

Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekk, Survey (FM, PM, & A's only)
Date: September 18, 2006
Re: **VAR-16497** Ken Berrydane 2521 Driftwood Drive
Request for a front setback Variance

COMMENTS:

We have no comment on the Variance Request for property located at 2521 Driftwood Drive to allow a front yard setback of 9 feet where 25 feet is the minimum setback required and to allow a 5 foot setback in the rear yard where 15 feet is the minimum required for a proposed room addition to a single family residence.

APN Map



Separator Sheet

APN Map



Separator Sheet

NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE(FEET) WHEN MAP REDUCED FROM 1:1X17 ORIGINAL

0 50 100 200 400 600 800

ASSESSOR'S PARCELS - CLARK CO., NV.
M. W. Schofield, Assessor

AVERAGE
QA VALUE
35

MAP LEGEND

--- PARCEL BOUNDARY
--- SUBD BOUNDARY
--- ROAD EASEMENT
--- PM/LD BOUNDARY
--- NON-PARCEL LOT LINE
--- MATCH LINE / LEADER LINE

001 PARCEL NUMBER
1.00 ACREAGE
202 PARCEL SUB/SEQ NUMBER
PB 25-45
5 BLOCK NUMBER
5 LOT NUMBER
GL5 GOV. LOT NUMBER

T20S R61E

32

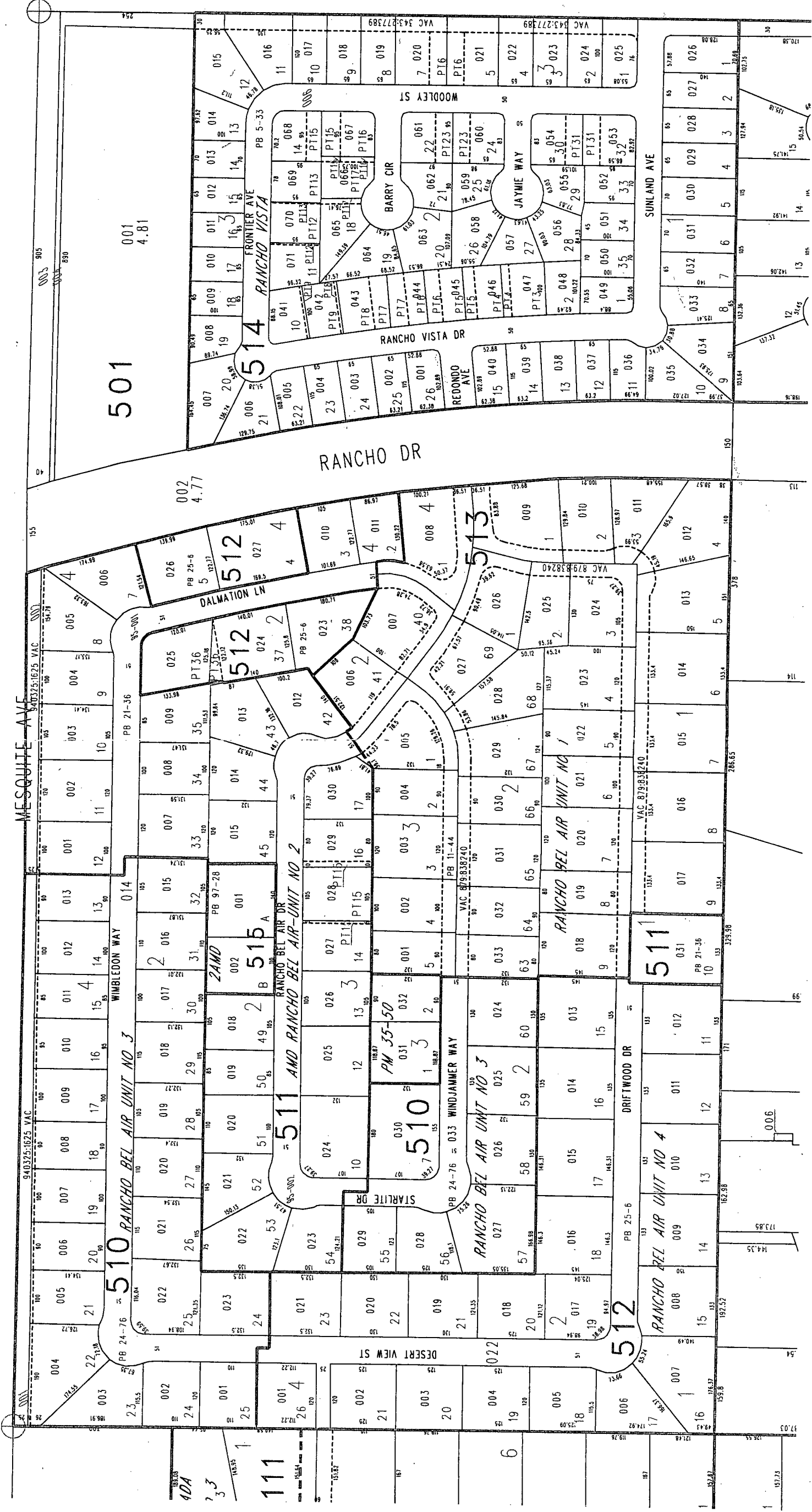
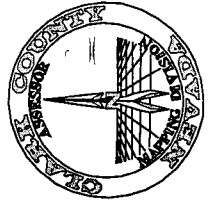
N 2 NE 4

Scale: 1"=200' Rev: 10/24/02

R60E	R61E	R62E
125	124	123
138	139	140
163	162	161

6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36

139-32-5



Telephone Log Sheet



TELEPHONE LOG SHEET

Separator Sheet

Telephone Protest/ Approval Log

Meeting Date: Oct 19, 2006

Case Number: VAR 16497

Date: 10/19/2006
Name: Eddie Haddad
Address: 221 Desert View St
Las Vegas NV 89107
Phone: 702-491-5812
☒ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
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Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Extraction List



Separator Sheet

3/6

Report of All Selected Parcels

Owner

920 L L C

ALBRIGHT GEORGE L & BARBARA TRS

BARCAL ROBERT

BAUSTERT JOHN W

BEAM JIMMA LEE REVOCABLE TRUST

BEAN PAUL R & JOAN H

BEAN PAUL R JR & JOAN H

BECKER BARRY W & SUSAN D FAM TR

BECKER BARRY W & SUSAN D FAM TR

BELL JOY SUSAN LIVING TRUST

BELL JOY SUSAN LIVING TRUST

BERG GERALD L & CINDY L

BERKO RAPHAEL

BERNSTEIN M J 1983 LIV TR AGMT

BERRYDANE KEN

BERRYDANE KEN

BOCH-COLLINS FAMILY TRUST

BONGIOVI JOSEPH JOHN JR

BORDEN RODNEY B

BOYERS J 2002 SPENDTHRIFT TR

BOZIE ADRIAN B

BROWN JULIA D

BURNETT BRUCE T & BEVERLY FAM TR

CARTER PAUL JACOB

CENTRAL PROPERTIES LTD

CHIU ANA

CHURCH ROMAN CATHOLIC LAS VEGAS

CISNEROS LEONARD G & GRETTEL R

CLYNE RICHARD A

CONE TERENCE M

CROSS TRUST

DALY JUANITA M

Case Number:

Address

%V WILLE 920 RANCHO CIR LAS VEGAS NV

2801 CAMEO CIR LAS VEGAS NV

317 ROSEMARY LN LAS VEGAS NV

200 DESERT VIEW ST LAS VEGAS NV

2409 WINDJAMMER WY LAS VEGAS NV

309 ROSEMARY LN LAS VEGAS NV

313 ROSEMARY LN LAS VEGAS NV

%COUNTRYWIDE TAX DEPT SV3-24 450 AMERICAN ST SIMI VALLEY CA

%COUNTRYWIDE TAX DEPT SV3-24 450 AMERICAN ST SIMI VALLEY CA

750 RANCH CIR LAS VEGAS NV

750 RANCHO CIR LAS VEGAS NV

124 STONEWOOD CT LAS VEGAS NV

2513 WIMBLETON DR LAS VEGAS NV

500 S RANCHO DR #12 LAS VEGAS NV

2521 DRIFTWOOD DR LAS VEGAS NV

6245 BRISTOL PKWY #131 CULVER CITY CA

304 LACY LN LAS VEGAS NV

1450 RANCHO CIR LAS VEGAS NV

2505 RANCHO BEL AIR DR LAS VEGAS NV

700 SHADOW LN #235 LAS VEGAS NV

3201 W OAKLEY BLVD LAS VEGAS NV

2305 WINDJAMMER WY LAS VEGAS NV

2505 WIMBLETON DR LAS VEGAS NV

2509 DRIFTWOOD DR LAS VEGAS NV

%B FALKEY 2405 DRIFTWOOD DR LAS VEGAS NV

2833 QUEENS COURTYARD DR LAS VEGAS NV

%FIN DEPT P O BOX 18316 LAS VEGAS NV

P O BOX 271391 LAS VEGAS NV

840 RANCHO CIR LAS VEGAS NV

2413 RANCHO BEL AIR DR LAS VEGAS NV

216 DESERT VIEW ST LAS VEGAS NV

1200 RANCHO CIR LAS VEGAS NV

Printed On: Fri: September 8, 2006

Parcel Number

13932601012

13932110024

13932214031

13932510003

13932513032

13932214033

13932214032

13932511007

13932511015

13932601050

13932601051

13932110014

13932510021

13932511029

13932512008

13932512016

13932510027

13932601022

13932511025

13932512017

13932513014

13932513028

13932510019

13932512011

13932513016

13932510025

13932110026

13932511008

13932601027

13932511027

13932512002

13932601009

PARCELS	177
LABELS	174

Report of All Selected Parcels

<u>Owner</u>	<u>Case Number</u>	<u>VAR-16497</u>	<u>Address</u>	<u>Parcel Number</u>
DARIAS ALICIA LIVING TRUST			212 DESERT VIEW ST LAS VEGAS NV	13932512001
DAUGHARTHY JAMES B			1070 RANCHO CIR LAS VEGAS NV	13932601019
DIAMANT ZAFRIR & JOSEPHINE			330 RANCHO CIR LAS VEGAS NV	13932601030
DOYLE LARRY 2004 TRUST			%B CHU 3355 S HIGHLAND #112 LAS VEGAS NV	13932214030
EGTEDAR ROBAB			%A EGTEDAR 2601 W CHARLESTON BLVD LAS VEGAS NV	13932601025
EISENMAN E M & R S 1987 FAM TR			2504 BEL AIR DR LAS VEGAS NV	13932511019
EMERSON RICHARD G			2400 WINDJAMMER WY LAS VEGAS NV	13932513004
FERRIS HARRIS N & JANET R			2401 WINDJAMMER WY LAS VEGAS NV	13932513030
FIELDS TYESON & JENNIFER			200 STONEWOOD CT LAS VEGAS NV	13932110040
FIGUEREDO VICTOR & SHELLY KAY			201 STONEWOOD CT LAS VEGAS NV	13932110035
FORTIN JOHN PAUL & MARA E			2800 ASHWORTH CIR LAS VEGAS NV	13932214001
FREMONT INVESTMENT & LOAN			%REO 3110 E GUASTI RD #500 ONTARIO CA	13932512013
FRIEDRICH JONATHAN REVOCABLE TR			2405 WINDJAMMER WY LAS VEGAS NV	13932513031
GECK KEITH BRIAN			2404 WINDJAMMER WY LAS VEGAS NV	13932513003
GORDON DENNIS P & JEAN T FAM TR			1244 RANCHO CIR LAS VEGAS NV	13932601021
GORDON LYNNE W			2309 WINDJAMMER WY LAS VEGAS NV	13932513029
GORLICK EUGENE J & JEANNE FAM TR			2409 RANCHO BEL AIR LAS VEGAS NV	13932511028
GRAYSON JOHN WESLEY JR			745 RANCHO CIR LAS VEGAS NV	13932601014
GREENBAUM A L DECLARATION TRUST			P O BOX 14159 LAS VEGAS NV	13932601017
H H D B FAMILY TRUST			%B BROWN 2805 BROWN CIR LAS VEGAS NV	13932214013
HADDAD IYAD & NADIA			221 DESERT VIEW ST LAS VEGAS NV	13932512018
HAZEN JON M			201 DESERT VIEW ST LAS VEGAS NV	13932510022
HEFFNER VAN V & JOAN C			125 ROSEMARY LN LAS VEGAS NV	13932111004
HEGER MIKE S			205 STARLITE DR LAS VEGAS NV	13932510030
HEIMAN RONALD LEE & RICHARD A			9372 HILLVIEW RD ANAHEIM CA	13932110017
HOLMES LARRY M			200 ROSEMARY LN LAS VEGAS NV	13932110034
HOSHINO KENJI P			2508 WIMBLEDON DR LAS VEGAS NV	13932510008
HOUDAYER TRUST			2500 DRIFTWOOD DR LAS VEGAS NV	13932513018
HUNTERTON C STANLEY			208 ROSEMARY LN LAS VEGAS NV	13932110032
HWANG JUH BIN & SHIN			2516 DRIFTWOOD DR LAS VEGAS NV	13932512015
IANNI-GIAMPAPA D SALADA			2408 DRIFTWOOD DR LAS VEGAS NV	13932513020
JAIN RANJIT & RENU LIV TR 2001			2508 WINDJAMMER WY LAS VEGAS NV	13932510031

Printed On: Fri: September 8, 2006

Report of All Selected Parcels

Owner	Case Number	VAR-16497	Address	Parcel Number
JARVIS ROBERT J			2512 DRIFTWOOD DR LAS VEGAS NV	13932512014
JEWETT MARGARET NICHOLS			2813 CAMEO CIR LAS VEGAS NV	13932110027
JOHNSON JOSEPH & NERIZA			%DONA MARIAS 3205 N TENAYA LAS VEGAS NV	13932110021
JONES JERRY L & JULIE A			2504 WINDJAMMER WY LAS VEGAS NV	13932510032
KAHUNA TRUST			2500 WIMBLEDON DR LAS VEGAS NV	13932510010
KAHUNA TRUST			2500 WIMBLEDON DR LAS VEGAS NV	13932601001
KEBREAU STEPHANIE			2809 ASHWORTH CIR LAS VEGAS NV	13932214005
KEBREAU STEPHANIE			305 ROSEMARY LN LAS VEGAS NV	13932214034
KEETER STEVEN J & C A REV FAM TR			840 S RANCHO #4261 LAS VEGAS NV	13932601008
KEHE DONALD W & ROWENA M			2808 CAMEO CIR LAS VEGAS NV	13932110029
KELSAY DANIEL P JR & JUNE Y			2512 RANCHO BEL AIR DR LAS VEGAS NV	13932511021
KERESTESI FAMILY TRUST			204 ROSEMARY LN LAS VEGAS NV	13932110033
KIFFER LARRY W			201 STARLITE DR LAS VEGAS NV	13932511024
KIM JACOBSEN FAMILY TRUST			2408 RANCHO BEL AIR DR LAS VEGAS NV	13932515001
KIRWIN WARREN & KIMBERLY H			2504 WIMBLEDON DR LAS VEGAS NV	13932510009
L S S P LIVING TRUST			2804 ASHWORTH CIR LAS VEGAS NV	13932214002
LAMANCUSA S J & M REV FAM TR			2812 ASHWORTH CIR LAS VEGAS NV	13932214004
LAMBROSE-FITZSIMMONS TRUST			%MMM LAMBROSE 217 ROSEMARY LN LAS VEGAS NV	13932110022
LARUE EDDIE JR			P O BOX 19157 JEAN NV	13932601002
LAS VEGAS VALLEY WATER DISTRICT			3700 W CHARLESTON BLVD LAS VEGAS NV	13932101001
LAUB LIVING TRUST			1000 RANCHO CIR LAS VEGAS NV	13932601007
LESLIE BRUCE A			2204 SAPPHIRE VALLEY LAS VEGAS NV	13932515002
LURIE MARSHALL R			2160 W CHARLESTON BLVD LAS VEGAS NV	13932513027
MALOOF PHILLIP F			2505 DRIFTWOOD DR LAS VEGAS NV	13932512012
MANCARI ROBERT A			232 DESERT VIEW ST LAS VEGAS NV	13932512006
MANZO RUDOLPH J & GLORIA C			212 STARLITE DR LAS VEGAS NV	13932510028
MAUBAN RENE & EILEEN			800 RANCHO CIR LAS VEGAS NV	13932601034
MAZELKA TOMAS V			2501 RANCHO BEL AIR DR LAS VEGAS NV	13932511026
MCCARTHY WILLIAM P & ALYSON K			2805 CAMEO CIR LAS VEGAS NV	13932110025
MCCUSKER J E 2002 SPENDTHRIFT TR			2300 RANCHO BEL AIR DR LAS VEGAS NV	13932513006
MCDONALD KIMBERLY			2812 CAMEO CIR LAS VEGAS NV	13932110028
MCNELLIS KERRY JOHN			2412 WIMBLEDON DR LAS VEGAS NV	13932510011

Printed On: Fri: September 8, 2006

Report of All Selected Parcels

Owner	Case Number:	VAR-16497	Printed On: Fri, September 8, 2006
Address	Parcel Number		
MEYER ERIC J & LAURAN M	2408 WIMBLEDON DR LAS VEGAS NV	13932510012	
MILLER GAY E	5340 LAIRD LAKE RD HALE MI	13932510007	
MOLNAR STEVE R	2310 DRIFTWOOD DR LAS VEGAS NV	13932513023	
MORRIS KARYNE	204 DESERT VIEW ST LAS VEGAS NV	13932510002	
MORTON MARK & MICHELLE A	228 DESERT VIEW ST LAS VEGAS NV	13932512005	
MYERS DEBRA-HOOD & JOHN	880 RANCHO CIR LAS VEGAS NV	13932601016	
NEVEN 1992 TRUST	2404 DRIFTWOOD DR LAS VEGAS NV	13932513021	
NOLAN BONNIE REVOCABLE TRUST	850 RANCHO CIR LAS VEGAS NV	13932601028	
O'BRIEN TIMOTHY P	2304 WINDJAMMER WY LAS VEGAS NV	13932513005	
OLSON BRENT L	120 ROSEMARY LN LAS VEGAS NV	13932111002	
PARKTON FRANCES R	2808 ASHWORTH CIR LAS VEGAS NV	13932214003	
PERRIN RUPERT	2412 DRIFTWOOD DR LAS VEGAS NV	13932513019	
PETERSEN ERIC	1040 E SAHARA #202 LAS VEGAS NV	13932510024	
PETERSEN ERIC A	3025 W SAHARA AVE #200 LAS VEGAS NV	13932513033	
POPPLE JANE	2525 DRIFTWOOD DR LAS VEGAS NV	13932512007	
POTTER FAMILY TRUST 1997	2600 WIMBLEDON DR LAS VEGAS NV	13932510006	
PROBST MICHELLE M & KARL F	2801 BROWN CIR LAS VEGAS NV	13932214014	
R E G LIVING TRUST	3403 IBERIA ST LAS VEGAS NV	13932601005	
RABY PAUL E & JANET A	209 ROSEMARY LN LAS VEGAS NV	13932110020	
RAINBOW LIVING TRUST	2513 WINDJAMMER WY LAS VEGAS NV	13932510026	
RANCHO BEL AIR PPTY OWNRS ASSN	3286 BRENTWOOD ST LAS VEGAS NV	13932512022	
RANCHO BEL AIR PPTY OWNRS ASSOC	%ARGO CORP 4055 E POST RD LAS VEGAS NV	13932510033	
RANCHO BEL AIR PPTY OWNRS ASSOC	3286 BRENTWOOD ST LAS VEGAS NV	13932510014	
RANCHO COOPERATIVE WATER CO	BOX 1371 LAS VEGAS NV	13932601026	
RICHARDS PHILIP S & CATHERINE F	2517 DRIFTWOOD DR LAS VEGAS NV	13932512009	
RICHARDSON FAMILY TRUST	2405 WIMBLEDON DR LAS VEGAS NV	13932510015	
RICHTER LAWSON C & ANN M	2409 WIMBLEDON DR LAS VEGAS NV	13932510016	
RICHTER LAWSON CHARLES & ANN	2409 WIMBLEDON DR LAS VEGAS NV	13932510017	
ROBERTS ORLIN BART & JOHNETTE A	124 ROSEMARY LN LAS VEGAS NV	13932111001	
ROBERTSON GLENN	2501 WIMBLEDON DR LAS VEGAS NV	13932510018	
ROWE BRUCE D	208 DESERT VIEW ST LAS VEGAS NV	13932510001	
ROY ROBERT M III & MARY A TRUST	121 ROSEMARY LN LAS VEGAS NV	13932111003	

