

Comments



Separator Sheet

SDR 18344				
Monterrey Plaza				
SS Azure, W of Tenaya				
Proposed 5.517 thousand square foot restaurant.				
Traffic produced by proposed development:				
New Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	HIGH-TURNOVER (SIT-DWN) RESTRNT [1000 SF]	5.517	127.15	701
AM Peak Hour			11.52	64
PM Peak Hour			10.92	60
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Azure Drive				
Average Daily Traffic (ADT)	5,264			
PM Peak Hour	421			
(heaviest 60 minutes)				
Tenaya Way				
Average Daily Traffic (ADT)	10,763			
PM Peak Hour	861			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
Adjacent street ADT Capacity				
Azure Drive	34300			
Tenaya Way	34300			
This project will add approximately 701 trips per day on Azure and Tenaya. This will increase expected volumes by about thirteen percent on Azure and about seven percent on Tenaya. Azure is at about 15 percent of capacity and Tenaya is at about 31 percent of capacity.				
Based on Peak Hour use, this development will add roughly 60 additional cars into the area; which works out to about one every minute.				
Note that this report assumes all traffic from this development uses all named streets.				

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekkki, Survey (FM, PM, & A's only)
Date: December 20, 2006
Re: **SDR-18344** Monterrey Plaza, LLC S side of Azure Drive, W of Tenaya Way
Request for a Site Development Plan Review for a restaurant

CONDITIONS OF APPROVAL:

1. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards and Town Center Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
2. Unless already in place at the time of development, construct the full width of the proposed driveway accessing Azure Drive and sufficient onsite paving to allow two-way traffic to this site concurrent with development of this site.
3. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
5. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or the submittal of any construction drawings whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
6. This parcel is part of Special Improvement District No. 1447 – Tenaya/Azure. The Special Improvement District section of the Department of Public Works must be contacted and appropriate written agreements (if necessary) must be executed by the property owner(s) of record prior to the recordation of a Final Map or the issuance of any building permits, whichever may occur first. The written agreements (if applicable) will allow the recalculation and/or the redistribution of all assessments of record on this site.
7. Site development to comply with all applicable conditions of approval for Z-76-98(20), the Montecito East Commercial Subdivision and all other applicable site-related actions.

COMMENTS:

We note that there is a Multi-Use Transportation Trail adjacent to the south side of this site and should be commented on by the Planning and Development Department.

December 12, 2006

City of Las Vegas
Planning and Development Department
731 South Fourth Street
Las Vegas, Nevada 89101

Attention: Flinn Fagg, Planning Manager

SUBJECT: CITY OF LAS VEGAS ZONING APPLICATION REVIEW

The Las Vegas Valley Water District Design and the Production Divisions have reviewed the attached zoning applications and determined that the proposed projects will have no conflict with the District's existing telemetry antenna locations.

If you require any additional information or have any questions, please call me at 822-8574.

Sincerely,



Doa J. Meade
Sr. Civil Engineer

DJM:TLL:lar
Attachment

Jim Ross, Electronics Supervisor, w/attch, M/S 1080

LAS VEGAS VALLEY
WATER DISTRICT

PEOPLE
LEADING
THE WAY

1001 SOUTH VALLEY VIEW BLVD.
LAS VEGAS, NV 89153
TELEPHONE, 702/870-2011

Board of Directors
Myrna Williams
PRESIDENT

Yvonne Atkinson Gates
VICE PRESIDENT

Tom Collins

Chip Maxfield

Lynette Boggs McDonald

Rory Reid

Bruce Woodbury

Patricia Mulroy
GENERAL MANAGER

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SDR-18344 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER:
MONTERREY PLAZA, LLC - Request for a Site Development Plan Review FOR A PROPOSED 5,517 SQUARE-FOOT RESTAURANT AND A WAIVER OF PERIMETER LANDSCAPE BUFFER REQUIREMENTS on the south side of Azure Drive, approximately 170 feet west of Tenaya Way (APN 125-27-222-011), T-C (Town Center) Zone [SX-TC (Suburban Mixed-Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE NORTHWEST QUARTER (NW¼) OF SECTION 27, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: JANUARY 11, 2007 CITY COUNCIL: FEBRUARY 7, 2007

CASE PLANNER: JOHN KORKOSZ



PUBLIC HEARING

Comments Due: DECEMBER 13, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Las Vegas Metropolitan Police Dept.
Office of Intergovernmental Services

No Law Enforcement Issue

Extraction List



Separator Sheet

13/9

C



Report of All Selected Parcels

Case Number: SDR-18344

Printed On: Thu: December 7, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
ARANCIBIA DANTE & GRACIELA I	7329 YOUNG DOE AVE LAS VEGAS NV	12527597008
ARENDT PAUL T	7336 BACKSTRETCH AVE LAS VEGAS NV	12527597006
ARMJO HENRY	6112 BREEDERS CUP ST LAS VEGAS NV	12527221019
AZURE SOUTH INC	6600 W CHARLESTON #120 LAS VEGAS NV	12527220050
BANK OF AMERICA NA	5953 ROUND CASTLE ST LAS VEGAS NV	12527221026
BARKER WILLIAM SHANE	7317 YOUNG DOE AVE LAS VEGAS NV	12527222012
BATESEL DEBRA L	7316 JOCKEY AVE LAS VEGAS NV	12527312015
BEISING STEVEN E	7313 BACKSTRETCH AVE LAS VEGAS NV	12527221022
BIKLE WENDY GUAN	8101 N JONES BLVD LAS VEGAS NV	12527220029
BRAUN WILLIAM H	7304 JOCKEY AVE LAS VEGAS NV	12527220037
BROOKS ELSA R & GARY J JR	5956 SILVER HEIGHTS ST LAS VEGAS NV	12527214024
BROWNING MICHAEL GENE & TINA M	6109 BREEDERS CUP ST LAS VEGAS NV	12527220026
BRUNER JANET G & JERRY L	7160 AZURE DR LAS VEGAS NV	12527312006
BRYAN WANDA H	6040 N MONTE CRISTO WY LAS VEGAS NV	12527503009
C W HOME EQUITY	%COUNTRYWIDE HOME LOANS 400 COUNTRYWIDE WY SIMI VALLEY CA	12527203006
CARACHURI FERNANDO	6105 BREEDERS CUP ST LAS VEGAS NV	12527221037
CARLSON KEVIN ALAN & AILI NAOMI	6066 STARLIGHT DR LAS VEGAS NV	12527220044
CENTENNIAL 95 L P	6600 W CHARLESTON BLVD #120 LAS VEGAS NV	12527610032
CENTENNIAL-AZURE L L C	7150 W SAHARA LAS VEGAS NV	12527113006
CHUNN JEANNETTE	7316 MAIDEN RUN AVE LAS VEGAS NV	12527101035
CLAYTON SHANE WILLIAM & PAUL A	2816 AUTUMN HAZE LN LAS VEGAS NV	12527214020
COMBS CLINT	6171 STARLIGHT DR LAS VEGAS NV	12527221036
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527610023
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527102006
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527102002
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527102003
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527102001
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527102004
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527102009
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527102005
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527102008

Report of All Selected Parcels

Case Number: SDR-18344

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Owner	Address	Parcel Number
COUNTY OF CLARK(PUBLIC WORKS)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	12527102007
COWAN LEANNA S & DAVID W	8228 OLD CISTERN CT LAS VEGAS NV	12527220018
CUEVAS ROBERTO	6104 BREEDERS CUP ST LAS VEGAS NV	12527220042
DAI SHEILA	2171 HANDEL AVE HENDERSON NV	12527221020
DAKAY FAMILY TRUST	8540 W LONE MTN RD LAS VEGAS NV	12527610041
DAKAY FAMILY TRUST	8540 W LONE MTN RD LAS VEGAS NV	12527610030
DAUPHINAIS PATRICK SR & SUZANNE	P O BOX 1515 VAIL CO	12527203008
DAUPHINAIS PATRICK SR & SUZANNE	P O BOX 1515 VAIL CO	12527203007
DECRESCENT CANDICE	6008 CROWN JEWEL ST LAS VEGAS NV	12527220022
DEFEO REGINA R	6113 BREEDERS CUP ST LAS VEGAS NV	12527221024
DIBBLE KATHLEEN	7413 EXOTIC BLOOM DR LAS VEGAS NV	12527221001
DISTINCTIVE HOMES TAOS EST III	2500 W SAHARA #111 LAS VEGAS NV	12527512002
DUMAS VICTOR EUGENE	7301 MAIDEN RUN AVE LAS VEGAS NV	12527214025
DURHAM FAMILY TRUST 2000	7116 RIO GRANDE GORGE CT LAS VEGAS NV	12527511008
ERICKSON PAUL & TAMMY	5952 ROUND CASTLE ST LAS VEGAS NV	12527312016
ESCALERA ZENEN & MARIA	7316 BACKSTRETCH AVE LAS VEGAS NV	12527220045
EWING JAMES L JR & DIXIE L	6075 N TENAYA WY LAS VEGAS NV	12527203004
FARMANALI FAMILY TRUST	6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610005
FARMANALI FAMILY TRUST	6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610021
FARMANALI FAMILY TRUST	6370 W FLAMINGO #40 LAS VEGAS NV	12527610022
FARMANALI FAMILY TRUST	6370 W FLAMINGO #40 LAS VEGAS NV	12527610003
FARMANALI FAMILY TRUST	6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610006
FARMANALI FAMILY TRUST	6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610004
FARMANALI FAMILY TRUST	6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610020
FERREIRA LUIZ N	6075 STARLIGHT DR LAS VEGAS NV	12527610069
FREDERICK ARTHUR E & SHARON L	7116 RANCHO DE TAOS CT LAS VEGAS NV	12527511020
FREDERICK REGINA M	7305 BACKSTRETCH AVE LAS VEGAS NV	12527220039
FREDRICKSON LANCE	7230 YOUNG DOE AVE LAS VEGAS NV	12527221033
FRY FAMILY TRUST	7324 YOUNG DOE AVE LAS VEGAS NV	12527221034
FUNK HEATHER	7320 JOCKEY AVE LAS VEGAS NV	12527220030
FURNEY SCOTT & DARLENE	7328 YOUNG DOE AVE LAS VEGAS NV	12527221035
GALLINA RONALD W JR & SHERI	7317 BACKSTRETCH AVE LAS VEGAS NV	12527220036

Report of All Selected Parcels

Case Number: SDR-18344

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Owner	Address	Parcel Number
GARLAND BEVERLY D & RICHARD W	7125 W REGENA AVE LAS VEGAS NV	12527503006
GATTI ROBERT D & JENNIFER	7145 W REGENA AVE LAS VEGAS NV	12527503004
GESLER JAMES MICHAEL	6048 STARLIGHT DR LAS VEGAS NV	12527610033
GIL LUIS	7328 BACKSTRETCH AVE LAS VEGAS NV	12527220048
GONZALEZ DANIEL & ALICIA D	6012 CROWN JEWEL ST LAS VEGAS NV	12527220023
GRAYBEAL JULIA	7320 BACKSTRETCH AVE LAS VEGAS NV	12527220046
GRIFFITH THOMAS R & MAUREEN L	6013 CROWN JEWEL ST LAS VEGAS NV	12527220020
GUILLEN RODOLFO	1820 WINNERS CUP DR LAS VEGAS NV	12527221003
HALLE PROPERTIES L L C	7295 W AZURE DR LAS VEGAS NV	12527222005
HALLER KRISTIE	6100 BREEDERS CUP ST LAS VEGAS NV	12527220041
IRVIN JOHN MARVIN & LADYE E	7117 RANCHO DE TAOS CT LAS VEGAS NV	12527511019
JABLON WLADYMYR & GINA MARIE	7404 EXOTIC BLOOM DR LAS VEGAS NV	12527221017
JACKSON LARRY & V REV LIV FAM TR	6121 N TENAYA WY LAS VEGAS NV	12527202007
JESLAN ENTERPRISES	%K HIGA 3023 CARBONDALE ST LAS VEGAS NV	12527312005
JOHNSON TIMOTHY R	7332 BACKSTRETCH AVE LAS VEGAS NV	12527220049
KAPLAN DARREN B & DARREN BRET	7328 MAIDEN RUN AVE LAS VEGAS NV	12527218014
KAPPERT JUDITH L	7401 HICKORY HILLS DR LAS VEGAS NV	12527221015
KASCHAK GINA M	7300 JOCKEY AVE LAS VEGAS NV	12527220025
KILLIAN CHARLES R	7304 YOUNG DOE AVE LAS VEGAS NV	12527221029
KROEGEL CHARLES & DAWN	8712 CASTLE HILL AVE LAS VEGAS NV	12527220016
LACKER ROBERT P & MARY ANN	6065 N TENAYA WY LAS VEGAS NV	12527203005
LAS VEGAS 9-B II L L C	%ACACIA CAPITAL CORP 101 S ELLSWORTH AVE #300 SAN MATEO CA	12527302007
LAS VEGAS MORTGAGE CO INC	44 ROOSEVELT CIR PALO ALTO CA	12527503010
LASSEK FLORIAN J & JOAN M	7312 YOUNG DOE AVE LAS VEGAS NV	12527221031
LAVOIE SUSAN L	7300 YOUNG DOE LAS VEGAS NV	12527221028
LIVRERI MICHAEL C	7333 YOUNG DOE AVE LAS VEGAS NV	12527221018
LOUCKS GWEN L TRUST	7165 W REGENA AVE LAS VEGAS NV	12527503003
LOWMAN DEBORAH	7185 W REGENA AVE LAS VEGAS NV	12527503001
M F E INC	%M ENAMORADO 955 TEMPLE VIEW LAS VEGAS NV	12527222009
MARITAL DEDUCTION TRUST	4485 S PECOS RD LAS VEGAS NV	12527203010
MARTINEZ YANET	7321 YOUNG DOE AVE LAS VEGAS NV	12527221021
MCGRATH COLLEEN M	176 ROXBURY RD STAMFORD CT	12527220002

