

Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekkki, Survey (FM, PM, & A's only)
Date: September 13, 2006
Re: **ZON-16450** City of Las Vegas 300 West Boston Avenue
Request for a Zoning Reclassification From: CM To: C-V

COMMENTS:

Public Works has no objection on the rezoning application From: CM (Commercial/Industrial) to C-V (Civic) for developed property located at 300 West Boston Road.

Upon development/redevelopment of the property appropriate street improvements, drainage plan/studies and traffic mitigation commitments will be required.

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

ZON-16450 - REZONING RELATED TO GPA-16193 - PUBLIC HEARING - APPLICANT/OWNER:
CITY OF LAS VEGAS - Request for a Rezoning FROM: CM (COMMERCIAL/INDUSTRIAL) TO C-V (CIVIC)
on 0.56 acres at 300 W. Boston Avenue (APN 162-04-707-008), Ward 3 (Reese).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½)
OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 04, TOWNSHIP 21 SOUTH, RANGE 61 EAST,
M.D.M.

PLANNING COMMISSION: **OCTOBER 5, 2006**

CITY COUNCIL: **NOVEMBER 1, 2006**

CASE PLANNER: **DOUG RANKIN**



PUBLIC HEARING

Comments Due: **SEPTEMBER 6, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

**Las Vegas Metropolitan Police Dept.
Office of Intergovernmental Services**

No Law Enforcement Issue

APN Map



Separator Sheet

Deed



Separator Sheet

Recording Requested By
and When Recorded Mail To:
City of Las Vegas
c/o Phillip Byrnes, Esq.
Las Vegas City Attorney's Office
400 Stewart Avenue
Las Vegas, Nevada 89101

RPPT: Exempt 2

APN#: 162-04-707-008

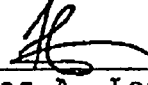
GRANT, BARGAIN AND SALE DEED

FOR VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **STRATOSPHERE CORPORATION**, a Nevada corporation, does hereby GRANT, BARGAIN, and SELL TO THE CITY OF LAS VEGAS certain real property situated in the County of Clark, State of Nevada, described as follows:

SEE EXHIBIT A

TOGETHER with all tenements, hereditaments and appurtenances, including easements and water rights, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof.

STRATOSPHERE CORPORATION, a Nevada corporation

By: 
Thomas A. Lettero

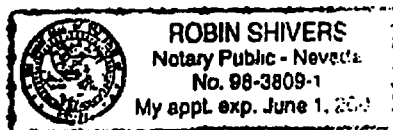
Title: CFO

STATE OF NEVADA)

CLARK COUNTY)

ss.

This instrument was acknowledged before me on October 21, 1999, by Thomas A. Lettero
as CFO of Stratosphere Corporation.




Notary Public

ZON-16450
10/05/06 PC

950908.02004

AMT. P.T.S. 128.70

GRANT, BARGAIN, SALE DEED

THIS INSTRUMENT WITNESSETH: That STRATOSPHERE CORPORATION,a Delaware Corporationin consideration of \$ 10.00 the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey toCITY OF LAS VEGAS DOWNTOWN REDEVELOPMENT AGENCYall that real property situate in the _____ County of CLARK

State of Nevada, bounded and described as follows:

Lots Eighteen (18), Nineteen (19), Twenty (20), Twenty-One (21) and Twenty-Two (22), in Block Twelve (12) of MEADOWS ADDITION TO THE CITY OF LAS VEGAS, as shown by map thereof on file in Book 1 of Plate, Page 43, in the office of the County Recorder of Clark County, Nevada.

APN #162-04-813-009 &

#162-04-813-010

- SUBJECT TO: 1. Taxes for the fiscal year 95-96.
2. Rights of way, reservations, restrictions, easements and conditions of record.

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Witness my hand and seal this 30th day of August 1995

STRATOSPHERE CORPORATION, a Delaware CorporationBY: ANDREW S. BLUMENSecretary

STATE OF NEVADA)

COUNTY OF CLARK)

This instrument was acknowledged before me on

August 30, 1995 by (name(s))

of person(s) ANDREW S. BLUMENas (type of authority, e.g., officer, trustee, etc.)
SECRETARYof (name of party on behalf of whom instrument was executed) STRATOSPHERE CORPORATION,a Delaware Corporation

(Seal)

Tracy Pilkington
Notary Public - Nevada
Clark County
My exp. exp. Feb. 24, 1997

ESCROW NO. #9507231-CBSWHEN RECORDED MAIL TO: CITY OF LAS VEGAS400 E. Stewart Las Vegas, Nv. 89101

CLARK COUNTY, NEVADA
JUDITHA VANDEVER RECORDER
RECORDED AT REQUEST OF
LAWYERS TITLE OF NEVADA

09-08-95 15:39 CAR 1
OFFICIAL RECORDS
BOOK 950908 INST 02004
FEE: 7.00 RPTT 128.70

E-14

COPY PRINTING, INC. (702) 754-0884

**CITY OF LAS VEGAS
CITY ATTORNEY'S OFFICE**

Return
of

RE-RECORDED

960308.01635

FILED

FEB 26 3 43 PM '56

John J. [illegible]
CLERK

[illegible]

Mr. James A. Brown
Deputy Attorney General
Nevada Bar #1276
480 East Flamingo Avenue, 9th Floor
Las Vegas, Nevada 89101

MARK A. WASSER, ESQ.

Special Counsel:
Nevada Bar #3877
McDonough, Holland & Allen,
A Professional Corporation
555 Capitol Mall, Suite 950
Sacramento, California 95814
(916)444-3900

Attorneys for City of Las Vegas

DISTRICT COURT
CLARK COUNTY, NEVADA

**CITY OF LAS VEGAS DOWNTOWN
REDEVELOPMENT AGENCY.**

Plaintiff,

2.

SAHLA MOSSMAN, individually and SAHLA MOSSMAN, as Trustee of the Trust established by Ted and Sahla Mossman on October 27, 1967, CITY OF LAS VEGAS, and CLARK COUNTY, and any right, title, or interest in or to subject property,

Defendants.

