and Synagogue
Existing Shopping Center
APN: 138-16-717-002, 003 & 138-16-820-001

Dear Planning Authorities:

On behalf of my client, the Ivy Grill, we are pleased to be submitting the attached application requesting a special use permit for a restaurant service bar located within the Lakeside Center retail area.

We feel the surrounding area is currently underserved by the existing uses located within this Limited Commercial District, especially with respect to a business of this type. Although a synagogue is located within 400 feet of the proposed restaurant, we feel its addition to the almost 68,000 square foot center will have zero negative impacts. Furthermore, we anticipate the Ivy's hours of operation to have little overlap with the synagogue.

On January 16, 2002 this center was approved for a Parking Variance allowing for a total of 315 spaces where 405 were required. We are pleased to announce that with recent changes to the development code and some adjustments on our site, we no longer require this Parking Variance.

Thank you for your consideration of this application. Please contact us with any questions you may have.

Sincerely,

Rudy Starks Jr.
r s j architecture

Application



A P P L I C A T I O N

Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SUP-WAIVER OF SEPARATION OF SERVICE BAR FROM QUEEN
 Project Address (Location) BREAKWATER DRIVE AND REGATTA DRIVE
 Project Name LAKESIDE CENTER Proposed Use SHOPPING CENTER
 Assessor's Parcel #(s) 138 16 717 002 Ward # 4
 General Plan: existing _____ proposed _____ Zoning: existing C1 proposed C1
 Commercial Square Footage 67,942 S.F. Floor Area Ratio 28.4%
 Gross Acres 5.50 Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER WFTNV LLC Contact Cheryl Ymaguchi
 Address 815 3rd STREET Phone: 310 6561820 Fax: 310 6561815
 City SANTA MONICA State CA Zip 90404

APPLICANT LAKESIDE CENTER Contact MATT SOBERS
 Address 21020 REGATTA DRIVE #100 Phone: 869-8800 Fax: 869-8844
 City LAS VEGAS, NEVADA State NV Zip 89128

REPRESENTATIVE RST ARCHITECTURE Contact RUDY STARKS
 Address 8375 W FLAMINGO #100 Phone: 798-7839 Fax: 798-7849
 City LAS VEGAS State NV Zip 89147

FOR DEPARTMENT USE ONLY

Property Owner Signature* [Signature]

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

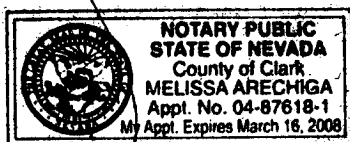
Print Name VP OPERATIONS MATT SOBERS

Subscribed and sworn before me

This 2 day of October, 20 06

Melissa Arechiga

Notary Public in and for said County and State



Case #	<u>SUP-17307</u>
Meeting Date:	<u>11/16/06</u>
Total Fee:	<u>800.00</u>
Date Received:	<u>10/3/06</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Hansen Sheet



Separator Sheet

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

SUP Application

Report Date 10/03/2006 04:49 PM

Submitted By

Page 1

A/P # 17307 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	10/03/2006 14:01	983953	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SUP-17307 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: LAKESIDE CENTER - OWNER: WFTNV LLC - Request for a Special Use Permit FOR A PROPOSED RESTAURANT SERVICE BAR AND A WAIVER FROM THE 400-FOOT DISTANCE SEPARATION REQUIREMENT FROM AN EXISTING CHURCH on 5.50 acres at the southeast corner of Regatta Drive and Breakwater Drive (APN-138-16-717-002, 138-16-714-003, and 138-16-820-001), C-1 (Limited Commercial), Ward 4 (Brown).

Parent A/P

Project # 17307 Project/Phase Name LAKESIDE CENTER Phase #
Size/Area 0.00 Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13816717002

Location

Owner/Tenant

Contact ID AC723464 Name WFTNV LLC Organization % C WESTPHAL
Mailing Address 435 N OAKHURST DR State/Province CA
City BEVERLY HILLS Country ☐ Foreign
ZIP/PC 90210-3981 Evening Phone
Day Phone Mobile #
Fax

