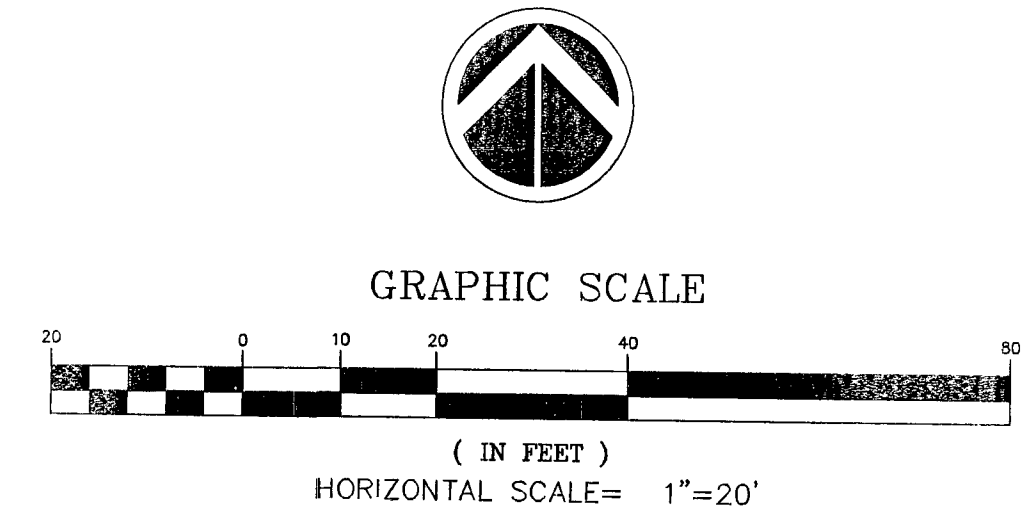
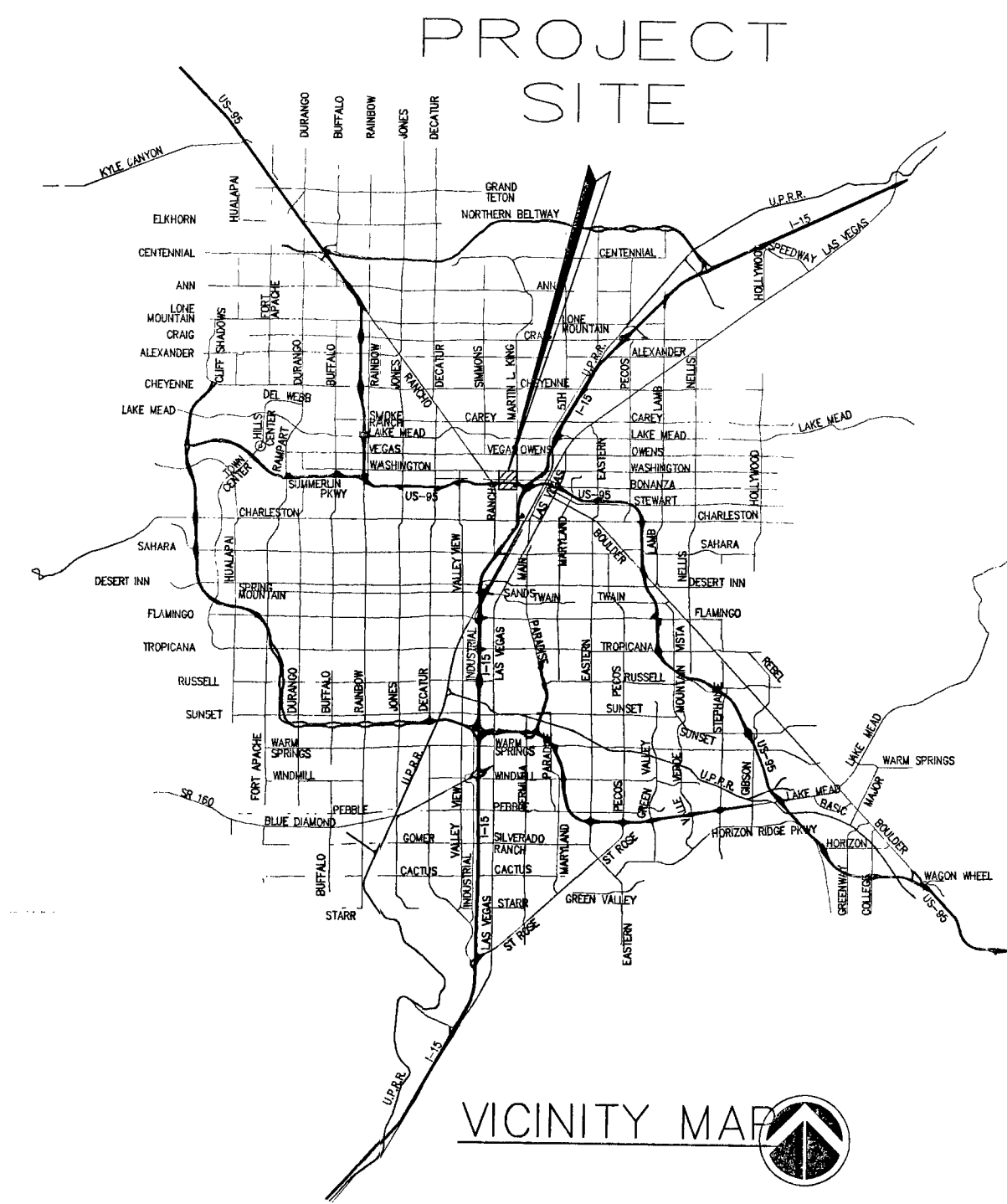
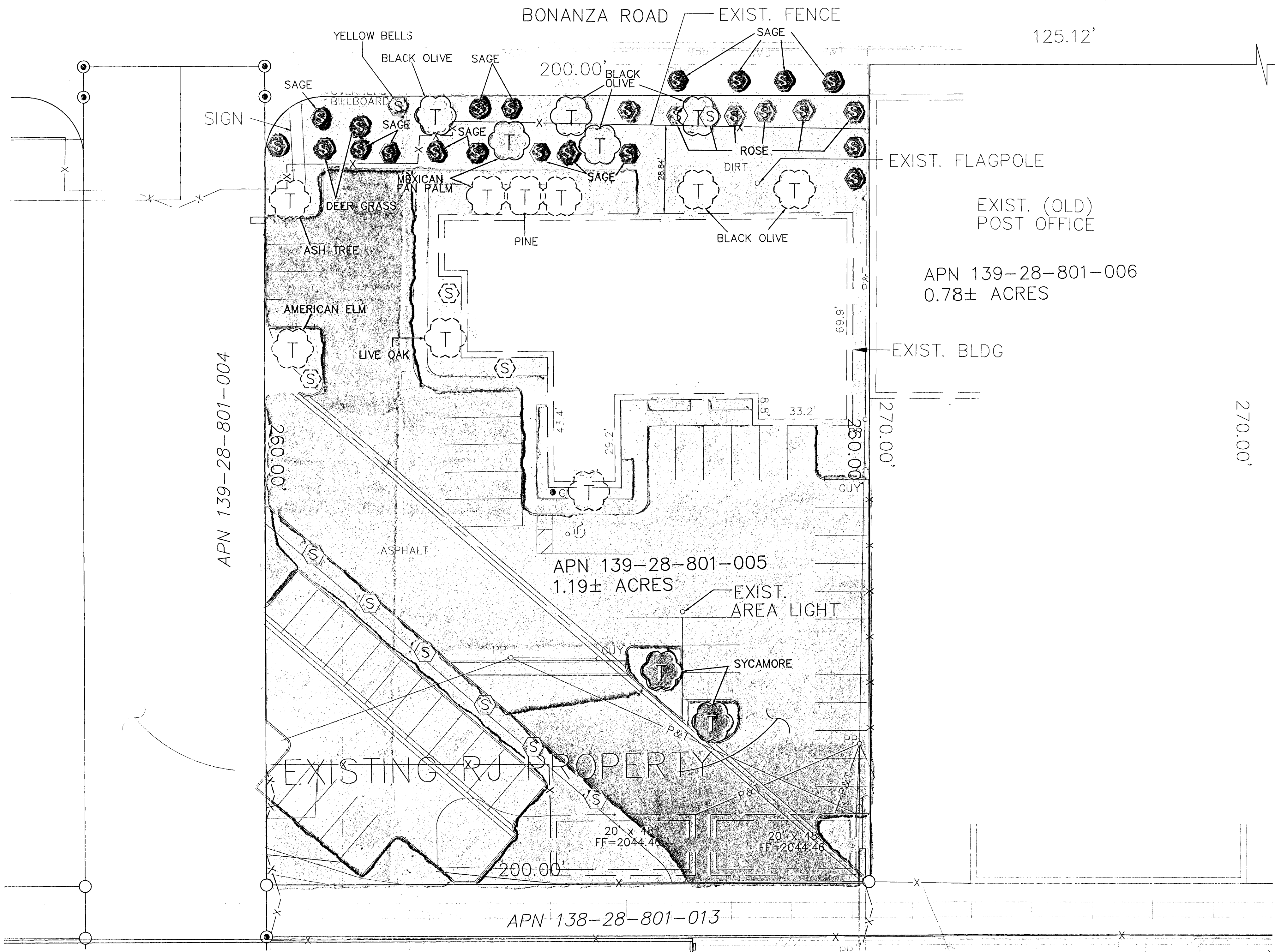
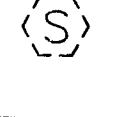




-  EXISTING TREES TO REMAIN
-  EXISTING SHRUBS TO REMAIN
-  EXISTING TREES TO BE REMOVED
-  EXISTING SHRUBS TO BE REMOVED

APPROVED
CITY COUNCIL DATE: 11/11/2006
PLANNING COMMISSION DATE: 11/11/2006
BY: [Signature]
CITY OF LAS VEGAS

RECEIVED
AUG 19 2006

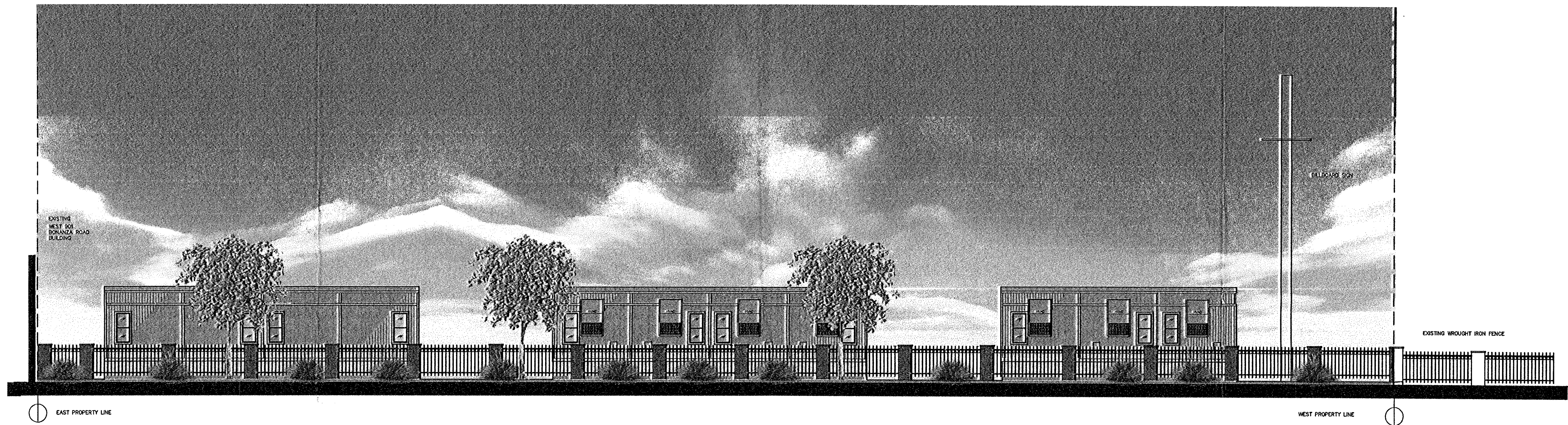
EXISTING LANDSCAPE PLAN	
TITLE	PROJECT
WORK ORDER NO.	
DESIGN BY:	
DRAWN BY:	
DATE:	
SCALE:	1" = 20'
SHEET	2 OF 2 SHEETS
CLV DWG NO.	

3610 North Rancho Drive
Las Vegas, Nevada 89150
Telephone: (702) 648-9700
Fax: (702) 648-4465

ENGINEERING
SOUTHWEST
LAND PLANNING

NEVADA

SDR-16959 PC 11/20/06 L Approved (7-c) F.4



SOUTH ELEVATION

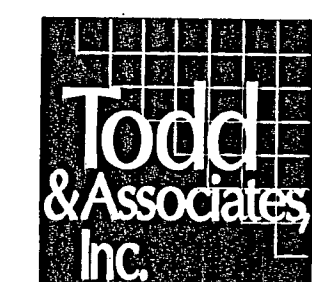
RECEIVED
AUG 19 2006

INSTALLATION-OF-TEMPORARY-MODULAR-OFFICES
919-WEST-BONANZA-RD.
LAS-VEGAS-NEVADA,89125

LAS-VEGAS-REVIEW-JOURNAL
1111-WEST-BONANAZA-RD.
LAS-VEGAS,NEVADA,89125

1ST-SDR

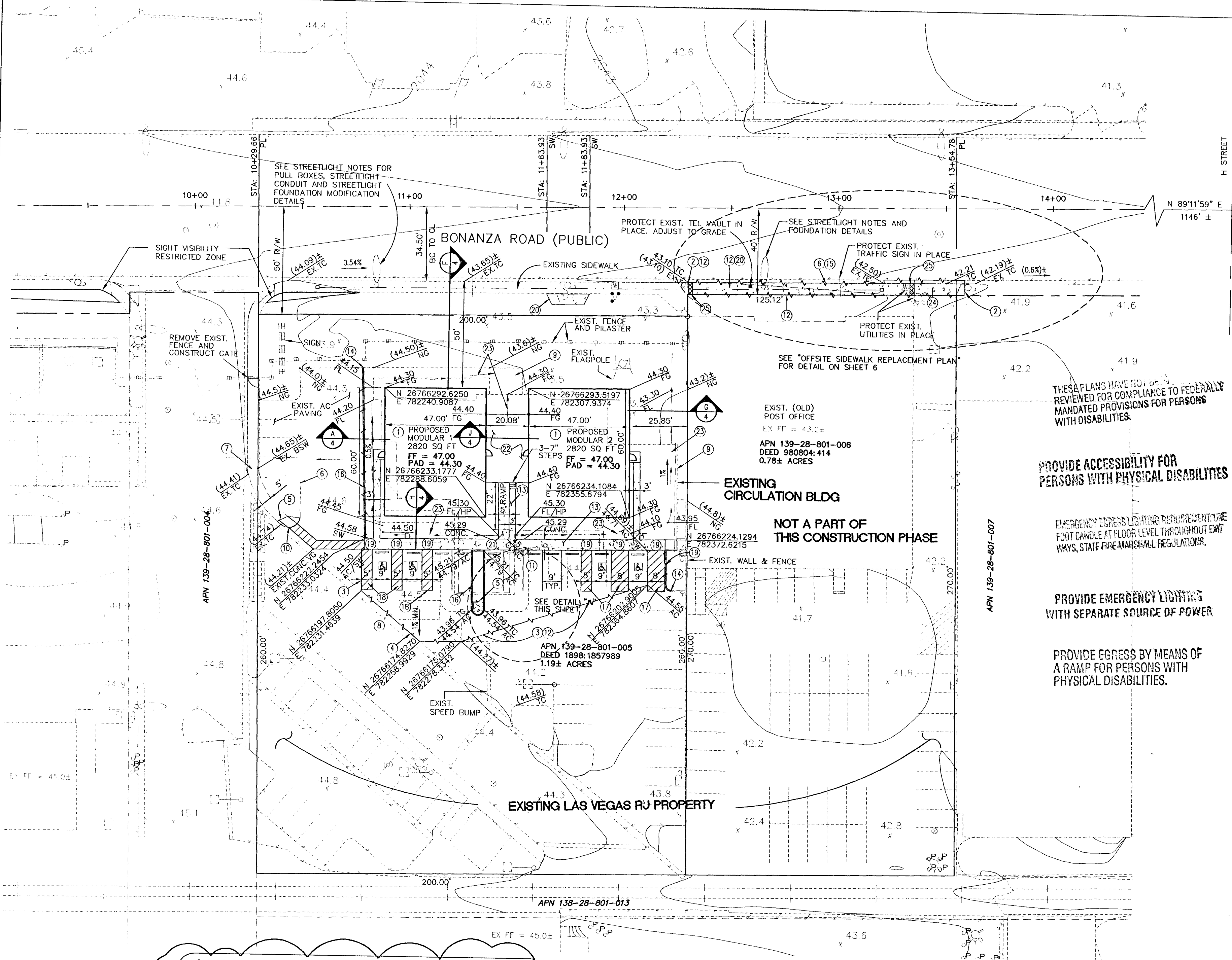
Architecture/Planning/Landscape Architecture
4019 North 44th Street • Phoenix, Arizona 85018 • (602) 952-8280 • FAX (602) 952-8995
Job# 06-1002-01 Date: SEP 19, 2006 Revision: 1ST-SUBMITTAL Preliminary Not For Construction



SDR-16959
11/02/06 PC

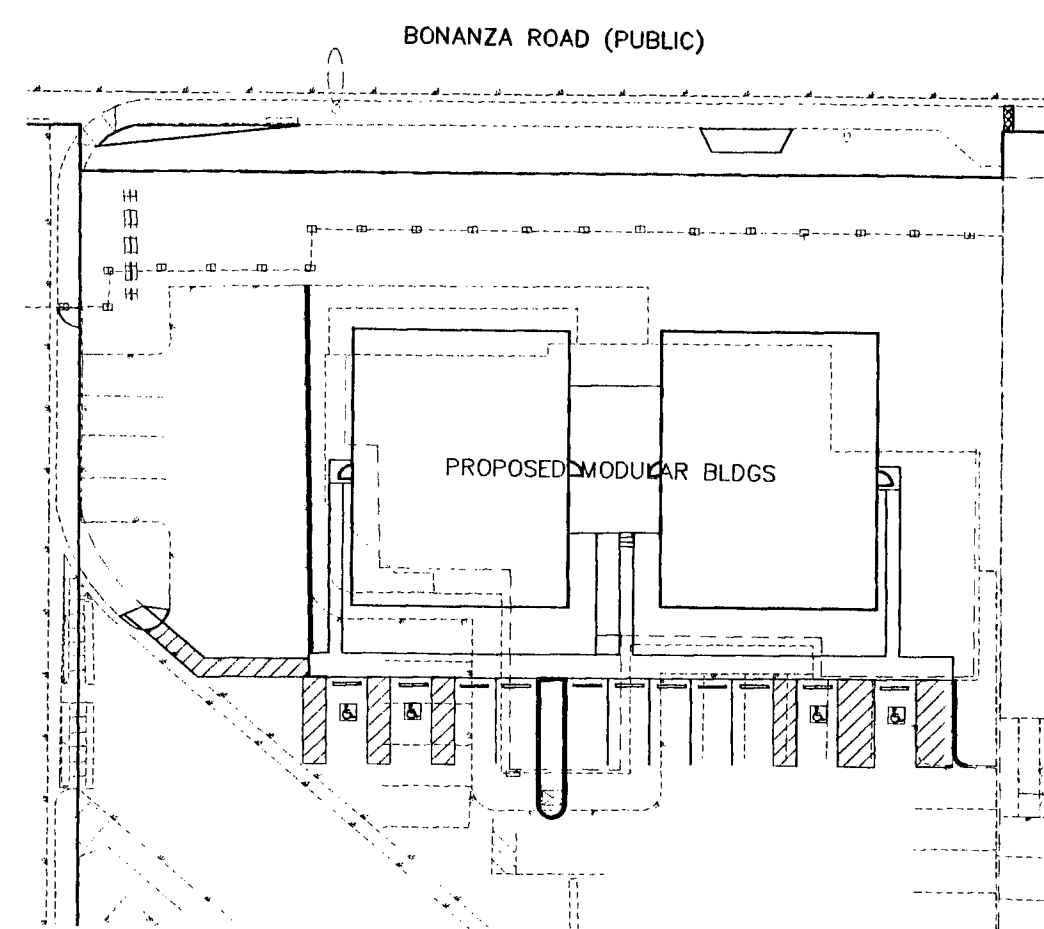
APPROVED
CITY COUNCIL DATE: 11/12/06
PLANNING COMMISSION DATE: 11/12/06
BY: [Signature]
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

SDR-16959 PC 11/2/06 E Approved (7-0) F.A



CONSTRUCTION NOTES

1. INSTALLATION DETAILS ON MODULAR BLDG (BY OTHERS)
2. MATCH EXIST. SIDEWALK
3. MATCH EXIST. AC PAVING
4. MATCH TO EXIST. CONCRETE VALLEY GUTTER
5. SAWCUT EXIST. CONCRETE SIDEWALK (SEE DEMOLITION PLAN)
6. PROTECT EXIST. CURB IN PLACE
7. PROTECT EXIST. SIDEWALK IN PLACE
8. PROTECT EXIST. CONCRETE VALLEY GUTTER IN PLACE
9. MATCH EXIST. GROUND
10. CONSTRUCT CONC. SIDEWALK RAMP PER CCA STD DWG. NO. 235
11. 2" AC OVER 6" TYPE II AGGREGATE BASE - AS PLAN DETAIL "C" ON SHT. 4
12. SAWCUT EXIST. AC PAVING
13. CONSTRUCT CONC. SIDEWALK PER DETAIL "B" ON SHT. 4
14. MATCH TO EXIST. A-CURB
15. MATCH TO EXIST. L-CURB
16. CONSTRUCT A-CURB PER DETAIL "D" ON SHT. 4
17. CONSTRUCT HANDICAP STRIPING AND SIGNS PER DETAIL "B" THIS SHEET
18. CONSTRUCT HANDICAP STRIPING AND SIGNS PER DETAIL "C" THIS SHEET
19. CONSTRUCT "D" CURB PER DETAIL "E" SHEET 4
20. CONSTRUCT CONC. SW PER CCA STD DWG. NO. 234
21. CONSTRUCT ACCESSIBLE RAMPS AND HANDRAILS PER "ACCESSIBLE RAMPS / LANDINGS / STAIRS PLANS" BY EXL STRUCTURAL ENGINEERS
22. DECK DESIGN BY OTHERS
23. CONSTRUCT SWALE AT 1.00% MINIMUM
24. REMOVE EXIST. DWY AND CONSTRUCT DEPRESSED ALLEY DWY PER CCA STD DWG. NO. 227
25. INSTALL SIDEWALK UNDERDRAIN FOR CONNECTION TO ROOF DRAINAGE SYSTEM PER CCA STD DWG. NO. 236