) Case No. A34463
) Department No. VII
) Docket No. P

FINAL ORDER OF CONDEMNATION

HEARING DATE:
HEARING TIME:

IT SATISFACTORILY APPEARING to the Court from the records and documents on file in the above-entitled matter the following:

1. A Judgment of Condemnation (herein the "Judgment") was previously entered in this case condemning the real property of the Defendants, SAHLA MOSSMAN, individually, SAHLA MOSSMAN as Trustee of the Trust established by Ted and Sahla

99-4664-1194

1 Mossman on October 27, 1967, CITY OF LAS VEGAS, and CLARK COUNTY, which is the
2 subject of this condemnation action (the "Subject Property"); and

3 2. The Court found and determined in the Judgment that the use for
4 which the Subject Property was sought to be condemned herein, to wit: the redevelopment of
5 property in connection with the Stratosphere Redevelopment Project constitutes a public purpose
6 and use by the Plaintiff; and

7 3. The Court ordered, adjudged and decreed in the Judgment that the
8 total just compensation and complete value of the Subject Property, inclusive of all costs and
9 statutory interest pursuant to NRS 37.175, is One Hundred Eighty Three Thousand Four Hundred
10 Thirty-Two and No/100ths Dollars (\$183,432.00), and

11 4. The Court further ordered, adjudged and decreed in the Judgment
12 that the Plaintiff shall be entitled to this Final Order of Condemnation with the additional deposit
13 of Fifty-Eight Thousand Four Hundred Thirty-Two and No/100ths Dollars (\$58,432.00)

14 NOW, THEREFORE IT IS HEREBY ORDERED, ADJUDGED and
15 DECREED that the Plaintiff, CITY OF LAS VEGAS DOWNTOWN REDEVELOPMENT
16 AGENCY, be, and it hereby is, awarded a Final Order of Condemnation conveying all right, title
17 and interest of the Defendants, SARA MOSSMAN, individually, SARA MOSSMAN as
18 Trustee of the Trust established by Ted and Sara Mossman on October 27, 1967, and the
19 aforementioned Trust, CITY OF LAS VEGAS, and CLARK COUNTY, in the Subject Property
20 legally described in Exhibit "A" attached hereto, and that the rights of possession and occupancy
21 previously vested in the Plaintiff shall be, and the same are hereby made and determined to be,
22 permanent and final

23 IT IS FURTHER ORDERED, ADJUDGED and DECREED that a certified
24 copy of this Final Order of Condemnation be recorded in the Office of the County Recorder of
25 Clark County, Nevada, and thereupon all of the aforementioned Defendants' right, title and
26 interest in the Subject Property shall and will vest in the Plaintiff for the purposes specified as

9604031194

9604031194

9604031194

DATED the 23 day of February, 1975.

DISTRICT COURT ORDER

Submitted by:

BRADFORD R. JERIC
General Counsel

By *Robert S. Sylvain*
ROBERT S. SYLVAIN, ESQ.
Assistant General Counsel
Nevada Bar #001476
400 E. Stewart Avenue, 9th Floor
Las Vegas, Nevada 89101
Attorneys for City of Las Vegas
Downtown Redevelopment Agency

RECORDED & INDEXED
DOCUMENTS FILMED
AS PRESENTED

960403.01194

EXHIBIT "A"

960403.01194

The land referred to in this Guarantee is situated in the State of Nevada, County of Clark, and is described as follows:

Lots Ten (10), Eleven (11), Twelve (12), Thirteen (13), Fourteen (14), Fifteen (15), Sixteen (16) and Seventeen (17) in Block Twelve (12) of MEADOW ADDITION OF THE CITY OF LAS VEGAS, as shown by map thereof on file in Book 1 of Plats, Page 43, in the Office of the County Recorder of Clark County, Nevada

APN: 162-04-813-005, 006, 007, 008

APRIL 3, 1996 - DOCUMENT BEING RE-RECORDED TO ATTACH LEGAL DESCRIPTION.
BY: CITY OF LAS VEGAS
CITY ATTORNEY'S OFFICE

RE-RECORDED

CLARK COUNTY, NEVADA
JUDITH A. VANDEVEN, RECORDER
RECORDED AT REQUEST OF:
LAS VEGAS CITY

04-03-96 11:27 AM
BOOK: 960403 PAGE: 01194
FEE: .20 RPTT .00

QUITCLAIM DEED

971215.00934

v this instrument dated 11th day of December, 1997, for a valuable consideration, THE CITY OF LAS VEGAS REDEVELOPMENT AGENCY, does hereby REMISE, RELEASE and FOREVER QUITCLAIM to THE CITY OF LAS VEGAS any and all interest in the following described real property in the State of Nevada, County of Clark:

Lots Eight (8) through Twenty-Two (22), in Block Twelve (12) of MEADOWS ADDITION TO THE CITY OF LAS VEGAS, as shown by map thereof on file in Book 1 of Plats, Page 43, in the Office of the County Recorder of Clark County, Nevada.

Together with that portion of vacated alley-way adjacent to said land as vacated by that Order of Vacation recorded May 15, 1996 in Book 960515 as Document No. 01396, Official Records.

MORE COMMONLY KNOWN AS:

229 W. Boston Avenue
Las Vegas, NV 89102

A.P.N. 162-04-813-109

Formally:

A.P.N. 162-04-813-004
162-04-813-005
162-04-813-006
162-04-813-007
162-04-813-008
162-04-813-009
162-04-813-010

The purpose of this Quitclaim deed is to transfer title of land to the City of Las Vegas to which The City of Las Vegas Redevelopment Agency has no real interest.

STATE OF NEVADA)
) s.s.
COUNTY OF CLARK)

Executed this 10th day of December, 1997

By:

Jan Lavery Jones
Jan Lavery Jones, Chairperson
City of Las Vegas Redevelopment Agency
400 East Stewart Avenue
Las Vegas, NV 89101

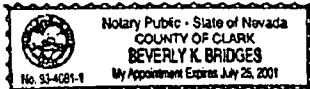
APPROVED AS TO FORM:

Thomas R. Green
12-2-97 Date

On the 11th day of December before me, the undersigned, a Notary Public in and for the said County and State, personally appeared known to me to be the person whose name(s) subscribed to the within instrument, and acknowledged to that JAN LAVERTY JONES executed the same.

