

Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riecki, Survey (FM, PM, & A's only)
Date: December 14, 2006
Re: **ROC-18341** Wagner Homes, Inc. SEC of Alexander Road and Fort Apache Road
Request for a Review of Condition #11 of an approved Site Development Plan Review

COMMENTS:

Condition of Approval #11 of the approved Site Development Plan Review Application (SDR-2418) was imposed by the Department of Planning and Development, regarding perimeter wall height. Normally, we would not have any comment on a P&D condition; however, a change to wall design may impact sight visibility adjacent to this site.

CONDITIONS OF APPROVAL:

1. The proposed walls shall not be located within the public right-of-way or interfere with Site Visibility Restriction Zones. The proposed walls shall not be located within existing or proposed public sewer or drainage easements. The City of Las Vegas Traffic Engineering Representative shall have final approval of wall placement to ensure that sight visibility is maintained.

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

ROC-18341 - REVIEW OF CONDITION - PUBLIC HEARING - APPLICANT/OWNER: WAGNER HOMES, INC. - Request for a Review of Condition Number 11 of an approved Site Development Plan Review (SDR-2418) TO ALLOW ALL PERIMETER WALLS, INCLUDING A COMBINATION OF RETAINING AND SCREEN WALLS, SHALL NOT EXCEED 13.9 FEET IN HEIGHT, MEASURED FROM THE BASE OF THE RETAINING WALL, WITHOUT APPROPRIATE SETBACKS WHERE 8 FEET WAS REQUIRED for an approved residential subdivision on 10.80 acres adjacent to the southeast corner of Alexander Road and Fort Apache Road (APN 138-08-116-020 and 021) R-PD5 (Residential Planned Development - 5 Units Per Acre) Zone, Ward 4 (Brown).

***NOTE: THIS IS A DIRECT TO COUNCIL ITEM - COMMENTS ARE DUE WITHIN APPROXIMATELY ONE WEEK**

CITY COUNCIL MEETING: JANUARY 03, 2007
PUBLIC HEARING: NO

CASE PLANNER: BEN STICKA

Comments Due: DECEMBER 15, 2006*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to CAROLE COMBS (ccombs@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

**Las Vegas Metropolitan Police Dept.
Office of Intergovernmental Services**

No Law Enforcement Issue

Extraction List



Separator Sheet

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PARCELS	434
LABELS	360

Report of All Selected Parcels

Case Number: ROC-18341

Printed On: Mon: December 11, 2006

Owner

Address

Parcel Number

3832 MOUNTAIN WATERS L L C	%E & J KAMINSKI 1013 JENNIS SILVER ST LAS VEGAS NV	13805497010
ABERNATHY JAMES H	4045 N CHIEFTAIN ST LAS VEGAS NV	13808197003
AGUSTIN JOSELITO C & VIRGINIA	9400 FOX FOREST AVE LAS VEGAS NV	13805497002
ALEXANDER HOLDING CORP	7469 LAKE MEAD #230 LAS VEGAS NV	13808197010
ALEXANDER HOLDING CORP	8533 GILMORE AVE LAS VEGAS NV	13808197009
ALLEN MARK & NICKI ARLENE	3804 DIAMOND RIDGE ST LAS VEGAS NV	13808197007
ANAS GEORGE & ANNETTE	4009 EVEREST ST LAS VEGAS NV	13805497009
ANAYA FERNANDO & EVA	4008 FLAMING PEAK CT LAS VEGAS NV	13808197001
ANDAYA HARRY R REVOCABLE LIV TR	2499 AUMAKUA ST PEARL CITY HI	13808197006
ANGUS ARSENIO L III & KARA	P O BOX 33052 LAS VEGAS NV	13807516009
ANTHONY STAVROS S & BERNADETTE	9104 TERRACE RIDGE CT LAS VEGAS NV	13806803011
ARBOGAST CHARLES	3940 COPPER GLEN ST LAS VEGAS NV	13807517030
ARRIGO DIANE C LIVING TRUST 2005	3904 COPPER GLEN ST LAS VEGAS NV	13806801007
AYOUB AYOUB SHABAN	9333 COPPER BAY AVE LAS VEGAS NV	13806801006
BADALONI CLAUDE E & JULIE A	4017 RUBICON PEAK CT LAS VEGAS NV	13808113079
BAEZA PAUL & OFELIA	9337 COPPER VILLA CT LAS VEGAS NV	13805411058
BAILEY JAMIE K	8929 PERFECT DIAMOND CT LAS VEGAS NV	13805411070
BALDWIN SHAD MICHAEL & DENISE M	4017 EVEREST ST LAS VEGAS NV	13808114024
BARNETT LIVING TRUST	5370 AVENIDA EL CID YORBA LINDA CA	13808113065
BARNEY ALICIA	8905 PERFECT DIAMOND CT LAS VEGAS NV	13807513030

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BASTARACHE THOMAS J	8897 PERFECT DIAMOND CT LAS VEGAS NV	13808114025
BATES JAMES J III	3901 WHITE CASTLE ST LAS VEGAS NV	13808112010
BEAN DELPHINE L REVOCABLE LIV TR	9113 TERRACE RIDGE CT LAS VEGAS NV	13808113058
BELINC CHRISTIAN J	3912 COPPER GLEN ST LAS VEGAS NV	13807513037
BELINC MARK J	9337 COPPER BAY AVE LAS VEGAS NV	13807513012
BENES SCOTT	9416 MOON SPLASH CT LAS VEGAS NV	13807517010
BENNETT CHARLES & MICHELE L L	9017 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411049
BENSON ELAINE T & DANIEL	9417 MOON SPLASH CT LAS VEGAS NV	13807517007
BENSON STANLEY B & HEATHER D	9105 DIAMOND LAKE AVE LAS VEGAS NV	13808113025
BERNSTEIN LOUIS	3913 COPPERHEAD HILLS ST LAS VEGAS NV	13807513044
BIDOCHKA DANIEL W	3812 DIAMOND RIDGE ST LAS VEGAS NV	13808113077
BIGHAM RICHARD & JUDITH A TRUST	4033 ANTIQUE STERLING CT LAS VEGAS NV	13805410026
BILLITTERI PETER I & LIEN T	9105 TEAL LAKE CT LAS VEGAS NV	13808113041
BONILLA CELSO J & MAGDA E	3908 CAMRYN HOLLY ST LAS VEGAS NV	13807517029
BORWN JEFFREY & VINITA	9121 TERRACE RIDGE CT LAS VEGAS NV	13808113060
BOYER ELAINE A	9108 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113007
BRINDLEY FAMILY TRUST	8904 PERFECT DIAMOND CT LAS VEGAS NV	13808114010
BROOKENS EDWARD & BROOKE	3820 MOUNTAIN WATERS ST LAS VEGAS NV	13807516006
BROOKS CHARLES E & DIANE	4104 EVEREST ST LAS VEGAS NV	13805411006
BRUNS NORMAN H	9352 VILLA TUSCANY AVE LAS VEGAS NV	13807516015
BULL ROBERT A & KAREN O	9100 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113009
BURLESON DONNA	3824 DIAMOND RIDGE ST LAS VEGAS NV	13808113017
C U IN HEAVEN TRUST	4005 EVEREST ST LAS VEGAS NV	13805411057
CALARA FRANCISCO R & MYRA	9105 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411052
CAMPBELL KEVIN B & ELIZABETH J	9301 COPPER BAY AVE LAS VEGAS NV	13807513003
CARDAMON WILLIAM M	9340 COPPER VILLA CT LAS VEGAS NV	13807513026
CARLISLE FAMILY TRUST	%J CARLISLE 3924 CAMRYN HOLLY ST LAS VEGAS NV	13807517025
CARR TAMARA LYNN	9013 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411048
CARSON FREDERICK L & ANGELINA Q	9416 CITRUS VINE CT LAS VEGAS NV	13807517017
CARTWRIGHT RONALD N & SANDRA E	9105 TERRACE RIDGE CT LAS VEGAS NV	13808113056
CASILLAS CARLOS A & S J LIV TR	9113 TEAL LAKE CT LAS VEGAS NV	13808113043
CEBALLOS HECTOR & NOEMI	3928 CAMRYN HOLLY ST LAS VEGAS NV	13807517024

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CHAIREZ DAVID & KRISTA	3836 MOUNTAIN WATERS ST LAS VEGAS NV	13807516010
CHAMNESS LIVING TRUST	9125 DIAMOND LAKE AVE LAS VEGAS NV	13808113029
CHANCE STEPHEN A	9421 CITRUS VINE CT LAS VEGAS NV	13807517016
CHAPMAN BRIAN	4013 FREEL PEAK CT LAS VEGAS NV	13805411076
CHEATHAM KAREN	3932 CAMRYN HOLLY ST LAS VEGAS NV	13807517023
CHELTENHAM EDGAR JOSEPH & SONYA	4016 HIGHLAND CASTLE CT LAS VEGAS NV	13805410043
CHERWIN MICHAEL P	4009 RUBICON PEAK CT LAS VEGAS NV	13805411085
CHESLEY FAMILY TRUST 1995	4108 ANTIQUE STERLING CT LAS VEGAS NV	13805410018
CHURCH L D S PRESIDING BISHOP	%TAX DIVISION 50 E NORTH TEMPEL 22ND FLOOR SALT LAKE CITY UT	13808101007
CIAMBRIELLO DOMENICO & A FAM TR	6646 QUAKERTOWN AVE CANOGA PARK CA	13807513010
CITY OF LAS VEGAS	400 STEWART AVE LAS VEGAS NV	13807501014
CITY OF LAS VEGAS	%REAL EST 400 STEWART AVE 4TH FLR LAS VEGAS NV	13808101036
CODINA BERNARDO R & PURA REV TR	3825 WHITE CASTLE ST LAS VEGAS NV	13808112011
COLLURA VINCENT	9321 COPPER BAY AVE LAS VEGAS NV	13807513008
COLONEL JOYCE	8877 PERFECT DIAMOND CT LAS VEGAS NV	13808114030
CONGLETON CLINTON J	3932 COPPERHEAD HILLS ST LAS VEGAS NV	13807513053
CONNOLLY MICHAEL F & GINA M	8869 PERFECT DIAMOND CT LAS VEGAS NV	13808114032
COOK DARRIN NEIL & LISA J	4016 FLAMING PEAK CT LAS VEGAS NV	13805411072
COOPER STEVE	3921 WHITE CASTLE ST LAS VEGAS NV	13808112005
CORBETT HELENE A 1984 TRUST	9356 VILLA TUSCANY AVE LAS VEGAS NV	13807516016
CORDONE LOUIS & SUZANNE	4024 HIGHLAND CASTLE CT LAS VEGAS NV	13805410044
CRECCA KATHLEEN	3916 COPPERHEAD HILLS ST LAS VEGAS NV	13807513057
CRIFASI VINCENT	1006 WALT WHITMAN RD MELVILLE NY	13808114009
CRIFASI VINCENT	1006 WALT WHITMAN RD MELVILLE NY	13808114019
CROCKER RODRICK	9341 COPPER VILLA CT LAS VEGAS NV	13807513021
CROWE JANE E	9364 VILLA TUSCANY AVE LAS VEGAS NV	13807516018
CUBEL FAMILY TRUST	3909 WHITE CASTLE ST LAS VEGAS NV	13808112008
CUMMINS CHARLES S & TAMI R	9112 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411102
CZARNECKI RONALD & L REV LIV TR	9121 TEAL LAKE CT LAS VEGAS NV	13808113045
CZYZNIEJEWSKI LEN & LISA	4001 ANTIQUE STERLING CT LAS VEGAS NV	13805410030
DANNER B C	9001 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411045
DAVIS ROBERT S & MARY CARLA	9412 CITRUS VINE CT LAS VEGAS NV	13807517018

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DELAPENA LORNA N	3929 COPPERHEAD HILLS ST LAS VEGAS NV	13807513048
DELMORAL VICTORIA & RICHARD	9408 FOX FOREST AVE LAS VEGAS NV	13807517004
DELOSREYES CYNTHIA	8876 PERFECT DIAMOND CT LAS VEGAS NV	13808114003
DENTON KATHY	4013 RUBICON PEAK CT LAS VEGAS NV	13805411084
DEVESCOVI JOANNE M	3920 WHITE CASTLE ST LAS VEGAS NV	13808112030
DEWYN EVERT & DIANA	9124 DIAMOND LAKE AVE LAS VEGAS NV	13808113032
DOANE RONALD L & JAMI	4101 HIGHLAND CASTLE CT LAS VEGAS NV	13805410016
DOLSON GARY R & EMILY REV TR	4008 RUBICON PEAK CT LAS VEGAS NV	13805411086
DOMINGO ELENA S REVOCABLE TRUST	281 FRANKFORT ST DALY CITY CA	13805410031
DONAHUE WILLIAM & ROCIO	8880 PERFECT DIAMOND CT LAS VEGAS NV	13808114004
DRYMALSKI FAMILY TRUST	4025 ANTIQUE STERLING CT LAS VEGAS NV	13805410027
DUNLAP FAMILY REVOCABLE LIV TR	9117 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411055
EDWARDS CHRISTOPHER	9309 COPPER BAY AVE LAS VEGAS NV	13807513005
EDWARDS JOHN M & THEOFIL C	4016 ANTIQUE STERLING CT LAS VEGAS NV	13805410033
EKIZIAN JANE	9356 WILLOR MEADOW CT LAS VEGAS NV	13807516022
ELKINGTON THOMAS S & SCARLET R	%REPUBLIC MTGE 9580 W SAHARA AVE #150 LAS VEGAS NV	13807513054
ELLERBECK CONSTANCE	3816 MOUNTAIN WATERS ST LAS VEGAS NV	13807516005
ELSHAAL FAYEZ	3904 COPPERHEAD HILLS ST LAS VEGAS NV	13807513001
EMBREY BRADLEY J REV LIV TR	9116 TERRACE RIDGE CT LAS VEGAS NV	13808113062
EMMONS PAUL E	9109 TEAL LAKE CT LAS VEGAS NV	13808113042
ENGSTROM DAVID & MICHELLE	4021 FLAMING PEAK CT LAS VEGAS NV	13805411066
ERICKSON CLARENCE D JR & SHONNA	9109 DIAMOND RIDGE AVE LAS VEGAS NV	13808113026
ESPINO GINA B	8872 PERFECT DIAMOND CT LAS VEGAS NV	13808114002
EVERETT THOMAS R & GWENDOLYN	3905 COPPERHEAD HILLS ST LAS VEGAS NV	13807513042
FAIRCHILD SEPARATE PROPERTY TR	3916 CAMRYN HOLLY ST LAS VEGAS NV	13807517027
FANNIN STEVEN D & DEBORAH A	3916 COPPER GLEN ST LAS VEGAS NV	13807513036
FENTON JUSTIN M	3812 MOUNTAIN WATERS ST LAS VEGAS NV	13807516004
FINCHER MANTON L & SANDRA Z	4021 EVEREST ST LAS VEGAS NV	13805411061
FIORILLO RALPH J & FANNIE LIV TR	3809 DIAMOND RIDGE ST LAS VEGAS NV	13808113037
FLANEL DENNIS R & DONNA M FAM TR	4020 FREEL PEAK CT LAS VEGAS NV	13805411081
FLORES SHAWN & TERESA	8825 HAMPTON GREEN AVE LAS VEGAS NV	13807513022
FLUELLEN EDWARD E & AUDREY	9112 TEAL LAKE CT LAS VEGAS NV	13808113048