Report of All Selected Parcels

Owner	Case Number:	VAR-16497	Printed On: Fri: September 8, 2006
Address	Parcel Number		
RUBIO EVELYN	2508 RANCHO BEL AIR LAS VEGAS NV	13932511020	
RUDINITSKY BENJAMIN	213 DESERT VIEW ST LAS VEGAS NV	13932512020	
RUGGEROLI CHARLES & B REV FAM TR	2501 DRIFTWOOD DR LAS VEGAS NV	13932511031	
RYDELL JAMES B & ANA MARIA	204 STARLITE DR LAS VEGAS NV	13932511023	
S R D LIVING TRUST	217 DESERT VIEW ST LAS VEGAS NV	13932512019	
SAENZ FRANCISCO & ROMINA	2509 WIMBLEDON DR LAS VEGAS NV	13932510020	
SARGENT WESLEY H & TRUDY B	5412 VARDON WY FORT COLLINS CO	13932214008	
SCHNEWEIS MICHAEL S & JANNETTE M	301 ROSEMARY LN LAS VEGAS NV	13932214035	
SCHOLL KENNETH & ANTOINETTE M	2805 ASHWORTH CIR LAS VEGAS NV	13932214006	
SELCO SCOTT	2401 DRIFTWOOD DR LAS VEGAS NV	13932513015	
SEPEDE FAMILY TRUST	224 DESERT VIEW ST LAS VEGAS NV	13932512004	
SETO IRREVOCABLE TRUST	2316 RANCHO BEL AIR DR LAS VEGAS NV	13932511013	
SHADLAUS JAMES M & MARIETTA	2408 WINDJAMMER WY LAS VEGAS NV	13932513002	
SIGLER LAURA	1111 RANCHO CIR LAS VEGAS NV	13932601020	
SILVER FAMILY TRUST	201 ROSEMARY LN LAS VEGAS NV	13932110018	
SILVERSTEIN ANDREW	3500 W OLIVE AVE #1190 BURBANK CA	13932110016	
SKINNER CHARLES	208 STARLITE DR LAS VEGAS NV	13932510029	
SMILLOW RONALD C & MARILYN TRUST	2401 RANCHO BEL AIR DR LAS VEGAS NV	13932511030	
SNAPER ALVIN A & KATHLEEN M	2800 CAMEO CIR LAS VEGAS NV	13932110031	
SPIELBERG KELLEY SEP PPTY TR	2801 ASHWORTH CIR LAS VEGAS NV	13932214007	
SPRINGBERG LAURENCE B	2804 CAMEO CIR LAS VEGAS NV	13932110030	
STALLWORTH STEVE & STEPHANIE	2500 RANCHO BEL AIR DR LAS VEGAS NV	13932511018	
STEBBINS FREDERICK R & JUDITH A	2404 WIMBLEDON DR LAS VEGAS NV	13932510013	
STOOKEY JOHN B	7500 W LAKE MEAD BLVD #9309 LAS VEGAS NV	13932601033	
STUPAK BOB	1301 S 6TH ST LAS VEGAS NV	13932601003	
SULLIVAN WALTER & ALANA TRUST	204 STONEWOOD CT LAS VEGAS NV	13932110039	
SYLVAIN 1979 TRUST	%G SYLVAIN 1050 RANCHO CIR LAS VEGAS NV	13932601018	
TAXPAYER	LAS VEGAS NV	13932110038	
THORNTON JOSEPH P & GERALDINE J	2808 BROWN CIR LAS VEGAS NV	13932214010	
TOTT FRANK & MARY J	2513 DRIFTWOOD DR LAS VEGAS NV	13932512010	
VAUGHN COMAR D JR & CAROL A	2804 BROWN CIR LAS VEGAS NV	13932214009	
VAUGHN JACK J & ELLIE	3710 CEDARWOOD DR NASHVILLE TN	13932511014	

Report of All Selected Parcels

Case Number:

VAR-16497

Printed On: Fri: September 8, 2006

Owner	Address	Parcel Number
VELA ANTHONY	2400 DRIFTWOOD DR LAS VEGAS NV	13932513022
VOGT JOAN TRUST	200 STARLITE DR LAS VEGAS NV	13932511022
W A S LIVING TRUST	%R SCHULMAN 6600 W CHARLESTON BLVD #120 LAS VEGAS NV	13932212005
WADHAMS JAMES L & COLLEEN	221 ROSEMARY LN LAS VEGAS NV	13932110023
WALKER KEN & HELENE FAMILY TRUST	2608 WIMBLEDON DR LAS VEGAS NV	13932510004
WEIR SUSAN D	209 STONEWOOD CT LAS VEGAS NV	13932110037
WIESNER J PAUL & DANA M	900 RANCHO CIR LAS VEGAS NV	13932601006
WIESNER J PAUL & DANA M	900 RANCHO CIR LAS VEGAS NV	13932601011
WILKERSON EDWIN M LIVING TRUST	175 SAINT THOMAS WY TIBUROW CA	13932512021
WILLIAMS J & HIGGINS 2005 REV TR	205 STONEWOOD CT LAS VEGAS NV	13932110036
WINNER ROBERT & MARTHE J	205 ROSEMARY LN LAS VEGAS NV	13932110019
WYNN PHYLLIS	205 DESERT VIEW ST LAS VEGAS NV	13932510023
YERUSHALAIM FAMILY TRUST	220 DESERT VIEW ST LAS VEGAS NV	13932512003
YUEN FAMILY TRUST	2312 RANCHO BEL AIR DR LAS VEGAS NV	13932511012
ZAHER J & HIGGINS M 2006 REV TR	2409 DRIFTWOOD DR LAS VEGAS NV	13932513017
ZEMBIC BRIAN	2604 WIMBLEDON DR LAS VEGAS NV	13932510005
ZSITVAY LASZLO F & JO ANN E	4325 92ND AVE S E MERCER ISLAND WA	13932513001

Deed



Separator Sheet

ESCROW NO: 05050446-121-CR

APN: 139-32-512-016
Affix R.P.T.T.: \$2,244.00

WHEN RECORDED MAIL TO
AND MAIL TAX STATEMENT TO:
KEN BERRYDANE
6245 BRISTOL PKWY., #131
CULVER CITY, CA 90230

ESCROW NO: 05050446-121-CR

20060726-0000546

Fee: \$16.00 RPTT: \$2,244.00
N/C Fee: \$0.00

07/26/2006 09:04:17

T20060129809

Requestor:
CHICAGO TITLE

Frances Deane JKA
Clark County Recorder Pas: 4

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Michelle Stalk, an unmarried woman

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to:

Ken Berrydane, a single man

all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

- Subject to:
1. Taxes for the current fiscal year, paid current.
 2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness my/our hand(s) on this 7th day of November, 2006

ESCROW NO: 05050446-121-CR

SELLERS:

Michelle Stalk
Michelle Stalk

COPY

STATE OF NEVADA)

COUNTY OF Clark)

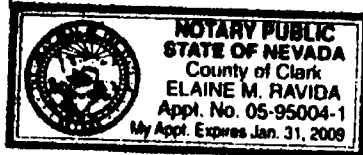
On this 11-705
appeared before me, a Notary Public

MICHELLE STALK

personally known or proven to me to be
the person(s) whose name(s) is/are
subscribed to the above instrument, who
acknowledged that he/she/they executed
the instrument for the purposes therein
contained.

Elaine M. Ravida
Notary Public

My commission expires:



ESCROW NO: 05050446-121-CR

EXHIBIT A

Lot Eighteen (18) in Block Two (2), RANCHO BEL AIR UNIT NO. 4 as shown by map thereof on file in Book 25 of Plats, Page 6 in the Office of the County Recorder of Clark County, Nevada and amended by Certificate of Amendment recorded March 26, 1986 in Book 860328 as Document No. 00727, Official Records, Clark County, Nevada.

ASSESSOR'S

COPY

**State of Nevada
Declaration of Value**

1. Assessor's Parcel Number(s)

a) 139-32-512-016

b)

c)

d)

2. Type of Property:

- a) ☒ Vacant Land b) ☐ Single Fam. Resi
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☐ Comm'l/Ind'
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Documentation/Instrument #: _____

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. Total Value/Sales Price of Property:

\$440,000.00

Deed in Lieu of Foreclosure Only (value of property): ()

Transfer Tax Value:

\$440,000.00

Real Property Transfer Tax Due:

\$2,244.00

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: ____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____

Capacity: _____ Buyer

Signature: _____

Capacity: _____

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: Michelle Stalk

Address: 2832 Lakecrest Dr.

City: Las Vegas

State: Nevada Zip: 89128

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: Ken Berrydane

Address: 6245 Bristol Parkway, #131

City: Culver City, CA. 90230

State: _____ Zip: _____

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title

Escrow #: 05050446-121

Address: 3980 Howard Hughes Parkway

City/State/Zip: Las Vegas, NV 89109

AN ADDITIONAL RECORDING FEE OF \$1.00 WILL APPLY FOR EACH DECLARATION OF VALUE FORM PRESENTED TO CLARK COUNTY, EFFECTIVE JUNE 1, 2004.

546

Justification Letter



JUSTIFICATION LETTER

Separator Sheet

Joost van der Maas

4921 Clear Creek Rd, Las Vegas, NV. 89110

Telephone 702-453 4923

Email: jvandermaas@hotmail.com

September 11, 2006

PLANNING AND DEVELOPMENT DEPARTMENT

JUSTIFICATION LETTER

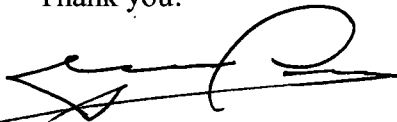
I am submitting this letter of justification on behalf of the owner, Ken Berrydane and William K. Spencer, Architect for the residential property on 2521 Driftwood Dr, Las Vegas, Nevada.

A setback variance is sought to allow the owner to enjoy all of the property like any of several other residences that have a porte-co chere in the front setback.

The Home Owners Association is in favor of this and have indicated so in writing, a document that is included.

Please allow this setback variance.

Thank you!



Joost Vandermaas

RECEIVED
SEP 11 2006

VAR-16497
REVISED
10/19/06 PC

Protest / Approval Letter



PROTEST / APPROVAL LETTER

Separator Sheet

City of Las Vegas
Attn: Margo Wheeler
Fax: 474-7463

October 9th, 2006

Eddie Haddad
221 Desert View St./ APN 139-32-512-018
Las Vegas, NV 89107
702-491-5812

Regarding: SUP 16498 and
VAR 16497

Dear Margo,

I would like to give my opposition to the above applications.

We at Rancho Bel Air Community have purchased in an area that has open spaces, and we enjoy these open spaces because of the large lots we share. To allow a builder to encroach on our open space is like owning a smaller lot, which takes away our favor.

Especially at this end of the community, we are at or close to 2 corners, one inner corner and one outer corner. The subject property backs up to the north, and will be followed with another built home backing up to the south, which will further crowd everyone's yard.

My next door neighbors and I back up east to both of these home lots. There are 2 additional homes located east of the subject that will also be affected negatively if this variance is granted. Therefore, allowing this variance will negatively affect in all 4 directions, all 5 homes.

Typically, lots are deeper in nature than they are wider. My lot, on Desert View St. is the opposite, a little wide, but not deep. This negatively impacts me further in that my backyard is not open and wide enough, and will be affected even more severely.

Finally, the land owner has ½ acre, plenty of land to build as large of a house as possible, with all the extras like a guest house. Just because he wants to get more space between his buildings doesn't mean we should get less space. Especially in our corners of the community, there are irregular sized lots and potential for overcrowding.

Please don't hesitate to contact me if you have any further questions.

Eddie Haddad- Adjoining Resident

**Rancho Bel Air HOA
% The Property Group
3286 Brentwood Street
Las Vegas, Nevada 89121
702 737-0190**

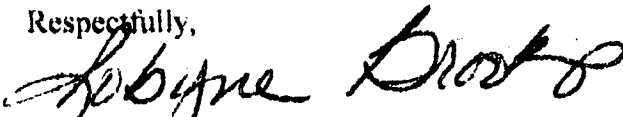
December 11, 2005

Ken Berrydane
2520 Driftwood
Las Vegas, Nevada

I am pleased to report that your plans for the development of the lot at 2520 Driftwood have been approved by the Rancho Bel Air Architectural Committee conditioned on the fact that the City of Las Vegas approves both the front and back encroachments into set backs by the pool house and the porte cochere. Once approved by the city we will need a copy of the approval as well as the building permit and any other correspondence you receive from them.

Should you have any questions concerning the above, feel free to contact me at the office.

Respectfully,



Robyne Brooks, CPM
Association Manager

Cc; Rancho Bel Air BOD

**VAR-16497
10/19/06 PC**

SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-16497** APN: 139-325-12016

Name of Property Owner: Ken Berrydane

Name of Applicant: Ken Berrydane

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: 

Print Name: Ken Berrydane

Subscribed and sworn before me

This 25TH day of MAY, 2004

Notary Public in and for said County and State

Los Angeles, CALIFORNIA

State of California, County of LOS ANGELES

Subscribed and sworn to (or affirmed) before me

on this 25th day of MAY, 2006

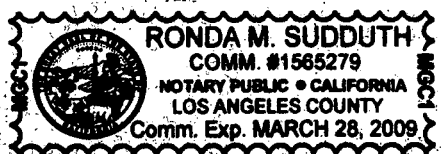
by KEN BERRY/DANE

personally known to me or proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature: [Signature]

Revised 12-03-04

F:\Depot\Application Packet\Statements of Financial Interest.doc



Application



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: FRONT AND REAR YARD REDUCTION
 Project Address (Location): 2521 DRIFTWOOD DRIVE
 Project Name: NEW RESIDENCE Proposed Use: RESIDENTIAL
 Assessor's Parcel #(s): 139 - 32 - 512 - 016 Ward #: _____
 General Plan: existing R proposed R Zoning: existing _____ proposed _____
 Commercial Square Footage: N/A Floor Area Ratio: _____
 Gross Acres: _____ Lots/Units: _____ Density: SINGLE FAMILY
 Additional Information: _____

PROPERTY OWNER: KEN BERRY DANE Contact: _____
 Address: (SAME AS BELOW) Phone: _____ Fax: _____
 City: _____ State: _____ Zip: _____

APPLICANT: KEN BERRY DANE Contact: KEN BERRY DANE
 Address: 5855 GREEN VALLEY CIRCLE Phone: 310-6782108 Fax: _____
 City: CULVER CITY State: CAL. Zip: 90230

REPRESENTATIVE: JOSSE VAN DERMAAS Contact: _____
 Address: _____ Phone: 702-4534923 Fax: _____
 City: _____ State: _____ Zip: _____

Property Owner Signature* [Signature]

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name: KEN BERRYDANE

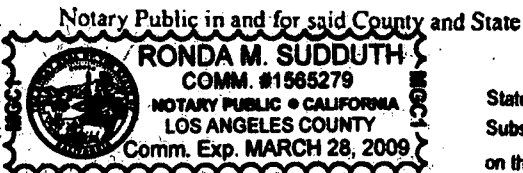
Subscribed and sworn before me Ronda M. Sudduth, Notary Public

This 25TH day of MAY, 2006

FOR DEPARTMENT USE ONLY

Case #: VAR-16497
 Meeting Date: 10/19/06
 Total Fee: \$600.00
 Date Received*: 9/5/06
 Received By: [Signature]

* The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Departments for consistency with applicable sections of the Zoning Ordinance.



State of California, County of Los Angeles
 Subscribed and sworn to (or affirmed) before me
 on this 25TH day of MAY, 2006
 by KEN BERRYDANE

personally known to me or proved to me on the basis of satisfactory evidence to be the person who appeared before me

Signature: [Signature]

f:\deposit\Application Packet\Application Form.doc



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: FRONT AND REAR YARD REDUCTION
 Project Address (Location): 2521 DRIFTWOOD DRIVE
 Project Name: NEW RESIDENCE Proposed Use: RESIDENTIAL
 Assessor's Parcel #(s): 139 - 32-512-016 Ward #: _____
 General Plan: existing R proposed R Zoning: existing _____ proposed _____
 Commercial Square Footage: N/A Floor Area Ratio: _____
 Gross Acres: _____ Lots/Units: _____ Density: SINGLE FAMILY
 Additional Information: _____

PROPERTY OWNER: KEN BERRY DANE Contact: _____
 Address: (SAME AS BELOW) Phone: _____ Fax: _____
 City: _____ State: _____ Zip: _____

APPLICANT: KEN BERRY DANE Contact: KEN BERRY DANE
 Address: 5855 GREEN VALLEY CIRCLE Phone: 310-6702108 Fax: _____
 City: CULVER CITY State: CAL Zip: 90230

REPRESENTATIVE: JOOST VAN DER MAAS Contact: _____
 Address: _____ Phone: 702-4534923 Fax: _____
 City: _____ State: _____ Zip: _____

Property Owner Signature: [Signature]

An authorized agent may sign by the of the property owner for Final Maps, Technical Maps, and Parcel Maps.

Print Name: KEN BERRYDANE

Subscribed and sworn before me: RONDA M. SUDDUTH

This 7TH day of SEPTEMBER, 2006

[Signature]

Notary Public in and for said County and State



Revised 04/26/05

FOR DEPARTMENT USE ONLY

Case #: VAR-16497
 Meeting Date: 10/19/06
 Total Fee: \$600.00
 Date Received: 9/5/06
 Received By: [Signature]

* The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

\\msnet\Application Packet\Application Form.doc

State of California, County of LOS ANGELES

Subscribed and sworn to (or affirmed) before me

on this 7TH day of SEPT., 2006

by KEN BERRYDANE

personally known to me or proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature: [Signature]



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: FRONT AND REAR YARD REDUCTION
 Project Address (Location): 2521 DRIFTWOOD DRIVE
 Project Name: NEW RESIDENCE Proposed Use: RESIDENTIAL
 Assessor's Parcel #(s): 139 - 32-512-016 Ward #: _____
 General Plan: existing R proposed R Zoning: existing _____ proposed _____
 Commercial Square Footage: N/A Floor Area Ratio: _____
 Gross Acres: _____ Lots/Units: _____ Density: SINGLE FAMILY
 Additional Information: _____

PROPERTY OWNER: KEN BERRY DANE Contact: _____
 Address: (SAME AS BELOW) Phone: _____ Fax: _____
 City: _____ State: _____ Zip: _____

APPLICANT: KEN BERRY DANE Contact: KEN BERRY DANE
 Address: 5855 GREEN VALLEY CIRCLE Phone: 310-6702108 Fax: _____
 City: CULVER CITY State: CAL Zip: 90230

REPRESENTATIVE: JOSI VANDERMAAS Contact: _____
 Address: _____ Phone: 702-4534923 Fax: _____
 City: _____ State: _____ Zip: _____

Property Owner Signature: [Signature]

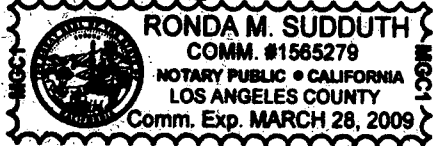
An authorized agent may sign by line of the property owner for Final Plans, Tentative Maps, and Parcel Maps.

Print Name: KEN BERRYDANE

Subscribed and sworn before me: RONDA M. SUDDUTH

This 7TH day of SEPTEMBER, 20 06

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #: VAR-16497
 Meeting Date: 10/19/06
 Total Fee: \$600.00
 Date Received: 9/5/06
 Received By: [Signature]

* The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

State of California, County of LOS ANGELES

Subscribed and sworn to (or affirmed) before me

on this 7TH day of SEPT., 20 06

by KEN BERRYDANE

personally known to me or proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature: [Signature]

Hansen Sheet



Separator Sheet

Report Date 09/06/2006 10:22 AM

Submitted By

Page 1

A/P # 16497 VARIANCE

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	09/05/2006 10:22	982721	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

VAR-16497 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: KEN BERRYDANE - Request for a Variance TO ALLOW A NINE-FOOT SETBACK IN THE FRONT YADR WHERE 25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A FIVE-FOOT SETBACK IN THE REAR YARD WHERE 15 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED ADDTION TO A SINGLE-FAMILY RESIDENCE on 0.48 acres at 2521 Driftwood Drive (APN 139-32-512-016), R-PD4 (residential Planned Development - 4 Units per Acre) Zone, Ward 1 (Tarkanian).