WITNESS my hand and Official Seal,

Beverly K. Bridges
NOTARY PUBLIC Commissioned
for said County and State



TITLE ORDER NO.: N/A

ESCROW OR LOAN NO.: N/A

RECORDING REQUESTED BY:
AFTER RECORDING MAIL TO:

David Roark, Manager
Real Estate & Asset Management Division
City of Las Vegas
314 Las Vegas Boulevard North
Las Vegas, NV 89101
meadowsvillagequitclaim

CLARK COUNTY, NEVADA
JUDITH A. VANDEVER, RECORDER
RECORDED AT REQUEST OF:
REAL ESTATE & ASSET MANAGEMENT D
12-15-97 14:22
BOOK: 971215 INST: 00924
FEE: 1.00 RPT: EXHIBIT

Legal Description

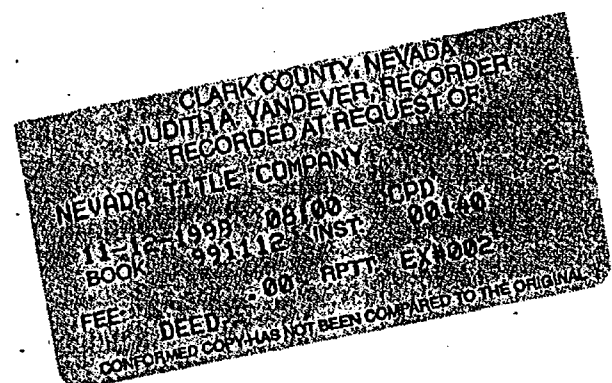


Separator Sheet

ESCROW NUMBER: 99-10-1085 DTL

EXHIBIT "A"
LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) AND THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.B. & M., COMMENCING AT THE SOUTHEAST CORNER OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.B. & M, THENCE N. 87°15'49" W. ALONG THE SOUTH BOUNDARY LINE OF SAID SECTION 4 A DISTANCE OF 1247.48 FEET TO A POINT; THENCE N. 4°00'05" E. ALONG THE WEST BOUNDARY LINE OF THE MEADOWS SUBDIVISION OF THE CITY OF LAS VEGAS, NEVADA, A DISTANCE OF 1355.93 FEET TO THE TRUE POINT OF BEGINNING; THENCE N. 86°12'00" W. A DISTANCE OF 169.90 FEET TO A POINT; THENCE N. 4°00'05" E. A DISTANCE OF 147.79 FEET TO A POINT; THENCE S 86°12'00" E. A DISTANCE OF 169.90 FEET TO A POINT; THENCE S 4°00'05" W. ALONG SAID WEST BOUNDARY LINE OF SAID MEADOWS ADDITION A DISTANCE OF 147.79 FEET TO THE TRUE POINT OF BEGINNING.



SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: ZON-16450 APN: 162-04-707-008
Name of Property Owner: City of Las Vegas
Name of Applicant: City of Las Vegas

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

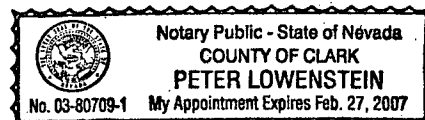
Signature of Property Owner: _____

Print Name: Doug Rarkin

Subscribed and sworn before me

This 31st day of AUGUST, 2006

[Signature]
Notary Public in and for said County and State



Hansen Sheet



Separator Sheet

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

ZON Application

Report Date 09/01/2006 04:31 PM

Submitted By 

Page 1

A/P # 16450 REZONING

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	08/31/2006 10:48	980608	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

ZON-16450 - REZONING RELATED TO GPA-16193 - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Request for a Rezoning FROM: CM (COMMERCIAL/INDUSTRIAL) TO C-V (CIVIC) on 0.56 acres at 300 W. Boston Avenue (162-04-707-008), Ward 3 (Reese).

Parent A/P # 16193
Project # 16450 Project/Phase Name 300 W BOSTON AVE: CM TO CV Phase #
Size/Area 0.56 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 16204707008

Location

Owner/Tenant

Contact ID AC26355 Name CITY OF LAS VEGAS
Mailing Address 400 E STEWART AVE Organization
City LAS VEGAS State/Province NV
ZIP/PC 89101-2927 Country ☐ Foreign
Day Phone (702)229-2330 x Evening Phone
Fax (702)382-3045 Mobile #

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

300 W BOSTON AVE
LAS VEGAS, 89102-

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

16204707008

Item Description Item Status

Report Date 09/01/2006 04:31 PM

Submitted By

Page 2

Review Activities

Act #	Act Type	Status	Waived	Issued	Started	Completed
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Comp By Comments

There are no Review Activities for this Report

Activity Review Details

Detail SUBMITTAL CHECKLIST (ZON)

Modified By MPHOWE

Modified Date/Time 08/31/2006 10:12

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

- Y Pre-Application Conference Checklist
- Y Application/Petition Form
- Y Deed and Legal Description
- Y Justification Letter
- Y Assessor's Parcel Map
- Y Site Plans (18 Folded Blue Lines, 1 Rolled Colored)
- Y Laser Print of Site Plan
- Y Statement of Financial Interest
- Y DINA "Project of Regional Significance" (If Applicable)

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

REZONING

N DINA Required? N PRS Y Parent required? Zoning Information

Final City Council letter received

Annotated minutes recieved

Is there a condition of approval for a Required Review?

If yes, when does it need to be reviewed?

ROI Expired

Meeting Information

Zoning Information

Acres	Existing	Existing ROI	Proposed	Approved	ROI?	ROI Exp Date	Ordinance Adopted
Ordinance #	Added By	Modified By	Comments				

0.56 C-M
MPHOWE

C-V

Meeting Information

Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Add Date	Modified By	Modified Date		

10/05/2006 PC SCHEDULED

0 0 0

MPHOWE 08/31/2006

Report Date 09/01/2006 04:31 PM

Submitted By

Page 3

Meeting Information

Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Add Date	Modified By	Modified Date		

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee

Employee ID	Last	First	MI	Comments
-------------	------	-------	----	----------

980608	HOWE	MICHAEL	P	
--------	------	---------	---	--

Log

Action	Description	Entered By	Start	Stop	Hours
Comments					

No Log Entries

Application



Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Rezoning
 Project Address (Location) 300 W BOSTON AVE
 Project Name CHESTER STUPAK COMM. CTR Proposed Use COMMUNITY CTR
 Assessor's Parcel #(s) 162-04-707-008 Ward # 3
 General Plan: existing MXU proposed P-F Zoning: existing C-M proposed C-V
 Commercial Square Footage N/A Floor Area Ratio N/A
 Gross Acres 0.56 acres Lots/Units N/A Density N/A
 Additional Information GPA-16193; 250 W. Baltimore Ave.

