

APN Map



Separator Sheet

Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

VARIANCE

MEETING: PLANNING COMMISSION
DATE: JANUARY 11, 2007
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

VAR-18345

APPLICANT/OWNER: WAGNER HOMES INC - REQUEST FOR A VARIANCE TO ALLOW A 13.9 FOOT HIGH PERIMETER WALL WHERE 12 FEET IS THE MAXIMUM HEIGHT ALLOWED FOR AN APPROVED 57-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT ON 0.36 ACRES ADJACENT TO THE SOUTHEAST CORNER AND SOUTHWEST CORNER OF ALEXANDER ROAD AND CAMPBELL ROAD (APN: 138-08-116-020 AND 021), U (UNDEVELOPED) ZONE [L (LOW DENSITY RESIDENTIAL) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO R-PD5 (RESIDENTIAL PLANNED DEVELOPMENT - 5 UNITS PER ACRE), WARD 4 (BROWN).

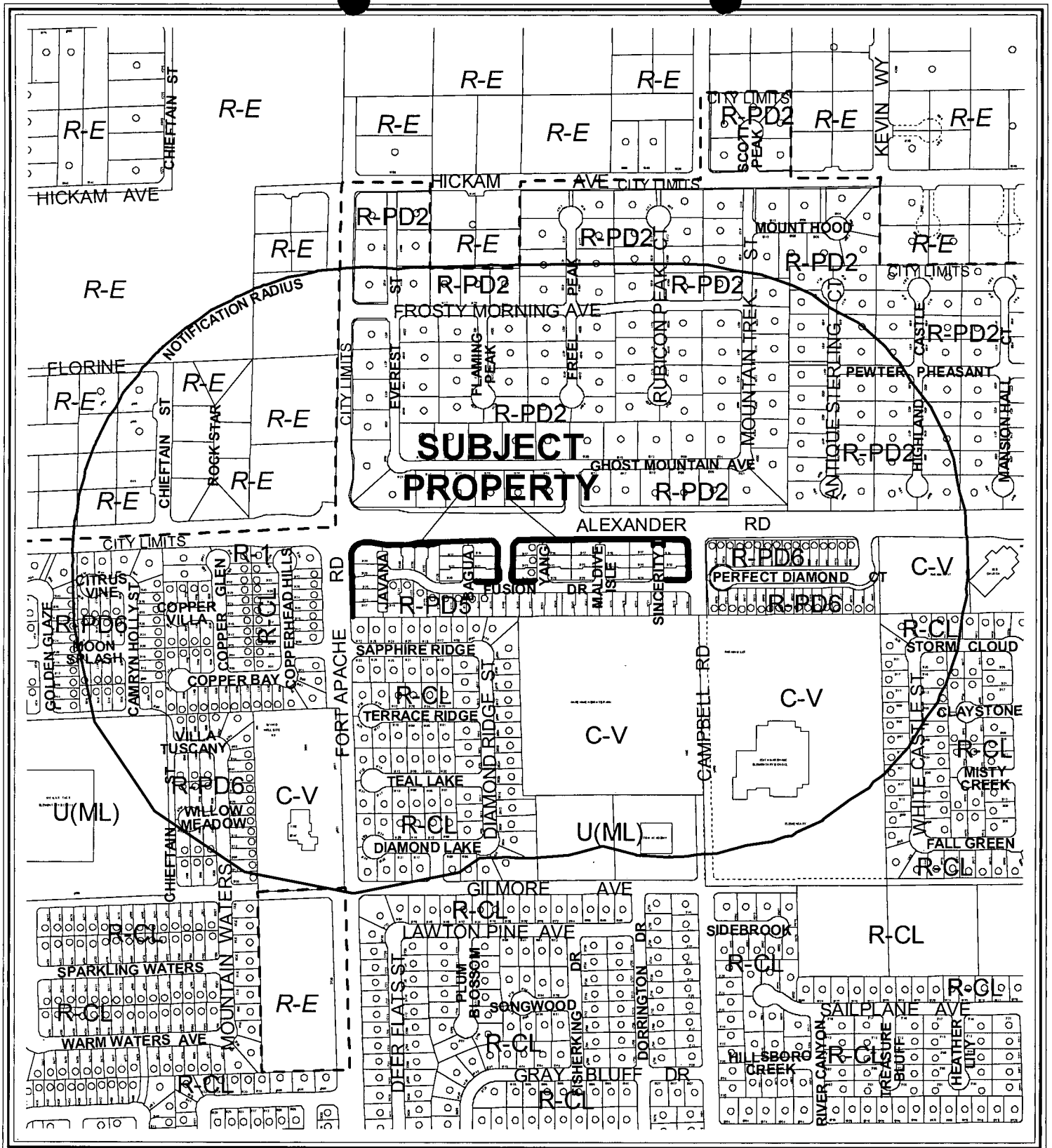
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTION 08, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: **VAR-18345**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-PD5 (RESIDENTIAL PLANNED DEVELOPMENT- 5 UNITS PER ACRE)

0 200 400 Feet



Plans (PMT)



Separator Sheet

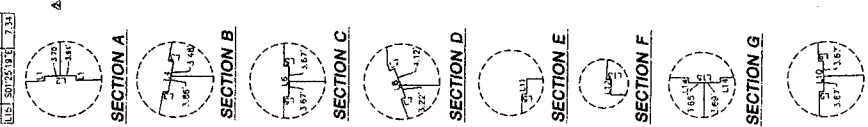
Traffic Impact Analysis



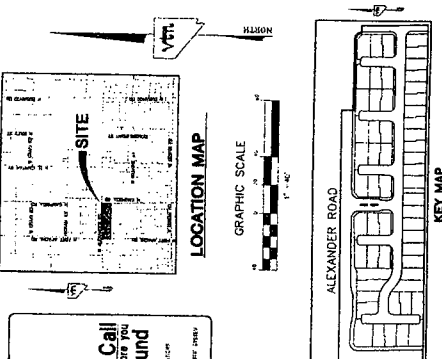
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NOV 28 2006

VAR-18345
01/11/07 PC



NO.	Run "A"	Drop "B"	C&G
1	6.5'	21.5'	1
2	4.5'	15.0'	1
3	4.5'	12.0'	1
4	4.5'	9.5'	1
5	8.0'	0.5'	1
6	9.5'	6.5'	1
7	12.0'	4.5'	1
8	15.5'	4.5'	1
9	21.5'	4.5'	1

[illegible]

QUANTITY	DESCRIPTION
492 L.F.	PUBLIC FLOOD IMPROVEMENT 2 COURSE GRADED FLOOD WALL
648 L.F.	3 COURSE GRADED FLOOD WALL
1800 SQ. FT.	DRAINAGE EASTMENT

EARTHWORKS
CUT - 13,748 CUBIC YARDS
FILL - 8,704 CUBIC YARDS

Call
before you
Overhead
1-702-227-2629

Call
before you
Dig
1-800-227-2600

STATE OF

Call
before you
Overhead
1-702-227-2629

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STATE OF

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STATE OF

CONSTRUCTION NOTES

- 3. CONSTRUCT JOOL, COMB & CUTTERS PER STD. # 217.
- 4. CONSTRUCT STORMWALL PER STD. # 234.
- 5. CONSTRUCT T CROSS DITCHES PER STD. # 228.
- 6. CONSTRUCT EXPANDED CLUMS PER DETAIL SHEET 001.
- 7. CONSTRUCT 3 COURSE INLET 9" COURSE WAS SOLD GROUND STOP STEP WALL ABOVE BOLLARD. NOT AHEAD OF STEP WALL BUT DETOURN. DETOURN SHALL BE 3' COURSE MAX.
- 8. CONSTRUCT 3 COURSE INLET 9" COURSE WAS SOLD GROUND STOP STEP WALL ABOVE BOLLARD. NOT AHEAD OF STEP WALL BUT DETOURN. DETOURN SHALL BE 3' COURSE MAX.
- 9. CONSTRUCT 12" CROWN CURB TO "C" TYPE PER STD. DRAWING AND OTHER DETAIL SHEET 001.
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- 100. REPAIR TO DETAIL SHEET 001.

NOTE :
CLANCH LOTS AND PUBLIC
DRAINAGE EASEMENTS TO BE
PRIVATELY MAINTAINED BY THE
D.O.A.

ENGINEER DISCLAIMER NOTE:
UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

FOR ALL GRADING & STREET
SECTIONS SEE SHEET #03

PRIVATE STREET NOTE:
ALL PRIVATE STREETS ARE P.U.E.'S.
SUBJAC SENEZ EASTMENT AND
PUBLIC UTILITY EASEMENTS TO BE
PRIVATELY MAINTAINED BY H.O.A.

BENCHMARK
PROJECT DATA: NORTH AMERICAN VERTICAL DATUM
OF 1988 (NAD83)
CLIENT COUNTRY: BENIN
CLIMATE: TROPICAL
ELEVATION: 780-850 METERS
DATE OF WORK: MARCH AND JUNE, ALUMINUM PLATE
AND STEEL TAPES
PROJECT TYPE: LEVEL LINE

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS PROJECT IS NORTH
TRUE. EAST BEARS THE SOUTH LINE OF THE
HIGHEST AVAILABLE COURSE (1/4 OF THE HORIZONTAL
DISTANCE) (1/4 OF SECTION 8, TOWNSHIP 20 SOUTH,
RANGE 10 EAST, ZONE 18). THE BEARING OF THE
SOUTH LINE OF THE HIGHEST AVAILABLE COURSE
IS 78° 15' 00" (NAD 83). THE BEARING OF THE SOUTH
LINE OF THE HIGHEST AVAILABLE COURSE IS 78° 15' 00" (NAD 83).

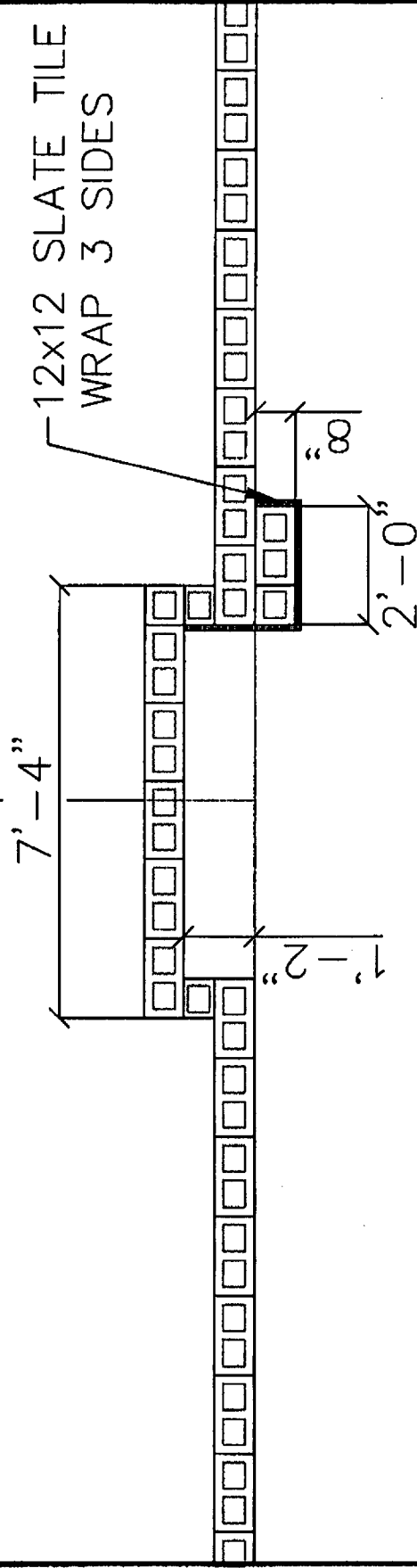
BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PROJECT IS NORTH 100° 00' 00" EAST, BEING THE SURVEY LINE OF THE NORTH-EAST QUARTER (NE 1/4) OF THE NORTHWEST 1/4, SECTION 40 EAST, T.10N., R.10E., CLARK COUNTY, NEVADA, AS SHOWN ON A PLAT MAP DATED IN THE CLARK COUNTY RECORDS OFFICE AT PLAT 8297, 7-17-1974.

COURSE TABLE		
NO	BEARING	LENGTH
L1	N28°27'1"E	1.17
L2	S01°35'46"E	7.34
L3	N109°08'31"E	1.17
L4	S00°54'25"E	7.34
L5	N100°19'11"W	1.17
L6	N89°40'49"E	7.34
L7	N21°12'12"W	1.17
L8	N65°47'46"E	7.34
L9	N01°40'08"W	1.17
L10	N89°19'52"E	7.34
L11	N89°40'49"E	3.67
L12	S08°06'43"E	3.67
L13	N01°53'17"E	1.17
L14	N88°34'41"E	1.17
L15	S01°25'19"E	7.34

LOT

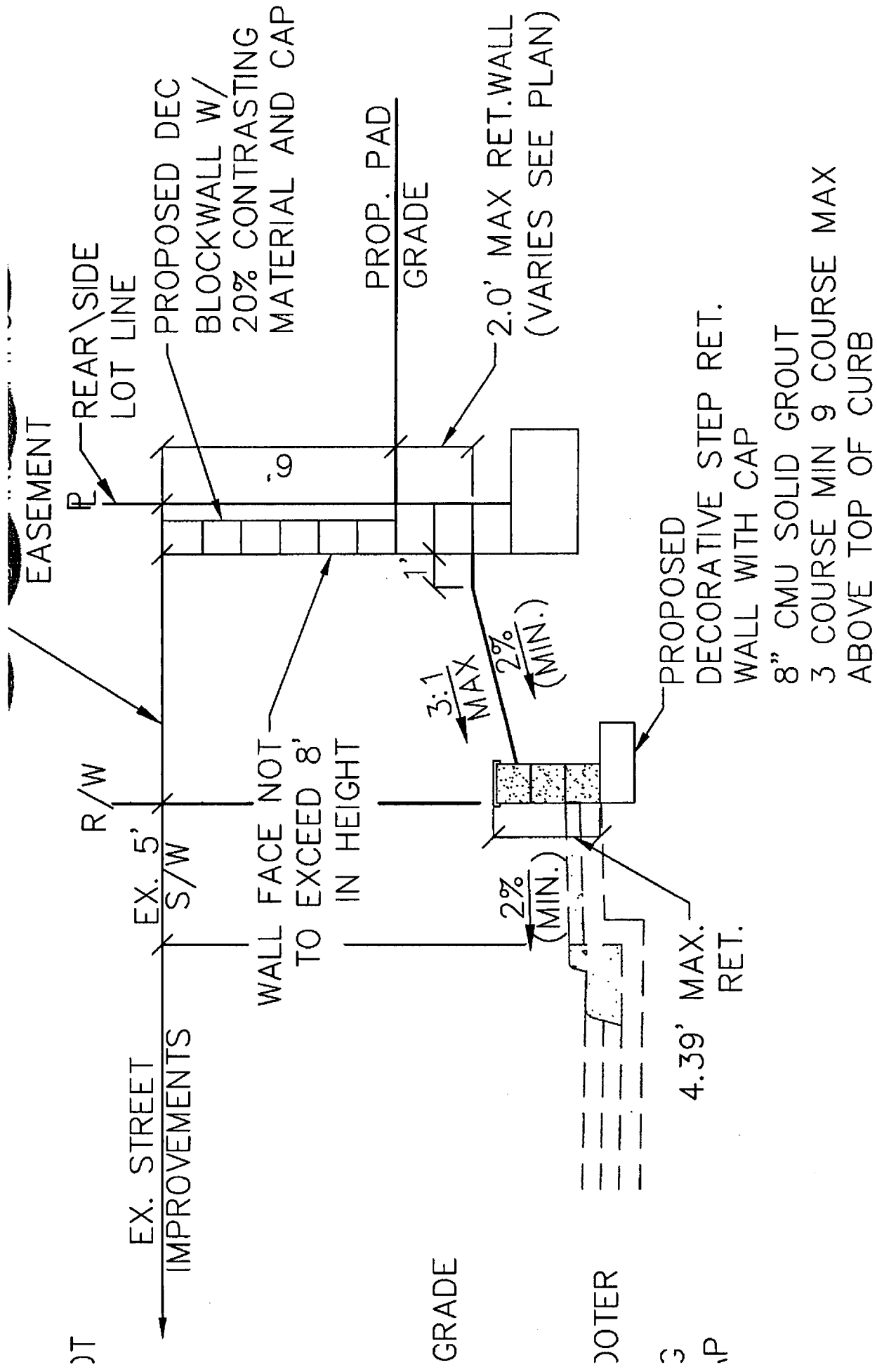
LOT



6' LANDSCAPE EASEMENT

5' SIDEWALK

TYPICAL PERIMETER WALL DETAIL



16 16
 G1 G2

RETAINING WALL SECTION DETAIL

(N.T.S.)





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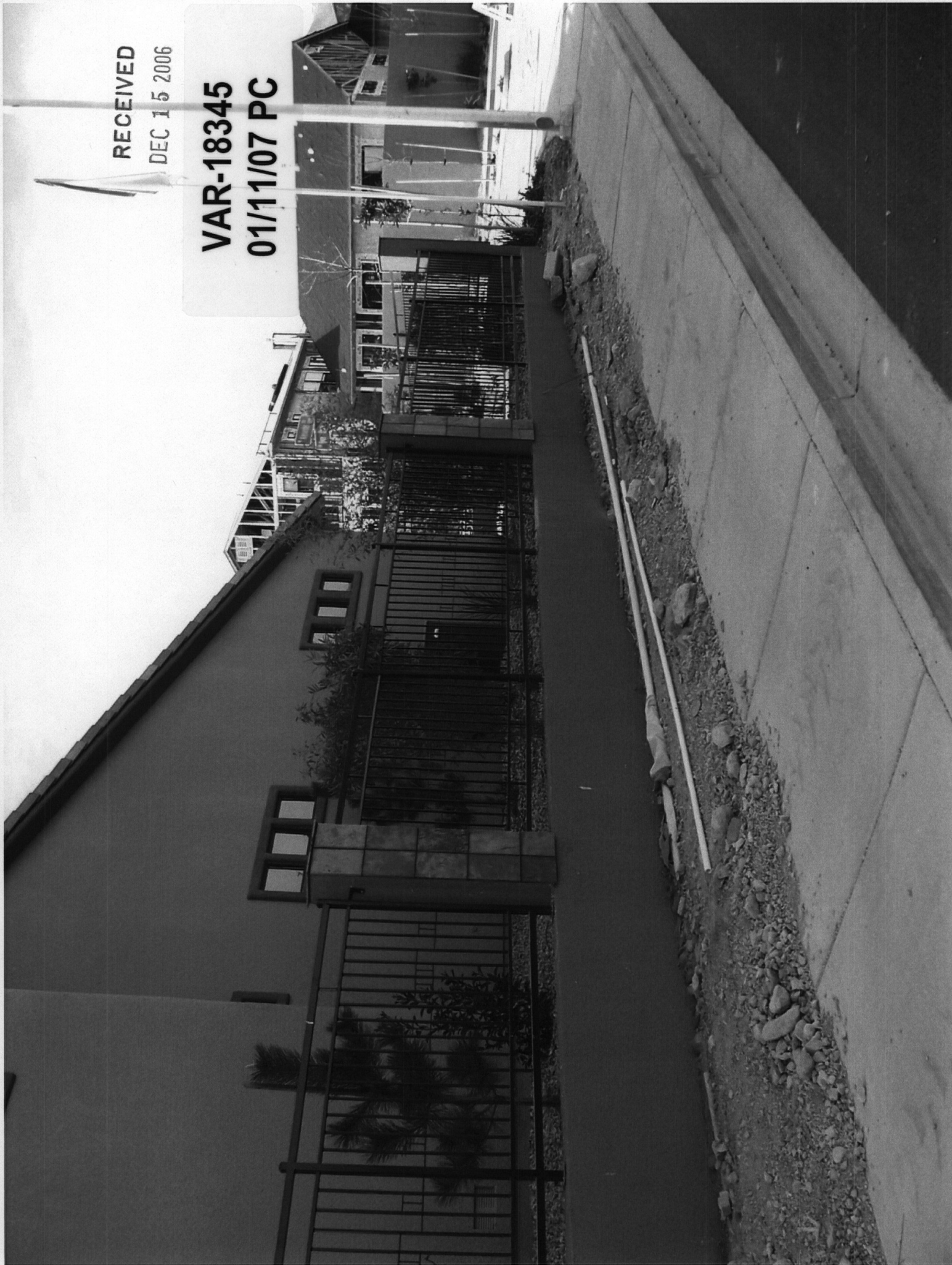
VAR-18345
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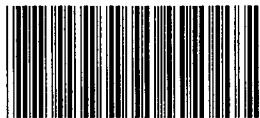
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DEC 15 2006

VAR-18345

01/11/07 PC

Comments



C O M M E N T S

Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riecki, Survey (FM, PM, & A's only)
Date: December 20, 2006
Re: **VAR-18345** Wagner Homes, Inc. SWC Alexander Rd. & Campbell Rd.
Request for a Variance for block wall height

CONDITIONS OF APPROVAL:

1. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building permits for the block wall. Provide and improve all drainageways as recommended in the approved drainage plan/study.
2. Site development to comply with all applicable conditions of approval for ZON-2415 and all other applicable site-related actions.

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

VAR-18345 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: WAGNER HOMES INC -

Request for a Variance to ALLOW A 13.9 FOOT HIGH PERIMETER WALL WHERE 8 FEET IS THE MAXIMUM HEIGHT ALLOWED FOR AN APPROVED 57-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 0.36 acres adjacent to the southeast corner and southwest corner of Alexander Road and Campbell Road (APN: 138-08-116-020 and 021), U (Undeveloped) Zone [L (Low Density Residential) General Plan Designation] under Resolution of Intent to R-PD5 (Residential Planned Development - 5 Units Per Acre), Ward 4 (Brown).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE NORTHWEST QUARTER (NW¼) OF SECTION 08, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: JANUARY 11, 2007 CITY COUNCIL: FEBRUARY 7, 2007

CASE PLANNER: JOHN KORKOSZ



PUBLIC HEARING

Comments Due: **DECEMBER 13, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Las Vegas Metropolitan Police Dept.
Office of Intergovernmental Services

No Law Enforcement Issue

Dorothy Marsili

From: Doug Rankin
Sent: Monday, January 08, 2007 10:51 AM
To: John Korkosz; Dorothy Marsili
Subject: FW: City of LV - 01-11-07 PC Final Agenda

From: Heimgartner, Erin [mailto:eeheimgartner@centexhomes.com]
Sent: Monday, January 08, 2007 10:48 AM
To: drankin@lasvegasnevada.gov
Subject: City of LV - 01-11-07 PC Final Agenda

Re: Item #33 VAR-18345

What is purpose of increased height? Is it necessary for construction safety? Are driver site lines impacted? Is there an impact on flood water drainage?

If any of these items are of a negative factor to the community, I do not support the variance.