Report of All Selected Parcels

Case Number: SDR-18344

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Owner	Address	Parcel Number
MEALEY JASON & CRYSTAL	6020 BARDSTOWN DR LAS VEGAS NV	12527220031
MERIDIAS CAPITAL INC	375 N STEPHANIE ST #1911 HENDERSON NV	12527503011
MILLER JAMES C	6140 N MONTE CRISTO WY LAS VEGAS NV	12527202003
MILONAS STANLEY & RENEE FAM TR	8004 SAFARI LN LAS VEGAS NV	12527220035
MITCHELL LYNDA	7308 JOCKEY AVE LAS VEGAS NV	12527220027
MONACO KIMBERLY A	6024 BARDSTOWN DR LAS VEGAS NV	12527220032
MONTECITO MINI STORAGE PTNRS LLC	1120 LAS VEGAS BLVD S LAS VEGAS NV	12527102010
MONTECITO MINI STORAGE PTNRS LLC	6600 W CHARLESTON BLVD #120 LAS VEGAS NV	12527113005
MONTERREY PLAZA L L C	101 S RAINBOW #30 LAS VEGAS NV	12527222011
MONTOYA LARRY J	6004 CROWN JEWEL ST LAS VEGAS NV	12527214023
NALL CANDACE I	7320 MAIDEN RUN AVE LAS VEGAS NV	12527214019
NEVADA POWER COMPANY	%LAND SERV STA #9 P O BOX 98910 LAS VEGAS NV	12527101026
NEWSOM JEFFREY & SUZANNE	6117 BREEDERS CUP ST LAS VEGAS NV	12527221023
NOLASCO HUMBERTO	6028 BARDSTOWN DR LAS VEGAS NV	12527220033
O'DELL KATHLEEN A	6105 BARDSTOWN DR LAS VEGAS NV	12527220001
PANICH RICHARD L & KAY	7324 MAIDEN RUN AVE LAS VEGAS NV	12527214018
PELECH TERRY M	7109 RIO GRANDE GORGE CT LAS VEGAS NV	12527512001
PELLA ROSEANNA	7309 MAIDEN RUN AVE LAS VEGAS NV	12527214027
PFAU EXOTIC BLOOM L L C	%N PFAU 2309 SCISSORTAIL CT NO LAS VEGAS NV	12527221002
POPCOY JOHN T	2135 BLEDSOE LN LAS VEGAS NV	12527203002
PORTER JERRY D & JULIE	6015 STARLIGHT DR LAS VEGAS NV	12527610072
POST DAVID A	6016 CROWN JEWEL ST LAS VEGAS NV	12527220024
PRISBREY JOSEPHINE & WALDO L	101 ELM ST HENDERSON NV	12527610031
RAJCZI CHRISTOPHER & KRISTEE	7135 W REGENA AVE LAS VEGAS NV	12527503005
RAMOS JENNIFER ROSE & JOSEPH D	7316 YOUNG DOE AVE LAS VEGAS NV	12527221032
REED PATRICIA K	7312 JOCKEY AVE LAS VEGAS NV	12527220028
ROBINSON ROBIN A & DEBORAH	7280 TROPICAL PKWY LAS VEGAS NV	12527203009
RODEGHIER TROY A	7175 W REGENA AVE LAS VEGAS NV	12527503002
ROJAS CAROL A & GILBERTO C JR	7301 BACKSTRETCH AVE LAS VEGAS NV	12527220040
ROTH MARILYN	5039 PHILMAR AVE LAS VEGAS NV	12527610015
RUEDA BENJAMIN C	6029 BARDSTOWN DR LAS VEGAS NV	12527220003
RUTH LEE & ANNA	6109 STARLIGHT DR LAS VEGAS NV	12527610019

Report of All Selected Parcels

Case Number: SDR-18344

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Owner	Address	Parcel Number
S M A REVOCABLE LIVING TR ETAL	5815 N JULIANO RD LAS VEGAS NV	12527610071
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610028
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610043
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610044
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610027
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610025
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610046
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610045
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610029
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610042
S M A TRUST ETAL	%A SIRIANNI 5815 N JULIANO RD LAS VEGAS NV	12527610026
SATO FAMILY TRUST	11308 ASILO BIANCO AVE LAS VEGAS NV	12527220017
SCHUBERT BARBARA A	7309 BACKSTRETCH AVE LAS VEGAS NV	12527220038
SCHUETZ KURT	7308 YOUNG DOE AVE LAS VEGAS NV	12527221030
SERENE INVESTMENTS	6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610001
SERENE INVESTMENTS	6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610024
SHELEY JENE & JOANNA	6005 CROWN JEWEL ST LAS VEGAS NV	12527214022
SHIELDS CHARLES H & GAIL W	7180 W AZURE DR LAS VEGAS NV	12527503008
SLOAN FAMILY TRUST	7400 EXOTIC BLOOM DR LAS VEGAS NV	12527221016
SMITH COLLEEN	6108 BREEDERS CUP ST LAS VEGAS NV	12527221025
SMITH HOWARD	6021 BARDSTOWN DR LAS VEGAS NV	12527220005
SNELL CARROLL C	6445 WHISPERING SANDS LAS VEGAS NV	12527202006
STRAND ALOIS J	7404 WITTIG AVE LAS VEGAS NV	12527503012
SZUMILO ANDREW	7305 MAIDEN RUN AVE LAS VEGAS NV	12527214026
T V C 707 L L C	%THE EQUITY GROUP 8367 W FLAMINGO #201 LAS VEGAS NV	12527113007
TANNER JERRY	6116 BREEDERS CUP ST LAS VEGAS NV	12527221027
TAXPAYER	LAS VEGAS NV	12527221038
TENAYA AZURE L L C	%ALLAY INVEST LLC %F FARMANALI 6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610009
TENAYA AZURE L L C	%ALLAY INVEST LLC %F FARMANALI 6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610002
TENAYA AZURE L L C	%ALLAY INVEST LLC %F FARMANALI 6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610007
TENAYA AZURE L L C	%ALLAY INVEST LLC %F FARMANALI 6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610010
TENAYA AZURE L L C	%ALLAY INVEST LLC %F FARMANALI 6370 W FLAMINGO RD #40 LAS VEGAS NV	12527610008

Report of All Selected Parcels

Case Number: SDR-18344

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Owner	Address	Parcel Number
TENAYA PARTNERS L P	1504 EUREKA RD #230 ROSEVILLE CA	12527222013
TENAYA VILLAGE INVESTORS L L C	14287 N 87TH ST #220 SCOTTSDALE AZ	12527114001
TONG YIU PING	6328 OBANNON DR LAS VEGAS NV	12527203001
VALDENEGRO JOHNNY B & LINDA M	7313 MAIDEN RUN AVE LAS VEGAS NV	12527214028
VIGLIONE RUTH M	6009 CROWN JEWEL ST LAS VEGAS NV	12527220021
VOGT JUSTIN J & JOSEPH W	7313 JOCKEY AVE LAS VEGAS NV	12527220019
VRAA DANNY T & IONE V	6025 BARDSTOWN DR LAS VEGAS NV	12527220004
WALDRIP APRIL	6095 N TENAYA WY LAS VEGAS NV	12527203003
WANG CHIN-HUEI	19288 BECKONRIDGE LN HUNTINGTON BEACH CA	12527220015
WATTERS JAMES M & SUSAN F	5222 SAWYER WY LAS VEGAS NV	12527202005
WAYNE GLEN D JR & CHERYL A	7500 RED CINDER ST LAS VEGAS NV	12527220034
WEBB WILLIAM J	6665 #2 LOOKOUT LODGE LAS VEGAS NV	12527202004
WILLIAMS SHARON L & JERRY D	6265 PARK ST LAS VEGAS NV	12527214021
ZAFFUTO MIKE & TANYA	7324 BACKSTRETCH AVE LAS VEGAS NV	12527220047

APN Map



Separator Sheet

Deed



Separator Sheet


[Online Services](#)
[Fee Schedule](#)
[Login](#)

MONTERREY INVESTMENTS, L.L.C.

[PRINT](#)

Business Entity Information

Status:	Active	File Date:	6/7/2000
Type:	Domestic Limited-Liability Company	Corp Number:	LLC5455-2000
Qualifying State:	NV	List of Officers Due:	6/30/2007
Managed By:	Managers	Expiration Date:	12/31/2030

Resident Agent Information

Name:	LUIS E. RODRIGUEZ	Address 1:	8367 W. FLAMINGO
Address 2:	STE 200	City:	LAS VEGAS
State:	NV	Zip Code:	89147
Phone:		Fax:	
Email:		Mailing Address 1:	
Mailing Address 2:		Mailing City:	
Mailing State:		Mailing Zip Code:	

[View all business entities under this resident agent](#)

Financial Information

No Par Share Count:	0	Capital Amount:	\$ 0
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No stock records found for this company

Officers

☐ Include Inactive Office

Manager - LUIS E RODRIGUEZ

Address 1:	8367 W. FLAMINGO	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89147	Country:	
Status:	Active	Email:	

Managing Member - TONYA RODRIGUEZ

Note: This is not Monterey Investments LLC!

125-27-222-011

A.P.N.: 125-27-222-008
R.P.T.T.: \$5,105.10

Escrow #05-11-0993-CLB

Mail tax bill to and
When recorded mail to:
Luis Rodriguez, Manager
8367 West Flamingo Road #202
Las Vegas, NV 89147

(5) 2



Fee: \$16.00 RPTT: \$5,105.10
N/C Fee: \$0.00

01/18/2006 14:01:42
T20060010539

Requestor:
NEVADA TITLE COMPANY

Frances Deane ARO
Clark County Recorder Pgs: 5

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH, That Azure South, Inc., a Nevada corporation, for a valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to Monterrey Plaza, LLC, a Nevada limited liability company,, all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

**SEE LEGAL DESCRIPTION ATTACHED HERETO
AND MADE A PART HEREOF AS EXHIBIT "A".**

SUBJECT TO:

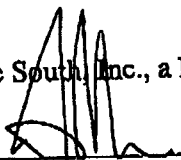
1. Taxes for the current fiscal year, not delinquent, including personal property taxes of any former owner, if any:
2. Restrictions, conditions, reservations, rights, rights of way and easements now of record, if any, or any that actually exist on the property.

TOGETHER WITH all singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

**SDR-18344
01/11/07 PC**

IN WITNESS WHEREOF, this instrument has been executed this 16 day of
November, 2005.

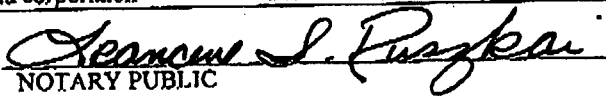
Azure South, Inc., a Nevada corporation

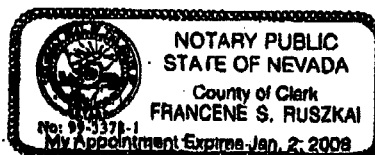

By: Frank Nielsen, Secretary

State of NEVADA }
County of Clark } ss:

This instrument was acknowledged before me on
by Frank Nielsen as Secretary
of Azure South, Inc., a Nevada corporation

November 16, 2005


NOTARY PUBLIC
My Commission Expires: _____



2

Escrow No.: 05-11-0993-CLB

EXHIBIT "A"**LEGAL DESCRIPTION**

A PORTION OF LOT 2, MONTECITO EAST - A COMMERCIAL SUBDIVISION, ON FILE IN BOOK 113, PAGE 26 OF PLATS IN THE COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA, BEING WITHIN THE NORTHWEST QUARTER (NW ¼) OF SECTION 27, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY NEVADA:

BEGINNING AT A POINT ON THE SOUTH LINE OF AZURE DRIVE AS IT EXISTS AT 45.00 FOOT HALF-WIDTH, BEING THE NORTHWEST CORNER OF THE SURVEY AREA ON RECORD OF SURVEY IN FILE 147, PAGE 70 OF SURVEYS, BEING 1251.48 FEET SOUTH 0°51'56" WEST ALONG THE QUARTER SECTION LINE TO THE SIXTEENTH SECTION CORNER MONUMENT AT THE INTERSECTION OF AZURE DRIVE AND TENAYA WAY; 209.78 FEET NORTH 84°35'59" WEST; AND 45.00 FEET SOUTH 5°24'01" WEST FROM THE NORTH QUARTER CORNER MONUMENT OF SAID SECTION 27; AND RUNNING THENCE SOUTH 5°24'02" WEST 268.69 FEET ALONG THE WEST LINE OF THE SURVEY AREA OF SAID RECORD OF SURVEY TO THE SOUTH LINE OF SAID LOT 2, MONTECITO EAST - A COMMERCIAL SUBDIVISION; THENCE NORTH 85°01'54" WEST 143.00 FEET ALONG SAID SOUTH LINE; THENCE NORTH 5°24'02" EAST 269.77 FEET TO THE SOUTH LINE OF SAID AZURE DRIVE; THENCE SOUTH 84°35'59" EAST 143.00 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

FURTHER DEPICTED AS LOT 2-2 ON THAT CERTAIN RECORD OF SURVEY FILED IN FILE 153 OF SURVEYS, PAGE 57 OF OFFICIAL RECORDS.;

SDR-18344
01/11/07 PC

SOFI



Separator Sheet

Legal Description



Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18344** APN: 125-27-222-011

Name of Property Owner: MONTERREY INVESTMENTS, LLC

Name of Applicant: GEARING ARCHITECTURE, LTD

Name of Representative: SCOTT R. GEARING

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner:

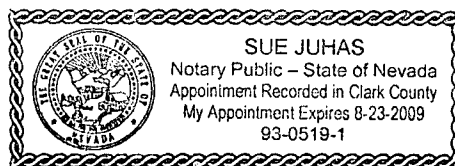
Print Name:

Subscribed and sworn before me

This 20th day of November, 2006

Sue Juhas
Notary Public in and for said County and State

Clark / Nevada



Justification Letter



Separator Sheet

Application



A P P L I C A T I O N

Separator Sheet



January 3, 2007

City of Las Vegas Planning & Development
731 S. 4th Street
Las Vegas, Nevada 89101

Re: Monterrey Investments, LLC
Amendment #1 to Justification Letter
APN 125-27-232-011

Dear Ladies and Gentlemen:

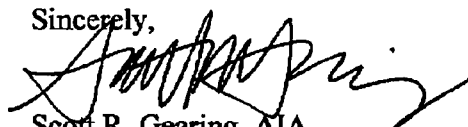
Please consider this letter an amendment to our Justification letter dated November 28, 2006 (copy attached).