Parent A/P #

Project # 16497 Project/Phase Name BERRYDANE RESIDENCE Phase #
Size/Area 0.48 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13932512016
Location

Owner/Tenant

Contact ID AC1031748 Name BERRYDANE KEN
Mailing Address 6245 BRISTOL PKWY #131 Organization
City CULVER CITY State/Province CA
ZIP/PC 90230-6903 Country ☐ Foreign
Day Phone (310)678-2108 x Evening Phone
Fax Mobile #

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

2520 DRIFTWOOD DR
LAS VEGAS, 89107-

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13932512016

Report Date 09/06/2006 10:22 AM

Submitted By

Page 2

Check Conditions Condition Supervisor Required	Approval	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
--	----------	-------------------------	---------------	------------	--------------	----------

No Conditions

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

VARIANCE

N Parent Project link required? Final City Council letter received
Y Will this go to the City Council? Annotated minutes received
Is there a condition of approval for a Required Review?
If yes, when does it need to be reviewed?

Meeting Information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
10/19/2006	PC	SCHEDULED		0	0	0
PLOWENSTEIN	09/05/2006					

Template Type A/P #	A/P Type	Status	Stage
---------------------	----------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
Z-SUBC	REASON ALL ITEMS NOT SUBMITTED	982721	09/05/2006 10:21		0.00
Full size b/w floor plan and elevation, as well as a justification letter to be submitted by 09/07/06 by noon.					

Project Checklist



PROJECT CHECKLIST

Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes	
Item Required					
YES	NO				
APPLICATION					
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)		Submit plans to front counter by 2:00pm 7/5/06.	
☒	☐	Grant deed and legal description			
☒	☐	<i>Detailed</i> justification letter			
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations			
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations 1			
☒	☐	Correct fee(s): \$300 \$300 \$ Total = \$600			
☒	☐	Statement of Financial Interest — <i>1250 must be NOTARIZED.</i>			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance			
SITE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size		Folded Plans: 19 Rolled/Colored Plans: 1 24 x 36"	
☒	☐	North arrow, scale, and vicinity map			
☒	☐	<i>All</i> property lines and present dimensions labeled			
☒	☐	<i>All</i> building setbacks labeled			
☒	☐	<i>All</i> adjacent existing land uses and street names labeled			
☒	☐	<i>All</i> points of ingress and egress shown			
☐	☒	ADA accessibility requirements shown/labeled			
☐	☒	Parking standard(s) utilized:			
☐	☒	Parking space count and typical dimensions labeled			
☐	☐	#regular	#compact	#handicap	Total
☐	☒	<i>All</i> free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN					
☐	☐	11" x 17" min. to 24" x 36" max. page size		Folded Plans: / Rolled/Colored Plans: / 6	
☐	☐	North arrow, scale, and vicinity map			
☐	☐	<i>All</i> property lines and present dimensions labeled			
☐	☐	<i>All</i> required perimeter landscape planters shown			
☐	☐	<i>All</i> required parking lot fingers/islands shown			
☐	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
☒	☐	11" x 17" min. to 24" x 36" max. page size		Folded Plans: / Rolled/Colored Plans: /	
☒	☐	Scale and building dimensions labeled			
☒	☐	North, south, east, and west elevations of <i>all</i> buildings			
☒	☐	<i>All</i> building materials and colors noted			
☒	☐	8" x 10" photo of original color and material board			
☒	☐	<i>All</i> wall sign locations shown and sizes noted			
FLOOR PLANS					
☒	☐	11" x 17" min. to 24" x 36" max. page size		Folded Plans: / Rolled Plans: /	
☒	☐	Scale and building dimensions labeled			
☒	☐	<i>All</i> building entrances/exits shown			
☒	☐	Use of <i>all</i> rooms noted/labeled			

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: WILLIAM SPENCER Application Type: VAR - porte cochere
 APN: 3932512016 Location: 2520 Duffwood
 Planner: ERM/B Pre-App Meeting Date: 5/16/06 Earliest PC Date: 7/13/06
 Revised 02/07/04 7/5/06 FE

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

VAR-16497 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: KEN BERRYDANE - Request for a Variance TO ALLOW A NINE-FOOT SETBACK IN THE FRONT YARD WHERE 25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A FIVE-FOOT SETBACK IN THE REAR YARD WHERE 15 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED ADDITION TO A SINGLE-FAMILY RESIDENCE on 0.48 acres at 2521 Driftwood Drive (APN 139-32-512-016), R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone, Ward 1 (Tarkanian).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

PLANNING COMMISSION: **OCTOBER 19, 2006** CITY COUNCIL: **NOVEMBER 15, 2006**

PLANNING SUPERVISOR: **JOHN KORKOSZ**



PUBLIC HEARING

Comments Due: **SEPTEMBER 18, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

VAR-16497

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.**
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT **< US MAIL DELIVERY>**

VARIANCE
09/05/2006

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: October 19, 2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

VAR-16497

Bonanza Village NA

Charleston Estates NA

Charleston McNeil NA

Harry Levy Gardens Resident Council

Meadows Neighborhood Preservation NA

Palomino Area Preservation NA

Pinto Palomino Residents

Rancho Bel Air NA

Rancho Circle NA

Rancho Manor NA

Rancho Oakey NA

Rancho South NA

Scotch 80's HOA

West Mesquite NA

Westleigh NA

WLV-NAA6

WLV-NAA7

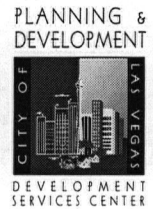
Affidavit of Sign Posting



Separator Sheet



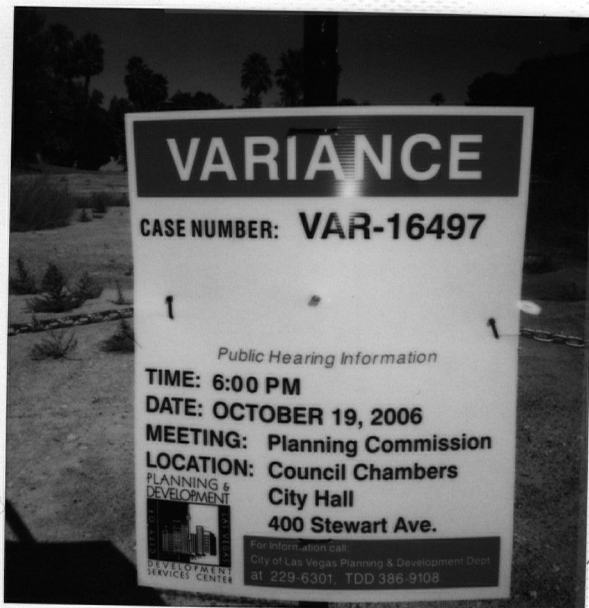
CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: VAR-16497

MEETING DATE: 10/19/06 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first



DESERT VIEW

[Signature]
Signature

10-8-6
Date

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.

Applicant Letter



APPLICANT LETTER

Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

November 3, 2006

Mr. Ken Berry Dane
5855 Green Valley Circle
Culver City, California 90230

RE: ABEYANCE - VAR-16497 - VARIANCE

Dear Mr. Berrydane:

Please be advised the City Planning Commission at its regular meeting on ***November 16, 2006*** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the ***final agenda*** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:clb

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

October 6, 2006

Mr. Ken Berrydane
5855 Green Valley Circle
Culver City, California 90230

RE: VAR-16497 - VARIANCE

Dear Mr. Berrydane:

Please be advised the City Planning Commission at its regular meeting on **October 19, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:clb

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

VARIANCE

MEETING: PLANNING COMMISSION
DATE: OCTOBER 19, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

VAR-16497

APPLICANT/OWNER: KEN BERRYDANE - REQUEST FOR A VARIANCE TO ALLOW A NINE-FOOT SETBACK IN THE FRONT YARD WHERE 25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A FIVE-FOOT SETBACK IN THE REAR YARD WHERE 15 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED SINGLE-FAMILY RESIDENCE ON 0.48 ACRES AT 2521 DRIFTWOOD DRIVE (APN 139-32-512-016), R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE) ZONE, WARD 1 (TARKANIAN).

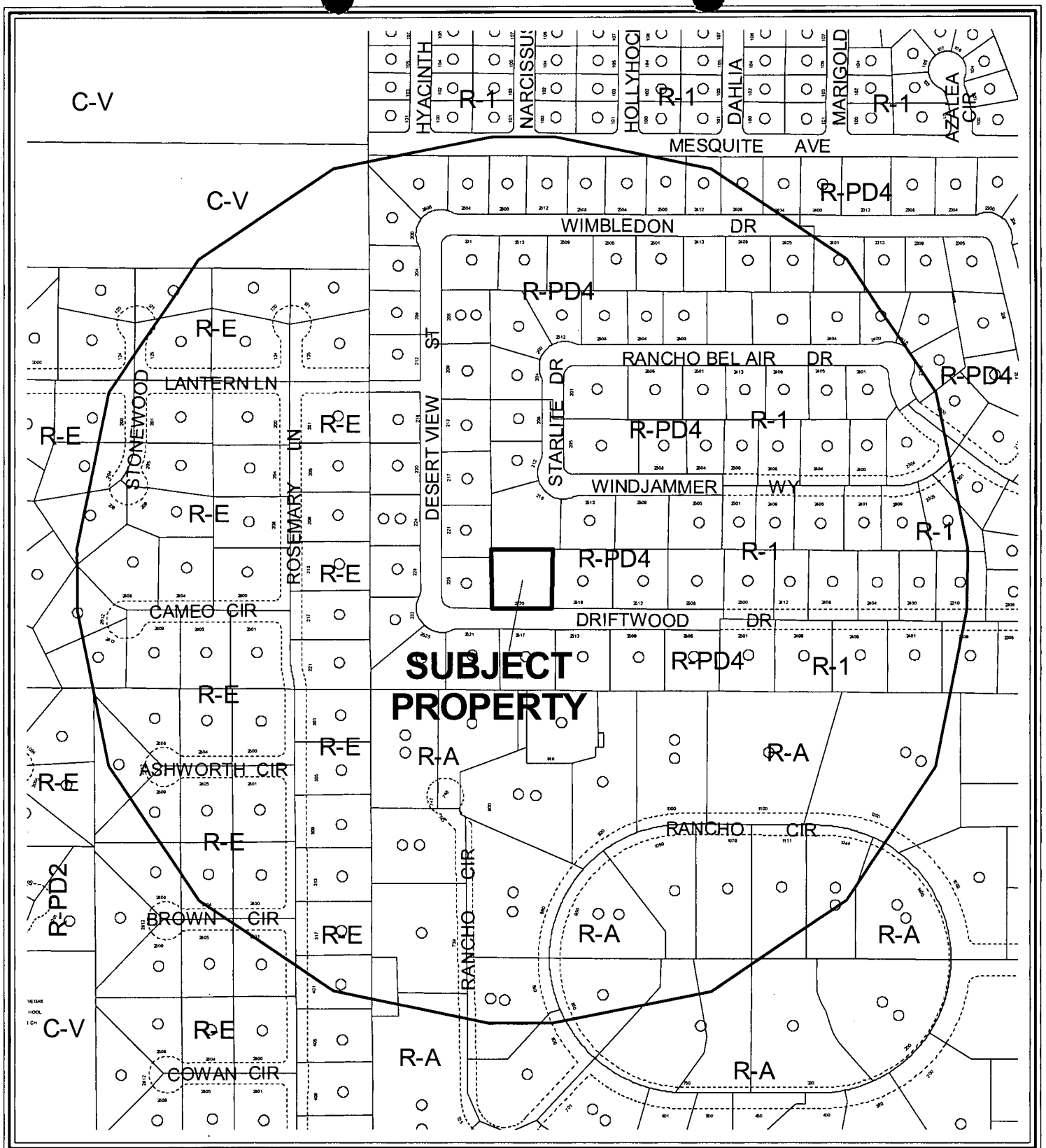
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: VAR-16497

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

Action Letter



ACTION LETTER

Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

October 20, 2006

Mr. Ken Berrydane
5855 Green Valley Circle
Culver City, California 90230

RE: VAR-16497 - VARIANCE

Dear Mr. Berrydane:

Your request for a Variance TO ALLOW A NINE-FOOT SETBACK IN THE FRONT YARD WHERE 25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A FIVE-FOOT SETBACK IN THE REAR YARD WHERE 15 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED SINGLE-FAMILY RESIDENCE on 0.48 acres at ~~2524~~ 2520 Driftwood Drive (APN 139-32-512-016), R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on October 19, 2006.

The Planning Commission voted to hold this item in **ABEYANCE** in an effort to provide the applicant an opportunity to work with the neighbors and to properly renotify.

This item is scheduled to be heard again at the **November 16, 2006** Planning Commission meeting which will be held at 6:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:clb

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

November 17, 2006

Mr. Ken Berrydane
5855 Green Valley Circle
Culver City, California 90230

RE: ABEYANCE - RENOTIFICATION - VAR-16497 - VARIANCE

Dear Mr. Berrydane:

Your request for a Variance TO ALLOW A NINE-FOOT SETBACK IN THE FRONT YARD WHERE 25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A FIVE-FOOT SETBACK IN THE REAR YARD WHERE 15 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED SINGLE-FAMILY RESIDENCE on 0.48 acres at 2520 Driftwood Drive (APN 139-32-512-016), R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on November 16, 2006.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning and Development

1. Conformance to the conditions for Special Use Permit (SUP-16498), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval to allow a 14-foot setback in the front yard where 25 feet is the minimum required per the site plan date stamped 10/30/06.

This item will be considered by the City Council on **December 20, 2006**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:clb

Mayor:
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



City Council Action Letter



Separator Sheet



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

December 21, 2006

Mr. Ken Berrydane
5855 Green Valley Circle
Culver City, California 90230

RE: VAR-16497 - VARIANCE
CITY COUNCIL MEETING OF DECEMBER 20, 2006
RELATED TO SUP-16498

Dear Mr. Berrydane:

The City Council at a regular meeting held December 20, 2006 APPROVED the request for a Variance TO ALLOW A NINE-FOOT SETBACK IN THE FRONT YARD WHERE 25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A FIVE-FOOT SETBACK IN THE REAR YARD WHERE 15 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED SINGLE-FAMILY RESIDENCE on 0.48 acres at 2521 Driftwood Drive (APN 139-32-512-016), R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone. NOTE: THIS APPLICATION IS BEING AMENDED FROM 2521 DRIFTWOOD DRIVE TO 2520 DRIFTWOOD DRIVE. The Notice of Final Action was filed with the Las Vegas City Clerk on December 21, 2006. This approval is subject to:

Planning and Development

1. Conformance to the conditions for Special Use Permit (SUP-16498), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval to allow a 14-foot setback in the front yard where 25 feet is the minimum required per the site plan date stamped 10/30/06.

Sincerely,

Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009



City Council Proof of Publication



Separator Sheet

Las Vegas, Nevada

DECEMBER 4, 2006

TO: LAS VEGAS REVIEW JOURNAL

FROM: CITY CLERK

SUBJECT: PUBLICATION OF NOTICE OF PUBLIC HEARINGS – VARIANCES:

VAR-14734, VAR-16497, VAR-16512, VAR-16516, VAR-16525, VAR-16769,

VAR-17156, VAR-17299 and VAR-17306

Please publish the attached LEGAL NOTICE

ON THE FOLLOWING DATE: FRIDAY, DECEMBER 8, 2006 (One time)

Send me three copies of the Affidavit of Publication at your earliest convenience [no later than seven (7) days following final publication].

ASSISTANT DEPUTY CITY CLERK

cc: Finance Department – Accounts Payable
City Attorney – (on Ordinances)
Planning and Development Department
Front Desk

NOTICE OF PUBLIC HEARINGS
DECEMBER 20, 2006

NOTICE IS HEREBY GIVEN THAT ON WEDNESDAY, DECEMBER 20, 2006 at the hour of 1:00 P.M. in the Council Chambers, City Hall Complex, 400 Stewart Avenue, Las Vegas, Nevada, the City Council will consider the following Variances and Appeals:

VAR-14734 - APPLICANT/OWNER: STEVEN PORTNOFF - Request for a Variance TO ALLOW PROPOSED SIX FOOT HIGH BLOCK WALLS IN THE FRONT YARD WHERE FOUR FEET IS THE MAXIMUM HEIGHT ALLOWED on 0.63 acres located on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane (APN 163-04-401-002), U [(Undeveloped) Zone

VAR-16497 - APPLICANT/OWNER: KEN BERRYDANE - Request for a Variance TO ALLOW A NINE-FOOT SETBACK IN THE FRONT YARD WHERE 25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A FIVE-FOOT SETBACK IN THE REAR YARD WHERE 15 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED SINGLE-FAMILY RESIDENCE on 0.48 acres at 2521 Driftwood Drive (APN 139-32-512-016), R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone. NOTE: THIS APPLICATION IS BEING AMENDED FROM 2521 DRIFTWOOD DRIVE TO 2520 DRIFTWOOD DRIVE

VAR-16512 - APPLICANT: NUVISION HOLDINGS, LLC - OWNER: THE MOYER TRUST - Request for a Variance TO ALLOW 68 PERCENT LOT COVERAGE WHERE 50 PERCENT LOT COVERAGE IS THE MAXIMUM PERMITTED on 0.98 acres at the southwest corner of Rainbow Boulevard and Peak Drive (APN 138-15-701-002), U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] [PROPOSED: C-1 (Limited Commercial) Zone], Ward 5 (Weekly), LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 15, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

VAR-16516 - APPLICANT: NUVISION HOLDINGS, LLC - OWNER: THE MOYER TRUST - Request for a Variance TO ALLOW 89 PARKING SPACES WHERE 121 PARKING SPACES IS THE MINIMUM REQUIRED FOR A PROPOSED MIXED-USE DEVELOPMENT on 0.98 acres at the southwest corner of Rainbow Boulevard and Peak Drive (APN 138-15-701-002), U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] [PROPOSED: C-1 (Limited Commercial) Zone], Ward 5 (Weekly), LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 15, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

VAR-16525 - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST - Request for a Variance TO ALLOW 35,642 SQUARE FEET OF OPEN SPACE WHERE 53,370 SQUARE FEET IS THE MINIMUM REQUIRED on 6.19 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), R-1 (Single Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units Per Acre) Zone [PROPOSED: R-PD12 (Residential Planned Development - 12 Units Per Acre) Zone], Ward 5 (Weekly), LEGALLY DESCRIBED AS BEING A PORTION OF NORTH HALF (N½) OF THE NORTHWEST QUARTER (NW¼) OF SECTION 19, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

VAR-16769 - APPLICANT/OWNER: STEVEN PORTNOFF - Request for a Variance TO ALLOW A PROPOSED SINGLE FAMILY DWELLING TO BE FIVE FEET FROM THE SIDE PROPERTY LINE WHERE 10 FEET IS THE MINIMUM SETBACK REQUIRED on 0.63 acres located on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane (APN 163-04-401-002), U [(Undeveloped) Zone

VAR-17156 - APPLICANT/OWNER: GLENN J. SORRELLS - Request for a Variance TO ALLOW A SEVEN-FOOT HIGH WALL WHERE A FIVE-FOOT HIGH WALL IS THE MAXIMUM HEIGHT PERMITTED IN A PORTION OF THE FRONT YARD on 0.15 acres at 1109 Shifting Sands Drive (APN 138-26-615-088), R-1 (Single Family Residential) Zone. NOTE: THE APPLICATION IS FOR AN EIGHT FOOT HIGH WALL WHERE A FIVE-FOOT HIGH WALL IS THE MAXIMUM

VAR-17299 - APPLICANT: MICHAEL LAWSON - OWNER: SANDCASTLE ENTERPRISES, INC. - Request for a Variance TO ALLOW 13 PARKING SPACES WHERE 27 PARKING SPACES ARE THE MINIMUM REQUIRED on 0.79 acres at 6565 Smoke Ranch Road (APN 138-23-110-031), C-1 (Limited Commercial) Zone

VAR-17306 - APPLICANT: WEST ONE PROPERTIES, LTD - OWNER: ASP REALTY, INC. - Request for a Variance TO ALLOW 15 PARKING SPACES WHERE 25 PARKING SPACES ARE THE MINIMUM REQUIRED FOR AN EXISTING SHOPPING CENTER on 0.63 acres at 4441 East Bonanza Road (APN 140-32-101-003), C-1 (Limited Commercial) Zone

ANY AND ALL INTERESTED PERSONS may appear and be heard at said meeting or, prior thereto, may file written objections thereto or approvals thereof with the City Clerk, 1st Floor, City Hall.