Thank you,

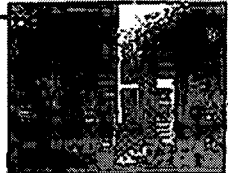
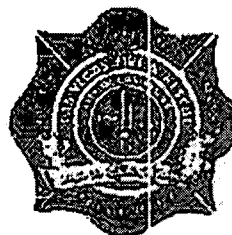
Erin E. Heimgartner

1/8/2007

ITEM # 33
CASE # VAR-18345
PC MTG 1-11-07

P

BUILDING & SAFETY

DEVELOPMENT
SERVICES CENTER**City of Las Vegas Building &
Safety/Fire Prevention Permit/
Hard Card**

For Inspection Request Call 229-4677

FOR SCHEDULING ASSISTANCE CALL: 229-6914

PERMIT NUMBER 70030

Permit Type: WALL FENCE

COMMERCIAL PROJECT

Job Address: 9101 W ALEXANDER RD Apt/Suite

FD MAP # 01816-92

Project Name: DAY DAWN FUSION

Primary Applicant: WATERFALL DIMENSIONS INC

Approved/Date

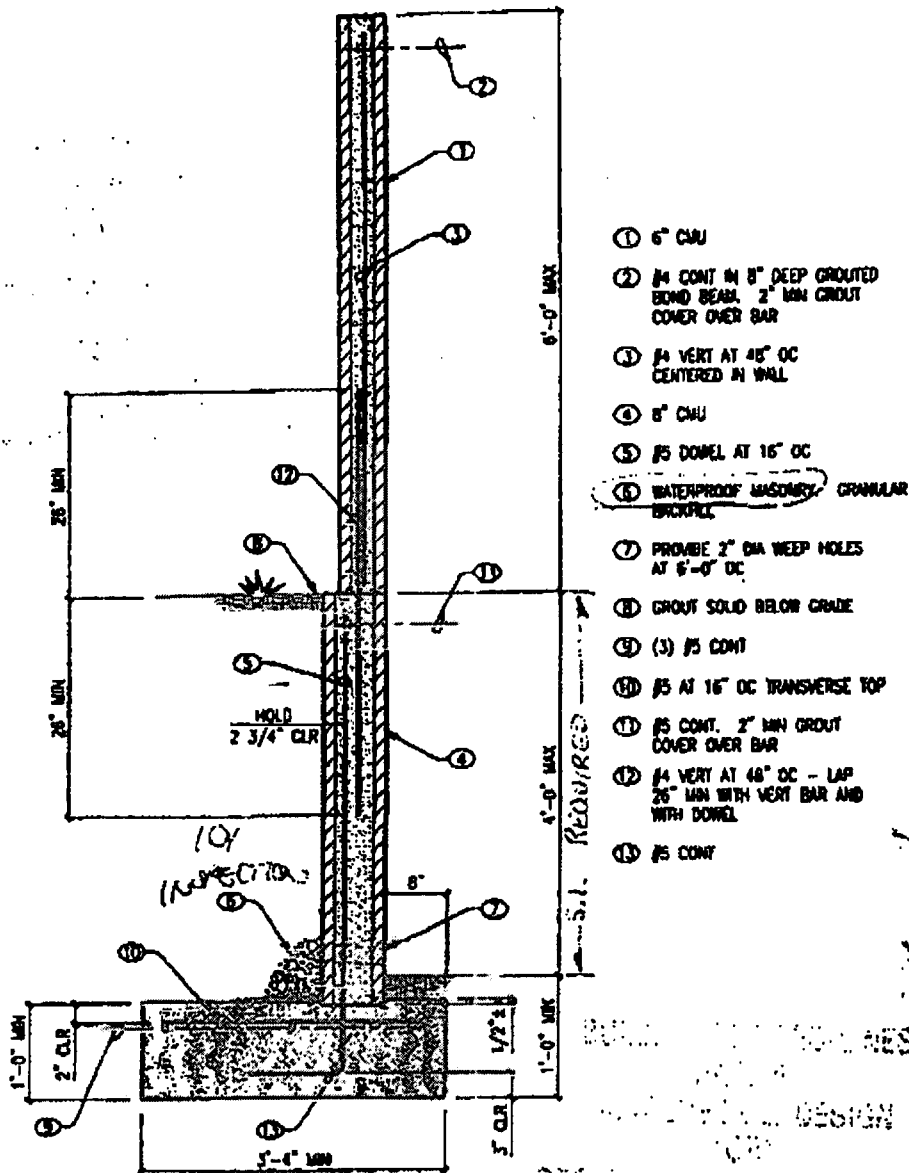
101 FOOTING, LAYOUT, REBAR, ZONING
131 WALL GROUT & STEEL*Handwritten:* 12/1/06 COMB. INS. FI. CL. PARTIAL 2/2/06

140 FINAL BUILDING

150 OTHER BUILDING

640 PLANNING FINAL

Required Inspections Are Printed In Bold**Approved Plans Shall Be on Job Site During Construction****See Reverse Side of This Card For Wall Information****Notice: Do not cover any work requiring inspection until inspections are conducted and approved. Required inspections may vary from those designated above.***ATTN**Jeff Armstrong*



- ① 6" CMU
- ② #4 CONT IN 8" DEEP GROUTED BOND BEAM. 2" MIN GROUT COVER OVER BAR
- ③ #4 VERT AT 48" OC CENTERED IN WALL
- ④ 6" CMU
- ⑤ #5 DOWEL AT 16" OC
- ⑥ WATERPROOF MASONRY GRANULAR BACKFILL
- ⑦ PROVIDE 2" DIA WEEP HOLES AT 6'-0" OC
- ⑧ GROUT SOLID BELOW GRADE
- ⑨ (3) #5 CONT
- ⑩ #5 AT 16" OC TRANSVERSE TOP
- ⑪ #5 CONT. 2" MIN GROUT COVER OVER BAR
- ⑫ #4 VERT AT 48" OC - LAP 26" MIN WITH VERT BAR AND WITH DOWEL
- ⑬ #5 CONT

MENDENHALL SMITH STRUCTURAL ENGINEERS

2571 Red Rock St. Ste A
Las Vegas, NV 89103
P 702.367.6725
F 702.367.2727
mendenhallsmith.com
Las Vegas, NV
Sacramento, CA
Daytona Beach, FL

MASONRY RETAINING WALL: Day Dawn Fusion (SEC Alexander Road and Fort Apache Road, Las Vegas, Nevada) (Low Expansive Soil)

4067-6078

NO SCALE

BUILDING CODE: 2003 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
FOUNDATIONS: FOUNDATIONS DESIGNED IN CONFORMANCE WITH SUMMIT ENGINEERING CORPORATION, FILE NO. 72606, DATED JUNE 24, 2003, AND UPGRADE LETTER, DATED JULY 25, 2005
 DO NOT USE AT CRITICALLY EXPANSIVE SOIL CONDITIONS
 ALLOWABLE SOIL BEARING PRESSURE 2000 PSF
CONCRETE: MINIMUM 28 DAY STRENGTH, $f'_c = 2500$ PSI (SOLUBLE SULFATE LEVEL NEGLECTABLE)
MASONRY: HOLLOW, LIGHTWEIGHT CONCRETE MASONRY UNITS PER ASTM C90, GRADE N, TYPE I, f_m 1500 PSI
 MORTAR TYPE S, 1800 PSI. GROUT 2000 PSI
 CONSTRUCTION TO CONFORM TO IBC CHAPTER 21. (SPECIAL INSPECTION REQUIRED)
 CONSTRUCTION TO LOCATE ADEQUATE VERTICAL EXPANSION JOINTS IN ALL MASONRY CONSTRUCTION AS TO ELIMINATE SHRINKAGE CRACKING OR CRACKING DUE TO DIFFERENTIAL MOVEMENT.
REINFORCING: LAY ALL UNITS IN RUNNING BOND.
 ALL REINFORCING SHALL BE ASTM A615 GRADE 60

IS REQUIRED!
 PER INSURANCE
 For Retaining Portion
 of Wall Only.

Project	DAY DAWN FUSION
Project No.	
Date	02/15/06
By	
Check	

affiliated offices
 Scottsdale, AZ
 Austin, TX
 Denver, CO

Applicant Letter



APPLICANT LETTER

Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

December 29, 2006

Mr. Paul Wagner
Wagner Home Incorporated
6985 West Sahara, Suite 201
Las Vegas, Nevada 89117

RE: VAR-18345 - VARIANCE

Dear Mr. Wagner:

Please be advised the City Planning Commission at its regular meeting on *January 11, 2007* as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the *final agenda* will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

cc: Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

January 12, 2007

Mr. Paul Wagner
Wagner Home Inc.
6985 West Sahara, Suite #201
Las Vegas, Nevada 89117

RE: ABEYANCE - VAR-18345 - VARIANCE

Dear Mr. Wagner:

Please be advised the City Planning Commission at its regular meeting on **January 25, 2007** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, AICP
Current Planning Manager
Planning and Development Department

DJR:clb

cc: Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

February 9, 2007

Mr. Paul Wagner
Wagner Homes, Inc.
6985 West Sahara, Suite #201
Las Vegas, Nevada 89117

RE: ABEYANCE - VAR-18345 - VARIANCE

Dear Mr. Wagner:

Please be advised the City Planning Commission at its regular meeting on **February 22, 2007** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Andrew P. Reed, Planning Supervisor
Planning and Development Department
Current Planning Division

AR:clb

cc: Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Action Letter



ACTION LETTER

Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

February 23, 2007

Mr. Paul Wagner
Wagner Homes, Inc.
6985 West Sahara Avenue, Suite #201
Las Vegas, Nevada 89117

RE: ABEYANCE - VAR-18345 - VARIANCE

Dear Mr. Wagner:

Your request for a Variance to ALLOW A 13.9 FOOT HIGH PERIMETER WALL WHERE 12 FEET IS THE MAXIMUM HEIGHT ALLOWED FOR AN APPROVED 57-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 0.36 acres adjacent to the southeast corner and southwest corner of Alexander Road and Campbell Road (APN: 138-08-116-020 and 021), U (Undeveloped) Zone [L (Low Density Residential) General Plan Designation] under Resolution of Intent to R-PD5 (Residential Planned Development - 5 Units Per Acre), Ward 4 (Brown), was considered by the Planning Commission on February 22, 2007.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-2415), Site Development Plan Review (SDR-2418), Tentative Map (TMP-3068), and Review of Conditions (ROC-18431).
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

Public Works

3. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building permits for the block wall. Provide and improve all drainageways as recommended in the approved drainage plan/study.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
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Mr. Paul Wagner
VAR-18345 - Page Two
February 23, 2007

4. Site development to comply with all applicable conditions of approval for ZON-2415 and all other applicable site-related actions.

This action by the Planning Commission on **February 22, 2007** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision or there is a review action filed by the City Council within the same time period. The Notice of Final Action was filed with the Las Vegas City Clerk on **February 23, 2007**.

Sincerely,

A handwritten signature in black ink that reads "Andrew P. Reed". The signature is fluid and cursive, with the first name "Andrew" and last name "Reed" clearly legible.

Andrew P. Reed, Planning Supervisor
Planning and Development Department
Current Planning Division

AR:clb

cc: Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146

PLANNING & DEVELOPMENT



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January 26, 2007

Mr. Paul Wagner
Wagner Homes, Inc.
6985 West Sahara Avenue, Suite #201
Las Vegas, Nevada 89117

RE: ABEYANCE - VAR-18345 - VARIANCE

Dear Mr. Wagner:

Your request for a Variance to ALLOW A 13.9 FOOT HIGH PERIMETER WALL WHERE 12 FEET IS THE MAXIMUM HEIGHT ALLOWED FOR AN APPROVED 57-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 0.36 acres adjacent to the southeast corner and southwest corner of Alexander Road and Campbell Road (APN: 138-08-116-020 and 021), U (Undeveloped) Zone [L (Low Density Residential) General Plan Designation] under Resolution of Intent to R-PD5 (Residential Planned Development - 5 Units Per Acre), Ward 4 (Brown), was considered by the Planning Commission on January 25, 2007.

The Planning Commission voted to hold this item in **ABEYANCE** for a review of conditions on the related Site Development Plan Review at City Council.

This item is scheduled to be heard again at the **February 22, 2007** Planning Commission meeting which will be held at 6:00 PM in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

Andy Reed, Senior Planner
Planning and Development Department
Current Planning Division

AR:clb

cc: Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



**KUMMER
KAEMPFER****KUMMER KAEMPFER BONNER
RENSHAW & FERRARIO**

ATTORNEYS AT LAW

LAS VEGAS OFFICE

ANTHONY J. CELESTE
aceleste@kkbrf.com
702.693.4215LAS VEGAS OFFICE
3800 Howard Hughes Parkway
Seventh Floor
Las Vegas, NV 89169
Tel. 702.782.7000
Fax. 702.796.7181RENO OFFICE
5585 Kietzke Lane
Reno, NV 89511
Tel. 775.852.3900
Fax. 775.852.3982SUMMERLIN OFFICE
3425 Cliff Shadows Parkway
Suite 150
Las Vegas, NV 89128
Tel. 702.893.4250
Fax. 702.938.8457CARSON CITY OFFICE
510 W. Fourth Street
Carson City, NV 89703
Tel. 775.882.1311
Fax. 775.882.0257

January 25, 2007

VIA FACSIMILE
385-7268Mr. Doug Rankin
LAS VEGAS PLANNING & DEVELOPMENT
731 South Fourth Street
Las Vegas, NV 89101**Re: Request to hold VAR-18345
Wagner Homes, Inc.**

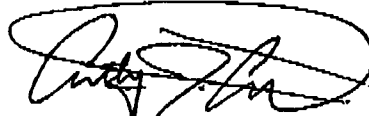
Dear Mr. Rankin:

Our office represents the property owner in the above-referenced matter. We respectfully request this matter be continued from the presently scheduled Planning Commission meeting of January 25, 2007 until February 22, 2007.

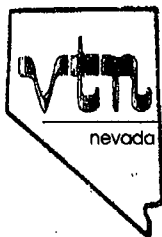
Thank you for your consideration.

Sincerely,

KUMMER KAEMPFER BONNER RENSCHAW & FERRARIO


Anthony J. Celeste

AJC/dmf



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SERVICES SINCE 1960

January 24, 2007

W.O. 6194

Mr. Douglas J. Rankin, Planning Manager
City of Las Vegas
Planning and Development
731 S. Fourth Street
Las Vegas, Nevada 89101

(Via Facsimile @ 385-7268)

RE: Request to Hold Application
VAR-18345

Dear Mr. Rankin,

On behalf of our client, Nevada Homes Group, VTN Nevada hereby requests the City of Las Vegas to hold the above referenced application to the February 8, 2007, Planning Commission hearing. This application is in conjunction with ROC-18341 which was also held in abeyance to the February 7, 2007, City Council hearing date. Should you have any further questions regarding this matter, please do not hesitate to telephone this office at 873-7550.

Sincerely,
VTN-Nevada

Jeffrey R. Armstrong, Senior Planner

cc: Paul Wagner, Nevada Homes Group
Ken Nicholson, PE.

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

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Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

January 12, 2007

Mr. Paul Wagner
Wagner Home Incorporated
6985 West Sahara, Suite 201
Las Vegas, Nevada 89117

RE: VAR-18345 - VARIANCE

Dear Mr. Wagner:

Your request for a Variance to ALLOW A 13.9 FOOT HIGH PERIMETER WALL WHERE 12 FEET IS THE MAXIMUM HEIGHT ALLOWED FOR AN APPROVED 57-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 0.36 acres adjacent to the southeast corner and southwest corner of Alexander Road and Campbell Road (APN: 138-08-116-020 and 021), U (Undeveloped) Zone [L (Low Density Residential) General Plan Designation] under Resolution of Intent to R-PD5 (Residential Planned Development - 5 Units Per Acre), Ward 4 (Brown), was considered by the Planning Commission on January 11, 2007.

The Planning Commission voted to hold this item in **ABEYANCE** for a review of conditions on the SDR at City Council.

This item is scheduled to be heard again at the **January 25, 2007** Planning Commission meeting which will be held at 6:00 PM in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

cc: Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146

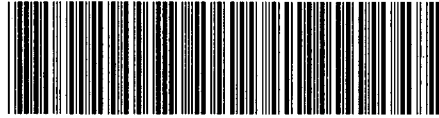
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Douglas A. Selby



Extraction List



EXTRACTION LIST

Separator Sheet

4/4

C

Report of All Selected ParcelsOwnerCase Number: VAR-18345AddressPrinted On: Thu: December 7, 2006Parcel Numbe

13805497010

13805497002

13808197003

13808197007

13808197006

13808197005

13805497009

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13808197010

13808197009

13808197002

13808197001

13807516009

13806803011

13807517030

13806801006

13806801007

13808113079

13806803016

13805411058

13805411070

13808114024

13808114026

13808113065

13807513030

13807513039

13807513011

13805411083

13807513020

13808114017

13805411060

13807516008

%E & J KAMINSKI 1013 JENNIS SILVER ST LAS VEGAS NV

4045 N CHIEFTAIN ST LAS VEGAS NV

9400 FOX FOREST AVE LAS VEGAS NV

8533 GILMORE AVE LAS VEGAS NV

7469 LAKE MEAD #230 LAS VEGAS NV

3804 DIAMOND RIDGE ST LAS VEGAS NV

4060 HAFLINGER CT LAS VEGAS NV

4009 EVEREST ST LAS VEGAS NV

4008 FLAMING PEAK CT LAS VEGAS NV

2499 AUMAKUA ST PEARL CITY HI

P O BOX 33052 LAS VEGAS NV

9104 TERRACE RIDGE CT LAS VEGAS NV

3940 COPPER GLEN ST LAS VEGAS NV

3904 COPPER GLEN ST LAS VEGAS NV

9333 COPPER BAY AVE LAS VEGAS NV

4017 RUBICON PEAK CT LAS VEGAS NV

9337 COPPER VILLA CT LAS VEGAS NV

8929 PERFECT DIAMOND CT LAS VEGAS NV

4017 EVEREST ST LAS VEGAS NV

5370 AVENIDA EL CID YORBA LINDA CA

3832 MOUNTAIN WATERS L L C

ABERNATHY JAMES H

AGUSTIN JOSELITO C & VIRGINIA

ALEXANDER HOLDING CORP

ALEXANDER HOLDING CORP

ALLEN MARK & NICKI ARLENE

ALVAREZ FIDEL E & CARMEN T

ANAS GEORGE & ANNETTE

ANAYA FERNANDO & EVA

ANDAYA HARRY R REVOCABLE LIV TR

ANGUS ARSENIO L III & KARA

ANTHONY STAVROS S & BERNADETTE

ARBOGAST CHARLES

ARRIGO DIANE C LIVING TRUST 2005

AYOUB AYOUB SHABAN

BADALONI CLAUDE E & JULIE A

BAEZA PAUL & OFELIA

BAILEY JAMIE K

BALDWIN SHAD MICHAEL & DENISE M

BARNETT LIVING TRUST

Report of All Selected Parcels

Case Number: VAR-18345

Printed On: Thu: December 7, 2006

Owner	Address	Parcel Number
BARNEY ALICIA	8905 PERFECT DIAMOND CT LAS VEGAS NV	13808114023
BASS RANDI B REVOCABLE TR AGMT	8817 STORM CLOUD AVE LAS VEGAS NV	13808111024
BASTARACHE THOMAS J	8897 PERFECT DIAMOND CT LAS VEGAS NV	13808114025
BATES JAMES J III	3901 WHITE CASTLE ST LAS VEGAS NV	13808112010
BEAN DELPHINE L REVOCABLE LIV TR	9113 TERRACE RIDGE CT LAS VEGAS NV	13808113058
BELINC CHRISTIAN J	3912 COPPER GLEN ST LAS VEGAS NV	13807513037
BELINC MARK J	9337 COPPER BAY AVE LAS VEGAS NV	13807513012
BENES SCOTT	9416 MOON SPLASH CT LAS VEGAS NV	13807517010
BENNETT CHARLES & MICHELE L L	9017 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411049
BENSON ELAINE T & DANIEL	9417 MOON SPLASH CT LAS VEGAS NV	13807517007
BENSON STANLEY B & HEATHER D	9105 DIAMOND LAKE AVE LAS VEGAS NV	13808113025
BERNSTEIN LOUIS	3913 COPPERHEAD HILLS ST LAS VEGAS NV	13807513044
BIDOCHKA DANIEL W	3812 DIAMOND RIDGE ST LAS VEGAS NV	13808113077
BIGHAM RICHARD & JUDITH A TRUST	4033 ANTIQUE STERLING CT LAS VEGAS NV	13805410026
BILLITTERI PETER I & LIEN T	9105 TEAL LAKE CT LAS VEGAS NV	13808113041
BONILLA CELSO J & MAGDA E	3908 CAMRYN HOLLY ST LAS VEGAS NV	13807517029
BORWN JEFFREY & VINITA	9121 TERRACE RIDGE CT LAS VEGAS NV	13808113060
BOYER ELAINE A	9108 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113007
BRAUN CHARLES M & CINDY A	9101 DIAMOND LAKE AVE LAS VEGAS NV	13808113024
BRINDLEY FAMILY TRUST	8904 PERFECT DIAMOND CT LAS VEGAS NV	13808114010
BROOKENS EDWARD & BROOKE	3820 MOUNTAIN WATERS ST LAS VEGAS NV	13807516006
BROOKS CHARLES E & DIANE	4104 EVEREST ST LAS VEGAS NV	13805411006
BRUNS NORMAN H	9352 VILLA TUSCANY AVE LAS VEGAS NV	13807516015
BULL ROBERT A & KAREN O	9100 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113009
BURLESON DONNA	3824 DIAMOND RIDGE ST LAS VEGAS NV	13808113017
BUTLER PATRICIA A	3932 GOLDEN GLAZE ST LAS VEGAS NV	13807515022
C U N HEAVEN TRUST	4005 EVEREST ST LAS VEGAS NV	13805411057
CALARA FRANCISCO R & MYRA	9105 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411052
CAMPBELL KEVIN B & ELIZABETH J	9301 COPPER BAY AVE LAS VEGAS NV	13807513003
CARDAMON WILLIAM M	9340 COPPER VILLA CT LAS VEGAS NV	13807513026
CARLISLE FAMILY TRUST	%J CARLISLE 3924 CAMRYN HOLLY ST LAS VEGAS NV	13807517025
CARR TAMARA LYNN	9013 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411048

Report of All Selected Parcels

Case Number: VAR-18345

Printed On: Thu: December 7, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
CARSON FREDERICK L & ANGELINA Q	9416 CITRUS VINE CT LAS VEGAS NV	13807517017
CARTWRIGHT RONALD N & SANDRA E	9105 TERRACE RIDGE CT LAS VEGAS NV	13808113056
CASILLAS CARLOS A & S J LIV TR	9113 TEAL LAKE CT LAS VEGAS NV	13808113043
CEBALLOS HECTOR & NOEMI	3928 CAMRYN HOLLY ST LAS VEGAS NV	13807517024
CHAREZ DAVID & KRISTA	3836 MOUNTAIN WATERS ST LAS VEGAS NV	13807516010
CHAMNESS LIVING TRUST	9125 DIAMOND LAKE AVE LAS VEGAS NV	13808113029
CHANCE STEPHEN A	9421 CITRUS VINE CT LAS VEGAS NV	13807517016
CHAPMAN BRIAN	4013 FREEL PEAK CT LAS VEGAS NV	13805411076
CHEATHAM KAREN	3932 CAMRYN HOLLY ST LAS VEGAS NV	13807517023
CHELTENHAM EDGAR JOSEPH & SONYA	4016 HIGHLAND CASTLE CT LAS VEGAS NV	13805410043
CHERWIN MICHAEL P	4009 RUBICON PEAK CT LAS VEGAS NV	13805411085
CHESLEY FAMILY TRUST 1995	4108 ANTIQUE STERLING CT LAS VEGAS NV	13805410018
CHURCH L D S PRESIDING BISHOP	%TAX DIVISION 50 E NORTH TEMPEL 22ND FLOOR SALT LAKE CITY UT	13808101007
CIAMBRIELLO DOMENICO & A FAM TR	6646 QUAKERTOWN AVE CANOGA PARK CA	13807513010
CITY OF LAS VEGAS	400 STEWART AVE LAS VEGAS NV	13807501014
CITY OF LAS VEGAS	%REAL EST 400 STEWART AVE 4TH FLR LAS VEGAS NV	13808101036
CODINA BERNARDO R & PURA REV TR	3825 WHITE CASTLE ST LAS VEGAS NV	13808112011
COLLURA VINCENT	9321 COPPER BAY AVE LAS VEGAS NV	13807513008
COLONEL JOYCE	8877 PERFECT DIAMOND CT LAS VEGAS NV	13808114030
CONGLETON CLINTON J	3932 COPPERHEAD HILLS ST LAS VEGAS NV	13807513053
CONNOLLY MICHAEL F & GINA M	8869 PERFECT DIAMOND CT LAS VEGAS NV	13808114032
COOK DARRIN NEIL & LISA J	4016 FLAMING PEAK CT LAS VEGAS NV	13805411072
COOPER STEVE	3921 WHITE CASTLE ST LAS VEGAS NV	13808112005
CORBETT HELENE A 1984 TRUST	9356 VILLA TUSCANY AVE LAS VEGAS NV	13807516016
CORDONE LOUIS & SUZANNE	4024 HIGHLAND CASTLE CT LAS VEGAS NV	13805410044
CRECCA KATHLEEN	3916 COPPERHEAD HILLS ST LAS VEGAS NV	13807513057
CRIFASI VINCENT	1006 WALT WHITMAN RD MELVILLE NY	13808114009
CRIFASI VINCENT	1006 WALT WHITMAN RD MELVILLE NY	13808114019
CROCKER RODRICK	9341 COPPER VILLA CT LAS VEGAS NV	13807513021
CROWE JANE E	9364 VILLA TUSCANY AVE LAS VEGAS NV	13807516018
CUBEL FAMILY TRUST	3909 WHITE CASTLE ST LAS VEGAS NV	13808112008
CULLEN DAVID	8322 JEEVES CIR LAS VEGAS NV	13805401037