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FORTE CAROL	1764 CLEAR RIVER FALLS LN HENDERSON NV	13807516011
FOX FAMILY TRUST	1455 OAKDALE ST PASADENA CA	13808114031
FRANKFURTER JOHN & GRACE	4013 N CHIEFTAIN ST LAS VEGAS NV	13806803009
FREDERICK FAMILY LIV REV TR AGMT	4010 EVEREST ST LAS VEGAS NV	13805411062
FRESQUEZ THOMAS B	P O BOX 1307 SAN PEDRO CA	13805411098
FRY JUDY ANN & STEVE LEROY	3936 CAMRYN HOLLY ST LAS VEGAS NV	13807517022
GACETA ALBERTO B & ROWENA T	9109 TERRACE RIDGE CT LAS VEGAS NV	13808113057
GALLIMORE JAMES V & V B FAM TR	9121 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113072
GAMBOA JORGE L & ADRIANA	9340 COPPER BAY AVE LAS VEGAS NV	13807513018
GARCIA BRENDA L & EDUARDO	4000 MOUNTAIN TREK ST LAS VEGAS NV	13805411044
GARDINER BRUCE R & NICKI A	4009 HIGHLAND CASTLE CT LAS VEGAS NV	13805410039
GARRISON FRANK E & ELIZABETH M	4021 RUBICON PEAK CT LAS VEGAS NV	13805411082
GASPAR ARNEL V	4020 RUBICON PEAK CT LAS VEGAS NV	13805411089
GASS WILLIAM R & NANCY H FAM TR	4065 N CHIEFTAIN ST LAS VEGAS NV	13806803005
GAVISH IDDO & SHERI	4012 RUBICON PEAK CT LAS VEGAS NV	13805411087
GIBSON WENDY R & DONALD	3852 MOUNTAIN WATERS ST LAS VEGAS NV	13807516013
GIORDANO FAMILY TRUST	3709 MAVERICK ST LAS VEGAS NV	13807513015
GLADDEN KIMBERLY D	3924 COPPER GLEN ST LAS VEGAS NV	13807513034
GLOSSBRENNER CAROL	9120 TERRACE RIDGE CT LAS VEGAS NV	13808113061
GOBER EDWARD FRANCIS JR & SANDRA	5206 BROADWAY #2110 GARLAND TX	13808114020
GOMEZ JULIO	3924 COPPERHEAD HILLS ST LAS VEGAS NV	13807513055
GONZALES JOE E & ENRIQUETA C	9336 COPPER VILLA CT LAS VEGAS NV	13807513027
GONZALES ROSARIO A	9413 CITRUS VINE CT LAS VEGAS NV	13807517014
GOODRICH FAMILY TRUST	1635 BUSHGROVE CT WESTLAKE VILLAGE CA	13808113013
GORDON CHERYLL A & THOMAS S	9116 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113005
GORDON JAMES P	9108 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411101
GORRELL FRANK D & CYNTHIA D	3933 COPPERHEAD HILLS ST LAS VEGAS NV	13807513049
GRAHAM VIDA	4009 ANTIQUE STERLING CT LAS VEGAS NV	13805410029
GREEN MARK A	P O BOX 34390 LAS VEGAS NV	13807516026
GUNDAYAO DIONISIO A & JOSEPHINE	3916 DIAMOND RIDGE ST LAS VEGAS NV	13808113012
HAISUPA APICHAI	4104 RUBICON PEAK CT LAS VEGAS NV	13805411025
HARDIN FAMILY TRUST	201 W CHEYENNE AVE NO LAS VEGAS NV	13806803004

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
HARDIN TASS C & LOIS REV FAM TR	4095 N CHIEFTAIN ST LAS VEGAS NV	13806803003
HARKRADER THOMAS A & LISA ANN	9005 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411046
HARRINGTON WILLIAM P & MARIE C	4100 MOUNTAIN TREK ST LAS VEGAS NV	13805411038
HASSING DAVE	4013 FLAMING PEAK CT LAS VEGAS NV	13805411068
HAYCOCK JOHN RUSSELL & SILVIA	1077 YORKSHIRE PL DANVILLE CA	13806803008
HAYDEN LINDA L REVOCABLE LIV TR	9413 MOON SPLASH CT LAS VEGAS NV	13807517006
HAZAL RICKEY L & ROBIN S	3937 COPPERHEAD HILLS ST LAS VEGAS NV	13807513050
HENSON ELISA L & EDIZON B	9100 TERRACE RIDGE ST LAS VEGAS NV	13808113066
HERNANDEZ EUGENE M SR & LIA D	9108 TEAL LAKE CT LAS VEGAS NV	13808113049
HIBBERT ALFREDO A & COLLEEN R	9120 TEAL LAKE CT LAS VEGAS NV	13808113046
HILLEGASS SCOTT M	4105 FREEL PEAK CT LAS VEGAS NV	13805411010
HOBBS VINCENT & SAMANTHA	8912 PERFECT DIAMOND CT LAS VEGAS NV	13808114012
HOLEFIELD TYRONE & ELONDA R	9336 COPPER BAY AVE LAS VEGAS NV	13807513019
HOON JAMES W & SUSAN L	9124 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113003
HOUSTON TRUST	3900 DIAMOND RIDGE ST LAS VEGAS NV	13808113016
HOWELL ROBERT M	3904 DIAMOND RIDGE ST LAS VEGAS NV	13808113015
HUGHES DONALD R & NINA D	4009 FLAMING PEAK CT LAS VEGAS NV	13805411069
HUGHES LYNN E JR & DESIREE R S	4105 MOUNTAIN TREK ST LAS VEGAS NV	13805411026
HUTCHINGS WILLIAM B JR & APRIL M	9112 FROSTY MORNING AVE LAS VEGAS NV	13805411007
HYMAN IRWIN S	16001 VENTURA BLVD #200 ENCINO CA	13807516017
IRLANDEZ ALBERT A & ANGELITA N	9112 TERRACE RIDGE ST LAS VEGAS NV	13808113063
JAKOPEC CARL T	4033 HIGHLAND CASTLE CT LAS VEGAS NV	13805410036
JAMESON GERALD D & TERIL	9365 VILLA TUSCANY AVE LAS VEGAS NV	13807516019
JOHNS-CHANDLER HAZEL	3825 DIAMOND RIDGE ST LAS VEGAS NV	13808113052
JOHNSON PATRICIA M	3913 DIAMOND RIDGE ST LAS VEGAS NV	13808113067
JONES ROBERT E & DIANE F	9132 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113001
JOSS NORMAN & EDITH	4008 FREEL PEAK CT LAS VEGAS NV	13805411078
JOY ELIA D	8868 PERFECT DIAMOND CT LAS VEGAS NV	13808114001
JUAREZ TERESA & LUIS NAJERA	8920 PERFECT DIAMOND CT LAS VEGAS NV	13808114014
KAH MICHAEL A JR	3936 COPPERHEAD HILLS ST LAS VEGAS NV	13807513052
KASTNER DOUGLAS G & SUSAN M	9404 FOX FOREST AVE LAS VEGAS NV	13807517031
KEARNS CLIFFORD LEE	9108 TERRACE RIDGE CT LAS VEGAS NV	13808113064

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KECMAN MOMCILO & JELA	9129 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113074
KELLER ELIZABETH	3916 JAVANA CT LAS VEGAS NV	13808115042
KELSHAW BRIAN K & ARLENE J	9116 GHOST MTN AVE LAS VEGAS NV	13805411103
KENNER E PEGGY	3816 DIAMOND RIDGE ST LAS VEGAS NV	13808113076
KIERMAS MICHAEL T REV LIV TR	P O BOX 33224 LAS VEGAS NV	13807513035
KIERMAS MICHAEL T REV LIV TR	P O BOX 33224 LAS VEGAS NV	13807513032
KIMOTO REID M & ARLA DAWN S	4018 EVEREST ST LAS VEGAS NV	13805411064
KNESEL ANTHONY L	3844 MOUNTAIN WATERS ST LAS VEGAS NV	13807516012
KNIGHT JOSEPH D	9112 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113006
KNOX JENNIFER M	9349 COPPER VILLA CT LAS VEGAS NV	13807513023
KOLTNOW PATRICIA & BARRY	14159 DICKENS ST #207 SHERMAN OAKS CA	13807513033
KRASSNER EVA LIVING TRUST	8925 PERFECT DIAMOND CT LAS VEGAS NV	13808114018
KRAUSE-LAMBERMONT REV LIV TR	%L KRAUSE-LAMBERMONT P O BOX 35617 LAS VEGAS NV	13805411063
KRIEGER LLOYD & ARLENE	9117 DIAMOND LAKE AVE LAS VEGAS NV	13808113027
KWOK KI CHEONG	3901 COPPERHEAD HILLS ST LAS VEGAS NV	13807513041
LAND STEVEN K & CONNIE	3924 DIAMOND RIDGE ST LAS VEGAS NV	13808113010
LANDAZ PAUL S	8909 PERFECT DIAMOND CT LAS VEGAS NV	13808114022
LARKINS THEODORE S & AVELINA	3808 DIAMOND RIDGE ST LAS VEGAS NV	13808113078
LEE JAMES CHAN-HSIN & YU YUEN	9348 COPPER VILLA CT LAS VEGAS NV	13807513024
LEE YOUNG H & GRACE D	9317 COPPER BAY AVE LAS VEGAS NV	13807513007
LEEK JAMES JAY & BONITA ANN	3908 DIAMOND RIDGE ST LAS VEGAS NV	13808113014
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810003
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810009
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810006
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810008
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810007
LEGACY MAKERS L L C	1242 JESSIE RD HENDERSON NV	13806810001
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810004
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810002
LEGACY MAKERS L L C	12442 JESSIE RD HENDERSON NV	13806810005
LIANG HOWARD C H & JENNIFER N Y	4032 ANTIQUE STERLING CT LAS VEGAS NV	13805410035
LIESCHER IRINA	8888 PERFECT DIAMOND CT LAS VEGAS NV	13808114006

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Owner	Address	Parcel Number
LILLY LORRAINE	3804 MOUNTAIN WATERS ST LAS VEGAS NV	13807516002
LINTON S L & INEZ	9117 TERRACE RIDGE CT LAS VEGAS NV	13808113059
LIZAK CHESTER J & MELODY L	11332 PINE ST LOS ALAMITOS CA	13808114029
LOMBARDO RANDALL	8913 PERFECT DIAMOND CT LAS VEGAS NV	13808114021
LOVEJOY JOHN	9133 FUSION DR LAS VEGAS NV	13808115039
LUKER KERSTIN	4650 S STRATTON SALT LAKE CITY UT	13807516023
LUMANOG JOSIE L	9128 DIAMOND LAKE AVE LAS VEGAS NV	13808113031
LUTZ MELANIE D	3733 BOBWHITE TERR FREMONT CA	13808115040
LYN-DAN INVESTMENTS L P	1132 SEA REEF DR SAN DIEGO CA	13807517012
MABIN EDWARD W & DARLIS M	4016 MOUTAIN TREK ST LAS VEGAS NV	13805411040
MACIAS CESAR F	9361 VILLA TUSCANY AVE LAS VEGAS NV	13807516020
MAGUIRE KELLY J & KATHRYN L	4022 EVEREST ST LAS VEGAS NV	13805411065
MAI EN M	9104 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113008
MALLARI JOWIE	9305 COPPER BAY AVE LAS VEGAS NV	13807513004
MALY EVA	9112 DIAMOND LAKE AVE LAS VEGAS NV	13808113035
MARISCAL SANTOS & MARIA	3824 MOUNTAIN WATERS ST LAS VEGAS NV	13807516007
MARTIN KAREN M	9364 WILLOW MEADOW CT LAS VEGAS NV	13807516024
MARTINO VITO A & CARMELA	9117 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113071
MASEK RICHARD A	3921 COPPERHEAD HILLS ST LAS VEGAS NV	13807513046
MASSNER KEITH E & BRENDA E	9116 TEAL LAKE CT LAS VEGAS NV	13808113047
MCBADE MICHAEL J	4009 MOUNTAIN TREK ST LAS VEGAS NV	13805411093
MCCOWIN DORAIN D & CAROL	9113 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113070
MCCULLOUGH CHARLES W & GAYLE B	3916 WHITE CASTLE ST LAS VEGAS NV	13808112029
MCDONALD CINDY	9357 WILLOW MEADOW CT LAS VEGAS NV	13807516027
MCGANNON MARK & LESLIE	9021 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411050
MCINTYRE ROBERT BRUCE & LISA M	9100 TEAL LAKE CT LAS VEGAS NV	13808113051
MCLAUGHLIN FAMILY TRUST	4012 FREEL PEAK CT LAS VEGAS NV	13805411079
MERKES STEVEN M & MARIA	9113 FUSION DR LAS VEGAS NV	13808115034
MERSERVEY CHRIS S & JULIE G	4012 FLAMING PEAK CT LAS VEGAS NV	13805411071
MEYER ALAN R & MICHELE D	9104 FROSTY MORNING AVE LAS VEGAS NV	13805411009
MILLER JOHN E & CATHY L	3900 COPPER GLEN ST LAS VEGAS NV	13807513040
MILLER TEDD & CHERI	3925 WHITE CASTLE ST LAS VEGAS NV	13808112004