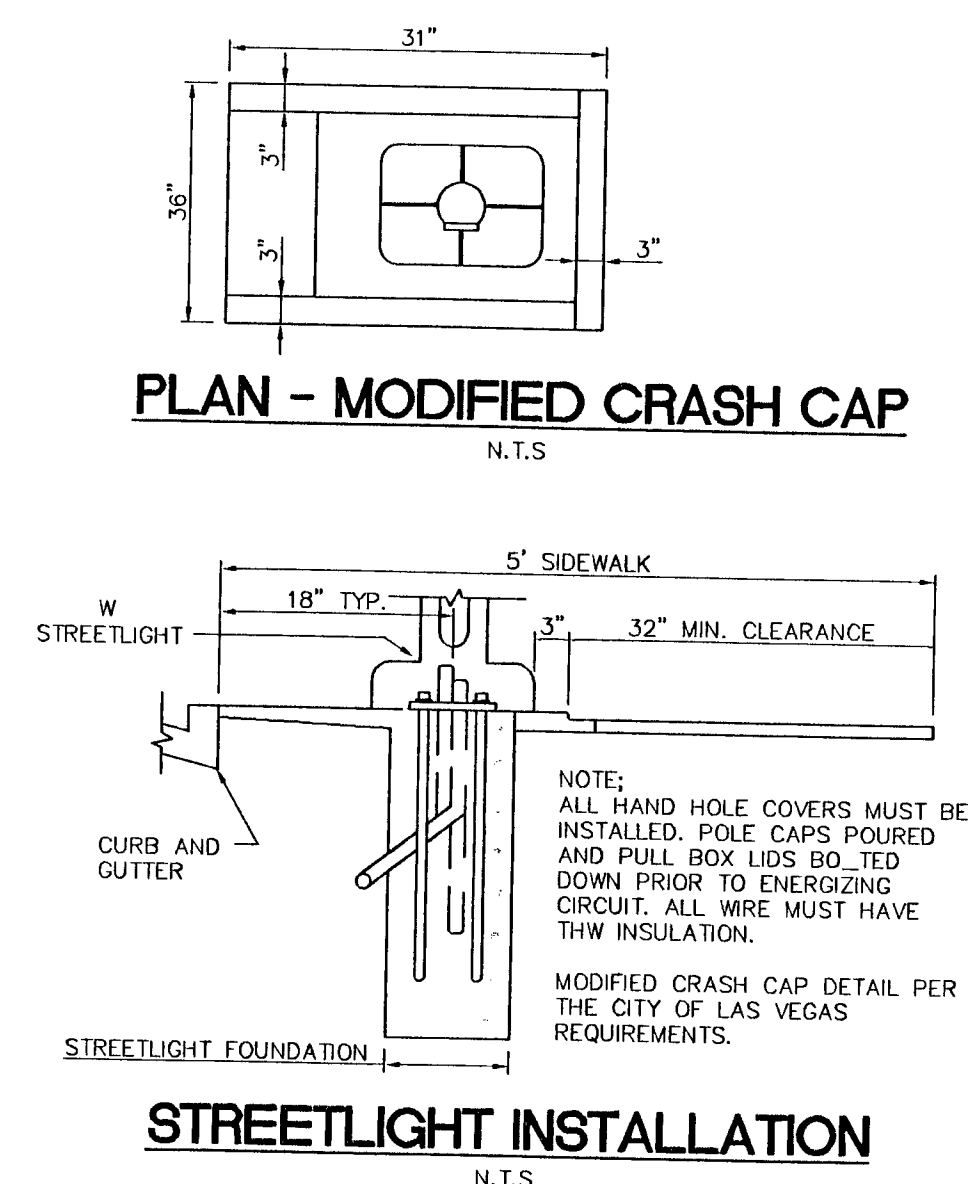
KEY MAP



CLV

LEGEND

- RIGHT OF WAY
- PROPERTY LINE
- CENTER LINE
- EX. EDGE OF PAVEMENT
- EXISTING 1" CONTOUR
- EXISTING 5" CONTOUR
- EXISTING CURB & GUTTER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXIST. STREET LIGHT
- EXISTING POWER POLE
- RATE & DIRECTION OF FLOW
- FINISH FLOOR
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED AC PAVING
- PROPOSED LANDSCAPE AREA
- PROPOSED CONC. SIDEWALK
- ADA ACCESSIBLE AREA
- SIGHT VISIBILITY RESTRICTED ZONE



STREETLIGHT NOTES

MODIFY EXISTING STREETLIGHT FOUNDATION PER DRAWING #325. ALL WORK ASSOCIATED WITH THIS/THOSE STREETLIGHT/S SHALL BE DONE UNDER DIRECT SUPERVISION OF THE CITY OF LAS VEGAS ELECTRICAL SHOP. ANY QUESTIONS CALL 229-6331.

IF FOUNDATION GROUND IS NOT VISIBLE OR DAMAGED FROM MODIFYING BASES, A NEW GROUND ROD WILL HAVE TO BE INSTALLED FOR EACH POLE FOUNDATION. CALL 24 HOURS BEFORE STARTING WORK (229-6331). IF EXISTING POLES CAN'T BE ADJUSTED TO NEW FINISH GRADE, OR FOUNDATION IS DAMAGED IN MODIFYING, A NEW FOUNDATION WILL BE REQUIRED.

INSTALL 1 - 3/4" PVC CONDUIT WITH (2) #4 AND (1) #8 THW WIRE, REWIRE POLES FROM OVERHEAD TO UNDERGROUND (CONDUIT IS TO BE INSTALLED UNDER SIDEWALK).

INSTALL #8 PULL WIRE FROM POLE TO PULL BOX (TYP.)

NOTE

FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 32003C2170 E, SEPTEMBER 27, 2002.

DATE OF FIELD SURVEY

SEPTEMBER 11, 2006

LEGAL DESCRIPTION

A PORTION OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

BASIS OF BEARING

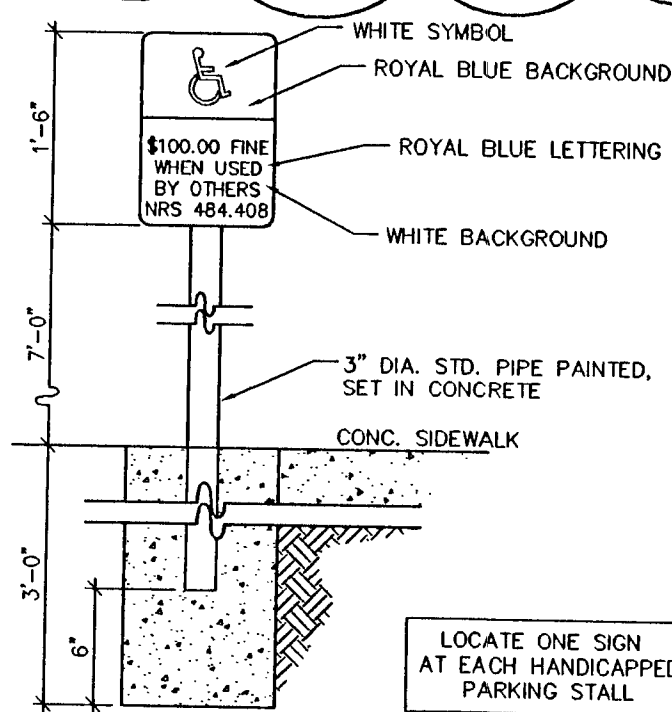
NORTH 89°50'45" EAST, BEING THE NORTH LINE OF THE SOUTHEAST QUARTER QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN BY MAP IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN FILE 148 OF SURVEYS, PAGE 79.

BENCHMARK

CITY OF LAS VEGAS VERTICAL CONTROL RIVET AND PLATE IN TOP OF CURB @ NE CORNER OF WASHINGTON AND MARTIN LUTHER KING STATION 21V01 2804 ELEVATION= 625.3015 METERS (NAVD88) 2051.51 FEET

MODULAR BUILDING NOTE

PROPOSED MODULAR BUILDINGS TO CONSIST OF THE FOLLOWING MANUFACTURED UNITS: SERIAL # 19039, 19040, 19041 & 19042 MODULAR BLDG # 2 SERIAL # 19043, 19044, 19045 & 19046 MODULAR BLDG # 1



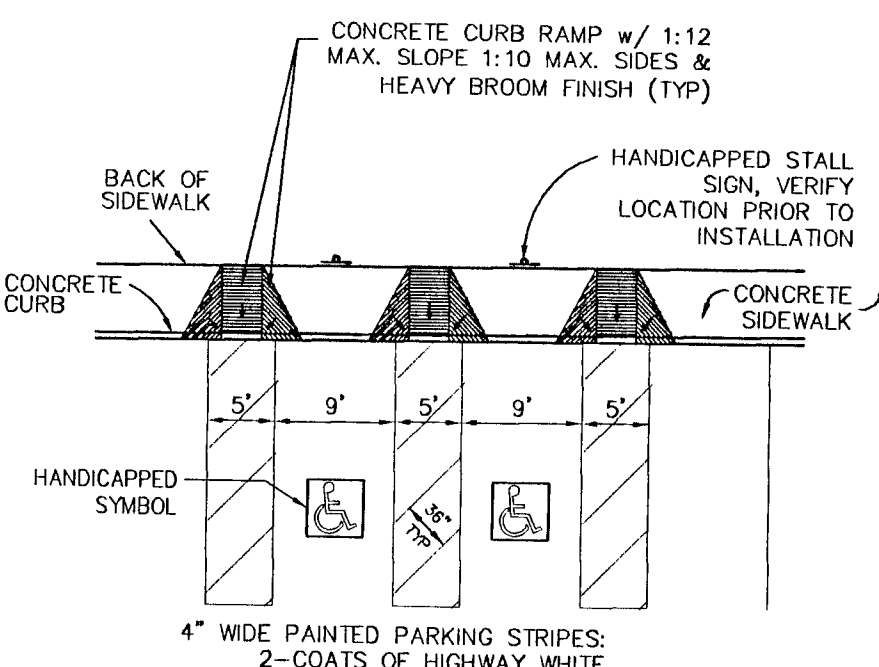
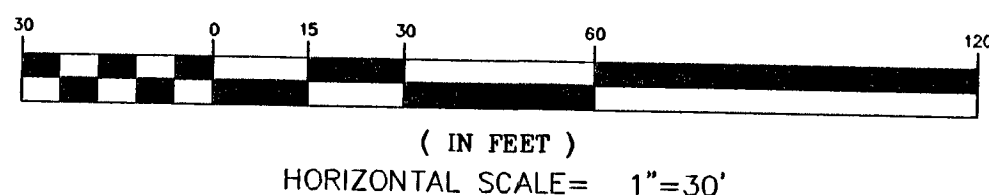
HANDICAP PARKING SPACE SIGN

N.T.S.

S.V.R.Z. NOTES

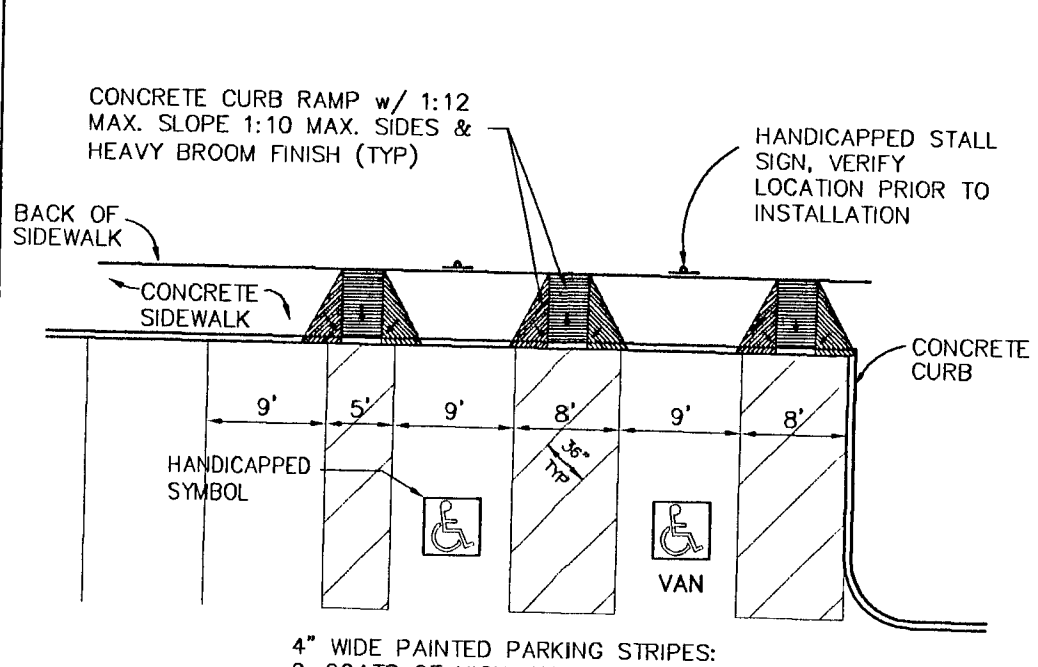
NO WALL, FENCES, TREES, SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24 INCHES IN HEIGHT, MEASURED FROM TOP OF CURB OR WHERE NO CURB EXISTS, A HEIGHT OF 27 INCHES MEASURED FROM THE TOP OF ADJACENT, GRAVEL OR PAVEMENT STREET SURFACE.

GRAPHIC SCALE



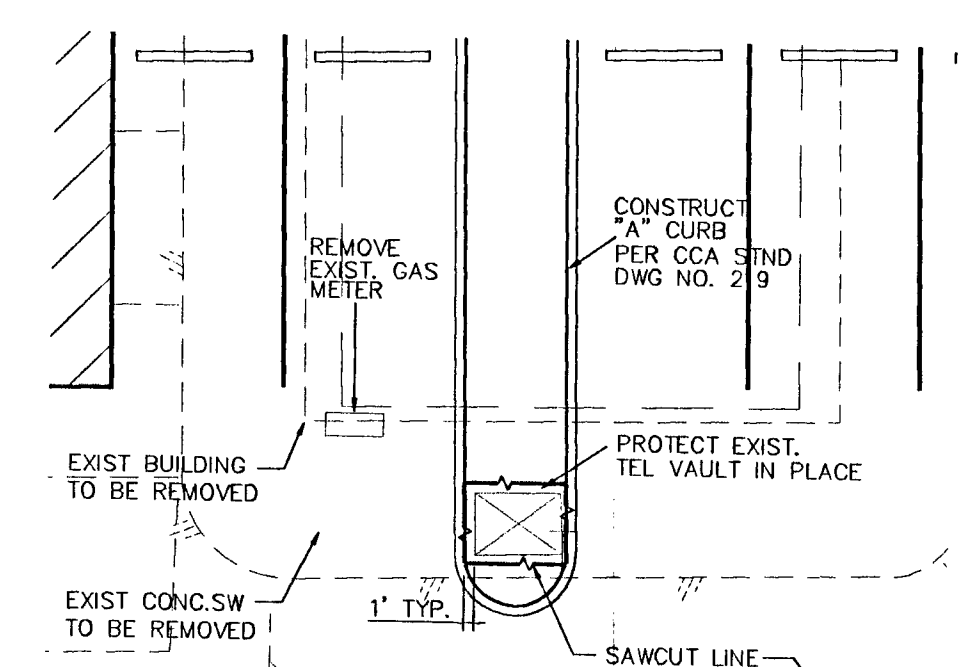
HANDICAP PARKING DETAIL

N.T.S.



HANDICAP PARKING DETAIL

N.T.S.



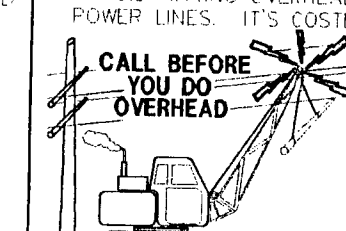
DETAIL

SCALE: 1" = 10'

NOTICE TO CONTRACTOR !

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

CALL before you Dig 1-800-227-2600 UNDERGROUND SERVICE (USA)

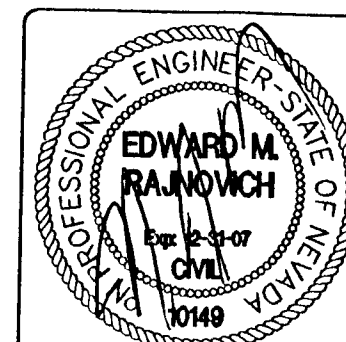


CURRENT PLANNING DIVISION CITY OF LAS VEGAS

GRADING / HORIZONTAL / STREET LIGHTING PLAN MODULAR BUILDINGS #1 AND #2 REPLACEMENT LAS VEGAS REVIEW JOURNAL

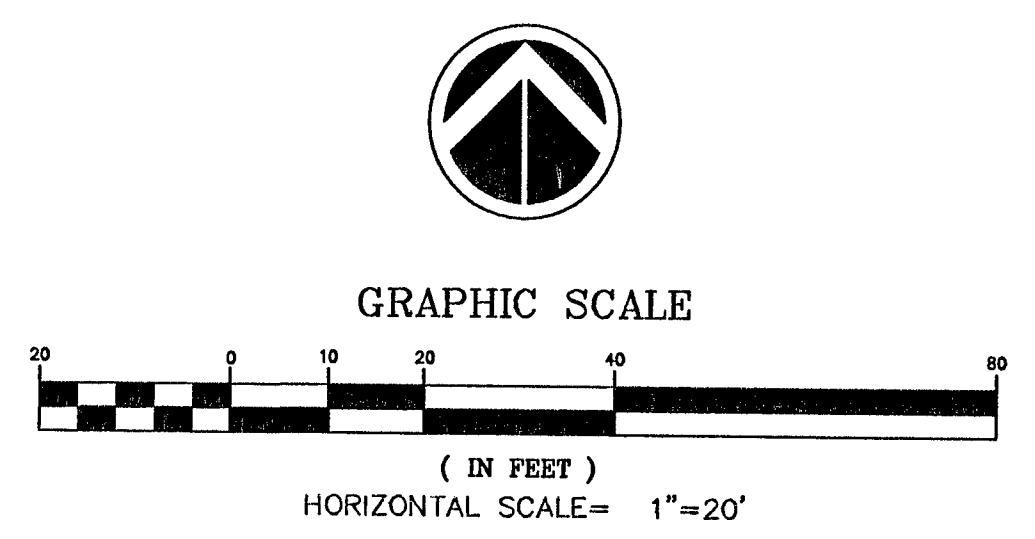
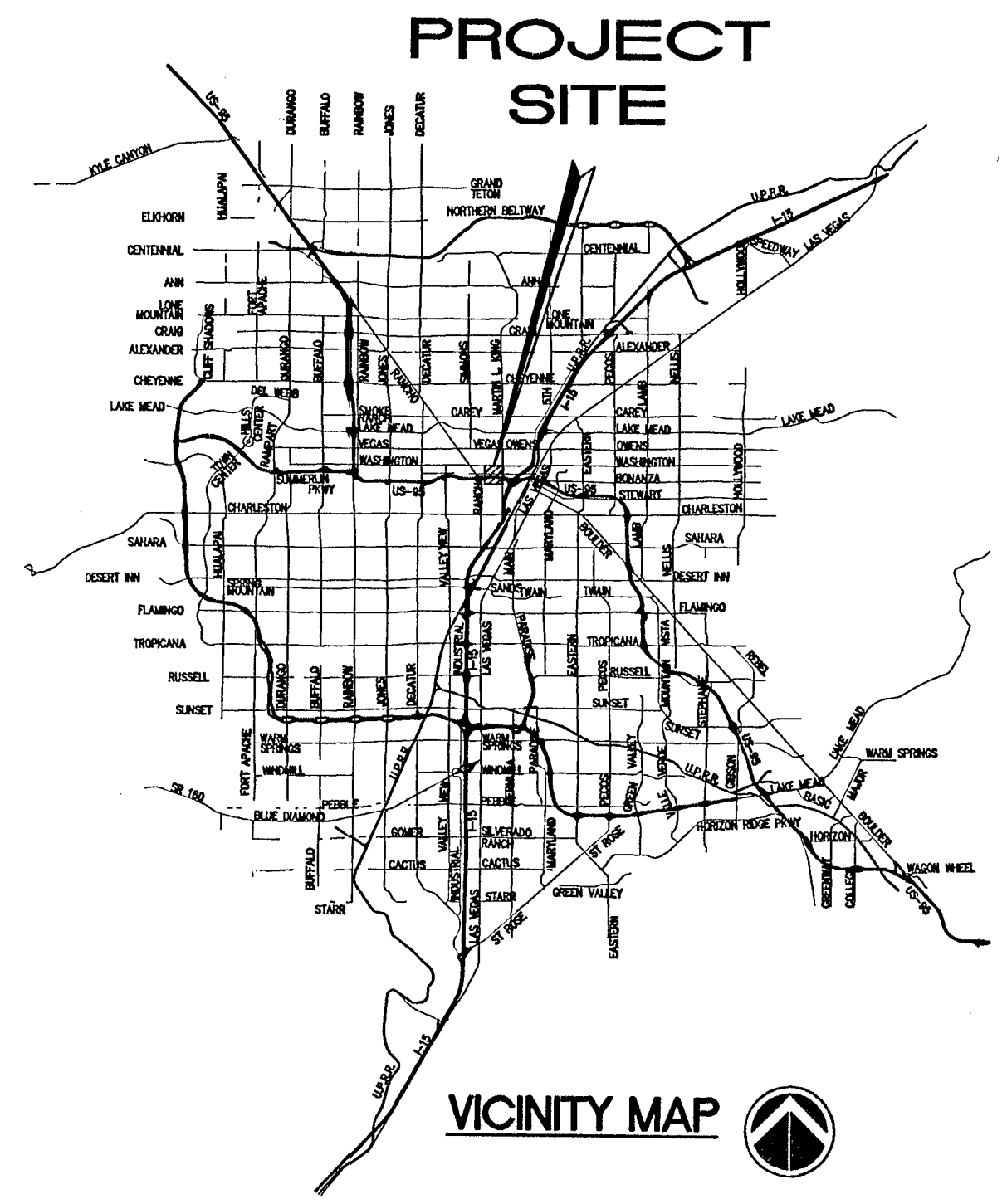
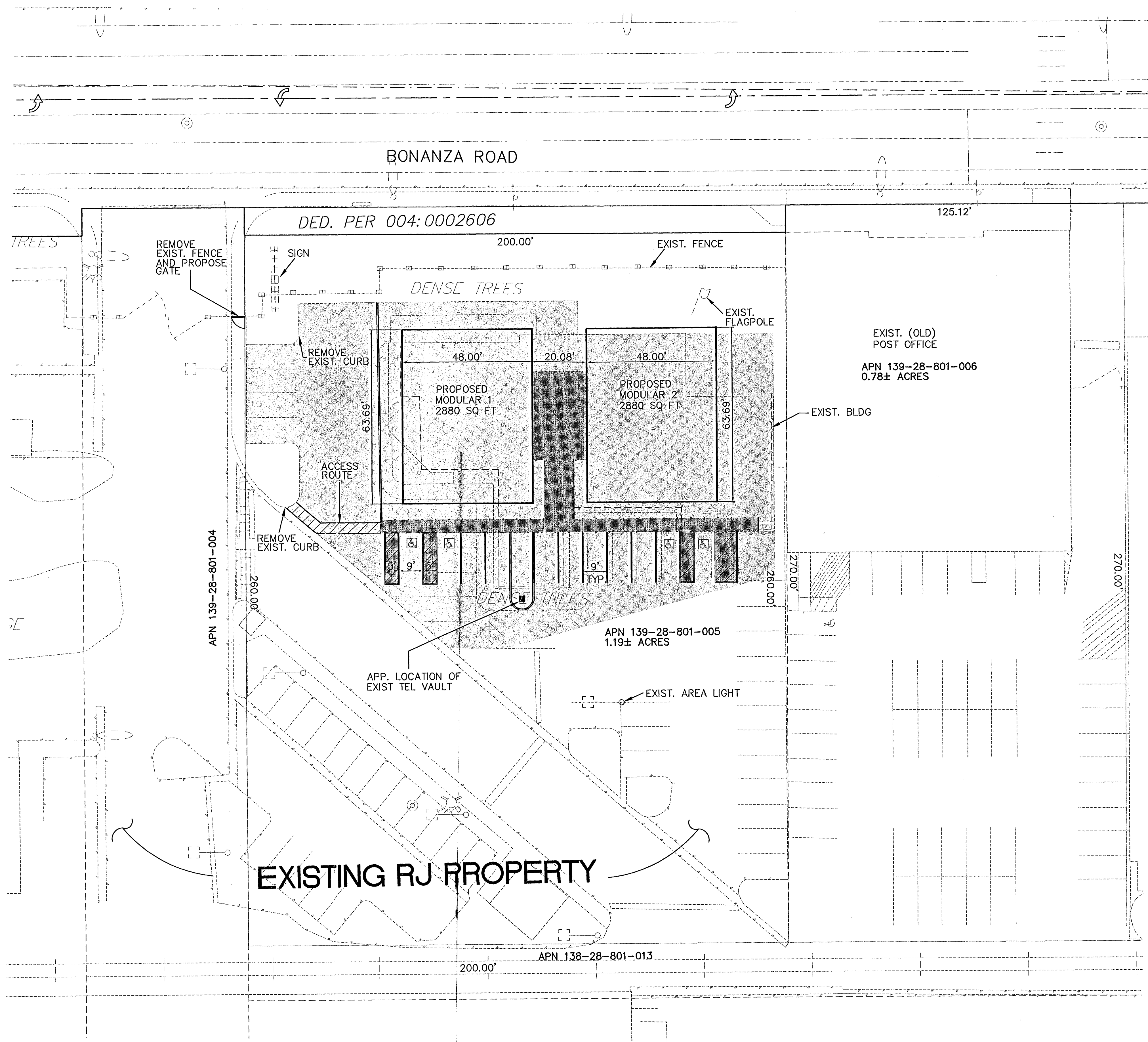
PROJECT	WORK ORDER NO. 060823
DESIGN BY: ER	DRAWN BY: WK
DATE: 10/23/06	SCALE: 1" = 30'
SHEET: 3 OF 7 SHEETS	CLV DWG NO.