Report of All Selected Parcels

Case Number: VAR-18345

Printed On: Thu: December 7, 2006

Owner	Address	Parcel Number
CUMMINS CHARLES S & TAMI R	9112 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411102
CZARNECKI RONALD & L REV LIV TR	9121 TEAL LAKE CT LAS VEGAS NV	13808113045
CZYZNIEJEWSKI LEN & LISA	4001 ANTIQUE STERLING CT LAS VEGAS NV	13805410030
DAISY TRUST	3800 DIAMOND RIDGE ST LAS VEGAS NV	13808113080
DANNER B C	9001 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411045
DARLING DANIEL & ROSE REV LIV TR	8812 STORM CLOUD AVE LAS VEGAS NV	13808111002
DAVIS ROBERT S & MARY CARLA	9412 CITRUS VINE CT LAS VEGAS NV	13807517018
DELAPENA LORNA N	3929 COPPERHEAD HILLS ST LAS VEGAS NV	13807513048
DELMORAL VICTORIA & RICHARD	9408 FOX FOREST AVE LAS VEGAS NV	13807517004
DELOSREYES CYNTHIA	8876 PERFECT DIAMOND CT LAS VEGAS NV	13808114003
DENTON KATHY	4013 RUBICON PEAK CT LAS VEGAS NV	13805411084
DEVESCOVI JOANNE M	3920 WHITE CASTLE ST LAS VEGAS NV	13808112030
DEWYN EVERT & DIANA	9124 DIAMOND LAKE AVE LAS VEGAS NV	13808113032
DOANE RONALD L & JAMI	4101 HIGHLAND CASTLE CT LAS VEGAS NV	13805410016
DOLSON GARY R & EMILY REV TR	4008 RUBICON PEAK CT LAS VEGAS NV	13805411086
DOMINGO ELENA S REVOCABLE TRUST	281 FRANKFORT ST DALY CITY CA	13805410031
DONAHUE WILLIAM & ROCIO	8880 PERFECT DIAMOND CT LAS VEGAS NV	13808114004
DOUCETTE FAMILY REVOCABLE LIV TR	4108 FREEL PEAK CT LAS VEGAS NV	13805411016
DRYMALSKI FAMILY TRUST	4025 ANTIQUE STERLING CT LAS VEGAS NV	13805410027
DUNLAP FAMILY REVOCABLE LIV TR	9117 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411055
EDWARDS CHRISTOPHER	9309 COPPER BAY AVE LAS VEGAS NV	13807513005
EDWARDS JOHN M & THEOFIL C	4016 ANTIQUE STERLING CT LAS VEGAS NV	13805410033
EKIZIAN JANE	9356 WILLOR MEADOW CT LAS VEGAS NV	13807516022
ELKINGTON THOMAS S & SCARLET R	%REPUBLIC MTGE 9580 W SAHARA AVE #150 LAS VEGAS NV	13807513054
ELLERBECK CONSTANCE	3816 MOUNTAIN WATERS ST LAS VEGAS NV	13807516005
ELSHAAL FAYEZ	3904 COPPERHEAD HILLS ST LAS VEGAS NV	13807513001
EMBREY BRADLEY J REV LIV TR	9116 TERRACE RIDGE CT LAS VEGAS NV	13808113062
EMMONS PAUL E	9109 TEAL LAKE CT LAS VEGAS NV	13808113042
ENGSTROM DAVID & MICHELLE	4021 FLAMING PEAK CT LAS VEGAS NV	13805411066
ERICKSON CLARENCE D JR & SHONNA	9109 DIAMOND RIDGE AVE LAS VEGAS NV	13808113026
ESPINO GINA B	8872 PERFECT DIAMOND CT LAS VEGAS NV	13808114002
EVERETT THOMAS R & GWENDOLYN	3905 COPPERHEAD HILLS ST LAS VEGAS NV	13807513042

Report of All Selected Parcels

Case Number: VAR-18345

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Owner	Address	Parcel Number
EZEKE MARCEL C & UZOMA G	500 S MARTIN L KING BLVD #D & E LAS VEGAS NV	13806801014
FAIRCHILD SEPARATE PROPERTY TR	3916 CAMRYN HOLLY ST LAS VEGAS NV	13807517027
FANNIN STEVEN D & DEBORAH A	3916 COPPER GLEN ST LAS VEGAS NV	13807513036
FENTON JUSTIN M	3812 MOUNTAIN WATERS ST LAS VEGAS NV	13807516004
FINCHER MANTON L & SANDRA Z	4021 EVEREST ST LAS VEGAS NV	13805411061
FIORILLO RALPH J & FANNIE LIV TR	3809 DIAMOND RIDGE ST LAS VEGAS NV	13808113037
FLANEL DENNIS R & DONNA M FAM TR	4020 FREEL PEAK CT LAS VEGAS NV	13805411081
FLORES SHAWN & TERESA	8825 HAMPTON GREEN AVE LAS VEGAS NV	13807513022
FLUELLEN EDWARD E & AUDREY	9112 TEAL LAKE CT LAS VEGAS NV	13808113048
FORTE CAROL	1764 CLEAR RIVER FALLS LN HENDERSON NV	13807516011
FORTINO CHARLES P & JUDITH M	4109 FREEL PEAK CT LAS VEGAS NV	13805411011
FOX FAMILY TRUST	1455 OAKDALE ST PASADENA CA	13808114031
FRANKFURTER JOHN & GRACE	4013 N CHIEFTAIN ST LAS VEGAS NV	13806803009
FREDERICK FAMILY LIV REV TR AGMT	4010 EVEREST ST LAS VEGAS NV	13805411062
FRESQUEZ THOMAS B	P O BOX 1307 SAN PEDRO CA	13805411098
FRY JUDY ANN & STEVE LEROY	3936 CAMRYN HOLLY ST LAS VEGAS NV	13807517022
FUENTES MARLON	9420 FOX FOREST AVE LAS VEGAS NV	13807517001
GACETA ALBERTO B & ROWENA T	9109 TERRACE RIDGE CT LAS VEGAS NV	13808113057
GALLIMORE JAMES V & V B FAM TR	9121 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113072
GALVAN ALFREDO & ALICIA	3936 GOLDEN GATE ST LAS VEGAS NV	13807515021
GAMBOA JORGE L & ADRIANA	9340 COPPER BAY AVE LAS VEGAS NV	13807513018
GARCIA BRENDA L & EDUARDO	4000 MOUNTAIN TREK ST LAS VEGAS NV	13805411044
GARCIA JOSE F	4116 ANTIQUE STERLING CT LAS VEGAS NV	13805410019
GARDINER BRUCE R & NICKI A	4009 HIGHLAND CASTLE CT LAS VEGAS NV	13805410039
GARRISON FRANK E & ELIZABETH M	4021 RUBICON PEAK CT LAS VEGAS NV	13805411082
GASPAR ARNEL V	4020 RUBICON PEAK CT LAS VEGAS NV	13805411089
GASS WILLIAM R & NANCY H FAM TR	4065 N CHIEFTAIN ST LAS VEGAS NV	13806803005
GAVISH IDDO & SHERI	4012 RUBICON PEAK CT LAS VEGAS NV	13805411087
GIBSON WENDY R & DONALD	3852 MOUNTAIN WATERS ST LAS VEGAS NV	13807516013
GIORDANO FAMILY TRUST	3709 MAVERICK ST LAS VEGAS NV	13807513015
GLADDEN KIMBERLY D	3924 COPPER GLEN ST LAS VEGAS NV	13807513034
GLOSSBRENNER CAROL	9120 TERRACE RIDGE CT LAS VEGAS NV	13808113061

Report of All Selected Parcels

Case Number: VAR-18345

Printed On: Thu: December 7, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
GOBER EDWARD FRANCIS JR & SANDRA	5206 BROADWAY #2110 GARLAND TX	13808114020
GOMEZ JULIO	3924 COPPERHEAD HILLS ST LAS VEGAS NV	13807513055
GONZALES JOE E & ENRIQUETA C	9336 COPPER VILLA CT LAS VEGAS NV	13807513027
GONZALES ROSARIO A	9413 CITRUS VINE CT LAS VEGAS NV	13807517014
GOODRICH FAMILY TRUST	1635 BUSHGROVE CT WESTLAKE VILLAGE CA	13808113013
GORDON CHERYLL A & THOMAS S	9116 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113005
GORDON JAMES P	9108 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411101
GORRELL FRANK D & CYNTHIA D	3933 COPPERHEAD HILLS ST LAS VEGAS NV	13807513049
GRAHAM VIDA	4009 ANTIQUE STERLING CT LAS VEGAS NV	13805410029
GREEN MARK A	P O BOX 34390 LAS VEGAS NV	13807516026
GUNDAYAO DIONISIO A & JOSEPHINE	3916 DIAMOND RIDGE ST LAS VEGAS NV	13808113012
GUZMAN DIANE	8913 MOUNT HOOD CT LAS VEGAS NV	13805411037
HAISUPA APICHAI	4104 RUBICON PEAK CT LAS VEGAS NV	13805411025
HARDIN FAMILY TRUST	201 W CHEYENNE AVE NO LAS VEGAS NV	13806803004
HARDIN TASS C & LOIS REV FAM TR	4095 N CHIEFTAIN ST LAS VEGAS NV	13806803003
HARKRADER THOMAS A & LISA ANN	9005 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411046
HARRINGTON WILLIAM P & MARIE C	4100 MOUNTAIN TREK ST LAS VEGAS NV	13805411038
HASSING DAVE	4013 FLAMING PEAK CT LAS VEGAS NV	13805411068
HAYCOCK JOHN RUSSELL & SILVIA	1077 YORKSHIRE PL DANVILLE CA	13806803008
HAYDEN LINDA L REVOCABLE LIV TR	9413 MOON SPLASH CT LAS VEGAS NV	13807517006
HAZAL RICKEY L & ROBIN S	3937 COPPERHEAD HILLS ST LAS VEGAS NV	13807513050
HENSON ELISA L & EDIZON B	9100 TERRACE RIDGE ST LAS VEGAS NV	13808113066
HERNANDEZ EUGENE M SR & LIA D	9108 TEAL LAKE CT LAS VEGAS NV	13808113049
HIBBERT ALFREDO A & COLLEEN R	9120 TEAL LAKE CT LAS VEGAS NV	13808113046
HILLEGASS SCOTT M	4105 FREEL PEAK CT LAS VEGAS NV	13805411010
HOBBS VINCENT & SAMANTHA	8912 PERFECT DIAMOND CT LAS VEGAS NV	13808114012
HOLEFIELD TYRONE & ELONDA R	9336 COPPER BAY AVE LAS VEGAS NV	13807513019
HOON JAMES W & SUSAN L	9124 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113003
HOUSTON TRUST	3900 DIAMOND RIDGE ST LAS VEGAS NV	13808113016
HOWELL ROBERT M	3904 DIAMOND RIDGE ST LAS VEGAS NV	13808113015
HUGHES DONALD R & NINA D	4009 FLAMING PEAK CT LAS VEGAS NV	13805411069
HUGHES LYNN E JR & DESIREE R S	4105 MOUNTAIN TREK ST LAS VEGAS NV	13805411026

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HUTCHINGS WILLIAM B JR & APRIL M	9112 FROSTY MORNING AVE LAS VEGAS NV	13805411007
HYMAN IRWIN S	16001 VENTURA BLVD #200 ENCINO CA	13807516017
IRLANDEZ ALBERT A & ANGELITA N	9112 TERRACE RIDGE ST LAS VEGAS NV	13808113063
JAKOPEC CARL T	4033 HIGHLAND CASTLE CT LAS VEGAS NV	13805410036
JAMESON GERALD D & TERI L	9365 VILLA TUSCANY AVE LAS VEGAS NV	13807516019
JOHNS-CHANDLER HAZEL	3825 DIAMOND RIDGE ST LAS VEGAS NV	13808113052
JOHNSON EDWARD A III & SANDRA C	4109 HIGHLAND CASTLE CT LAS VEGAS NV	13805410015
JOHNSON PATRICIA M	3913 DIAMOND RIDGE ST LAS VEGAS NV	13808113067
JONES ROBERT E & DIANE F	9132 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113001
JOSS NORMAN & EDITH	4008 FREEL PEAK CT LAS VEGAS NV	13805411078
JOY ELIA D	8868 PERFECT DIAMOND CT LAS VEGAS NV	13808114001
JUAREZ TERESA & LUIS NAJERA	8920 PERFECT DIAMOND CT LAS VEGAS NV	13808114014
JUDD JEFFREY JASON	1129 JEREZ CT HENDERSON NV	13805401038
KAH MICHAEL A JR	3936 COPPERHEAD HILLS ST LAS VEGAS NV	13807513052
KASTNER DOUGLAS G & SUSAN M	9404 FOX FOREST AVE LAS VEGAS NV	13807517031
KEARNS CLIFFORD LEE	9108 TERRACE RIDGE CT LAS VEGAS NV	13808113064
KECMAN MOMCILO & JELA	9129 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113074
KELLER ELIZABETH	3916 JAVANA CT LAS VEGAS NV	13808115042
KELSHAW BRIAN K & ARLENE J	9116 GHOST MTN AVE LAS VEGAS NV	13805411103
KENNER E PEGGY	3816 DIAMOND RIDGE ST LAS VEGAS NV	13808113076
KIERMAS MICHAEL T REV LIV TR	P O BOX 33224 LAS VEGAS NV	13807513035
KIERMAS MICHAEL T REV LIV TR	P O BOX 33224 LAS VEGAS NV	13807513032
KIMOTO REID M & ARLA DAWN S	4018 EVEREST ST LAS VEGAS NV	13805411064
KNESEL ANTHONY L	3844 MOUNTAIN WATERS ST LAS VEGAS NV	13807516012
KNIGHT JOSEPH D	9112 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113006
KNOX JENNIFER M	9349 COPPER VILLA CT LAS VEGAS NV	13807513023
KOLTNOW PATRICIA & BARRY	14159 DICKENS ST #207 SHERMAN OAKS CA	13807513033
KRASSNER EVA LIVING TRUST	8925 PERFECT DIAMOND CT LAS VEGAS NV	13808114018
KRAUSE-LAMBERMONT REV LIV TR	%L KRAUSE-LAMBERMONT P O BOX 35617 LAS VEGAS NV	13805411063
KRIEGER LLOYD & ARLENE	9117 DIAMOND LAKE AVE LAS VEGAS NV	13808113027
KWOK KI CHEONG	3901 COPPERHEAD HILLS ST LAS VEGAS NV	13807513041
LAND STEVEN K & CONNIE	3924 DIAMOND RIDGE ST LAS VEGAS NV	13808113010

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LANDAZ PAUL S	8909 PERFECT DIAMOND CT LAS VEGAS NV	13808114022
LARKINS THEODORE S & AVELINA	3808 DIAMOND RIDGE ST LAS VEGAS NV	13808113078
LAUTENSLAGER WAYNE M	3079 TARA MURPHY DR HENDERSON NV	13807515024
LEE JAMES CHAN-HSIN & YU YUEN	9348 COPPER VILLA CT LAS VEGAS NV	13807513024
LEE YOUNG H & GRACE D	9317 COPPER BAY AVE LAS VEGAS NV	13807513007
LEEK JAMES JAY & BONITA ANN	3908 DIAMOND RIDGE ST LAS VEGAS NV	13808113014
LEGACY MAKERS L L C	1242 JESSIE RD HENDERSON NV	13806810001
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810004
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810007
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810008
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810006
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810009
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810005
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810002
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810003
LIANG HOWARD C H & JENNIFER N Y	4032 ANTIQUE STERLING CT LAS VEGAS NV	13805410035
LIEBSCHER IRINA	8888 PERFECT DIAMOND CT LAS VEGAS NV	13808114006
LILLY LORRAINE	3804 MOUNTAIN WATERS ST LAS VEGAS NV	13807516002
LINTON S L & INEZ	9117 TERRACE RIDGE CT LAS VEGAS NV	13808113059
LIZAK CHESTER J & MELODY L	11332 PINE ST LOS ALAMITOS CA	13808114029
LOMBARDO RANDALL	8913 PERFECT DIAMOND CT LAS VEGAS NV	13808114021
LOVEJOY JOHN	9133 FUSION DR LAS VEGAS NV	13808115039
LUKER KERSTIN	4650 S STRATTON SALT LAKE CITY UT	13807516023
LUMANOG JOSIE L	9128 DIAMOND LAKE AVE LAS VEGAS NV	13808113031
LUTZ MELANIE D	3733 BOBWHITE TERR FREMONT CA	13808115040
LYN-DAN INVESTMENTS L P	1132 SEA REEF DR SAN DIEGO CA	13807517012
MABIN EDWARD W & DARLIS M	4016 MOUTAIN TREK ST LAS VEGAS NV	13805411040
MACIAS CESAR F	9361 VILLA TUSCANY AVE LAS VEGAS NV	13807516020
MAGUIRE KELLY J & KATHRYN L	4022 EVEREST ST LAS VEGAS NV	13805411065
MAI EN M	9104 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113008
MALLARI JOWIE	9305 COPPER BAY AVE LAS VEGAS NV	13807513004
MALY EVA	9112 DIAMOND LAKE AVE LAS VEGAS NV	13808113035

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MARISCAL SANTOS & MARIA	3824 MOUNTAIN WATERS ST LAS VEGAS NV	13807516007
MARTIN DALE CURTIS & DEBBIE GASS	4085 N CHIEFTAIN ST LAS VEGAS NV	13806803002
MARTIN KAREN M	9364 WILLOW MEADOW CT LAS VEGAS NV	13807516024
MARTINO VITO A & CARMELA	9117 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113071
MASEK RICHARD A	3921 COPPERHEAD HILLS ST LAS VEGAS NV	13807513046
MASSNER KEITH E & BRENDA E	9116 TEAL LAKE CT LAS VEGAS NV	13808113047
MCBADE MICHAEL J	4009 MOUNTAIN TREK ST LAS VEGAS NV	13805411093
MCCOWIN DORAIN D & CAROL	9113 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113070
MCCULLOUGH CHARLES W & GAYLE B	3916 WHITE CASTLE ST LAS VEGAS NV	13808112029
MCDONALD CINDY	9357 WILLOW MEADOW CT LAS VEGAS NV	13807516027
MCGANNON MARK & LESLIE	9021 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411050
MCINTYRE ROBERT BRUCE & LISA M	9100 TEAL LAKE CT LAS VEGAS NV	13808113051
MCKENDY SEAN D	4109 RUBICON PEAK CT LAS VEGAS NV	13805411019
MCLAUGHLIN FAMILY TRUST	4012 FREEL PEAK CT LAS VEGAS NV	13805411079
MERKES STEVEN M & MARIA	9113 FUSION DR LAS VEGAS NV	13808115034
MERSERVEY CHRIS S & JULIE G	4012 FLAMING PEAK CT LAS VEGAS NV	13805411071
MEYER ALAN R & MICHELE D	9104 FROSTY MORNING AVE LAS VEGAS NV	13805411009
MILLER JOHN E & CATHY L	3900 COPPER GLEN ST LAS VEGAS NV	13807513040
MILLER TEDD & CHERI	3925 WHITE CASTLE ST LAS VEGAS NV	13808112004
MOHLENHOFF KRISTIE L & DANIEL G	3820 DIAMOND RIDGE ST LAS VEGAS NV	13808113018
MOJICA MAURO C REVOCABLE TRUST	4017 ANTIQUE STERLING CT LAS VEGAS NV	13805410028
MOLINA AMBER	7370 FULTON ST SAN DIEGO CA	13808115036
MOLINA JESSE	620 KIRT RIGHT ST SAN DIEGO CA	13808115035
MOLINA JESUS A	620 KIRTRIGHT ST SAN DIEGO CA	13808115037
MOLINA JESUS A	620 KIRTRIGHT ST SAN DIEGO CA	13808115041
MOLINA JESUS A	620 KIRTRIGHT ST SAN DIEGO CA	13808115038
MONDRAGON ANDREA	3928 GOLDEN GLAZE ST LAS VEGAS NV	13807515023
MONTIEL JOSE	8928 PERFECT DIAMOND CT LAS VEGAS NV	13808114016
MONTTOYA JAMES T & CAMILLE M	3512 JEWEL NIGHT LAS VEGAS NV	13805411077
MORTENSEN PETER C	8916 PERFECT DIAMOND CT LAS VEGAS NV	13808114013
MOYER DENNIS B & RHONDA J	4020 FLAMING PEAK CT LAS VEGAS NV	13805411073
MIRUK WILLIAM T & VERONICA	4108 RUBICON PEAK CT LAS VEGAS NV	13805411024

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MUKHERJEE BASUDEB & NANDITA	605 DEVON HALL RD #202 LAS VEGAS NV	13807516003
MURPHY FRANCES	9128 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113002
MURPHY RAYMOND J & CHERYL A	3941 COPPERHEAD HILLS ST LAS VEGAS NV	13807513051
NAKANISHI JIRO	8896 PERFECT DIAMOND CT LAS VEGAS NV	13808114008
NARA KIRK T & MARY M	9009 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411047
NIKOLAYEVA OKSANA	3921 DIAMOND RIDGE ST LAS VEGAS NV	13808113069
NOVAK THOMAS G	3944 GOLDEN GLAZE ST LAS VEGAS NV	13807515019
OLSON BOB L	9104 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411100
P & P SPENDTHRIFT TRUST	4008 HIGHLAND CASTLE CT LAS VEGAS NV	13805410042
PACHECO DORA EUGENIA	4125 ANTIQUE STERLING CT LAS VEGAS NV	13805410021
PATCHIN FAMILY TRUST	4017 HIGHLAND CASTLE CT LAS VEGAS NV	13805410038
PATTERSON ROBERT D & CHARISSE M	4013 MOUNTAIN TREK ST LAS VEGAS NV	13805411092
PEPITONE MICHAEL J REVOCABLE TR	4117 ANTIQUE STERLING CT LAS VEGAS NV	13805410022
PERNELL AARON LEE	9132 BAYSINGER LAS VEGAS NV	13808113073
PETERSON ERIC T & CATHERINE L	9121 DIAMOND LAKE AVE LAS VEGAS NV	13808113028
PETRILLO VINCENT & SHEILA	4021 FREEL PEAK CT LAS VEGAS NV	13805411074
PETRONI R L QUAL PERS RES TR	3905 DIAMOND RIDGE ST LAS VEGAS NV	13808113054
PETTUS JAMES	P O BOX 570308 LAS VEGAS NV	13807513059
PHANTHAVADY SILOM & PHET	3456 CONOUGH LN LAS VEGAS NV	13807517003
PINKNEY DOROTHY L	9421 MOON SPLASH CT LAS VEGAS NV	13807517008
PITEGOFF JEFFREY I & DONA R	9121 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411056
POLL FAMILY TRUST	3820 THOM BLVD LAS VEGAS NV	13808114007
POPLEWKO GREGORY W & TAMARA T	4109 MOUNTAIN TREK ST LAS VEGAS NV	13805411027
POPP STEPHEN R & K C FAM TR	4017 FREEL PEAK CT LAS VEGAS NV	13805411075
PURSELL DONALD D	4008 MOUNTAIN TREK ST LAS VEGAS NV	13805411042
PYTEL CHRISTOPHER R	3904 WHITE CASTLE ST LAS VEGAS NV	13808112026
RADUZINER LEE BRADY	9412 MOONSPASH CT LAS VEGAS NV	13807517011
RANDOLPH JAMES E & T REV LIV TR	4008 ANTIQUE STERLING CT LAS VEGAS NV	13805410032
RASBERRY CHARLES & BOBBIE JEAN	3913 WHITE CASTLE ST LAS VEGAS NV	13808112007
RAU TRACY M	3920 DIAMOND RIDGE ST LAS VEGAS NV	13808113011
RAYOL DANIEL S	6 CHATMOSS HENDERSON NV	13805410024
REKRUT JOSEPH S & MICHELLE C	3920 GOLDEN GLAZE ST LAS VEGAS NV	13807515025

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REMHOF RICHARD A & KATHLEEN G	4100 ANTIQUE STERLING CT LAS VEGAS NV	13805410017
RESENDES FAMILY LIVING TRUST	13 GRAY OAKS DR EAST FREETOWN MA	13807517021
RHODES-DYSON VIKI	30520 RANCHO CALIFORNIA RD TEMECULA CA	13805410045
RICE ZACHARY & JENNIFER	9113 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411054
RINCON TEODULO & TERESA	9325 COPPER BAY AVE LAS VEGAS NV	13807513009
RIVERA GUILLERMO M & IRMA T	3936 COPPER GLEN ST LAS VEGAS NV	13807513031
ROCHA FEDERICO & RUBY	1346 SOMERSET DR SAN DIMAS CA	13807513038
RODRIGUEZ HOWARD	111 W LINDEN AVE BURBANK CA	13807516021
RODRIGUEZ MARIO E JR	4104 FREEL PEAK CT LAS VEGAS NV	13805411017
ROJO MARGARITA C	3920 CAMRYN HOLLY ST LAS VEGAS NV	13807517026
ROMAN RICARDO	9344 COPPER VILLA CT LAS VEGAS NV	13807513025
ROSE ROBIN L	8884 PERFECT DIAMOND CT LAS VEGAS NV	13808114005
ROSSER JANAVEE	9313 COPPER BAY AVE LAS VEGAS NV	13807513006
ROYALTY PROPERTY INVEST L L C	%D REYES 2838 MONTE CRESTA WY SAN JOSE CA	13807517005
RUBY FAMILY REVOCABLE LIVING TR	4001 HIGHLAND CASTLE CT LAS VEGAS NV	13805410040
RUPISAN VICTOR F REV LIV TR	9101 TERRACE RIDGE CT LAS VEGAS NV	13808113055
S A W L L C	%BERLINER 434 WEDGEWOOD DR HENDERSON NV	13808101021
S A W L L C	3801 N CAMPBELL LAS VEGAS NV	13808101030
SALDANA NOEL & DEBORAH	8828 STORM CLOUD AVE LAS VEGAS NV	13808112003
SAMPLE JOHN E	9348 COPPER BAY AVE LAS VEGAS NV	13807513016
SANDERS VICKIE	3817 DIAMOND RIDGE ST LAS VEGAS NV	13808113039
SAULOG FRANCISCO & FLORA	8924 PERFECT DIAMOND CT LAS VEGAS NV	13808114015
SCAGGS MARK E	24655 BLACKHAWK DR CHANNAHON IL	13808114033
SCARLETT WM TRENT & KARI	4024 ANTIQUE STERLING CT LAS VEGAS NV	13805410034
SCHAEER STEPHEN D	8908 PERFECT DIAMOND CT LAS VEGAS NV	13808114011
SCHLAGETER JOSEPH C & R M FAM TR	6457 W BROOKS AVE LAS VEGAS NV	13806803010
SCHLIEP DIXIE LEE REVOCABLE TR	9012 GHOST MOUNTAIN LAS VEGAS NV	13805411096
SCHWARTZ FAMILY TRUST	715 S GOLDFINCH WY ANAHEIM HILLS CA	13808113044
SCHWARTZ RON M & BRENDA L	4017 FLAMING PEAK CT LAS VEGAS NV	13805411067
SENH KHY SAU & QUANG CHUNG N	3693 FRANK DEREK AVE LAS VEGAS NV	13806801004
SGROI FRANK J & KAREN R	3905 WHITE CASTLE ST LAS VEGAS NV	13808112009
SIMMONS RONALD & VICKI	9100 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411099