Report of All Selected Parcels

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Owner	Address	Parcel Number
MOHLENHOFF KRISTIE L & DANIEL G	3820 DIAMOND RIDGE ST LAS VEGAS NV	13808113018
MOJICA MAURO C REVOCABLE TRUST	4017 ANTIQUE STERLING CT LAS VEGAS NV	13805410028
MOLINA AMBER	7370 FULTON ST SAN DIEGO CA	13808115036
MOLINA JESSE	620 KIRT RIGHT ST SAN DIEGO CA	13808115035
MOLINA JESUS A	620 KIRTRIGHT ST SAN DIEGO CA	13808115037
MOLINA JESUS A	620 KIRTRIGHT ST SAN DIEGO CA	13808115038
MOLINA JESUS A	620 KIRTRIGHT ST SAN DIEGO CA	13808115041
MONTIEL JOSE	8928 PERFECT DIAMOND CT LAS VEGAS NV	13808114016
MONTOYA JAMES T & CAMILLE M	3512 JEWEL NIGHT LAS VEGAS NV	13805411077
MORTENSEN PETER C	8916 PERFECT DIAMOND CT LAS VEGAS NV	13808114013
MOYER DENNIS B & RHONDA J	4020 FLAMING PEAK CT LAS VEGAS NV	13805411073
MUKHERJEE BASUDEB & NANDITA	605 DEVON HALL RD #202 LAS VEGAS NV	13807516003
MURPHY FRANCES	9128 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113002
MURPHY RAYMOND J & CHERYL A	3941 COPPERHEAD HILLS ST LAS VEGAS NV	13807513051
NAKANISHI JIRO	8896 PERFECT DIAMOND CT LAS VEGAS NV	13808114008
NARA KIRK T & MARY M	9009 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411047
NIKOLAYEVA OKSANA	3921 DIAMOND RIDGE ST LAS VEGAS NV	13808113069
OLSON BOB L	9104 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411100
P & P SPENDTHRIFT TRUST	4008 HIGHLAND CASTLE CT LAS VEGAS NV	13805410042
PATCHIN FAMILY TRUST	4017 HIGHLAND CASTLE CT LAS VEGAS NV	13805410038
PATTERSON ROBERT D & CHARISSE M	4013 MOUNTAIN TREK ST LAS VEGAS NV	13805411092
PEPITONE MICHAEL J REVOCABLE TR	4117 ANTIQUE STERLING CT LAS VEGAS NV	13805410022
PERNELL AARON LEE	9132 BAYSINGER LAS VEGAS NV	13808113073
PETERSON ERIC T & CATHERINE L	9121 DIAMOND LAKE AVE LAS VEGAS NV	13808113028
PETRILLO VINCENT & SHEILA	4021 FREEL PEAK CT LAS VEGAS NV	13805411074
PETRONI R L QUAL PERS RES TR	3905 DIAMOND RIDGE ST LAS VEGAS NV	13808113054
PETTUS JAMES	P O BOX 570308 LAS VEGAS NV	13807513059
PHANTHAVADY SILOM & PHET	3456 CONOUGH LN LAS VEGAS NV	13807517003
PITEGOFF JEFFREY I & DONA R	9121 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411056
POLL FAMILY TRUST	3820 THOM BLVD LAS VEGAS NV	13808114007
POPP STEPHEN R & K C FAM TR	4017 FREEL PEAK CT LAS VEGAS NV	13805411075
PURSELL DONALD D	4008 MOUNTAIN TREK ST LAS VEGAS NV	13805411042

Report of All Selected Parcels

Case Number: ROC-18341

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Owner	Address	Parcel Number
RADUZINER LEE BRADY	9412 MOONSPASH CT LAS VEGAS NV	13807517011
RANDOLPH JAMES E & T REV LIV TR	4008 ANTIQUE STERLING CT LAS VEGAS NV	13805410032
RASBERRY CHARLES & BOBBIE JEAN	3913 WHITE CASTLE ST LAS VEGAS NV	13808112007
RAU TRACY M	3920 DIAMOND RIDGE ST LAS VEGAS NV	13808113011
RAYOL DANIEL S	6 CHATMOSS HENDERSON NV	13805410024
REMHOFF RICHARD A & KATHLEEN G	4100 ANTIQUE STERLING CT LAS VEGAS NV	13805410017
RESENDES FAMILY LIVING TRUST	13 GRAY OAKS DR EAST FREETOWN MA	13807517021
RICE ZACHARY & JENNIFER	9113 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411054
RINCON TEODULO & TERESA	9325 COPPER BAY AVE LAS VEGAS NV	13807513009
RIVERA GUILLERMO M & IRMA T	3936 COPPER GLEN ST LAS VEGAS NV	13807513031
ROCHA FEDERICO & RUBY	1346 SOMERSET DR SAN DIMAS CA	13807513038
RODRIGUEZ HOWARD	111 W LINDEN AVE BURBANK CA	13807516021
RODRIGUEZ MARIO E JR	4104 FREEL PEAK CT LAS VEGAS NV	13805411017
ROJO MARGARITA C	3920 CAMRYN HOLLY ST LAS VEGAS NV	13807517026
ROMAN RICARDO	9344 COPPER VILLA CT LAS VEGAS NV	13807513025
ROSE ROBIN L	8884 PERFECT DIAMOND CT LAS VEGAS NV	13808114005
ROSSER JANAVEE	9313 COPPER BAY AVE LAS VEGAS NV	13807513006
ROYALTY PROPERTY INVEST L L C	%D REYES 2838 MONTE CRESTA WY SAN JOSE CA	13807517005
RUBY FAMILY REVOCABLE LIVING TR	4001 HIGHLAND CASTLE CT LAS VEGAS NV	13805410040
RUPISAN VICTOR F REV LIV TR	9101 TERRACE RIDGE CT LAS VEGAS NV	13808113055
S A W L L C	3801 N CAMPBELL LAS VEGAS NV	13808101030
S A W L L C	%BERLINER 434 WEDGEWOOD DR HENDERSON NV	13808101021
SALDANA NOEL & DEBORAH	8828 STORM CLOUD AVE LAS VEGAS NV	13808112003
SAMPLE JOHN E	9348 COPPER BAY AVE LAS VEGAS NV	13807513016
SANDERS VICKIE	3817 DIAMOND RIDGE ST LAS VEGAS NV	13808113039
SAULOG FRANCISCO & FLORA	8924 PERFECT DIAMOND CT LAS VEGAS NV	13808114015
SCAGGS MARK E	24655 BLACKHAWK DR CHANNAHON IL	13808114033
SCARLETT WM TRENT & KARI	4024 ANTIQUE STERLING CT LAS VEGAS NV	13805410034
SCHAEERER STEPHEN D	8908 PERFECT DIAMOND CT LAS VEGAS NV	13808114011
SCHLAGETER JOSEPH C & R M FAM TR	6457 W BROOKS AVE LAS VEGAS NV	13806803010
SCHLIEP DIXIE LEE REVOCABLE TR	9012 GHOST MOUNTAIN LAS VEGAS NV	13805411096
SCHWARTZ FAMILY TRUST	715 S GOLDFINCH WY ANAHEIM HILLS CA	13808113044

Report of All Selected Parcels

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Owner	Address	Parcel Number
SCHWARTZ RON M & BRENDA L	4017 FLAMING PEAK CT LAS VEGAS NV	13805411067
SENH KHY SAU & QUANG CHUNG N	3693 FRANK DEREK AVE LAS VEGAS NV	13806801004
SGROI FRANK J & KAREN R	3905 WHITE CASTLE ST LAS VEGAS NV	13808112009
SIMMONS RONALD & VICKI	9100 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411099
SIMON DERAY & LINDA	9133 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113075
SLAUZIS DEBORAH A	3917 DIAMOND RIDGE ST LAS VEGAS NV	13808113068
SLAWSON ERIC J	3917 COPPERHEAD HILLS ST LAS VEGAS NV	13807513045
SMITH BRIAN STEPHEN & ANITA KAY	9344 COPPER BAY AVE LAS VEGAS NV	13807513017
SMITH DANIEL E	4105 EVEREST ST LAS VEGAS NV	13805411003
SMITH DARRICK & KIMBERLY	9408 CITRUS VINE CT LAS VEGAS NV	13807517019
SMITH KELLEY D FAMILY TRUST	10650 ALPINE FROST CT LAS VEGAS NV	13807517009
SMITH ROY VAN & ARNEVA D	9116 DIAMOND LAKE AVE LAS VEGAS NV	13808113034
SOARES STEVEN D & VICTORIA	4013 EVEREST ST LAS VEGAS NV	13805411059
SOCHA JOHN R & ALLISON H	4021 MOUNTAIN TREK ST LAS VEGAS NV	13805411090
SOMMERFELD JERALD J	3937 COPPER GLEN ST LAS VEGAS NV	13807513028
STACK GREGORY G & CARMELA DEE	9120 SAPPHIRE RIDGE AVE LAS VEGAS NV	13808113004
STAFFORD JEFFREY D & KELLY M	4016 FREEL PEAK CT LAS VEGAS NV	13805411080
STEMMLER WILLIAM A & LEONA KAY	9004 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411094
STEPHENS KYLE O	4004 MOUNTAIN TREK ST LAS VEGAS NV	13805411043
STEPHENS MARY A SEP PPTY REV TR	757 PASEO GRANADA LAKE HAVASU CITY AZ	13807513002
STOCKWELL JOHN W	4000 HIGHLAND CASTLE CT LAS VEGAS NV	13805410041
STOEKE SHANE & RITA	4017 MOUNTAIN TREK ST LAS VEGAS NV	13805411091
STRINGFELLOW PICCIANI	9108 DIAMOND LAKE AVE LAS VEGAS NV	13808113036
STROUSE RICHARD F JR & CHRISTINE	3920 COPPERHEAD HILLS ST LAS VEGAS NV	13807513056
STURIM BECKY	3925 COPPERHEAD HILLS ST LAS VEGAS NV	13807513047
SUMMERS STEVE & JEAN H	9101 TEAL LAKE CT LAS VEGAS NV	13808113040
SWAN-CLARK JEAN CAROL	4041 ANTIQUE STERLING CT LAS VEGAS NV	13805410025
SWARTS MARK A	9008 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411095
TABACHNIKOV KARIN ROSA A & PAUL	1516 ESPLANADE #305 REDONDO BEACH CA	13807513058
TALavera JOSE G & LIDIA	3912 CAMRYN HOLLY ST LAS VEGAS NV	13807517028
THIEME JOSEPH T & CHERYL A	8816 STORM CLOUD AVE LAS VEGAS NV	13808111001
TINSEY JOHN	9341 COPPER BAY AVE LAS VEGAS NV	13807513013

Report of All Selected Parcels

Case Number: ROC-18341

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Owner	Address	Parcel Number
TOBERMAN JOHN & ANA MARIA FAM TR	9101 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411051
TOBLER GARY	8317 EMERALD ISLE AVE LAS VEGAS NV	13807513014
TRAJMAR PETER	5626 SWEIGERT RD SAN JOSE CA	13807513043
TREJO ANNEL G	9409 CITRUS VINE CT LAS VEGAS NV	13807517013
TURNER FREDERICK C III & CINDY L	3941 COPPER GLEN ST LAS VEGAS NV	13807513029
TURONIE VICKY J	8889 PERFECT DIAMOND CT LAS VEGAS NV	13808114027
UGALE CHITA C & ALFRED S	3917 WHITE CASTLE ST LAS VEGAS NV	13808112006
USA	WASHINGTON DC	13807501012
USA	WASHINGTON DC	13806801011
USA	WASHINGTON DC	13808101037
VALINOTI ALBERT & GAIL	8824 STORM CLOUD AVE LAS VEGAS NV	13808112002
VERBIL ANDREW D & LYDIA K	4025 HIGHLAND CASTLE CT LAS VEGAS NV	13805410037
VIDAURES MARGARITA	9416 FOX FOREST AVE LAS VEGAS NV	13807517002
VILLALOBOS ANTONIO & LUCY	9104 TEAL LAKE CT LAS VEGAS NV	13808113050
VITIELLO FAMILY TRUST	9016 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411097
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115019
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115030
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116016
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116020
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116021
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115020
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115022
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115023
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115024
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115025
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115026
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115027
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115028
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116015
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115029
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115021
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115031