3610 North Rancho Drive
Las Vegas, Nevada 89130
Telephone: (702) 646-9700
Fax: (702) 646-4143
SOUTHWEST
LAND PLANNING • SURVEYING • DEVELOPMENT



STAMP DATE: 8/13/07

NO.	DATE	BY	APPROVED	REVISION DESCRIPTION
1	10/20/07	TAG		REVISION AS PER BLDG DEPT
2	10/20/07	WK		REVISION AS PER BUILDING DEPARTMENT



PARKING SPACE QUANTITIES	
NEW PARKING SPACES	7
NEW HANDICAP PARKING SPACES	4
EXISTING PARKING SPACES REMOVED	14
EXISTING HANDICAP PARKING SPACE REMOVED	1

- AREA TO BE DEMOLISHED
- ADA ACCESSIBLE AREA

APPROVED
CITY COUNCIL DATE: 10/12/06
PLANNING COMMISSION DATE: 10/12/06
BY: [Signature]
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

SDR-16959
11/02/06 PC
REVISED

RECEIVED
OCT 13 2006

REVISED SITEPLAN

LAS VEGAS REVIEW JOURNAL

TITLE	PROJECT
WORK ORDER NO.	60823
DESIGN BY:	ER
DRAWN BY:	WK
DATE:	10/12/06
SCALE:	1" = 20'
SHEET 1 OF 1 SHEETS	
CLV DWG NO.	NO.

Approved (7-0) F.A.

Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BAA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekk, Survey (FM, PM, & A's only)
Date: October 2, 2006
Re: **SDR-16959** DR Partners 919 West Bonanza Road
Request for a Site Development Plan Review for 3 temporary buildings

CONDITIONS OF APPROVAL:

1. Provide a copy of a recorded joint access agreement between this site and the adjacent parcel to the west prior to the issuance of any building permits.
2. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
3. Landscape and maintain all unimproved rights-of-way, if any, on Bonanza Road adjacent to this site.
4. Submit an Encroachment Agreement for all landscaping, if any, located in the Bonanza Road public rights-of-way adjacent to this site prior to occupancy of this site.
5. This site will be subject to the traffic signal impact fee as required by Ordinance No. 5644 at the time permits are issued.
6. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

SDR-16959

September 29, 2006

City of Las Vegas
Planning and Development Department
731 South Fourth Street
Las Vegas, Nevada 89101

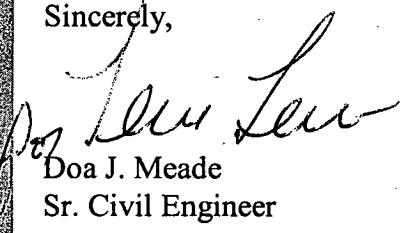
Attention: Flinn Fagg, Planning Manager

SUBJECT: CITY OF LAS VEGAS ZONING APPLICATION REVIEW

The Las Vegas Valley Water District Design and the Production Divisions have reviewed the attached zoning applications and determined that the proposed projects will have no conflict with the District's existing telemetry antenna locations.

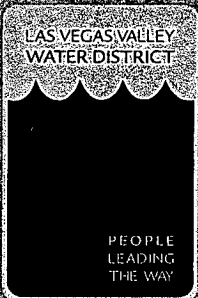
If you require any additional information or have any questions, please call me at 822-8574.

Sincerely,


Doa J. Meade
Sr. Civil Engineer

DJM:TLL:sd
Attachment

Jim Ross, Electronics Supervisor, w/attach, M/S 1080



1001 SOUTH VALLEY VIEW BLVD.
LAS VEGAS, NV 89153
TELEPHONE: 702/870-2011

Board of Directors

Myrna Williams

PRESIDENT

Yvonne Atkinson Gates

VICE PRESIDENT

Tom Collins

Chip Maxfield

Lynette Boggs McDonald

Rory Reid

Bruce Woodbury

Patricia Mulroy

GENERAL MANAGER

V7 Hansen Information Technologies - Version 7.7 (Hansen Production Database)

File Application Review Inspection Customer Window Help

Review Log

Project/Planning Review

Act # Project # Act Type

Comp By

Act Type

Parcel ID

Address

Review Log

Act #

Provide handicap access aisles on both sides of handicap parking.
Provide access on shortest possible route to each building. Provide access for handicap from public way to buildings.

Project Information Review Problems Log Details Check In/out Comments **SITE PLAN REVIEW**

1 of 1

Review Updated

Start [Icons] S... W... V7 H... W M... C... B... B... EN 9:20 AM

From Bldg & Safety -

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-16959 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: DR PARTNERS - OWNER: TODD & ASSOCIATES - Request for a Site Development Plan Review FOR THREE PROPOSED TEMPORARY BUILDINGS TOTALLING 7,920 SQUARE FEET on 1.9 acres at 919 West Bonanza Road (APN 139-28-801-005), M (Industrial) Zone, Ward 5 (Weekly).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

PLANNING COMMISSION: **NOVEMBER 2, 2006** CITY COUNCIL: **DECEMBER 6, 2006**

CASE PLANNER: **DOUG RANKIN**



PUBLIC HEARING

Comments Due:

OCTOBER 3, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Las Vegas Metropolitan Police Dept.
Office of Intergovernmental Services

No Law Enforcement Issue

MEMORANDUM

City of Las Vegas Planning & Development Department

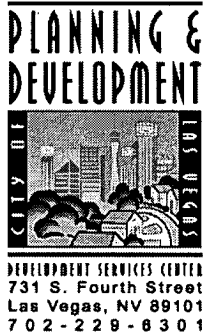
To: Land Development
From: Peter Lowenstein
Phone: (702) 229-4693 Fax: (702) 385-7268
CC: Land Development Civil Plan Ref. #18373
Date: 12/5/06
Re: Las Vegas Review Journal – Modular Building Replacement

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. The signature line on the cover sheet should state "M. Margo Wheeler, AICP, Director of Planning and Development" and "This plan meets the applicable standards of the Planning and Development Department."
2. Las Vegas Zoning Code Title 19.10.G Handicap Parking Requirements: Design standards require a minimum 5' wide access aisle on each side of the parking space and at least one minimum 8' access aisle for the van accessible space. Please revise all applicable sheets to reflect the proper handicap-parking striping and noted above. NOTE – Only two (2) handicap parking spaces, one being van accessible, are required for the proposed development; therefore, if the additional access aisle cannot be added due to site constraints, please treat that space as a regular 9'X18' parking space.
3. Please place a general note within the Utility Plan stating that all above ground utility appurtenances will be in conformance with Title 19.12.040.
4. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits; including, civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

MEMORANDUM



To: Land Development
From: Fred Solis, AICP
Phone: (702) 229-5409 Fax: (702) 385-7268
CC: Land Development Civil Plan Ref. # 27169
Date: 03/14/08 1st Review
Re: Review Journal Generator 502-16959

STATUS:☒ Cond. Appr.☐ Denied

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. The Planning signature line on the cover sheet should state: "Doug Rankin, AICP, Planning Manager" and "This plan meets the applicable standards of the Planning and Development Department."
2. Provide the existing or proposed wall heights on all applicable cross sections.
3. Label any existing or proposed landscaping on all applicable cross sections.]
4. FYI - It has been determined that the site review for this generator area will be done at the time of building permit.
5. *Civil plan redlines must be returned with mylars for planning signature.*

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits, including civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

City of Las Vegas
ADMINISTRATIVE ACTIONS

☒ Action: ADMINISTRATIVE approval, via Building Permit, For 16'-8" SCREEN Wall

Date: 3/5/2010 Staff: MARK REX

Notes: Approval of a 16'-8" SCREEN Wall LOCATED ON the EAST
SIDE OF THE TEMPORARY BUILDING LOCATED @ 919 W BONANZA.
OK WAS GIVEN BY FRANK F.

☐ Action: _____

Date: _____ Staff: _____

Notes: _____

☐ Action: _____

Date: _____ Staff: _____

Notes: _____

☐ Action: _____

Date: _____ Staff: _____

Notes: _____

Extraction List



EXTRACTION LIST

Separator Sheet

6 / 4

C

PARCELS	131
LABELS	38

Report of All Selected ParcelsCase Number: SDR-16959Printed On: Mon: September 25, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
		13928711000
		13928710000
B T-O H L L C	%TAX DEPT P O BOX 28606 ATLANTA GA	13928703017
BENNETT MARION	1911 GOLDHILL LAS VEGAS NV	13928703015
BENNETT MARION D	1911 GOLDHILL LAS VEGAS NV	13927310058
BENNETT MARION D	1911 GOLDHILL LAS VEGAS NV	13927310067
BENNETT MARION D	718 WILSON AVE LAS VEGAS NV	13927310059
CONSTANTINO NOVAL NEVADA L L C	%T ROSENSTEIN 2960 MEADE AVE LAS VEGAS NV	13933510002
CONSTANTINO NOVAL NEVADA L L C	%T ROSENSTEIN 2960 MEADE AVE LAS VEGAS NV	13933510002
D R PARTNERS	111 CENTER ST #2020 LITTLE ROCK AR	13928801006
D R PARTNERS	111 CENTER ST #2020 LITTLE ROCK AR	13928801003
D R PARTNERS	111 CENTER ST #2020 LITTLE ROCK AR	13928801016
DAVIS BILLY RAY	P O BOX 30162 SANTA ANA CA	13928711025
DONREY INC	111 CENTER ST #2020 LITTLE ROCK AR	13928801005
ESCAPE DEVELOPMENT L L C	%K ESTEY P O BOX 93835 LAS VEGAS NV	13928801009
FINLEY BUFORD & ANNIE V	207 E GAGE AVE LOS ANGELES CA	13928711040
FRANKLIN LIVING TRUST	10220 S 8TH AVE INGLEWOOD CA	13928711057
GALVIN DARNELL	901 MCWILLIAMS AVE #203 LAS VEGAS NV	13928711009
GRANGAARD CHARLES D & ELLEN M	%NEO DYNE RESEARCH INC 2800 CAMEO CIR LAS VEGAS NV	13928703012
HAYCOCK FAMILY L P	715 W BONANZA RD LAS VEGAS NV	13927401001
HERNANDEZ JOHN E & MARICELA R	5929 TROPICAL SPRINGS ST LAS VEGAS NV	13928703007
HIRAHARA RONALD M ETAL	P O BOX 31 ARDMORE PA	13928801011
HIRAHARA RONALD M ETAL	P O BOX 31 ARDMORE PA	13928801010
HIRAHARA RONALD YOSHIMITSU TRUST	P O BOX 3320 HONOLULU HI	13928703016
HOUSING AUTHORITY CITY OF LV	P O BOX 1897 LAS VEGAS NV	13928702001
KEENAN SOCORRO	2245 N GREEN VALLEY PKWY #288 HENDERSON NV	13928711002
KLINE GEORGE B & MINNIE L	1305 N N ST LAS VEGAS NV	13927310071
LOEZA MARIA L	P O BOX 27595 LAS VEGAS NV	13928711049
LUCKY CHAMP INC	1420 W BONANZA RD LAS VEGAS NV	13928703008
MANCERA RAFF	901 W MCWILLIAMS AVE #204 LAS VEGAS NV	13928711010
MESQUITE PARTNERS LTD	716 W MESQUITE AVE LAS VEGAS NV	13927401005
MESQUITE PARTNERS LTD	716 W MESQUITE AVE LAS VEGAS NV	13927401004

Report of All Selected Parcels**Case Number:** SDR-16959**Printed On:** Mon: September 25, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
MESQUITE PARTNERS LTD	716 W MESQUITE AVE LAS VEGAS NV	13928802001
MOULDEN STANLEY J	2800 CAMEO CIR LAS VEGAS NV	13928703010
MOULDEN STANLEY J	2800 CAMEO CIR LAS VEGAS NV	13928703011
MOULDEN STANLEY J	2800 CAMEO CIR LAS VEGAS NV	13928703006
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711008
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711005
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711006
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711007
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711004
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711003
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711001
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711059
MOULIN ROUGE DEVELOPMENT CORP	%GRAND PACIFIC FINANCING CORP %L CHU 1255 CORPORATE CENTER DR #PH10 MONTEREY PARK CA	13928703005
MOULIN ROUGE DEVELOPMENT CORP	%GRAND PACIFIC FINANCING CORP %L CHU 1255 CORPORATE CENTER DR #PH10 MONTEREY PARK CA	13928703013
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711015
MOULIN ROUGE DEVELOPMENT CORP	%GRAND PACIFIC FINANCING CORP 1255 CORPORATE CENTER DR #PH10 LAS VEGAS NV	13928703014
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711046
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711013
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711036
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711037
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711038
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711039
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711041
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711042
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711043
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711034
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711045
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711033
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711048
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711050
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711051

Report of All Selected Parcels**Case Number:** SDR-16959**Printed On:** Mon: September 25, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711052
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711054
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711055
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711056
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711058
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711044
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711023
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711012
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711014
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711016
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711017
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711018
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711019
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711020
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711035
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711022
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711011
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711024
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711026
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711027
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711028
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711029
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711030
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711031
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711032
MOULIN ROUGE DEVELOPMENT CORP	800 W BONANZA RD LAS VEGAS NV	13928711021
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710021
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710018
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710010
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710011
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710013
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710019

Report of All Selected Parcels**Case Number:** SDR-16959**Printed On:** Mon: September 25, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710015
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710009
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710017
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710012
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710020
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710022
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710023
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710024
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710025
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710026
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710016
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710007
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710006
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710005
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710004
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710003
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710002
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710008
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710001
NEO-DYNE RESEARCH INC	2800 CAMEO CIR LAS VEGAS NV	13928710014
P C B P PROPERTIES INC	%TAX DEPT PACIFIC COAST CO INC 10600 WHITE ROCK RD #100 RANCHO CORDOVA CA	13928703002
P C B P PROPERTIES INC	%TAX DEPT PACIFIC COAST CO INC 10600 WHITE ROCK RD #100 RANCHO CORDOVA CA	13928703003
PENSKE TRUCK LEASING CO L P	%RE DEPT RT 10 GREENHILLS P O BOX 563 READING PA	13928703004
REESE FAMILY TRUST	20551 CARANCHO RD TEMECULA CA	13927310069
S G PROPERTIES L L C	%G CROWE 9132 GOLDEN EAGLE DR LAS VEGAS NV	13928801015
S G PROPERTIES L L C	9132 GOLDEN EAGLE DR LAS VEGAS NV	13928801008
S G PROPERTIES L L C	%G CROWE 9132 GOLDEN EAGLE DR LAS VEGAS NV	13928801007
SCOTT VASCOLA M	901 W MCWILLIAMS AVE #901 LAS VEGAS NV	13928711053
SEARS ROEBUCK & CO	%D/768TAX B2-122A 3333 BEVERLY RD HOFFMAN ESTATES IL	13928801002
SOUTHWESTERN IMP & INVEST CO	111 CENTER ST #1720 LITTLE ROCK AR	13928801004
UNION PACIFIC RAILROAD COMPANY	%PPTY TAX 1400 DOUGLAS STOP 1640 OMAHA NE	13928801001
UNION PACIFIC RAILROAD COMPANY	%PPTY TAX 1400 DOUGLAS STOP 1640 OMAHA NE	13927401027

Report of All Selected Parcels

Case Number: SDR-16959

Printed On: Mon: September 25, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
UNION PACIFIC RAILROAD COMPANY	%PPTY TAX 1400 DOUGLAS STOP 1640 OMAHA NE	13927401003
UNION PACIFIC RAILROAD COMPANY	%PPTY TAX 1400 DOUGLAS STOP 1640 OMAHA NE	13928801013
UNION PACIFIC RAILROAD COMPANY	%PPTY TAX 1400 DOUGLAS STOP 1640 OMAHA NE	13928801012
WASHINGTON JOHN D & HELEN F	901 W MCWILLIAMS AVE #805 LAS VEGAS NV	13928711047

APN Map



Separator Sheet

3

5

NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL

0 50 100 200 400 600 800

MAP LEGEND

— PARCEL BOUNDARY
— SUBD BOUNDARY
- - - ROAD EASEMENT
— PW/LD BOUNDARY
- - - NON-PARCEL LOT LINE
— MATCH LINE / LEADER LINE
— ROAD ID NUMBER

AVERAGE
OA VALUE
35

ASSESSOR'S PARCELS - CLARK CO., NV.
M. W. Schofield, Assessor

001 PARCEL NUMBER
1.00 ACREAGE
202 PARCEL SUB/SEQ NUMBER
PB 25-45 PLAT RECORDING NUMBER
5 BLOCK NUMBER
5 LOT NUMBER
GL5 GOV. LOT NUMBER