As I said in the letter referenced above, we have already made it through a complete design review with various approvals for: SDR-15055, VAR-15057, SUP-15058, and SUP-15059. We are applying for a new design review for a waiver to B.T.L. Town Center standards.

John Korkosz suggested that rather than amending the first design review (SDR-15055) because of the potential confusion it may cause in the future, that we move the request for waivers granted into this new design review. In addition to the changing the maximum set-back from the street from 15 feet to 83'-6" that we include any other landscape waivers previously asked for (and granted) plus a waiver request to allow 3 trees within the perimeter landscape where 7 are required. This is due in part to Nevada Power placing their extra large (13'X35') concrete transformer vault along the northeast corner of the property where no landscaping can be placed.

The previous landscape plan we submitted that was approved, didn't provide for any additional landscaping in the 30 foot easement provided at the south end of this property for the existing jogging path. This jogging path has already been landscaped as approved in a site review that the developers of this property previously submitted to the City of Las Vegas. This work was done before the new owner purchased this lot with the understanding that at least nothing more needed to be done with that portion of the property (which the owner had to pay for but is unable to use). It would be an unfair burden to require the new owner to add more landscaping to the existing landscaping in this area. If we need an additional waiver for that, we would respectfully request that it is also included in this new design review.

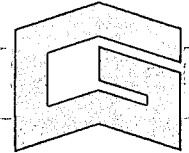
Sincerely,


Scott R. Gearing, AIA
Architect

RECEIVED

JAN 04 2007

SDR-18344
REVISED
01/11/07 PC



November 28, 2006

City of Las Vegas Dept. of Public Works Land Development
731 S. 4th Street
Las Vegas, Nevada 89101

Re: Monterrey Investments, LLC
APN 125-27-232-011

Dear Ladies and Gentlemen:

At this time, we have already made it through a complete design review with various approvals for: SDR-15055, VAR-15057, SUP-15058, and SUP-15059. We've run into some problems, as I'll explain below. We are applying for a new design review for a waiver to B.T.L. Town Center standards and a major amendment to SDR15055.

We started out with our building in the middle of the property as the developer, Montecito Companies and Azure South, Inc. indicated was approved in previous meetings with the City during their master planning process. During my April 26, 2006, Pre-application meeting, (or shortly thereafter) Gary Leobold, planning supervisor at that time, told me in no uncertain terms that not having our building pushed as far north (within 15 feet of the sidewalk) as possible would violate the Town Center guidelines, and would never be approved that way. He strongly advised me to reconfigure my plan.

I explained to Gary that Montecito placed a private easement between the north parking along Azure and the building. I asked him if he would call Montecito and tell them that *they* are violating the Town Center guidelines by not abandoning that easement and allowing us to move the building toward Azure. Gary called Joe Gourder and Frank Nielsen at Montecito, and Gary told me that that they said they would take care of it.

I reconfigured the plan to meet the Town Center requirements. While we were going through the meetings with the Planning Commission and City Council, not only didn't Montecito abandon the easement in question, but they closed escrow on the two properties to the east and west of us with the easement still in place. Days after our City Council approvals, I checked on the status of the easement in question before proceeding with construction documents. Montecito sent the owner of this property a letter saying that to get rid of the easement now, we would have to get the new neighbors to the

SDR-18344
01/11/07 PC

east and west of the easement to sign an agreement to allow the easement to be abandoned. The neighbor to the east, a future convenience store, on the corner of Azure and Tenaya, asked for “special favors” in consideration of him signing off.

The new neighbor to the west, a developer from Roseville, California, represented by Brandy Salazar, Director of Development, refused to sign altogether. She told us that we would be competition for their new retail buildings, and because of that it wouldn't be in her best interest if she did anything that would help us.

We respectfully request that you allow us to waive the Town Center standard requiring the building to be within 15 feet of the street sidewalk because of the easement the developer has stuck us with.

If we are unable to get this waiver, the west neighbor will continue to refuse to abandon the easement, leaving our property worthless. The owner of this property will have to sue the developer, etc., with a questionable outcome.

If you should have any questions, please contact me at the above number.

Sincerely,

Scott R. Gearing, AIA
Architect

SDR-18344
01/11/07 PC

Application



Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SITE DEVL. PLAN REVIEW SUBMITTAL
 Project Address (Location) WEST OF THE SWC OF TENAYA and AZURE
 Project Name MONTEREY RETAIL BLD'G. Proposed Use RESTAURANT/OFFICE
 Assessor's Parcel #(s) 125-27-222-011 Ward # _____
 General Plan: existing SX-TC proposed SAME Zoning: existing SX-TC proposed SAME
 Commercial Square Footage 5,1285.F. Floor Area Ratio 14.3%
 Gross Acres 0.88 ACRES Lots/Units N/A Density N/A
 Additional Information _____

PROPERTY OWNER MONTEREY INVESTMENTS, LLC Contact LUIS RODRIGUEZ
 Address 101 S. RAINBOW #30 Phone: 873-7760 Fax: 873-7486
 City LAS VEGAS, NV. 89145 State NV Zip 89145

APPLICANT SCOTT R. GEARING Contact SAME
 Address 3460 SPENCER ST Phone: 791-5567 Fax: 369-4668
 City LAS VEGAS State NV Zip 89169

REPRESENTATIVE GEARING ARCHITECTURE LTD. Contact SCOTT R. GEARING
 Address 3460 SPENCER ST. Phone: 791-5567 Fax: 369-4668
 City LAS VEGAS, NV State NV Zip 89169

Property Owner Signature* [Signature]

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

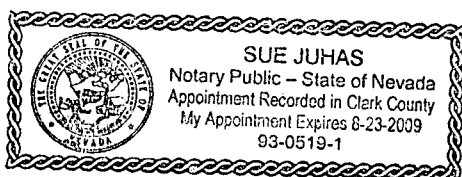
Print Name Luis E. Rodriguez

Subscribed and sworn before me

This 20th day of November, 2006

[Signature]

Notary Public in and for said County and State
CLARK - NEVADA



FOR DEPARTMENT USE ONLY

Case # SDR-18344
 Meeting Date: 1/25/07
 Total Fee: \$800-
 Date Received*: 11/28/06
 Received By: RL

* The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

RECEIVED
NOV 28 2006

Hansen Sheet



Separator Sheet

V11 PC RL

Report Date 11/28/2006 02:14 PM

Submitted By

Page 1

A/P # 18344 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages	Date / Time	By	Date / Time	By
Processed	11/28/2006 13:16	984062	Temp COO	
Approved			COO Issued	
Final			Expires	

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-18344 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: MONTERREY PLAZA, LLC - Request for a Site Development Plan Review FOR A PROPOSED 5,517 SQUARE-FOOT RESTAURANT AND A WAIVER OF PERIMETER LANDSCAPE BUFFER REQUIREMENTS on the south side of Azure Drive, approximately 170 feet west of Tenaya Way (APN 125-27-222-011), T-C (Town Center) Zone [SX-TC (Suburban Mixed-Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

Parent A/P #

Project #	18344	Project/Phase Name	MONTERREY RETAIL BUILDING	Phase #	
Size/Area	0.88 ACRE	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 12527222011

Location

Owner/Tenant

Contact ID	AC1286306	Name	MONTERREY PLAZA L L C	Organization	
Mailing Address	101 S RAINBOW #30			State/Province	NV
City	LAS VEGAS			Country	☐ Foreign
ZIP/PC	89145-5379			Evening Phone	
Day Phone				Mobile #	
Fax					

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

No Addresses are linked to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

12527222011

Applicants/Contacts

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date** 11/28/2006 02:14 PM**Submitted By**

Page 2

Applicants/Contacts

Primary	N	Capacity	OTHER	Contact ID	AC1213630 ☐ Foreign
Effective		Expire			
Name	GEARING ARCHITECTURE				
Day Phone	(702)791-5567 x	Eve Phone		Organization	
Pager		PIN #		Position	
Fax	(702)369-4668	Mobile		Profession	
E-Mail					
Address	3460 SPENCER ST LAS VEGAS, NV 89109-3145				
Seasonal Addr					
Valid From		To			
Comments	SCOTT R. GEARING 791-5567				

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 11/28/2006 02:14 PM

Submitted By

Page 3

Applicants/Contacts

Primary Y Capacity OWNER Contact ID AC1286306 ☐ Foreign
Effective Expire
Name MONTERREY PLAZA L L C
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 101 S RAINBOW #30
LAS VEGAS, NV 89145-5379
Seasonal Addr
Valid From To
Comments
No Comments

Contractors

No Contractors

Check Conditions	Approval	Approved By	Approved Date	Applied By	Applied Date	Assigned
Condition	Supervisor Required	Comments				

No Conditions

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance? Final City Council letter received
N Parent Project link required? Annotated minutes recieved
Y Will this go to the City Council? Is there a condition of approval for a Required Review?
Hearing Type
Public, Non-Public, Admin? PUBLIC If yes, when does it need to be reviewed?

Meeting Information

Meeting Info	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Meeting Date	Add Date	Modified By	Modified Date		
Comments					
Added By					
01/11/2007	PC	SCHEDULED	0	0	0
RLEVRANT	11/28/2006	RLEVRANT	11/28/2006		

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee	Last	First	MI	Comments
Employee ID				

No Employee Entries

Log	Description	Entered By	Start	Stop	Hours
Action					
Comments					
MEMO	MEMORANDUM		11/28/2006 13:51		0.00
	The owner is Monterrey Investments LLC. Another corporation is registered as Monterey Investments LLC, but these are not the same corporation.				

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date** 11/28/2006 02:14 PM**Submitted By**

Page 4

Log Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

PAYMNT	CK NAME,# WHO PICKED UP PERMIT	984018	11/28/2006 13:19		0.00
	Scott Gearing, Tonya Kristin Rodriguez ck #1707, 702-791-5567				

Project Checklist



PROJECT CHECKLIST

Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes	
Item Required					
YES	NO				

APPLICATION					
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)			
☒	☐	Grant deed and legal description			
☒	☐	<i>Detailed</i> justification letter			
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations			
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations			
☒	☐	Correct fee(s): \$ <u>500</u> \$ <u>5</u> \$ <u>300</u> Total = \$ <u>800</u>			
☒	☐	Statement of Financial Interest			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance			
SITE PLAN				Folded Plans: <u>17</u> Rolled/Colored Plans: <u>1</u>	
☒	☐	11" x 17" min. to 24" x 36" max. page size		<i>* Var. 15057 allows 61 spaces</i>	
☒	☐	North arrow, scale, and vicinity map			
☒	☐	<i>All</i> property lines and present dimensions labeled			
☒	☐	<i>All</i> building setbacks labeled			
☒	☐	<i>All</i> adjacent existing land uses and street names labeled			
☒	☐	<i>All</i> points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized: <u>Res.</u>			
☒	☐	Parking space count and typical dimensions labeled #regular #compact #handicap Total			
☒	☐	<i>All</i> free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN				Folded Plans: <u>3</u> Rolled/Colored Plans: <u>1</u>	
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	North arrow, scale, and vicinity map			
☒	☐	<i>All</i> property lines and present dimensions labeled			
☒	☐	<i>All</i> required perimeter landscape planters shown			
☒	☐	<i>All</i> required parking lot fingers/islands shown			
☒	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover			
BUILDING ELEVATIONS				Folded Plans: <u>2</u> Rolled/Colored Plans: <u>1</u>	
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	Scale and building dimensions labeled			
☒	☐	North, south, east, and west elevations of <i>all</i> buildings			
☒	☐	<i>All</i> building materials and colors noted			
☒	☐	8" x 10" photo of original color and material board			
☒	☐	<i>All</i> wall sign locations shown and sizes noted			
FLOOR PLANS				Folded Plans: <u>1</u> Rolled Plans: <u>1</u>	
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	Scale and building dimensions labeled			
☒	☐	<i>All</i> building entrances/exits shown			
☒	☐	Use of <i>all</i> rooms noted/labeled			