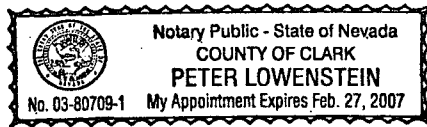
PROPERTY OWNER City of Las Vegas Contact Doug Barkin
 Address 400 STEWART AVE Phone: _____ Fax: _____
 City LV State NV Zip 89101

APPLICANT Same Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____

REPRESENTATIVE Same Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____

Property Owner Signature* [Signature]
 *An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name Doug Barkin
 Subscribed and sworn before me
 This 31ST day of AUGUST, 20 06.
[Signature]

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>ZON 16450</u>
Meeting Date:	<u>OCT 5th, '06</u>
Total Fee:	<u>—</u>
Date Received:*	
Received By:	<u>[Signature]</u>

* The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

ZON-16450 - REZONING RELATED TO GPA-16193 - PUBLIC HEARING - APPLICANT/OWNER:
CITY OF LAS VEGAS - Request for a Rezoning FROM: CM (COMMERCIAL/INDUSTRIAL) TO C-V (CIVIC)
on 0.56 acres at 300 W. Boston Avenue (APN 162-04-707-008), Ward 3 (Reese).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½)
OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 04, TOWNSHIP 21 SOUTH, RANGE 61 EAST,
M.D.M.

PLANNING COMMISSION: **OCTOBER 5, 2006**

CITY COUNCIL: **NOVEMBER 1, 2006**

CASE PLANNER: **DOUG RANKIN**



PUBLIC HEARING

Comments Due: **SEPTEMBER 6, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

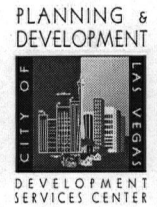
Affidavit of Sign Posting



Separator Sheet



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



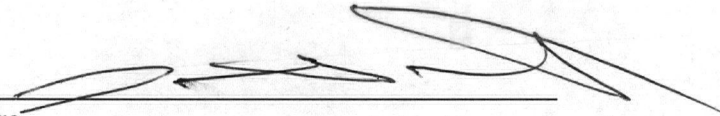
CASE NUMBER: ZON-16450

MEETING DATE: 10/05/06 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



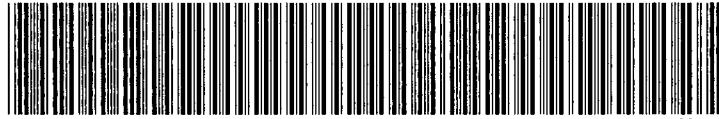
Fair Field


Signature

9-26-06
Date

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.

Neighborhood Services List



NEIGHBORHOOD SERVICES LIST

Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: October 5, 2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

ZON-16450

18b The Las Vegas Arts District NA

Beverly Green NA

Charleston McNeil NA

East Las Vegas Community Development Corp.

Ellis Estates NA

Gateway District Association

Glen Heather Estates NA

John S. Park NA

Rancho Oakey NA

Rancho Sereno NA

Rancho South NA

Richfield NA

Scotch 80's HOA

Southridge NA

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

ZON-16450

HAND DELIVERED

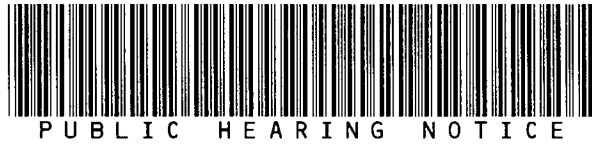
*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING	RICK SCHRODER	DSC

SENT VIA COURIER/INTER-OFFICE MAIL/ OR US MAIL

CCSD	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd Floor City Hall
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*SID (DPW)	T. McDANIEL	4th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

REZONING

MEETING: PLANNING COMMISSION
DATE: OCTOBER 5, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

ZON-16450

APPLICANT/OWNER: CITY OF LAS VEGAS - REQUEST FOR A REZONING FROM: CM (COMMERCIAL/INDUSTRIAL) TO C-V (CIVIC) ON 0.56 ACRES AT 300 W. BOSTON AVENUE (APN 162-04-707-008), WARD 3 (REESE).