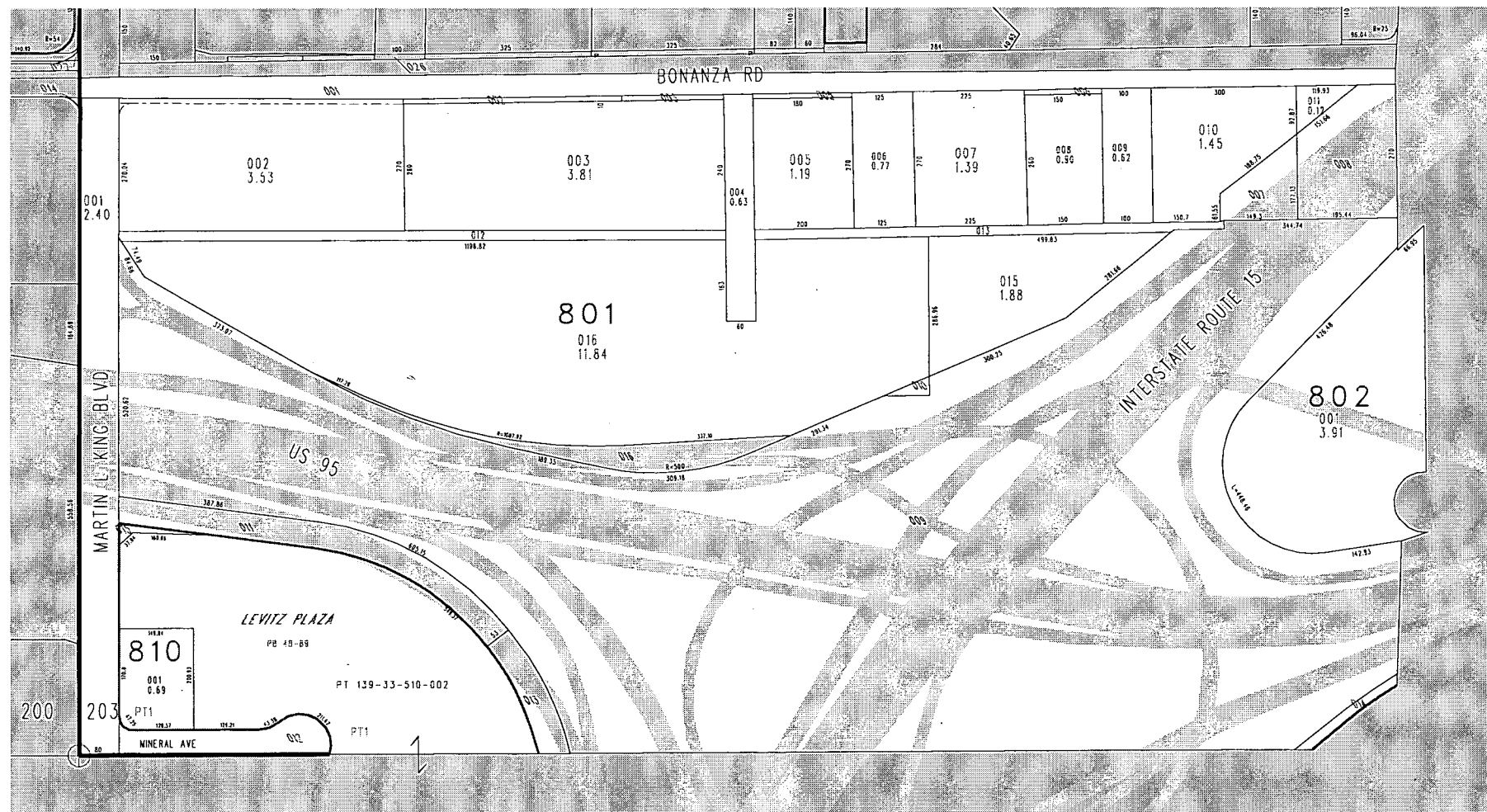
T20S R61E
R60E R61E R62E
T19S 125 124 123
T20S 138 139 140
125 163 162 161

28
8 5 4 3 2 1
7 8 9 10 11 12
18 17 16 15 14 13
19 20 21 22 23 24
30 29 28 27 26 25
31 32 33 34 35 36

S 2 SE 4
8 4 8 4
5 1 5 1
6 2 6 2
7 3 7 3
8 4 8 4
5 1 5 1

139-28-8

Scale: 1"=200' Rev: 06/12/06



SDR-16959
11/02/06 PC

TAX DIST 203

Deed



Separator Sheet



POLICY OF TITLE INSURANCE



ISSUED BY

RECEIVED
AUG 19 2006

First American Title Insurance Company

C
SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS AND STIPULATIONS, FIRST AMERICAN TITLE INSURANCE COMPANY, a California corporation, herein called the Company, insures, as of Date of Policy shown in Schedule A, against loss or damage, not exceeding the Amount of Insurance stated in Schedule A, sustained or incurred by the insured by reason of:

1. Title to the estate or interest described in Schedule A being vested other than as stated therein;
2. Any defect in or lien or encumbrance on the title;
3. Unmarketability of the title;
4. Lack of a right of access to and from the land;

and in addition, as to an insured lender only:

5. The invalidity or unenforceability of the lien of the insured mortgage upon the title;
6. The priority of any lien or encumbrance over the lien of the insured mortgage; said mortgage being shown in Schedule B in the order of its priority;
7. The invalidity or unenforceability of any assignment of the insured mortgage, provided the assignment is shown in Schedule B, or the failure of the assignment shown in Schedule B to vest title to the insured mortgage in the named insured assignee free and clear of all liens.

The Company will also pay the costs, attorneys' fees and expenses incurred in defense of the title or the lien of the insured mortgage, as insured, but only to the extent provided in the Conditions and Stipulations.

IN WITNESS WHEREOF, First American Title Insurance Company has caused this policy to be signed and sealed by its duly authorized officers as of Date of Policy shown in Schedule A.

First American Title Insurance Company

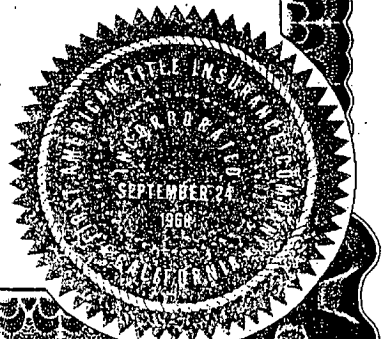
BY *Parker S. Kennedy*

PRESIDENT

ATTEST

Mark R. Arnesen

SECRETARY



SDR-10959

11/02/06 PC

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims, or other matters:
 - (a) whether or not recorded in the public records at Date of Policy, but created, suffered,

- assumed or agreed to by the insured claimant;
- (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
- (c) resulting in no loss or damage to the insured claimant;
- (d) attaching or created subsequent to Date of Policy; or
- (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by their policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

CONDITIONS AND STIPULATIONS

1. DEFINITION OF TERMS.

The following terms when used in this policy mean:

(a) "insured": the insured named in Schedule A, and, subject to any rights or defenses the Company would have had against the named insured, those who succeed to the interest of the named insured by operation of law as distinguished from purchase including, but not limited to, heirs, distributees, devisees, survivors, personal representatives, next of kin, or corporate or fiduciary successors. The term "insured" also includes

(i) the owner of the indebtedness secured by the insured mortgage and each successor in ownership of the indebtedness except a successor who is an obligor under the provisions of Section 12(c) of these Conditions and Stipulations (reserving, however, all rights and defenses as to any such successor that the Company would have had against any predecessor insured, unless the successor acquired the indebtedness as a purchaser for value without knowledge of the asserted defect, lien, encumbrance, adverse claim or other matter insured against by this policy as affecting title to the estate or interest in the land;

(ii) any governmental agency or governmental instrumentality which is an insurer or guarantor under an insurance contract or guaranty insuring or guaranteeing the indebtedness secured by the insured mortgage, or any part thereof, whether named as an insured herein or not;

(iii) the parties designated in Section 2(a) of these Conditions and Stipulations.

(b) "insured claimant": an insured claiming loss or damage.

(c) "insured lender": the owner of an insured mortgage.

(d) "insured mortgage": a mortgage shown in Schedule B, the owner of which is named as an insured in Schedule A.

(e) "knowledge" or "known": actual knowledge, not constructive knowledge or notice which may be imputed to an insured by reason of any public records as defined in this policy or any other records which impart constructive notice of matters affecting the land.

(f) "land": the land described or referred to in Schedule (A), and improvements affixed thereto which by law constitute real property. The term "land" does not include any property beyond the lines of the area specifically described or referred to in Schedule (A), nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways, but nothing herein shall modify or limit the extent to which a right of access to and from the land is insured by this policy.

(g) "mortgage": mortgage, deed of trust, trust deed, or other security instrument.

(h) "public records": records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.

(i) "unmarketability of the title": an alleged or apparent matter affecting the title to the land, not excluded or excepted from coverage, which would entitle a purchaser of the estate or interest described in Schedule A or the insured mortgage to be released from the obligation to purchase by virtue of a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE.

(a) **After Acquisition of Title.** If this policy insures the owner of the indebtedness secured by the insured mortgage, the coverage of this policy shall continue in force as of Date of Policy in favor of (i) such

insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

5. PROOF OF LOSS OR DAMAGE.

In addition to and after the notices required under Section 3 of these Conditions and Stipulations have been provided the Company, a proof of loss or damage signed and sworn to by each insured claimant shall be furnished to the Company within 90 days after the insured claimant shall ascertain the facts giving rise to the loss or damage. The proof of loss or damage shall describe the defect in, or lien or encumbrance on the title, or other matter insured against by this policy which constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage. If the Company is prejudiced by the failure of an insured claimant to provide the required proof of loss or damage, the Company's obligations to such insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such proof of loss or damage.

In addition, an insured claimant may reasonably be required to submit to examination under oath by any authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the Company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Policy, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the insured claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by an insured claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of an insured claimant to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonably necessary information from third parties as required in this paragraph, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that insured for that claim.

6. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY.

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance or to Purchase the Indebtedness.

(i) to pay or tender payment of the amount of insurance under this policy together with any costs, attorneys' fees and expenses incurred by the insured claimant, which were authorized by the Company, up to the time of payment or tender of payment and which the Company is obligated to pay; or

(ii) in case loss or damage is claimed under this policy by the owner of the indebtedness secured by the insured mortgage, to purchase the indebtedness secured by the insured mortgage for the amount owing thereon together with, any costs, attorneys' fees and expenses incurred by the insured claimant which were authorized by the Company up to the time of purchase and which the Company is obligated to pay.

If the Company offers to purchase the indebtedness as herein

continued to be obligated to advance at and after Date of Policy.

9. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY.

(a) All payments under this policy, except payments made for costs, attorneys' fees and expenses, shall reduce the amount of the insurance pro tanto. However, as to an insured lender, any payments made prior to the acquisition of title to the estate or interest as provided in Section 2(a) of these Conditions and Stipulations shall not reduce pro tanto the amount of insurance afforded under this policy as to any such insured, except to the extent that the payments reduce the amount of the indebtedness secured by the insured mortgage.

(b) Payment in part by any person of the principal of the indebtedness, or any other obligation secured by the insured mortgage, or any voluntary partial satisfaction or release of the insured mortgage, to the extent of the payment, satisfaction or release, shall reduce the amount of insurance pro tanto. The amount of insurance may thereafter be increased by accruing interest and advances made to protect the lien of the insured mortgage and secured thereby, with interest thereon, provided in no event shall the amount of insurance be greater than the Amount of Insurance stated in Schedule A.

(c) Payment in full by any person or the voluntary satisfaction or release of the insured mortgage shall terminate all liability of the Company to an insured lender except as provided in Section 2(a) of these Conditions and Stipulations.

10. LIABILITY NONCUMULATIVE.

It is expressly understood that the amount of insurance under this policy shall be reduced by any amount the Company may pay under any policy insuring a mortgage to which exception is taken in Schedule B or to which the insured has agreed, assumed or taken subject, or which is hereafter executed by an insured and which is a charge or lien on the estate or interest described or referred to in Schedule A, and the amount so paid shall be deemed a payment under this policy to the insured owner.

The provisions of this Section shall not apply to an insured lender, unless such insured acquires title to said estate or interest in satisfaction of the indebtedness secured by an insured mortgage.

11. PAYMENT OF LOSS.

(a) No payment shall be made without producing this policy for endorsement of the payment unless the policy has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.

(b) When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions and Stipulations, the loss or damage shall be payable within 30 days thereafter.

12. SUBROGATION UPON PAYMENT OR SETTLEMENT.

(a) **The Company's Right of Subrogation.**

Whenever the Company shall have settled and paid a claim under this policy, all right of subrogation shall vest in the Company unaffected by any act of the insured claimant.

The Company shall be subrogated to and be entitled to all rights and remedies which the insured claimant would have had against any person or property in respect to the claim had this policy not been issued. If requested by the Company, the insured claimant shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The insured claimant shall permit the Company to sue, compromise or settle in the name of the insured claimant and to use the name of the insured claimant in any litigation or litigation involving these rights or

with an insured corporation, provided the endorsement to the policy is wholly owned subsidiary of the insured corporation and their corporate successors by operation of law and not by purchase, subject to any rights or defenses the Company may have against any predecessor insureds; and (ii) any governmental agency or governmental instrumentality which acquires all or any part of the estate or interest pursuant to a contract of insurance or guaranty insuring or guaranteeing the indebtedness secured by the insured mortgage.

(b) **After Conveyance of Title.** The coverage of this policy shall continue in force as of Date of Policy in favor of an insured only so long as the insured retains an estate or interest in the land, or holds an indebtedness secured by a purchase money mortgage given by a purchaser from the insured, or only so long as the insured shall have liability by reason of covenants of warranty made by the insured in any transfer or conveyance of the estate or interest. This policy shall not continue in force in favor of any purchaser from the insured of either (i) an estate or interest in the land, or (ii) an indebtedness secured by a purchase money mortgage given to an insured.

(c) **Amount of Insurance:** The amount of insurance after the acquisition or after the conveyance by an insured lender shall in neither event exceed the least of:

- (i) The amount of insurance stated in Schedule A;
- (ii) The amount of the principal of the indebtedness secured by the insured mortgage as of Date of Policy, interest thereon, expenses of foreclosure, amounts advanced pursuant to the insured mortgage to assure compliance with laws or to protect the lien of the insured mortgage prior to the time of acquisition of the estate or interest in the land and secured thereby and reasonable amounts expended to prevent deterioration of improvements, but reduced by the amount of all payments made; or
- (iii) The amount paid by any governmental agency or governmental instrumentality, if the agency or instrumentality is the insured claimant, in the acquisition of the estate or interest in satisfaction of its insurance contract or guaranty.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT.

The insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 4(a) below, (ii) in case knowledge shall come to an insured hereunder of any claim of title or interest which is adverse to the title to the estate or interest or the lien of the insured mortgage, as insured, and which might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if title to the estate or interest or the lien of the insured mortgage, as insured, is rejected as unmarketable. If prompt notice shall not be given to the Company, then as to that insured all liability of the Company shall terminate with regard to the matter or matters for which prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice the rights of any insured under this policy unless the Company shall be prejudiced by the failure and then only to the extent of the prejudice.

4. DEFENSE AND PROSECUTION OF ACTIONS; DUTY OF INSURED CLAIMANT TO COOPERATE.

(a) Upon written request by the insured and subject to the options contained in Section 6 of these Conditions and Stipulations, the Company, at its own cost and without unreasonable delay, shall provide for the defense of such insured in litigation in which any third party asserts a claim adverse to the title or interest as insured but only as to those stated causes of action alleging a defect, lien or encumbrance or other matter insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of such insured to object for reasonable cause) to represent the insured as to those stated causes of action and shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs or expenses incurred by an insured in the defense of those causes of action which allege matters not insured against by this policy.

(b) The Company shall have the right, at its own cost, to institute and prosecute any action or proceeding or to do any other act which in its opinion may be necessary or desirable to establish the title to the estate or interest or the lien of the insured mortgage, as insured, or to prevent or reduce loss or damage to an insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of this policy. If the Company shall exercise its rights under this paragraph, it shall do so diligently.

(c) Whenever the Company shall have brought an action or interposed a defense as required or permitted by the provisions of this policy, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from any adverse judgment or order.

(d) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding, the insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of such insured for this purpose. Whenever requested by the Company, an insured, at the Company's expense, shall give the Company all reasonable aid (i) in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act which in the opinion of the Company may be necessary or desirable to establish the title to the estate or interest or the lien of the insured mortgage, as insured. If the Company is prejudiced by the failure of an insured to furnish the required cooperation, the Company's obligations to such

paragraph a(i), all liability and obligations to the insured under this policy, other than to make the payment required in that paragraph, shall terminate, including any liability or obligation to defend, prosecute or continue any litigation, and the policy shall be surrendered to the Company for cancellation.

Upon the exercise by the Company of the option provided for in paragraph a(ii) the Company's obligation to an insured lender under this policy for the claimed loss or damage, other than the payment required to be made, shall terminate, including any liability or obligation to defend, prosecute or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other than the Insured or With the Insured Claimant.

(i) to pay or otherwise settle with other parties for or in the name of an insured claimant any claim insured against under this policy, together with any costs, attorneys' fees and expenses incurred by the insured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay; or

(ii) to pay or otherwise settle with the insured claimant the loss or damage provided for under this policy, together with any costs; attorneys' fees and expenses incurred by the insured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in paragraphs b(i) or (ii), the Company's obligations to the insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute or continue any litigation.

7. DETERMINATION AND EXTENT OF LIABILITY.

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the insured claimant who has suffered loss or damage by reason of matters insured against by this policy and only to the extent herein described.

(a) The liability of the Company under this policy to an insured lender shall in no case exceed the least of:

(i) the Amount of Insurance stated in Schedule A, or, if applicable, the amount of insurance as defined in Section 2(c) of these Conditions and Stipulations;

(ii) the amount of the unpaid principal indebtedness secured by the insured mortgage as limited or provided under Section 8 of these Conditions and Stipulations or as reduced under Section 9 of these Conditions and Stipulations, at the time the loss or damage insured against by this policy occurs, together with interest thereon; or

(iii) the difference between the value of the insured estate or interest as insured and the value of the insured estate or interest subject to the defect, lien or encumbrance insured against by this policy.

(b) In the event the insured lender has acquired the estate or interest in the manner described in Section 2(a) of these Conditions and Stipulations or has conveyed the title, then the liability of the Company shall continue as set forth in Section 7(a) of these Conditions and Stipulations.

(c) The liability of the Company under this policy to an insured owner of the estate or interest in the land described in Schedule A shall not exceed the least of:

(i) the Amount of Insurance stated in Schedule A; or

(ii) the difference between the value of the insured estate or interest as insured and the value of the insured estate or interest subject to the defect, lien or encumbrance insured against by this policy.

(d) The Company will pay only those costs, attorneys' fees and expenses incurred in accordance with Section 4 of these Conditions and Stipulations.

8. LIMITATION OF LIABILITY.

(a) If the Company establishes the title, or removes the alleged defect, lien or encumbrance, or cures the lack of a right of access to or from the land, or cures the claim of unmarketability of title, or otherwise establishes the lien of the insured mortgage, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.

(b) In the event of litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom, adverse to the title, or, if applicable, to the lien of the insured mortgage, as insured.

(c) The Company shall not be liable for loss or damage to any insured for liability voluntarily assumed by the insured in settling any claim or suit without the prior written consent of the Company.

(d) The Company shall not be liable for:

(i) any indebtedness created subsequent to Date of Policy except for advances made to protect the lien of the insured mortgage and secured thereby and reasonable amounts expended to prevent deterioration of improvements; or

(ii) construction loan advances made subsequent to Date of Policy, except construction loan advances made subsequent to Date of Policy for the purpose of financing in whole or in part the construction of an improvement to the land which at Date of Policy were secured by the insured mortgage and which the insured was and

insured owner, to all rights and remedies in the proportion which the Company's payment bears to the whole amount of the loss; and (ii) as to an insured lender, to all rights and remedies of the insured claimant after the insured claimant shall have recovered its principal, interest, and costs of collection.

If loss should result from any act of the insured claimant, as stated above, that act shall not void this policy, but the Company, in that event, shall be required to pay only that part of any losses insured against by this policy which shall exceed the amount, if any, lost to the Company by reason of the impairment by the insured claimant of the Company's right of subrogation.

(b) The Insured's Rights and Limitations.

Notwithstanding the foregoing, the owner of the indebtedness secured by an insured mortgage, provided the priority of the lien of the insured mortgage or its enforceability is not affected, may release or substitute the personal liability of any debtor or guarantor, or extend or otherwise modify the terms of payment, or release a portion of the estate or interest from the lien of the insured mortgage, or release any collateral security for the indebtedness.

When the permitted acts of the insured claimant occur and the insured has knowledge of any claim of title or interest adverse to the title to the estate or interest or the priority or enforceability of the lien of the insured mortgage, as insured, the Company shall be required to pay only that part of any losses insured against by this policy which shall exceed the amount, if any, lost to the Company by reason of the impairment by the insured claimant of the Company's right of subrogation.

(c) The Company's Rights Against Non-Insured Obligors.

The Company's right of subrogation against non-insured obligors shall exist and shall include, without limitation, the rights of the insured to indemnities, guaranties, other policies of insurance or bonds, notwithstanding any terms or conditions contained in those instruments which provide for subrogation rights by reason of this policy.

The Company's right of subrogation shall not be avoided by acquisition of the insured mortgage by an obligor (except an obligor described in Section 1(a)(ii) of these Conditions and Stipulations) who acquires the insured mortgage as a result of an indemnity, guaranty, other policy of insurance, or bond and the obligor will not be an insured under this policy, notwithstanding Section 1(a)(f) of these Conditions and Stipulations.

13. ARBITRATION.

Unless prohibited by applicable law, either the Company or the insured may demand arbitration pursuant to the Title Insurance Arbitration Rules of the American Arbitration Association. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the insured arising out of or relating to this policy, any service of the Company in connection with its issuance or the breach of a policy provision or other obligation. All arbitrable matters when the Amount of Insurance is \$1,000,000 or less shall be arbitrated at the option of either the Company or the insured. All arbitrable matters when the Amount of Insurance is in excess of \$1,000,000 shall be arbitrated only when agreed to by both the Company and the insured. Arbitration pursuant to this policy and under the Rules in effect on the date the demand for arbitration is made or, at the option of the insured, the Rules in effect at Date of Policy shall be binding upon the parties. The award may include attorneys' fees only if the laws of the state in which the land is located permit a court to award attorneys' fees to a prevailing party. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court having jurisdiction thereof.

The law of the situs of the land shall apply to an arbitration under the Title Insurance Arbitration Rules.

A copy of the Rules may be obtained from the Company upon request.

14. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT.

(a) This policy together with all endorsements, if any, attached hereto by the Company is the entire policy and contract between the insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim of loss or damage, whether or not based on negligence, and which arises out of the status of the lien of the insured mortgage or of the title to the estate or interest covered hereby or by any action asserting such claim, shall be restricted to this policy.

(c) No amendment of or endorsement to this policy can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, an Assistant Secretary, or validating officer or authorized signatory of the Company.

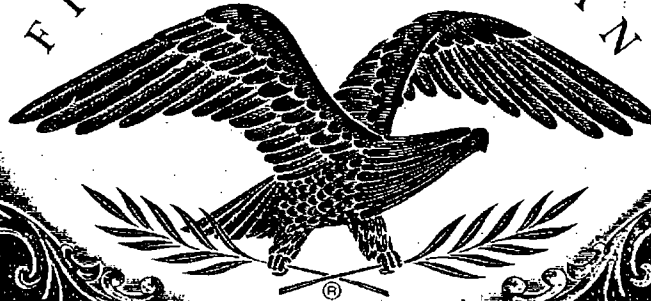
15. SEVERABILITY.

In the event any provision of this policy is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision and all other provisions shall remain in full force and effect.

16. NOTICES, WHERE SENT

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this policy and shall be addressed to the Company at its main office at 114 East Fifth Street, Santa Ana, California, or to the office which issued this policy.