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: SCOTT GEARING / Monterey Application Type: (Major Amendment) SDR
 APN: 125-27-222-011 Retail Ctr Location: Azure Tenaya
 Planner: [Signature] Pre-App Meeting Date: 17 Nov 06 Earliest PC Date: JAN 11, 07



☒ Meeting

☐ Telephone

Conversation Record

Project Name Monterrey Retail

Conversation between CLV Representative(s):
and,

Mike Howe

Page 1 of 1
Date 17 NOV 06
Time 2 am am

Name	Company/Department	Phone	FAX
<u>Scott Gearing</u>	<u>Gearing Arch, LTD</u>		
<u>Pick S</u>	<u>CW - Traffic</u>		
<u>Rod C</u>	<u>CLV -</u>		

☐ see Meeting Attendance Sheet

Comments:

- Major Amendment to SDR 15055
 - existing SUPs 15058 & 15059 still active
 - existing VAR 15057 to allow 61 spaces where 66 req'd.
 - existing C.X.S. agreement between three properties prevents applicant from cont w/ approved SDR.
 - this revision requires a waiver to B.T.L.T.C standards, and major amendment to SDR-15055
 - Parking still in compliance w/ VAR 15057 (62 spaces provided where 61 allowed)
- Waiver ~~to~~ to allow 24' where 15' min allowed.
- HL parking marked to Public R.O.W
- Res adjacency applies
- * 5' Throat depth to entry applies unless deviation granted by City Engineer (deviation from #2224 Std drawing) -

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SDR-18344 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER:
MONTERREY PLAZA, LLC - Request for a Site Development Plan Review FOR A PROPOSED 5,517 SQUARE-FOOT RESTAURANT AND A WAIVER OF PERIMETER LANDSCAPE BUFFER REQUIREMENTS on the south side of Azure Drive, approximately 170 feet west of Tenaya Way (APN 125-27-222-011), T-C (Town Center) Zone [SX-TC (Suburban Mixed-Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S $\frac{1}{2}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTION 27, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: JANUARY 11, 2007 CITY COUNCIL: FEBRUARY 7, 2007

CASE PLANNER: JOHN KORKOSZ



PUBLIC HEARING

Comments Due: *DECEMBER 13, 2006*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-18344

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEMUS
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	DOA J. MEADE, ENGINEERING DESIGN DIVISION	1001 S. VALLEY VIEW BLVD.

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR
11/28/2006

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: January 11, 2007

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-18344

Ambiance Estates HOA

Cimarron Village North HOA

Desert Creek HOA

Gilcrease NA

Grand Entries

Lone Mountain Citizens Advisory Council

Sheep Mountain #5 NA

Solana Del Mar at Painted Desert HOA

Tropical Meadows HOA

Vintage Hills HOA

Public Hearing Notice



PUBLIC HEARING NOTICE

Separator Sheet

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: JANUARY 11, 2007
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SDR-18344

APPLICANT/OWNER: MONTERREY PLAZA, LLC - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR A PROPOSED 5,128 SQUARE-FOOT RESTAURANT AND WAIVERS OF PERIMETER LANDSCAPE BUFFER REQUIREMENTS AND THE BUILD-TO-LINE REQUIREMENT ON THE SOUTH SIDE OF AZURE DRIVE, APPROXIMATELY 170 FEET WEST OF TENAYA WAY (APN 125-27-222-011), T-C (TOWN CENTER) ZONE [SX-TC (SUBURBAN MIXED-USE - TOWN CENTER) SPECIAL LAND USE DESIGNATION], WARD 6 (ROSS).

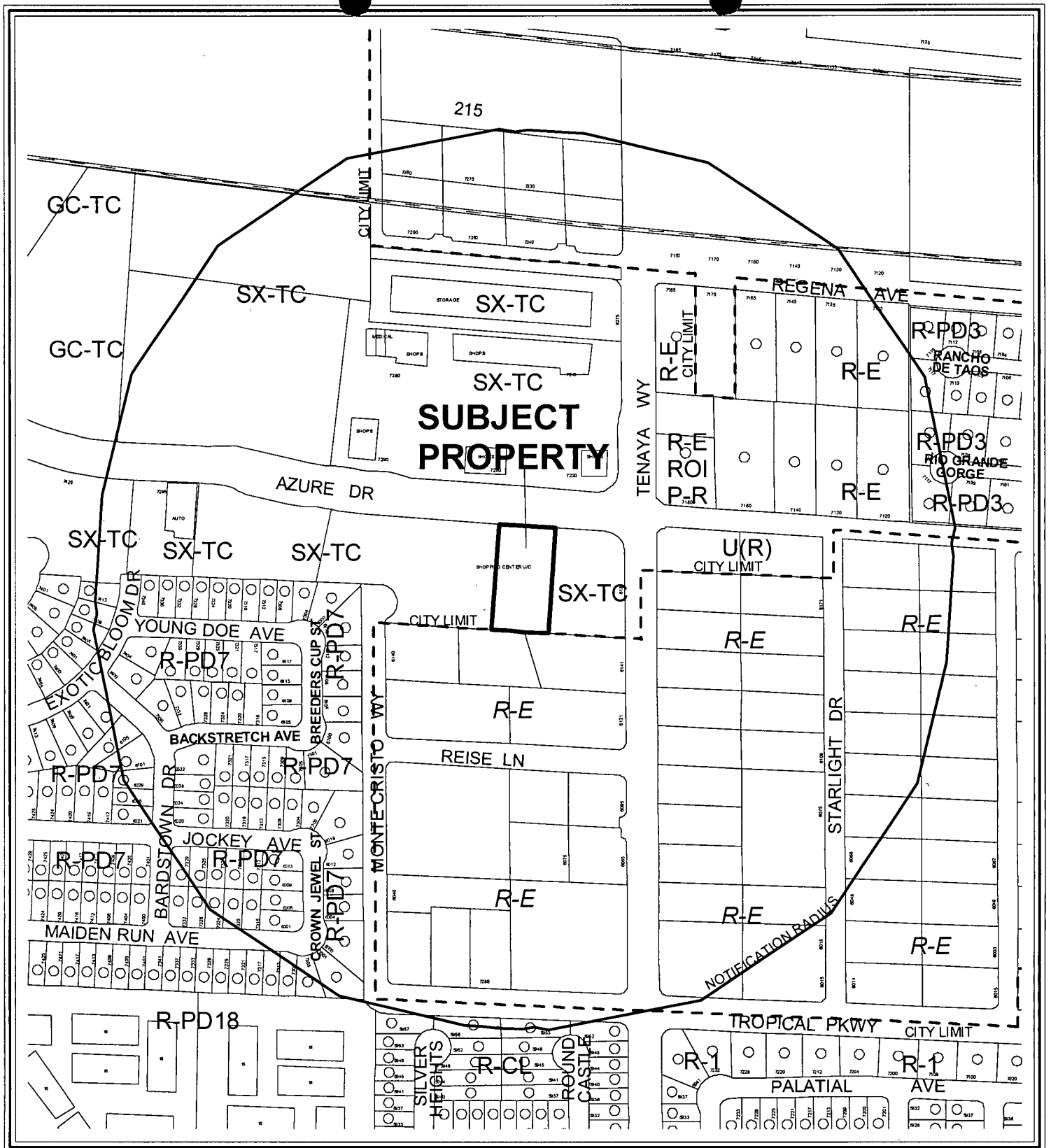
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE NORTHWEST QUARTER (NW¼) OF SECTION 27, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: **SDR-18344**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SX-TX (SUBURBAN MIXED-USE -TOWN CENTER)
SPECIAL LAND USE DESIGNATION]



Applicant Letter



Separator Sheet

CITY OF LAS VEGAS**ONE MOTION / ONE VOTE**

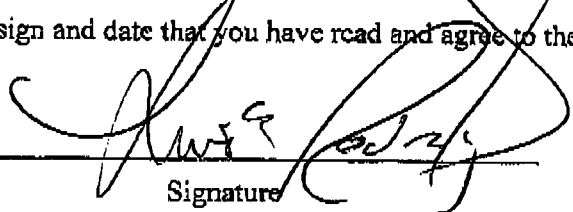
Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 Phone (702) 385-7268 Fax

SUBJECT: SDR-18344 - APPLICANT/OWNER: MONTERREY PLAZA, LLC

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the *January 11, 2007* Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to Dorothy Marsili at 385-7268. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions.

 1/8/07
Signature Date

Luis E. Rodriguez
Please print name

MONTERREY PLAZA, LLC.
Company Name

Sincerely,

John Korkosz
Planning Supervisor
Current Planning Division

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

December 29, 2006

Mr. Luis Rodriguez
Monterrey Investments, LLC
101 South Rainbow, Suite 30
Las Vegas, Nevada 89145

RE: SDR-18344 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Rodriguez:

Please be advised the City Planning Commission at its regular meeting on **January 11, 2007** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

cc: Mr. Scott Gearing
Gearing Architecture, LTD
3460 Spencer Street
Las Vegas, Nevada 89169

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Recordation Memo



Separator Sheet

Minutes



Separator Sheet

January 12, 2007

INTER-OFFICE MEMORANDUM

TO: PLANNING AND DEVELOPMENT DEPARTMENT	FROM: CITY CLERK
SUBJECT: APPEAL OR CITY COUNCIL REVIEW INFORMATION ON PLANNING COMMISSION ACTIONS	COPIES TO:

This is to certify that the following action relative to the Planning Commission decision on the application of:

FILE NO.: SDR-18344 - SITE DEVELOPMENT PLAN REVIEW

APPLICANT: APPLICANT/OWNER: MONTERREY PLAZA, LLC

WARD: WARD 6 (ROSS)

Appeal by applicant or any other aggrieved person:

Yes

No

Review requested by City Council:

Yes

No

DATE

1/29/2007

CITY CLERK

Beverly K. Bridges

By: Beverly K. Bridges
Chief Deputy City Clerk

PLANNING AND DEVELOPMENT DEPARTMENT INFORMATION:

Date of Planning Commission Action

January 11, 2007

Last day for filing an appeal by applicant or any other aggrieved person. (Appeal period is 10 days after the date of the PC decision).

January 22, 2007

Last day for a review being requested by the City Council. (Review period is 10 days after the date of the PC decision.)

January 22, 2007

Action Letter



ACTION LETTER

Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

January 12, 2007

Mr. Luis Rodriguez
Monterrey Investments, LLC
101 South Rainbow, Suite 30
Las Vegas, Nevada 89145

RE: SDR-18344 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Rodriguez:

Your request for a Site Development Plan Review FOR A PROPOSED 5,128 SQUARE-FOOT RESTAURANT AND WAIVERS OF PERIMETER LANDSCAPE BUFFER REQUIREMENTS AND THE BUILD-TO-LINE REQUIREMENT on the south side of Azure Drive, approximately 170 feet west of Tenaya Way (APN 125-27-222-011), T-C (Town Center) Zone [SX-TC (Suburban Mixed-Use - Town Center) Special Land Use Designation], Ward 6 (Ross), was considered by the Planning Commission on January 11, 2007.

The Planning Commission voted to ***APPROVE*** your request, subject to the following:

Planning and Development

1. Conformance to the Conditions of Approval for Special Use Permits (SUP-15058 and SUP-15059) and Variance (VAR-15057) shall be required.
2. Site Development Plan Review (SDR-15055) is hereby expunged.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. A revised landscape plan shall be submitted prior to the time an application is made for a building permit depicting a total of 11 trees in the parking lot area and seven trees within the perimeter landscape buffer and all trees (parking lot and perimeter landscape buffer) shall reflect Town Center requirements of 36-inch box trees and shall be Mexican Fan Palm, Rio Grande Ash, Chitalpa, or Purple Robe Locust trees.
5. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/28/06 except as amended by conditions herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



6. A Waiver from the Town Center build-to-line standards is hereby approved, to allow a setback of 83 feet, two inches.
7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
9. Reflective glazing at the pedestrian level is prohibited.
10. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
12. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
13. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
14. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

15. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards and Town Center Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
16. Unless already in place at the time of development, construct the full width of the proposed driveway accessing Azure Drive and sufficient onsite paving to allow two-way traffic to this site concurrent with development of this site.
17. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
18. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or the submittal of any construction drawings whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
19. This parcel is part of Special Improvement District No. 1447 – Tenaya/Azure. The Special Improvement District section of the Department of Public Works must be contacted and appropriate written agreements (if necessary) must be executed by the property owner(s) of record prior to the recordation of a Final Map or the issuance of any building permits, whichever may occur first. The written agreements (if applicable) will allow the recalculation and/or the redistribution of all assessments of record on this site.
20. Site development to comply with all applicable conditions of approval for Z-76-98(20), the Montecito East Commercial Subdivision and all other applicable site-related actions.

Mr. Luis Rodriguez
SDR-18344 - Page Four
January 12, 2007

This action by the Planning Commission on *January 11, 2007* is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision or there is a review action filed by the City Council within the same time period. The Notice of Final Action was filed with the Las Vegas City Clerk on *January 12, 2007*.