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SIMON DERAY & LINDA	9133 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113075
SIMONS MARIA C	3800 MOUNTAIN WATERS ST LAS VEGAS NV	13807516001
SLAUZIS DEBORAH A	3917 DIAMOND RIDGE ST LAS VEGAS NV	13808113068
SLAWSON ERIC J	3917 COPPERHEAD HILLS ST LAS VEGAS NV	13807513045
SMITH BRIAN STEPHEN & ANITA KAY	9344 COPPER BAY AVE LAS VEGAS NV	13807513017
SMITH DANIEL E	4105 EVEREST ST LAS VEGAS NV	13805411003
SMITH DARRICK & KIMBERLY	9408 CITRUS VINE CT LAS VEGAS NV	13807517019
SMITH KELLEY D FAMILY TRUST	10650 ALPINE FROST CT LAS VEGAS NV	13807517009
SMITH ROY VAN & ARNEVA D	9116 DIAMOND LAKE AVE LAS VEGAS NV	13808113034
SOARES STEVEN D & VICTORIA	4013 EVEREST ST LAS VEGAS NV	13805411059
SOCHA JOHN R & ALLISON H	4021 MOUNTAIN TREK ST LAS VEGAS NV	13805411090
SOMMERFELD JERALD J	3937 COPPER GLEN ST LAS VEGAS NV	13807513028
SPINELLO JAMES J & SIMONE N	3908 WHITE CASTLE ST LAS VEGAS NV	13808112027
STACK GREGORY G & CARMELA DEE	9120 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113004
STAFFORD JEFFREY D & KELLY M	4016 FREEL PEAK CT LAS VEGAS NV	13805411080
STEMMLER WILLIAM A & LEONA KAY	9004 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411094
STEPHENS KYLE O	4004 MOUNTAIN TREK ST LAS VEGAS NV	13805411043
STEPHENS MARY A SEP PPTY REV TR	757 PASEO GRANADA LAKE HAVASU CITY AZ	13807513002
STOCKWELL JOHN W	4000 HIGHLAND CASTLE CT LAS VEGAS NV	13805410041
STOEKE SHANE & RITA	4017 MOUNTAIN TREK ST LAS VEGAS NV	13805411091
STRINGFELLOW PICCIANI	9108 DIAMOND LAKE AVE LAS VEGAS NV	13808113036
STROUSE RICHARD F JR & CHRISTINE	3920 COPPERHEAD HILLS ST LAS VEGAS NV	13807513056
STURIM BECKY	3925 COPPERHEAD HILLS ST LAS VEGAS NV	13807513047
SUMMERS STEVE & JEAN H	9101 TEAL LAKE CT LAS VEGAS NV	13808113040
SWAN-CLARK JEAN CAROL	4041 ANTIQUE STERLING CT LAS VEGAS NV	13805410025
SWARTS MARK A	9008 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411095
TABACHNIKOV KARIN ROSA A & PAUL	1516 ESPLANADE #305 REDONDO BEACH CA	13807513058
TALAVERA JOSE G & LIDIA	3912 CAMRYN HOLLY ST LAS VEGAS NV	13807517028
TAYLOR MARGARETTE	4001 MANSION HALL CT LAS VEGAS NV	13805410050
THIEME JOSEPH T & CHERYL A	8816 STORM CLOUD AVE LAS VEGAS NV	13808111001
TINSEY JOHN	9341 COPPER BAY AVE LAS VEGAS NV	13807513013
TIPTON TODD A & DENISE M	3821 WHITE CASTLE ST LAS VEGAS NV	13808112012

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TOBERMAN JOHN & ANA MARIA FAM TR	9101 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411051
TOBLER GARY	8317 EMERALD ISLE AVE LAS VEGAS NV	13807513014
TOM MELVIN C L & JUNE K	1324 KINA ST KAILUA HI	13807515020
TRAJMAR PETER	5626 SWEIGERT RD SAN JOSE CA	13807513043
TREJO ANNEL G	9409 CITRUS VINE CT LAS VEGAS NV	13807517013
TURNER FREDERICK C III & CINDY L	3941 COPPER GLEN ST LAS VEGAS NV	13807513029
TURONIE VICKY J	8889 PERFECT DIAMOND CT LAS VEGAS NV	13808114027
UGALE CHITA C & ALFRED S	3917 WHITE CASTLE ST LAS VEGAS NV	13808112006
USA	WASHINGTON DC	13808101037
USA	WASHINGTON DC	13806801011
USA	WASHINGTON DC	13807501012
VALINOTI ALBERT & GAIL	8824 STORM CLOUD AVE LAS VEGAS NV	13808112002
VERBIL ANDREW D & LYDIA K	4025 HIGHLAND CASTLE CT LAS VEGAS NV	13805410037
VIDAURES MARGARITA	9416 FOX FOREST AVE LAS VEGAS NV	13807517002
VILLALOBOS ANTONIO & LUCY	9104 TEAL LAKE CT LAS VEGAS NV	13808113050
VITIELLO FAMILY TRUST	9016 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411097
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115012
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116016
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115057
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115007
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115001
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115013
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115023
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115028
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115011
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115014
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116019
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116015
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115002
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115006
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116007
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116008

Report of All Selected Parcels

Case Number: VAR-18345

Printed On: Thu: December 7, 2006

Owner	Address	Parcel Number
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116006
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116009
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116005
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116010
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116011
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116014
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116012
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116013
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115056
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116021
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115022
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115021
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115024
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115025
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115020
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116002
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115026
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116017
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116020
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115027
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115008
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116003
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115029
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115030
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116018
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115019
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115005
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116001
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115052
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115053
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116004
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115033

Report of All Selected Parcels

Case Number: VAR-18345

Printed On: Thu: December 7, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115032
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115031
WALSER WERNER P	9129 DIAMOND LAKE AVE LAS VEGAS NV	13808113030
WALTRIP SHEILA M SEP PPTY TR	8804 CLAYSTONE CT LAS VEGAS NV	13808111018
WARD ALTON S & TERESA	9417 CITRUS VINE CT LAS VEGAS NV	13807517015
WARD DERRICK	9109 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411053
WASIOLEK MARYLA A & PIOTR	9365 WILLOW MEADOW CT LAS VEGAS NV	13807516025
WEBER ANDREW K & CYNTHIA MARIE	9108 FROSTY MORNING AVE LAS VEGAS NV	13805411008
WERNER CHAD D & ISELA A	9348 VILLA TUSCANY AVE LAS VEGAS NV	13807516014
WEST JOHN C & BRENNIA	4020 MOUNTAIN TREK ST LAS VEGAS NV	13805411039
WHITE JAMES T II & KAREN L	4105 RUBICON PEAK CT LAS VEGAS NV	13805411018
WILCUT LISA K & DAVID A	3944 CAMRYN HOLLY ST LAS VEGAS NV	13807517020
WILLIAMS MICHELE R	8820 STORM CLOUD AVE LAS VEGAS NV	13808112001
WILSON LARRY D & RUTH E	3813 DIAMOND RIDGE ST LAS VEGAS NV	13808113038
WINN STEVEN & KELLY RUSSO	4016 RUBICON PEAK CT LAS VEGAS NV	13805411088
WOLF JASON & TAWNIE	4012 MOUNTAIN TREK ST LAS VEGAS NV	13805411041
WOMACK KAREN L	8885 PERFECT DIAMOND CT LAS VEGAS NV	13808114028
YANOS RUDY V & MARY ANNE	9120 DIAMOND LAKE AVE LAS VEGAS NV	13808113033
YU HANS	3912 WHITE CASTLE ST LAS VEGAS NV	13808112028
ZAFIRATOS THOMAS E & LUCY ANN	4109 ANTIQUE STERLING CT LAS VEGAS NV	13805410023
ZANA BRIAN & HEATHER	3901 DIAMOND RIDGE ST LAS VEGAS NV	13808113053

Deed



Separator Sheet

20060131-0003515

Fee: \$16.00 RPTT: EX#001
N/C Fee: \$0.00

01/31/2006 13:40:09

20060018970

Requestor:
LAND TITLE OF NEVADA

Frances Deane CAE
Clark County Recorder Pos: 4

APN: 138-08-115-001 thru 057
Affix R.P.T.T. Exempt #1 37
ESCROW NO. 14060102-PE
WHEN RECORDED MAIL DEED AND TAX
STATEMENTS TO:
Paul A. Wagner, IV, President
6985 W. Sahara #201
Las Vegas, NV 89146

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That Nevada Homes Group, Inc., a Nevada Corporation, for valuable consideration, receipt of which is hereby acknowledged, hereby Grant, Bargain, Sell and Convey to

Wagner Homes, Inc., a Nevada Corporation

all that real property situate in the County of Clark, State of Nevada, bounded and described as follows:

See Exhibit "A" attached hereto for legal description

SUBJECT
TO:

1. Taxes for the current fiscal year, and any and all taxes (including supplemental taxes) and assessments levied or assessed after the recording date of this document.
2. Rights of way, reservations, restrictions, easements and conditions of record.
3. Deed of Trust to record concurrently herewith.

Together with all and singular the tenements, hereditaments, and appurtenances thereunto belonging or in anywise appertaining.

Witness my/our hand(s) this 27th day of January, 2006.

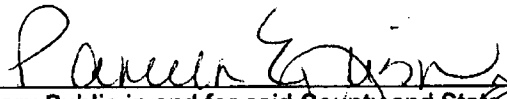
Nevada Homes Group, Inc.

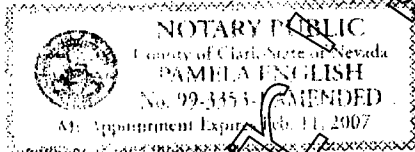

Paul A. Wagner, IV, President

VAR-18345
01/11/07 PC

STATE OF NEVADA
COUNTY OF CLARK

On 1-27-06, personally appeared before me, a Notary Public, Paul A. Wagner IV, President of Nevada Homes Group, Inc., personally known (or proven) to me to be the person(s) whose name(s) is/are subscribed to the within instrument who acknowledged that he/she/they executed the instrument.


Notary Public in and for said County and State



14060102-PE

EXHIBIT "A"
Legal Description

LOTS ONE (1) THROUGH FIFTY-SEVEN (57) INCLUSIVE, IN BLOCK ONE (1) OF DAY DAWN
FUSION, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 119 OF PLATS, PAGE 17, OFFICIAL
RECORDS OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.

APN: 138-08-115-001 thru 057

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor's Parcel Number(s)

a) 138-08-115-001 thru 057

b) _____

c) _____

d) _____

2. Type of Property:

- a) ☒ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg f) ☐ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
☐ Other

**FOR RECORDER'S OPTIONAL USE
ONLY**

Book: _____

Page: _____

Date of Recording: _____

Notes: _____

3. Total Value/Sales Price of Property _____ \$00
Deed in Lieu of Foreclosure Only (value of property) _____ \$00

Transfer Tax Value: _____ \$00

Real Property Transfer Tax Due _____ \$00

4. **If Exemption Claimed:**

a. Transfer Tax Exemption per NRS 375.090, Section 1

b. Explain Reason for Exemption: Transfer between affiliated business entities with identical common ownership

5. Partial Interest: Percentage being transferred: %

The undersigned declares and acknowledges under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____

Capacity: Grantor

Signature: _____

Capacity: Grantee

SELLER (GRANTOR) INFORMATION

(Required)

Print Name: Paul A. Wagner, IV, President

Address: 6985 W. Sahara #201

City: Las Vegas

State: NV 89146

BUYER (GRANTEE) INFORMATION

(Required)

Print Name: Paul A. Wagner, IV, President

Address: 6985 W. Sahara #201

City: Las Vegas

State: NV 89146

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: LAND TITLE OF NEVADA, INC.

Escrow #: 14060102-PE

Address: 720 S Seventh Street

City: Las Vegas, Nevada 89101

**AN ADDITIONAL RECORDING FEE OF \$1.00 WILL APPLY FOR EACH DECLARATION OF
VALUE FORM PRESENTED TO CLARK COUNTY, EFFECTIVE JUNE 1, 2004**

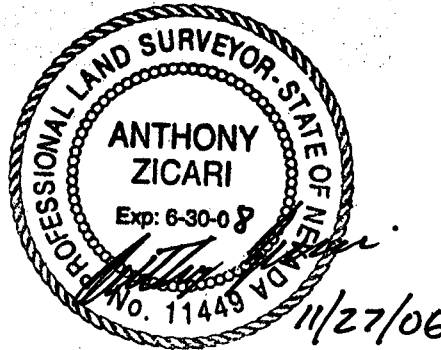
3515



CONSULTING ENGINEERS • PLANNERS • SURVEYORS

2727 SOUTH RAINBOW BOULEVARD
LAS VEGAS, NEVADA 89146-5148

W.O. 6194-X
NOVEMBER 27, 2006
BY: SP
P.R. BY: VCL
PAGE 1 OF 8



EXPLANATION:

THIS LEGAL DESCRIBES A PARCEL OF LAND GENERALLY LOCATED SOUTHEASTERLY OF ALEXANDER ROAD AND FORT APACHE ROAD, FOR LANDSCAPE EASEMENT PURPOSES.

**LEGAL DESCRIPTION
LANDSCAPE EASEMENT**

BEING COMMON ELEMENT LOTS A AND B, AS SHOWN ON THAT CERTAIN FINAL MAP KNOWN AS "AMENDED PLAT OF A PORTION OF DAY DAWN FUSION", ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA, IN BOOK 131 OF PLATS, PAGE 65, LOCATED WITHIN THE NORTH HALF (N 1/2) OF THE NORTH HALF (N 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 8, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST SECTION CORNER OF SAID SECTION 8, SAME BEING THE CENTERLINE INTERSECTION OF ALEXANDER ROAD AND FORT APACHE ROAD; THENCE NORTH 89°40'49" EAST, ALONG THE NORTH LINE OF SAID SECTION 8 AND THE CENTERLINE OF SAID ALEXANDER ROAD, 111.36 FEET; THENCE SOUTH 00°19'11" EAST, DEPARTING SAID NORTH LINE AND SAID CENTERLINE, 55.00 FEET TO THE **POINT OF BEGINNING**;

THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY OF SAID ALEXANDER ROAD AS FOLLOWS: NORTH 89°40'49" EAST, 24.48 FEET; THENCE SOUTH 80°51'25" EAST, 60.82 FEET; THENCE NORTH 89°40'49" EAST, 65.42 FEET; THENCE SOUTH 00°19'11" EAST, 3.00 FEET; THENCE NORTH 89°40'49" EAST, 5.00 FEET; THENCE NORTH 00°19'11" WEST, 3.00 FEET; THENCE NORTH 89°40'49" EAST, 10.62 FEET; THENCE NORTH 75°38'41" EAST, 41.23 FEET; THENCE NORTH 89°40'49" EAST, 59.75 FEET; THENCE NORTH 88°19'52" EAST, 212.05 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 25.00 FEET;

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THENCE SOUTHEASTERLY, 39.86 FEET DEPARTING SAID SOUTHERLY RIGHT-OF-WAY, AND ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 91°21'49"; THENCE NORTH 89°41'41" EAST, 5.00 FEET TO A POINT HEREINAFTER REFERRED TO AS "POINT A"; THENCE SOUTH 00°18'19" EAST, 70.95 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 50.00 FEET; THENCE SOUTHERLY, 17.41 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°56'54" TO THE BEGINNING OF A REVERSE CURVE CONCAVE WESTERLY HAVING A RADIUS OF 50.00 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 69°44'47" EAST; THENCE SOUTHERLY, 17.41 FEET ALONG SAID CURVE THOUGH A CENTRAL ANGLE OF 19°56'54"; THENCE SOUTH 00°18'19" EAST, 15.00 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 20.00 FEET; THENCE SOUTHWESTERLY, 31.42 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00"; THENCE SOUTH 89°41'41" WEST, 62.00 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 20.00 FEET; THENCE NORTHWESTERLY, 18.55 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 53°07'48"; THENCE NORTH 89°41'41" EAST, 86.00 FEET; THENCE NORTH 00°18'19" WEST, 133.07 FEET; THENCE NORTH 45°18'45" WEST, 25.66 FEET; THENCE SOUTH 88°19'52" WEST, 88.02 FEET; THENCE SOUTH 01°40'08" EAST, 1.17 FEET; THENCE SOUTH 88°09'52" WEST, 7.34 FEET; THENCE NORTH 01°40'08" WEST, 1.17 FEET; THENCE SOUTH 88°19'52" WEST, 100.04 FEET; THENCE SOUTH 68°47'48" WEST, 1.69 FEET; THENCE SOUTH 21°12'12" EAST, 1.17 FEET; THENCE SOUTH 68°47'48" WEST, 7.34 FEET; THENCE NORTH 21°12'12" WEST, 1.17 FEET; THENCE SOUTH 68°47'48" WEST, 20.54 FEET; THENCE SOUTH 89°40'49" WEST, 18.71 FEET; THENCE SOUTH 00°19'11" EAST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 7.34 FEET; THENCE NORTH 00°19'11" WEST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 42.66 FEET; THENCE SOUTH 00°19'11" EAST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 7.34 FEET; THENCE NORTH 00°19'11" WEST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 43.16 FEET; THENCE SOUTH 00°19'11" EAST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 7.34 FEET; THENCE NORTH 00°19'11" WEST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 50.20 FEET; THENCE NORTH 80°51'25" WEST, 13.65 FEET; THENCE SOUTH 09°08'35" WEST, 1.17 FEET; THENCE NORTH 80°51'25" WEST, 7.34 FEET; THENCE NORTH 09°08'35" EAST, 1.17 FEET; THENCE NORTH 80°51'25" WEST, 39.83 FEET; THENCE SOUTH 89°40'49" WEST, 23.98 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 48.00 FEET; THENCE SOUTHWESTERLY, 76.43 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 91°13'37"; THENCE SOUTH 01°32'48" EAST, 25.24 FEET; THENCE NORTH 88°27'12" EAST, 1.17 FEET; THENCE SOUTH 01°32'48" EAST, 7.34 FEET; THENCE SOUTH 88°27'12" WEST, 1.17 FEET; THENCE SOUTH 01°32'48" EAST, 42.67 FEET; THENCE NORTH 88°27'12" EAST, 1.17 FEET; THENCE SOUTH 01°32'48" EAST, 7.34 FEET; THENCE SOUTH 88°27'12" WEST, 1.17 FEET; THENCE SOUTH 01°32'48" EAST, 37.67 FEET;

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THENCE NORTH 88°27'12" EAST, 1.17 FEET; THENCE SOUTH 01°32'48" EAST, 7.34 FEET; THENCE SOUTH 88°27'12" EAST, 1.17 FEET; THENCE SOUTH 01°32'48" EAST, 42.67 FEET; THENCE NORTH 88°27'12" EAST, 1.17 FEET; THENCE SOUTH 01°32'48" EAST, 7.34 FEET; THENCE SOUTH 88°27'12" WEST, 1.17 FEET; THENCE SOUTH 01°32'48" EAST, 56.34 FEET; THENCE SOUTH 89°41'41" WEST, 6.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF SAID FORT APACHE ROAD; THENCE NORTH 01°32'48" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY, 233.83 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 54.00 FEET; THENCE NORTHEASTERLY, 85.98 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 91°13'37" TO THE **POINT OF BEGINNING**;

CONTAINING 7,636 SQUARE FEET, MORE OR LESS, AS DETERMINED BY COMPUTER METHODS.

TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL OF LAND:

COMMENCING AT THE AFOREMENTIONED **"POINT A"**; THENCE NORTH 89°39'53" EAST, 51.00 FEET TO THE **POINT OF BEGINNING**;

THENCE NORTH 89°41'41" EAST, 5.00 FEET, RADially, TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 25.00 FEET; THENCE NORTHEASTERLY, 39.26 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 89°59'08" TO THE SOUTHERLY RIGHT-OF-WAY OF SAID ALEXANDER ROAD; THENCE NORTH 89°40'49" EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY, 614.29 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 25.00 FEET; THENCE SOUTHEASTERLY, 38.79 FEET DEPARTING SAID SOUTHERLY RIGHT-OF-WAY AND ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 88°53'52"; THENCE SOUTH 01°25'19" EAST, ALONG THE WESTERLY RIGHT-OF-WAY OF CAMPBELL ROAD, 120.47 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 15.00 FEET; THENCE SOUTHWESTERLY, 23.85 FEET DEPARTING SAID WESTERLY RIGHT-OF-WAY, AND ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 91°07'00"; THENCE SOUTH 00°18'19" EAST, 5.00 FEET; THENCE SOUTH 89°41'41" WEST, 63.63 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 20.00 FEET; THENCE NORTHWESTERLY, 18.55 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 53°07'48"; THENCE NORTH 89°41'41" EAST, 82.57 FEET; THENCE NORTH 44°08'11" EAST, 5.32 FEET; THENCE NORTH 02°54'57" EAST, 32.94 FEET; THENCE NORTH 01°25'19" WEST, 9.64 FEET; THENCE SOUTH 88°34'41" WEST, 1.17 FEET; THENCE NORTH 01°25'19" WEST, 7.34 FEET; THENCE NORTH 88°34'41" EAST, 1.17 FEET; THENCE NORTH 01°25'19" WEST, 37.67 FEET; THENCE SOUTH 88°34'41" WEST, 1.17 FEET; THENCE NORTH 01°25'19" WEST, 7.34 FEET; THENCE NORTH 88°34'41" EAST, 1.17 FEET; THENCE NORTH 01°25'19" WEST, 22.14 FEET; THENCE NORTH 11°41'48" WEST, 15.24 FEET; THENCE NORTH 45°52'15" WEST, 16.53 FEET; THENCE NORTH 88°06'43" WEST, 72.09 FEET;

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THENCE SOUTH 01°53'17" WEST, 1.17 FEET; THENCE NORTH 88°03'43" WEST, 3.63 FEET; THENCE SOUTH 00°18'19" EAST, 22.32 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 9.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 89°41'41" EAST; THENCE NORTHWESTERLY, 14.92 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00"; THENCE SOUTH 89°41'41" WEST, 20.00 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 9.50 FEET; THENCE SOUTHWESTERLY, 14.92 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00"; THENCE NORTH 00°18'19" WEST, 23.33 FEET; THENCE SOUTH 89°40'49" WEST, 3.67 FEET; THENCE NORTH 00°19'11" WEST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 82.66 FEET; THENCE SOUTH 00°19'11" EAST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 7.34 FEET; THENCE NORTH 00°19'11" WEST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 102.16 FEET; THENCE SOUTH 00°19'11" EAST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 7.34 FEET; THENCE NORTH 00°19'11" WEST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 102.16 FEET; THENCE SOUTH 00°19'11" EAST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 7.34 FEET; THENCE NORTH 00°19'11" WEST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 102.16 FEET; THENCE SOUTH 00°19'11" EAST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 7.34 FEET; THENCE NORTH 00°19'11" WEST, 1.17 FEET; THENCE SOUTH 89°40'49" WEST, 87.83 FEET; THENCE SOUTH 44°41'15" WEST, 25.45 FEET; THENCE SOUTH 00°18'19" EAST, 133.09 FEET; THENCE NORTH 89°41'41" EAST, 86.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 20.00 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 53°26'07" EAST; THENCE SOUTHWESTERLY, 18.55 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 53°07'48"; THENCE SOUTH 89°41'41" WEST, 62.00 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 20.00 FEET; THENCE NORTHWESTERLY, 31.42 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00"; THENCE NORTH 00°18'19" WEST, 15.00 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 50.00 FEET; THENCE NORTHERLY, 17.41 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°56'54" TO THE BEGINNING OF A REVERSE CURVE CONCAVE WESTERLY HAVING A RADIUS OF 50.00 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 70°21'25" EAST; THENCE NORTHERLY, 17.41 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°56'54"; THENCE NORTH 00°18'19" WEST, 70.98 FEET TO THE **POINT OF BEGINNING**, AS SHOWN ON THE "EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION", ATTACHED HERETO AND MADE PART HEREOF.

CONTAINING 8,224 SQUARE FEET, MORE OR LESS, AS DETERMINED BY COMPUTER METHODS.

CONTAINING A TOTAL AREA OF 15,860 SQUARE FEET, MORE OR LESS, AS DETERMINED BY COMPUTER METHODS.

W.O. 6194-X
NOVEMBER 27, 2006
PAGE 5 OF 8

BASIS OF BEARINGS

NORTH 89°40'49" EAST, BEGIN THE BEARING OF THE NORTH LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 8, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN ON THAT CERTAIN PLAT OF "AMENDED PLAT OF A PORTION OF DAY DAWN FUSION", ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA IN BOOK 131 OF PLATS, PAGE 65.