FIRST AMERICAN



First American Title Insurance Company

**POLICY
OF
TITLE
INSURANCE**



LV-821894-TLL

SCHEDULE A

TITLE FEE FOR TITLE SEARCH, EXAMINATION
AND TITLE INSURANCE \$2,485.00

AMOUNT OF INSURANCE: \$995,000.00

POLICY NO.: LV-821894-TLL

DATE OF POLICY: AUGUST 4, 1998 AT 8:15 AM

1. NAME OF INSURED:

DR PARTNERS, A NEVADA GENERAL PARTNERSHIP

2. THE ESTATE OR INTEREST REFERRED TO HEREIN IS AT DATE OF POLICY
VESTED IN:

DR PARTNERS, A NEVADA GENERAL PARTNERSHIP

3. THE ESTATE OR INTEREST IN THE LAND DESCRIBED IN SCHEDULE A AND
WHICH IS COVERED BY THIS POLICY IS:

FEE

("CONTINUED ON NEXT PAGE")

4. THE LAND REFERRED TO IN THIS POLICY IS SITUATED IN THE STATE OF NEVADA, COUNTY OF CLARK, AND IS DESCRIBED AS FOLLOWS:

A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.B. & M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT MARKED BY A BRASS TACK SET IN A CONCRETE MONUMENT AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SAID SECTION 28; THENCE ALONG THE EAST LINE OF SAID SECTION, SOUTH 0°11'47" WEST, 30.02 FEET TO A POINT IN A BRASS CAP IN A MONUMENT SET IN THE SOUTH LINE OF BONANZA ROAD, EIGHTY (80) FEET WIDE; THENCE ALONG SAID SOUTH LINE SOUTH 89°16'56" WEST, 974.36 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND CONVEYED TO STANDARD WHOLESALE SUPPLY CO., INC., BY DEED RECORDED AUGUST 26, 1955 AS DOCUMENT NO. 55605 OF OFFICIAL RECORDS, CLARK COUNTY, NEVADA RECORDS, SAID NORTHWEST CORNER BEING THE TRUE POINT OF BEGINNING; THENCE SOUTH 0°43'04" EAST 270.0 FEET ALONG THE WEST LINE OF SAID PARCEL TO THE SOUTHWEST CORNER THEREOF; THENCE SOUTH 89°16'56" WEST 125.0 FEET TO THE SOUTHEAST CORNER OF THAT PARCEL OF LAND CONVEYED TO THE LAS VEGAS VALLEY WATER DISTRICT BY DEED RECORDED FEBRUARY 14, 1955 AS DOCUMENT NO. 35227 OF OFFICIAL RECORDS, CLARK COUNTY, NEVADA RECORDS; THENCE NORTH 0°43'04" WEST 270.0 FEET ALONG THE EAST LINE OF SAID PARCEL TO THE NORTHEAST CORNER THEREOF; THENCE NORTH 89°16'56" EAST 125.0 FEET TO THE POINT OF BEGINNING.

("CONTINUED ON NEXT PAGE")

SCHEDULE B

This policy does not insure against loss or damage, nor against costs, attorneys' fees or expenses, any or all of which arise by reason of the following:

Part One:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
2. Any facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the land or by making inquiry of persons in possession thereof.
3. Easements, liens, or encumbrances, or claims thereof, which are not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.

Part Two:

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
2. ANY TAXES THAT MAY BE DUE, BUT NOT ASSESSED, FOR NEW CONSTRUCTION WHICH CAN BE ASSESSED ON THE UNSECURED PROPERTY ROLLS, IN THE OFFICE OF THE CLARK COUNTY ASSESSOR, PER NEVADA REVISED STATUTE 361.260.
3. THOSE TAXES FOR THE FISCAL YEAR JULY 1, 1998 THROUGH JUNE 30, 1999, INCLUDING ANY SECURED PERSONAL PROPERTY TAXES COLLECTED BY THE CLARK COUNTY TREASURER.
APN (203) 139-28-801-006

1ST INSTALLMENT	\$1,087.71 - PAID
2ND INSTALLMENT	\$1,087.00
3RD INSTALLMENT	\$1,087.00
4TH INSTALLMENT	\$1,087.00
TOTAL	\$4,348.71

("CONTINUED ON NEXT PAGE")

NOTE:

SAID TAXES BECOME A LIEN ON JULY 1, 1998, EACH INSTALLMENT WILL BECOME DUE AND PAYABLE ON THE FOLLOWING DATES:

1ST INSTALLMENT IS DUE ON THE 3RD MONDAY OF AUGUST, 1998.
2ND INSTALLMENT IS DUE ON THE 1ST MONDAY OF OCTOBER, 1998.
3RD INSTALLMENT IS DUE ON THE 1ST MONDAY OF JANUARY, 1999.
4TH INSTALLMENT IS DUE ON THE 1ST MONDAY OF MARCH, 1999.

EACH INSTALLMENT WILL BECOME DELINQUENT TEN (10) DAYS AFTER DUE.

4. RESERVATIONS AND PROVISIONS AS CONTAINED IN THE PATENT FROM THE STATE OF NEVADA, RECORDED OCTOBER 17, 1902, BOOK F3, PAGE 230 OF LINCOLN COUNTY RECORDS.
5. ALL MINERALS AND ALL MINERAL RIGHTS, ALL WATER AND WATER RIGHTS AND THE RIGHT TO DRILL FOR, PRODUCE AND PUT TO BENEFICIAL USE ALL WATER PRODUCED AS RESERVED BY DEED AND RECORDED APRIL 19, 1957 IN BOOK 126 OF OFFICIAL RECORDS, CLARK COUNTY NEVADA, AS DOCUMENT NO. 103989.
6. AN EASEMENT FOR EITHER POLE LINES, UNDERGROUND LINES, CONDUITS AND INCIDENTAL PURPOSES AS CONVEYED TO CENTRAL TELEPHONE COMPANY AND NEVADA POWER COMPANY, BY AN INSTRUMENT RECORDED JUNE 3, 1969, IN BOOK 954 OF OFFICIAL RECORDS, CLARK COUNTY, NEVADA RECORDS, AS DOCUMENT NO. 765692, OVER THE WEST 6.0 FEET.
7. AN UNRECORDED LEASE EXECUTED BY VNH REALTY, AS LESSOR, TO UNITED STATES POSTAL SERVICE, AS LESSEE, UPON THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS DISCLOSED BY A MEMORANDUM OF LEASE AND EASEMENT, RECORDED NOVEMBER 20, 1992 IN BOOK 921120 OF OFFICIAL RECORDS, CLARK COUNTY, NEVADA RECORDS, AS DOCUMENT NO. 01123.
- . THE PRESENT OWNERSHIP OF SAID LEASEHOLD AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
- . AN ASSIGNMENT OF THE LESSOR'S INTEREST IN THE ABOVE LEASE WAS EXECUTED BY ELI WAGER, AS RECEIVER FOR V.N.H. REALTY, A NEW YORK PARTNERSHIP, TO DR PARTNERS, A NEVADA GENERAL PARTNERSHIP, RECORDED AUGUST 4, 1998, IN BOOK 980804 OF OFFICIAL RECORDS, CLARK COUNTY, NEVADA RECORDS, AS DOCUMENT NO. 00416.

("CONTINUED ON NEXT PAGE")

LV-821894-TLL

8. A RECORD OF SURVEY FILED IN FILE 71 OF SURVEYS AT PAGE 7,
RECORDED MAY 17, 1994, IN BOOK 940517 OF OFFICIAL RECORDS, AS
DOCUMENT NO. 01470, CLARK COUNTY, NEVADA RECORDS.

* * * * *

PCL

NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein.

Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

MAP LEGEND

Parcel Boundary
Subd Boundary
Road Easement
Paved Boundary
Non-Parcel Lot Line
Match Line
Road ID Number

Parcel Number
Acreage
Parcel Sub/Seq Number
Plat Recording Number
Block Number
Lot Number
Gov. Lot Number

202

Scale: 1"=230'

Rev: 08/29/95

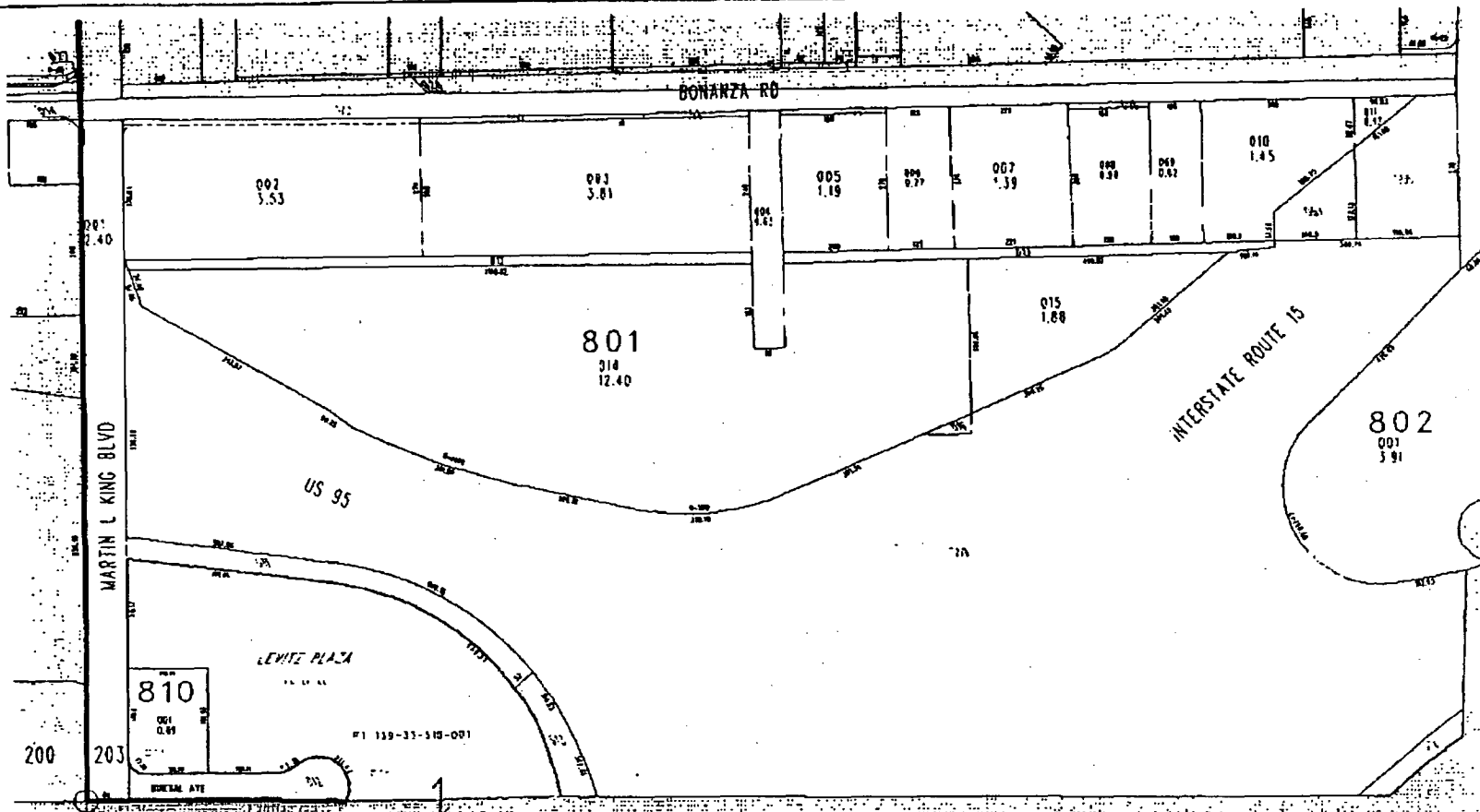
ASSESSOR'S PARCELS - CLARK CO., NV.
Mark W. Scholfield, Assessor

T20S R61E
S 2 SE 4
139-28-8

28

139-28-8

139-28-8



TAX DIST 203

This map may or may not be a survey of the land depicted hereon. You should not rely upon it for any purpose other than orientation to the general location of the parcel or parcels depicted. First American expressly disclaims any liability for alleged loss or damage which may result from reliance upon this map.

30

83-NV-CL-11B

When recorded mail to:
DR Partners
3600 Wheeler Avenue
Ft. Smith, AR. 72917
Attn: Legal Dept.
LV 821894466
APN: #139-28-801-006

GRANT, BARGAIN, SALE D

CLARK COUNTY, NEVADA			
JUDITH A. VANDEVER, RECORDER			
RECORDED AT REQUEST OF			
FIRST AMERICAN TITLE COMPANY OF			
08-04-98	08-15	CDG	6
BOOK	98080	INST	00414
FEE	12.00	APPT	2-250.00
DEED			
CONFORMED COPY HAS NOT BEEN COMPARED TO THE ORIGINAL			

THIS GRANT, BARGAIN, SALE DEED is made the 1st day of July, 1998, by Eli Wager, as Receiver of V.N.H. Realty, a New York partnership, as GRANTOR, to DR Partners, a Nevada general partnership, as GRANTEE.

Witness that Grantor, for good and valuable consideration, receipt of which is acknowledged, grants, bargains and sells to Grantee all the real property located in the County of Clark, State of Nevada, more particularly described as:

DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.B. & M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT MARKED BY A BRASS TACK SET IN A CONCRETE MONUMENT AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SAID SECTION 28; THENCE ALONG THE EAST LINE OF SAID SECTION, SOUTH 0°11'47" WEST, 30.02 FEET TO A POINT IN A BRASS CAP IN A MONUMENT SET IN THE SOUTH LINE OF BONANZA ROAD, EIGHTY (80) FEET WIDE; THENCE ALONG SAID SOUTH LINE SOUTH 89°16'56" WEST, 974.36 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND CONVEYED TO STANDARD WHOLESALE SUPPLY CO., INC., BY DEED RECORDED AUGUST 26, 1955 AS DOCUMENT NO. 55605 OF OFFICIAL RECORDS, CLARK COUNTY, NEVADA RECORDS, SAID NORTHWEST CORNER BEING THE TRUE POINT OF BEGINNING; THENCE SOUTH 0°43'04" ~~EAST~~ 270.0 FEET ALONG THE WEST LINE OF SAID PARCEL TO THE SOUTHWEST CORNER THEREOF; THENCE SOUTH 89°16'56" WEST 125.0 FEET TO THE SOUTHEAST CORNER OF THAT PARCEL OF LAND CONVEYED TO THE LAS VEGAS VALLEY WATER DISTRICT BY DEED RECORDED FEBRUARY 14, 1955 AS DOCUMENT NO. 35227 OF OFFICIAL RECORDS, CLARK COUNTY, NEVADA RECORDS; THENCE NORTH 0°43'04" WEST 270.0 FEET ALONG THE EAST LINE OF SAID PARCEL TO THE NORTHEAST CORNER THEREOF; THENCE NORTH 89°16'56" EAST 125.0 FEET TO THE POINT OF BEGINNING.

APN: 139-28-801-006

Together with all tenements, hereditaments and appurtenances thereto; subject to current real property taxes, zoning and other governmental restrictions, and all other covenants, conditions, restrictions, easements, rights-of-way and other matters of record.

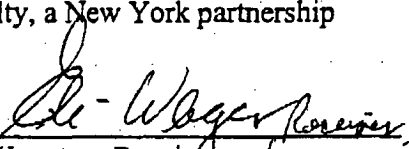
To have and to hold, all and singular, the premises aforementioned unto said Grantee, its successors and assigns forever.

IN WITNESS WHEREOF, Grantor has set its hand and seal the day and year first above written.

GRANTOR:

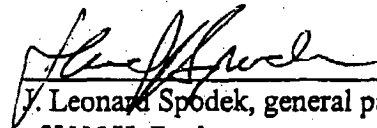
V.N.H. Realty, a New York partnership

By:

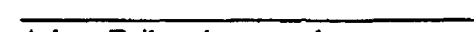

Eli Wager, as Receiver

APPROVED AND CONSENTED TO:

By:


J. Leonard Spodek, general partner
of V.N.H. Realty

By:


Arlene Feibusch, general partner
of V.N.H. Realty

To have and to hold, all and singular, the premises aforementioned unto said Grantee, its successors and assigns forever.

IN WITNESS WHEREOF, Grantor has set its hand and seal the day and year first above written.

GRANTOR:

V.N.H. Realty, a New York partnership

By:

Eli Wager
Eli Wager, as Receiver

APPROVED AND CONSENTED TO:

By:

J. Leonard Spodek
J. Leonard Spodek, general partner
of V.N.H. Realty

By:

Arlene Feibusch
Arlene Feibusch, general partner
of V.N.H. Realty

STATE OF NEW YORK)
COUNTY OF NASSAU) :SS

This instrument was acknowledged before me on 1 July 1998 by Eli Wager as Receiver of V.N.H. Realty, a New York partnership.



DAWN D. OLLIVIERRE
Notary Public, State of New York
No. 02016003509
Qualified in Nassau County
Commission Expires March 9, 2000

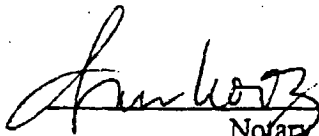
Notary Public

My commission expires: March 9, 2000

STATE OF New York)
COUNTY OF NASSAU) :SS

This instrument was acknowledged before me on June 25, 1998 by J. Leonard Spodek, general partner of V.N.H. Realty, a New York partnership.

ANN MORITZ
NOTARY PUBLIC STATE OF NEW YORK
REG #01N08023688
QUALIFIED IN NASSAU COUNTY
COMMISSION EXPIRES 2-7-2000



Notary Public

My commission expires: _____

STATE OF _____)
COUNTY OF _____) :SS

This instrument was acknowledged before me on _____ by Arlene Feibusch, general partner of V.N.H. Realty, a New York partnership.

Notary Public

My commission expires: _____

STATE OF _____)
COUNTY OF _____)

This instrument was acknowledged before me on _____ by Eli Wager as
Receiver of V.N.H. Realty, a New York partnership.

Notary Public

My commission expires: _____

STATE OF _____)
COUNTY OF _____)

This instrument was acknowledged before me on _____ by J. Leonard
Spodek, general partner of V.N.H. Realty, a New York partnership.

Notary Public

My commission expires: _____

STATE OF NY)
COUNTY OF NASSAU)

This instrument was acknowledged before me on 6/30/98 by Arlene
Feibusch, general partner of V.N.H. Realty, a New York partnership.

SHIRLEY WEINSTEIN
NOTARY PUBLIC, State of New York
No. 01WE4860764
Qualified in NASSAU County
Commission Expires 6/9/00

Shirley Weinstein
Notary Public
My commission expires: 6/9/00

Record and return to:

David M. Olive
Assistant General Counsel
P. O. Box 17017
Fort Smith, Arkansas 72917-7017

Mail Tax Statements to: GRANTEE AT:

Financial Accounting
Donrey Media Group
P. O. Box 17017
Fort Smith, AR 72917-7017

RECEIVED
AUG 19 2006

CORPORATION DEED

(CORRECTION DEED

RE-RECORDATION OF DEED NO. 921130:548
TO OMIT PARCELS NO. 020-081-002 AND 020-080-018)

KNOW ALL MEN BY THESE PRESENTS:

That Donrey, Inc., a Nevada corporation, (Grantor), for the consideration and purposes herein expressed, does hereby Grant, Bargain, Sell, and Convey to DR Partners, a Nevada general partnership, (Grantee), all of that real property situated in Clark County, State of Nevada, described on Exhibit "A" which is attached hereto and made a part hereof by reference.

LESS AND EXCEPT any portion of said real property that may have been heretofore excepted, reserved or conveyed, and SUBJECT to all taxes, assessments, easements, conditions, reservations and restrictions of record, and all valid real estate mortgages, deeds of trust, liens or other encumbrances of record which Grantee herein assumes and agrees to pay.

TO HAVE AND TO HOLD the above described real property, with all and singular the rights, privileges, appurtenances and immunities thereto belonging or in any wise appertaining, unto the said Grantee, its successors and assigns, forever.

This conveyance is made pursuant to a plan of reorganization under which the property herein described is being contributed by Grantor to Grantee, and no cash consideration has been or will be either paid or received for this conveyance.

IN WITNESS WHEREOF, the said Grantor has caused its corporate name and seal to be affixed hereto by its Executive Vice President thereunto duly authorized this 27th day of January, 1993.

DONREY, INC.

BY

E. H. Patterson
E. H. Patterson
Executive Vice President

ATTEST:

David M. Olive
David M. Olive, Asst. Secretary

STATE OF ARKANSAS) ss.
COUNTY OF SEBASTIAN)

On this 27th day of January, 1993, personally appeared E. H. Patterson known to me to be the Executive Vice President of Donrey, Inc., the corporation that executed the within instrument, and known to me to be the person who executed the within instrument on behalf of the corporation therein named, and acknowledged to me that such corporation executed the within instrument pursuant to its bylaws or a resolution of its Board of Directors.

Witness my hand and official seal.

Sue Turner

My Commission Expires:

My Commission Expires Nov. 1, 2001

SDR-16959
11/02/06 PC

RECEIVED
AUG 19 2006

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EXHIBIT "A"

93-114-CL-07

SITUATE IN THE CITY OF LAS VEGAS, COUNTY OF CLARK, STATE OF NEVADA:

THOSE CERTAIN PARCELS OF LAND SITUATE IN THE CITY OF LAS VEGAS, COUNTY OF CLARK, STATE OF NEVADA, AND BEING THOSE PORTIONS OF THE SOUTH HALF (S 1/2) OF THE SOUTHEAST QUARTER (SE 1/3) OF SECTION 38, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

COMMENCING AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST 80 FEET OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SAID SECTION 28, WITH THE SOUTHERLY LINE OF BONANZA ROAD AS DESCRIBED IN EASEMENT TO STATE OF NEVADA, RECORDED IN BOOK 23, PAGES 105 AND 106 OF DEEDS, RECORDS OF SAID COUNTY; THENCE ALONG SAID SOUTHERLY LINE NORTH 89° 26' 40" EAST, 568.03 FEET TO THE NORTHEAST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED TO SEARS, ROEBUCK AND CO., RECORDED APRIL 14, 1964, AS DOCUMENT NO. 426247 IN BOOK 529, OFFICIAL RECORDS OF SAID COUNTY, SAID NORTHEAST CORNER ALSO BEING THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTHERLY LINE OF BONANZA ROAD, NORTH 89° 26' 40" EAST, 438.16 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED TO THE TEXAS COMPANY, RECORDED MARCH 22, 1957, AS DOCUMENT NO. 101991 IN BOOK 124 OFFICIAL RECORDS OF SAID COUNTY; THENCE LEAVING SAID SOUTHERLY LINE OF BONANZA ROAD AND ALONG THE WESTERLY LINE OF SAID LAND OF THE TEXAS COMPANY SOUTH 0° 33' 20" EAST 270.00 FEET TO THE SOUTHWEST CORNER OF SAID LAND OF THE TEXAS COMPANY, SAID SOUTHWEST CORNER HEREIN DESIGNATED AS "POINT A", THENCE ALONG THE WESTERLY PROLONGATION OF THE SOUTHERLY LINE OF SAID LAND OF THE TEXAS COMPANY, SOUTH 89° 26' 40" WEST, 438.16 FEET TO THE SOUTHEAST CORNER OF SAID LAND OF SEARS, ROEBUCK AND CO., THENCE LEAVING SAID PROLONGED LINE AND ALONG THE EASTERLY LINE OF SAID SEARS, ROEBUCK AND CO. LAND NORTH 0° 33' 20" WEST 270.00 FEET TO THE TRUE POINT OF BEGINNING.