Sincerely,



John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

cc: Mr. Scott Gearing
Gearing Architecture, LTD
3460 Spencer Street
Las Vegas, Nevada 89169

Plans (PMT)



Separator Sheet

SITE PLAN

- 1 NEW BUILDING
- 2 PAINTED PARKING STRIPES AND ASPHALT PARKING AREA
- 3 PROPERTY LINE (TYP.)
- 4 TRASH ENCLOSURE
- 5 LANDSCAPING
- 6 PAINTED HANDICAP SYMBOL AND SIGN
- 7 4" THICK 3'-8" WIDE CONCRETE SIDEWALK
- 8 NEW PAVED ENTRY DRIVE
- 9 ELECTRIC SWITCH GEAR
- 10 HATCHED AREA INDICATES FIRE TRUCK LANE
- 11 8'x8' LOADING ZONE
- 12 EXISTING JOGGING PATH
- 13 NEVADA POWER TRANSPORTER PAD
- 14 HATCHED AREA INDICATES PRIVATE CROSS EASEMENT

OWNERS:

Monterrey Investments, LLC
 8951 W. Flamingo Blvd.
 Suite 202
 Las Vegas, NV 89147
 Phone: (702) 813-7760
 Fax: (702) 813-7486

PROJECT DATA

JURISDICTION City of Las Vegas
 ZONING SX-TC
 PARCEL NUMBER 125-27-222-01
 OCCUPANCY 6000 SF
 SPRINKLED YES
 SEATING 109 Restaurant, 45 Bar, 15 Waiting

PARKING
 Office 600 + 7200 25 Stalls
 Bar/Restaurant 224 + 100 01 Stalls
 Waiting 100 01 Stalls
 Handicapped, Disabled 60 01 Stalls
 Total Required 64 Stalls
 Total Provided 62 Stalls

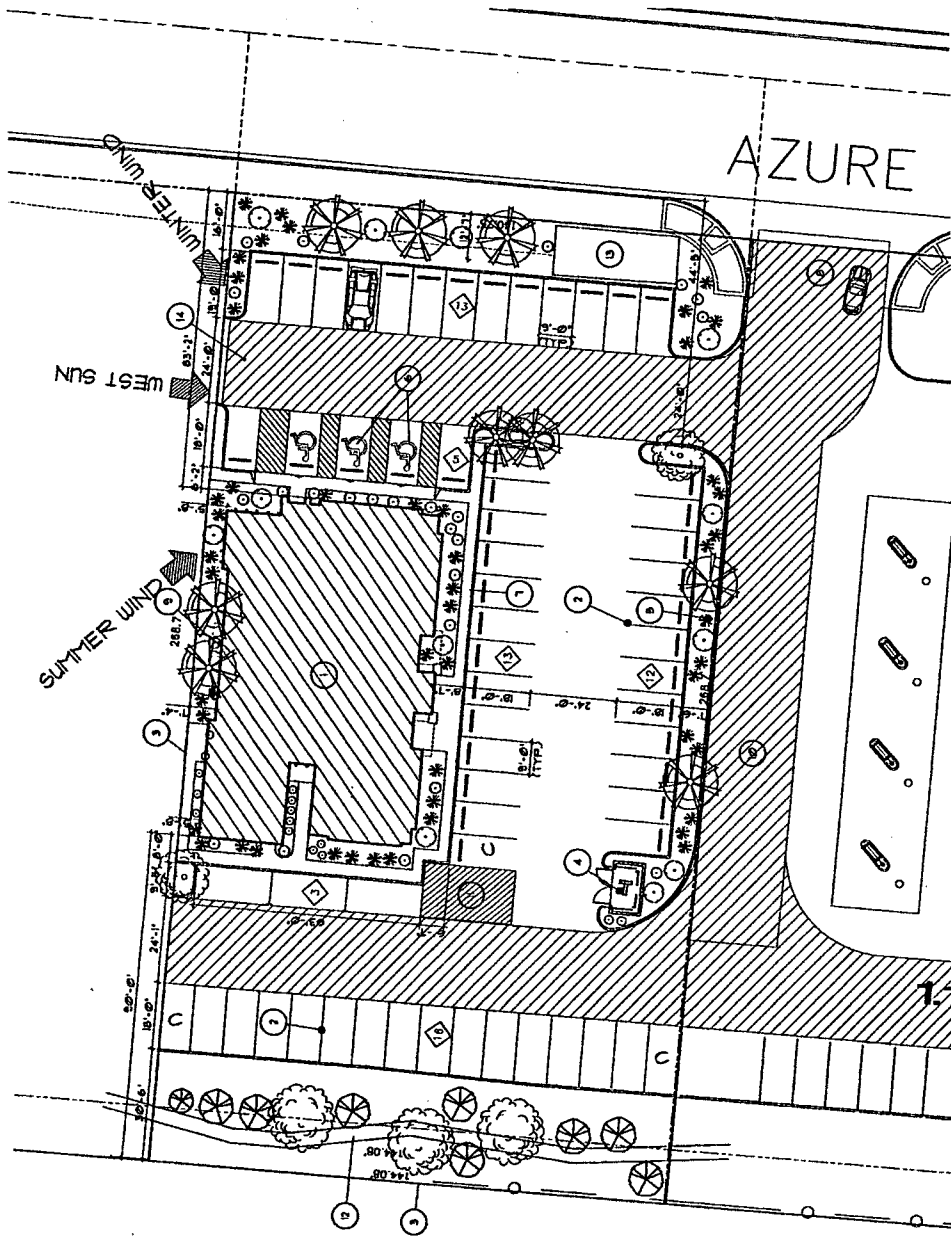
LAND DATA
 LAND AREA 0.68 ACRES
 BUILDING/LAND RATIO 143 %



AS-1
 SHEET 1 OF 1
 Project No. 04-009
 Date 11/07/01

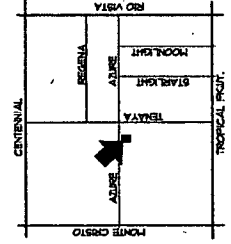
NOV 28 2006

SDR-18344
 01/11/07 PC



66 SITE
 SCALE: 1/8" = 1'-0"

SITE PLAN



VICINITY MAP
 NO SCALE

PROJECT
 Monterey Retail Building
 Azure and Tenaya, Las Vegas, NV

SITE PLAN

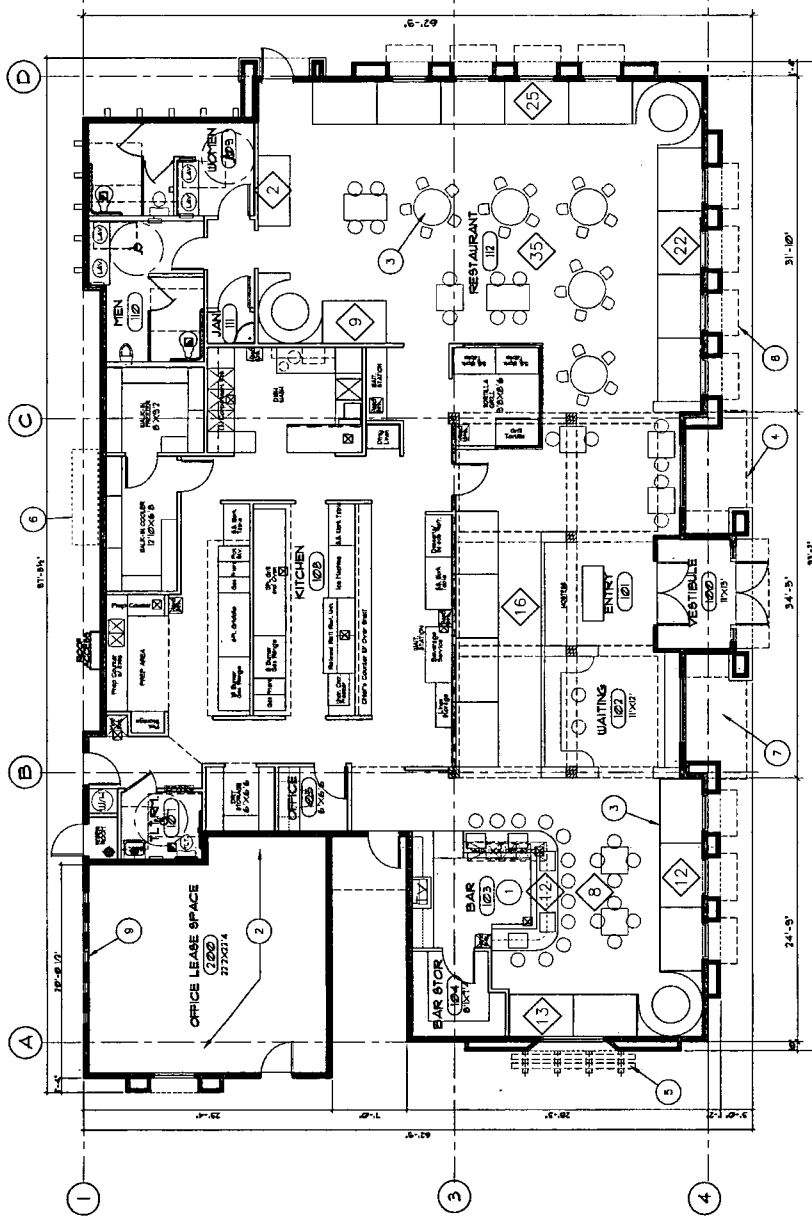
NOV 28 2006

SDR-18344
01/11/07 PC

RECEIVED
NOV 28 2006

FLOOR PLAN

FLOOR PLAN
SCALE: 3/8" = 1'-0"



- CONSTRUCTION NOTES:**
- 1. BAR JTH (9) BUILT-IN SLOT MACHINES
 - 2. OFFICE SPACE (TYP.)
 - 3. RESTAURANT SEATING (TYP.)
 - 4. DASHED LINE INDICATES ROOF OVERHANG ABOVE (TYPICAL)
 - 5. DASHED LINE INDICATES ROOF OVERHANG ABOVE (TYPICAL)
 - 6. DASHED LINE INDICATES ROOF OVERHANG ABOVE (TYPICAL)
 - 7. DASHED LINE INDICATES ROOF OVERHANG ABOVE (TYPICAL)
 - 8. DASHED LINE INDICATES ROOF OVERHANG ABOVE (TYPICAL)
 - 9. DASHED LINE INDICATES ROOF OVERHANG ABOVE (TYPICAL)

SHEET TITLE
FLOOR PLAN

PROJECT
Monterey Retail Building
Azure and Tenaya, Las Vegas, Nevada



Building Data

AREA	SEATING
Office	100 Restaurant
Bar/Restaurant	45 Bar
Kitchen, etc.	10 Waiting
Total	

Sheet No. **A-1** of **1**

Project No. 06-100

Drawn By: **MEG**

Checked By: **MEG**

Date: **11-22-06**

- 1 PAINTED BRASS KNOB PUSH ON ALL UNITS
- 2 1/4" FLANGE PAINTED METAL CAP PLATE
- 3 PAINTED BRASS HANG ON METAL TUBE
- 4 TIGHTER DOUBLE END WINDOW
- 5 PAINTED METAL CLAD CORE DOOR WITH BRASS KNOB
- 6 ELECTRICAL SWITCH NEAR CABINET BRASS DOOR KNOB
- 7 PRE-CAST CONCRETE WINDOW SILL
- 8 PAINTED TILE ROOF
- 9 INSULATED BRASS DOOR HINGE
- 10 BRASS LOCKER UNIT, PAINTED AND DESIGN TO BE DETACHED
- 11 8" DIAMETER INSULATED GAS CONTAINER WITH BRASS VALVE
- 12 1/2" DIA. ONE HOUR FIRE RATED GLASS BLOCK



9007 82 AON

612A-28

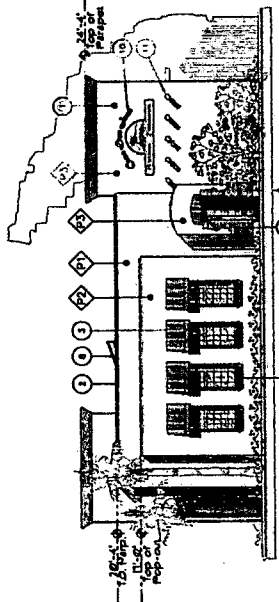
EAST ELB
SCALE: 3/4" = 1'-0"

GEARING

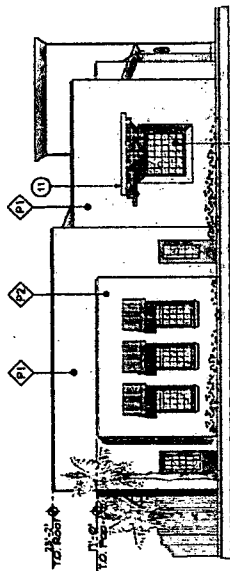
ARCHITECTURAL

OF	A-2	Project No. 00-000	Checked by and	Date 1-21-2004
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SDR-18344
01/11/07 PC



NORTH ELEVATION (VIEW FROM AZURE DRIVE)
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (VIEW FROM SOUTH PARKING AREA)
SCALE: 1/8" = 1'-0"