Report of All Selected Parcels

Case Number: ROC-18341

Printed On: Mon: December 11, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115032
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115033
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116003
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116004
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116018
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115053
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115005
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115008
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115011
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115014
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116002
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116007
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115052
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115057
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115001
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115006
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115007
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115012
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116017
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116014
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116019
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115056
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116001
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115002
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808115013
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116008
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116006
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116009
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116005
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116010
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116011
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116012

Report of All Selected Parcels

Case Number: ROC-18341

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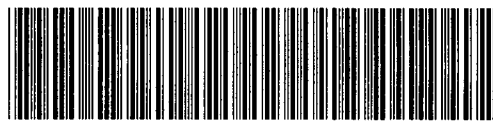
Owner	Address	Parcel Number
WAGNER HOMES INC	%P WAGNER IV 6985 W SAHARA #201 LAS VEGAS NV	13808116013
WALSER WERNER P	9129 DIAMOND LAKE AVE LAS VEGAS NV	13808113030
WARD ALTON S & TERESA	9417 CITRUS VINE CT LAS VEGAS NV	13807517015
WARD DERRICK	9109 GHOST MOUNTAIN AVE LAS VEGAS NV	13805411053
WEBER ANDREW K & CYNTHIA MARIE	9108 FROSTY MORNING AVE LAS VEGAS NV	13805411008
WERNER CHAD D & ISELA A	9348 VILLA TUSCANY AVE LAS VEGAS NV	13807516014
WEST JOHN C & BRENNIA	4020 MOUNTAIN TREK ST LAS VEGAS NV	13805411039
WHITE JAMES T II & KAREN L	4105 RUBICON PEAK CT LAS VEGAS NV	13805411018
WILCUT LISA K & DAVID A	3944 CAMRYN HOLLY ST LAS VEGAS NV	13807517020
WILLIAMS MICHELE R	8820 STORM CLOUD AVE LAS VEGAS NV	13808112001
WILSON LARRY D & RUTH E	3813 DIAMOND RIDGE ST LAS VEGAS NV	13808113038
WINN STEVEN & KELLY RUSSO	4016 RUBICON PEAK CT LAS VEGAS NV	13805411088
WOLF JASON & TAWNIE	4012 MOUNTAIN TREK ST LAS VEGAS NV	13805411041
WOMACK KAREN L	8885 PERFECT DIAMOND CT LAS VEGAS NV	13808114028
YANOS RUDY V & MARY ANNE	9120 DIAMOND LAKE AVE LAS VEGAS NV	13808113033
YU HANS	3912 WHITE CASTLE ST LAS VEGAS NV	13808112028
ZAFIRATOS THOMAS E & LUCY ANN	4109 ANTIQUE STERLING CT LAS VEGAS NV	13805410023
ZANA BRIAN & HEATHER	3901 DIAMOND RIDGE ST LAS VEGAS NV	13808113053

SOFI



Separator Sheet

Legal Description



LEGAL DESCRIPTION

Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: RDC-18341 APN: 138-08-116-020 & 021

Name of Property Owner: Wagner Homes Inc

Name of Applicant: Wagner Homes

Name of Representative: Stephani Allen

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

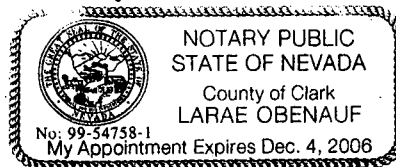
Signature of Property Owner:

Print Name:

Subscribed and sworn before me

This 2nd day of November, 2006

Lafae Chenuf
Notary Public in and for said County and State



Justification Letter



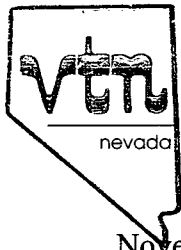
JUSTIFICATION LETTER

Separator Sheet

Application



Separator Sheet



CONSULTING ENGINEERS • PLANNERS • SURVEYORS

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SERVICES SINCE 1960

November 27, 2006
WO# 6194

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, NV 89101

DAY DAWN FUSION:
RE: Justification for a Variance & Review of Conditions

Planning Department,

On behalf of our client, Nevada Homes Group, VTN Nevada respectfully submits this letter and application for a Review of Condition and a Variance. Our client is requesting relief from condition # 11 of SDR-2418, stipulating in part, that perimeter walls shall not exceed eight feet in height. Amending this condition to permit a greater wall height would necessitate relief of Chapter 19.08.040 of Title 19, limiting wall height to eight feet.

The applicant is only requesting this relief for approximately 1,300 feet along Alexander Road. Basically, the request is restricted from the vicinity of the entry street east to Campbell Road

The applicant is proposing to build an enhanced, visually superior oriental themed wall that uses contrasting materials, color, as well as surface relief to provide visual relief of a monotonous wall that is typically so pervasive in the area.

The wall is currently designed in two sections that include a combination retaining/screen wall and an off-set, low retaining wall. The combined height of this wall section is 12.4 feet $\pm$. The applicant proposes to build an enhanced single wall approximately 13.9 feet $\pm$ in height in the aforementioned area. The grading of the landscape easement will reduce the total wall height by 1-foot.

The applicant believes the substantial cost of single, enhanced perimeter wall that enhances the visual theme justifies this request. Thank you for your consideration in this matter.

Sincerely,

VTN Nevada


Jeffrey Armstrong
Senior Planner

Attachments

2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148
TEL. (702) 873-7550 FAX: 362-2597

ROC-18341

01-03-07 CC

Application



A P P L I C A T I O N

Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: REVIEW OF CONDITIONS
 Project Address (Location) ALEXANDER & FORT APACHE ROAD
 Project Name DAYDAWN FUSION Proposed Use RESIDENTIAL
 Assessor's Parcel #(s) 138-08-116-020 & 021 Ward # 6
 General Plan: existing L proposed L Zoning: existing RPD-5 proposed RPD-5
 Commercial Square Footage N/A Floor Area Ratio N/A
 Gross Acres Lots/Units N/A Density N/A
 Additional Information SDR-2418

PROPERTY OWNER WAGNER HOME INC., Contact PAUL WAGNER
 Address 6985 W. SAHARA # 201 Phone: 220-6200 Fax: 257-7715
 City LAS VEGAS State NEVADA Zip 89117

APPLICANT WAGNER HOMES Contact PAUL WAGNER
 Address 6985 W. SAHARA # 201 Phone: 220-6200 Fax: 257-7715
 City LAS VEGAS State NEVADA Zip 89117

REPRESENTATIVE VTN-NEVADA Contact JEFFREY ARMSTRONG
 Address 2727 SOUTH RAINBOW BOULEVARD Phone: 253-2431 Fax: 362-2597
 City LAS VEGAS State NEVADA Zip 89146

Property Owner Signature* [Signature]
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

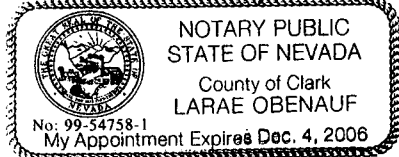
Print Name Paul Wagner

Subscribed and sworn before me

This 22nd day of November, 2006

Larae Obenauf

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>REC-18341</u>
Meeting Date	<u>1/03/07</u>
Total Fee:	<u>600</u>
Date Received:	<u>11-22-06</u>
Received By:	<u>J.S</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Hansen Sheet



Separator Sheet

Report Date 11/29/2006 10:01 AM

Submitted By

Page 1

A/P # 18341 REVIEW OF CONDITION

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	11/28/2006 13:04	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

ROC-18341 - REVIEW OF CONDITION - PUBLIC HEARING - APPLICANT/OWNER: WAGNER HOMES, INC. - Request for a Review of Condition Number 11 of an approved Site Development Plan Review (SDR-2418) TO ALLOW ALL PERIMETER WALLS, INCLUDING A COMBINATION OF RETAINING AND SCREEN WALLS, SHALL NOT EXCEED 13.9 FEET IN HEIGHT, MEASURED FROM THE BASE OF THE RETAINING WALL, WITHOUT APPROPRIATE SETBACKS WHERE 8 FEET WAS REQUIRED for an approved residential subdivision on 10.80 acres adjacent to the southeast corner of Alexander Road and Fort Apache Road (APN 138-08-116-020 and 021) R-PD5 (Residential Planned Development - 5 Units Per Acre) Zone, Ward 4 (Brown).

Parent A/P #	2418	Project/Phase Name	DAY DAWN FUSION	Phase #	
Project #	18341	Size Description		Subdivision Code	
Size/Area	0.00	Proposed Start		% Completed	0.00
Proposed Stop					
% Complete Formula					

Property/Site Information

Parcel 13808116020

Location

Owner/Tenant

Contact ID AC1128968	Name	WAGNER HOMES INC	Organization	
Mailing Address 6985 W SAHARA #201			State/Province NV	
City LAS VEGAS			Country	☐ Foreign
ZIP/PC 89146			Evening Phone(702)257-7715 x	
Day Phone(702)220-6200 x			Mobile #	
Fax				

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

3949 BORA BORA ST
LAS VEGAS, 89129-

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13808116020
13808116021

Applicants/Contacts

Report Date 11/29/2006 10:01 AM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1128968 ☐ Foreign
Effective Expire
Name WAGNER HOMES INC
Day Phone (702)220-6200 x Eve Phone (702)257-7715 x Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 6985 W SAHARA #201
LAS VEGAS, NV 89146
Seasonal Addr
Valid From To
Comments
No Comments

Primary Y Capacity APPL Contact ID AC428335 ☐ Foreign
Effective Expire
Name VTN NEVADA
Day Phone (702)873-7550 x Eve Phone Organization
Pager PIN # Position
Fax (702)362-2597 Mobile Profession
E-Mail
Address 2727 S RAINBOW BLVD
LAS VEGAS, NV 89146-5148
Seasonal Addr
Valid From To
Comments
jeff armstrong

Contractors

No Contractors

Activity Review Details

Detail SUBMITTAL CHECKLIST (ROC) Modified By FSOLIS Modified Date/Time 11/28/2006 13:04
Comments
No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Application/Petition Form	Y Floor Plan (1 Folded, 1 Rolled)
Y Justification Letter	Y Laser Print Site Plan
Y Site Plan (17 Folded Blue Lines, 1 Rolled Color)	Y Laser Print Floor Plan
Y Landscape Plan	Y Laser Print Elevation
Y Building Elevations (1 Folded, 1 Rolled Colored)	Y Statement of Financial Interest
Y Copy of Approval Letter	

Report Date 11/29/2006 10:01 AM

Submitted By

Page 3

REVIEW OF CONDITION

Will this go to City Council? Will this go DIRECTLY to City Council? Final City Council letter received
Parent Application Type^{SDR} Annotated minutes received
Parent Project #2418 Is there a condition of approval for a Required Review?
Hearing Type If yes, when does it need to be reviewed?
Public, Non-Public, Admin^{PUBLIC}

Meeting Information

Meeting Information		Meeting Information		Meeting Information		Meeting Information		Meeting Information	
Meeting Date	Meeting Type	Meeting Status	Meeting Date	Meeting Type	Meeting Status	Meeting Date	Meeting Type	Meeting Status	Meeting Date
Comments	Add Date	Modified By	Modified Date	Comments	Add Date	Modified By	Modified Date	Comments	Add Date
Added By				YES Votes	NO Votes	ABSTENTIONS			
01/03/2007	CC	SCHEDULED		0	0	0			
FSOLIS	11/28/2006	BSTICKA	11/28/2006						

Template Type A/P # A/P Type Status Stage

No children exist for this project

Employee Employee ID Last First MI Comments

No Employee Entries

Log Action Description Entered By Start Stop Hours

PAYMNT CK NAME,# WHO PICKED UP PERMIT 984018 11/28/2006 13:18 0.00
Jeffrey Armstrong, Wagner Homes Inc ck #011318 \$900 & Jeffrey & Luisa Armstrong ck #2111 \$300, 251-8468

Project Checklist



Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes
Item Required				
YES	NO			
APPLICATION				
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)		File By 11/28 MEETING 1/11/07
☒	☐	Grant deed and legal description		
☒	☐	<i>Detailed</i> justification letter		
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations		
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations		
☒	☐	Correct fee(s): \$300 \$300 \$ Total = \$ 600.00		
☒	☐	Statement of Financial Interest		
☐	☒	Development Impact Notice and Assessment (DINA)		
☐	☒	Project of Regional Significance		
SITE PLAN Folded Plans: 17 Rolled/Colored Plans: 1				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	<i>All</i> property lines and present dimensions labeled		
☒	☐	<i>All</i> building setbacks labeled		
☒	☐	<i>All</i> adjacent existing land uses and street names labeled		
☒	☐	<i>All</i> points of ingress and egress shown		
☐	☒	ADA accessibility requirements shown/labeled		
☐	☒	Parking standard(s) utilized: _____		
☐	☒	Parking space count and typical dimensions labeled		
☐	☒	#regular #compact #handicap Total		
☐	☒	<i>All</i> free-standing sign locations shown and heights and sizes noted		
LANDSCAPE PLAN Folded Plans: 1 Rolled/Colored Plans: 1				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	<i>All</i> property lines and present dimensions labeled		
☒	☐	<i>All</i> required perimeter landscape planters shown		
☒	☐	<i>All</i> required parking lot fingers/islands shown		
☒	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover		
BUILDING ELEVATIONS Folded Plans: 0 Rolled/Colored Plans: 0				
☐	☒	11" x 17" min. to 24" x 36" max. page size		
☐	☒	Scale and building dimensions labeled		
☐	☒	North, south, east, and west elevations of <i>all</i> buildings		
☐	☒	<i>All</i> building materials and colors noted		
☐	☒	8" x 10" photo of original color and material board		
☐	☒	<i>All</i> wall sign locations shown and sizes noted		
FLOOR PLANS Folded Plans: 0 Rolled Plans: 0				
☐	☒	11" x 17" min. to 24" x 36" max. page size		
☐	☒	Scale and building dimensions labeled		
☐	☒	<i>All</i> building entrances/exits shown		
☐	☒	Use of <i>all</i> rooms noted/labeled		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: BRIAN PSIODA Application Type: REVIEW OF COND.
 APN: 139-00-116-017 ETC. Location: FT APACHE/ALEXANDER
 Planner: A. Reel Pre-App Meeting Date: 11/14/06 Earliest PC Date: 1/11/07

Meeting

 Telephone

Conversation Record

Page _____ of _____
Date _____ / _____ / _____
Time _____ : _____ am pm

Project Name

Conversation between CLV Representative(s): _____
and, _____

Name

Company/Department

Phone

FAX

 **see Meeting Attendance Sheet****Comments:**

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

STEPBACKS
ROC-18341 - REVIEW OF CONDITION - PUBLIC HEARING - APPLICANT/OWNER: WAGNER HOMES, INC. - Request for a Review of Condition Number 11 of an approved Site Development Plan Review (SDR-2418) TO ALLOW ALL PERIMETER WALLS, INCLUDING A COMBINATION OF RETAINING AND SCREEN WALLS, SHALL NOT EXCEED 13.9 FEET IN HEIGHT, MEASURED FROM THE BASE OF THE RETAINING WALL, WITHOUT APPROPRIATE SETBACKS WHERE 8 FEET WAS REQUIRED for an approved residential subdivision on 10.80 acres adjacent to the southeast corner of Alexander Road and Fort Apache Road (APN 138-08-116-020 and 021) R-PD5 (Residential Planned Development - 5 Units Per Acre) Zone, Ward 4 (Brown).