SDR-16959
11/02/06 PC

PARCEL NO. 2:

COMMENCING AT ABOVE MENTIONED "POINT A"; THENCE ALONG THE EASTERLY PROLONGATION OF THE SOUTHERLY LINE OF THE ABOVE DESCRIBED PARCEL NO. 1 BEING ALSO THE SOUTHERLY LINE OF SAID LAND OF THE TEXAS COMPANY, NORTH 89°26'40" EAST 200.00 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE ALONG THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LAND OF THE TEXAS COMPANY, SOUTH 0°33'20" EAST, 17.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID PROLONGED LINE SOUTH 0°33'20" EAST, 163.00 FEET; THENCE LEAVING SAID PROLONGED LINE NORTH 89°26'40" EAST 60.00 FEET TO THE WESTERLY LINE OF PARCEL NO. 2 DESCRIBED IN DEED TO LAS VEGAS VALLEY WATER DISTRICT, RECORDED FEBRUARY 14, 1955 AS DOCUMENT NO. 35227 IN BOOK 40, OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG SAID WESTERLY LINE SOUTH 0°33'20" EAST, 162.00 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE ALONG THE SOUTHERLY LINE OF PARCEL NO. 2 AS DESCRIBED IN SAID DEED TO LAS VEGAS VALLEY WATER DISTRICT NORTH 89°26'40" EAST, 257.54 FEET MORE OR LESS TO A POINT IN A NORTHERLY LINE OF THAT CERTAIN PARCEL 420 DESCRIBED IN ORDER FOR IMMEDIATE OCCUPANCY PENDING ENTRY OF JUDGMENT, CASE NO. A-32228, STATE OF NEVADA VS. LOS ANGELES & SALT LAKE RAILROAD COMPANY, ET AL., OF THE DISTRICT COURT OF THE STATE OF NEVADA; THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL NO. 420 AND THE NORTHERLY LINES OF PARCEL NO. N-409A, AS DESCRIBED IN SAID ORDER AS FOLLOWS:

SOUTH 67°14'24" WEST, 291.62 FEET MORE OR LESS TO THE BEGINNING OF A TANGENT CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 500.00 FEET; THENCE SOUTHWESTERLY AND NORTHWESTERLY ALONG SAID CURVE, AN ARC DISTANCE OF 309.18 FEET; THENCE TANGENT TO SAID CURVE NORTH 77°19'52" WEST 189.35 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 1400.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE AN ARC DISTANCE OF 431.59 FEET; THENCE TANGENT TO SAID CURVE NORTH 59°40'06" WEST 373.07 FEET; THENCE NORTH 33°07'49" WEST 74.49 FEET TO A POINT IN A LINE PARALLEL WITH AND DISTANT SOUTHERLY 17.00 FEET, MEASURED AT RIGHT ANGLES, FROM THE SOUTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN DEED TO SEARS, ROEBUCK AND CO., RECORDED MARCH 14, 1961 AS DOCUMENT NO. 232416 IN BOOK 287, OFFICIAL RECORDS OF SAID COUNTY; THENCE LEAVING SAID NORTHERLY LINES AND ALONG SAID PARALLEL LINE AND ITS EASTERLY PROLONGATION NORTH 89°26'40" EAST 1198.82 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING ALL MINERALS AND ALL MINERAL RIGHTS OF EVERY KIND AND CHARACTER NOW KNOWN TO EXIST OR HEREAFTER DISCOVERED, INCLUDING WITHOUT LIMITING THE GENERALITY OF THE FOREGOING, OIL AND GAS AND RIGHTS THERETO, TOGETHER WITH THE SOLE, EXCLUSIVE AND PERPETUAL RIGHT TO EXPLORE FOR, REMOVE AND DISPOSE OF SAID MINERALS BY ANY MEANS OR METHODS SUITABLE TO THE GRANTOR, ITS SUCCESSORS AND ASSIGNS, BUT WITHOUT ENTERING UPON OR USING THE SURFACE OF THE LANDS HEREBY CONVEYED, AND IN SUCH MANNER AS NOT TO DAMAGE THE SURFACE OF SAID LANDS OR TO INTERFERE WITH THE USE THEREOF BY THE GRANTEE, AS RESERVED IN THE DEED FROM LOS ANGELES AND SALT LAKE RAILROAD COMPANY, GRANTOR, RECORDED AUGUST 13, 1969, AS DOCUMENT NO. 778763 OF OFFICIAL RECORDS.

PARCEL NO. 3:

83-NV-CL-DL

THAT CERTAIN PROPERTY IN LAS VEGAS, NEVADA, FORMERLY KNOWN AS "J" STREET, VACATED BY THE CITY OF LAS VEGAS, BY ORDER OF VACATION DATED JANUARY 24, 1973, AND RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA, ON AUGUST 23, 1974, IN BOOK 453, AS INSTRUMENT NO. 412930, AND RE-RECORDED ON OCTOBER 25, 1974, IN BOOK NO. 470, AS INSTRUMENT NO. 429239.

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PARCEL NO. 4:

THAT PORTION OF THE SOUTH HALF (S 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.B.&M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT MARKED BY A BRASS TACK SET IN A CONCRETE MONUMENT AT THE NORTHEAST (NE) CORNER OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SAID SECTION; THENCE ALONG THE EAST LINE OF SAID SECTION, SOUTH 0°11'47" WEST 30.02 FEET TO A POINT IN A BRASS CAP IN A MONUMENT SET IN THE SOUTH LINE OF BONANZA ROAD, 80 FEET IN WIDTH; THENCE ALONG SAID SOUTH LINE SOUTH 89°16'56" WEST 1559.36 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 0°43'04" EAST 270.00 FEET; THENCE NORTH 89°16'56" EAST 200.00 FEET; THENCE NORTH 0°43'04" WEST 270.00 FEET TO A POINT IN SAID SOUTH LINE OF BONANZA ROAD, DISTANT THEREON NORTH 89°16'56" EAST 200.00 FEET FROM THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°16'56" WEST 200.00 FEET ALONG SAID SOUTH LINE TO THE TRUE POINT OF BEGINNING, TOGETHER WITH ALL IMPROVEMENTS THEREON.

PARCEL NO. 5:

83-NV-CL-04

A PORTION OF THE SOUTH HALF (S 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.B.&M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT MARKED BY A BRASS TACK SET IN A CONCRETE MONUMENT AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SAID SECTION; THENCE ALONG THE EAST LINE OF SAID SECTION SOUTH 0°11'47" WEST 30.02 FEET TO A POINT IN A BRASS CAP IN A MONUMENT SET IN THE SOUTH LINE OF BONANZA ROAD, 80 FEET WIDE; THENCE ALONG SAID SOUTH LINE SOUTH 89°16'56" WEST 1,299.36 FEET; THENCE SOUTH 0°43'04" EAST 287.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 89°16'56" EAST 350.00 FEET; THENCE SOUTH 0°43'04" EAST 325.00 FEET; THENCE SOUTH 89°16'56" WEST 350.00 FEET; THENCE NORTH 0°43'04" WEST 325.00 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND LYING WITHIN INTERSTATE ROUTE 15 AND ABUTTERS AND ACCESS RIGHTS, AS CONVEYED TO THE STATE OF NEVADA BY DEED RECORDED NOVEMBER 8, 1965, AS DOCUMENT NO. 538972, OF OFFICIAL RECORDS.

PARCEL NO. 6:

83-NV-CL-03

THE EAST HALF OF THE NORTHEAST QUARTER (E 1/2 NE 1/4) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 62 EAST, M.D.B.&M., CLARK COUNTY, STATE OF NEVADA, LESS AND EXCEPT THE FOLLOWING:

A PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE 1/4 NE 1/4) OF SAID SECTION 34, MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE EAST 280 FEET OF THE NORTH 385 FEET OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE 1/4 NE 1/4) OF SECTION 34, CONTAINING 2.47 ACRES, MORE OR LESS, AND

THAT CERTAIN SPANDREL AREA SITUATED WITHIN THE NORTHWEST CORNER OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 62 EAST, M.D.M., CLARK COUNTY, NEVADA, BEING THE SOUTHEAST CORNER OF THE INTERSECTION OF BONANZA ROAD AND SPANISH DRIVE, BOUNDED AS FOLLOWS:

ON THE NORTH BY THE SOUTH LINE OF THE NORTH FIFTY FEET (50.00') THEREOF; ON THE WEST BY THE EAST LINE OF THE WEST THIRTY FEET (30.00') THEREOF; AND ON THE SOUTHEAST BY THE ARC OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF TWENTY-FIVE FEET (25.00'), AND BEING TANGENT TO THE SOUTH LINE OF SAID NORTH FIFTY FEET (50.00'), AND TO THE EAST LINE OF SAID WEST THIRTY FEET (30.00').

~~PARCEL NO. 7:~~

~~THAT PORTION OF THE SOUTH HALF (S 1/2) OF SECTION 27, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.B.&M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:~~

~~BEGINNING AT THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE OF MAIN STREET AND THE NORTHERLY RIGHT OF WAY LINE OF BONANZA ROAD (FORMERLY CLARK AVENUE), (AS THEY BOTH EXISTED, 80 FEET WIDE, ORIGINAL ALIGNMENT); THENCE NORTH 27°45'00" EAST AND ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID MAIN STREET A DISTANCE OF 113.19 FEET; THENCE NORTH 62°15'00" WEST A DISTANCE OF 170.00 FEET TO A POINT ON THE NORTHEASTERLY LINE OF THAT CERTAIN THIRTY (30) FEET EASEMENT FOR STREET PURPOSES, AS DESCRIBED IN DOCUMENT NO. 418070 RECORDED NOVEMBER 13, 1953 RECORDS OF CLARK COUNTY, NEVADA; THENCE SOUTH 27°45'00" WEST AND ALONG THE NORTHEASTERLY LINE OF SAID EASEMENT A DISTANCE OF 147 FEET, MORE OR LESS, TO A POINT ON THE NORTHERLY BOUNDARY LINE OF BONANZA ROAD (ORIGINAL ALIGNMENT); THENCE EASTERLY ALONG SAID NORTHERLY LINE 177.35 FEET MORE OR LESS TO THE POINT OF BEGINNING.~~

~~EXCEPTING THEREFROM THAT PORTION OF SAID LAND LYING WITHIN THE BOUNDARIES OF NORTH MAIN STREET AND BONANZA ROAD AS THEY NOW EXIST.~~

PARCEL NO. 8:

LOTS ONE (1), TWO (2), THREE (3) AND FOUR (4), IN BLOCK SIX (6) OF ORIGINAL PLAT OF LAS VEGAS TOWNSITE, TOGETHER WITH THAT PORTION OF LOT FIVE (5) IN BLOCK SIX (6) OF ORIGINAL PLAT OF LAS VEGAS TOWNSITE AS SHOWN BY MAP THEREOF ON FILE IN BOOK 1 OF PLATS, PAGE 17-B, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 120.00 FEET RIGHT OF AND MEASURED RADially TO HIGHWAY ENGINEER'S DESIGNATED "B" CENTERLINE OF INTERSTATE ROUTE 15 AT HIGHWAY ENGINEER'S STATION "B" 513 + 20.87 P.O.C., SAID POINT IS FURTHER DESCRIBED AS BEARING SOUTH 25°46'49" EAST, A DISTANCE OF 1292.51 FEET FROM THE WEST ONE QUARTER CORNER OF SECTION 27, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.
THENCE SOUTH 01°40'18" EAST ALONG THE EAST LINE OF SAID LOT FIVE (5) A DISTANCE OF 99.96 FEET TO A POINT;
THENCE SOUTH 88°17'55" WEST ALONG THE SOUTH LINE OF SAID LOT FIVE (5) A DISTANCE OF 7.43 FEET TO A POINT;
THENCE NORTH 01°40'18" WEST, A DISTANCE OF 95.33 FEET TO A POINT;
THENCE FROM A TANGENT WHICH BEARS NORTH 56°18'43" EAST, CURVING TO THE RIGHT ALONG THE RIGHT RIGHT OF WAY OF INTERSTATE ROUTE 15 WITH A RADIUS OF 6680.00 FEET THROUGH AN ANGLE OF 00°04'30" AN ARC DISTANCE OF 8.74 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THAT PORTION OF THE ALLEY AS VACATED BY THAT CERTAIN ORDER OF VACATION RECORDED JUNE 17, 1977 AS DOCUMENT NO. 711630.

PARCEL NO. 9:

THAT PORTION OF THE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 62 EAST, M.D.B.&M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST (SE) CORNER OF SAID SECTION 7; THENCE SOUTH 89 DEGREES 56' WEST A DISTANCE OF 217.63 FEET TO A POINT ON THE SOUTHWEST RIGHT OF WAY LINE OF U. S. HIGHWAY #93; THENCE NORTH 42 DEGREES 27' WEST A DISTANCE OF 691.64 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 42 DEGREES 27' WEST A DISTANCE OF 75 FEET; THENCE SOUTH 47 DEGREES 33' WEST A DISTANCE OF 500.00 FEET; THENCE SOUTH 42 DEGREES 27' EAST A DISTANCE OF 75 FEET; THENCE NORTH 47 DEGREES 33' EAST A DISTANCE OF 500 FEET TO THE TRUE POINT OF BEGINNING.

Parcel 2

PARCEL NO. 10:

A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 62 EAST, M.D.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 7; THENCE SOUTH 89°51'10" WEST 217.67 FEET ALONG THE SOUTH LINE OF SAID SECTION 7 TO ITS INTERSECTION WITH THE SOUTHWESTERLY HIGHWAY RIGHT OF WAY LINE; THENCE NORTH 42°27' WEST ALONG SAID RIGHT OF WAY LINE 591.64 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 42°27' WEST 100 FEET; THENCE SOUTH 47°33' WEST 500 FEET; THENCE SOUTH 42°27' EAST 100 FEET; THENCE NORTH 47°33' EAST 500 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL NO. 11:

Parcel 3

THAT PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 62 EAST, M.D.B.&M., DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 7; THENCE SOUTH 89°51'14" WEST ALONG THE SOUTH LINE OF SAID SECTION 7 A DISTANCE OF 217.79 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF U. S. HIGHWAY NOS. 93-95-466 (200 FEET WIDE); THENCE CONTINUING SOUTH 89°51'14" WEST ALONG THE SAID SOUTH LINE A DISTANCE OF 676.05 FEET TO A POINT THENCE NORTH 42°27' WEST A DISTANCE OF 54.08 FEET TO A POINT ON THE NORTH LINE OF DESERT INN ROAD, THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 42°27' WEST A DISTANCE OF 182.53 FEET TO A POINT; THENCE SOUTH 47°33' WEST A DISTANCE OF 50.00 FEET TO A POINT; NORTH 68°22'16" WEST A DISTANCE OF 83.39 FEET TO A POINT; THENCE SOUTH 47°33' WEST A DISTANCE OF 196.53 FEET TO A POINT; THENCE NORTH 89°51'14" EAST A DISTANCE OF 382.62 FEET TO THE TRUE POINT OF BEGINNING, LESS AND EXCEPT THE SOUTH 10.00 FEET THEREOF.

PARCEL NO. 12:

Parcel 4

THAT PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 62 EAST, M.D.B.&M., DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 7; THENCE SOUTH 89°51'14" WEST ALONG THE SOUTH LINE OF SAID SECTION 7, A DISTANCE OF 217.79 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF U. S. HIGHWAY NOS. 93-95-466 (200 FEET WIDE) THENCE CONTINUING SOUTH 89°51'14" WEST ALONG THE SAID SOUTH LINE A DISTANCE OF 676.05 FEET TO A POINT; THENCE NORTH 42°27' WEST A DISTANCE OF 236.61 FEET TO THE MOST SOUTHERLY CORNER OF THAT CERTAIN PARCEL CONVEYED BY THE GENERAL IMPROVEMENT AND INVESTMENT CO., INC. TO SOUTHWESTERN IMPROVEMENT AND INVESTMENT CO., INC. BY DEED RECORDED AUGUST 31, 1956, AS DOCUMENT NO. 87971, OFFICIAL RECORDS, CLARK COUNTY, NEVADA, THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 42°27' WEST A DISTANCE OF 75.00 FEET TO THE MOST WESTERLY CORNER OF THE LAST DESCRIBED PARCEL THENCE SOUTH 47°33' WEST A DISTANCE OF 86.45 FEET TO A POINT; THENCE SOUTH 68°22'16" EAST A DISTANCE OF 83.39 FEET TO A POINT; THENCE NORTH 47°33' EAST A DISTANCE OF 50.00 FEET TO THE TRUE POINT OF BEGINNING.

Parcel 5

PARCEL NO. 13:

THAT PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 62 EAST, M.D.M., DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 7; THENCE SOUTH 89°51'14" WEST ALONG THE SOUTH LINE OF SAID SECTION 7, A DISTANCE OF 217.79 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF U. S. HIGHWAY NOS. 93-95-466 (200 FEET WIDE); THENCE NORTH 42°27' WEST ALONG THE SAID SOUTHWESTERLY LINE A DISTANCE OF 766.64 FEET TO A POINT; THENCE SOUTH 47°33' WEST A DISTANCE OF 566.45 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 68°22'16" WEST A DISTANCE OF 166.78 FEET TO A POINT; THENCE SOUTH 47°33' WEST A DISTANCE OF 288.46 FEET TO A POINT ON THE NORTH LINE OF DESERT INN ROAD; THENCE NORTH 89°51'14" EAST ALONG THE SAID NORTH LINE A DISTANCE OF 222.86 FEET TO A POINT; THENCE NORTH 47°33' EAST A DISTANCE OF 196.53 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THE INTEREST IN AND TO THE SOUTHERLY 10 FEET OF SAID LAND AS CONVEYED TO CLARK COUNTY FOR ROAD AND INCIDENTAL PURPOSES BY DEED RECORDED JUNE 11, 1963 AS DOCUMENT NO. 364162 OF OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

PARCEL NO. 14:

Parcel 6

THAT PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 7, TOWNSHIP 21 SOUTH, RANGE 62 EAST, M.D.M., DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 7; THENCE SOUTH 89°51'14" WEST ALONG THE SOUTH LINE OF SAID SECTION 7 A DISTANCE OF 217.79 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF U. S. HIGHWAY NOS. 93-95-466 (200 FEET WIDE); THENCE NORTH 42°27' WEST ALONG THE SAID SOUTHWESTERLY LINE A DISTANCE OF 966.64 FEET TO A POINT; THENCE SOUTH 47°33' WEST 383.66 FEET; THENCE SOUTH 68°22'16" EAST A DISTANCE OF 222.34 FEET TO A POINT; THENCE NORTH 47°33' EAST A DISTANCE OF 286.45 FEET TO THE SOUTHEAST CORNER OF THE LAND CONVEYED TO BANK OF NEVADA BY DEED RECORDED 11/2/72 AS DOCUMENT NO. 234954; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LAND 42°27' WEST 200.00 FEET TO THE TRUE POINT OF BEGINNING.

CLARK COUNTY, NEVADA
JOAN L. SWIFT, RECORDER
RECORDED AT REQUEST OF:
DONREY MEDIA GROUP

02-26-93 15:37 DB1
OFFICIAL RECORDS
BOOK: 930226 INST: 02146
FEE: 11.00 RPTT: EX#003

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SDR-16959
11/02/06 PC

1000 1888
AMT. P.E.T. 385.00

1857989
3-1

GRANT, BARGAIN, SALE DEED

THIS INSTRUMENT WITNESSETH: That NEVADA CATHOLIC WELFARE BUREAU, INC., a Nevada Non-Profit Corporation

in consideration of \$ 10.00 the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to DONREY OF NEVADA, INC., a Nevada Corporation

all that real property situate in the _____ County of Clark
State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO FOR LEGAL DESCRIPTION AND BY THIS REFERENCE MADE A PART HEREOF.

su 1/27/93
deed
parcel 4
Doc #
93022602146

RECEIVED
AUG 19 2006

SUBJECT TO: 1. Taxes for the fiscal year 1984-85
2. Rights of way, reservations, restrictions, easements and conditions of record.

Together with all and singular the improvements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Witness my hand this 2nd day of March 19 84

STATE OF Nevada
County of Clark
On this 8th day of March 19 84
personally appeared before me a Notary Public in and for said
County and State
J. R. Block, Secretary

Nevada Catholic Welfare Bureau, Inc.

By J. R. Block, Secretary

ESCROW NO E-108781-NV
WHEN RECORDED MAIL TO: Donrey of Nevada, Inc.
P. O. Box 1359, Fort Smith, Arkansas 72902

known to me to be the person described in and who executed the foregoing instrument, who acknowledged to me that he executed the same freely and voluntarily and for the uses and purposes therein expressed.

Nancy S. Wilder
Notary Public in and for said County and State

NANCY S. WILDER
Notary Public
CLARK COUNTY

My Commission Expires Nov 2 1995

E-14 SDR-16959
11/02/06 PC

BOOK 1888
ARL P.O.T.S. 385.00

1857989
3.1

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

NEVADA CATHOLIC WELFARE BUREAU, INC., a Nevada Non-Profit Corporation

in consideration of \$ 10.00

the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to
DONREY OF NEVADA, INC., a Nevada Corporation

all that real property situate in the

County of

Clark

State of Nevada, bounded and described as follows:

SEE EXHIBIT "A" ATTACHED HERETO FOR LEGAL DESCRIPTION AND BY THIS
REFERENCE MADE A PART HEREOF.

SUBJECT TO: 1. Taxes for the fiscal year 1984-85
2. Rights of way, reservations, restrictions, easements and conditions
of record.