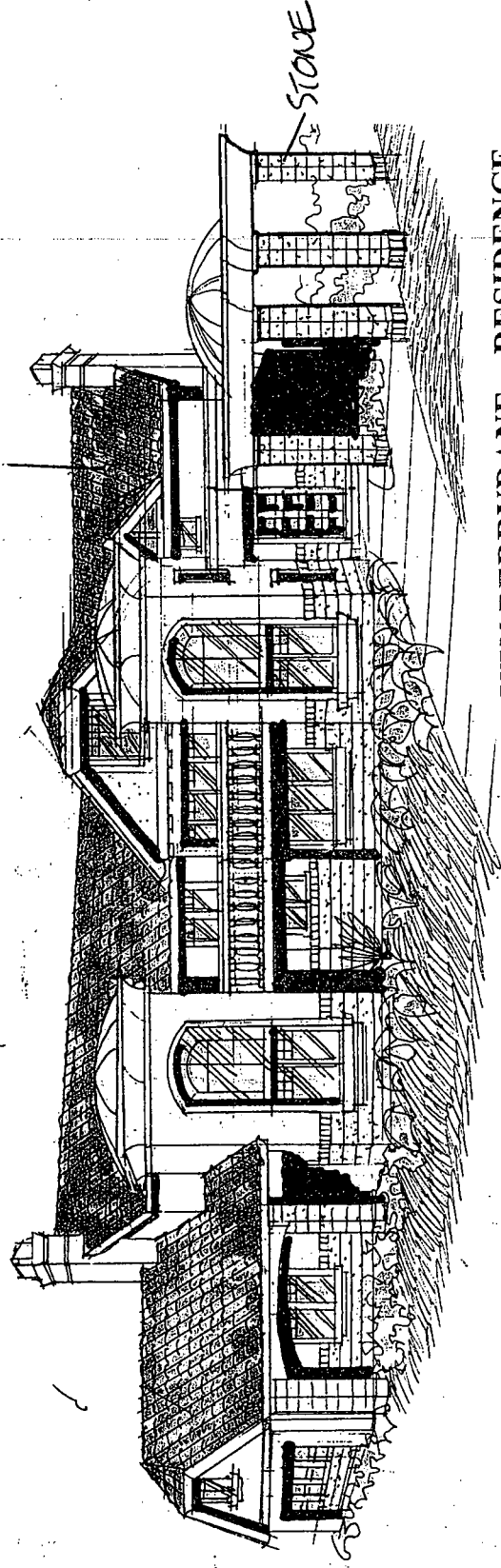
BARBARA JO RONEMUS, CITY CLERK

Plans (PMT)



Separator Sheet

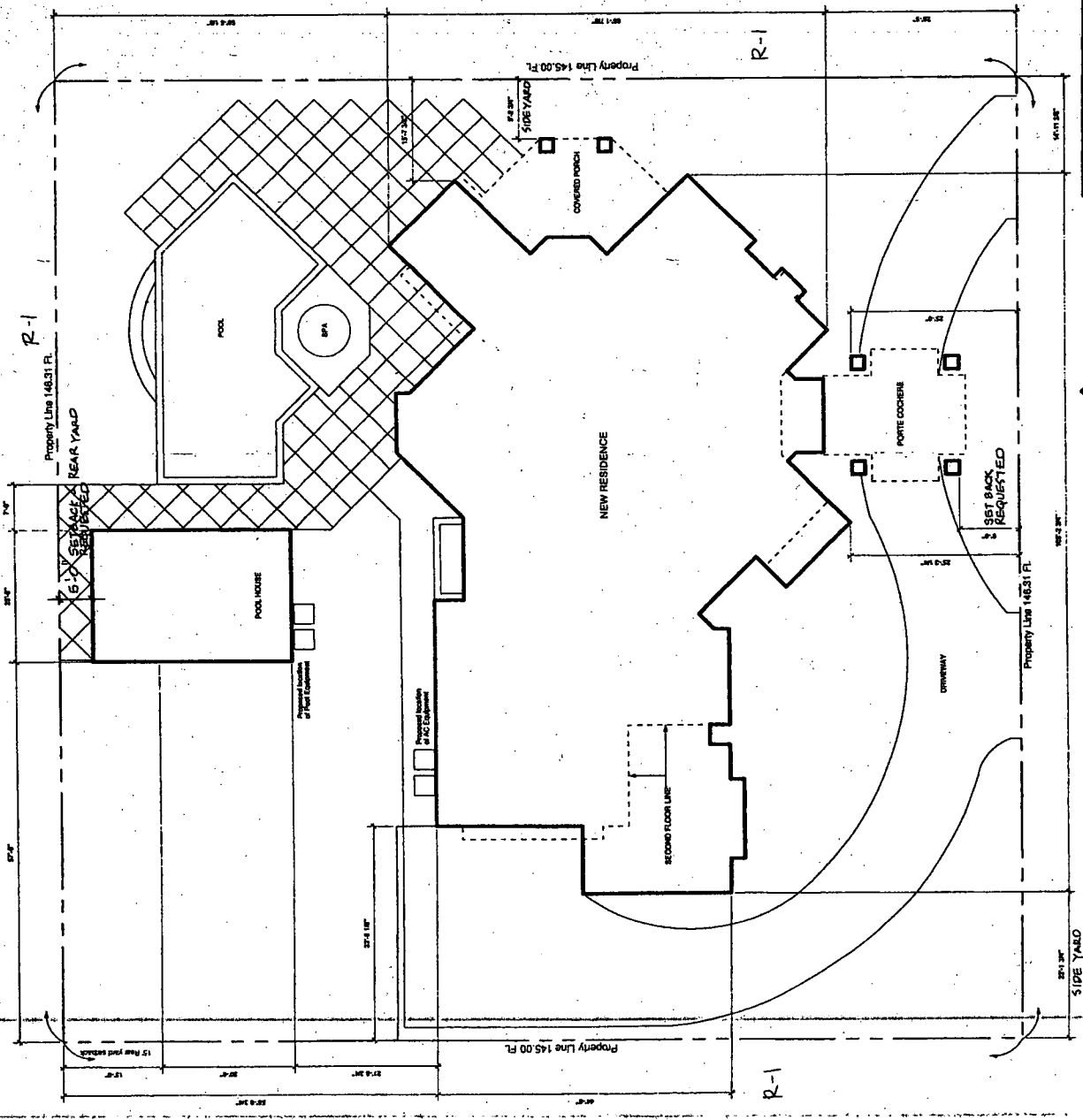
GLASS COOL



KEN BERRYDANE - RESIDENCE
LAS VEGAS

SEP 05 2006

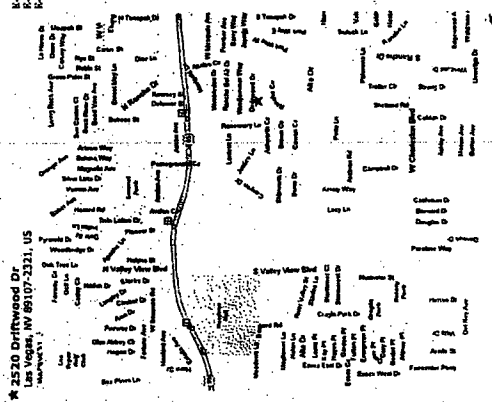
VAR-16497
10/19/06 PC



Project Data

Lot Area	31,315 sq. ft.
Residence Footprint (Including Garage)	4,980 sq. ft.
Residence Second Floor Area	4,776 sq. ft.
Total Residence	9,764 sq. ft.
Pool House	680 sq. ft.
Porte Cochere	440 sq. ft.
Total Lot Coverage	10,894 sq. ft.
Percent Lot Coverage	50.9%

Vicinity Map



Sheet Index

Sheet No.	Sheet Title
C-1	Title Sheet
C-2	Grading Plan
C-3	Site Plan
A-1	First Floor Plan
A-2	Second Floor Plan
A-3	Pool House
A-4	Porte Cochere
A-5	Driveway
A-6	Building Cross Section
A-7	Building Elevation
A-8	Interior Elevations
A-9	Pool House
A-10	Architectural Details
A-11	Notes and Details
A-12	Foundation Plan
A-13	Second Floor Framing Plan
A-14	Roof Framing Plan
A-15	Notes
M-1	First Floor Water
M-2	Second Floor Water
M-3	First Floor Drainage
M-4	Second Floor Drainage
P-1	Details
P-2	Pool House
P-3	Porte Cochere
P-4	Driveway
P-5	Building Cross Section
P-6	Building Elevation
P-7	Interior Elevations
P-8	Pool House
S-1	Notes and Schedule
S-2	Second Floor Water and Lighting

SEP 05 2006

Sheet	C-1
Drawn	Ken Berrydane
Title	Site Plan
Date	03-04-07

VAR-16497
10/19/06 PC

New Custom Residence
 2520 Driftwood Drive, Rancho
 Bel Air, Las Vegas, Nevada
 Ken Berrydane, Developer

Legal Description

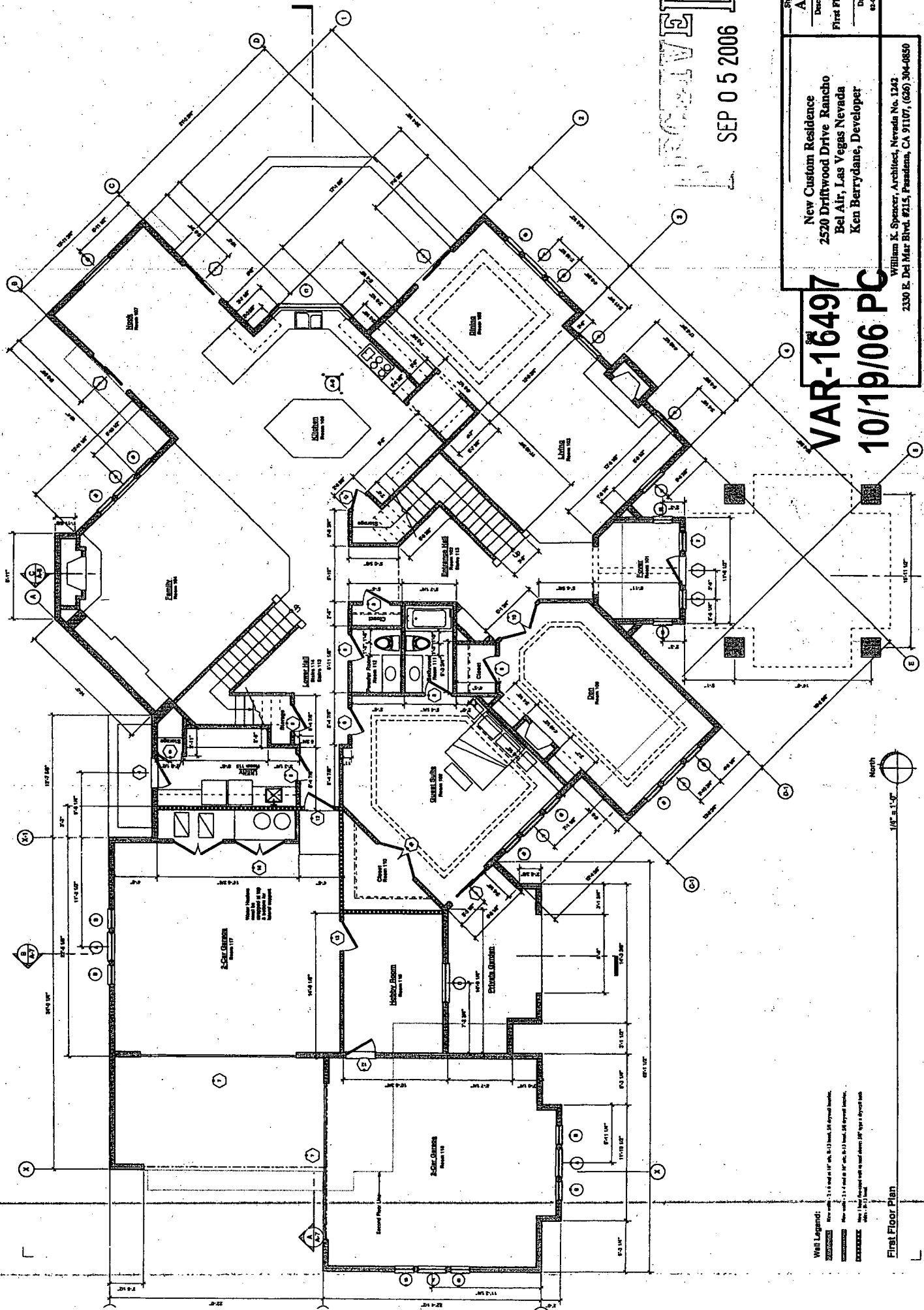
Lot 18 of Unit #4
 Subdivision of Rancho Bel Air Trust
 APN 130-33-51416

Site Plan



1/8" = 1'-0"

William K. Spencer, Architect, Nevada No. 1242
 2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 394-0850



RECEIVED
SEP 05 2006

Sheet	A-1
Describe	First Floor
Date	08-04-06

VAR-16497
10/19/06 PC

New Custom Residence
2520 Driftwood Drive Rancho
Bel Air, Las Vegas Nevada
Ken Berrydane, Developer

William K. Spenser, Architect, Nevada No. 1242
2330 E. Del Mar Blvd #215, Pasadena, CA 91107, (626) 304-0850

Wall Legend:

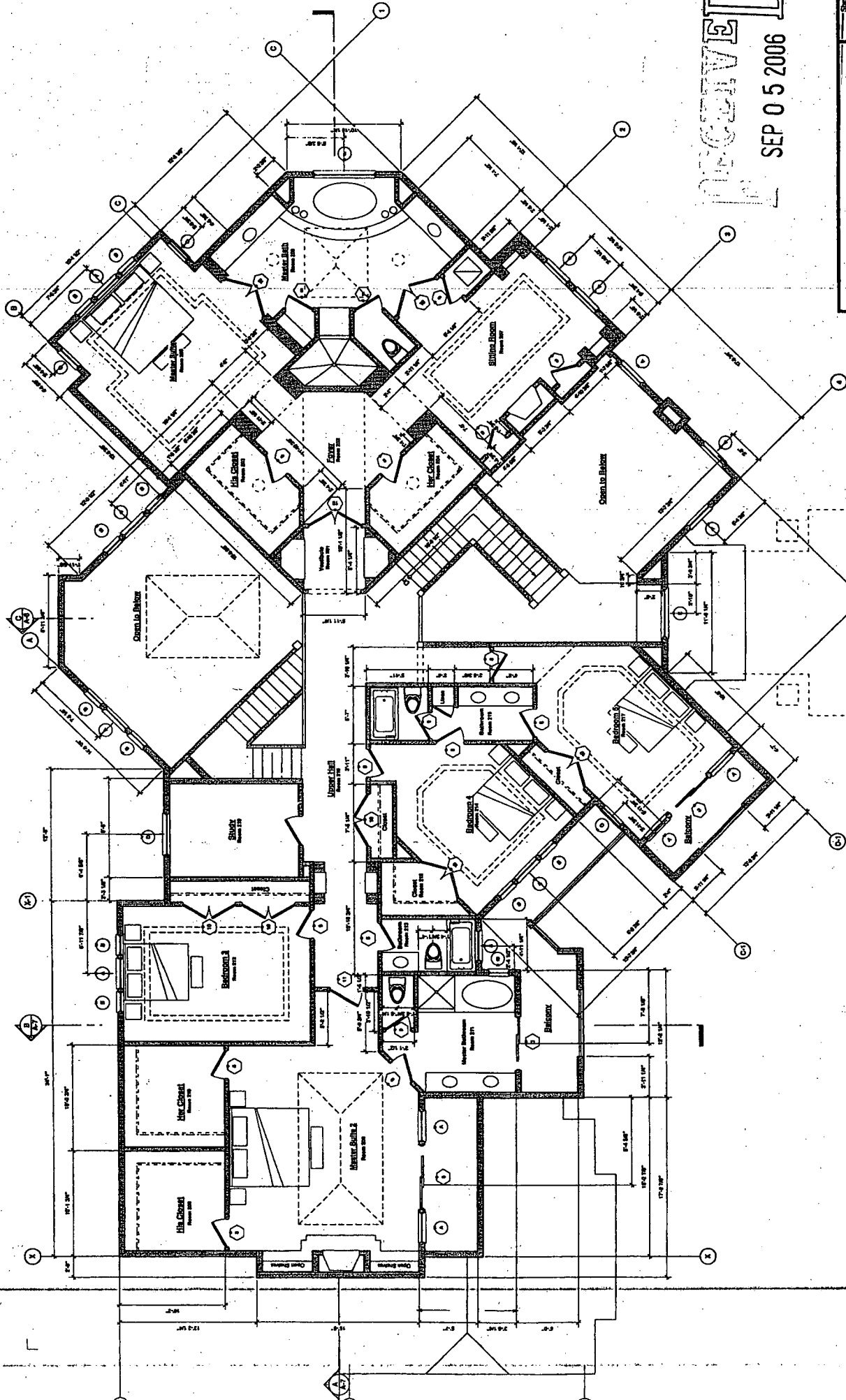
1/2" x 4" Stud at 16" o.c., 5/8" G.I. Board, 1/2" Drywall finish.

1/2" x 4" Stud at 16" o.c., 5/8" G.I. Board, 1/2" Drywall finish.

1/2" x 4" Stud at 16" o.c., 5/8" G.I. Board, 1/2" Drywall finish.

1/2" x 4" Stud at 16" o.c., 5/8" G.I. Board, 1/2" Drywall finish.

First Floor Plan



RECEIVED
SEP 05 2006

Sheet	Date
A-2	03-06-06
Second 1	
Plan	

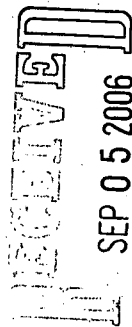
VAR-16497
10/19/06 PC

New Custom Residence
2520 Driftwood Drive Rancho
Bel Air, Las Vegas Nevada
Ken Berrydane, Developer

William K. Spencer, Architect, Nevada No. 1242
2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0830

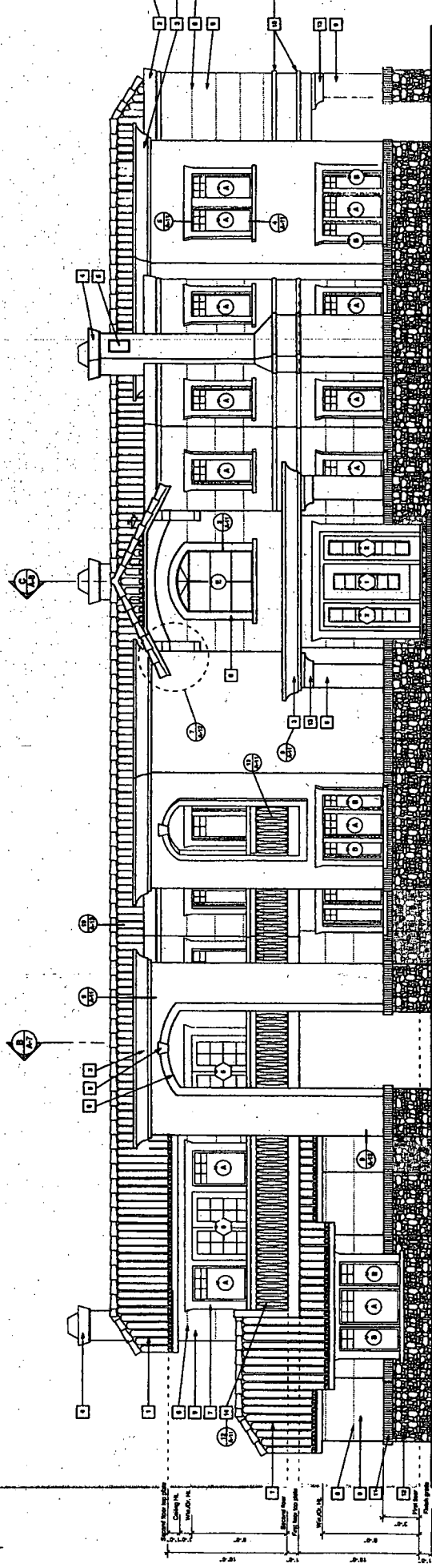
Wall Legend:
1/2" = 1'-0" (1/2" = 1'-0")
1/4" = 1'-0" (1/4" = 1'-0")
1/8" = 1'-0" (1/8" = 1'-0")
1/16" = 1'-0" (1/16" = 1'-0")