***NOTE: THIS IS A DIRECT TO COUNCIL ITEM - COMMENTS ARE DUE WITHIN APPROXIMATELY ONE WEEK**

CITY COUNCIL MEETING: JANUARY 03, 2007

PUBLIC HEARING: NO

CASE PLANNER: BEN STICKA

Comments Due: DECEMBER 15, 2006*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to CAROLE COMBS (ccombs@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



R O U T E F O R M

Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

ROC-18341

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ INTER-OFFICE MAIL/ OR US MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*SID (DPW)	T. McDANIEL	4th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

ROC
12/04/2006

Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

REVIEW OF CONDITION

MEETING: CITY COUNCIL
DATE: JANUARY 3, 2007
TIME: 1:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

ROC-18341

APPLICANT/OWNER: WAGNER HOMES, INC. - REQUEST FOR A REVIEW OF CONDITION NUMBER 11 OF AN APPROVED SITE DEVELOPMENT PLAN REVIEW (SDR-2418) TO REMOVE THE CONDITION THAT REQUIRED ANY PROPERTY LINE WALL SHALL BE A DECORATIVE BLOCK WALL, WITH AT LEAST 20 PERCENT CONTRASTING MATERIALS. WALL HEIGHTS SHALL BE MEASURED FROM THE SIDE OF THE FENCE WITH THE LEAST VERTICAL EXPOSURE ABOVE THE FINISHED GRADE, UNLESS OTHERWISE STIPULATED. ALL PERIMETER WALLS, INCLUDING A COMBINATION OF RETAINING AND SCREEN WALLS, SHALL NOT EXCEED EIGHT FEET IN HEIGHT, MEASURED FROM THE BASE OF THE RETAINING WALL, WITHOUT THE APPROPRIATE STEPBACKS FOR AN APPROVED RESIDENTIAL SUBDIVISION ON 10.80 ACRES ADJACENT TO THE SOUTHEAST CORNER OF ALEXANDER ROAD AND FORT APACHE ROAD (APN 138-08-116-020 AND 021) R-PD5 (RESIDENTIAL PLANNED DEVELOPMENT - 5 UNITS PER ACRE) ZONE, WARD 4 (BROWN), THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE NORTHWEST QUARTER (NW¼) OF SECTION 08, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear and be heard at said meeting, or may, prior thereto, file written objections thereto or approvals thereof with the City Clerk, 1st Floor, City Hall, 400 Stewart Avenue, Las Vegas, Nevada 89101. For further information, please call 229-6301 (TDD 386-9108), <http://www.lasvegasnevada.gov>.



BARBARA JO RONEMUS
CITY CLERK

SEE LOCATION MAP ON REVERSE SIDE



Applicant Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

December 21, 2006

Mr. Paul Wagner
Wagner Home, Inc.
6985 West Sahara Avenue, Suite #201
Las Vegas, Nevada 89117

RE: ROC-18341 - REVIEW OF CONDITION

Dear Applicant:

Please be advised your request, as referred to above, will be considered by the City Council at its regular meeting on **January 3, 2007**. This meeting will be held at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations and any conditions related to your application may be obtained prior to the meeting from the Planning and Development Department, Current Planning Division, at the Development Services Center, 731 South Fourth Street, or you may obtain this information by calling 229-6301.

The City Council requires that you or your representative be present at this meeting.

Sincerely,

M. Margo Wheeler, AICP
Director, Planning and Development Department

MW:cc

Mayor
Oscar B. Goodman

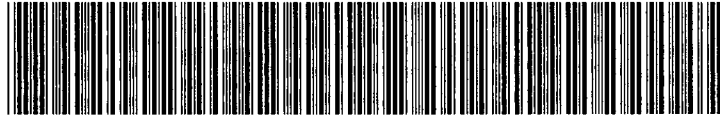
City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

cc: Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146



City Council Action Letter



CITY COUNCIL ACTION LETTER

Separator Sheet



March 1, 2007

Mr. Paul Wagner
Wagner Home, Inc.
6985 West Sahara Avenue, Suite #201
Las Vegas, Nevada 89117

RE: ROC-18341 – REVIEW OF CONDITIONS
CITY COUNCIL MEETING OF FEBRUARY 7, 2007

Dear Ms. Wagner:

The City Council at a regular meeting held February 7, 2007 APPROVED the request for a Review of Condition Number 11 of an approved Site Development Plan Review (SDR-2418) TO REMOVE THE CONDITION THAT REQUIRED ANY PROPERTY LINE WALL SHALL BE A DECORATIVE BLOCK WALL, WITH AT LEAST 20 PERCENT CONTRASTING MATERIALS. WALL HEIGHTS SHALL BE MEASURED FROM THE SIDE OF THE FENCE WITH THE LEAST VERTICAL EXPOSURE ABOVE THE FINISHED GRADE, UNLESS OTHERWISE STIPULATED. ALL PERIMETER WALLS, INCLUDING A COMBINATION OF RETAINING AND SCREEN WALLS, SHALL NOT EXCEED EIGHT FEET IN HEIGHT, MEASURED FROM THE BASE OF THE RETAINING WALL, WITHOUT THE APPROPRIATE STEPBCKS for an approved residential subdivision on 10.80 acres adjacent to the southeast corner of Alexander Road and Fort Apache Road (APN 138-08-116-020 and 021) R-PD5 (Residential Planned Development - 5 Units Per Acre) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on February 8, 2007. This approval is subject to:

Added Condition:

- A. The perimeter block wall shall be constructed in conformance to the site and elevation plans date stamped 2/7/2007.

Planning and Development

1. Condition Number 11 of Site Development Plan Review (SDR-2418) shall be removed.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009



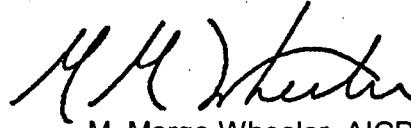
Mr. Paul Wagner
ROC-18341 – Page Two
March 1, 2007

2. Conformance to all other conditions of approval of Site Development Plan Review (SDR-2418) and all other subsequent related actions as required by the Planning and Development Department and the Public Works Department.

Sincerely,



Lean Coleman
Deputy City Clerk II for
Beverly K. Bridges, Acting City Clerk



M. Margo Wheeler, AICP
Director
Planning and Development Department

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146



January 19, 2007

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

Mr. Paul Wagner
Wagner Home, Inc.
6985 West Sahara Avenue, Suite #201
Las Vegas, Nevada 89117

RE: ROC-18341 – REVIEW OF CONDITIONS
CITY COUNCIL MEETING OF JANUARY 17, 2007

Dear Ms. Wagner:

The City Council at a regular meeting held January 17, 2007 HELD IN ABEYANCE the request for a Review of Condition Number 11 of an approved Site Development Plan Review (SDR-2418) TO REMOVE THE CONDITION THAT REQUIRED ANY PROPERTY LINE WALL SHALL BE A DECORATIVE BLOCK WALL, WITH AT LEAST 20 PERCENT CONTRASTING MATERIALS. WALL HEIGHTS SHALL BE MEASURED FROM THE SIDE OF THE FENCE WITH THE LEAST VERTICAL EXPOSURE ABOVE THE FINISHED GRADE, UNLESS OTHERWISE STIPULATED. ALL PERIMETER WALLS, INCLUDING A COMBINATION OF RETAINING AND SCREEN WALLS, SHALL NOT EXCEED EIGHT FEET IN HEIGHT, MEASURED FROM THE BASE OF THE RETAINING WALL, WITHOUT THE APPROPRIATE STEPBACKS for an approved residential subdivision on 10.80 acres adjacent to the southeast corner of Alexander Road and Fort Apache Road (APN 138-08-116-020 and 021) R-PD5 (Residential Planned Development - 5 Units Per Acre) Zone.

This item will be heard during the 1:00 p.m. Planning and Development discussion portion of the February 7, 2007 City Council Meeting. It is recommended that you or your representative be in attendance at this meeting. If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

A handwritten signature in cursive script that reads "Angela Crolli".

Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

January 4, 2007

Mr. Paul Wagner
Wagner Home, Inc.
6985 West Sahara Avenue, Suite #201
Las Vegas, Nevada 89117

RE: ROC-18341 – REVIEW OF CONDITION
CITY COUNCIL MEETING OF JANUARY 3, 2007

Dear Ms. Wagner:

The City Council at a regular meeting held January 3, 2007 HELD IN ABEYANCE the request for a Review of Condition Number 11 of an approved Site Development Plan Review (SDR-2418) TO REMOVE THE CONDITION THAT REQUIRED ANY PROPERTY LINE WALL SHALL BE A DECORATIVE BLOCK WALL, WITH AT LEAST 20 PERCENT CONTRASTING MATERIALS. WALL HEIGHTS SHALL BE MEASURED FROM THE SIDE OF THE FENCE WITH THE LEAST VERTICAL EXPOSURE ABOVE THE FINISHED GRADE, UNLESS OTHERWISE STIPULATED. ALL PERIMETER WALLS, INCLUDING A COMBINATION OF RETAINING AND SCREEN WALLS, SHALL NOT EXCEED EIGHT FEET IN HEIGHT, MEASURED FROM THE BASE OF THE RETAINING WALL, WITHOUT THE APPROPRIATE STEPBACKS for an approved residential subdivision on 10.80 acres adjacent to the southeast corner of Alexander Road and Fort Apache Road (APN 138-08-116-020 and 021) R-PD5 (Residential Planned Development - 5 Units Per Acre) Zone.

This item will be heard during the 1:00 p.m. Planning and Development discussion portion of the January 17, 2007 City Council Meeting. It is recommended that you or your representative be in attendance at this meeting. If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

A handwritten signature in cursive script, reading "Lean Coleman".

Lean Coleman
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: See Attached List

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009



Mr. Paul Wagner
ROC-18341 – Page Two
January 4, 2007

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146



MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
GARY REESE
(MAYOR PRO-TEM)
LARRY BROWN
LYNETTE B. McDONALD
LAWRENCE WEEKLY
MICHAEL MACK
JANET MONCRIEF

CITY MANAGER
DOUGLAS A. SELBY

September 11, 2003

Mr. Ahmed Mohamed
2470 East Flamingo Road
Las Vegas, Nevada 89121

RE: SDR-2418 - SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF AUGUST 6, 2003
Related to ZON-2415 and VAR-2419

Dear Mr. Mohamed:

The City Council at a regular meeting held August 6, 2003 APPROVED the request for a Site Development Plan Review for a proposed 57-lot Single Family RESIDENTIAL Development on 10.80 acres adjacent to the southeast corner of Alexander Road and Fort Apache Road (APN: 138-08-101-001, 002, 003, and 004), U (Undeveloped) Zone [L (Low Density Residential) General Plan Designation] [PROPOSED: R-PD5 (Residential Planned Development - 5 Units Per Acre)]. The Notice of Final Action was filed with the Las Vegas City Clerk on August 7, 2003. This approval is subject to:

Planning and Development

- 1/05 A Rezoning (ZON-2415) to a R-PD5 (Residential Planned Development - 5 Units Per Acre) Zoning District approved by the City Council.
2. Approval of a Variance (VAR-2419) to allow zero square feet of open space approved by the City Council or a revised site plan shall be submitted for review and approval depicting useable internal open space as required by Title 19.06.040.
3. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
4. Lots 31 through 39, 42 and 43 to be developed with single-story homes and Lots 42 and 43 to have a 10-foot south side setback.
5. Cross access easements will not be permitted along the side property lines between dwellings.
6. The landscaping plan shall be revised prior to the submittal of civil improvement plans to reflect a minimum one 24-inch box tree every 30 linear feet of perimeter landscape planter and a minimum of four 5-gallon shrubs per tree or an acceptable alternative as outlined in the single-family guidelines for landscaping.