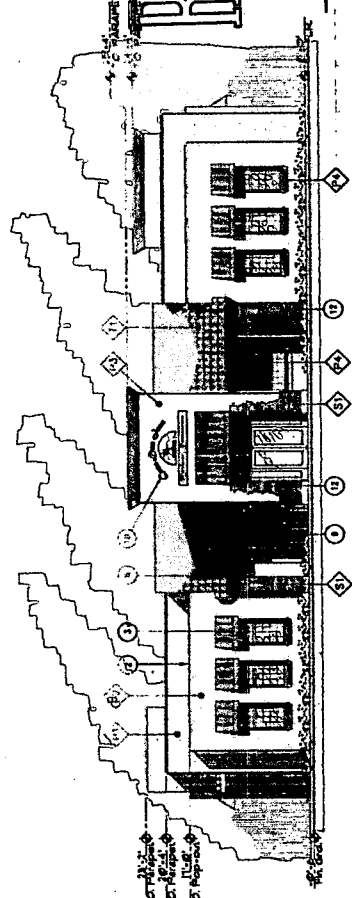
SHEET TITLE
BUILDING ELEVATIONS and
COLOR SCHEME
PROJECT
Monterey Retail Building
Azure and Tenaya, Las Vegas, NV



A-3	
Project No. 08-002	Date: 1-1-2009
Drawn by: [blank]	Checked by: [blank]
[blank]	

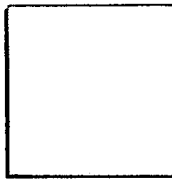
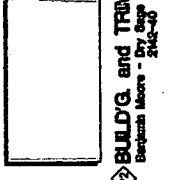
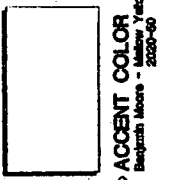
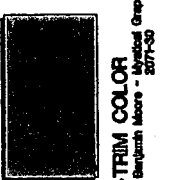
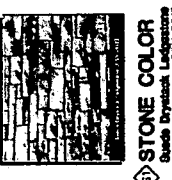
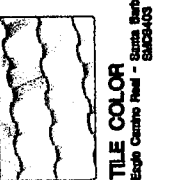
BUILDING ELEVATIONS

RECEIVED
NOV 28 2008



EAST ELEVATION (VIEW FROM REITER)
SCALE: 1/8" = 1'-0"

COLORS

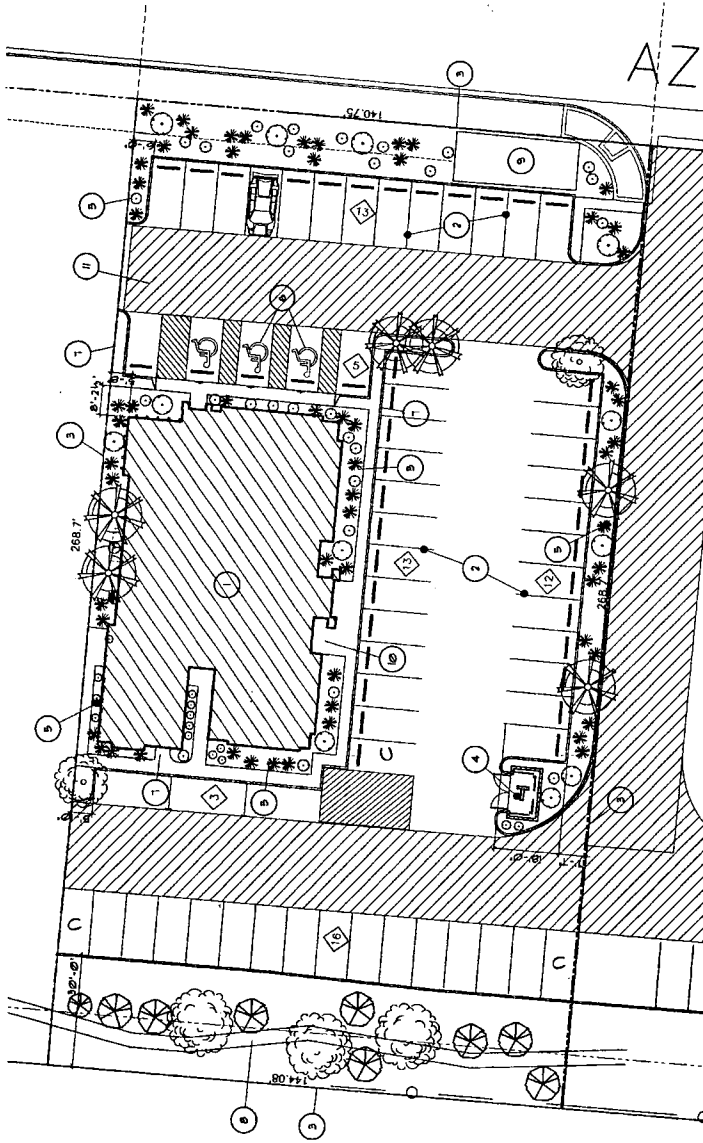
-  **BUILDING FIELD COLOR**
Benjamin Moore - Gray Skies - 2142-00
-  **BUILD'G. and TRIM**
Benjamin Moore - Gray Skies - 2142-00
-  **ACCENT COLOR**
Benjamin Moore - Mineral Gray - 2020-60
-  **TRIM COLOR**
Benjamin Moore - Mineral Gray - 2020-60
-  **STONE COLOR**
Quartz Drystack - Laguna - 0010
-  **TILE COLOR**
Esprit Centro Field - Santa Barbara - 5020-00

CONSTRUCTION NOTES:

1. ALL WALLS AND FLOOR FINISH ON
2. EXTERIOR WALLS AND ROOF FINISH ON
3. EXTERIOR WALLS AND ROOF FINISH ON
4. EXTERIOR WALLS AND ROOF FINISH ON
5. EXTERIOR WALLS AND ROOF FINISH ON
6. EXTERIOR WALLS AND ROOF FINISH ON
7. EXTERIOR WALLS AND ROOF FINISH ON
8. EXTERIOR WALLS AND ROOF FINISH ON
9. EXTERIOR WALLS AND ROOF FINISH ON
10. EXTERIOR WALLS AND ROOF FINISH ON

LANDSCAPE NOTES:

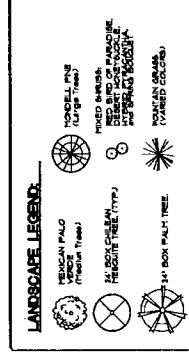
1. NEW BUILDING
2. PAINTED PARKING STRIPING AND ANNUAL PARKING AREA
3. PROPERTY LINE (TYP.)
4. TRASH ENCLOSURE
5. LANDSCAPE AREA WITH MEDIUM DENSITY PLANTING, AND/OR GRASS (SEE NOTES FOR SPECIFIC PLANTING SCHEDULES AND TYPICAL PLANTING AREAS)
6. PAINTED HANDICAP SYMBOL AND SIGN (OR AS DIMENSIONED OTHERWISE)
7. 4" THICK 3'-4" WIDE CONCRETE SIDEWALK (OR AS DIMENSIONED OTHERWISE)
8. EXISTING ASPHALT DRIVEWAY AND DRIVEWAY STRIPING
9. EXISTING NEVADA POWER CONCRETE TRANSPORTER ROAD
10. PAVED OUTDOOR BATHING AREA
11. HATCHED LINE INDICATES PRIVATE DRIVE FACILITY BETWEEN NEIGHBORING PROPERTIES



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

66'-0" SITE



LANDSCAPE PLAN

RECEIVED
NOV 28 2006

LANDSCAPE PLAN
SHEET TITLE
PROJECT
Monterrey Retail Building
Azure and Tenaya, Las Vegas, NV

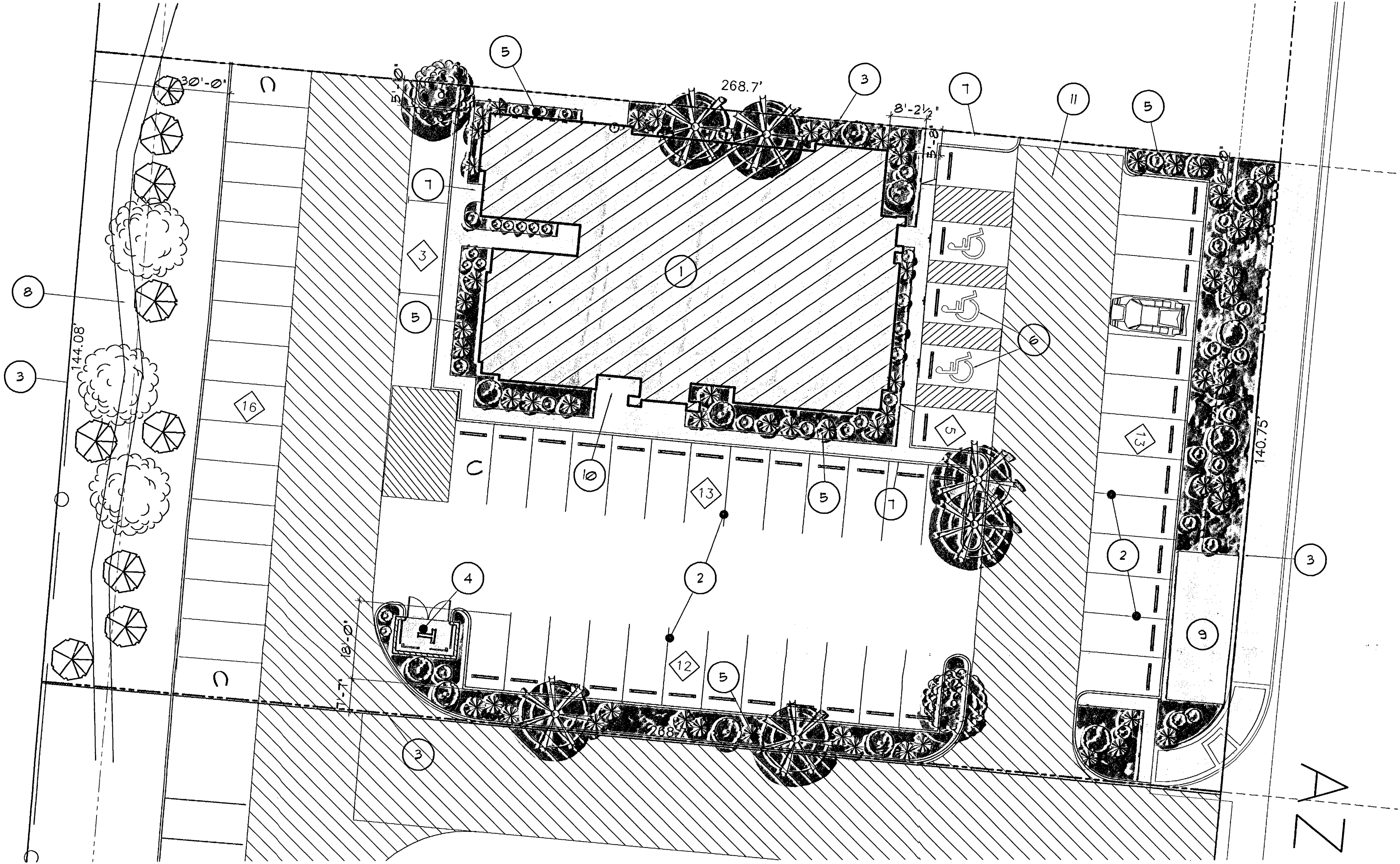


SHEET	L-1	OF	1
Project No.	06-108	Drawn by	06-108
Checked by	06-108	Date	06-108

SDR-18344
01/11/07 PC

LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"



LANDSCAPE LEGEND:

MEXICAN PALO VERDE (Medium Trees)	MONRELL PINE (Large Trees)
24' BOX CHILEAN MESQUITE TREE (TYP.)	MIXED SHRUBS: RED BIRD OF PARADISE, DESERT HONEYSUCKLE, HYBRID PYRACANTHA, and SPRING BOUQUET
24' BOX PALM TREE.	FOUNTAIN GRASS (VARIED COLORS)

LANDSCAPE PLAN

LANDSCAPE NOTES:

- 1 NEW BUILDING
- 2 PAINTED PARKING STRIPING and ASPHALT PARKING AREA.
- 3 PROPERTY LINE (TYP.)
- 4 TRASH ENCLOSURE
- 5 LANDSCAPED AREAS WITH AUTOMATIC DRIP IRRIGATION SYSTEM PROVIDE CRUSHED GRANITE GROUND COVER OVER SEMI-PERMEABLE MEMBRANE (TYPICAL WHERE PLANTS ARE SHOWN).
- 6 PAINTED HANDICAP SYMBOL and SIGN.
- 7 4" THICK, 3'-6" WIDE CONCRETE SIDEWALK (OR AS DIMENSIONED OTHERWISE).
- 8 EXISTING JOGGING PATH and LANDSCAPING STRIP.
- 9 EXISTING NEVADA POWER CONCRETE TRANSFORMER PAD.
- 10 PAVED, OUTDOOR WAITING AREA.
- 11 HATCHED LINE INDICATES PRIVATE CROSS EASEMENT BETWEEN NEIGHBORING PROPERTIES.