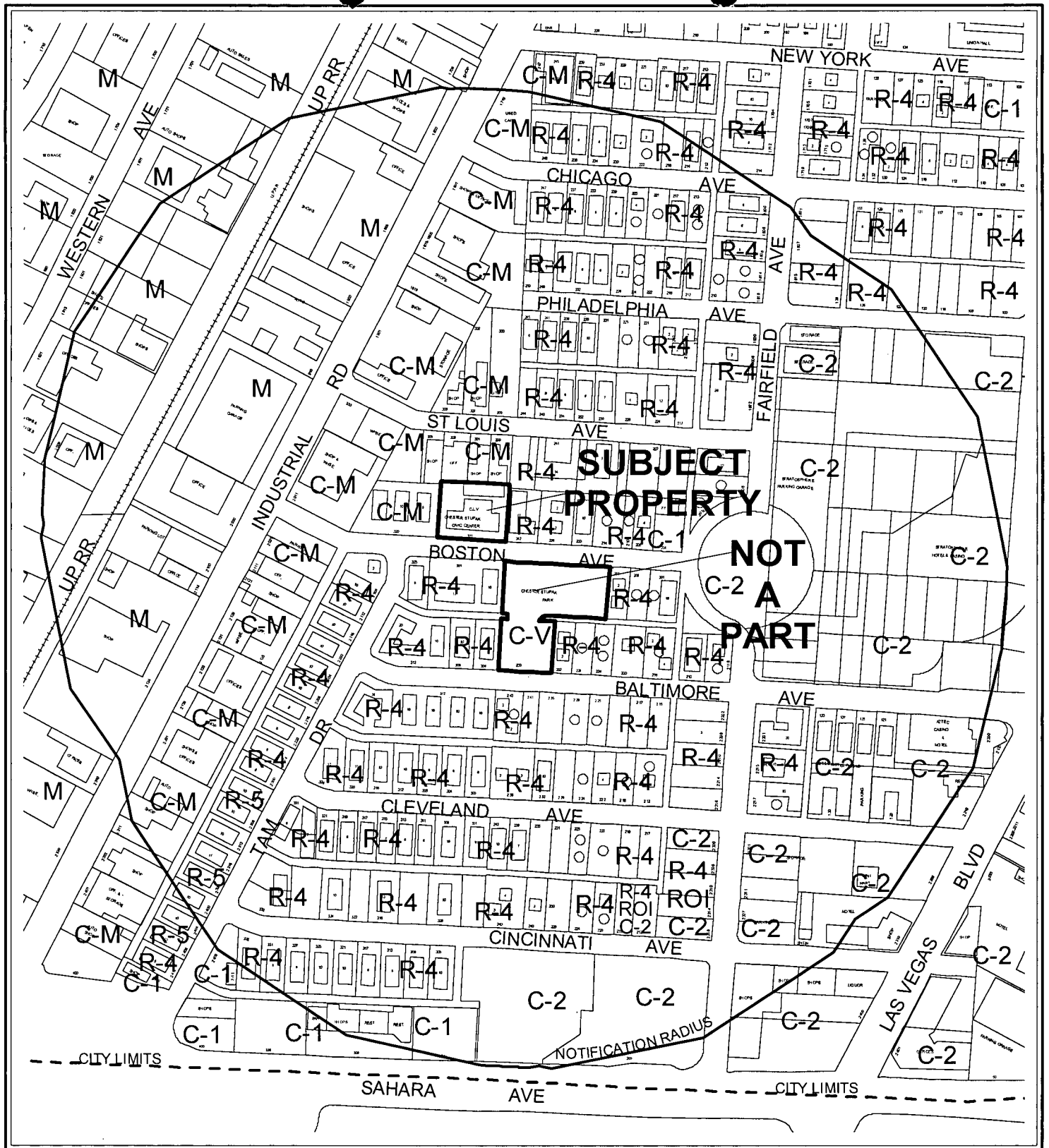
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF SECTION 04, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



DOUGLAS J. RANKIN, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: ZON-16450

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-M (COMMERCIAL/INDUSTRIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-V (CIVIC)

0 200 400 Feet



Justification Letter



Separator Sheet



August 22, 2006

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

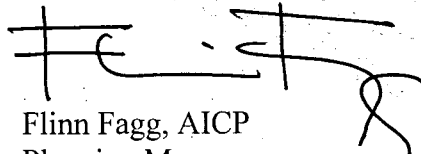
DOUGLAS A. SELBY
CITY MANAGER

To Whom It May Concern:

The City of Las Vegas is requesting to rezone the Chester Stupak Civic Center from CM (Commercial/Industrial) to C-V (Civic). The affected property is located at 300 W. Boston Ave. (Assessor's Parcel Number: 162-04-707-008). The proposed rezoning is being requested to match the current permitted use with the appropriate zoning category.

The proposed rezoning will not impact adjacent parcels as the facility is existing and has operated in the current location since 1997. The request will allow the facility to continue to operate in this location and serve the residents of Meadows Village.

Sincerely,


Flinn Fagg, AICP
Planning Manager

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009

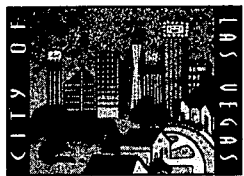


Action Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

October 6, 2006

Mr. Doug Rankin
City of Las Vegas
731 South Fourth Street
Las Vegas, Nevada 89101

RE: ZON-16450 - REZONING

Dear Applicant:

Your request for a Rezoning FROM: CM (COMMERCIAL/INDUSTRIAL) TO C-V (CIVIC) on 0.56 acres at 300 W. Boston Avenue (APN 162-04-707-008), Ward 3 (Reese), was considered by the Planning Commission on October 5, 2006.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

1. A Resolution of Intent to rezone 300 West Boston Avenue from C-M (Commercial/Industrial) Zone to C-V (Civic) Zone is hereby granted.

This item will be considered by the City Council on **November 1, 2006**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

Douglas J. Rankin, Acting Current Planning Manager
Planning and Development Department
Current Planning Division

DJR:dm

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Applicant Letter



APPLICANT LETTER

Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

September 22, 2006

Mr. Doug Rankin
City of Las Vegas
731 South Fourth Street
Las Vegas, Nevada 89101

RE: ZON-16450 - REZONING

Dear Applicant:

Please be advised the City Planning Commission at its regular meeting on **October 5, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, Acting Current Planning Manager
Planning and Development Department
Current Planning Division

DJR:dm

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



City Council Action Letter



Separator Sheet



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

November 2, 2006

Mr. Doug Rankin
City of Las Vegas
731 South Fourth Street
Las Vegas, Nevada 89101

RE: ZON-16450 - REZONING
CITY COUNCIL MEETING OF NOVEMBER 1, 2006

Dear Mr. Rankin:

The City Council at a regular meeting held November 1, 2006 APPROVED the request for a Rezoning FROM: CM (COMMERCIAL/INDUSTRIAL) TO C-V (CIVIC) on 0.56 acres at 300 W. Boston Avenue (APN 162-04-707-008). The Notice of Final Action was filed with the Las Vegas City Clerk on November 2, 2006. This approval is subject to:

Planning and Development

1. A Resolution of Intent to rezone 300 West Boston Avenue from C-M (Commercial/Industrial) Zone to C-V (Civic) Zone is hereby granted.

Sincerely,

A handwritten signature in black ink, appearing to read "Ydoleena Yturralde".