CITY OF LAS VEGAS
2 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.ci.las-vegas.nv.us

ROC-18341
01-03-07 CC

7. Building height shall not exceed two stories or 35 feet, whichever is less.
8. The setbacks for this development shall be a minimum of 10 feet to the front of the house, 20 feet to the front of the garage as measured from back of sidewalk or from back of curb if no sidewalk is provided, 5 feet on the side, 10 feet on the corner side, and 15 feet in the rear.
9. Air conditioning units shall not be mounted on rooftops
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
11. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated. All perimeter walls, including a combination of retaining and screen walls, shall not exceed eight feet in height, measured from the base of the retaining wall, without the appropriate setbacks.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

Public Works

13. All City Code requirements and design standards of all City departments must be satisfied.
14. This site plan shall be revised to accommodate additional public street dedications in accordance with Standard Drawing #201.1 for free-right turn lanes and dual left lanes unless specifically noted in writing as not needed in the approved Traffic Impact Analysis. The Tentative Map shall show the required dedications.
15. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access and on site circulation prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Gated entries shall be designed, located and constructed in accordance with Standard Drawing #222A.
16. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
17. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
18. A Master Streetlight Plan of public street lights for the overall subdivision shall be approved prior to the submittal of any construction drawings for this site.

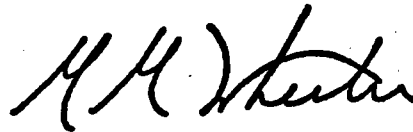
Mr. Ahmed Mohamed
SDR-2418 – Page 3
September 11, 2003

19. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
20. Site development to comply with all applicable conditions of approval for ZON-2415 and all other subsequent site-related actions.
21. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk



M. Margo Wheeler, AICP
Deputy Director
Planning and Department Department

cc: Ned Yamin and Haideh Family Trust
1065 Hillcrest Road
Beverly Hills, California 90210

Mr. Paul Wagner
Nevada Homes Group
6985 West Sahara Avenue
Las Vegas, Nevada 89146

C.W. Fourth Family, Limited Partnership
2717 Bavo Court
Las Vegas, Nevada 89102

Matonovich Family Trust
29 Pheasant Ridge
Henderson, Nevada 89014

Mr. Jeffrey Armstrong
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146

ROC-18341
01-03-07 CC

Plans (PMT)



Separator Sheet

APPROVED

CITY COUNCIL DATE: 02/07/07

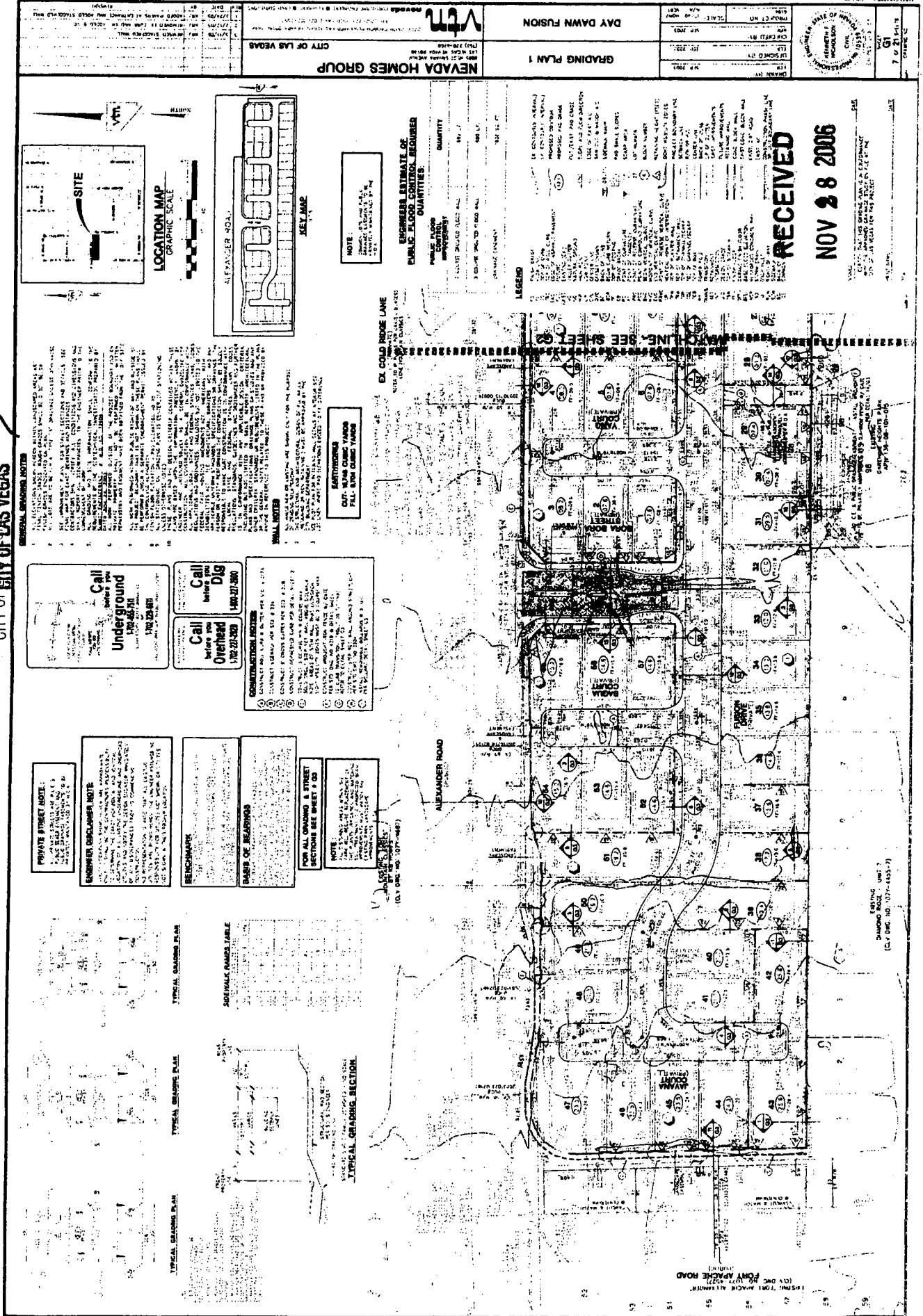
PLANNING COMMISSION DATE: N/A

BY: *John K. K...*

PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

ROC-18341

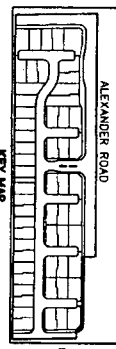
01-03-07 CC



DATE _____ DATE _____
I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE
WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE
CITY OF LAS VEGAS FOR THIS PROJECT.

[illegible]

NO.	Dist. 1"	Dist. 3"	CASE
1	4.5'	21.5'	1
2	4.9'	18.0'	1
3	4.5'	12.0'	1
4	4.9'	9.5'	1
5	8.0'	8.0'	1
6	8.5'	4.5'	1
7	12.0'	4.5'	1
8	13.0'	4.5'	1
9	21.5'	4.5'	1

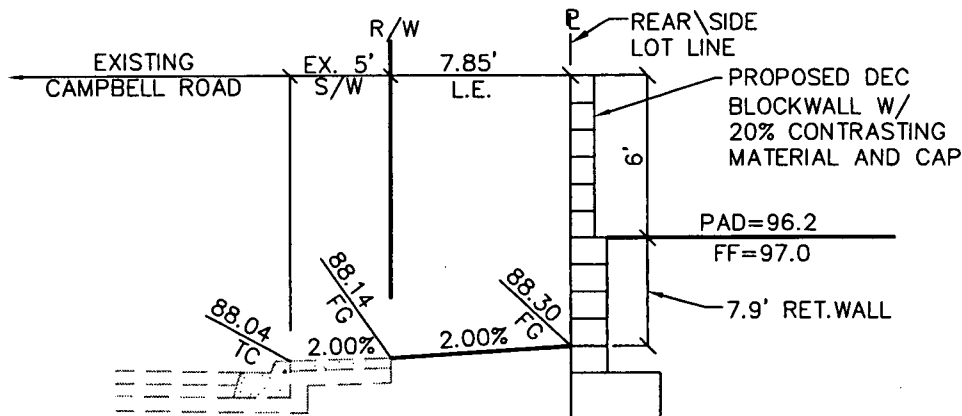
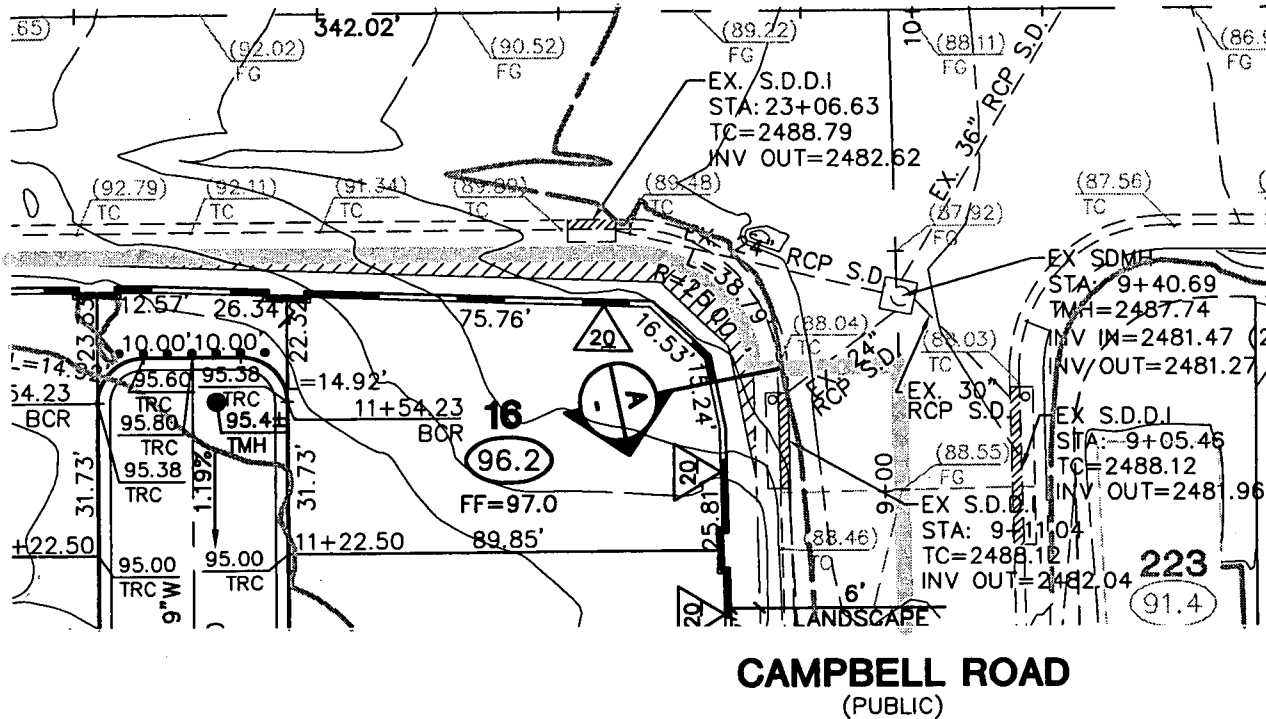


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1. IDENTIFY PLANT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED GRADING STUDY OR PLAT AT THE CITY OF LAS VEGAS FOR THIS PROJECT.	DATE:
PROJECT NUMBER:	DATE:
NO.	DATE:

[illegible]

ALEXANDER ROAD (PUBLIC)



RETAINING WALL SECTION DETAIL
(N.T.S.)