Second Floor Plan



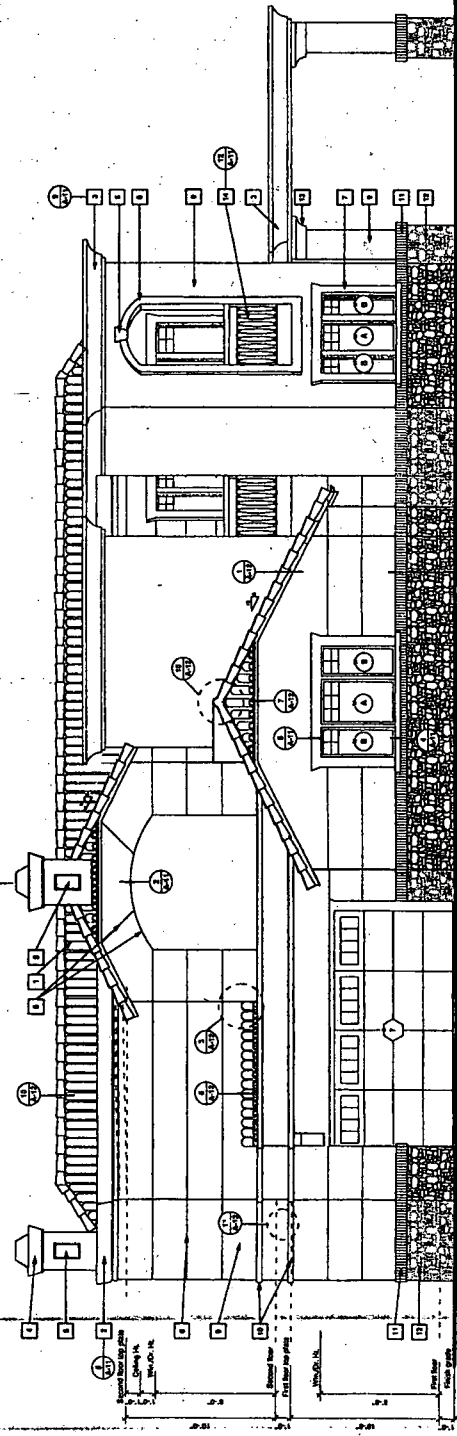
VAR-16497
10/19/06 PC

Sheet	A-4
Description	Roof Pl
Date	03-06-04
New Custom Residence 2520 Driftwood Drive Rancho Bel Air, Las Vegas Nevada Ken Berrydane, Developer William E. Spencer, Architect, Nevada No. 1242 23230 E. Del Mar Blvd. #215, Pasadena, Ca 91107, (626) 304-0850	



South Elevation

1/4" = 1'-0"



West Elevation

1/4" = 1'-0"

Number	Description
1	Lightweight clay tile roofing
2	Custom Pine Chimney #1
3	Custom Pine Chimney #2
4	Custom Pine Chimney #3
5	Decorative Sillcap
6	Decorative Sillcap
7	Decorative Sillcap
8	Decorative Sillcap
9	Decorative Sillcap
10	Decorative Sillcap
11	Decorative Sillcap
12	Decorative Sillcap
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15	Decorative Sillcap
16	Decorative Sillcap
17	Decorative Sillcap
18	Decorative Sillcap

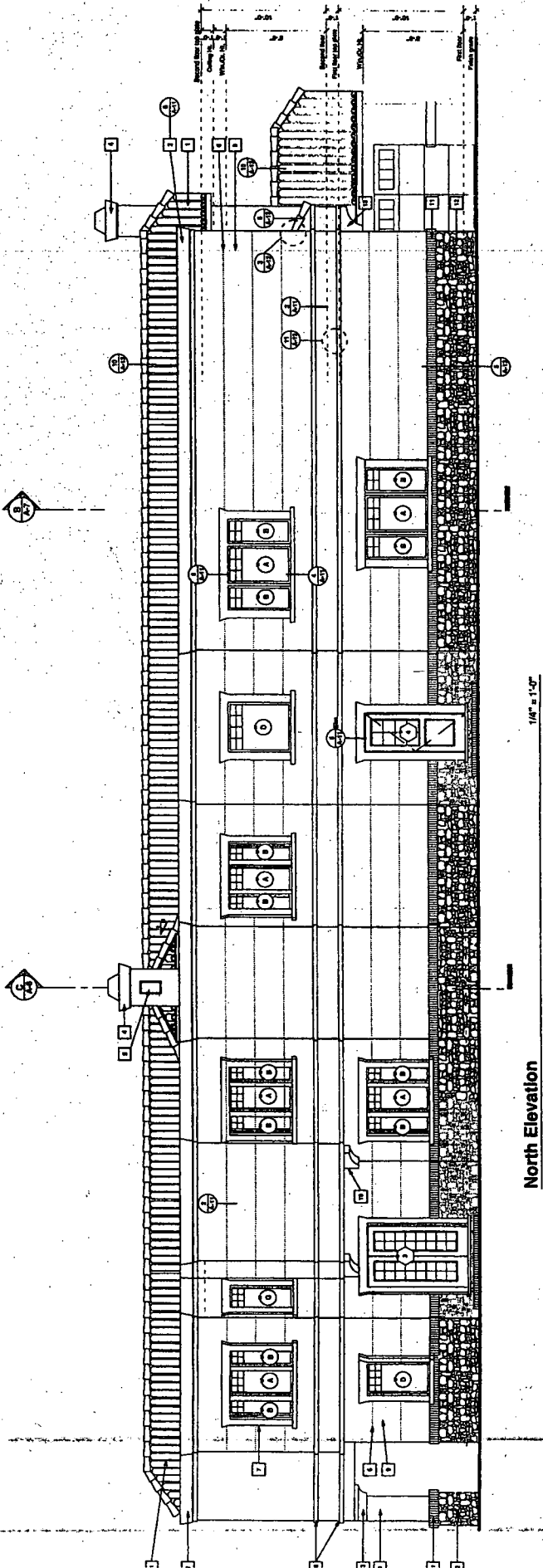
RECEIVED
SEP 05 2006

Sheet	Describe	Elevation	Date
A-1			02-04

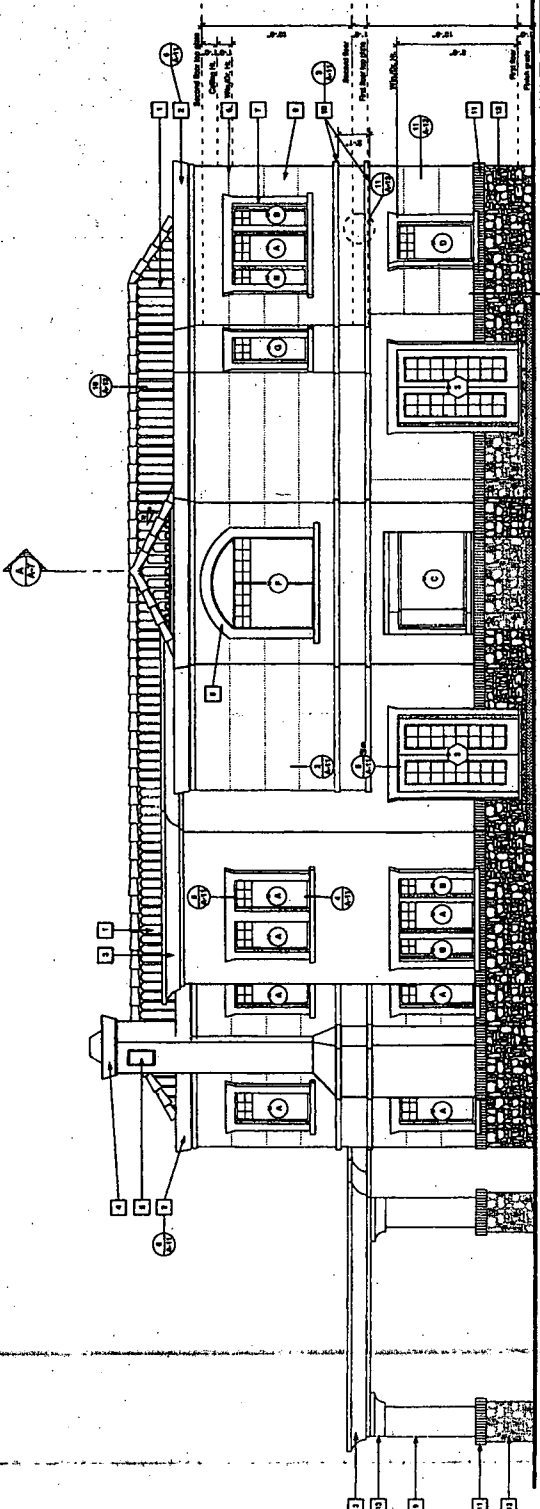
New Custom Residence
 2520 Driftwood Drive Rancho
 Bel Air, Las Vegas Nevada
 Ken Berrydane, Developer

William E. Spencer, Architect, Nevada No. 1242
 2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 394-0850

VAR-16497
10/19/06 PC



North Elevation



East Elevation

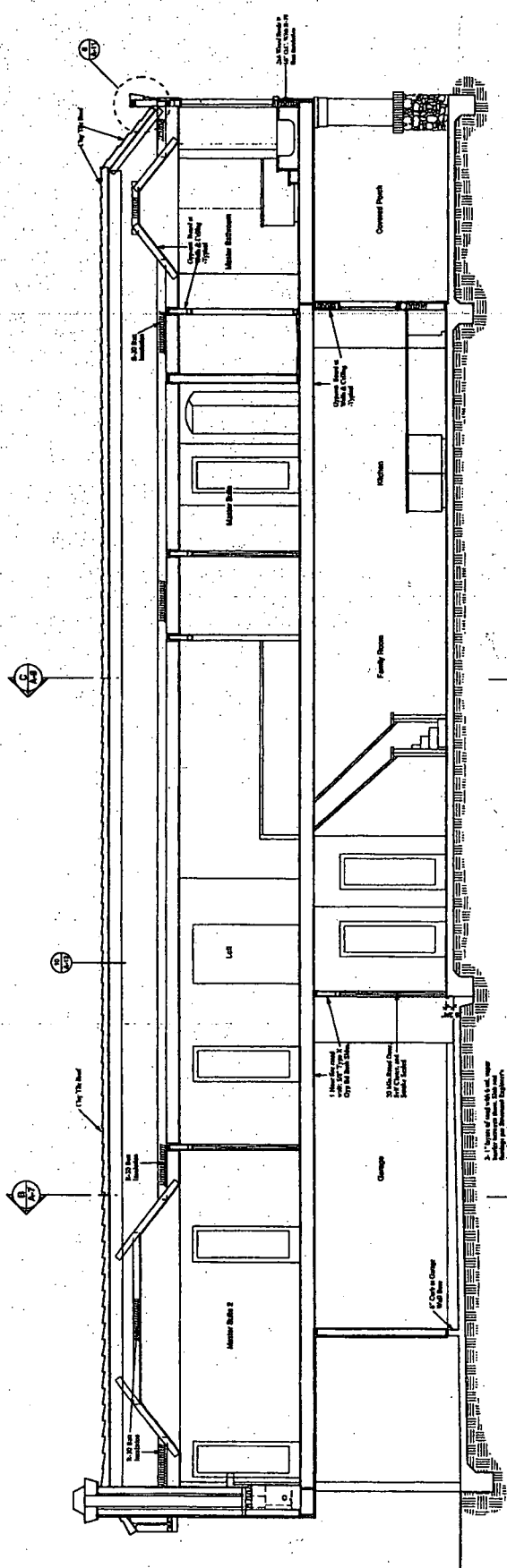
Item	Description	Quantity	Unit	Notes
1	Lightweight concrete block walling	1	SF	
2	Concrete Formwork #1	1	SF	
3	Concrete Formwork #2	1	SF	
4	Concrete Formwork #3	1	SF	
5	Concrete Formwork #4	1	SF	
6	Concrete Formwork #5	1	SF	
7	Concrete Formwork #6	1	SF	
8	Concrete Formwork #7	1	SF	
9	Concrete Formwork #8	1	SF	
10	Concrete Formwork #9	1	SF	
11	Concrete Formwork #10	1	SF	
12	Concrete Formwork #11	1	SF	
13	Concrete Formwork #12	1	SF	
14	Concrete Formwork #13	1	SF	
15	Concrete Formwork #14	1	SF	
16	Concrete Formwork #15	1	SF	
17	Concrete Formwork #16	1	SF	
18	Concrete Formwork #17	1	SF	
19	Concrete Formwork #18	1	SF	
20	Concrete Formwork #19	1	SF	
21	Concrete Formwork #20	1	SF	
22	Concrete Formwork #21	1	SF	
23	Concrete Formwork #22	1	SF	
24	Concrete Formwork #23	1	SF	
25	Concrete Formwork #24	1	SF	
26	Concrete Formwork #25	1	SF	
27	Concrete Formwork #26	1	SF	
28	Concrete Formwork #27	1	SF	
29	Concrete Formwork #28	1	SF	
30	Concrete Formwork #29	1	SF	
31	Concrete Formwork #30	1	SF	
32	Concrete Formwork #31	1	SF	
33	Concrete Formwork #32	1	SF	
34	Concrete Formwork #33	1	SF	
35	Concrete Formwork #34	1	SF	
36	Concrete Formwork #35	1	SF	
37	Concrete Formwork #36	1	SF	
38	Concrete Formwork #37	1	SF	
39	Concrete Formwork #38	1	SF	
40	Concrete Formwork #39	1	SF	
41	Concrete Formwork #40	1	SF	
42	Concrete Formwork #41	1	SF	
43	Concrete Formwork #42	1	SF	
44	Concrete Formwork #43	1	SF	
45	Concrete Formwork #44	1	SF	
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49	Concrete Formwork #48	1	SF	
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61	Concrete Formwork #60	1	SF	
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69	Concrete Formwork #68	1	SF	
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76	Concrete Formwork #75	1	SF	
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79	Concrete Formwork #78	1	SF	
80	Concrete Formwork #79	1	SF	
81	Concrete Formwork #80	1	SF	
82	Concrete Formwork #81	1	SF	
83	Concrete Formwork #82	1	SF	
84	Concrete Formwork #83	1	SF	
85	Concrete Formwork #84	1	SF	
86	Concrete Formwork #85	1	SF	
87	Concrete Formwork #86	1	SF	
88	Concrete Formwork #87	1	SF	
89	Concrete Formwork #88	1	SF	
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93	Concrete Formwork #92	1	SF	
94	Concrete Formwork #93	1	SF	
95	Concrete Formwork #94	1	SF	
96	Concrete Formwork #95	1	SF	
97	Concrete Formwork #96	1	SF	
98	Concrete Formwork #97	1	SF	
99	Concrete Formwork #98	1	SF	
100	Concrete Formwork #99	1	SF	
101	Concrete Formwork #100	1	SF	

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Sheet	A-1
Describe	New Custom Residence
Elevation	2520 Driftwood Drive Rancho
Date	Bel Air, Las Vegas Nevada
	Ken Berrydane, Developer

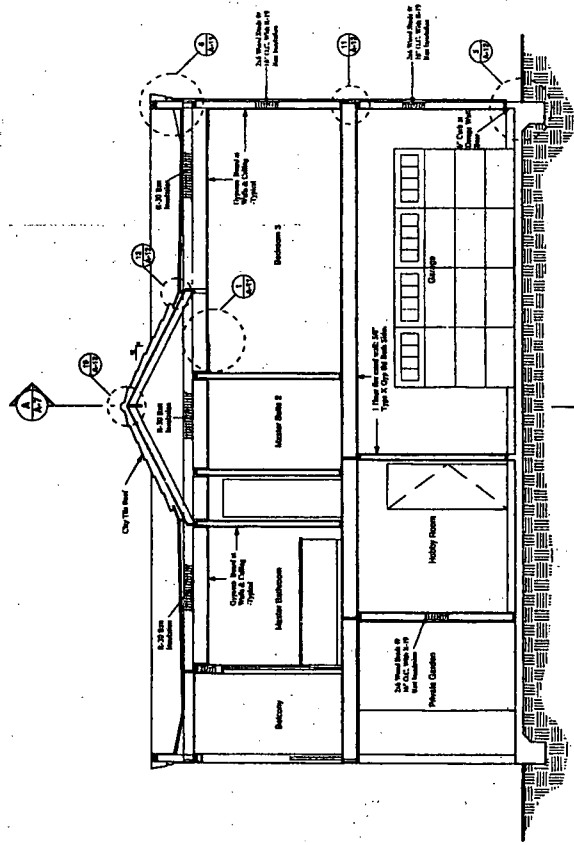
VAR-16497
10/19/06 PC

William K. Spencer, Architect, Nevada No. 1242
2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 364-0850



Section A

1/4" = 1'-0"



Section B

1/4" = 1'-0"

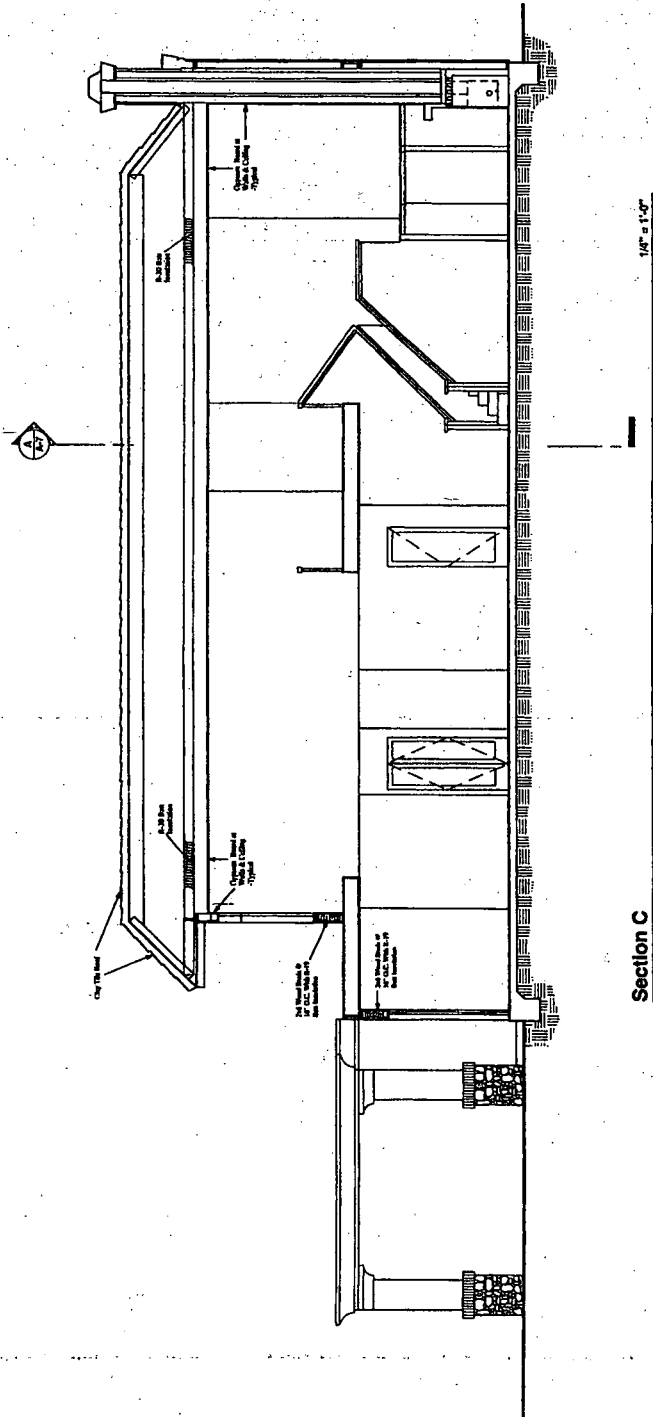
SEP 05 2006

Sheet	Describe	Section	Date
A-1	New Custom Residence	2520 Driftwood Drive Rancho	02-04-0
	Bel Air, Las Vegas Nevada		
	Ken Berrydane, Developer		

Seal

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2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (656) 304-0859



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Sheet	Describe	Settling	Date
A-1	New Custom Residence		02-04-07
2520 Driftwood Drive Rancho			
Bel Air, Las Vegas Nevada			
Ken Berrydane, Developer			
William K. Spencer, Architect, Nevada No. 1242			
2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850			

VAR-16497
10/19/06 PC



DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT

RPD SETBACK

Date: _____

SUBDIVISION

Rancho Bel air

DISTRICT MAP (S)

ZONING FILE #

R-PD4

APN (S)