Together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Witness my hand this 2nd day of March 19 84

Nevada Catholic Welfare Bureau, Inc.

By J. R. Block, Secretary

STATE OF Nevada

County of Clark

On this 8th day of March 19 84

personally appeared before me a Notary Public in and for said

County and State

J. R. Block, Secretary

Knows to me to be the person described in and who executed
the foregoing instrument who acknowledged to me that he
executed the same freely and voluntarily and for the uses and
purposes therein mentioned.

Nancy S. Wilder
Notary Public in and for said County and State

NANCY S. WILDER

Notary Public, State of Nevada

CLARK COUNTY

My Commission Expires Nov 2 1985

ESCROW NO E-108781-NW

WHEN RECORDED MAIL TO Donrey of Nevada, Inc.

P. O. Box 1359, Fort Smith, Arkansas 72902

RECEIVED
AUG 19 2006

E-14

SDR-16959
11/02/06 PC

Situate in the County of Clark, State of Nevada, described as follows:

A portion of the South Half (S 1/2) of Section 28, Township 20 South, Range 61 East, M.D.B.&M., described as follows:

COMMENCING at a point marked by a brass tack set in a concrete monument at the Northeast corner of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of said Section;
THENCE along the East line of said Section South 0°11'47" West, 30.02 feet to a point in a brass cap in a monument set in the South line of Bonanza Road (80.00 feet wide);
THENCE along said South line South 89°16'56" West, 1099.36 feet to the TRUE POINT OF BEGINNING;
THENCE South 0°43'04" East, 270.00 feet;
THENCE South 89°16'56" West, 200.00 feet;
THENCE North 0°43'04" West, 270.00 feet to a point in said South line of Bonanza Road, distant thereon South 89°16'56" West, 200.00 feet from the TRUE POINT OF BEGINNING;
THENCE North 89°16'56" East 200.00 feet along said South line to the TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM the interest in and to that portion of said Parcel as conveyed to the City of Las Vegas in Deed recorded January 16, 1970 as Document No. 2606 of Official Records, Clark County, Nevada.

ALSO EXCEPTING THEREFROM all minerals and all future mineral rights of every kind, including oil and gas rights thereto, but without the right of surface entry as executed in Document No. 35226, recorded February 14, 1955, Official Records, Clark County, Nevada.

Recorder's memo: Legibility
Questionable For Good Reproduction

JOAN L. OWEN, CLERK
REC'D - 11/02/06

LAWYERS TITLE OF LAS VEGAS, INC
APR 3 11 38 AM '84

FILED
SPECIAL RECORDS
DEPARTMENT

898

1857989

SDR-16959
11/02/06 PC

SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

RECEIVED
AUG 19 2006

Case Number: **SDR-16959** APN: **139-28-801-005**

Name of Property Owner: ~~Don Ray, Inc.~~ **DR Partners**

Name of Applicant: **Todd & Associates, Inc.**

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: **DR Partners, d/b/a Las Vegas Review-Journal**

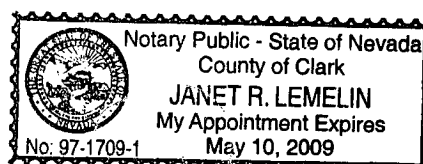
Print Name: **By: Mark A. Hineuber**

Subscribed and sworn before me

Mark A. Hineuber, General Counsel

This **18th** day of **September**, 20 **06**

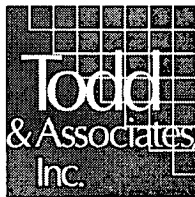
Janet R. Lemelin
Notary Public in and for said County and State



Justification Letter



Separator Sheet



Architecture/
Planning/
Landscape
Architecture

September 14, 2006

Mr. Mike Howe
Site Design Review (SDR)
Planning & Development Department
City of Las Vegas , Nevada

RECEIVED
AUG 19 2006

Project Description:

919 W. Bonanza Road
Building Demolition and Installation of
Temporary modular offices
For the Las Vegas Review Journal

This project is located in the C-M Industrial Zoning district.

The Las Vegas Review Journal is in the process of reorganizing staff and their respective work spaces. They are modernizing and providing desperately needed workspace improvements. This involves remodeling in several different locations on the RJ property. The working spaces in the existing 5 buildings on the property are at maximum capacity. During this extensive process, in order to provide the safest and least disruptive environment, the staff must be relocated to alternative quarters.

Temporary dedicated workspace is required. The nature of the work requires employees to be located on site. The fastest and most direct solution involves installing proposed temporary factory built, State of Nevada Certified modular industrial units. These will be delivered and set up on site. The ground space will be provided by razing the obsolete building constructed originally as a radio station in 1955. This building number 919 fronts on Bonanza and is at the end of its life cycle.

The new temporary offices are composed of 3 independent modular buildings fabricated from 12' wide by 60' long units. Two of the floor plans will be comprised of combining 4 units and total 2880 square feet each. The third will be smaller 2160 square feet. The three independent one story structures total 7,920 square feet. They will be a "B" business use occupancy and provide office workstations for approximately 90 workers. The existing adjacent parking on the property will meet the required needs. The new temporary buildings will take up majority of the existing site. The existing building setbacks shall be maintained as will the street frontage landscaping. The new buildings shall not exceed 14' in overall height. The existing landscaping is located in front of an attractive 5' tall ornamental wrought iron between brick columns. The fence traverses the entire frontage.

The mature trees , shrubs and ground cover plantings will screen the modulares from street view from Bonanza Road. The buildings will comply with city zoning and building safety requirements. They will meet ADA accessibility requirements. These buildings are anticipated to be one site for (12) twelve to possibly (36) months during the remodeling of the various project phases. The buildings will be delivered with the factory standard 2 tone paint scheme. The building body color

(00-0000-00)

date

Page 2

is a light gray with a contrasting dark grey trim. The roof is essentially flat and not visible from grade.

The future of the space to be vacated by the modulares is not known at this time. An SDR will be submitted for new construction when the time arises.

These interim buildings are essential to the necessary remodeling and modernization of the existing facilities. The modulares are located approximately 50 feet from the curb, located behind mature trees and landscaping and aren't expected to stand out in the C-M zoning district.

SDR-16959
11/02/06 PC

Application



A P P L I C A T I O N

Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Design Review (SDR)

Project Address (Location) 919 W. Bonanza RD.

Project Name Las Vegas Review Journal Temporary Modular Offices Proposed Use Offices

Assessor's Parcel #(s) 139-28-801-005 Ward # 5

General Plan: existing _____ proposed _____ Zoning: existing M proposed _____

Commercial Square Footage 8,640 Floor Area Ratio _____

Gross Acres 1.9 acres Lots/Units 1 Density _____

Additional Information _____

PROPERTY OWNER Don Ray Inc. DR Partners Contact Mike Ferguson

Address 111 Center St. # 2020 Phone: 702-477-3829 Fax: 702-383-4515

City Little Rock Arkansas State Arkansas Zip 72201-4434

APPLICANT Todd & Associates, Inc. Contact Tom Hemingway / Doug Sexton

Address 4019 N. 44th Street Phone: 602-952-8280 Fax: 602-952-8995

City Phoenix State Arizona Zip 85018

REPRESENTATIVE Tom Hemingway Contact Same

Address 4019 N. 44th Street Phone: 602-952-8280 Fax: 602-952-8995

City Phoenix State Arizona Zip 85018

Property Owner Signature* By: Mark Hinueber

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

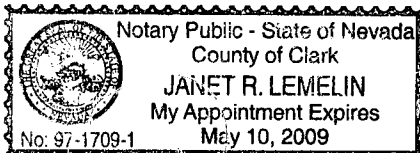
Print Name MARK HINUEBER

Subscribed and sworn before me

This 18th day of SEPTEMBER, 20 06

Janet R. Lemelin

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>SDR-16959</u>
Meeting Date:	<u>11/2/06</u>
Total Fee: \$	<u>800.00</u>
Date Received:*	<u>9/19/06</u>
Received By:	<u>John Andrus</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

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Hansen Sheet



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11/2 PC TLL

Report Date 09/19/2006 04:00 PM

Submitted By

Page 1

A/P # 16959 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	09/19/2006 15:00	984548	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Valuation	
Dept of Commerce	# Plans	0	Declared Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Calculated Valuation	0.00
			Actual Valuation	0.00

Description of Work

SDR-16959 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: DR PARTNERS - OWNER: TODD & ASSOCIATES - Request for a Site Development Plan Review FOR 8,640 SQUARE FOOT TEMPORARY OFFICES on 1.9 acres at 919 W. Bonanza Road (APN 139-28-801-005), C-M (Commercial/Industrial) Zone, Ward 5 (Weekly).

Parent A/P #

Project # 16959 Project/Phase Name LAS VEGAS REVIEW JOURNAL TEMPO Phase #
Size/Area 1.90 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC641258 ☐ Foreign
Effective Expire
Name DONREY INC
Day Phone
Pager Eve Phone Organization
Fax PIN # Position
E-Mail Profession
Address 111 CENTER ST #2020

LITTLE ROCK, AR 72201-4434

Seasonal Addr

Valid From To

Comments
No Comments

Primary N Capacity OTHER Other REP Contact ID AC1277972 ☐ Foreign
Effective Expire
Name TOM HEMINGWAY
Day Phone (602)952-8280 x Eve Phone Organization
Pager PIN # Position
Fax (602)952-8995 Mobile Profession
E-Mail

Address 4019 N 44TH STREET
PHOENIX, AZ 85018 USA

Seasonal Addr

Valid From To

Comments
Tom Hemmingway 602-952-8280

Report Date 09/19/2006 04:00 PM

Submitted By

Page 2

Applicants/Contacts

Primary Y Capacity APPL Contact ID AC1277971 ☐ Foreign
Effective
Name TODD & ASSOCIATES
Day Phone
Pager
Fax
E-Mail
Address 4019 N. 44TH STREET
PHOENIX, AZ 85018 USA
Seasonal Addr
Valid From To
Comments Tom Hemingway 602-952-8280

Contractors

No Contractors

Check Conditions	Approval	Approved By	Approved Date	Applied By	Applied Date	Assigned
Condition	Supervisor Required	Comments				

No Conditions

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance? Final City Council letter received
N Parent Project link required? Annotated minutes recieved
Y Will this go to the City Council? Is there a condition of approval for a Required Review?
Hearing Type
Public, Non-Public, Admin PUBLIC If yes, when does it need to be reviewed?

Meeting Information

Meeting Info	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Meeting Date	Add Date	Modified By			
Comments		Modified Date			
Added By					
11/02/2006	PC	SCHEDULED	0	0	0
JGRIDER	09/19/2006				

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee	Last	First	MI	Comments
Employee ID				

No Employee Entries

Log	Description	Entered By	Start	Stop	Hours
Action					
Comments					
PAYMNT	CK NAME,# WHO PICKED UP PERMIT	984018	09/19/2006 15:06		0.00
	Chuck Darling Jr, Las Vegas Review Journal Imprest Fund ck #143563, 581-4620				

Project Checklist



Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS			
		Planning & Development Department		Additional Notes	
Item Required		SUBMITTAL CHECKLIST			
YES	NO				
APPLICATION					
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)			
☒	☐	Grant deed and legal description			
☒	☐	<i>Detailed</i> justification letter			
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations			
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations			
☒	☐	Correct fee(s): \$ <u>500</u> \$ <u>300</u> \$ _____ Total = \$ <u>800⁰⁰</u>			
☒	☐	Statement of Financial Interest			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance			
SITE PLAN					
Folded Plans: <u>19</u> Rolled/Colored Plans: <u>1</u>					
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	North arrow, scale, and vicinity map			
☒	☐	<i>All</i> property lines and present dimensions labeled			
☒	☐	<i>All</i> building setbacks labeled			
☒	☐	<i>All</i> adjacent existing land uses and street names labeled			
☒	☐	<i>All</i> points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized: _____			
☒	☐	Parking space count and typical dimensions labeled #regular #compact #handicap Total			
☒	☐	<i>All</i> free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN					
Folded Plans: <u>3</u> Rolled/Colored Plans: <u>1</u>					
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	North arrow, scale, and vicinity map			
☒	☐	<i>All</i> property lines and present dimensions labeled			
☒	☐	<i>All</i> required perimeter landscape planters shown			
☒	☐	<i>All</i> required parking lot fingers/islands shown			
☒	☐	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
Folded Plans: <u>2</u> Rolled/Colored Plans: <u>1</u>					
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	Scale and building dimensions labeled			
☒	☐	North, south, east, and west elevations of <i>all</i> buildings			
☒	☐	<i>All</i> building materials and colors noted			
☒	☐	8" x 10" photo of original color and material board			
☒	☐	<i>All</i> wall sign locations shown and sizes noted			
FLOOR PLANS					
Folded Plans: <u>1</u> Rolled Plans: <u>1</u>					
☒	☐	11" x 17" min. to 24" x 36" max. page size			
☒	☐	Scale and building dimensions labeled			
☒	☐	<i>All</i> building entrances/exits shown			
☒	☐	Use of <i>all</i> rooms noted/labeled			

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: Todd & Associates (from Henry Way) Application Type: SDR
 APN: 139-28-801-005 Location: 919 & 901 W. Bonanza Rd.
 Planner: [Signature] Pre-App Meeting Date: 9/7/06 Earliest PC Date: Nov 2, '06

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Final DRT



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CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



*Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax*

SDR-16959 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: DR PARTNERS - OWNER: TODD & ASSOCIATES - Request for a Site Development Plan Review FOR THREE PROPOSED TEMPORARY BUILDINGS TOTALLING 7,920 SQUARE FEET on 1.9 acres at 919 West Bonanza Road (APN 139-28-801-005), M (Industrial) Zone, Ward 5 (Weekly).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

PLANNING COMMISSION: **NOVEMBER 2, 2006** CITY COUNCIL: **DECEMBER 6, 2006**

CASE PLANNER: **DOUG RANKIN**



PUBLIC HEARING

Comments Due: **OCTOBER 3, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-16959

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEMUS
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	DOA J. MEADE, ENGINEERING DESIGN DIVISION	1001 S. VALLEY VIEW BLVD.

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR
09/19/2006

Neighborhood Services List



Separator Sheet

Development Notification

PC Meeting: November 02, 2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-16959

18b The Las Vegas Arts District NA

Berkley Square NA

Biltmore Bungalows NA

Biltmore West NA

Bonanza Village NA

Cultural Corridor Coalition

Diamond Point NA

Downtown Business Operators Council

Downtown Central Development Committee
(DCDC)

East Las Vegas Community Development Corp.

Fremont Street Experience

G-704 NA

Rancho Bel Air NA

Rancho Manor NA

Rancho Oakey NA

Rancho South NA

Rancho Springs NA

WLV-NAA1

WLV-NAA2

WLV-NAA4

WLV-NAA6

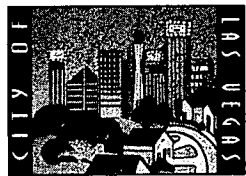
WLV-NAA7

Action Letter



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PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

November 3, 2006

Mr. Tom Hemingway
4019 North 44th Street
Phoenix, Arizona 85018

RE: SDR-16959 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Hemingway:

Your request for a Site Development Plan Review FOR THREE PROPOSED TEMPORARY BUILDINGS TOTALLING 7,920 SQUARE FEET on 1.9 acres at 919 West Bonanza Road (APN 139-28-801-005), M (Industrial) Zone, Ward 5 (Weekly), was considered by the Planning Commission on November 2, 2006.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the revised site/landscape plan date stamped 10/13/06, and building elevations, date stamped 08/19/06, except as amended by conditions herein.
3. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
4. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



5. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
8. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.
11. All temporary improvements associated with this application must be removed within three years of the date of issuance of the certificate of occupancy.
12. The application shall be reviewed by the Planning Commission in 24 months.

Public Works

13. Provide a copy of a recorded joint access agreement between this site and the adjacent parcel to the west prior to the issuance of any building permits.
14. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
15. Landscape and maintain all unimproved rights-of-way, if any, on Bonanza Road adjacent to this site.

Mr. Tom Hemingway
SDR-16959 - Page Three
November 3, 2006

16. Submit an Encroachment Agreement for all landscaping, if any, located in the Bonanza Road public rights-of-way adjacent to this site prior to occupancy of this site.
17. This site will be subject to the traffic signal impact fee as required by Ordinance No. 5644 at the time permits are issued.
18. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.
19. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.
20. Obtain an Occupancy Permit for all landscaping and private improvements in the Bonanza Road public right-of-way adjacent to this site.

This action by the Planning Commission is final. The notice of final action was filed with the City Clerk on *November 3, 2006*.

Sincerely,



John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

cc: Mr. Doug Sexton
Todd & Associates, Incorporated
4019 North 44th Street
Phoenix, Arizona 85018

Mr. Mike Ferguson
DR Partners
111 Center Street, Suite 2020
Little Rock Arkansas, Arkansas 72201-4434

Public Hearing Notice



PUBLIC HEARING NOTICE

Separator Sheet

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: NOVEMBER 2, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SDR-16959

APPLICANT: TODD & ASSOCIATES - OWNER: DONREY OF NEVADA INC. - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR THREE PROPOSED TEMPORARY BUILDINGS TOTALLING 7,920 SQUARE FEET ON 1.9 ACRES AT 919 WEST BONANZA ROAD (APN 139-28-801-005), M (INDUSTRIAL) ZONE, WARD 5 (WEEKLY).

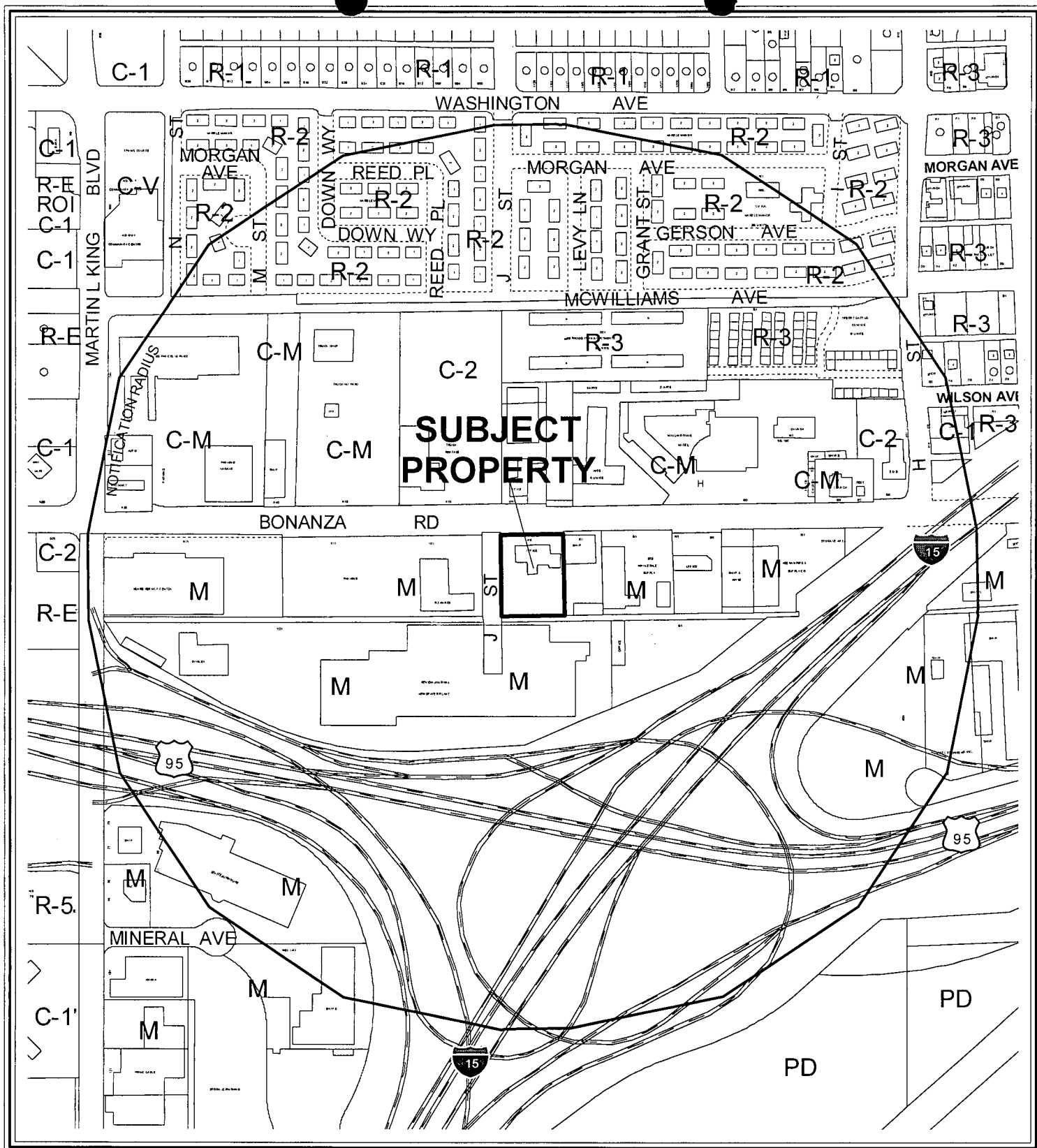
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S $\frac{1}{2}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: **SDR-16959**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-M (COMMERCIAL/INDUSTRIAL)

0 200 400 Feet



Applicant Letter



APPLICANT LETTER

Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

October 19, 2006

Mr. Tom Hemingway
4019 North 44th Street
Phoenix, Arizona 85018

RE: SDR-16959 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Hemingway:

Please be advised the City Planning Commission at its regular meeting on **November 2, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

cc: Mr. Doug Sexton
Todd & Associates, Incorporated
4019 North 44th Street
Phoenix, Arizona 85018

Mr. Mike Ferguson
DR Partners
111 Center Street, Suite 200
Little Rock Arkansas, Arkansas 72201-4434