VTM nevada
2727 S. RAINBOW BOULEVARD
LAS VEGAS, NEVADA 89146-5148

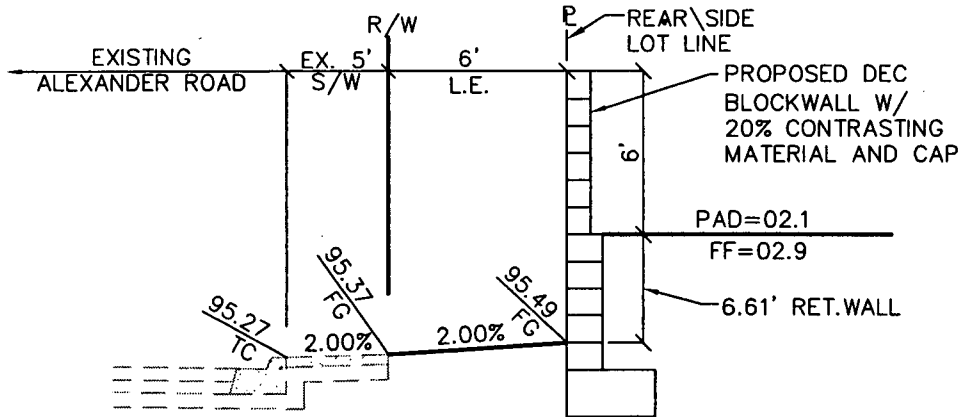
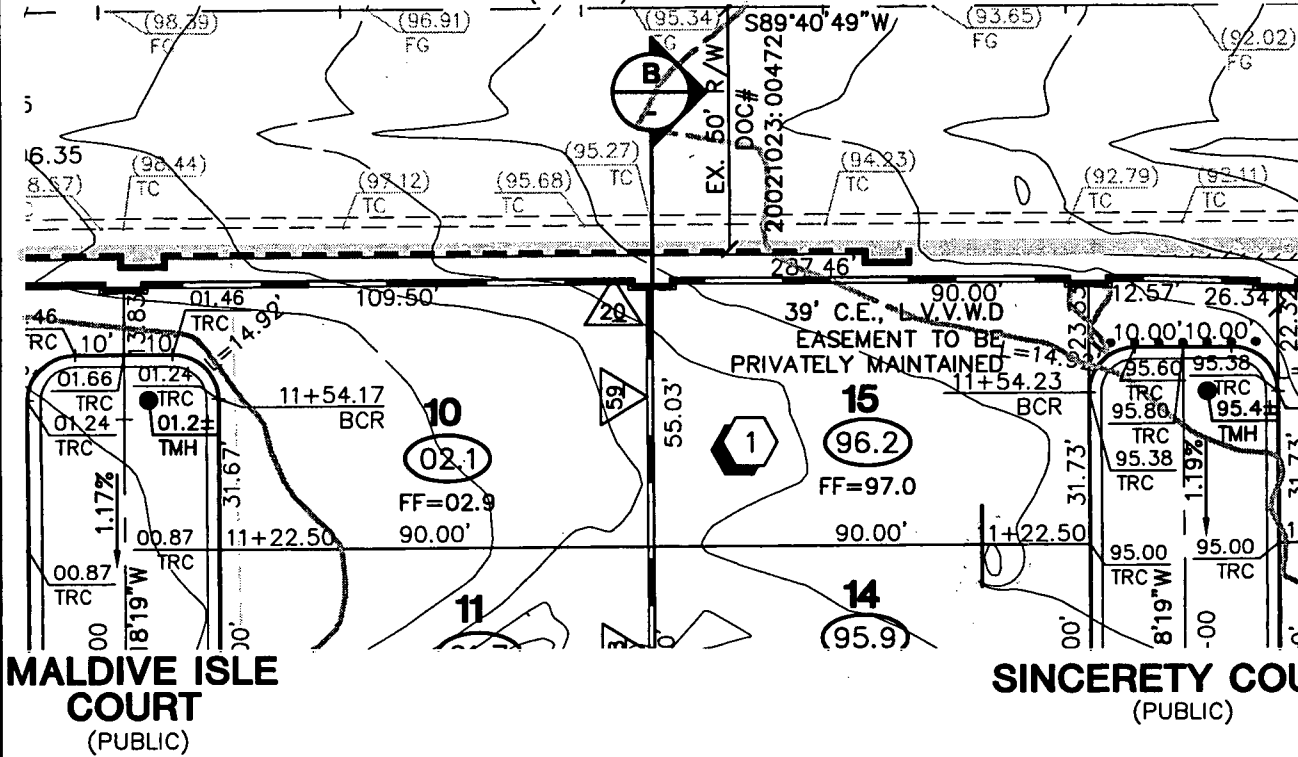
PROJECT: **DAY DAWN FUSION
RETAINING WALL SECTION
CAMPBELL ROAD STA. 9+25.79**

FOR: **NEVADA HOMES GROUP
CITY OF LAS VEGAS**

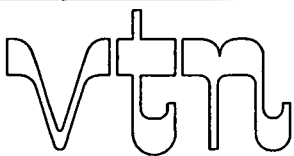
SCALE	HORZ. 1"=40' VERT. N/A
W.O. NO.	6194
DRAWN BY:	KRJ
DATE:	11/3/06
SHEET	1 OF 3

ALEXANDER ROAD

(PUBLIC)



RETAINING WALL SECTION DETAIL
(N.T.S.)



nevada

2727 S. RAINBOW BOULEVARD
LAS VEGAS, NEVADA 89146-5148

PROJECT:

**DAY DAWN FUSION
RETAINING WALL SECTION
ALEXANDER ROAD STA. 21+14.24**

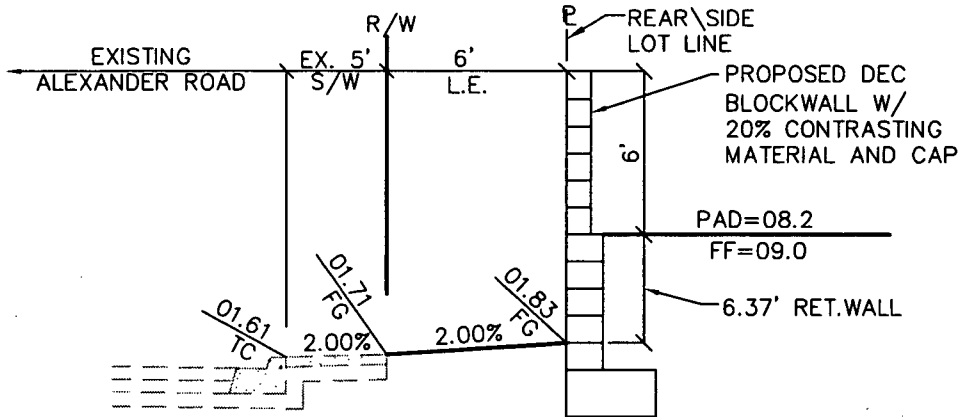
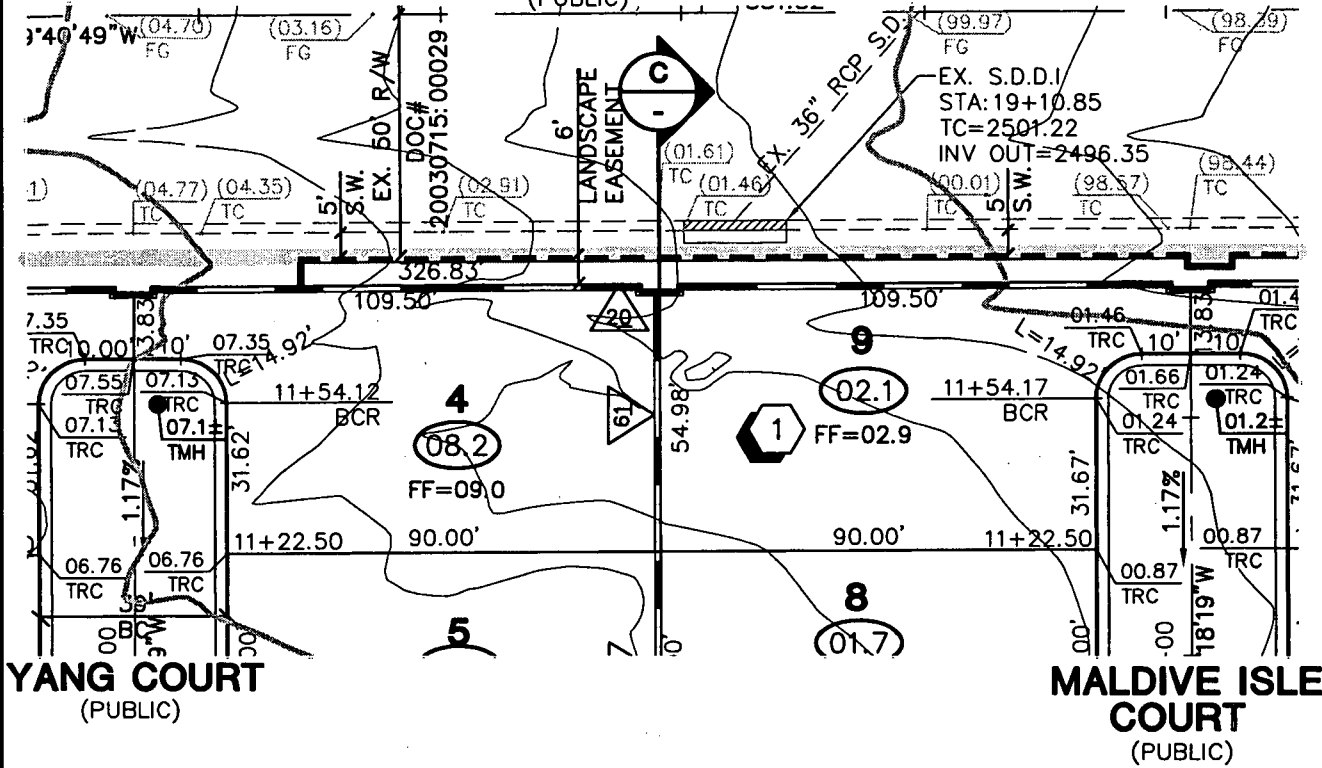
FOR:

**NEVADA HOMES GROUP
CITY OF LAS VEGAS**

SCALE	HORZ. 1"=40'
	VERT. N/A
W.O. NO.	6194
DRAWN BY:	KRJ
DATE:	11/3/08
SHEET	2 OF 3

ALEXANDER ROAD

(PUBLIC)



RETAINING WALL SECTION DETAIL
(N.T.S.)

VTM nevada
2727 S. RAINBOW BOULEVARD
LAS VEGAS, NEVADA 89146-5148

PROJECT: **DAY DAWN FUSION
RETAINING WALL SECTION
ALEXANDER ROAD STA. 18+95.35**

FOR: **NEVADA HOMES GROUP
CITY OF LAS VEGAS**

SCALE	HORZ. 1"=40' VERT. N/A
W.O. NO.	6194
DRAWN BY:	KRJ
DATE:	11/3/08
SHEET	3 OF 3



FEB 07 2007

Key

**DAY DAWN FUSION
KEYSTONE WALL LOCATION**

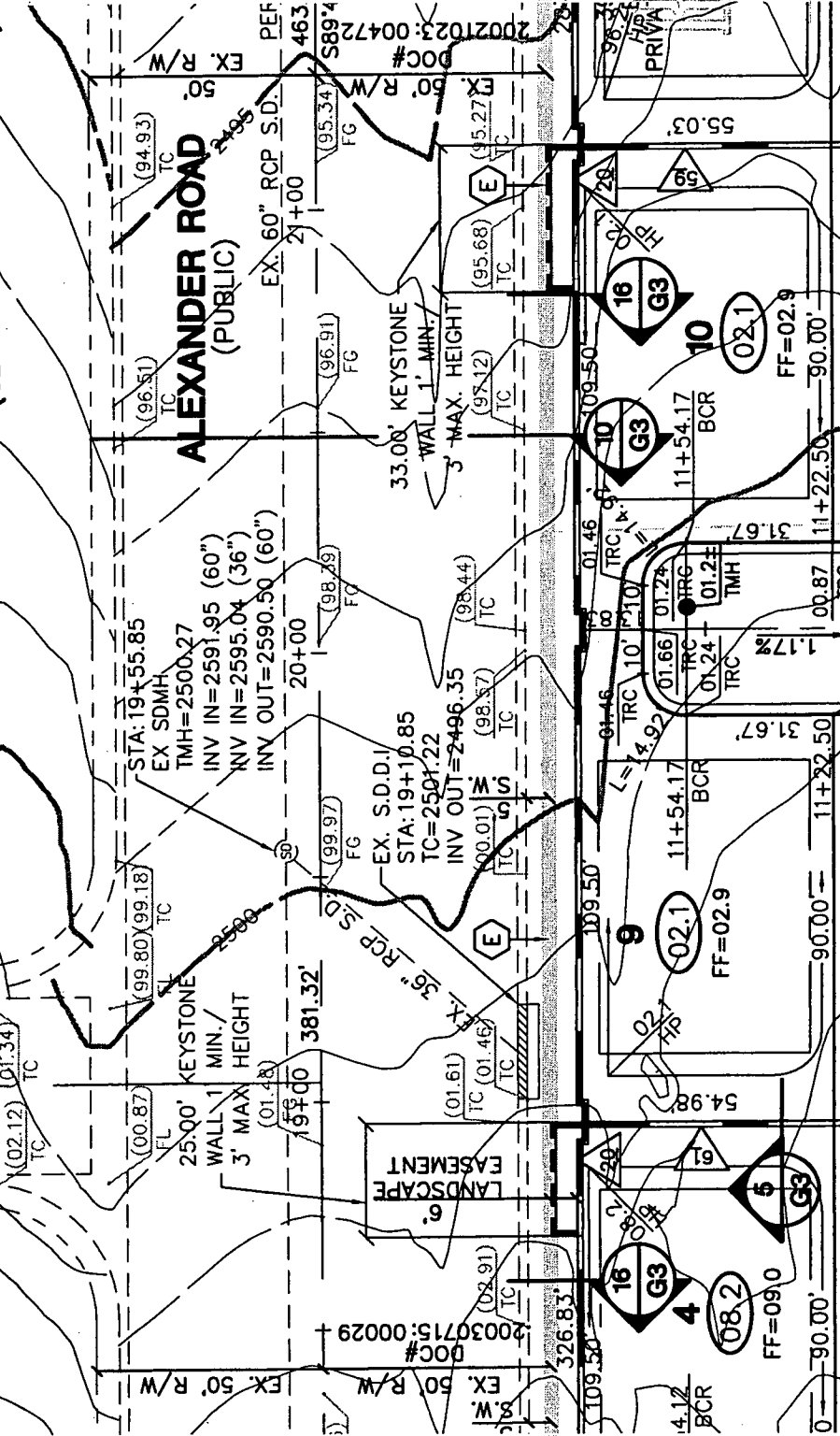
vtr
nevada

EX. GOLD RIDGE LANE

REFER TO IP PLANS PER CARTER/BURGESS
ZONE MOUNTAIN CLASSICS

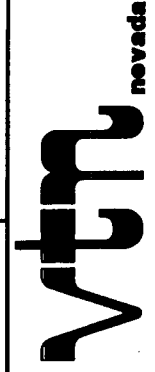
EXISTING "LONE
MOUNTAIN CLASSICS"
BY KB HOMES

(CLV DWG. NO. 107Y-4687)



RECEIVED
FEB 07 2007

DAY DAWN FUSION KEYSTONE WALL LOCATION



ALL OF THE ABOVE
BY THE AND DELETION
BY THE COMMISSION
ALL OF THE ABOVE
APPROVED

2/17/07
SCANNED

BENCHMARK
PROJECT DATUM: NORTH AMERICAN VERTICAL DATUM
OF 1988 (NAVD88)
CLARK COUNTY BENCHMARK: 90LV00:7NNE6
NAVD88 ELEVATION: 780.959 METERS (2562.20 FEET)
CITY OF LAS VEGAS RIVET AND SQUARE ALUMINUM PLATE
IN TOP OF CURB, SOUTH SIDE OF ALEXANDER ROAD
OPPOSITE TEEPEE LANE

BASIS OF BEARINGS
THE BASIS OF BEARINGS FOR THIS PROJECT IS NORTH
89°44'17" EAST, BEING THE SOUTH LINE OF THE
NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST
QUARTER (NW 1/4) OF SECTION 8, TOWNSHIP 20 SOUTH,
RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, AS
SHOWN ON A FINAL MAP ON FILE IN THE CLARK COUNTY,
NEVADA RECORDER'S OFFICE IN PLAT BOOK 76 AT PAGE
62

NO.	BEARING	LENGTH
L1	N88°27'12"E	1.17'
L2	S01°32'48"E	7.34'
L3	N09°08'35"E	1.17'
L4	S80°51'25"E	7.34'
L5	N00°19'11"W	1.17'
L6	N89°40'49"E	7.34'
L7	N21°12'12"W	1.17'
L8	N68°47'48"E	7.34'
L9	N01°40'08"W	1.17'
L10	N88°19'52"E	7.34'
L11	N89°40'49"E	3.67'
L12	S88°06'43"E	3.63'
L13	N01°53'17"E	1.17'
L14	N88°34'41"E	1.17'
L15	S01°25'19"E	7.34'

NOTE:
ALL DISTURBED AREAS WITHIN THE
PARK WILL REQUIRE REPLACEMENT OF
THE PLANTS, IRRIGATION AND MATCHING
SOIL TREATMENT. THE PROPOSED BERM
IMPROVEMENTS MUST MATCH THE
EXISTING PARK LANDSCAPE
IMPROVEMENTS

NOTE:
COMMON LOTS AND PUBLIC
DRAINAGE EASEMENTS TO BE
PRIVATELY MAINTAINED BY THE
H.O.A.