NOTE: THIS LEGAL IS PROVIDED AS A CONVENIENCE AND IS NOT INTENDED FOR SUBDIVIDING LAND NOT IN CONFORMANCE WITH NEVADA REVISED STATUTES.

END OF DESCRIPTION.

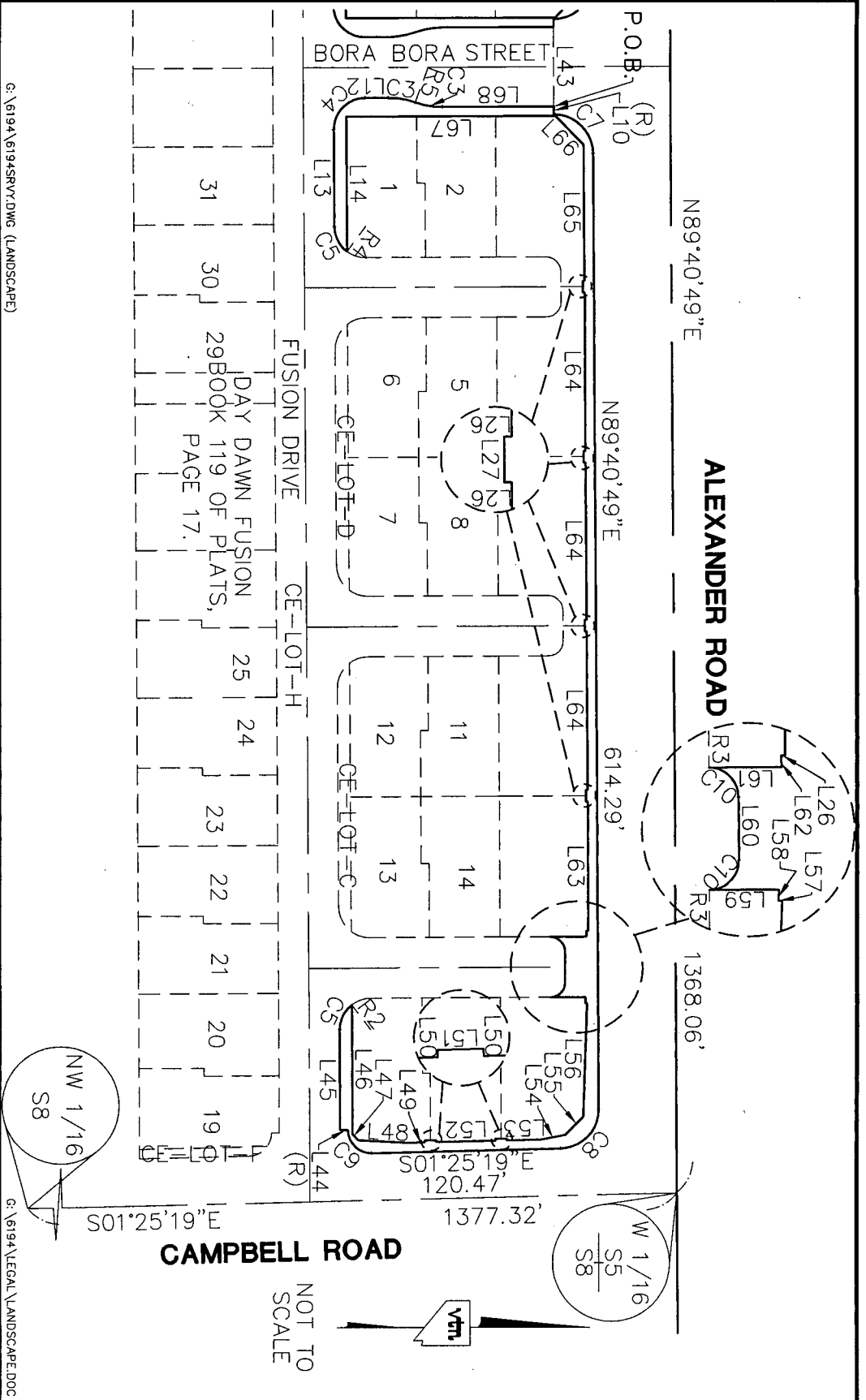
G:\6194\LEGALS\LANDSCAPE.DOC
REF. EXHIBIT: G:\6194\6194SRVY.DWG (LANDSCAPE)



LANDSCAPE EASEMENT

00

G:\6194\LEGAL\LANDSCAPE.DOC



CURVE TABLE					COURSE TABLE					COURSE TABLE					COURSE TABLE				
NO.	RADIUS	DELTA	LENGTH	TANGENT	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH			
C1	54.00'	91°13'37"	85.98'	55.17'	L13	S89°41'41"W	62.00'	L38	S01°32'48"E	7.34'	L63	S89°40'49"W	82.66'	L63	S89°40'49"W	82.66'			
C2	25.00'	91°21'49"	39.86'	25.60'	L14	N89°41'41"E	86.00'	L39	S01°32'48"E	42.67'	L64	S89°40'49"W	102.16'	L64	S89°40'49"W	102.16'			
C3	50.00'	19°56'54"	17.41'	8.79'	L15	N00°18'19"W	133.07'	L40	S01°32'48"E	37.67'	L65	S89°40'49"W	87.83'	L65	S89°40'49"W	87.83'			
C4	20.00'	90°00'00"	31.42'	20.00'	L16	N45°18'45"W	25.66'	L41	S01°32'48"E	56.34'	L66	S44°41'15"W	25.45'	L66	S44°41'15"W	25.45'			
C5	20.00'	53°07'48"	18.55'	10.00'	L17	S88°19'52"W	88.02'	L42	S89°41'41"W	6.00'	L67	S00°18'19"E	133.09'	L67	S00°18'19"E	133.09'			
C6	48.00'	91°13'37"	76.43'	49.04'	L18	S01°40'08"E	1.17'	L43	N89°39'53"E	51.00'	L68	N00°18'19"W	70.98'	L68	N00°18'19"W	70.98'			
C7	25.00'	89°59'08"	39.26'	24.99'	L19	S88°19'52"W	7.34'	L44	S00°18'19"E	5.00'									
C8	25.00'	88°53'52"	38.79'	24.52'	L20	S88°19'52"W	100.04'	L45	S89°41'41"W	63.63'									
C9	15.00'	91°07'00"	23.85'	15.30'	L21	S68°47'48"W	1.69'	L46	N89°41'41"E	82.57'									
C10	9.50'	90°00'00"	14.92'	9.50'	L22	S21°12'12"E	1.17'	L47	N44°08'11"E	5.32'									
RADIAL TABLE																			

NO.	BEARING	LENGTH
L1	S00°19'11"E	55.00'
L2	N89°40'49"E	24.48'
L3	S80°51'25"E	60.82'
L4	N89°40'49"E	65.42'
L5	S00°19'11"E	3.00'
L6	N89°40'49"E	5.00'
L7	N89°40'49"E	10.62'
L8	N75°38'41"E	41.23'
L9	N89°40'49"E	59.75'
L10	N89°41'41"E	5.00'
L11	S00°18'19"E	70.95'
L12	S00°18'19"E	15.00'

NO.	BEARING	LENGTH
L23	S68°47'48"W	7.34'
L24	S68°47'48"W	20.54'
L25	S89°40'49"W	18.71'
L26	S00°19'11"E	1.17'
L27	S89°40'49"W	7.34'
L28	S89°40'49"W	42.66'
L29	S89°40'49"W	43.16'
L30	S89°40'49"W	50.20'
L31	N80°51'25"W	13.65'
L32	S09°08'35"W	1.17'
L33	N80°51'25"W	7.34'
L34	N80°51'25"W	39.83'
L35	S89°40'49"W	23.98'
L36	S01°32'48"E	25.24'
L37	N88°27'12"E	1.17'

NO.	BEARING	TYPE
R1	N69°44'47"E	PRC
R2	N52°49'29"E	
R3	N89°41'41"E	
R4	S53°26'07"E	
R5	S70°21'25"E	PRC

G:\6194\6194SRVY.DWG (LANDSCAPE)

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EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION

LANDSCAPE EASEMENT

W.O.#: 6194-X
DATE: 11/27/06
BY: SP
SCALE: NONE
SHEET 8 OF 8

SOFI



Separator Sheet

Legal Description



LEGAL DESCRIPTION

Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

VAR-18345

Case Number: VAR 155-15 APN: 138-08-116-020 + 021

Name of Property Owner: Wagner Homes Inc

Name of Applicant: Wagner Homes

Name of Representative: Stephanie Allan

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

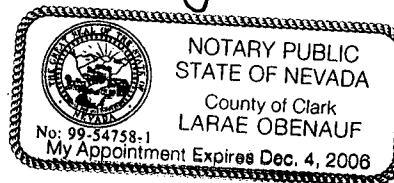
Signature of Property Owner: 

Print Name: Dan Wagner

Subscribed and sworn before me

This 22nd day of November, 2006

Lafae Obenauz
Notary Public in and for said County and State



Justification Letter



Separator Sheet



CONSULTING ENGINEERS • PLANNERS • SURVEYORS

PROVIDING QUALITY PROFESSIONAL
SERVICES SINCE 1960

November 27, 2006

WO# 6194

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, NV 89101

DAY DAWN FUSION:

RE: Justification for a Variance & Review of Conditions

Planning Department,

On behalf of our client, Nevada Homes Group, VTN Nevada respectfully submits this letter and application for a Review of Condition and a Variance. Our client is requesting relief from condition # 11 of SDR-2418, stipulating in part, that perimeter walls shall not exceed eight feet in height. Amending this condition to permit a greater wall height would necessitate relief of Chapter 19.08.040 of Title 19, limiting wall height to eight feet.

The applicant is only requesting this relief for approximately 1,300 feet along Alexander Road. Basically, the request is restricted from the vicinity of the entry street east to Campbell Road

The applicant is proposing to build an enhanced, visually superior oriental themed wall that uses contrasting materials, color, as well as surface relief to provide visual relief of a monotonous wall that is typically so pervasive in the area.

The wall is currently designed in two sections that include a combination retaining/screen wall and an off-set, low retaining wall. The combined height of this wall section is 12.4 feet $\pm$. The applicant proposes to build an enhanced single wall approximately 13.9 feet $\pm$ in height in the aforementioned area. The grading of the landscape easement will reduce the total wall height by 1-foot.

The applicant believes the substantial cost of single, enhanced perimeter wall that enhances the visual theme justifies this request. Thank you for your consideration in this matter.

Sincerely,

VTN Nevada


Jeffrey Armstrong
Senior Planner

VAR-18345
01/11/07 PC

Attachments

2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148
TEL: (702) 873-7550 FAX: 362-2597

Application



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: VARIANCE

Project Address (Location) ALEXANDER & FORT APACHE ROAD

Project Name DAYDAWN FUSION

Proposed Use RESIDENTIAL

Assessor's Parcel #(s) 138-08-116-020 & 021

Ward # 6

General Plan: existing L proposed L Zoning: existing RPD-5 proposed RPD-5

Commercial Square Footage N/A

Floor Area Ratio N/A

Gross Acres Lots/Units N/A Density N/A

Additional Information SDR-2418

PROPERTY OWNER WAGNER HOME INC., Contact PAUL WAGNER

Address 6985 W. SAHARA # 201

Phone: 220-8200 Fax: 257-7715

City LAS VEGAS

State NEVADA Zip 89117

APPLICANT WAGNER HOMES

Contact PAUL WAGNER

Address 6985 W. SAHARA # 201

Phone: 220-8200 Fax: 257-7715

City LAS VEGAS

State NEVADA Zip 89117

REPRESENTATIVE VTN-NEVADA

Contact JEFFREY ARMSTRONG

Address 2727 SOUTH RAINBOW BOULEVARD

Phone: 253-2431 Fax: 382-2597

City LAS VEGAS

State NEVADA Zip 89146

Property Owner Signature* [Signature]

* An authorized agent may sign on behalf of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

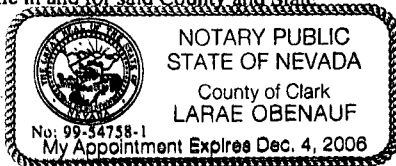
Print Name Paul Wagner

Subscribed and sworn before me

This 22nd day of November, 2006.

Larae Obenauf

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>VAR 18345</u>
Meeting Date	<u>11-07</u>
Total Fee:	<u>600</u>
Date Received:	<u>11-28-06</u>
Received By:	<u>ES</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Hansen Sheet



Separator Sheet

Application Letter – Related Case



APPLICATION LETTER – RELATED CASE

Separator Sheet

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**WALL FENCE Building Application****Report Date** 12/15/2006 03:01 PM**Submitted By**

Page 1

A/P # 70030**Application Information****Stages**

	Date / Time	By		Date / Time	By
Processed	07/26/2006 15:25	960468	Temp COO		
Issued	08/03/2006 09:12	870064	COO		
Final			Expires		

Associated Information

Type of Work	B-COMM COMMERCIAL PROJECT	# Plans	0
Dept of Commerce		# Pages	0
Priority		☒ Auto Reviews	Bill Group
Square Footage	0.00	Name	DAY DAWN FUSION

Valuation

Declared Valuation	95799.00
Calculated Valuation	0.00
Actual Valuation	0.00

Description of Work

MENDENHALL SMITH Engineered retaining & screen walls

Parent A/P #

Project #	Project/Phase Name	Phase #
Size/Area	Size Description	

Property/Site Information**Address** 9101 W ALEXANDER RD
LAS VEGAS 89129-**Location****Owner/Tenant**

There are no contacts for this site

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

No Addresses are linked to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

No Parcels are linked to this Application

Item Description**Item Status**

Check Fees	Fees Successful
ADMIN (\$35.00)	Paid
PLAN CHECK (\$354.00)	Paid
ZONING REVIEW (\$27.00)	Paid
BUILDING PERMIT (\$545.00)	Paid
EXPRESS INSPECTION (\$100.00)	Paid
Check Inspections	Inspections Failed
310997 101 #1 (FOOTING,LAYOUT,REBAR,ZONING)	Partial Passed
312342 101 #2 (FOOTING,LAYOUT,REBAR,ZONING)	Partial Passed
315738 101 #3 (FOOTING,LAYOUT,REBAR,ZONING)	Partial Passed

Report Date 12/15/2006 03:01 PM

Submitted By

Page 2

Item Description

Item Status

321368 101 #4 (FOOTING,LAYOUT,REBAR,ZONING)	Partial Passed
327294 101 #5 (FOOTING,LAYOUT,REBAR,ZONING)	Partial Passed
328775 101 #6 (FOOTING,LAYOUT,REBAR,ZONING)	Partial Passed
332751 101 #7 (FOOTING,LAYOUT,REBAR,ZONING)	Partial Passed
342788 101 #8 (FOOTING,LAYOUT,REBAR,ZONING)	Partial Passed
351314 101 #9 (FOOTING,LAYOUT,REBAR,ZONING)	Partial Passed
373217 101 #10 (FOOTING,LAYOUT,REBAR,ZONING)	No Action
310998 131 #1 (WALL GROUT & STEEL)	Partial Passed
321370 131 #2 (WALL GROUT & STEEL)	Partial Passed
332752 131 #3 (WALL GROUT & STEEL)	Partial Passed
337052 131 #4 (WALL GROUT & STEEL)	Partial Passed
341189 131 #5 (WALL GROUT & STEEL)	Canceled
345346 131 #6 (WALL GROUT & STEEL)	Partial Passed
353481 131 #7 (WALL GROUT & STEEL)	Partial Passed
361721 131 #8 (WALL GROUT & STEEL)	No Action
328316 150 #1 (OTHER BUILDING)	Partial Passed
329211 150 #2 (OTHER BUILDING)	Failed
336618 150 #3 (OTHER BUILDING)	Partial Passed
337054 150 #4 (OTHER BUILDING)	Canceled
346628 150 #5 (OTHER BUILDING)	Partial Passed
348272 150 #6 (OTHER BUILDING)	Partial Passed
349341 150 #7 (OTHER BUILDING)	Partial Passed
351317 150 #8 (OTHER BUILDING)	No Action
311000 640 #1 (PLANNING COMPLETE)	No Action
310999 140 #1 (FINAL BUILDING)	No Action
Check Reviews	Reviews Successful
159985 BLDGDEPT (PERMIT TECH OR POINT)	Approved
159982 CURRENT PL (CURRENT PLANNING)	Approved
159983 LAND DEV (LAND DEVELOPMENT)	Approved
159984 STRUCTURAL (STRUCTURAL REVIEW)	Approved
Check Conditions	Conditions Successful
Check Alert Conditions	Alert Conditions Successful
Check Licenses	Not Checked
Check Children Status	Children Successful
Check Open Cases	0

Review Activities

Act #	Act Type	Status	Waived	Issued	Started
Completed	Comp By	Comments			
159984	STRUCTURAL	1	N	07/26/2006 15:25	07/26/2006 15:26
08/01/2006 14:19	983244	Structural(8/1/06): Approved.			
159982	CURRENT PL	1	N	07/26/2006 15:25	08/02/2006 14:00
08/02/2006 14:00	984224				
159983	LAND DEV	1	N	07/26/2006 15:25	08/03/2006 08:25
08/03/2006 08:25	984334				
159985	BLDGDEPT	1	N	07/26/2006 15:25	08/03/2006 09:12
08/03/2006 09:12	870064				

Activity Review Details

Detail INSPECTION HOLD

Modified By DRWILLIAMS

Modified Date/Time 08/03/2006 09:18

Comments

No Comments

Report Date 12/15/2006 03:01 PM

Submitted By

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INSPECTION HOLD

Allow All Inspections

Inspection Hold Request Hold Date Comment	Inspection #	Added By	Modified By	Modified Date	Status
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08/01/2006 14:21	140	CREMLEY	DRWILLIAMS	08/03/2006 09:18	Y
I-hold required for special inspection of masonry retaining portion of wall. Angle Engineering					

Detail	PLAN CK CORRECTION SUBMITTAL	Modified By	JGRISANTI	Modified Date/Time	07/27/2006 12:10
Comments	No Comments				

Planning Condition	Description	Effective	Expire	Comments
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There is no planning condition for this project.

ADDITIONAL INFO

☐ Rolled Plans

☒ Folded Plans

Valuation 95799.00

Wall Data	Length Value	Height Recalculate	Type Comments	Design Type	Location	Block	Lots
	109 3597	6.00 N	BLOCK	ENGINEER	PERIMETER		9

Report Date 12/15/2006 03:01 PM

Submitted By

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Wall Data	Length Value	Height Recalculate	Type Comments	Design Type	Location	Block	Lots
	109		BLOCK	ENGINEER	PERIMETER		10
	3597	N					
	90		BLOCK	ENGINEER	PERIMETER		15
	2970	N					
	89		BLOCK	ENGINEER	PERIMETER		16
	2937	N					
	31		BLOCK	ENGINEER	PERIMETER		16
	1023	N					
	120		BLOCK	ENGINEER	PERIMETER		17
	3960	N					
	49		BLOCK	ENGINEER	PERIMETER		18
	1617	N					
	84		BLOCK	ENGINEER	PERIMETER		19
	2772	N					
	98		BLOCK	ENGINEER	PERIMETER		19
	3234	N					
	44		BLOCK	ENGINEER	PERIMETER		20
	1452	N					
	50		BLOCK	ENGINEER	PERIMETER		21
	1650	N					
	45		BLOCK	ENGINEER	PERIMETER		22
	1485	N					
	50		BLOCK	ENGINEER	PERIMETER		23
	1650	N					
	45		BLOCK	ENGINEER	PERIMETER		24
	1485	N					
	50		BLOCK	ENGINEER	PERIMETER		25
	1650	N					
	45		BLOCK	ENGINEER	PERIMETER		26
	1485	N					
	45		BLOCK	ENGINEER	PERIMETER		27
	1485	N					
	45		BLOCK	ENGINEER	PERIMETER		57
	1485	N					
	50		BLOCK	ENGINEER	PERIMETER		56
	1650	N					
	38		BLOCK	ENGINEER	PERIMETER		55
	1254	N					
	69		BLOCK	ENGINEER	PERIMETER		55
	2277	N					
	103		BLOCK	ENGINEER	PERIMETER		54
	3399	N					
	50		BLOCK	ENGINEER	PERIMETER		51
	1650	N					
	50		BLOCK	ENGINEER	PERIMETER		50
	1650	N					
	51		BLOCK	ENGINEER	PERIMETER		49
	1683	N					
	54		BLOCK	ENGINEER	PERIMETER		48
	1782	N					
	101		BLOCK	ENGINEER	PERIMETER		47
	3333	N					
	50		BLOCK	ENGINEER	PERIMETER		46
	1650	N					

Report Date 12/15/2006 03:01 PM

Submitted By

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Wall Data	Length Value	Height Recalculate	Type Comments	Design Type	Location	Block	Lots
	45		BLOCK	ENGINEER	PERIMETER		45
	1485	N					
	50		BLOCK	ENGINEER	PERIMETER		44
	1650	N					
	60		BLOCK	ENGINEER	PERIMETER		43
	1980	N					
	45		BLOCK	ENGINEER	PERIMETER		1
	1485	N					
	50		BLOCK	ENGINEER	PERIMETER		2
	1650	N					
	155		BLOCK	ENGINEER	PERIMETER		3
	5115	N					
	109		BLOCK	ENGINEER	PERIMETER		4
	3597	N					
	45		RETAINING	ENGINEER	PERIMETER		57
	1125	N					
	50		RETAINING	ENGINEER	PERIMETER		56
	1250	N					
	38		RETAINING	ENGINEER	PERIMETER		55
	950	N					
	69		RETAINING	ENGINEER	PERIMETER		55
	1725	N					
	103		RETAINING	ENGINEER	PERIMETER		54
	2575	N					
	50		RETAINING	ENGINEER	PERIMETER		46
	1250	N					
	60		RETAINING	ENGINEER	PERIMETER		43
	1500	N					
	90		RETAINING	ENGINEER	PERIMETER		3
	2250	N					
	109		RETAINING	ENGINEER	PERIMETER		4
	2725	N					
	10		RETAINING	ENGINEER	PERIMETER		9
	250	N					
	109		RETAINING	ENGINEER	PERIMETER		10
	2725	N					
	26		RETAINING	ENGINEER	PERIMETER		16
	650	N					

Employee ID	Last	First	MI	Comments
984018	WILLIAMS	DENA	R	7-28-06 entered wall data, to MH
960025	HAZARD	MICHAEL	J	mh 072806 - received back inputs and forwarded to Tech.
960468	HUGHES	DONALD	R	created application, to file 7-26-06

Log Action	Description Comments	Entered By	Start	Stop
INSP	INSPECTION	970040	10/20/2006 14:56	
0.00	EXP INSP PD IN FIELD, WATERFALLDIMENSIONS INC CK 2247, 564-255			

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

WALL FENCE Building Application

Report Date 12/15/2006 03:01 PM

Submitted By

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Log Action Hours	Description Comments	Entered By	Start	Stop
------------------------	-------------------------	------------	-------	------

PAYMNT 0.00	CK NAME,# WHO PICKED UP PERMIT John Dubuc,Waterfall Dimensions Inc ck #2089, 564-2255	984018	08/03/2006 09:19	
----------------	--	--------	------------------	--

Project Checklist



PROJECT CHECKLIST

Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes
Item Required				
YES	NO			
APPLICATION				
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)		Five By 11/28 MEETING 1/11/07
☒	☐	Grant deed and legal description		
☒	☐	Detailed justification letter		
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations		
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations		
☒	☐	Correct fee(s): \$ <u>300</u> \$ <u>300</u> \$ _____ Total = \$ <u>600.00</u>		
☒	☐	Statement of Financial Interest		
☒	☐	Development Impact Notice and Assessment (DINA)		
☒	☐	Project of Regional Significance		
SITE PLAN				
				Folded Plans: <u>5</u> Rolled/Colored Plans: <u>0</u>
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	<i>All</i> property lines and present dimensions labeled		
☒	☐	<i>All</i> building setbacks labeled		
☒	☐	<i>All</i> adjacent existing land uses and street names labeled		
☒	☐	<i>All</i> points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized: _____		
☒	☐	Parking space count and typical dimensions labeled		
☒	☐	#regular #compact #handicap Total		
☒	☐	<i>All</i> free-standing sign locations shown and heights and sizes noted		
LANDSCAPE PLAN				
				Folded Plans: <u>1</u> Rolled/Colored Plans: <u>0</u>
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	<i>All</i> property lines and present dimensions labeled		
☒	☐	<i>All</i> required perimeter landscape planters shown		
☒	☐	<i>All</i> required parking lot fingers/islands shown		
☒	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover		
BUILDING ELEVATIONS				
				Folded Plans: _____ Rolled/Colored Plans: _____
☐	☐	11" x 17" min. to 24" x 36" max. page size		
☐	☐	Scale and building dimensions labeled		
☐	☐	North, south, east, and west elevations of <i>all</i> buildings		
☐	☐	<i>All</i> building materials and colors noted		
☐	☐	8" x 10" photo of original color and material board		
☐	☐	<i>All</i> wall sign locations shown and sizes noted		
FLOOR PLANS				
				Folded Plans: _____ Rolled Plans: _____
☐	☐	11" x 17" min. to 24" x 36" max. page size		
☐	☐	Scale and building dimensions labeled		
☐	☐	<i>All</i> building entrances/exits shown		
☐	☐	Use of <i>all</i> rooms noted/labeled		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: BRIAN PSIODA Application Type: VARIANCE
 APN: 138-08-116-017 ETC. Location: FT APACHE/ALEXANDER
 Planner: A. Reed Pre-App Meeting Date: 11/14/06 Earliest PC Date: 1/11/07