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

2620 REGATTA DR
LAS VEGAS, 89128-

2620 REGATTA DR 101
LAS VEGAS, 89128-

2620 REGATTA DR 102
LAS VEGAS, 89128-

2620 REGATTA DR 103
LAS VEGAS, 89128-

2620 REGATTA DR 104
LAS VEGAS, 89128-

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SUP Application****Report Date** 10/03/2006 04:49 PM**Submitted By****Page 2****Address****Parcel Link****A/P Link**2620 REGATTA DR 105
LAS VEGAS, 89128-2620 REGATTA DR 106
LAS VEGAS, 89128-2620 REGATTA DR 107
LAS VEGAS, 89128-2620 REGATTA DR 108
LAS VEGAS, 89128-2620 REGATTA DR 109
LAS VEGAS, 89128-2620 REGATTA DR 110
LAS VEGAS, 89128-2620 REGATTA DR 111
LAS VEGAS, 89128-2620 REGATTA DR 112
LAS VEGAS, 89128-2620 REGATTA DR 113
LAS VEGAS, 89128-2620 REGATTA DR 114
LAS VEGAS, 89128-2620 REGATTA DR 115
LAS VEGAS, 89128-2620 REGATTA DR 116
LAS VEGAS, 89128-2620 REGATTA DR 117
LAS VEGAS, 89128-2620 REGATTA DR 118
LAS VEGAS, 89128-2620 REGATTA DR 119
LAS VEGAS, 89128-

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SUP Application****Report Date** 10/03/2006 04:49 PM**Submitted By**

Page 3

Address	Parcel Link	A/P Link
2620 REGATTA DR 120 LAS VEGAS, 89128-		
2620 REGATTA DR 121 LAS VEGAS, 89128-		
2620 REGATTA DR 122 LAS VEGAS, 89128-		
2620 REGATTA DR 201 LAS VEGAS, 89128-		
2620 REGATTA DR 202 LAS VEGAS, 89128-		
2620 REGATTA DR 203 LAS VEGAS, 89128-		
2620 REGATTA DR 204 LAS VEGAS, 89128-		
2620 REGATTA DR 205 LAS VEGAS, 89128-		
2620 REGATTA DR 206 LAS VEGAS, 89128-		
2620 REGATTA DR 207A LAS VEGAS, 89128-		
2620 REGATTA DR 207B LAS VEGAS, 89128-		
2620 REGATTA DR 208A LAS VEGAS, 89128-		
2620 REGATTA DR 208B LAS VEGAS, 89128-		
2620 REGATTA DR 208C LAS VEGAS, 89128-		
2620 REGATTA DR 209A LAS VEGAS, 89128-		

Report Date 10/03/2006 04:49 PM

Submitted By

Page 4

Address	Parcel Link	A/P Link
2620 REGATTA DR 209B LAS VEGAS, 89128-		
2620 REGATTA DR 209C LAS VEGAS, 89128-		
2620 REGATTA DR 209D LAS VEGAS, 89128-		
2620 REGATTA DR 130 LAS VEGAS, 89128-		

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13816714003
13816717002
13816820001

Planning Condition	Description	Effective	Expire	Comments
	There is no planning condition for this project.			

SPECIAL USE PERMIT

N DINA Required? Final City Council letter received
N Project of Regional Significance? Annotated minutes received
N Parent Project link required? Is there a condition of approval for a Required Review?
Type of Use If yes, when does it need to be reviewed?
RESTAURANT WITH SERVICE BAR

Meeting Information

Meeting Information	Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Added By	Add Date	Modified By	Modified Date		
	11/16/2006	PC	SCHEDULED	0	0	0
	NGOLDBERG	10/03/2006				

Template Type	A/P #	A/P Type	Status	Stage
No children exist for this project				

Employee	Employee ID	Last	First	MI	Comments
No Employee Entries					

City of Las Vegas

400 Stewart Ave

Las Vegas, NV 89101-2927

SUP Application**Report Date** 10/03/2006 04:49 PM**Submitted By****Page 5**

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CK NAME,# WHO PICKED UP PERMIT	984018	10/03/2006 14:10		0.00
	Sean Kahra, Lakeside Center ck #1346 \$500, #1348 \$800, 798-7839				

Project Checklist



Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes
Item Required				
YES	NO			
APPLICATION				
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)		WAIVER OF SERVICES BAR SEPARATION FROM A CHURCH
☒	☐	Grant deed and legal description		
☒	☐	Detailed justification letter		
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations		
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations		
☒	☐	Correct fee(s): \$ 500 \$ 300 \$ _____ Total = \$ 800.00		
☒	☐	Statement of Financial Interest		
☐	☒	Development Impact Notice and Assessment (DINA)		
☐	☒	Project of Regional Significance		
SITE PLAN Folded Plans: <u>19</u> Rolled/Colored Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	All property lines and present dimensions labeled		
☒	☐	All building setbacks labeled		
☒	☐	All adjacent existing land uses and street names labeled		
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized: _____		
☒	☐	Parking space count and typical dimensions labeled		
☒	☐	#regular #compact #handicap Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		
LANDSCAPE PLAN Folded Plans: <u>1</u> Rolled/Colored Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	All property lines and present dimensions labeled		
☒	☐	All required perimeter landscape planters shown		
☒	☐	All required parking lot fingers/islands shown		
☒	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover		
BUILDING ELEVATIONS Folded Plans: _____ Rolled/Colored Plans: _____				
☒	☐	11" x 17" min. to 24" x 36" max. page size		Photos EXISTING BLD.
☒	☐	Scale and building dimensions labeled		
☒	☐	North, south, east, and west elevations of <i>all</i> buildings		
☒	☐	All building materials and colors noted		
☒	☐	8" x 10" photo of original color and material board		
☒	☐	All wall sign locations shown and sizes noted		
FLOOR PLANS Folded Plans: <u>1</u> Rolled Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	Scale and building dimensions labeled		
☒	☐	All building entrances/exits shown		
☒	☐	Use of <i>all</i> rooms noted/labeled		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: LAKEVIEW CENTER (MATT) Application Type: SPECIAL USE PERMIT