Ydoleena Yturralde
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009



Plans (Approved Site Plan)



PLANS - APPROVED SITE PLAN

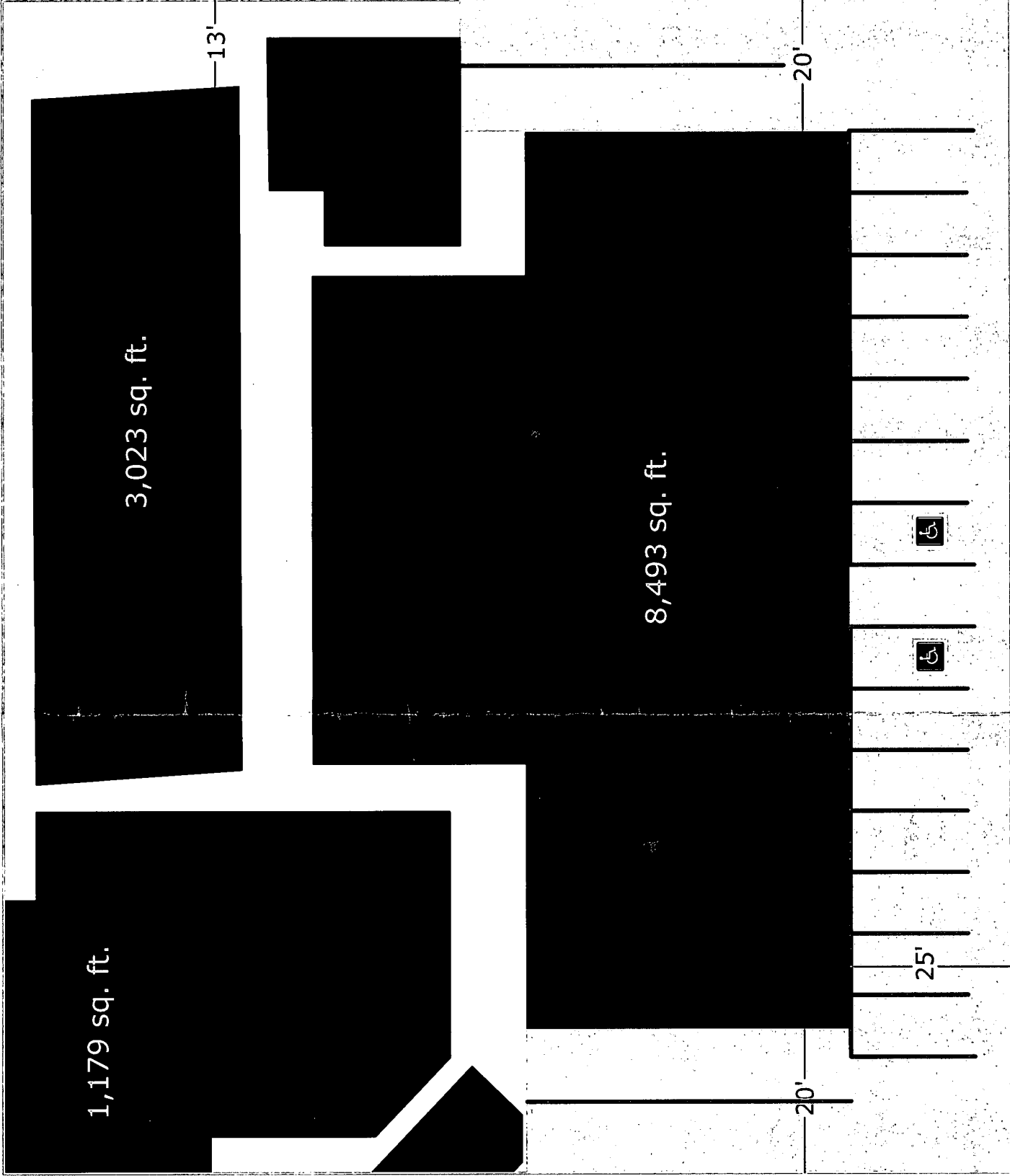
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Existing Building

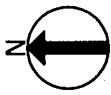
Landscaping

Pavement

Lot-size: 24,394 sq. ft.



APPROVED
CITY COUNCIL DATE: 11/01/06
PLANNING COMMISSION DATE: 10/05/06
BY: [Signature]
CITY OF LAS VEGAS
PLANNING AND DEVELOPMENT



W Boston Avenue

RECEIVED
AUG 22 2006

CHESTER STUPAK
COMMUNITY CTR
300 W. BOSTON AVE

Property Line

Property Line

20N-16450 RC 10/05/06 created to GPA-16193

7 CC 11/01/06 - Approved

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SCANNED
9/5/06

ZON-16450 10/5/06 P.C

City of Las Vegas

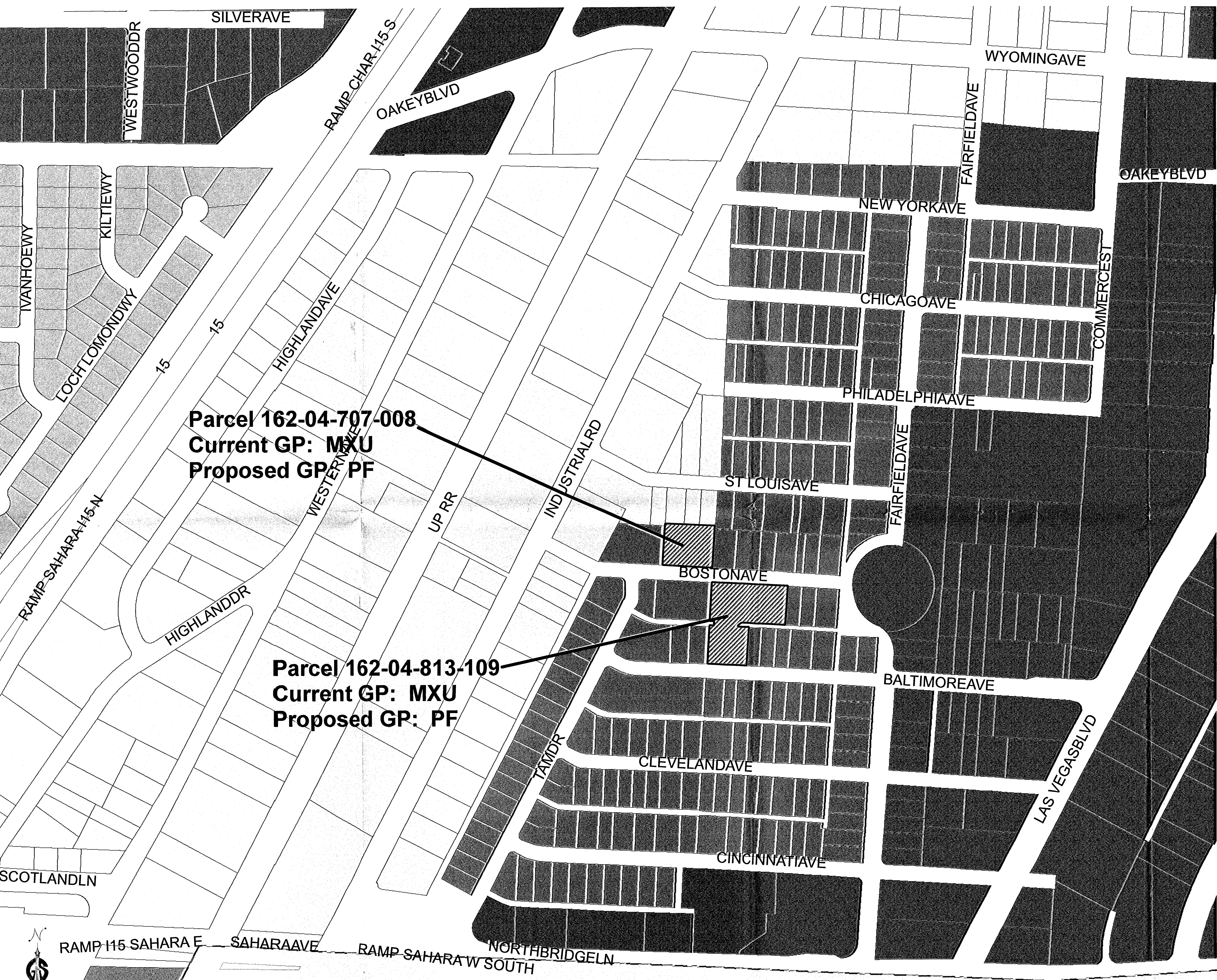
Proposed General Plan Amendment Change From MXU to P-F