ZONING FILE #

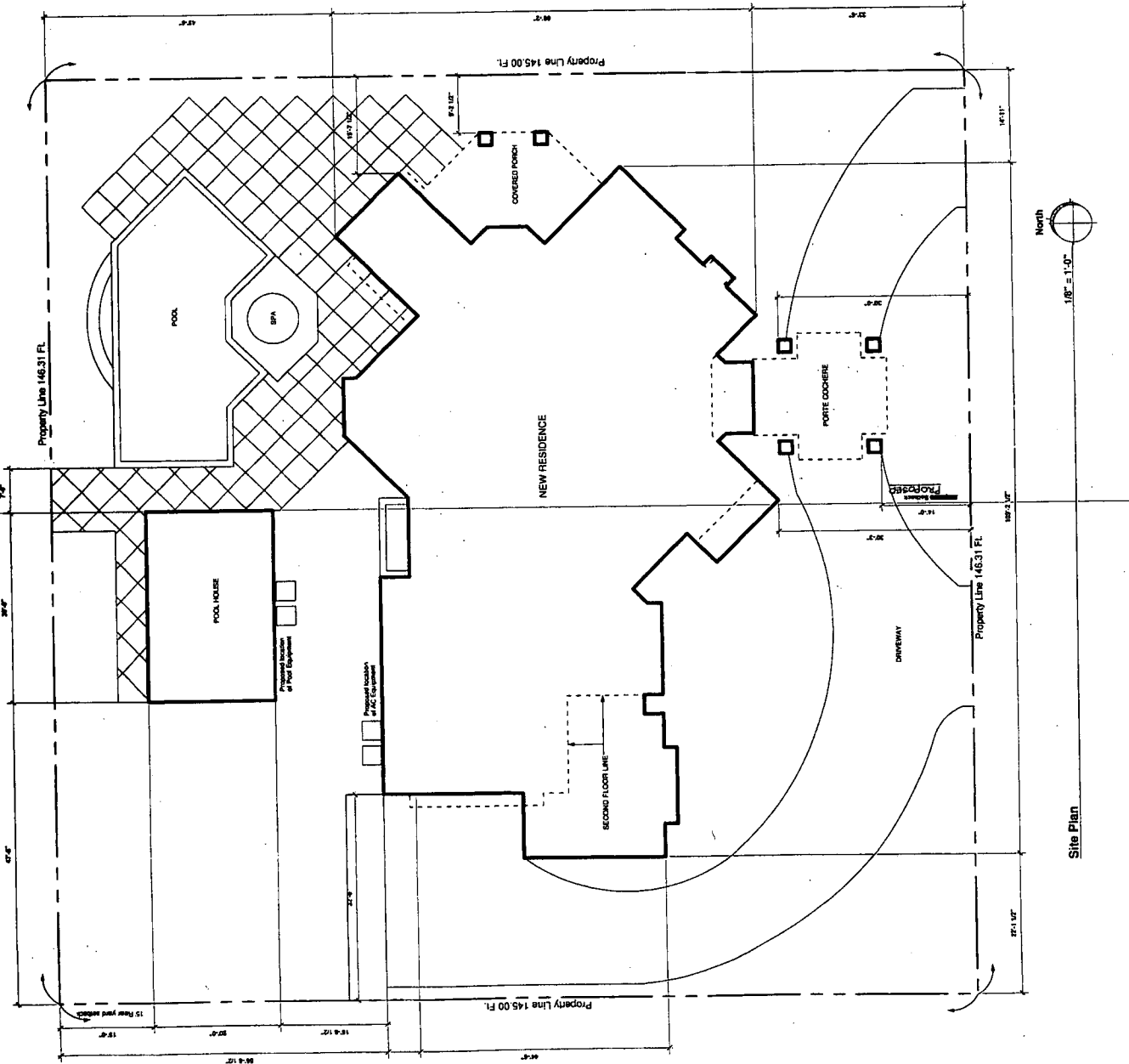
Z-57-78

SETBACKS:

FRONT	REAR	SIDE(S)	CORNER
<u>25'</u>	<u>15'</u>	<u>7'6" each</u>	

SET BY: _____

DEVIATIONS:

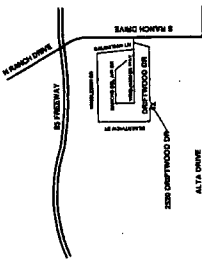


Site Plan

Project Data

Lot Area	21,215 sq. ft.
Residence Footprint (Including Garage)	4,998 sq. ft.
Residence Second Floor Area	4,776 sq. ft.
Total Residence	9,764 sq. ft.
Pool House	600 sq. ft.
Porte Cochere	440 sq. ft.
Total Lot Coverage	10,804 sq. ft.
Percent Lot Coverage	50.9%

Vicinity Map



Legal Description

Lot 18 of Unit #4
Block 1
Subdivision of Rancho Del Air Tract
APN 139-33-312416

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P-7	First Floor Gas
P-8	Second Floor Gas
E-1	Notes and Schedules
E-2	First Floor Power and Lighting
E-3	Second Floor Power and Lighting

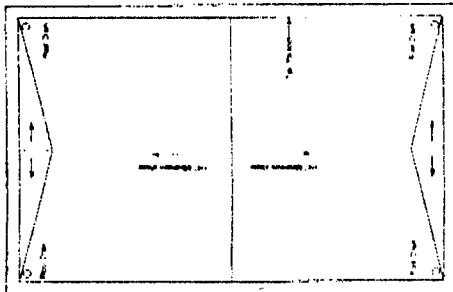
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Sheet C-1	Description Title Sheet	Date (10-15-06)
New Custom Residence 2520 Driftwood Drive Rancho Bel Air, Las Vegas Nevada Ken Berrydane, Developer		
William K. Spencer, Architect, Nevada No. 1242 2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850		

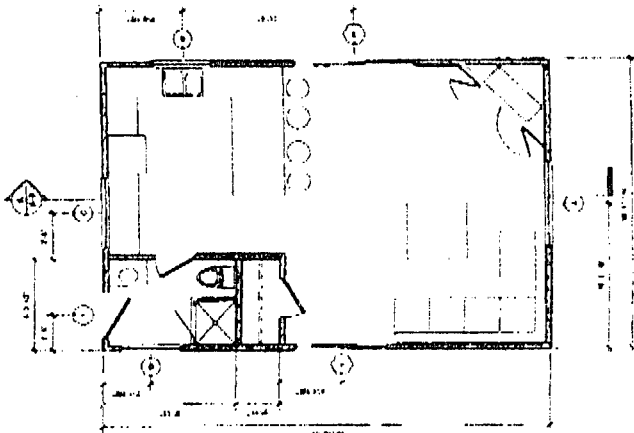
SUP-16498 VAR-16497
REVISED 11/16/06 PC

No.	Item Description	Unit	Quantity	Notes
1	Excavate 2' x 10' x 10' pit	Yd	1	For foundation
2	Excavate 2' x 10' x 10' pit	Yd	1	For foundation
3	Excavate 2' x 10' x 10' pit	Yd	1	For foundation
4	Excavate 2' x 10' x 10' pit	Yd	1	For foundation
5	Excavate 2' x 10' x 10' pit	Yd	1	For foundation
6	Excavate 2' x 10' x 10' pit	Yd	1	For foundation
7	Excavate 2' x 10' x 10' pit	Yd	1	For foundation
8	Excavate 2' x 10' x 10' pit	Yd	1	For foundation
9	Excavate 2' x 10' x 10' pit	Yd	1	For foundation
10	Excavate 2' x 10' x 10' pit	Yd	1	For foundation

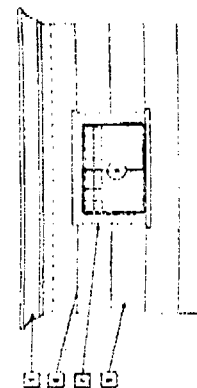
NOTES: SEE ALL NOTES ON SHEETS FOR DETAILS



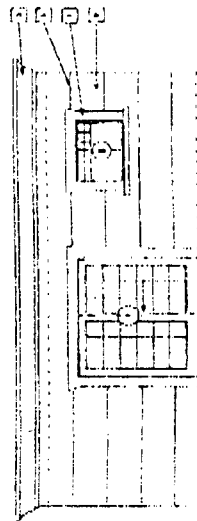
ROOF PLAN



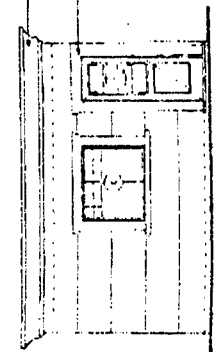
FLOOR PLAN



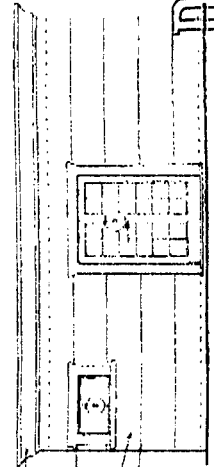
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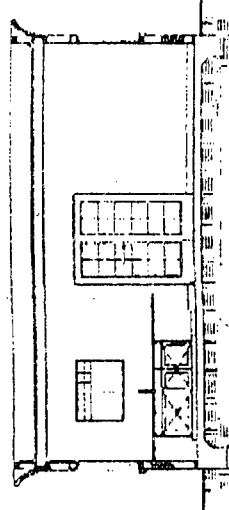
FRONT



SIDE



REAR



SECTION

VAR-16497

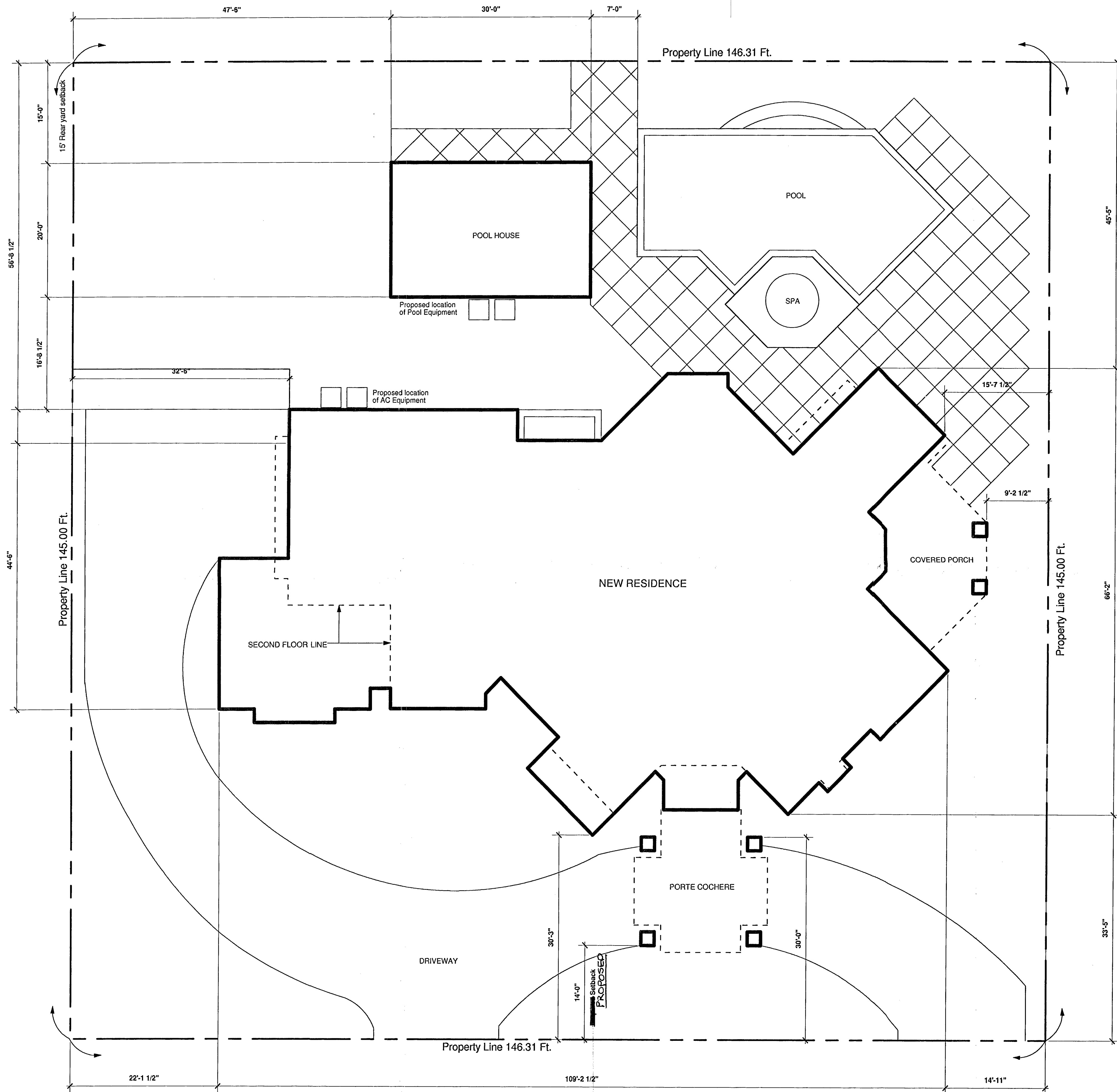
REVISED

10/19/06 PC

New Custom Residence 2520 Driftwood Drive Rancho Bel Air, Las Vegas Nevada Ken Berrydane, Developer	Seal A-10 Ins. 1/2" x 1/2" Pool House Door P. 16497
--	--

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Site Plan

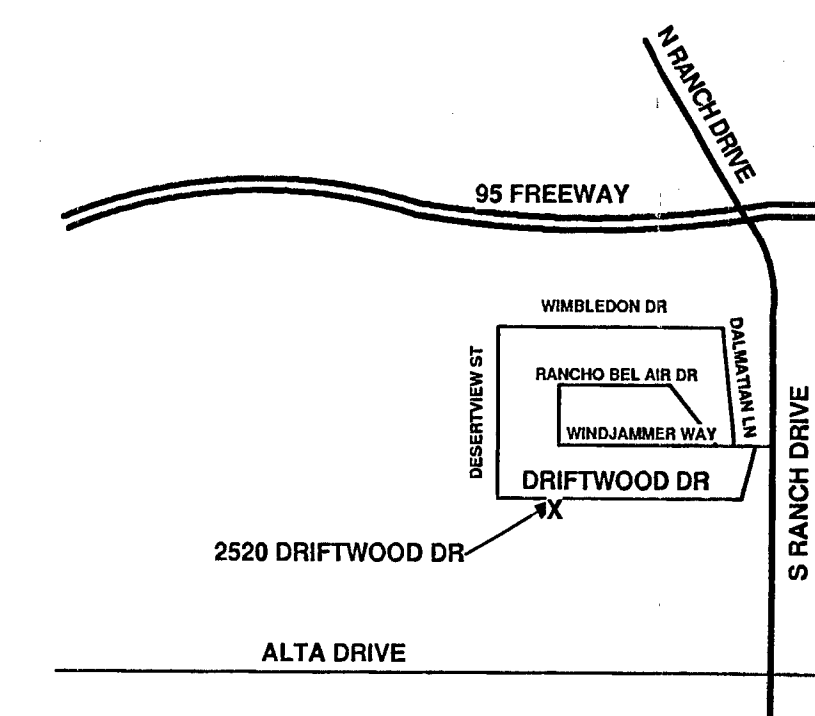
Project Data

Lot Area	21, 215 sq. ft.
Residence Footprint (Including Garage)	4, 988 sq. ft.
Residence Second Floor Area	4, 776 sq. ft.
Total Residence	9, 764 sq. ft.
Pool House	600 sq. ft.
Porte Cochere	440 sq. ft.
Total Lot Coverage	10, 804 sq. ft.
Percent Lot Coverage	50.9%

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E-3	Second Floor Power and Lighting

Vicinity Map



Legal Description

Lot 18 of Unit #4
Block 2
Subdivision of Rancho Bel Air Tract
APN 139-32-512-016

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Seal

New Custom Residence
2520 Driftwood Drive Rancho
Bel Air, Las Vegas Nevada
Ken Berrydane, Developer

Sheet
C-1

Description

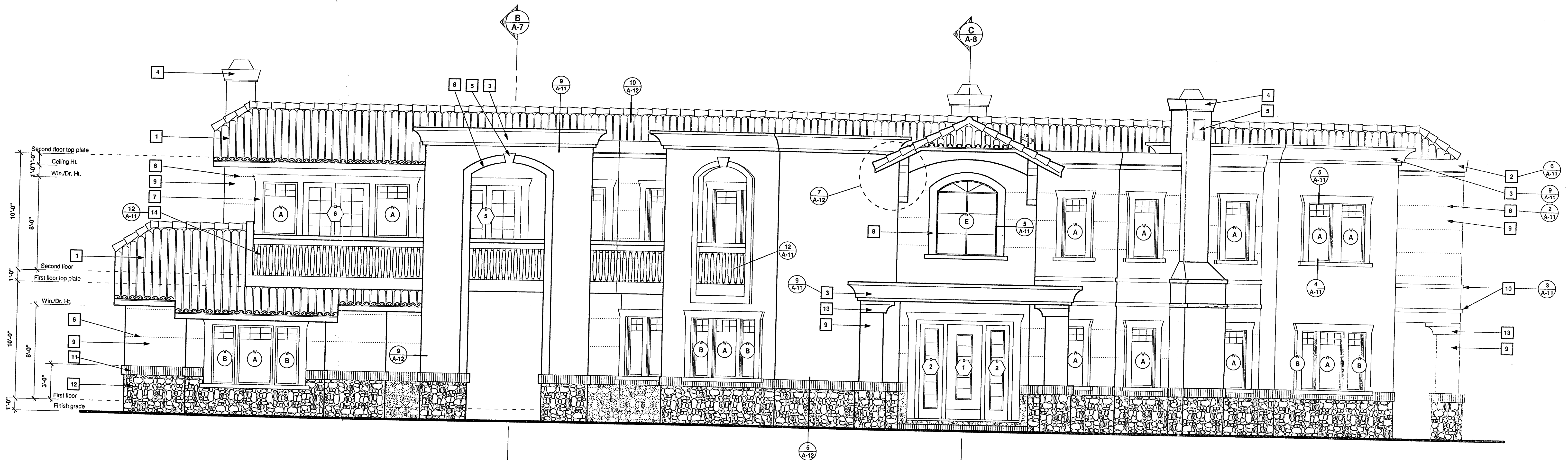
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Date

10-25-06

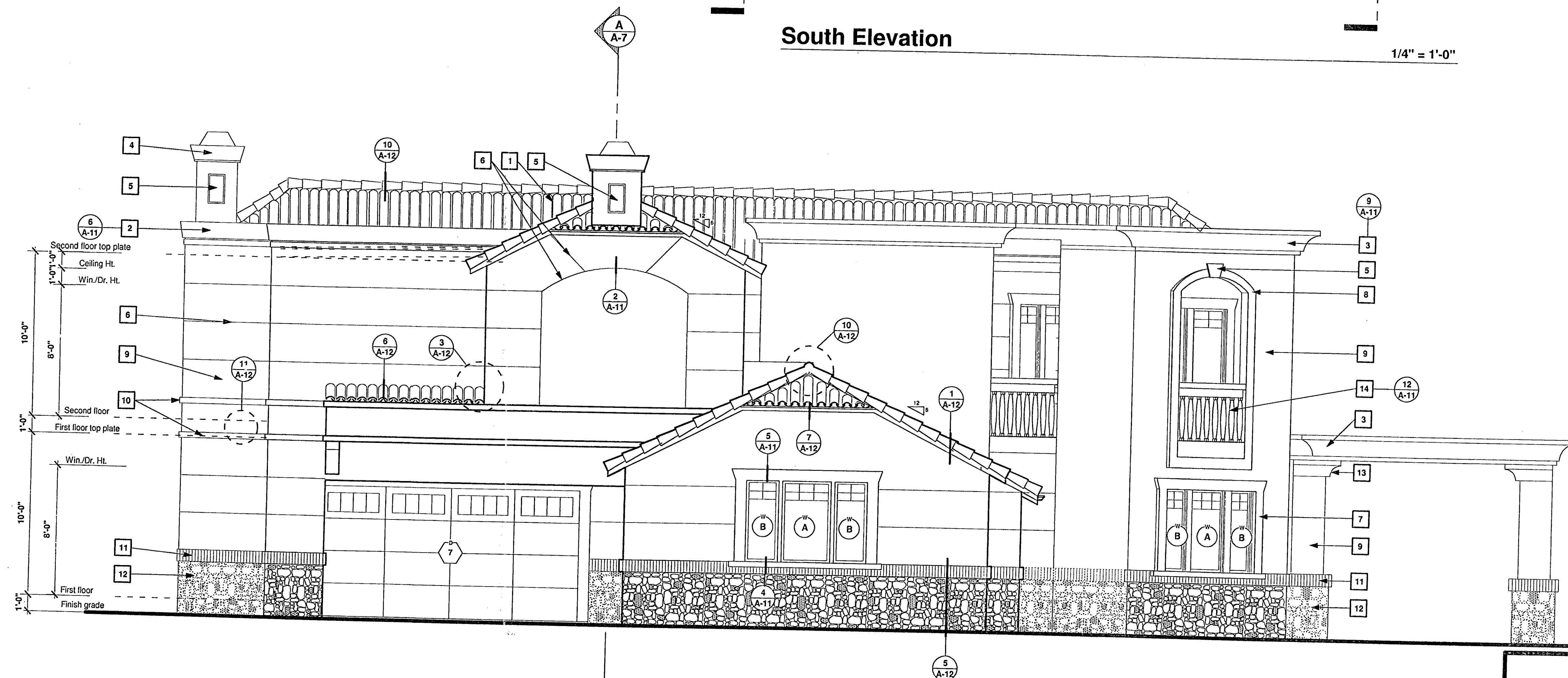
William K. Spencer, Architect, Nevada No. 1242
2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850