APN: 138-16-717-002 & 003; 138-16-820-001 Location: BREAKWATER & REGATTA

Planner: John Korkos Pre-App Meeting Date: 9/13/2006 Earliest PC Date: 11/16/2006

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SUP-17307 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: LAKESIDE CENTER - OWNER: WFTNV, LLC - Request for a Special Use Permit FOR A PROPOSED RESTAURANT SERVICE BAR AND A WAIVER OF THE 400-FOOT DISTANCE SEPARATION REQUIREMENT FROM AN EXISTING CHURCH at the southeast corner of Regatta Drive and Breakwater Drive (APNs 138-16-717-002, 138-16-714-003, and 138-16-820-001), C-1 (Limited Commercial) Zone, Ward 4 (Brown).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF NORTH HALF (N½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 16, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: **NOVEMBER 16, 2006** CITY COUNCIL: **DECEMBER 20, 2006**

PLANNING SUPERVISOR: **DOUG RANKIN**



PUBLIC HEARING

Comments Due: OCTOBER 13, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

SUP-17307

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC

SENT VIA COURIER/ INTER-OFFICE MAIL/ OR US MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.**
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT **< US MAIL DELIVERY >**

SUP & SNC
10/03/2006

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: 11/16/06

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SUP-17307

Desert Shores Community Association

La Mancha Summerlin Property Owners Assoc.

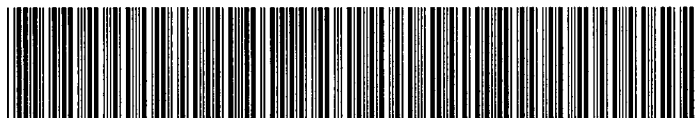
Northshore Reflections HOA

Pelican Point HOA

South Shores Community Association

Sun City Summerlin Community Association

Affidavit of Sign Posting



A F F I D A V I T O F S I G N P O S T I N G

Separator Sheet



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

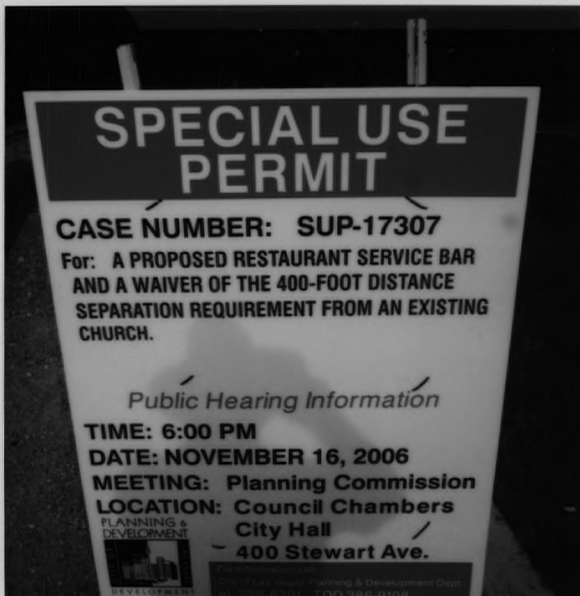


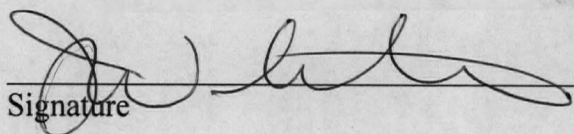
CASE NUMBER: SUP-17307

MEETING DATE: 11/16/06 PC

1 of 2

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first




Signature

11-5-6
Date

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: SUP-17307

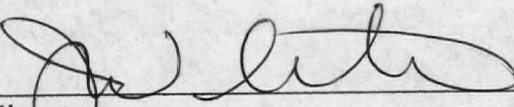
MEETING DATE: 11/16/06 PC

2 of 2

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first

Regatta




Signature

11-5-6
Date

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.