Land Use Categories

-  Rural Neighborhood Preservation - up to 2 du/ac (0 - 2 du/ac)
-  Desert Rural - up to 2.49 du/ac (2.1 - 2.49 du/ac)
-  Rural - up to 3.59 du/ac (2.5 - 3.59 du/ac)
-  Low - 3.6 to 5.5 du/ac
-  Medium - Low - 5.6 - 8 du/ac
-  Medium - Low Attached - 8.1 - 12 du/ac
-  Medium - 12.1 - 25 du/ac
-  High 25+ du/ac
-  Mixed Use (L,ML,M,H,O,SC,GC,PF)
-  Office
-  Service Commercial
-  General Commercial
-  General Tourist Commercial
-  Commercial (O,SC,GC)
-  Park/Recreation/Open Space
-  Public Facility
-  Public Facility School
-  Resource Conservation
-  Light Industrial / Research
-  University Medical Center
-  Downtown Redevelopment

APPROVED
CITY COUNCIL DATE: 11/01/06
PLANNING COMMISSION DATE: 10/05/06
BY: [Signature]
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

APPROVED
 CC 11/01/06
 (related to 20N-16450)
 GPD-16193 10/5/06 M.C.



Adopted August 18, 1999 GPA-14-99

Plotted: August 23, 2006



GIS maps are normally produced only to meet the needs of the City. Due to continuous development activity this map is for reference only.
Geographic Information System
Planning & Development Dept.
702-229-6301



City of Las Vegas

Proposed General Plan Amendment Change From MXU to P-F

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-  Downtown Redevelopment

APPROVED
CITY COUNCIL DATE: 11/01/06
PLANNING AND DEVELOPMENT
BY: [Signature]
CITY OF LAS VEGAS

GPA-16193 10/3/06 P.C. (related to 20N-161450) → Approved

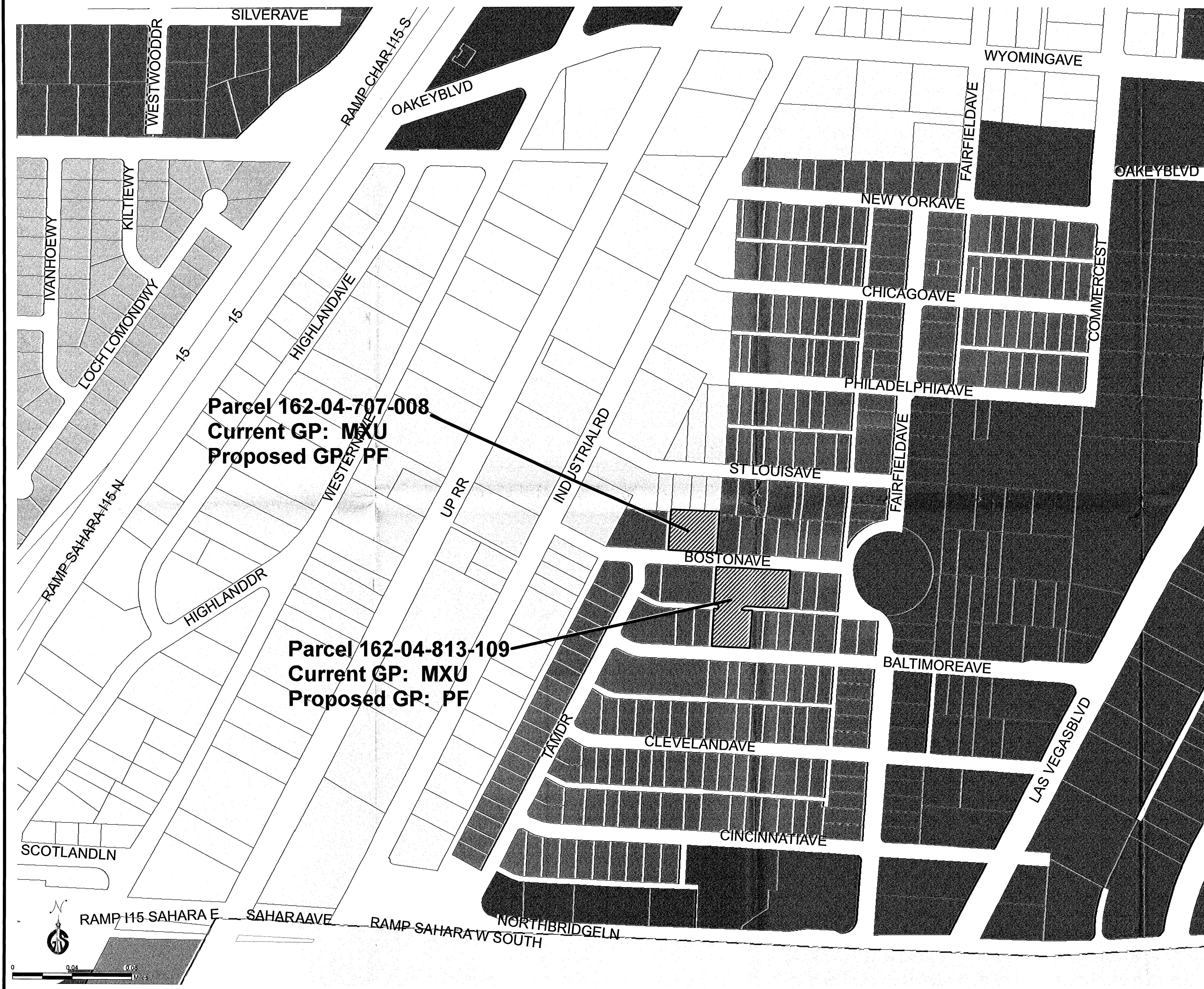
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City of Las Vegas