☐

Meeting

☐

Telephone

☐

Conversation Record

Page _____ of _____
Date ____ / ____ / ____
Time ____ : ____ am pm

Project Name _____

Conversation between CLV Representative(s): _____
and,

Name

Company/Department

Phone

FAX

☐

see Meeting Attendance Sheet

Comments: _____

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

VAR-18345 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: WAGNER HOMES INC -

Request for a Variance to ALLOW A 13.9 FOOT HIGH PERIMETER WALL WHERE 8 FEET IS THE MAXIMUM HEIGHT ALLOWED FOR AN APPROVED 57-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 0.36 acres adjacent to the southeast corner and southwest corner of Alexander Road and Campbell Road (APN: 138-08-116-020 and 021), U (Undeveloped) Zone [L (Low Density Residential) General Plan Designation] under Resolution of Intent to R-PD5 (Residential Planned Development - 5 Units Per Acre), Ward 4 (Brown).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTION 08, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: JANUARY 11, 2007

CITY COUNCIL: FEBRUARY 7, 2007

CASE PLANNER: JOHN KORKOSZ



PUBLIC HEARING

Comments Due:

DECEMBER 13, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

VAR-18345

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: January 11, 2007

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

VAR-18345

American West Village

American West Village II HOA

Cimarron Gowan Community Association

Firethorne I HOA

Grand Estates HOA

Lone Mountain Citizens Advisory Council

Sun City Summerlin Community Association

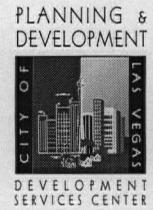
Affidavit of Sign Posting



Separator Sheet



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

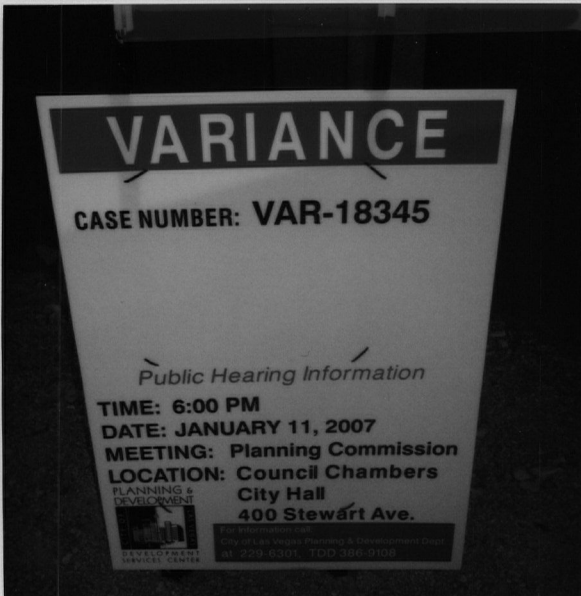


CASE NUMBER: VAR-18345

MEETING DATE: 01/11/07 PC

1 of 2

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first



[Signature]
Signature

12-31-06
Date

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

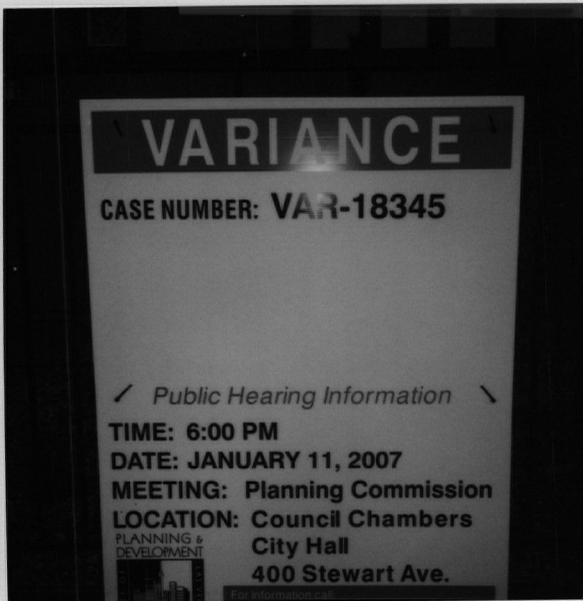


CASE NUMBER: VAR-18345

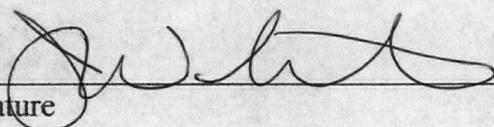
MEETING DATE: 01/11/07 PC

2 of 2

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



CAMPBELL


Signature

12-31-06
Date

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.



GENERAL NOTES

1. Landscape shall conform to requirements of Title 19 (City of Las Vegas).
2. Ground cover shall be designed to cover more than 50% of the landscaped area.
3. The proposed landscaping and plants are conceptual only, a detailed Landscape Plan will be prepared by a licensed Landscape Architect as a part of the final engineering plan.
4. The number and types of plant may vary from this proposed conceptual plan.
5. The Applicant reserves the right to change the plant shown on this plan, and alter the amenities shown in the Open Space area.

PROJECT BENCHMARK

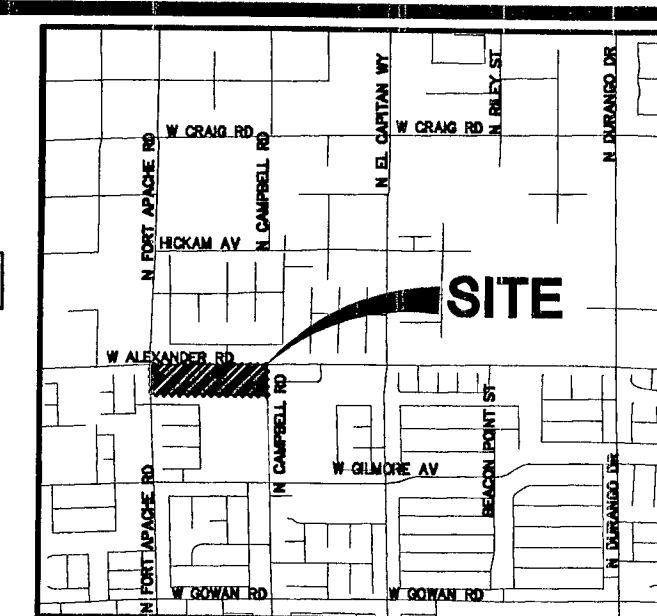
PROJECT DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
CLARK COUNTY BENCHMARK: #9LV00:7NNE6
NAVD88 ELEVATION: 780.959 METERS (2562.20 FEET)
CITY OF LAS VEGAS RIVET AND SQUARE ALUMINUM PLATE IN TOP
OF CURB, SOUTH SIDE OF ALEXANDER ROAD OPPOSITE
TPEEP E LANE

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PROJECT IS NORTH 89°44'17" EAST, BEING THE SOUTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 8, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, AS SHOWN ON A FINAL MAP ON FILE IN THE CLARK COUNTY, NEVADA RECORDER'S OFFICE IN PLAT BOOK 76 AT PAGE 52.

LEGAL DESCRIPTION

BEING THE NORTH HALF (N 1/2) OF THE NORTH HALF (N1/2) OF THE
NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF
SECTION 8, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS
CLARK COUNTY NEVADA.



LOCATION MAP

GRAPHIC SCALE

Ca
efore y
DI

Call
before you
Overhead
1-702-227-2929

SITE DATA

CURRENT GENERAL PLAN : P-C-D
CURRENT ZONING : RE
PROPOSED ZONING : R-PD-5
GROSS AREA : 8.01 AC
NUMBER OF LOTS : 57
PROPOSED DENSITY : 5.27 DU/AC
OPEN SPACE REQUIRED : 40,858 S.F.
(8.685%)
OTHER OPEN SPACE : 25,613 S.F.
TOTAL OPEN SPACE PROVIDED : 25,613 S.F.
APN# 138-08-101-001,002,003,004

OWNER/DEVELOPER

NEVADA HOMES GROUP
6985 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89117
(702) 220-6200
CONTACT : PAUL WAGNER

SETBACKS

FRONT (GARAGE): 20.0
FRONT (HOUSE): 10.0
SIDE: 5.0
CORNER: 10.0
REAR: 15.0

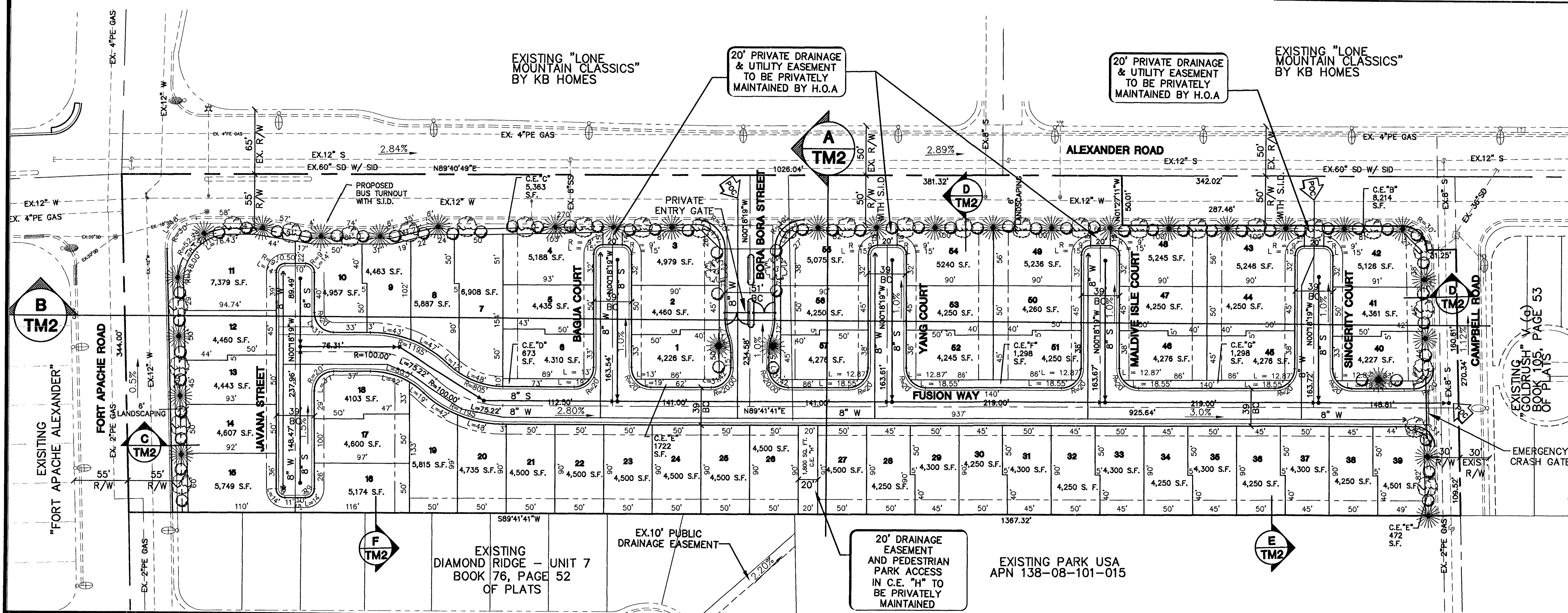
NOTE: LOT# 40 TO
HAVE A 4-FOOT
STREET SIDE SETBACK

GENERAL NOTES

1. ALL IMPROVEMENTS SHALL CONFORM TO THE UNIFORM STANDARDS AND SPECIFICATIONS OF CLARK COUNTY, NEVADA.
2. UTILITY SERVICES PROVIDED AS FOLLOWS :
 - WATER.....LAS VEGAS VALLEY WATER DISTRICT
 - ELECTRIC.....NEVADA POWER COMPANY
 - GAS.....SOUTHWEST GAS CORPORATION
 - SEWER.....CITY OF LAS VEGAS
 - SOLID WASTE DISPOSAL.....SILVER STATE DISPOSAL SERVICE
 - TELEPHONE.....SPRINT CENTRAL-NEVADA
3. UTILITY EASEMENTS TO BE DEDICATED TO RESPECTIVE AGENCIES.
4. SEWER CONTRIBUTION :
 - AVERAGE FLOW = 0.01425
 - PEAK FLOW = 0.0449
5. BUILDING SETBACKS TO COMPLY WITH ALL APPLICABLE ORDINANCES.
6. STORM WATER TO SURFACE DRAIN ON STREETS.
7. THIS DEVELOPMENT IS SHOWN IN ITS ENTIRETY ON THIS TENTATIVE MAP AND IS NOT A PORTION OF ANY MASTER PLANNED AREA.
8. THIS DEVELOPMENT DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DESIGNATED BY FEMA FPNL NO. 32003C2135D
9. ALL INTERIOR SEWER AND WATER MAINS ARE 31" UNLESS OTHERWISE SHOWN.
10. ALL INTERIOR STREETS ARE 39' WIDE PUBLIC UNLESS OTHERWISE SHOWN
11. ALL PROPERTY LINE RADIUS = 20' AT INTERSECTIONS UNLESS OTHERWISE SHOWN.
12. THIS SUBDIVISION WILL HAVE CC&R'S & TO MAINTAIN LANDSCAPING IN PERPETUITY BY THE HOME OWNER'S ASSOCIATION.
13. COMMON ELEMENTS AND LANDSCAPING PER ZONE CHANGE CONDITIONS.
14. THERE ARE NO OBSERVABLE FAULTS OR FISSURES ON OR NEAR THIS SITE.
15. SEeps, SPRINGS, OR OTHER INDICATIONS OR HIGH GROUND WATERLEVELS WERE NOT NOTED ON THE SUBJECT PROPERTY.
16. THE BOUNDARY FOR THIS PROJECT IS FROM SURVEY BOUNDARY. ALL LOT DIMENSIONS ARE PRELIMINARY AND WILL VARY FROM FINAL MAP.

LEGEND

-  STREET CENTER LINE
 PARCEL BOUNDARY
 LOT LINE
 SETBACK LINE
 EX 8" S --- EXISTING SEWER LINE AND MANHOLE
 EX 8" W --- EXISTING WATER LINE
 8" S --- PROPOSED SEWER LINE AND MANHOLE
 8" W --- PROPOSED WATER LINE
 18" SD --- PROPOSED STORM DRAIN
 20 --- LOT NUMBER
 ① --- BLOCK NUMBER
 POC --- POINT OF CONNECTION TO EXIST. UTILITIES
 3.14% → RATE OF GRADE AND DIRECTION OF SLOPE (APPLIES TO BOTH STREET AND SEWER UNLESS OTHERWISE NOTED)
 2675 --- EXISTING CONTOUR LINE
 C.E. --- COMMON ELEMENT AREA
 STREET LIGHT
 FIREHYDRANT NOV 2 8 2006
 MB --- PROPOSED MAIL BOXES PER USPS
 O.S. --- OPEN SPACE



JP
CITY OF LAS VEGAS

NEVADA HOMES GROUP
9885 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89146
702/220-6200

CONCEPTUAL LANDSCAPE PLAN

**DAY DAWN FUSION
FORT APACHE / ALEXANDER**

DRAWN BY:
DLG/JJP

AUG, 2003

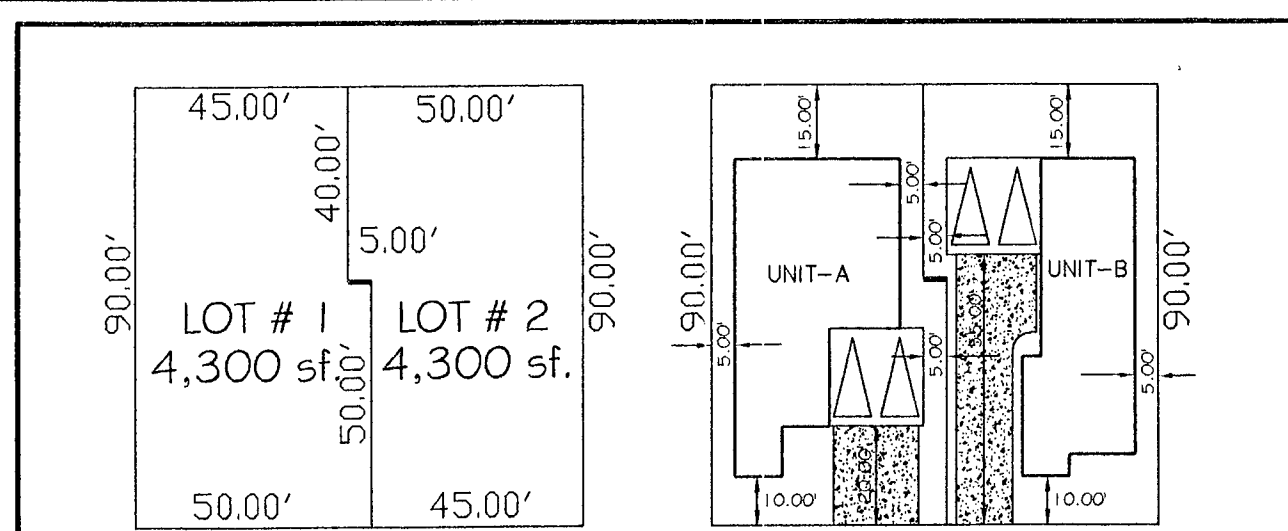
DESIGNED BY:

PROFESSIONAL ENGINEER-STATE OF NEVADA
KENNETH F. NICHOLSON
CIVIL
No. 10539
EXPIRES 12-31-03

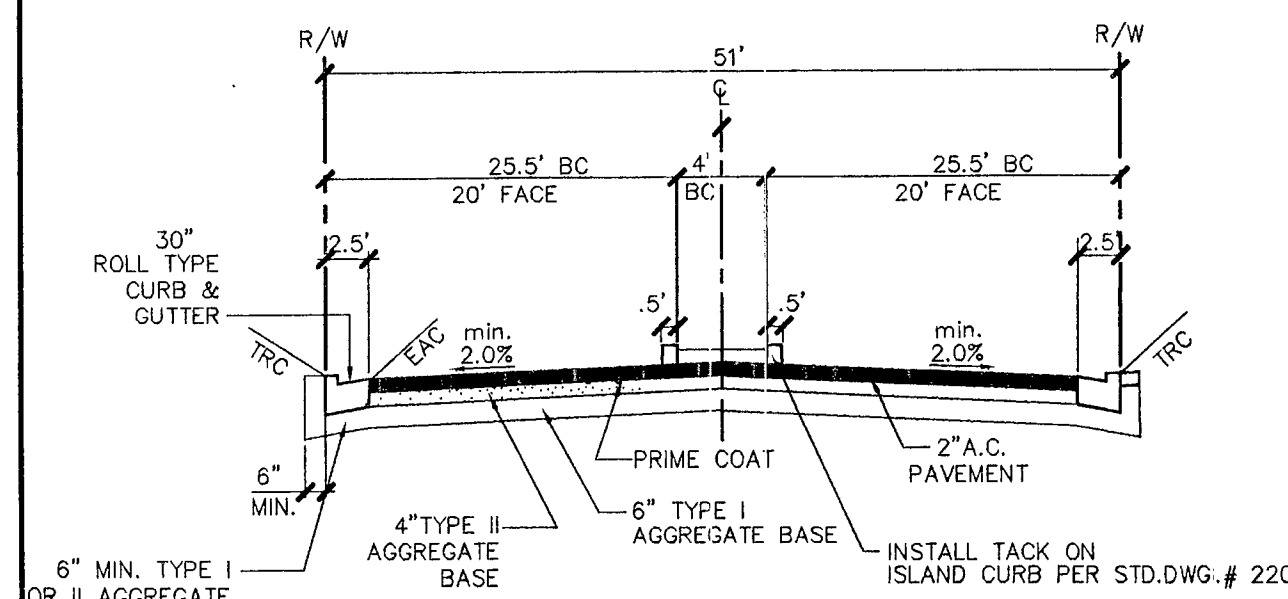
SHEET
TM1
2 OF 2 SHEETS
DRAWING NO.

VAR-18345
01/11/07 PC

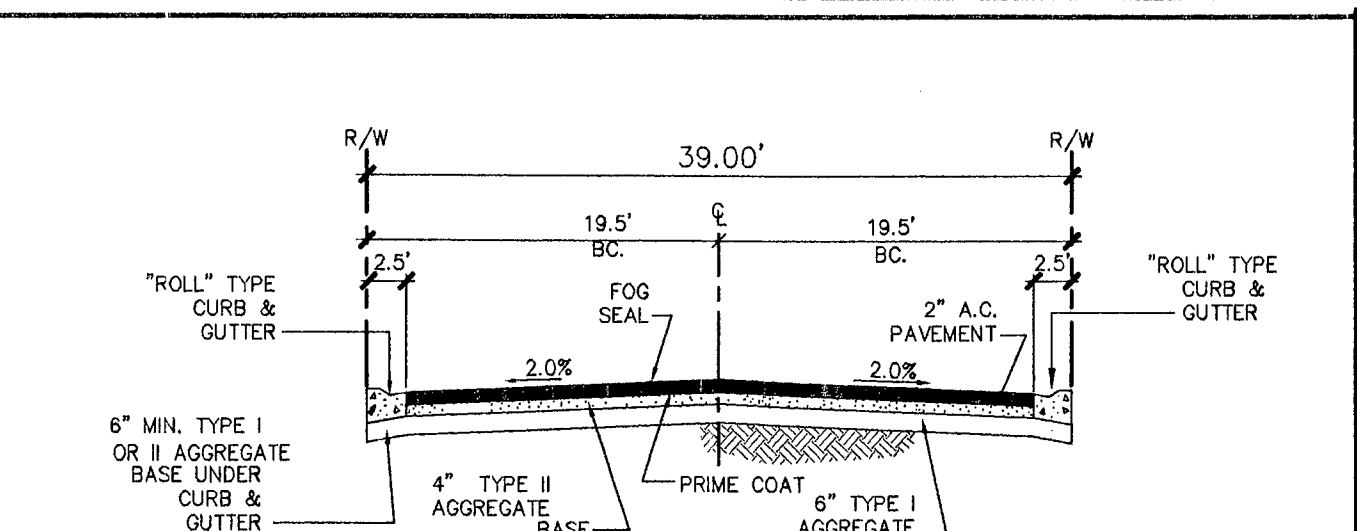
4: \6104\6104TM.dwg (BB-3A) DIC



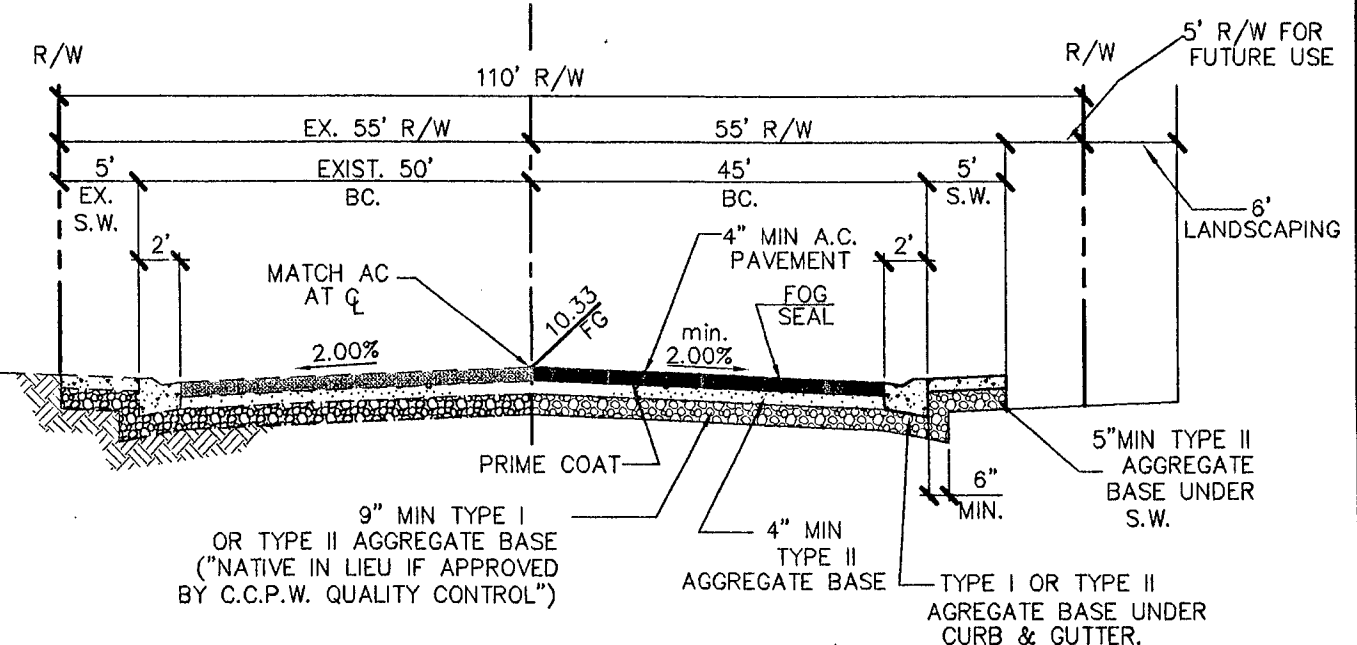
TYPICAL LOT LAYOUT
N.T.S.