- CONSTRUCTION NOTES:**
- CONSTRUCT ROLL CURB & GUTTER PER STD. # 217A
 - CONSTRUCT SIDEWALK PER STD. # 234
 - CONSTRUCT 8" CROSS GUTTER PER STD. # 228
 - CONSTRUCT DEEPENED CURB PER DETAIL SHEET 2
 - CONSTRUCT 3 COURSE MIN 9 COURSE MAX
SOLID GROUT STEP RET. WALL ABOVE SIDEWALK.
NOTE: AREAS OF STEM WALL THAT ENDOUR
SIGHT VISIBILITY ZONES MUST BE 3 COURSE MAX
 - CONSTRUCT WROUGHT IRON FENCE W/ GATE
PER STD. DWG. NO 421B & DETAIL SHEET
10" CURB TRANSITION "ROLL" TO "L" TYPE
REFER TO DETAIL SHEET G3
 - CONSTRUCT STEP RET. WALL AROUND STREETLIGHT
PER STD DWG. NO 320A
 - INSTALL REMOVABLE BOLLARDS @ 5' O.C.
PER BOLLARD DETAIL SHEET G3

ENGINEER DISCLAIMER NOTE:

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE
ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY
TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL
LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD
UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY
OF ANY DISCREPANCIES PRIOR TO COMMENCING
CONSTRUCTION.
NO REPRESENTATION IS MADE THAT ALL EXISTING
UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO
RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES
NOT SHOWN IN THEIR PROPER LOCATION.

**FOR ALL GRADING & STREET
SECTIONS SEE SHEET #G3**

PRIVATE STREET NOTE:
ALL PRIVATE STREETS ARE P.U.E.'S,
PUBLIC SEWER EASEMENT AND
PUBLIC DRAINAGE EASEMENTS TO BE
PRIVATELY MAINTAINED BY H.O.A.

Avoid overhead power
line contact. It's costly.

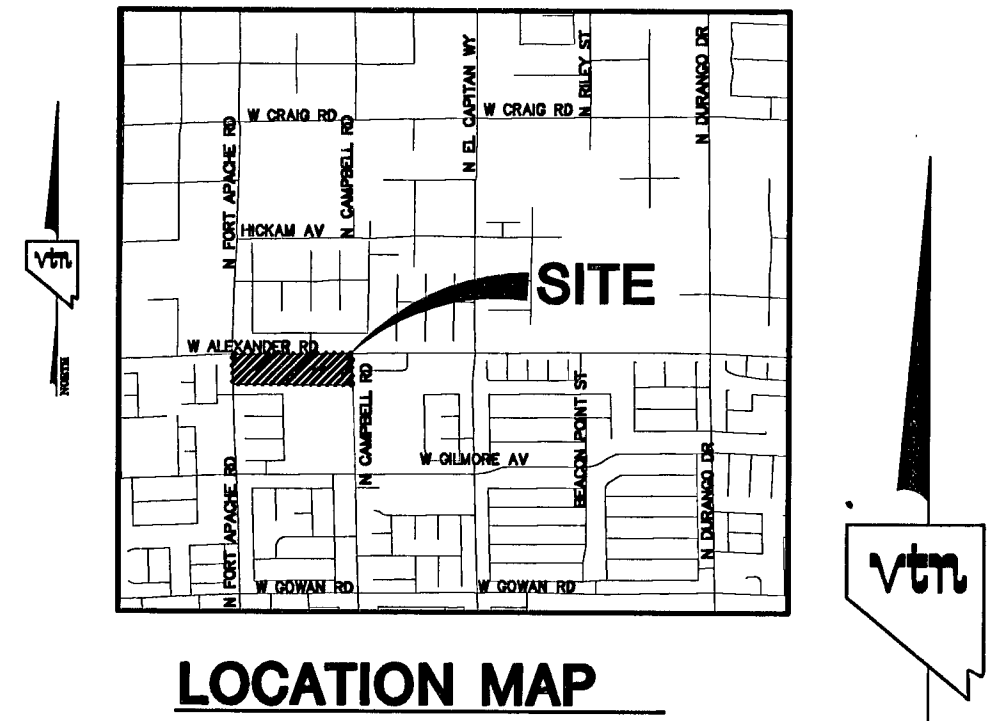
**Call
before you
Overhead**
1-702-227-2929

Avoid cutting underground
utility lines. It's costly.

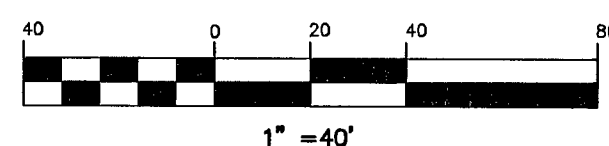
**Call
before you
Dig**
1-800-227-2600

Avoid hitting underground
traffic signal systems
and street light system conduits
ITS COSTLY
CALL BEFORE
YOU DO
UNDERGROUND

**Call
before you
Underground**
1-702-455-7511
CLARK COUNTY TRAFFIC OPERATIONS
AND
1-702-229-6611
LAS VEGAS AREA COMPUTERIZED TRAFFIC SYSTEM



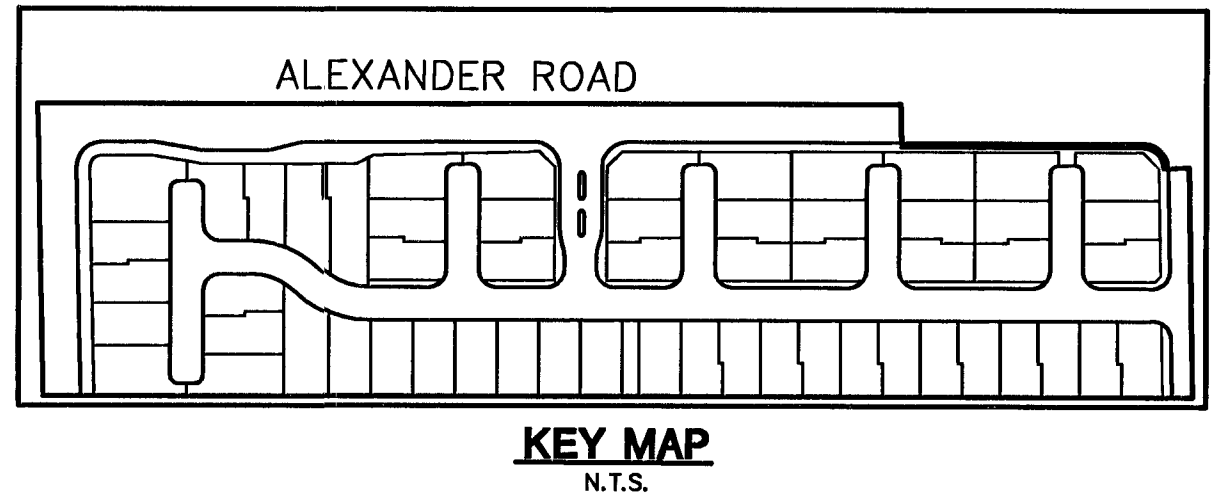
GRAPHIC SCALE



**ENGINEERS ESTIMATE OF
PUBLIC FLOOD CONTROL REQUIRED
QUANTITIES:**

PUBLIC FLOOD CONTROL IMPROVEMENT	QUANTITY
2 COURSE GROUTED FLOOD WALL	692 L.F.
3 COURSE GROUTED FLOOD WALL	680 L.F.
DRAINAGE EASEMENT	1800 SQ. FT.

EARTHWORKS
CUT- 16,748 CUBIC YARDS
FILL- 9,704 CUBIC YARDS



SIDEWALK RAMPS TABLE
PER STD. DWG 235 CASE I

NO.	DIM "A"	DIM "B"	CASE
1	4.5'	21.5'	I
2	4.5'	15.0'	I
3	4.5'	12.0'	I
4	4.5'	9.5'	I
5	8.0'	8.0'	I
6	9.5'	4.5'	I
7	12.0'	4.5'	I
8	15.0'	4.5'	I
9	21.5'	4.5'	I

LEGEND

- FG FINISH GRADE
- FL FLOW LINE
- TC TOP OF CURB
- TRC TOP OF ROLL CURB
- EAC EDGE OF ASPHALT PAVEMENT
- FUT. FUTURE
- EXIST. EXISTING (EX.)
- VC VALLEY GUTTER
- NG NATURAL GROUND
- H.P. HIGH POINT
- L.P. LOW POINT
- C/L CENTER LINE
- O/C OFFSET CROWN
- BC BACK OF CURB
- BCR BEGIN CURB RETURN
- TF TOP OF FOOTING
- GB GRADE BREAK
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PRC POINT OF REVERSE CURVATURE
- PCC POINT OF COMPOUND CURVATURE
- BVC BEGIN VERTICAL CURVE
- MVC MIDPOINT OF VERTICAL CURVE
 END VERTICAL CURVE |- PRVC POINT OF REVERSE VERTICAL CURVE
- VPI VERTICAL POINT OF INTERSECTION
- TPW TOP OF PLANTER WALL
- TRW TOP OF RETAINMENT WALL
- TOP TOP OF CHANNEL/SCARP
- TOE TOE OF CHANNEL/SCARP
- TOB TOP OF BOX
- PP POWER POLE
- TRANS. TRANSITION
- RET. RETAINMENT
- INT. INTERSECTION
- D.G. DESIGN GRADE
- TSW TOP OF SIDEWALK
- FF= FINISH FLOOR
- OFF= GARAGE FINISH FLOOR
- BFE= BASE FLOOD ELEVATION
- BCP BASE OF CURB
- SD STORM DRAIN
- DI DROP INLET
- R/W RIGHT-OF-WAY
- S/W SIDEWALK
- BCL BACK OF CURB LENGTH
- CE COMMON ELEMENT
- EX. CONTOUR(5' INTERVAL)
- EX. CONTOUR(1' INTERVAL)
- PROPOSED CONTOUR
- PROPOSED PAD GRADE
- FUT./EXIST. PAD GRADE
- SLOPE AND FLOW DIRECTION
- EDGE OF EXIST. A.C.
- SAW CUT & MATCH A.C.
- SIDEWALK RAMP
- PAD SWALE SLOPES
- SCARP AREA
- LOT NUMBER
- BLOCK NUMBER
- RETAINING HEIGHT (FEET)
- SIGHT VISIBILITY ZONES
- PROJECT BOUNDARY LINE
- SETBACK LINE
- R/W OR P/L
- CENTER LINE
- BACK OF CURB
- LIP OF GUTTER
- EXIST. IMPROVEMENTS
- FUTURE IMPROVEMENTS
- RETAINING WALL
- CONC. BLOCK WALL
- EXIST. CONC. BLOCK WALL
- EXIST. DIRT ROAD
- EXIST. AC
- CONSTRUCTION PHASE LINE
- OR UNIT BOUNDARY LINE
- MATCH LINE
- DRIVEWAY

RECEIVED
FEB 07 2007

SIGNED: _____ DATE _____
I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE
WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE
CITY OF LAS VEGAS FOR THIS PROJECT.

PRINT NAME: _____ DATE _____

PE# _____

NEVADA HOMES GROUP
CITY OF LAS VEGAS
688 WEST SAHARA AVENUE
LAS VEGAS, NEVADA 89146
(702) 220-6000

GRADING PLAN 2

DRAWN BY: ECR SEP. 2003
DESIGNED BY: ECR SEP. 2003
CHECKED BY: KFN SEP. 2003
PROJECT NO: 5184

DAY DAWN FUSION
SCALE: 1"=40' HORIZ.
VERT. N/A

PROFESSIONAL ENGINEER STATE OF NEVADA
KENNETH F. NICHOLSON
CIVIL
No. 10539
EXPIRES 12-31-07

SHEET
8 OF 21 SHEETS
DRAWING NO.