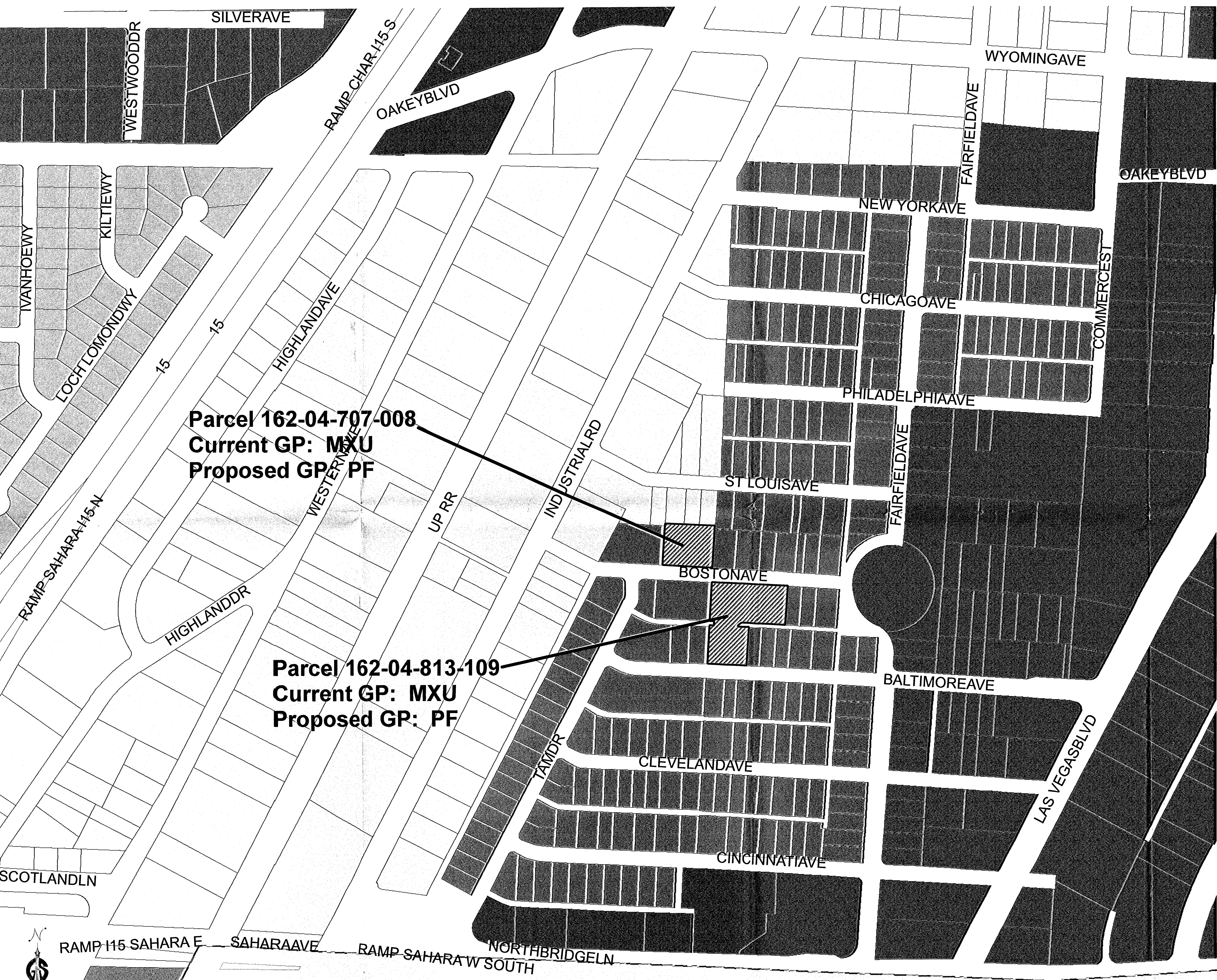
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APPROVED
CITY COUNCIL DATE: 11/01/06
PLANNING COMMISSION DATE: 10/05/06
BY: [Signature]
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

GPA-16193 10/5/06 M.C. (related to 20N-16450) APPROVED

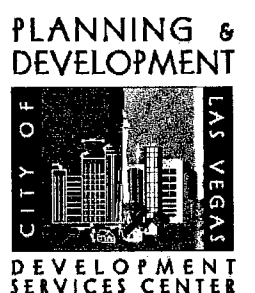


Adopted August 18, 1999 GPA-14-99

Plotted: August 23, 2006



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702-229-6301



City of Las Vegas

Proposed General Plan Amendment Change From MXU to P-F

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-  Light Industrial / Research
-  University Medical Center
-  Downtown Redevelopment

APPROVED
CITY COUNCIL DATE: 11/10/06
PLANNING AND DEVELOPMENT
BY: [Signature]
CITY OF LAS VEGAS

GPA-16193 10/3/06 P.C. (related to 20N-116450) → Approved

Adopted August 18, 1999 GPA-14-99

Plotted: August 23, 2006



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Planning & Development Dept.
702-229-6301