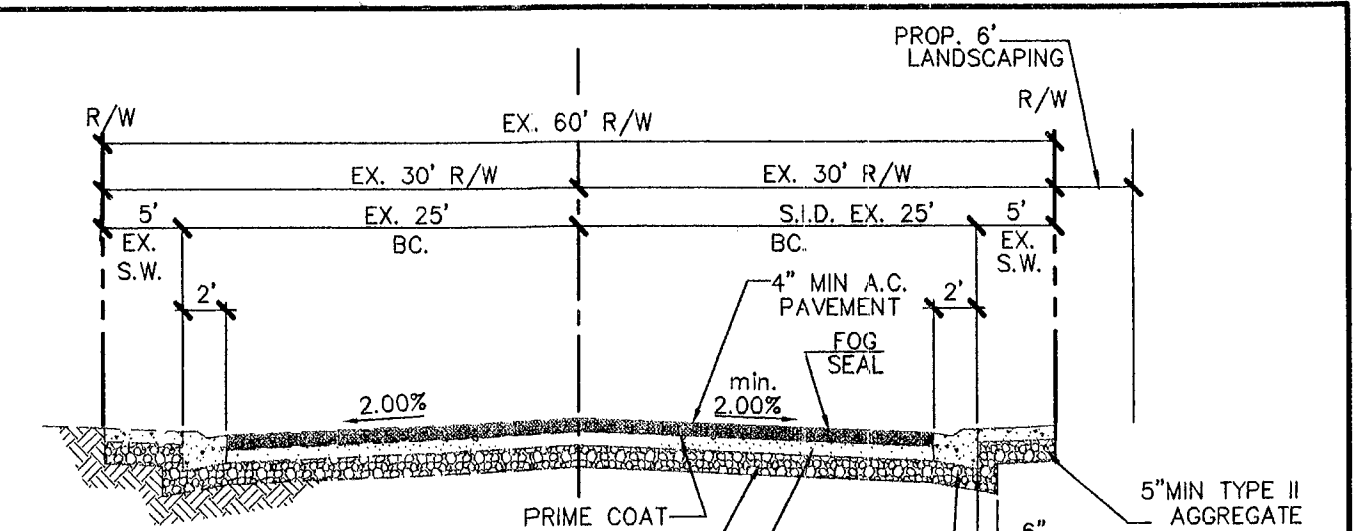
ENTRANCE STREET SECTION
PRIVATE STREET
NO SCALE - PER STD.DWG.# 207



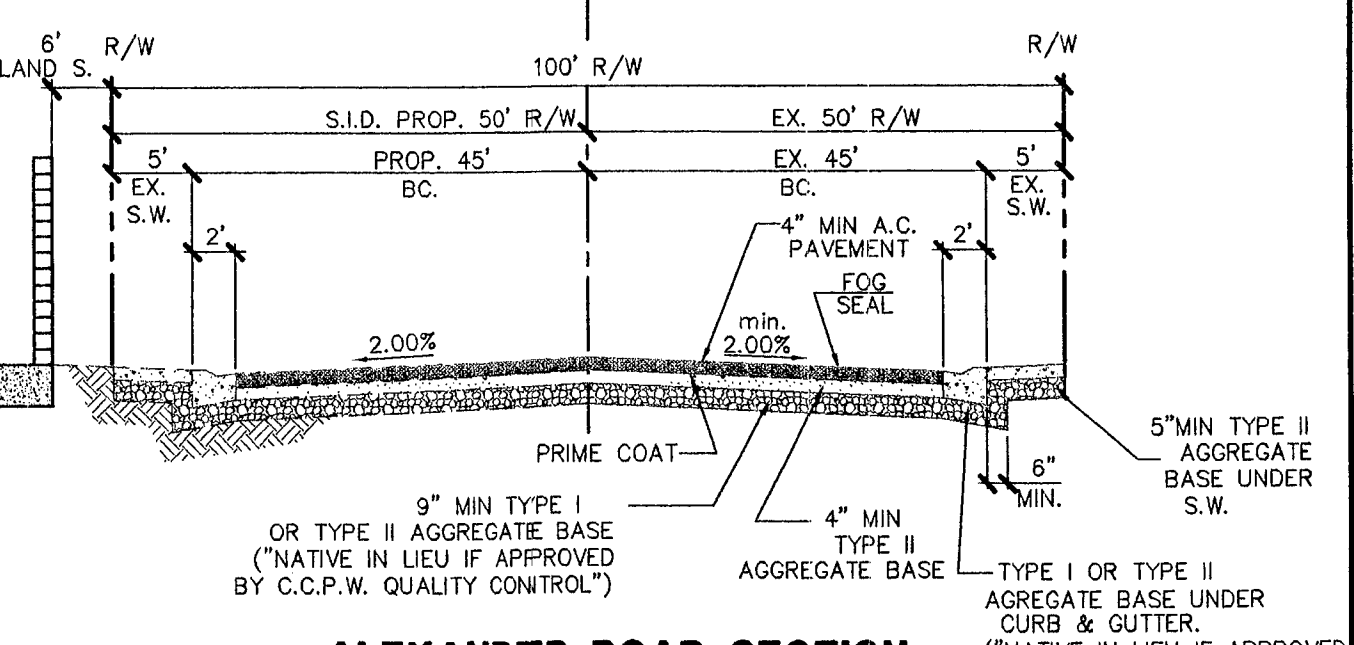
TYPICAL PRIVATE STREET SECTION
PRIVATE STREET
NO SCALE



FORT APACHE ROAD SECTION
PUBLIC STREET
NO SCALE - PER STD.DWG.# 202

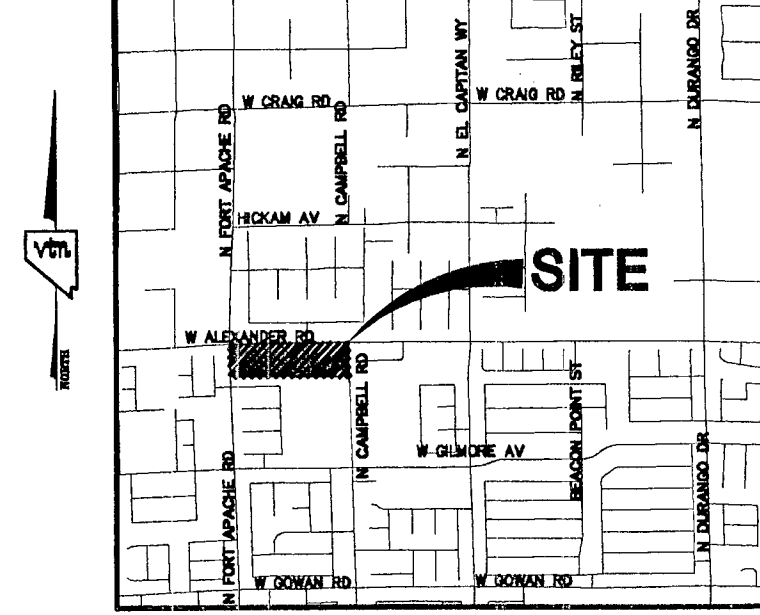


CAMBELL ROAD SECTION
PUBLIC STREET
NO SCALE - PER STD.DWG.# 202

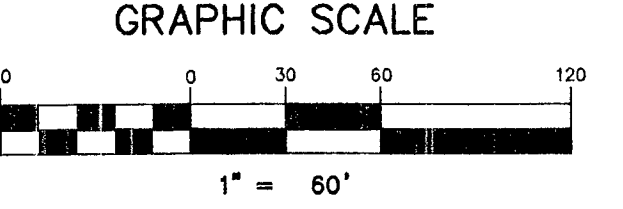


ALEXANDER ROAD SECTION
PUBLIC STREET
NO SCALE - PER STD.DWG.# 202

Call before you Dig
1-702-455-7511
CLARK COUNTY TRAFFIC OPERATIONS
AND
1-702-229-6611
LAS VEGAS AREA COMPUTERIZED TRAFFIC SYSTEM



LOCATION MAP
GRAPHIC SCALE



Call before you Dig
1-800-227-2600

Call before you Overhead
1-702-227-2929

SETBACKS

FRONT (GARAGE):	20.0'
FRONT (HOUSE):	10.0'
SIDE:	5.0'
CORNER:	10.0'
REAR:	15'
NOTE: LOT# 40 TO HAVE A 4-FOOT STREET SIDE SETBACK	

SITE DATA

CURRENT GENERAL PLAN:	P-C-D
CURRENT ZONING:	R-DE
PROPOSED ZONING:	R-PD-5
GROSS AREA:	8.01 AC
NUMBER OF LOTS:	57
PROPOSED DENSITY:	5.27 DU/AC
OPEN SPACE REQUIRED:	40,858 S.F. (8.685%)
OTHER OPEN SPACE:	25,613 S.F.
TOTAL OPEN SPACE PROVIDED:	25,613 S.F.
APN#	138-08-101-001,002,003,004

OWNER/DEVELOPER
NEVADA HOMES GROUP
6985 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89117
(702) 220-6200
CONTACT: PAUL WAGNER

PROJECT BENCHMARK
PROJECT DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)
CLARK COUNTY BENCHMARK: #9LV0077NNE6
NAVD83 ELEVATION: 780.569 METERS (2562.20 FEET)
CITY OF LAS VEGAS RIVET AND SQUARE ALUMINUM PLATE IN TOP OF CURB, SOUTH SIDE OF ALEXANDER ROAD OPPOSITE TEEPEE LANE

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS PROJECT IS NORTH 89°44'17" EAST, BEING THE SOUTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 8, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, AS SHOWN ON A FINAL MAP ON FILE IN THE CLARK COUNTY, NEVADA RECORDER'S OFFICE IN PLAT BOOK 76 AT PAGE 52.

LEGAL DESCRIPTION
BEING THE NORTH HALF (N 1/2) OF THE NORTH HALF (N 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 8, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY NEVADA.

- GENERAL NOTES**
- ALL IMPROVEMENTS SHALL CONFORM TO THE UNIFORM STANDARDS AND SPECIFICATIONS OF CLARK COUNTY, NEVADA.
 - UTILITY SERVICES PROVIDED AS FOLLOWS:
WATER: LAS VEGAS VALLEY WATER DISTRICT
ELECTRIC: NEVADA POWER COMPANY
GAS: SOUTHWEST GAS CORPORATION
SEWER: CITY OF LAS VEGAS
SOLID WASTE DISPOSAL: SILVER STATE DISPOSAL SERVICE
TELEPHONE: SPRINT CENTRAL-NEVADA
 - UTILITY EASEMENTS TO BE DEDICATED TO RESPECTIVE AGENCIES.
 - SEWER CONTRIBUTION:
AVERAGE FLOW = 0.01425
PEAK FLOW = 0.0499
 - BUILDING SETBACKS TO COMPLY WITH ALL APPLICABLE ORDINANCES.
 - STORM WATER TO SURFACE DRAIN ON STREETS.
 - THIS DEVELOPMENT IS SHOWN IN ITS ENTIRETY ON THIS TENTATIVE MAP AND IS NOT A PORTION OF ANY MASTER PLANNED AREA.
 - THIS DEVELOPMENT DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DESIGNATED BY FEMA FIRM NO. 32003C21350.
 - ALL INTERIOR SEWER AND WATER MAINS ARE 8" UNLESS OTHERWISE SHOWN.
 - ALL INTERIOR STREETS ARE 39' WIDE PUBLIC UNLESS OTHERWISE SHOWN.
 - ALL PROPERTY LINE RADIUS = 20' AT INTERSECTIONS UNLESS OTHERWISE SHOWN.
 - THIS SUBDIVISION WILL HAVE CC&R'S & TO MAINTAIN LANDSCAPING IN PERPETUITY BY THE HOME OWNER'S ASSOCIATION.
 - COMMON ELEMENTS AND LANDSCAPING PER ZONE CHANGE CONDITIONS.
 - THERE ARE NO OBSERVABLE FAULTS OR FISSURES ON OR NEAR THIS SITE.
 - SEEPS, SPRINGS, OR OTHER INDICATIONS OR HIGH GROUND WATER LEVELS WERE NOT NOTED ON THE SUBJECT PROPERTY.
 - THE BOUNDARY FOR THIS PROJECT IS FROM SURVEY BOUNDARY. ALL LOT DIMENSIONS ARE PRELIMINARY AND WILL VARY FROM FINAL MAP.

LEGEND

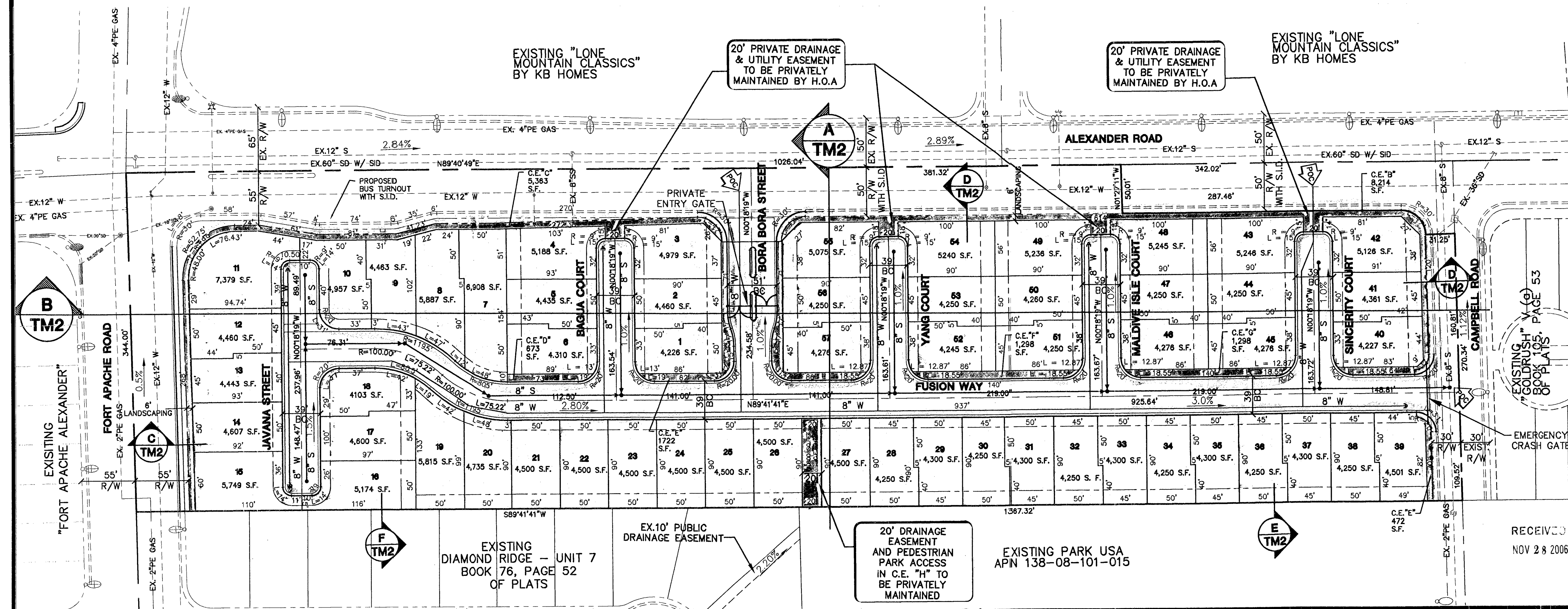
- STREET CENTERLINE
- PARCEL BOUNDARY
- LOT LINE
- SETBACK LINE
- EX 8" S - EXISTING SEWER LINE AND MANHOLE
- EX 8" W - EXISTING WATER LINE
- 8" S - PROPOSED SEWER LINE AND MANHOLE
- 8" W - PROPOSED WATER LINE
- 18" SD - PROPOSED STORM DRAIN
- 20 - LOT NUMBER
- POC - BLOCK NUMBER
- POINT OF CONNECTION TO EXIST. UTILITIES
- RATE OF GRADE AND DIRECTION OF SLOPE (APPLIES TO BOTH STREET AND SEWER UNLESS OTHERWISE NOTED)
- EXISTING CONTOUR LINE
- COMMON ELEMENT AREA
- STREET LIGHT
- FIREHYDRANT
- PROPOSED MAIL BOXES PER USPS
- OPEN SPACE

APPROVED
CITY CLERK: JILL A. HARRIS
PLANNING COMMISSION: JILL A. HARRIS
BY: JILL A. HARRIS

DRAWN BY: AUG. 2003
DESIGNED BY:
CHECKED BY:
PROJECT NO.:
SCALE: 1"=60' HORIZ. VERT.

PROFESSIONAL ENGINEER STATE OF NEVADA
KENNETH F. NICHOLSON
CIVIL
EXPIRES 12-31-03

SHEET
1 OF 2 SHEETS
DRAWING NO.



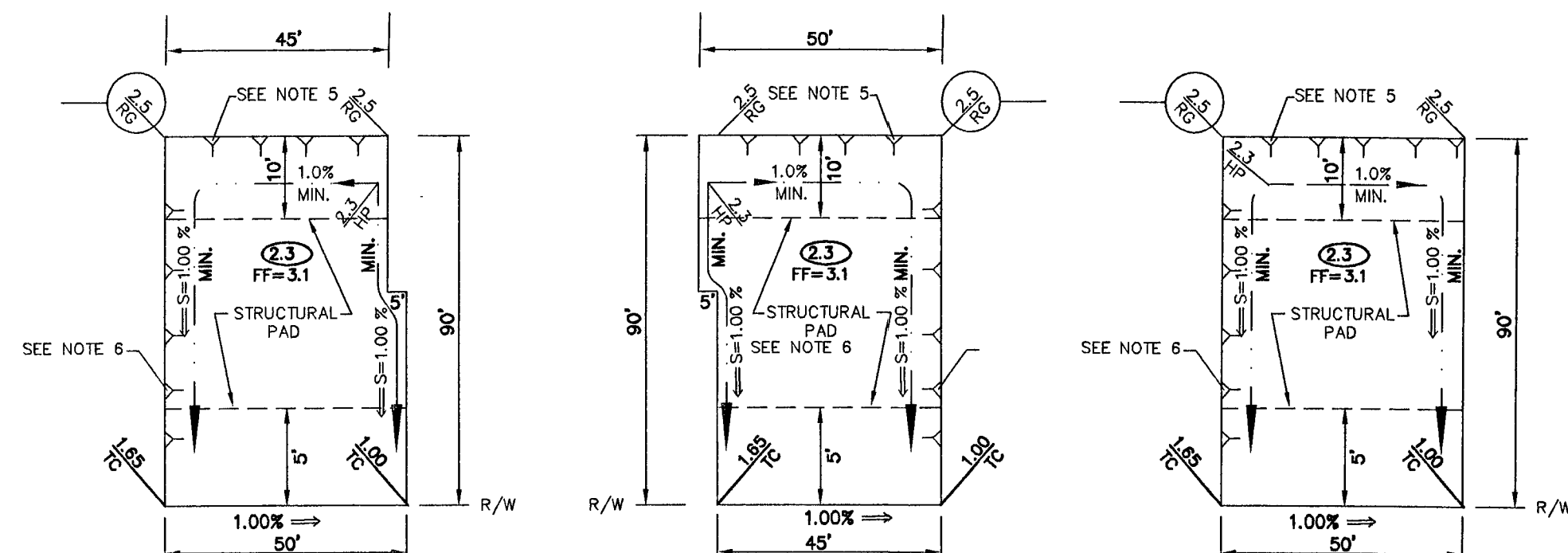
NEVADA HOMES GROUP
6985 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89117
(702) 220-6200

CITY OF LAS VEGAS
2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148
PH. (702) 875-7550 FAX (702) 362-2597
PLANNERS • LAND SURVEYORS • CONSULTING ENGINEERS

TENTATIVE MAP
DAY DAWN FUSION
FORT APACHE / ALEXANDER

REVISION

VAR-18345
04/14/07 PC

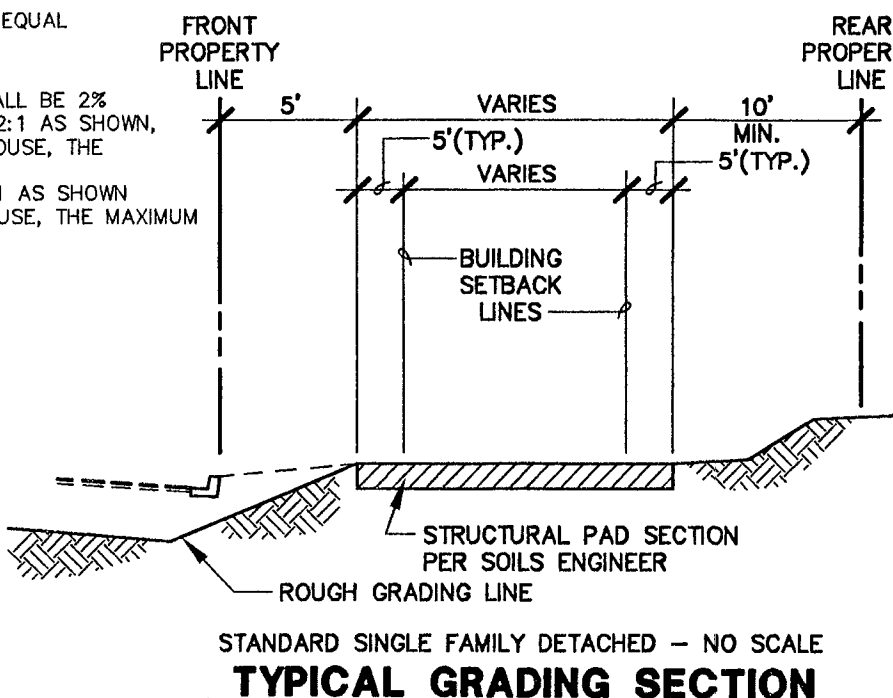


TYPICAL GRADING PLAN

TYPICAL GRADING PLAN

TYPICAL GRADING PLAN

- NOTES:
- STRUCTURAL PAD SHALL BE 5' BEYOND BLDG. SETBACK. SEE TYPICAL GRADING SECTION.
 - REFER TO GENERAL NOTE 1.
 - REAR LOT CORNER GRADES ARE EQUAL TO ADJACENT LOTS UNLESS SHOWN OTHERWISE.
 - MINIMUM SIDEYARD X-SLOPE SHALL BE 2%.
 - MAXIMUM REAR YARD SLOPE IS 2:1 AS SHOWN, EXCEPT THAT WITHIN 15' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.
 - MAXIMUM SIDEYARD SLOPE IS 5:1 AS SHOWN, EXCEPT THAT WITHIN 5' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.



TYPICAL GRADING SECTION

SIDEWALK RAMPS TABLE

NO.	DIM "A"	DIM "B"	CASE
1	4.5'	21.5'	I
2	4.5'	15.0'	I
3	4.5'	12.0'	I
4	4.5'	9.5'	I
5	8.0'	8.0'	I
6	9.5'	4.5'	I
7	12.0'	4.5'	I
8	15.0'	4.5'	I
9	21.5'	4.5'	I

PRIVATE STREET NOTE:

ALL PRIVATE STREETS ARE P.U.E.'S. PUBLIC SEWER EASEMENT AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY H.O.A.

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BENCHMARK

PROJECT DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). CLARK COUNTY BENCHMARK: #91V007-7NNE6 NAVD83 ELEVATION: 780.959 METERS (2562.20 FEET). CITY OF LAS VEGAS RIVET AND SQUARE ALUMINUM PLATE IN TOP OF CURB, SOUTH SIDE OF ALEXANDER ROAD OPPOSITE TEEPLE LANE.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PROJECT IS NORTH 89°41'17" EAST, BEING THE SOUTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 8, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, AS SHOWN ON A FINAL MAP ON FILE IN THE CLARK COUNTY, NEVADA RECORDER'S OFFICE IN PLAT BOOK 76 AT PAGE 62.

FOR ALL GRADING & STREET SECTIONS SEE SHEET # G3

NOTE:

ALL DISTURBED AREAS WITHIN THE PARK WILL REQUIRE REPLACEMENT OF THE PLANTS, IRRIGATION AND MATCHING SOIL TREATMENT. THE PROPOSED BERM IMPROVEMENTS MUST MATCH THE EXISTING PARK LANDSCAPE IMPROVEMENTS.