APPROVED
CITY COUNCIL DATE: 11/14
PLANNING COMMISSION DATE: 11/14/07
BY: [Signature]
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

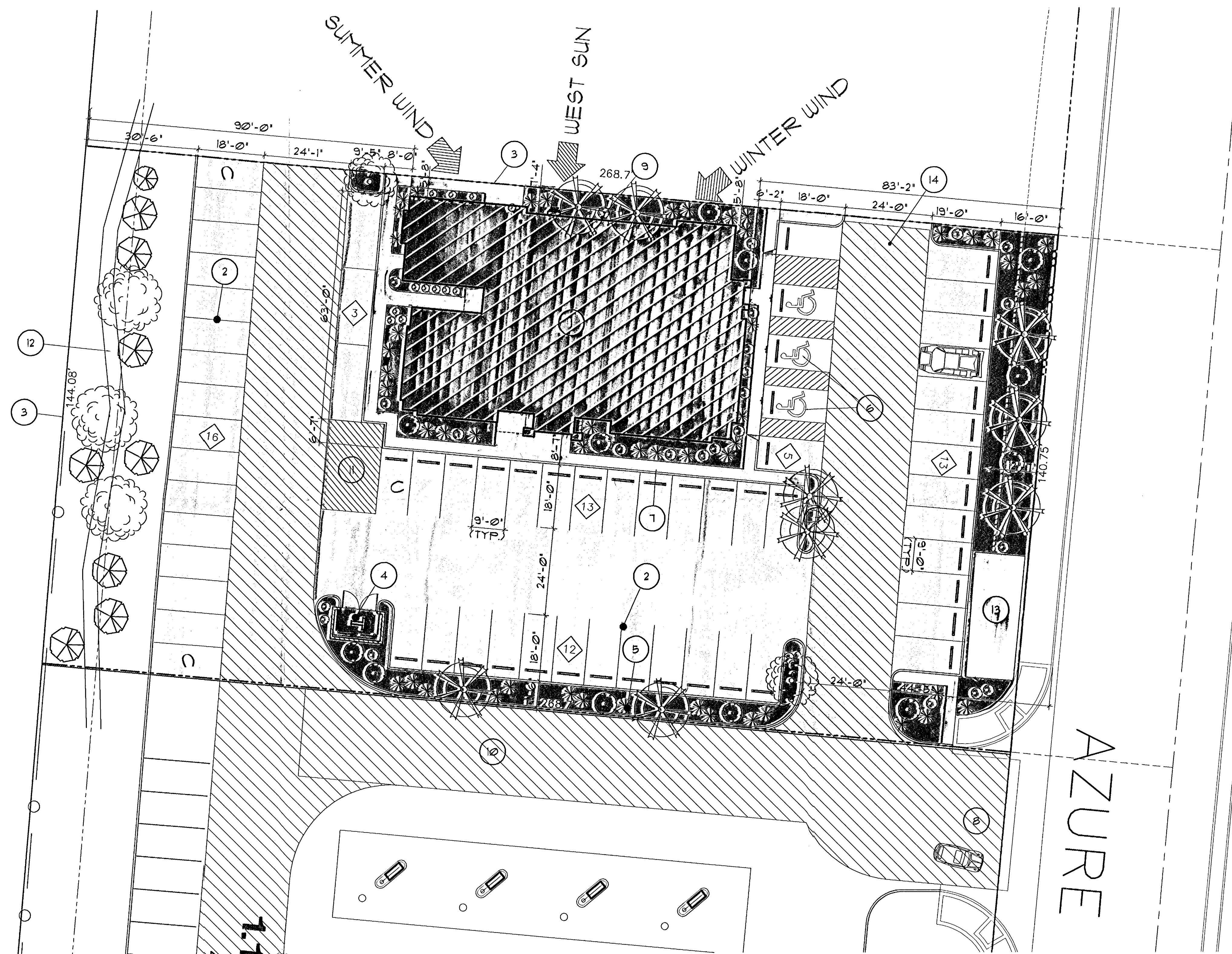
SHEET TITLE
LANDSCAPE PLAN

PROJECT
Monterrey Retail Building
Azure and Tenaya, Las Vegas, NV



SHEET	L-1	OF	1
Project No: 06-100			
Drawn by: BRG			
Checked by: BRG			
Date: 11-22-06			

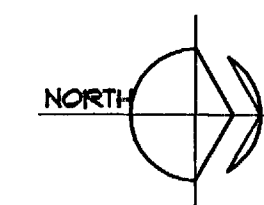
SAR-18344 L P C 01/14/07 Approved F.A



SITE PLAN

SCALE: 1/16" = 1'-0"

6613 SITE



SITE PLAN

SITE NOTES:

- 1 — NEW BUILDING
- 2 — PAINTED PARKING STRIPING and ASPHALT PARKING AREA.
- 3 — PROPERTY LINE (TYP.)
- 4 — TRASH ENCLOSURE
- 5 — LANDSCAPING
- 6 — PAINTED HANDICAP SYMBOL and SIGN.
- 7 — 4" THICK, 3'-6" WIDE CONCRETE SIDEWALK
- 8 — NEW PAVED ENTRY DRIVE.
- 9 — ELECTRIC SWITCH GEAR
- 10 — HATCHED AREA INDICATES FIRE TRUCK LANE
- 11 — 15'x25' LOADING ZONE
- 12 — EXISTING JOGGING PATH
- 13 — NEVADA POWER TRANSFORMER PAD
- 14 — HATCHED AREA INDICATES PRIVATE CROSS EASEMENT

OWNERS:

Monterrey Investments, LLC
101 S. Rainbow Blvd.
Suite 30
Las Vegas, NV 89145
Phone: (702) 873-7760
Fax: (702) 873-7486

PROJECT DATA

JURISDICTION	City of Las Vegas
ZONING	SX-TC
PARCEL NUMBER	125-27-222-011
OCCUPANCY	Group B
BUILDING	5,128 SF
SPRINKLED	YES
SEATING	109 Restaurant 45 Bar 15 Waiting

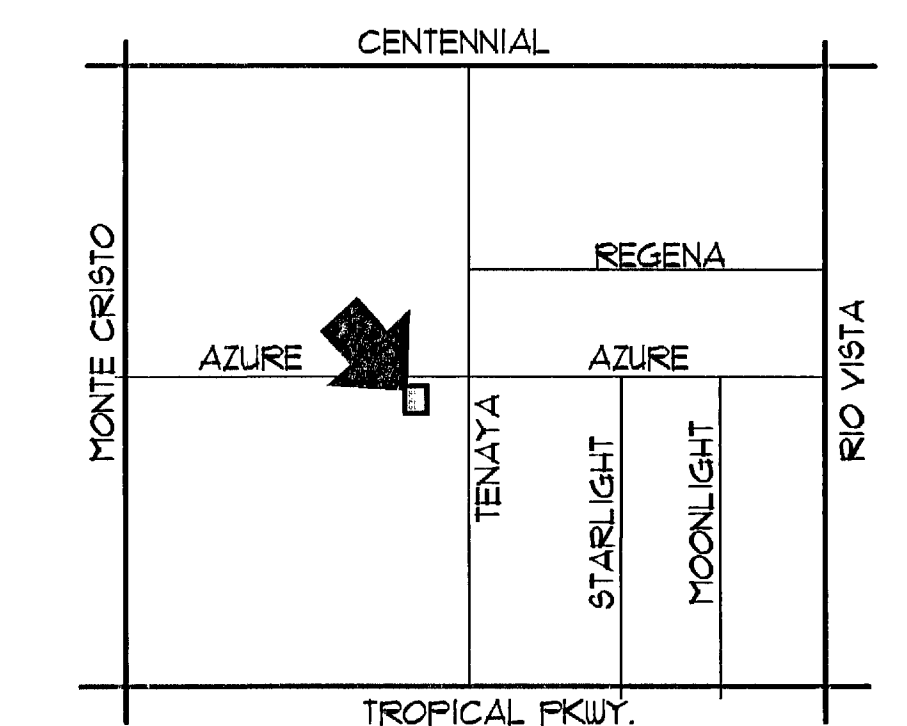
PARKING

Office	505 @ 1/200	2.5 Stalls
Bar/Restaurant	2,548 @ 1/50	51 Stalls
Kitchen, etc.	2,075 @ 1/200	10.4 Stalls
Handicapped (Included above)		(3) Stalls
Total Required		64 Stalls
Total Provided		62 Stalls

LAND DATA

LAND AREA	0.88 ACRES
BUILDING/LAND RATIO	14.3 %

APPROVED
PLANNING COMMISSION
DATE: 11/11/07
BY: [Signature]
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS



VICINITY MAP

NO SCALE



SHEET TITLE
SITE PLAN

PROJECT

Monterrey Retail Building
Azure and Tenaya, Las Vegas, NV

GEARING



ARCHITECTURE

SHEET
AS-1

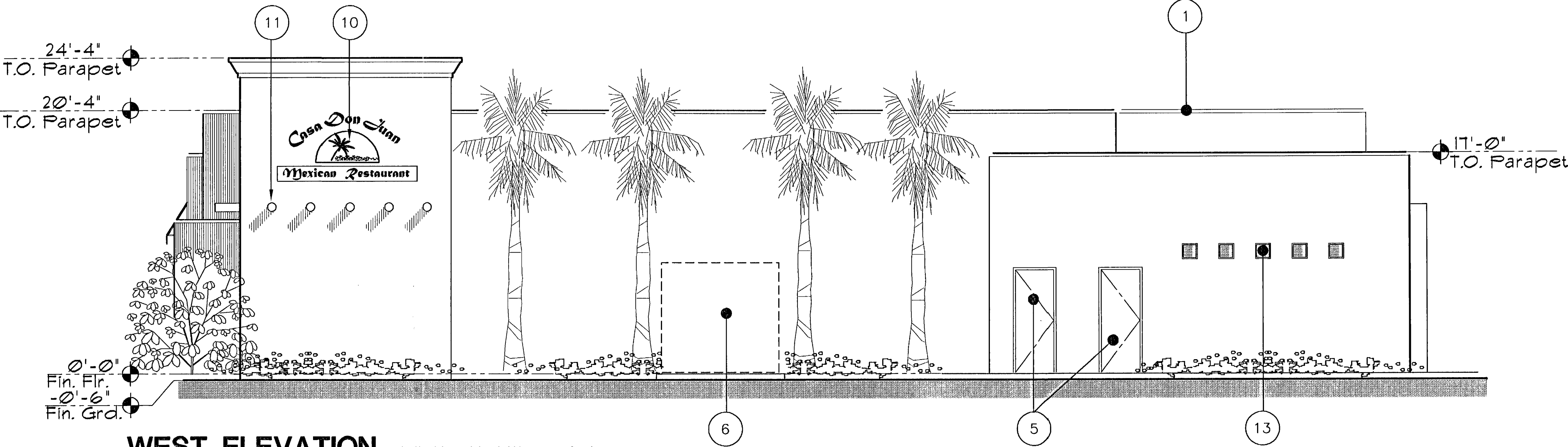
Project No:
06-100
Drawn by:
SRG
Date:
01/11/07 PC

Checked by:
SRG
Date:
11-22-06

SDR-18344 ACI 11/11/07 Approved F.A

CONSTRUCTION NOTES:

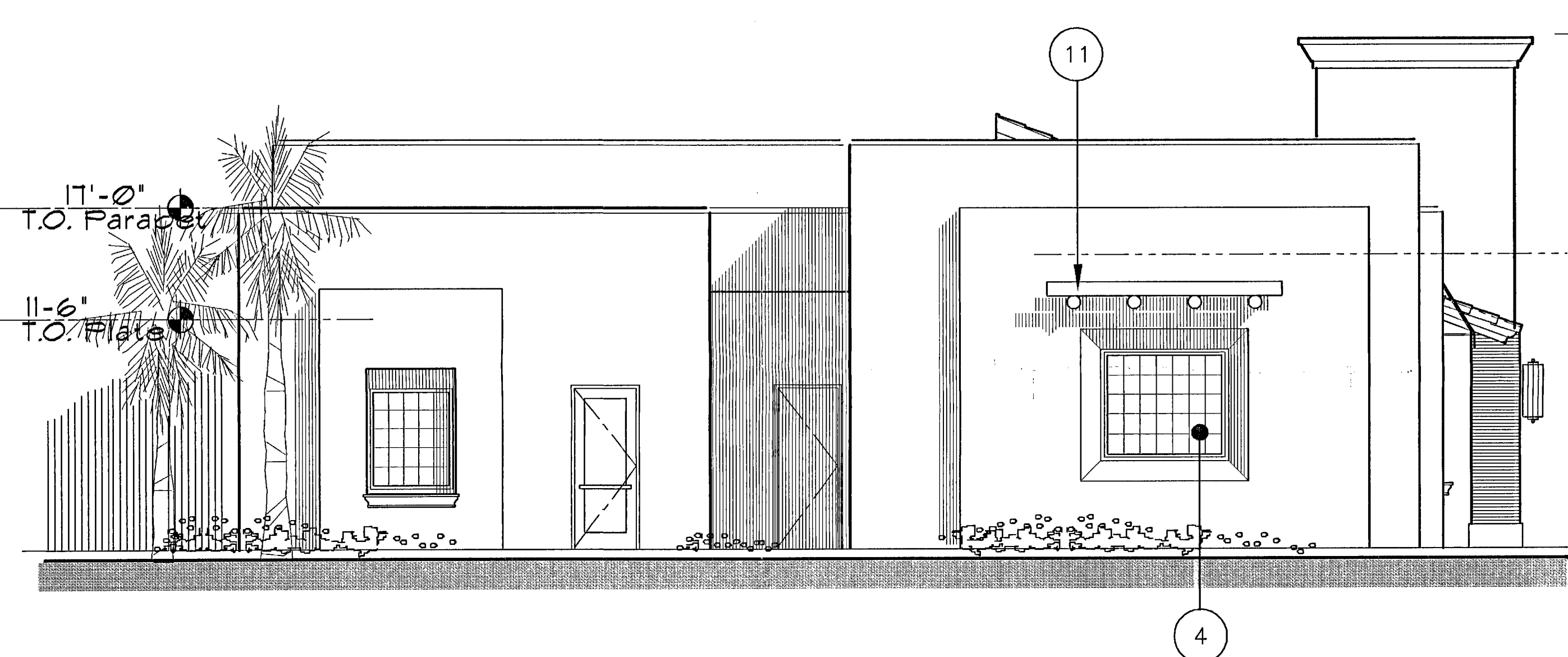
- 1 PAINTED STUCCO SAND FINISH ON ALL WALLS
- 2 24 GA. PAINTED SHEET METAL CAP FLASHING
- 3 STRIPED CAVAS AWNING ON METAL TUBE FRAMING
- 4 TINTED DOUBLE PANE WINDOWS WITH WOOD MULLIONS
- 5 PAINTED METAL CLAD, SOLID CORE DOOR
- 6 ELECTRICAL SWITCH GEAR CABINET SHOWN DASHED
- 7 PRE-CAST CONCRETE WINDOW SILL
- 8 MISSION TILE ROOF
- 9 PAINTED WOOD FASCIA
- 10 SIGNAGE LOCATION (EXACT NAME AND DESIGN TO BE DETERMINED)
- 11 8" DIAMETER TREATED LOG CANTILEVERED RAFTER TAIL OVERHANG
- 12 DRY-STACK COLORADO STONE, STAGGERED ABOVE AS SHOWN (TYP. WHERE HATCHED)
- 13 12"x12" ONE HOUR FIRE RATED GLASS BLOCK WINDOWS