SUP-18498 VAR-16497
REVISED 11/16/06 PC



South Elevation

1/4" = 1'-0"



West Elevation

1/4" = 1'-0"

Exterior Finish Schedule	
1	Lightweight clay tile roofing
2	Custom Foam Cornice #1
3	Custom Foam Cornice #2
4	Custom Foam Cornice #3
5	Decorative keystone Concrete Designs Inc. K12 shield
6	Accent screed Line
7	Window/Opening surround Moulding Concrete Design Inc. M13 with Custom extended sill
8	Window/Opening surround Moulding Concrete Design Inc. M13 with M13 Radial
9	Steel Trowelled smooth finish stucco
10	Steel Trowelled smooth finish stucco over 2x2 band
11	Brick Soldier Course
12	Stone Vener
13	Custom Foam Cornice #4
14	Balustrade: Concrete Design Inc. BL29-26 balusters, M33 hand rail, and Blad 82 base stretcher
15	Custom Corbel

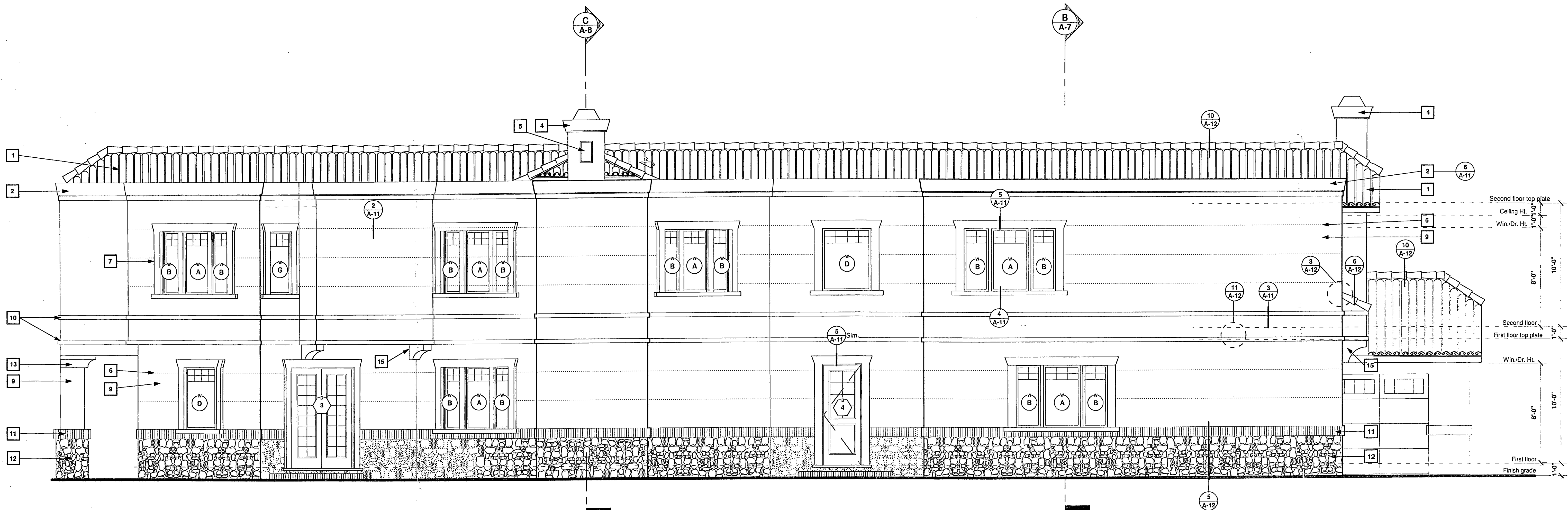
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New Custom Residence
2520 Driftwood Drive Rancho
Bel Air, Las Vegas Nevada
Ken Berrydane, Developer

William K. Spencer, Architect, Nevada No. 1242
2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850

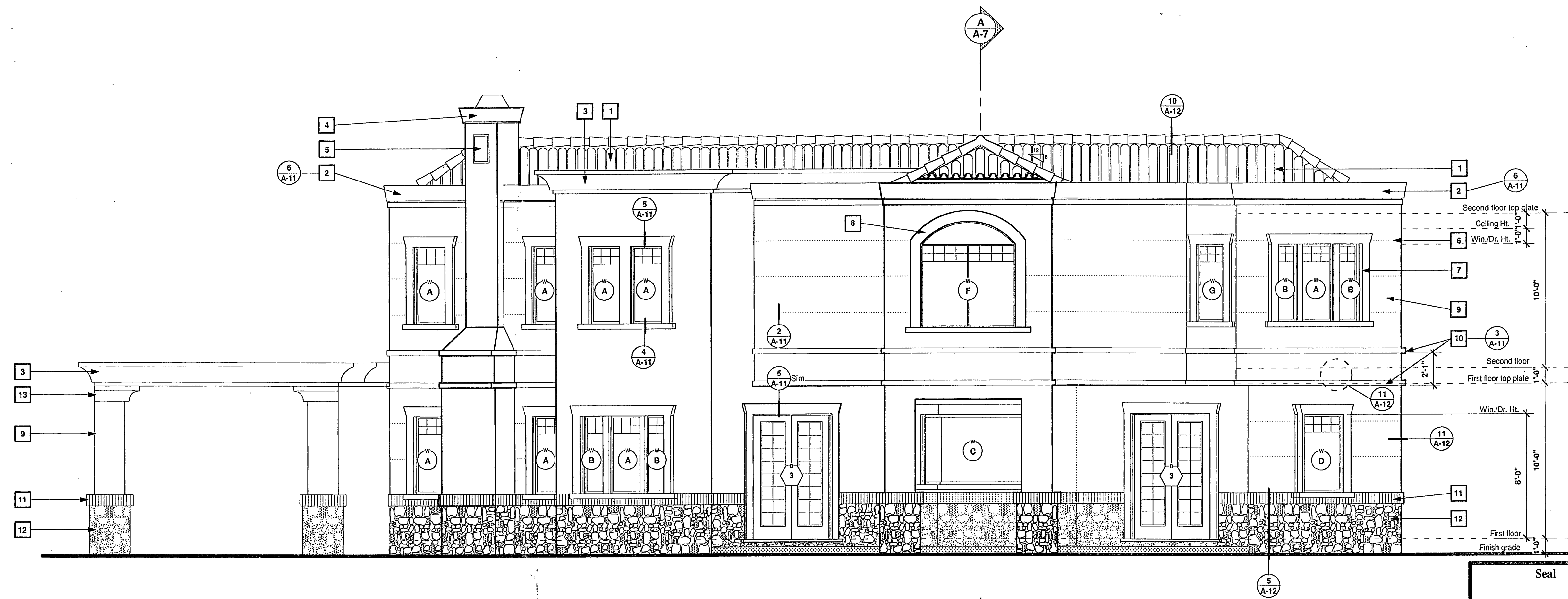
Sheet
A-5
Description
Elevations
Date
02-06-06

VAR-16497
REVISED
10/19/06 PC



North Elevation

1/4" = 1'-0"



East Elevation

1/4" = 1'-0"

Exterior Finish Schedule	
1	Lightweight clay tile roofing
2	Custom Foam Cornice #1
3	Custom Foam Cornice #2
4	Custom Foam Cornice #3
5	Decorative key-stone Concrete Designs Inc. K12 shield
6	Accent screed Line
7	Window/Opening surround Moulding Concrete Design Inc. M13 with Custom extended sill
8	Window/Opening surround Moulding Concrete Design Inc. M13 with M13 Radiol
9	Steel Trowelled smooth finish stucco
10	Steel Trowelled smooth finish stucco over 2x2 band
11	Brick Soldier Course
12	Stone Veneer
13	Custom Foam Cornice #4
14	Balustrade: Concrete Design Inc. BL29-26 balusters, M33 hand rail, and Blad 82 base stretcher
15	Custom Corbel

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New Custom Residence
2520 Driftwood Drive Rancho
Bel Air, Las Vegas Nevada
Ken Berrydane, Developer

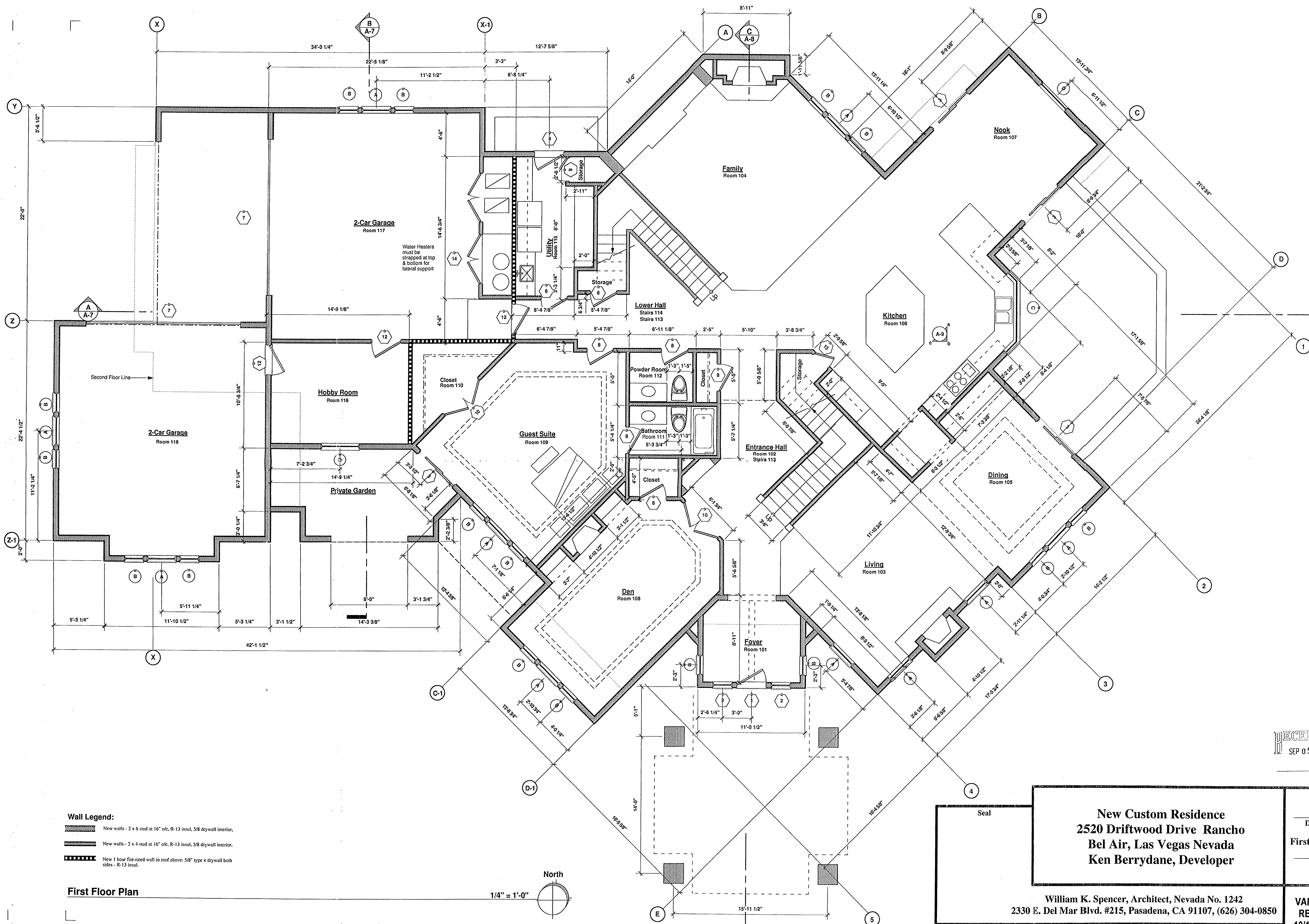
William K. Spencer, Architect, Nevada No. 1242
 2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850

Sheet
A-6

Description
 Elevations

Date
 02-06-06

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 10/19/06 PC

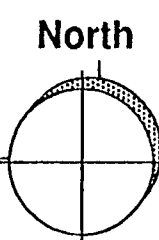


Wall Legend:

- New walls - 2 x 6 stud at 16" o/c, R-13 insul, 5/8 drywall interior,
- New walls - 2 x 4 stud at 16" o/c, R-13 insul, 5/8 drywall interior,
- New 1 hour fire-rated wall to roof above: 5/8" type x drywall both sides - R-13 insul.

First Floor Plan

1/4" = 1'-0"



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New Custom Residence
2520 Driftwood Drive Rancho
Bel Air, Las Vegas Nevada
Ken Berrydane, Developer

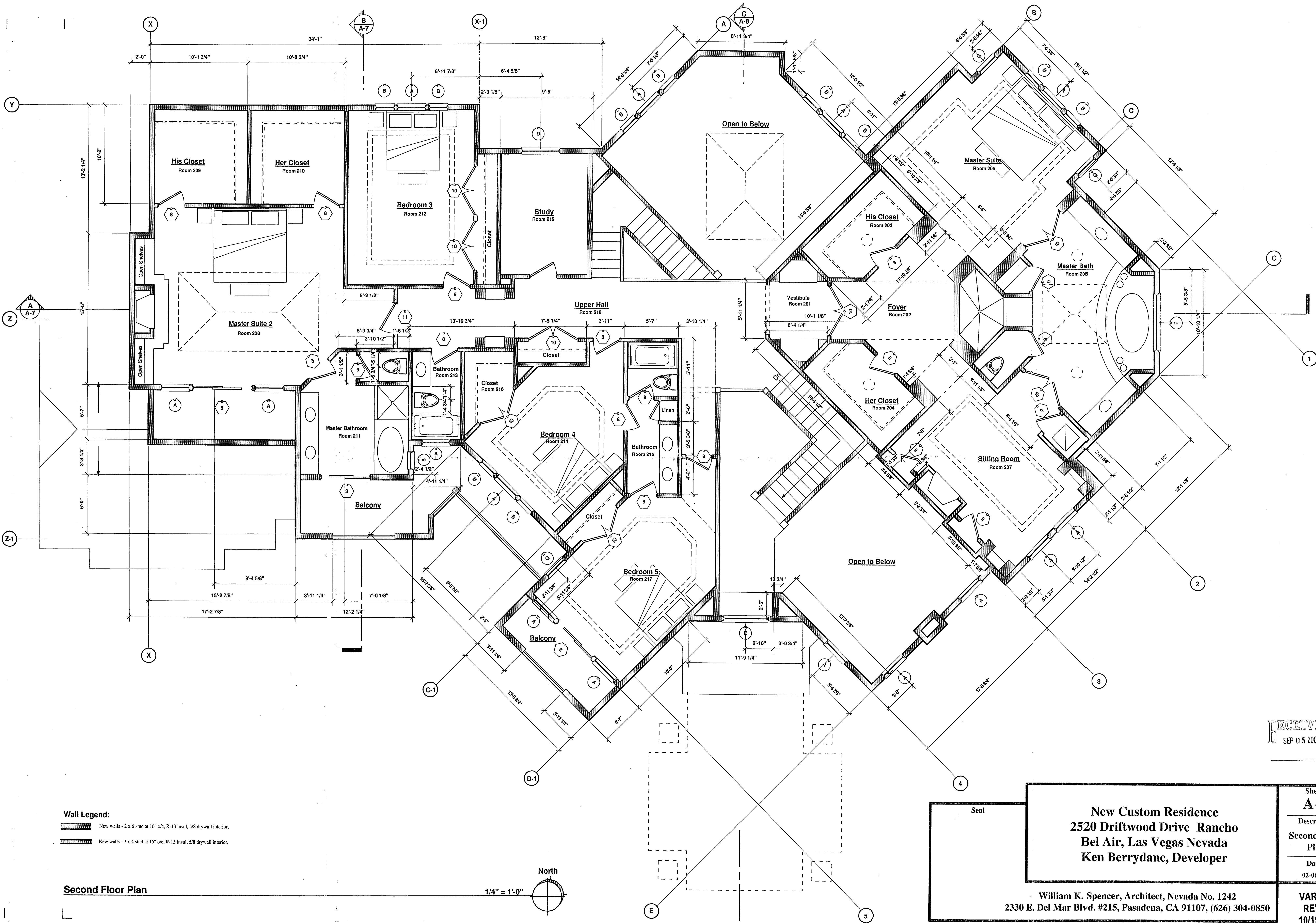
William K. Spencer, Architect, Nevada No. 1242
 2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850

Sheet
A-1

Description
First Floor Plan

Date
 02-06-06

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 10/19/06 PC



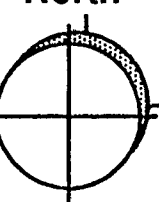
Wall Legend:

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- New walls - 2 x 4 stud at 16" o/c, R-13 insul, 5/8 drywall interior,

Second Floor Plan

1/4" = 1'-0"

North



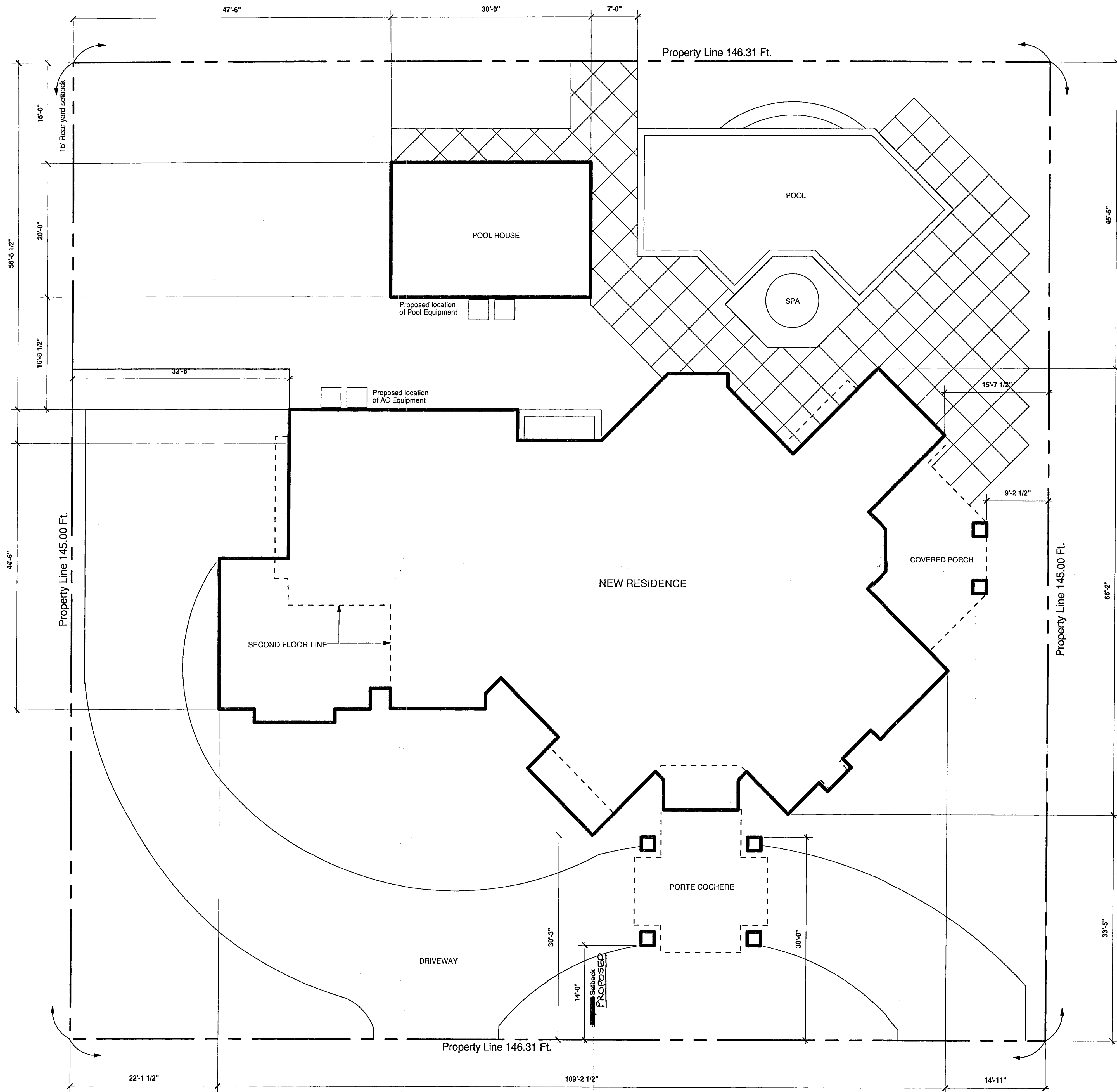
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New Custom Residence
 2520 Driftwood Drive Rancho
 Bel Air, Las Vegas Nevada
 Ken Berrydane, Developer