Call before you Underground
1-702-455-7511
CLARK COUNTY TRAFFIC OPERATIONS AND
1-702-223-6611
LAS VEGAS AREA COMPUTERIZED TRAFFIC SYSTEM

Call before you Overhead
1-702-227-2929

Call before you Dig
1-800-227-2600

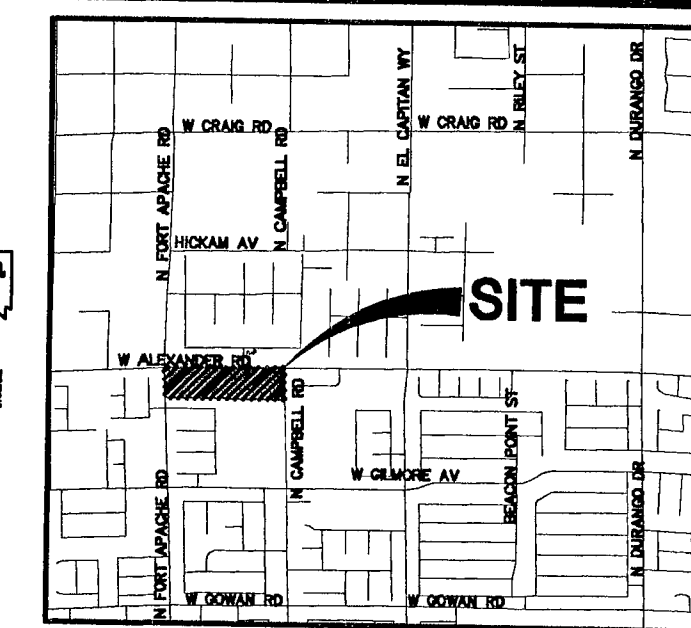
CONSTRUCTION NOTES:

- CONSTRUCT ROLL CURB & GUTTER PER STD. # 217A
- CONSTRUCT SIDEWALK PER STD. # 234
- CONSTRUCT 8" CROSS GUTTER PER STD. # 228
- CONSTRUCT DEPRESSIONED CURB PER DETAIL SHEET 2
- CONSTRUCT 3 COURSE MIN 9 COURSE MAX SOLID GROUT STEP RET. WALL ABOVE SIDEWALK. NOTE: AREAS OF STEM WALL THAT ENCOMPASS SIGHT VISIBILITY ZONES MUST BE 3 COURSE MAX
- CONSTRUCT WROUGHT IRON FENCE W/ GATE PER STD. DWG. NO. 421B & DETAIL SHEET
- 10" CURB TRANSITION "ROLL" TO "L" TYPE REFER TO DETAIL SHEET G3
- CONSTRUCT STEP RET. WALL AROUND STREETLIGHT PER STD. DWG. NO. 320
- INSTALL REMOVABLE BOLLARDS @ 5' O.C PER BOLLARD DETAIL SHEET G3

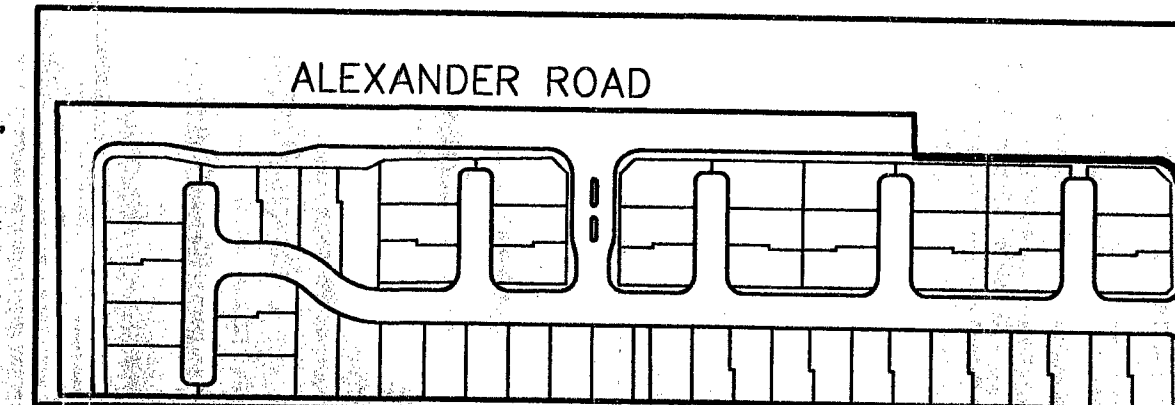
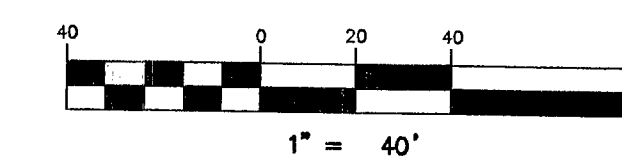
EARTHWORKS

CUT- 15,748 CUBIC YARDS
FILL- 9,704 CUBIC YARDS

KEN, BASED ON DRAINAGE WE COULD REMOVE THE MAJORITY OF THE STEM WALL ALONG ALEXANDER. HOWEVER, DUE TO ZONING RESTRICTIONS, THE AREA HIGHLIGHTED IS BEING LEFT IN THE PLANS. THIS RESULTS IN ONLY 300 FEET BEING REMOVED. DO YOU WANT TO CONFIRM THE CLIENT WANTS ROP STD. PER CITY OF LAS VEGAS TO REMAIN?



LOCATION MAP
GRAPHIC SCALE



KEY MAP
N.T.S.

NOTE:

COMMON LOTS AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE H.O.A.

ENGINEERS ESTIMATE OF PUBLIC FLOOD CONTROL REQUIRED QUANTITIES:

PUBLIC FLOOD CONTROL IMPROVEMENT	QUANTITY
2 COURSE GROUTED FLOOD WALL	692 L.F.
3 COURSE GROUTED FLOOD WALL	680 L.F.
DRAINAGE EASEMENT	1800 SQ. FT.

LEGEND

- FG FINISH GRADE
- FL FLOW LINE
- TRC TOP OF CURB
- EAG EDGE OF ASPHALT PAVEMENT
- EXIST EXISTING (EX)
- VG VALLEY GUTTER
- NG NATURAL GROUND
- LP LOW POINT
- C/L CENTER LINE
- O/C OFFSET CROWN
- BCR BACK OF CURB
- BS BEGIN CURB RETURN
- IF TOP OF FOOTING
- PC GRADE BREAK
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PRC POINT OF REVERSE CURVATURE
- PRVC POINT OF COMPOUND CURVATURE
- PRVVC BEGIN VERTICAL CURVE
- EVC END VERTICAL CURVE
- PRVC POINT OF REVERSE VERTICAL CURVE
- VP VERTICAL POINT OF INTERSECTION
- TPW TOP OF PLANTER WALL
- TRW TOP OF RETAINMENT WALL
- TOE TOP OF CHANNEL/SCARP
- TOB TOP OF BOX
- PP POWER POLE
- TRANS. TRANSITION
- RET. RETAINMENT
- INT. INTERSECTION
- D.G. DESIGN GRADE
- TSW TOP OF SIDEWALK
- FINISH FLOOR
- OFF. GARAGE FINISH FLOOR
- BFE BASE FLOOD ELEVATION
- RCP REINFORCED CONCRETE PIPE
- DI DRAINAGE INLET
- R/W RIGHT-OF-WAY
- S/W SIDEWALK
- CE CURB LENGTH COMMON ELEVATION
- EX. CONTOUR (5' INTERVAL)
- EX. CONTOUR (1' INTERVAL)
- PROPOSED CONTOUR
- PROPOSED PAD GRADE
- FUT/EXIST. PAD GRADE
- SLOPE AND FLOW DIRECTION
- EDGE OF EXIST. A.C.
- SAW CUT & MATCH A.C.
- SIDEWALK RAMP
- PAD SWALE SLOPES
- SCARP AREA
- LOT NUMBER
- BLOCK NUMBER
- RETAINING HEIGHT (FEET)
- SIGHT VISIBILITY ZONES
- PROJECT BOUNDARY LINE
- SETBACK LINE
- R/W OR P/L
- CENTER LINE
- BACK OF CURB
- LIP OF GUTTER
- EXIST. IMPROVEMENTS
- FUTURE IMPROVEMENTS
- RETAINING WALL
- CONG. BLOCK WALL
- EXIST. DIRT ROAD
- EXIST. AC
- CONSTRUCTION PHASE LINE
- OR UNIT BOUNDARY LINE
- WATCH LINE
- DRIVEWAY

RECEIVED
NOV 23 2006

VAR-18345
01/11/07 PC

SIGNED: _____ DATE _____

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

PRINT NAME: _____ DATE _____

PE# _____

NEVADA HOMES GROUP
CITY OF LAS VEGAS
8885 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89146
702-220-6200

GRADING PLAN 1

DAY DAWN FUSION

DRAWN BY: SEP 2003
DESIGNED BY: SEP 2003
CHECKED BY: SEP 2003
PROJECT NO: 1-401-1082Z
SCALE: N/A
SHEET 7 OF 21 SHEETS
DRAWING NO. 6184

REVISION

REV	DATE	BY	DESCRIPTION
1	3/24/05	KRJ	ADDED PAVERS AT ENTRANCE AND ADDED STAGGERED WALL
2	12/12/05	KRJ	REMOVED EX. CURB AND SW. ADDED 8" VG
3	5/1/06	KRJ	REVISED STAGGERED WALL

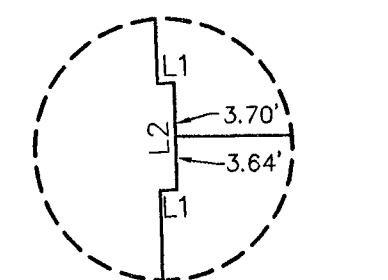
EXPIRES 12-31-07

PROFESSIONAL ENGINEER - STATE OF NEVADA
KENNETH F. NICHOLSON
CIVIL
No. 10559 VOTED

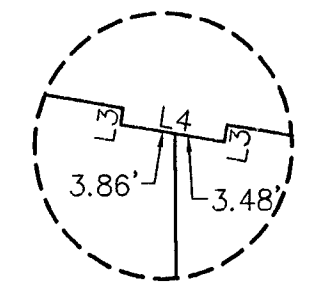
BENCHMARK
PROJECT DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)
CLARK COUNTY BENCHMARK: #9LV0077NNE6
NAVD88 ELEVATION: 780.959 METERS (2562.20 FEET)
CITY OF LAS VEGAS RIVET AND SQUARE ALUMINUM PLATE IN TOP OF CURB, SOUTH SIDE OF ALEXANDER ROAD OPPOSITE TEEPEE LANE

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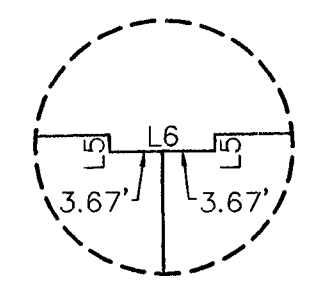
NO.	BEARING	LENGTH
L1	N88°27'12"E	1.17'
L2	S01°32'48"E	7.34'
L3	N09°08'35"E	1.17'
L4	S80°51'25"E	7.34'
L5	N00°19'11"W	1.17'
L6	N89°40'49"E	7.34'
L7	N21°12'12"W	1.17'
L8	N68°47'48"E	7.34'
L9	N01°40'08"W	1.17'
L10	N88°19'52"E	7.34'
L11	N89°40'49"E	3.67'
L12	S88°06'43"E	3.63'
L13	N01°53'17"E	1.17'
L14	N88°34'41"E	1.17'
L15	S01°25'19"E	7.34'



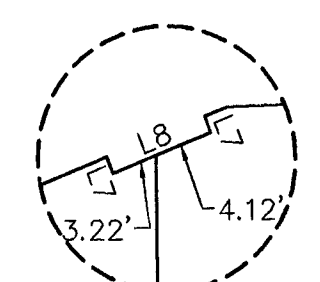
SECTION A



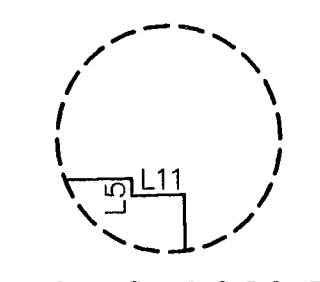
SECTION B



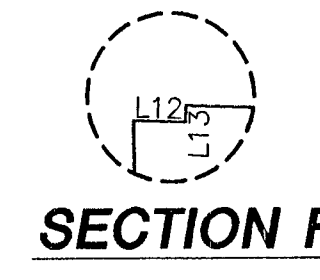
SECTION C



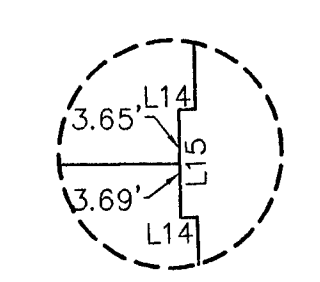
SECTION D



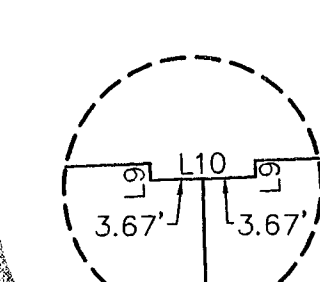
SECTION E



SECTION F



SECTION G



SECTION H

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- CONSTRUCT 8" CROSS GUTTER PER STD. # 228
- CONSTRUCT DEEPENED CURB PER DETAIL SHEET 2
- CONSTRUCT 3 COURSE MIN 9 COURSE MAX SOLID GROUT STEP RET. WALL ABOVE SIDEWALK. NOTE: AREAS OF STEM WALL THAT ENCROACH SIGHT VISIBILITY ZONES MUST BE 3 COURSE MAX
- CONSTRUCT WROUGHT IRON FENCE W/ GATE PER STD. DWG. NO 421B & DETAIL SHEET
- 10' CURB TRANSITION "ROLL" TO "L" TYPE REFER TO DETAIL SHEET G3
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Call before you Overhead
1-702-227-2929

Call before you Dig
1-800-227-2600

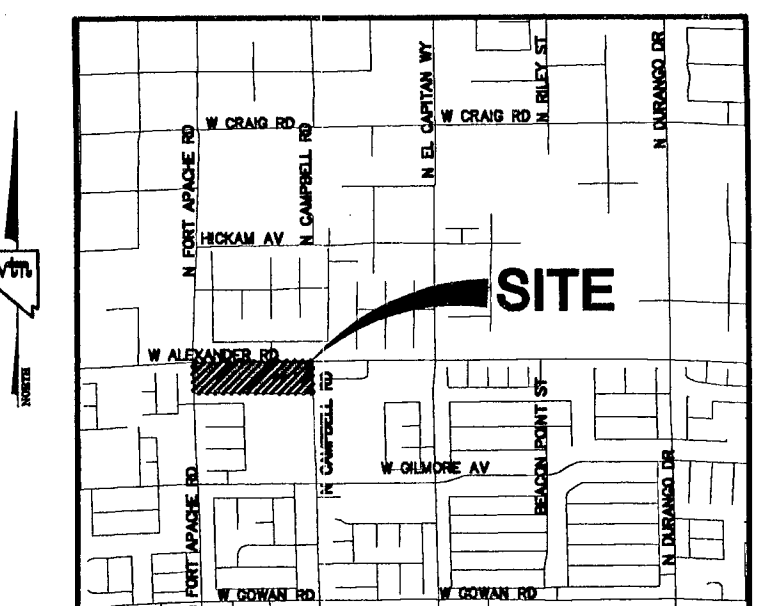
Avoid overhead power line contact. It's costly.

Avoid cutting underground utility lines. It's costly.

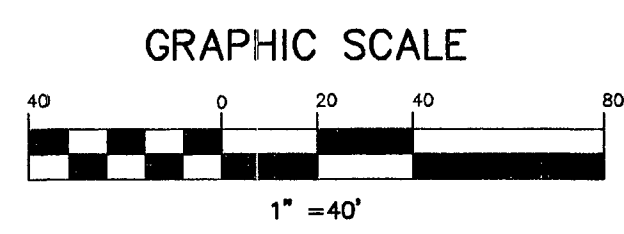
Call before you Underground
1-702-455-7511

CLARK COUNTY TRAFFIC OPERATIONS
1-702-229-6611

LAS VEGAS AREA COMPUTERIZED TRAFFIC SYSTEM



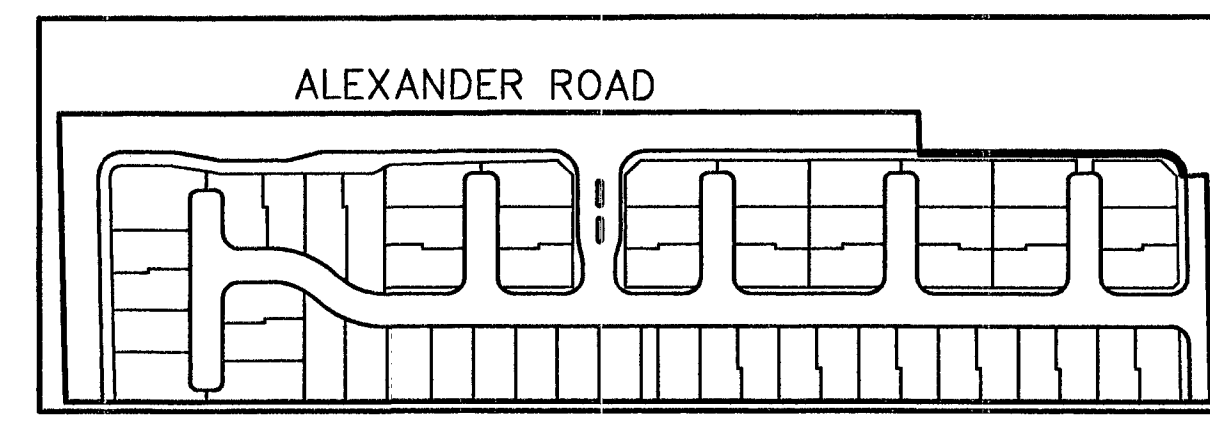
LOCATION MAP



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3 COURSE GROUTED FLOOD WALL	680 L.F.
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EARTHWORKS
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FILL- 9,704 CUBIC YARDS



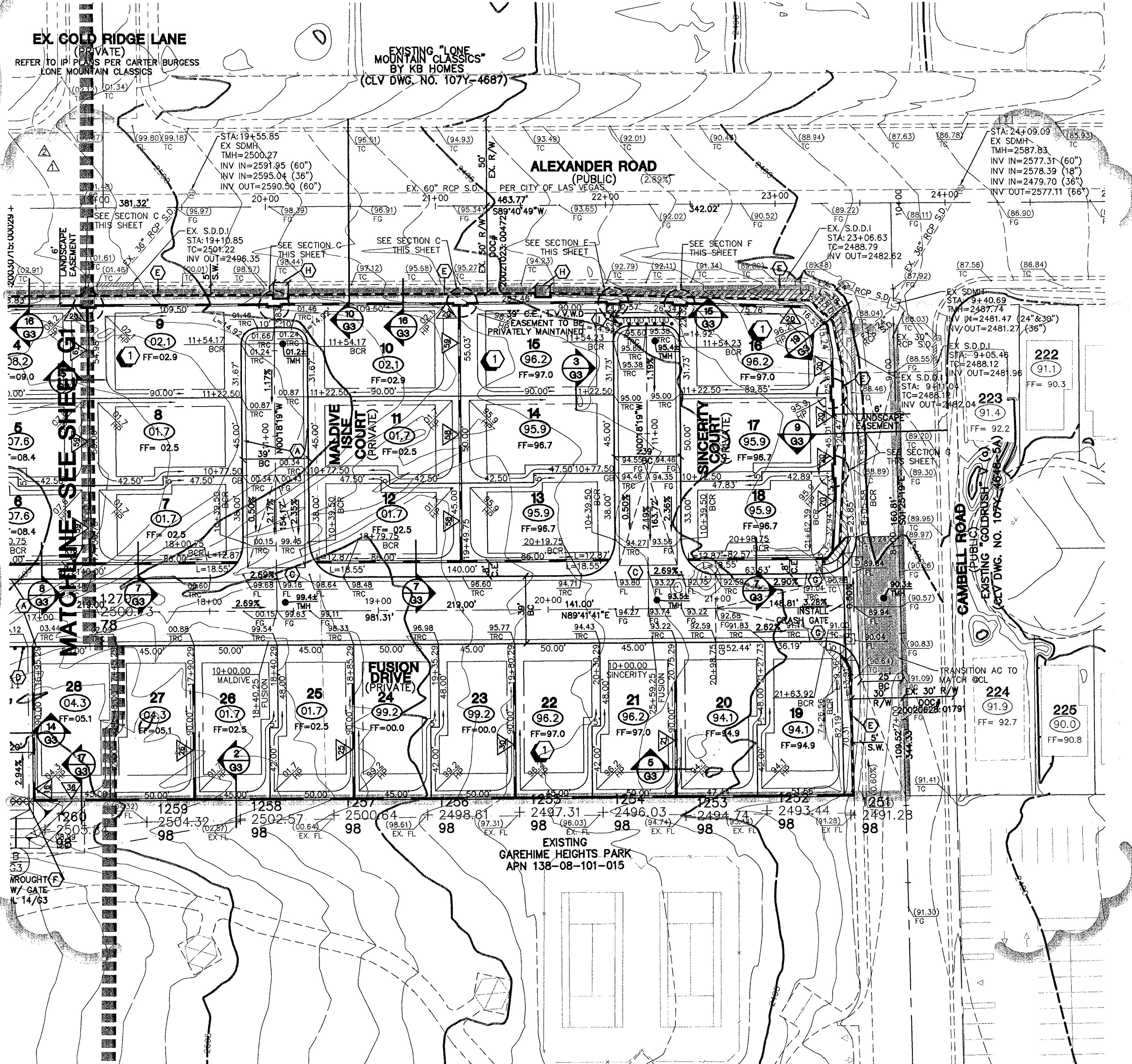
KEY MAP

SIDEWALK RAMPS TABLE
PER STD. DWG 235 CASE 1

NO.	DIM "A"	DIM "B"	CASE
1	4.5'	21.5'	I
2	4.5'	15.0'	I
3	4.5'	12.0'	I
4	4.5'	9.5'	I
5	8.0'	8.0'	I
6	9.5'	4.5'	I
7	12.0'	4.5'	I
8	15.0'	4.5'	I
9	21.5'	4.5'	I

LEGEND

- FG FINISH GRADE
FL FLOW LINE
TC TOP OF CURB
TRC TOP OF ROLL CURB
EAC EDGE OF ASPHALT PAVEMENT
FUT FUTURE
EXIST EXISTING (EX.)
VG VALLEY GUTTER
NG NATURAL GROUND
H.P. HIGH POINT
L.P. LOW POINT
C/L CENTER LINE
O/C OFFSET CROWN
BC BACK OF CURB
BOR BEGIN CURB RETURN
TF TOP OF FOOTING
GB GRADE BREAK
PC POINT OF CURVATURE
PT POINT OF TANGENCY
PRC POINT OF REVERSE CURVATURE
PCC POINT OF COMPOUND CURVATURE
BVC BEGIN VERTICAL CURVE
MVC MIDPOINT OF VERTICAL CURVE
EVC END VERTICAL CURVE
PRVC POINT OF REVERSE VERTICAL CURVE
VPI VERTICAL POINT OF INTERSECTION
TPW TOP OF PLANTER WALL
TRW TOP OF RETAINMENT WALL
TOP TOP OF CHANNEL/SCARP
TOE TOP OF CHANNEL/SCARP
TOB TOP OF BOX
PP POWER POLE
TRANS TRANSITION
RET RETAINMENT
INT. INT. DESIGN GRADE
D.G. DESIGN GRADE
TSW TOP OF SIDEWALK
FF FINISH FLOOR
GFF GARAGE FINISH FLOOR
BFE BASE FLOOD ELEVATION
ROP REINFORCED CONCRETE PIPE
SD STORM DRAIN
DI DROP INLET
R/W RIGHT-OF-WAY
S/W SIDEWALK
BOL BACK OF CURB LENGTH COMMON ELEMENT
- EX. CONTOUR(5' INTERVAL)
EX. CONTOUR(1' INTERVAL)
PROPOSED CONTOUR
PROPOSED PAD GRADE
FUT/EXIST. PAD GRADE
SLOPE AND FLOW DIRECTION
EDGE OF EXIST. A.C.
SAW CUT & MATCH A.C.
SIDEWALK RAMP
PAD SWALE SLOPES
SCARP AREA
LOT NUMBER
BLOCK NUMBER
RETAINING HEIGHT (FEET)
SIGHT VISIBILITY ZONES
PROJECT BOUNDARY LINE
SETBACK LINE
R/W OR P/L
CENTER LINE
BACK OF CURB
LIP OF GUTTER
EXIST. IMPROVEMENTS
FUTURE IMPROVEMENTS
RETAINING WALL
CONC. BLOCK WALL
EXIST. CONC. BLOCK WALL
EXIST. DIRT ROAD
EXIST. AC
CONSTRUCTION PHASE LINE OR UNIT BOUNDARY LINE
MATCH LINE
DRIVEWAY



SIGNED: _____ DATE _____
I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

PRINT NAME: _____ DATE _____

PE# _____

NEVADA HOMES GROUP
6885 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89146
(702) 220-6200

GRADING PLAN 2

DAY DAWN FUSION

CITY OF LAS VEGAS

2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-9148
PH. (702) 873-7550 FAX (702) 362-2997

REV. DATE BY

2	5/10/06	KRU	REVISED STAGGERED WALL AND ADDED DETAILS
1	3/24/05	KRU	ADDED STAGGERED WALL

SCALE: 1"=40' HORIZ. 1"=10' VERT.

SHEET
G2
8 OF 21 SHEETS
DRAWING NO.

PROFESSIONAL ENGINEER STATE OF NEVADA
KENNETH F. NICHOLSON
CIVIL
EXPIRES 12-31-07