WEST ELEVATION (VIEW FROM REITER ROAD)

SCALE: 3/16" = 1'-0"

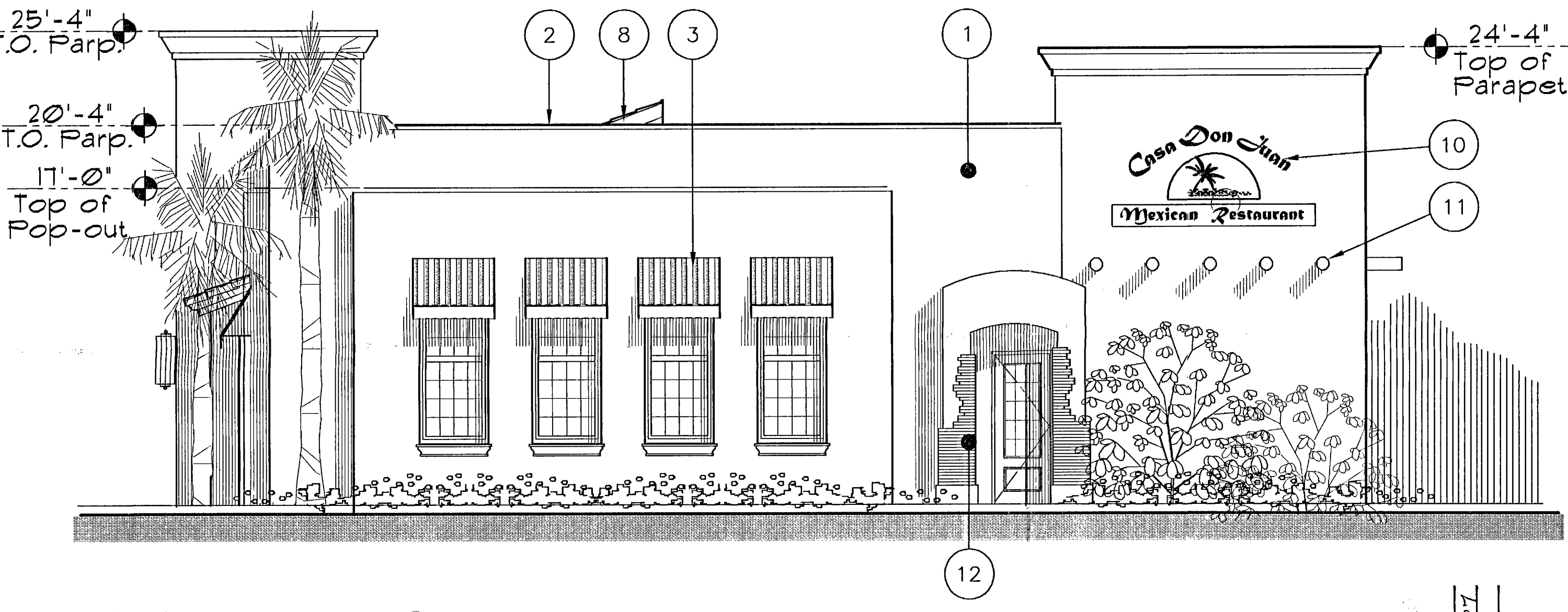
6'10A-2a



SOUTH ELEVATION (BACK VIEW FROM SOUTH PARKING LOT)

SCALE: 3/16" = 1'-0"

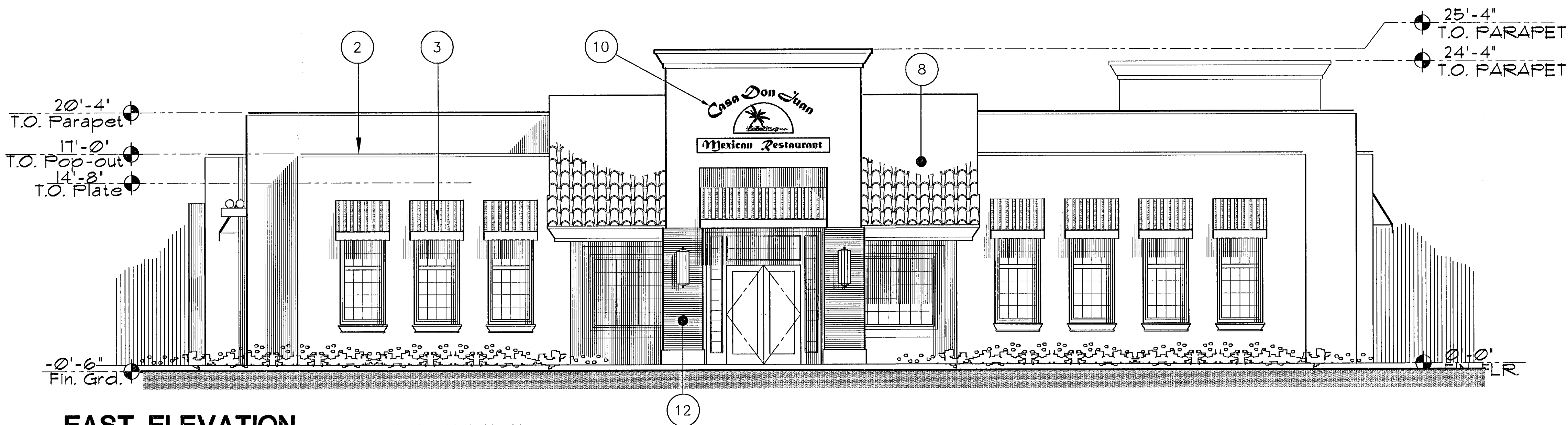
6'10A-2b



NORTH ELEVATION (FRONT VIEW FROM AZURE)

SCALE: 3/16" = 1'-0"

6'10A-2a



EAST ELEVATION (FRONT VIEW FROM TENAYA)

SCALE: 3/16" = 1'-0"

6'10A-2a

APPROVED
CITY COUNCIL DATE: 11/14
PLANNING AND DEVELOPMENT
BY: [Signature]
CITY OF LAS VEGAS

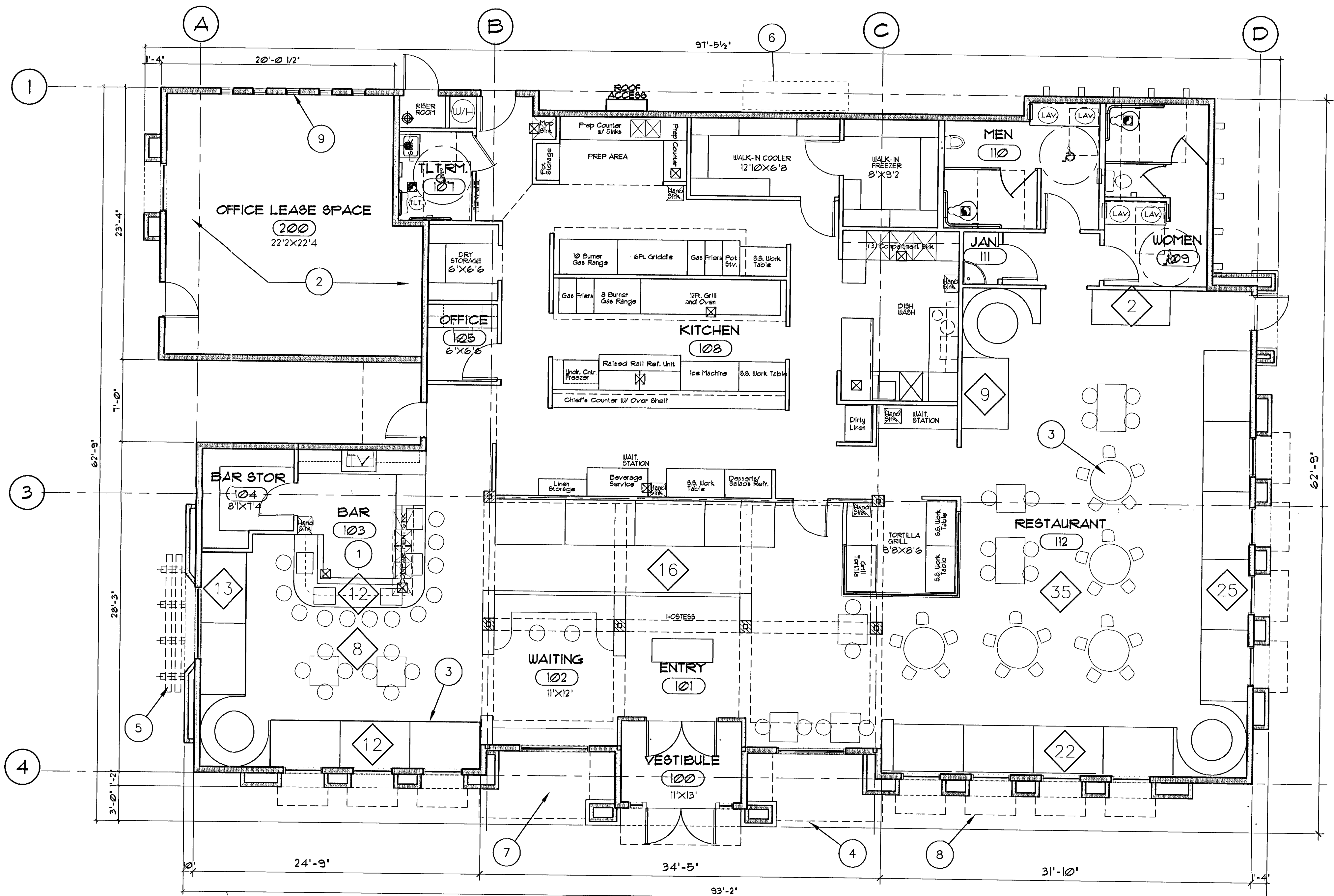
ELEVATIONS

SHEET TITLE
BUILDING ELEVATIONS

PROJECT
Monterrey Retail Building
2300 Decatur Blvd., Las Vegas, Nevada



SHEET	A-2	OF
		3
Project No: 06-100		
Drawn by: [Signature]		
Checked by: [Signature]		
Date: 11-22-2006		



FLOOR PLAN
SCALE: 3/16" = 1'-0"

CONSTRUCTION NOTES:

1. BAR WITH (5) BUILT-IN SLOT MACHINES.
2. OFFICE SPACE (TYP.)
3. RESTAURANT SEATING (TYP.)
4. DASHED LINE INDICATES ROOF OVERHANG ABOVE (TYPICAL).
5. DASHED LINE INDICATES TREATED WOOD LATTICE WORK ABOVE WINDOW (TYP.).
6. WATERPROOF SWITCHGEAR CABINET.
7. SHADED OUTDOOR WAITING AREA.
8. DASHED LINE INDICATES CAVAS AWNING ABOVE WINDOWS WHERE SHOWN (TYPICAL).
9. 12"x12" GLASS BLOCK WINDOWS (TYPICAL FOR 5).

SHEET TITLE
FLOOR PLAN

PROJECT
Monterrey Retail Building
Azure and Tenaya, Las Vegas, Nevada

APPROVED
CITY COUNCIL DATE: 11/14
PLANNING COM. DATE: 11/11/07
BY: [Signature]
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

NOV 28 2005

Building Data

AREA	
Office	505 S.F.
Bar/Restaurant	2,548 S.F.
Kitchen, etc.	2,075 S.F.
Total	5,128 S.F.
SEATING	
109 Restaurant	
45 Bar	
15 Waiting	

GEARING
ARCHITECTURE

SHEET
A-1
Project No: 06-100
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Date: 11-22-2006

FLOOR PLAN