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Sheet
A-2
 Description
 Second Floor Plan
 Date
 02-06-06

VAR-16497
 REVISED
 10/19/06 PC



Site Plan

Project Data

Lot Area	21, 215 sq. ft.
Residence Footprint (Including Garage)	4, 988 sq. ft.
Residence Second Floor Area	4, 776 sq. ft.
Total Residence	9, 764 sq. ft.
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E-1	Notes and Schedules
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E-3	Second Floor Power and Lighting

Vicinity Map



Legal Description

Lot 18 of Unit #4
Block 2
Subdivision of Rancho Bel Air Tract
APN 139-32-512-016

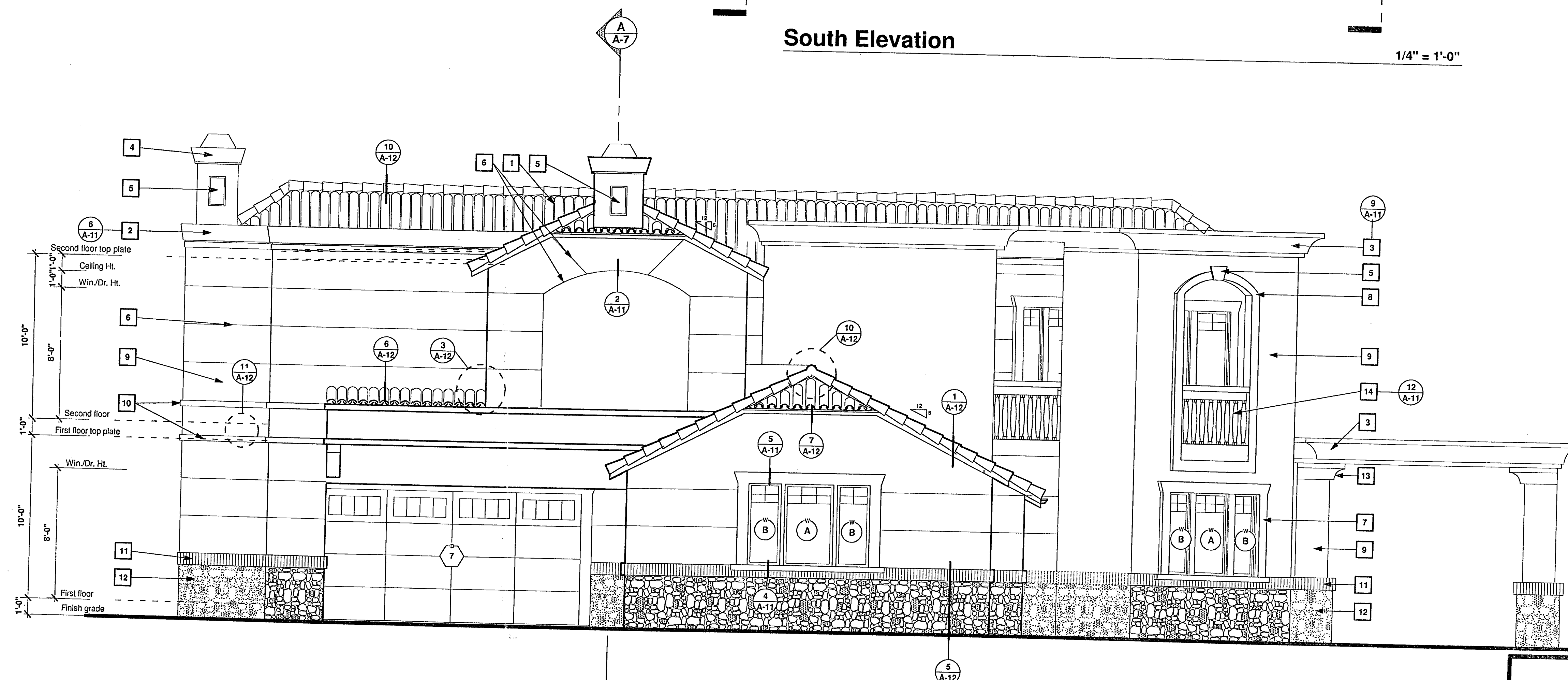
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		Date 10-25-06
		William K. Spencer, Architect, Nevada No. 1242 2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850
SUP-16498 VAR-16497 REVISED 11/16/06 PC		



South Elevation

1/4" = 1'-0"



West Elevation

1/4" = 1'-0"

Exterior Finish Schedule	
1	Lightweight clay tile roofing
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12	Stone Vener
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15	Custom Corbel

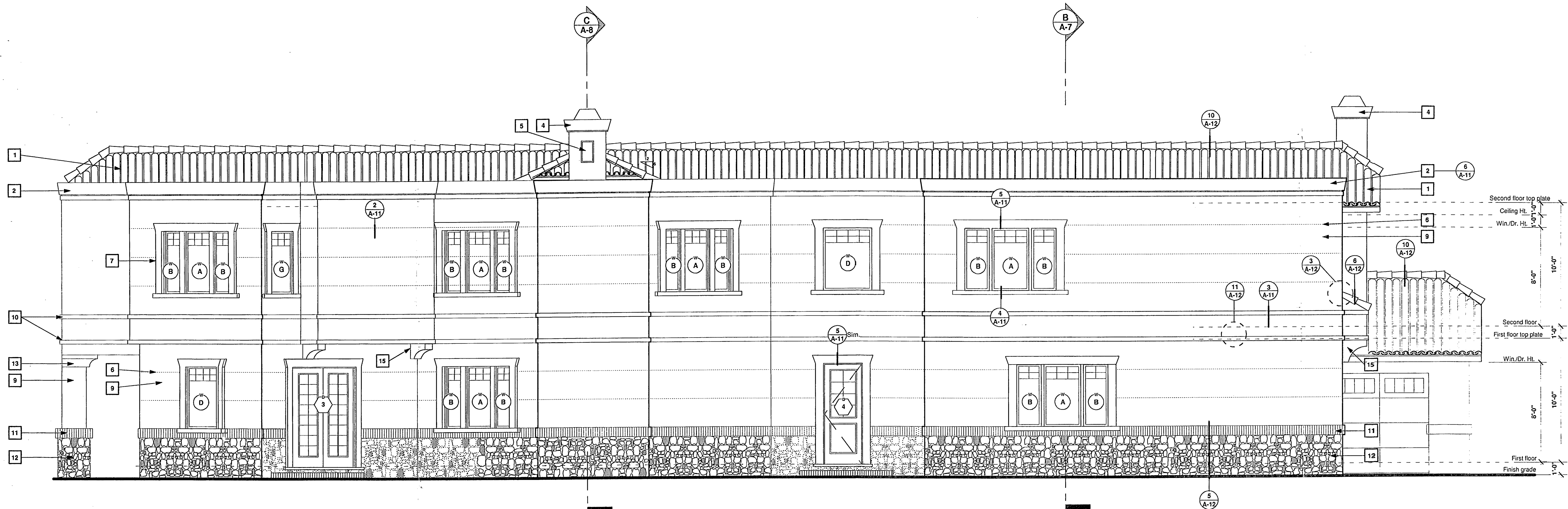
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New Custom Residence
2520 Driftwood Drive Rancho
Bel Air, Las Vegas Nevada
Ken Berrydane, Developer

William K. Spencer, Architect, Nevada No. 1242
2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850

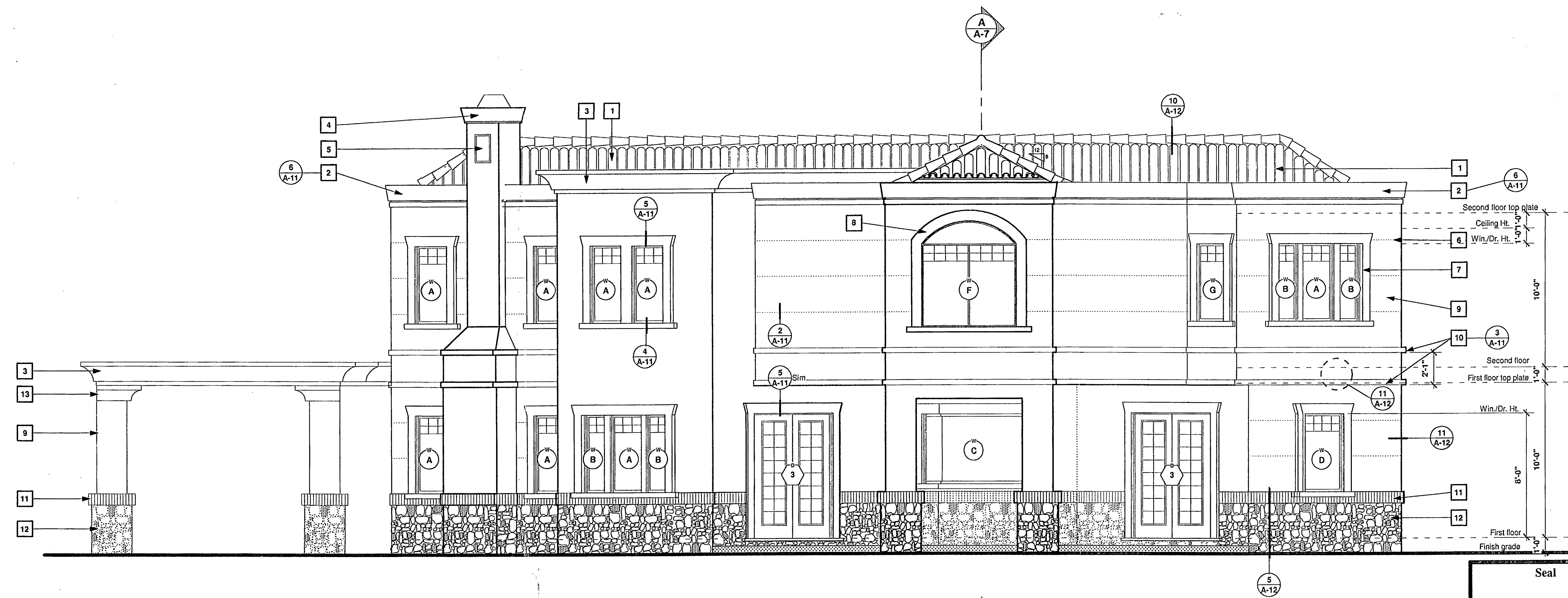
Sheet
A-5
Description
Elevations
Date
02-06-06

VAR-16497
REVISED
10/19/06 PC



North Elevation

1/4" = 1'-0"



East Elevation

1/4" = 1'-0"

Exterior Finish Schedule	
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13	Custom Foam Cornice #4
14	Balustrade: Concrete Design Inc. BL29-26 balusters, M33 hand rail, and Blad 82 base stretcher
15	Custom Corbel

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New Custom Residence
2520 Driftwood Drive Rancho
Bel Air, Las Vegas Nevada
Ken Berrydane, Developer

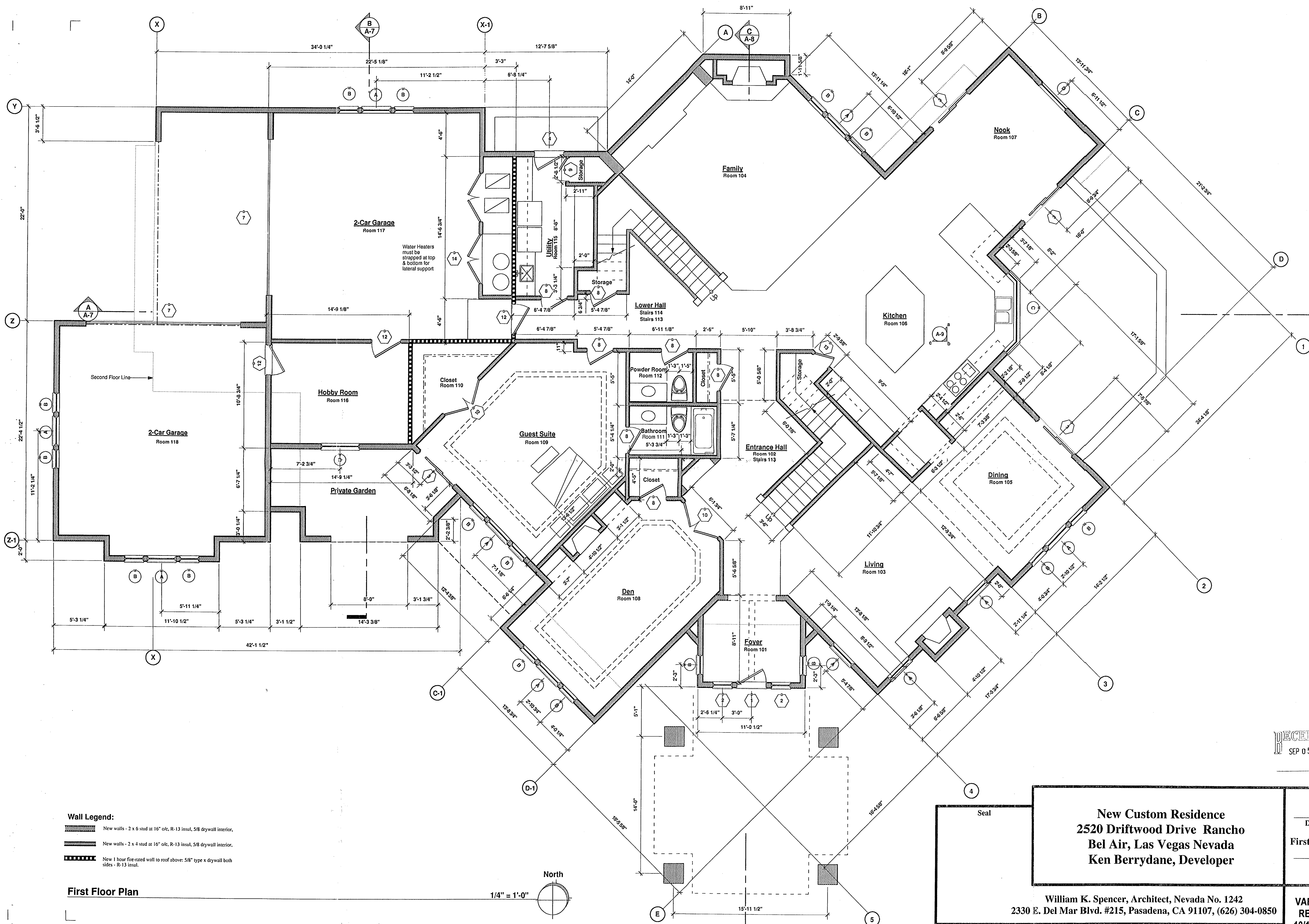
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A-6

Description
Elevations

Date
 02-06-06

William K. Spencer, Architect, Nevada No. 1242
 2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850

VAR-16497
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 10/19/06 PC

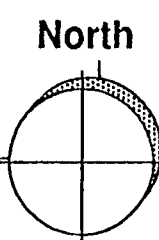


Wall Legend:

-
-
-

First Floor Plan

1/4" = 1'-0"



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New Custom Residence
2520 Driftwood Drive Rancho
Bel Air, Las Vegas Nevada
Ken Berrydane, Developer

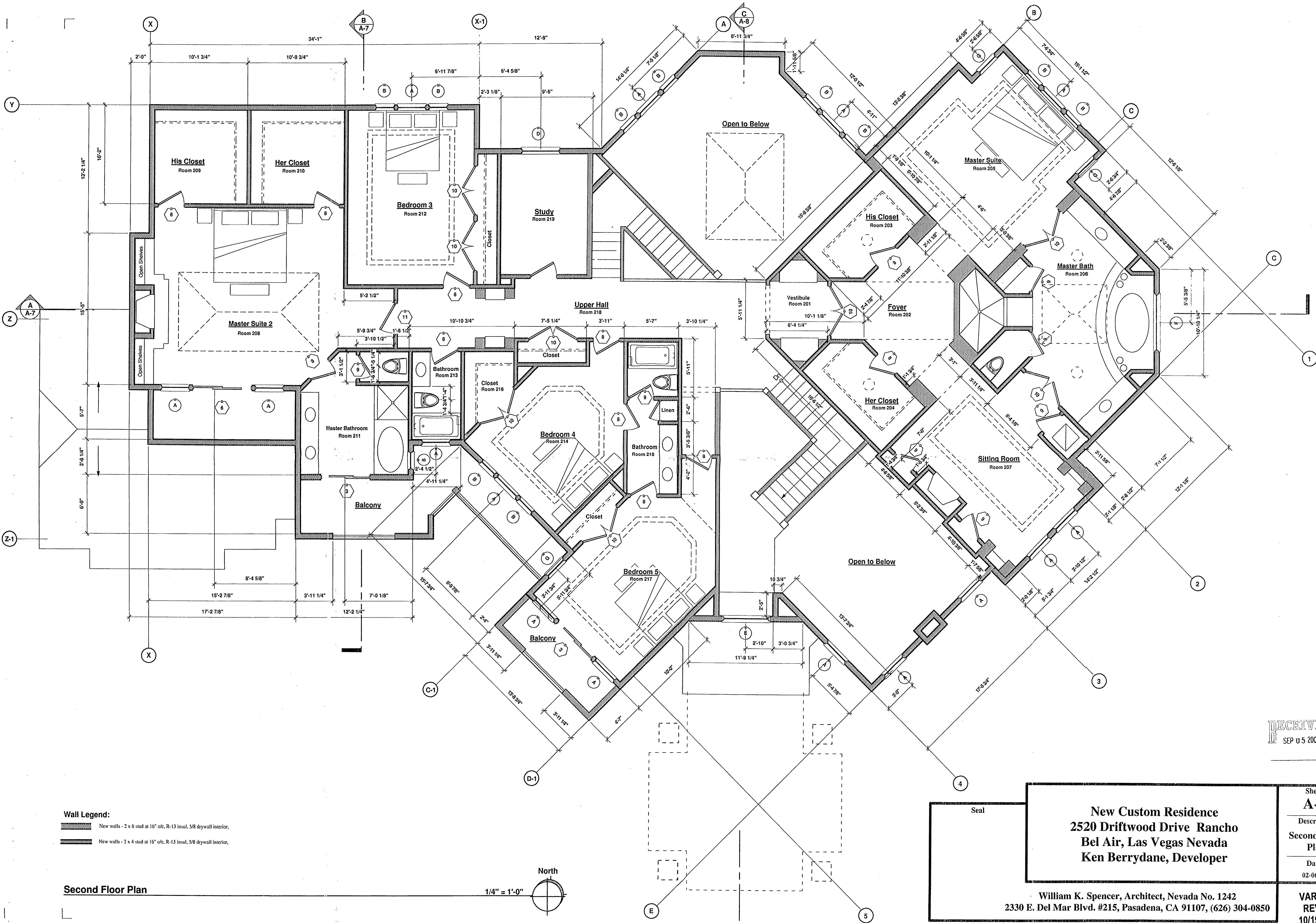
William K. Spencer, Architect, Nevada No. 1242
 2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850

Sheet
A-1

Description
First Floor Plan

Date
 02-06-06

VAR-16497
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 10/19/06 PC



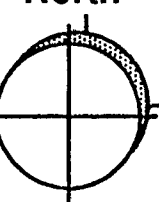
Wall Legend:

- New walls - 2 x 6 stud at 16" o/c, R-13 insul, 5/8 drywall interior,
- New walls - 2 x 4 stud at 16" o/c, R-13 insul, 5/8 drywall interior,

Second Floor Plan

1/4" = 1'-0"

North



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SEP 05 2006

New Custom Residence
 2520 Driftwood Drive Rancho
 Bel Air, Las Vegas Nevada
 Ken Berrydane, Developer

William K. Spencer, Architect, Nevada No. 1242
 2330 E. Del Mar Blvd. #215, Pasadena, CA 91107, (626) 304-0850

Sheet
A-2
 Description
 Second Floor Plan
 Date
 02-06-06

VAR-16497
 REVISED
 10/19/06 PC