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

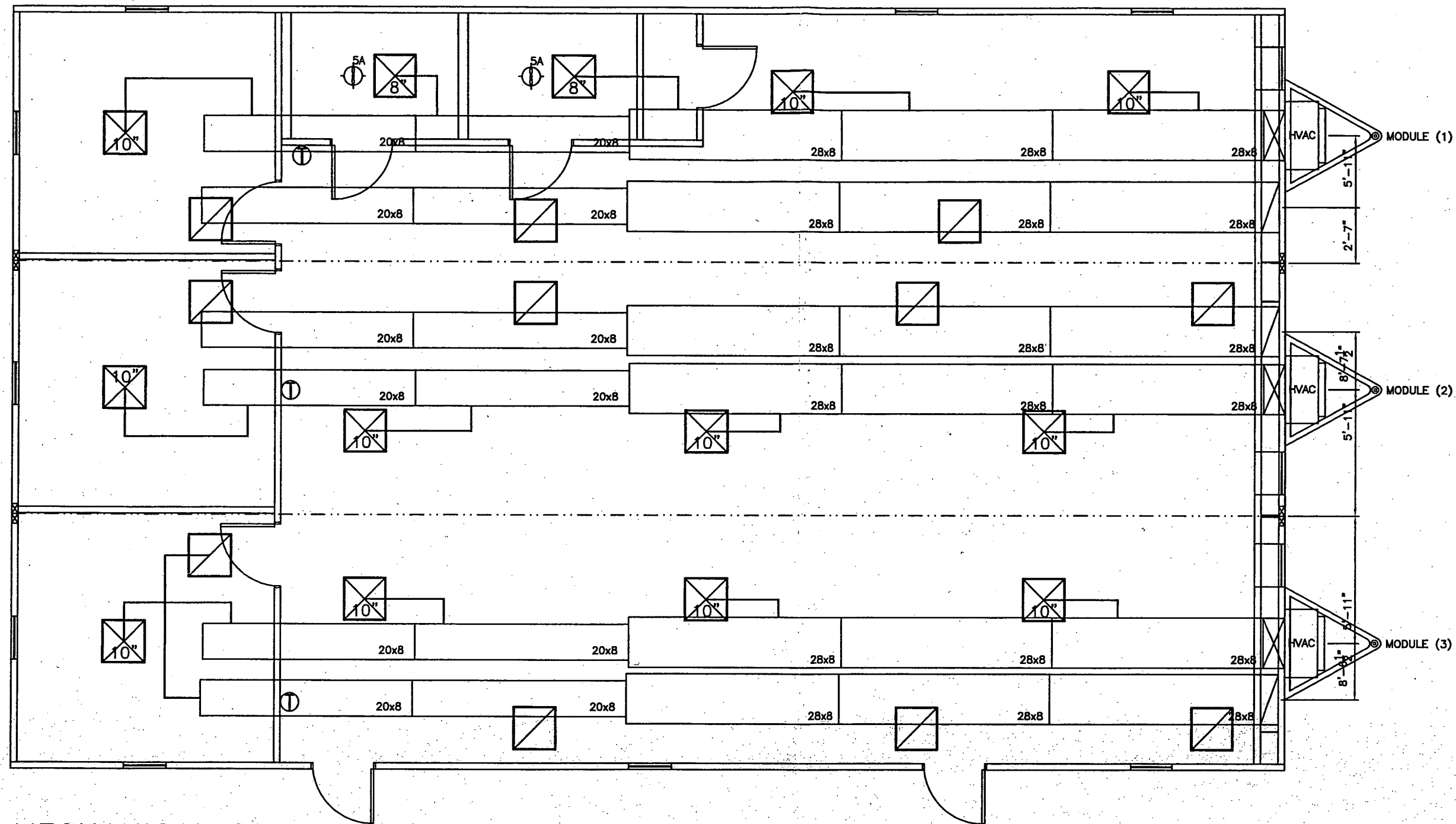
City Manager
Douglas A. Selby



Plans (Floor Plans)



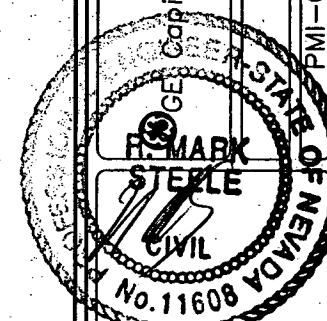
Separator Sheet



MECHANICAL PLAN

APPROVED
NRS 461
FACTORY BUILT
HOUSING
STATE OF NEVADA
OCT 11 2005
BY Gary Chilton
2837
Authorized Signature

APPROVED
NRS 461
FACTORY BUILT
HOUSING
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APR 26 2005
BY Gary Chilton
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AUG 19 2006



EXPIRES 6/30/06
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4

PHOENIX MODULAR

1635 S. 43rd Ave. #300
PHOENIX, AZ 85009
PHONE: (602) 442-9298

Capitol Modular Space

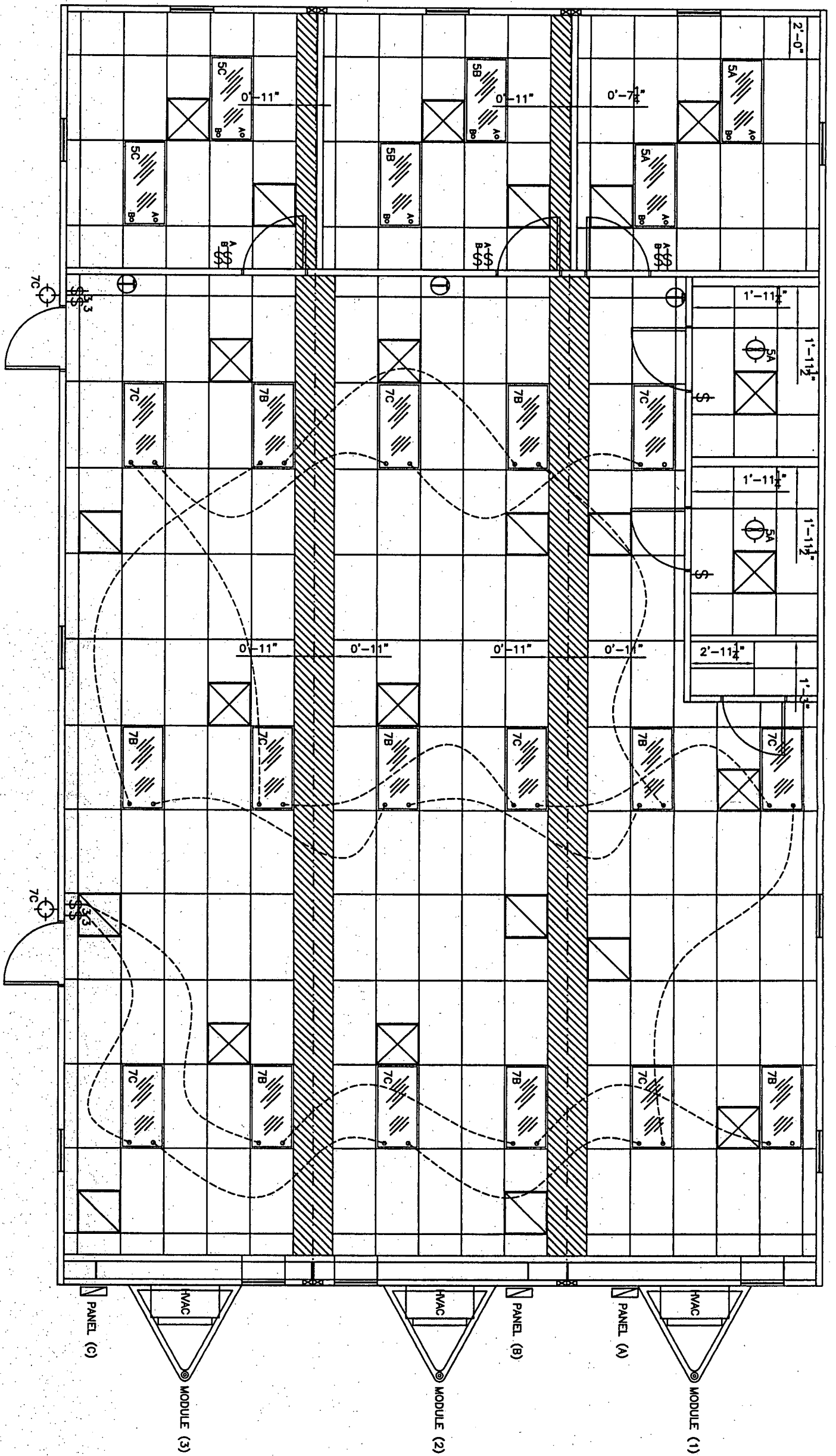
DATE: 4/14/05

DRAWN BY: FRED R.

PMI-GE-3660-01

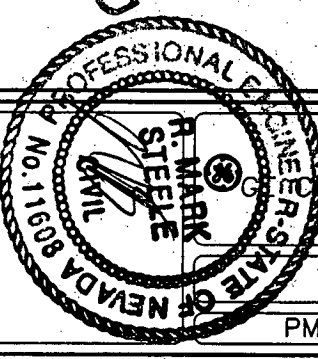
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SDR-16959
11/02/06 PC



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 OCT 11 2005
 28337
 BY *Jay C. Miller*
 Authorized Signature
 NRS 481
 FACTORY BUILT
 HOUSING
 STATE OF NEVADA

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 APR 26 2005
 112837
 BY *Jay C. Miller*
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DATE: 4/14/05
 DRAWN: FRED R.

PMI-GE-3660-01

SDR-16959
11/02/06 PC

FINISH SCHEDULE		
INTERIOR		REMARKS
FLOOR	1. .080 SELF COVE LINOLEUM (RESTROOMS ONLY) W/ ATLEAST 5" (PER CODE) COLOR: GRAY 2. 20 oz. CARPET (REMAINDER) COLOR: CHARCOAL	
BASE	1. 4" VINYL COVE (REMAINDER) COLOR: GRAY	
WALLS	1. 1/2" V.C.G. (THRU-OUT) COLOR: HAMPTON GRAY 2. FRPBOARD (R.R.'S ONLY) @ 4'-0" HIGH AS PER CODE COLOR: WHITE	
TRIM	1. VINYL COVERED TRIM (THRU-OUT) COLOR: GRAY	
CEILING	1. 2x4 SUSPENDED CEILING @ 7'-10" A.F.F. ARMSTRONG CORTEGA 769A (OR EQUAL) COLOR: WHITE	PROVIDE STRUTS AND WIRES

CONSTRUCTION NOTES			
CHASSIS	FLOOR	EXTERIOR WALLS	INTERIOR WALLS
FOUNDATION: 12" 11'-10" x 6'-0" W/ 1/2" REINFORCED PLASTIC BASEMENT (CH. 2) 1-BRAN 12" (UPGRADE REAR MEMO) OK/CM/CM 4.8 A HATCH DETACHABLE WALL TRIPLE (NEW) ALL-WB TILES 800 NEW 12-PLY SPECIAL NOTES: EXISTING BOLTS TO BE INSTALLED AT CORNERS	JOISTS: 2x6 x 135 3/4" HF #2 SISCS: N/A SISCS: 1" o.c. SISCS: N/A DECKING: 5/8" 1x6 PLYWOOD INSULATION: R-11 UNFACED RIM JOIST: REINFORCED PLASTIC SPECIAL NOTE: FLOOR DESIGN IS TO BE REVERSED DOWN	STUDS: 2x4 HF #2 SISCS: N/A SISCS: 1" o.c. SISCS: N/A TOP PLATE: DBL 2x4 TOP PLATE INSULATION: R-11 FACED 7/16" SMART PANEL W/ PLYDRI GROOVES: 8" o.c. (6 SHEETS) BUILDUP: 1/2" OVERLAP AT RM JOIST SPECIAL NOTES	STUDS: 2x4x82 5/8" DBL STUD GRD SISCS: N/A SISCS: 1" o.c. SISCS: N/A FULL HT. N/A ALL WALLS TOP PLATE: DBL 2x4 DBL AS NEEDED INSULATION: R-11 UNFACED SPECIAL NOTES
ROOF	RIDGEBEAM	CLEAR SPAN	ACCESSORIES
ROOF CVR: .045 EPDM W/ 1/4" DENSDECK COLOR: BLACK RAFTER (1.3) 2x6x135 1/8" HF #2 RAFTER (2) 2x6x131 1/4" HF #2 RAFTER: N/A RAFTER: N/A ROOF SLOPE: 1/4" TO 12" (COMPLEX) SHEATHING: 1/2" 24/0 SHEATHING INSULATION: R-19 UNFACED OVERHANG: N/A MANICARD: N/A PARAPET: N/A DRAINAGE: N/A	LAYERS: N/A MATERIAL: N/A CENTER HT.: N/A HEEL HT.: N/A TYPE: YES MISC. NOTES: N/A	LOAD: 30M CENTER HT.: 30 HIGH HT.: 22 1/2" FOOT SIZE: 4x6 WOOD TOP OF I-BEAM TO BOT. OF TRUSS COLOR: TBD SHELVING: 8 LF. OF 12" WIRED TYPE: FIXED W/ ROD COLOR: WHITE MISC.: N/A MISC.: N/A MISC.: N/A	CABINET: 4 LF. OF BASE STD. OAK 4 LF. OF 25 1/2" STD. EDGE TYPE: ROLLED COLOR: TBD 8 LF. OF 12" WIRED TYPE: FIXED W/ ROD COLOR: WHITE MISC.: N/A MISC.: N/A MISC.: N/A
CLOSEUP	APPLIANCES	SKIRTING	
	REFRIGERATOR: N/A RANGE: N/A BASE HOOD: N/A MICROWAVE: N/A		

DOOR SCHEDULE									
SYM	SIZE	THK.	DOOR	JAMB	JAMB	FIN HRD	QTY	ROUGH OPENING	REMARKS
			MAT'L	TYPE	MAT'L	GRP			
A	3068	1 3/4"	24ga.	H.M.	ALUM	ACTIVE	4 1/2"	1 1 1 2	RLC-1 DOOR
B	3068	1 3/8"	WOOD	H.C.	20ga.	TIMELY	4 1/2"	2 2 4	37 1/2" x 81 1/4"
C	3068	1 3/8"	WOOD	H.C.	20ga.	TIMELY	4 1/2"	2 3 2	37 1/2" x 81 1/4"
HARDWARE GROUP					FINISH GROUP				
NOTE: DOOR HANDLES TO BE HANDICAP ACCESSIBLE. 1. PASSAGE LV(TELL LC2475CTL), SGL. CYL. DEADBOLT (DB 2051), STORM CHAIN, DRIP CAP, (2) STD. (1) NRP HINGE, WEATHERSTRIPPING, THRESHOLD, DOOR SWEEP. 2. PASSAGE (TELL LC3675CTL), HINGES, WALL MNT'D DOOR STOP. 3. PRIVACY (TELL LC3676CTL), HINGES, WALL MNT'D DOOR STOP. DOORS KEYED ALIKE: YES DOOR TO DOOR					1. VINYL LAMINATE INTERIOR COLOR: GRAY EXTERIOR COLOR: GRAY JAMB COLOR: BRONZE 2. PREFINISHED WOODGRAIN JAMB COLOR: BROWN TONE				

WINDOW SCHEDULE							
SYM	SIZE	WINDOW TYPE	FRAME	GLASS	QTY	ROUGH OPENING	REMARKS
①	24 x 53 5/16	VERTICAL SLIDER	BRONZE	SINGLE GLAZE CLEAR	12	24 1/2" x 53 13/16"	PHILLIPS
HEADER HEIGHT				MISCELLANEOUS			
81 1/4" A.F.F.				1. HORIZONTAL ALUMINUM MINI BLINDS (2453) (12) COLOR: GRAY			

GENERAL NOTES -ARIZONA-	
1. CODES: 2003 I.B.C. 1994 U.P.C. 2002 N.E.C. 2003 L.M.C. ADA 2002 N.E.C. HANDICAP: ADA 2. OCCUPANCY GROUP: B 3. CONSTRUCTION TYPE: V-B 4. BUILDING SQ. FT. 2130 OCCUPANT LOAD: 21 5. DESIGN LOADS: ROOF LIVE LOAD: 20 PSF ROOF SNOW LOAD: 30 PSF FLOOR LIVE LOAD: 50 PSF (100 PSF EXTWAYS) WIND LOAD: 80 MPH EXPOSURE C SEISMIC: S _e = 1, S ₁ = 0.3 (S _{ds} = 0.73, S _{d1} = 0.36) SITE CLASS 0 SEISMIC USE GROUP 1 SEISMIC DESIGN CATEGORY D	
6. STANDARD STRUCTURAL APPROVAL # F-ES-15 7. BUILDING SHALL BE LOCATED A MINIMUM OF 10 FEET TO KNOWN OR ASSUMED PROPERTY LINES AS PER LOCAL BUILDING DEPARTMENT REQUIREMENTS. 8. IF AN ADEQUATE NUMBER OF PLUMBING FIXTURES ARE NOT PROVIDED WITHIN THIS BUILDING, ADDITIONAL PLUMBING FIXTURES MUST BE PROVIDED IN AN ADJACENT BUILDING ON THE SAME JOB SITE AS PER LOCAL BUILDING DEPARTMENT REQUIREMENTS. 9. THIS PLAN MAY BE REVERSED AND/OR MIRRORRED. 10. HANDICAP RAMPS WILL BE REQUIRED FOR BUILDING ACCESS. 11. SEE STRUCTURAL PACKAGE FOR ALL STRUCTURAL STANDARDS AND DETAILS.	

SEE S24 STRUCTURAL PACKAGE FOR DESCRIPTION (SHEARWALL TAG TYP.)	
SEE S24 OF STRUCTURAL PACKAGE FOR DESCRIPTION (HOLD DOWN TAG TYP.)	

STATE REQUIRED INFORMATION ON USE AND LOCATION OF FACTORY-BUILT BUILDING	
1. PROPOSED ADDRESS AND/OR STOCK UNIT LOCATION OF UNIT.	
2. EXPLANATION OF BUILDING USE: TEMPORARY OFFICE	
N: ANY BUILDING FUNDED BY PUBLIC MONIES (IE STATE, COUNTY, CITY, PUBLIC SCHOOLS, ETC.) MUST BE ACCESSIBLE TO THE HANDICAPPED INCLUSIVE OF BUT NOT LIMITED TO RESTROOMS AND ENTRANCES. PLANS MUST BE STAMPED BY A STATE OF ARIZONA LICENSED ARCHITECT OR ENGINEER.	

GENERAL NOTES -NEVADA-	
1. CODES: 1997 UBC, 1997 UMC, 1997 UPC, 1999 NEC. 2. OCCUPANCY: B 3. CONSTRUCTION TYPE: VN BUILDING SQ. FT.: 2130 4. OCCUPANCY LOAD: 21 MAX 5. HANDICAP REQUIREMENTS: ANSI A117.1-1992 6. DESIGN LOADS: LIVE FLOOR: 50 LBS/SQ. FT. LIVE ROOF: 30 LBS/SQ. FT. WIND: 80 MPH EXP. C 22.8 LBS/SQ. FT. SEISMIC ZONE 4	
7. STANDARD STRUCTURAL APPROVAL 8. ELECTRICAL SYSTEMS: AS SHOWN 9. PLUMBING SYSTEMS: AS SHOWN 10. MECHANICAL SYSTEMS: AS SHOWN 11. BUILDING SHALL BE LOCATED A MINIMUM OF 20 FEET FROM ADJACENT PROPERTY LINES. 12. IF ADEQUATE RESTROOM FACILITIES ARE NOT PROVIDED, ADDITIONAL PLUMBING FIXTURES MUST BE PROVIDED IN ADJACENT BUILDINGS ON SAME PROPERTY BY OWNER IN ACCORDANCE WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS. 13. HANDICAP RAMPS REQUIRED FOR ACCESS & EGRESS TO BE SUPPLIED & INSTALLED ON SITE BY OTHERS. 14. THIS PLAN MAY BE MIRRORRED AND/OR REVERSED.	

APPROVED
NRS 461
FACTORY BUILT
HOUSING
STATE OF NEVADA
OCT 11 2005
2837
BY *Gary Childers*
Authorized Signature

GENERAL NOTES -COLORADO-	
1. CODES: 2003 I.B.C. 2003 I.P.C. 2002 N.E.C. 2003 L.M.C. 2002 N.E.C. ENERGY: 2003 I.E.C.C. HANDICAP: ICC/ANSI A117.1-98 2. OCCUPANCY GROUP: B 3. CONSTRUCTION TYPE: V-B 4. BUILDING SQ. FT. 2130 OCCUPANT LOAD: 21 5. DESIGN LOADS: ROOF LIVE LOAD: 20 PSF ROOF SNOW LOAD: 30 PSF FLOOR LIVE LOAD: 50 PSF (100 PSF EXTWAYS) WIND LOAD: 80 MPH EXPOSURE C SEISMIC: S _e = 0.56, S ₁ = 0.13 (S _{ds} = 0.49, S _{d1} = 0.2)	
6. ASSUMED ENERGY CLIMATE LOCATION: DENVER 7. BUILDING SHALL BE LOCATED A MINIMUM OF 10 FEET TO KNOWN OR ASSUMED PROPERTY LINES AS PER LOCAL BUILDING DEPARTMENT REQUIREMENTS. 8. IF AN ADEQUATE NUMBER OF PLUMBING FIXTURES ARE NOT PROVIDED WITHIN THIS BUILDING, ADDITIONAL PLUMBING FIXTURES MUST BE PROVIDED IN AN ADJACENT BUILDING ON THE SAME JOB SITE AS PER LOCAL BUILDING DEPARTMENT REQUIREMENTS. 9. THIS PLAN MAY BE REVERSED AND/OR MIRRORRED. 10. HANDICAP RAMPS WILL BE REQUIRED FOR BUILDING ACCESS. 11. SEE STRUCTURAL PACKAGE FOR ALL STRUCTURAL STANDARDS AND DETAILS.	

GENERAL NOTES -NEW MEXICO-	
1. CODES: 2003 I.B.C. 2003 U.P.C. 2002 N.E.C. 2003 L.M.C. 2002 N.E.C. ENERGY: 2003 I.E.C.C. HANDICAP: ICC/ANSI A117.1-98 2. OCCUPANCY GROUP: B 3. CONSTRUCTION TYPE: V-B 4. BUILDING SQ. FT. 2130 OCCUPANT LOAD: 21 5. DESIGN LOADS: ROOF LIVE LOAD: 20 PSF ROOF SNOW LOAD: 30 PSF FLOOR LIVE LOAD: 50 PSF (100 PSF EXTWAYS) WIND LOAD: 80 MPH EXPOSURE C SEISMIC: S _e = 0.7, S ₁ = 0.2 (S _{ds} = 0.56, S _{d1} = 0.27)	
6. ASSUMED ENERGY CLIMATE LOCATION: ALBUQUERQUE 7. BUILDING SHALL BE LOCATED A MINIMUM OF 10 FEET TO KNOWN OR ASSUMED PROPERTY LINES AS PER LOCAL BUILDING DEPARTMENT REQUIREMENTS. 8. IF AN ADEQUATE NUMBER OF PLUMBING FIXTURES ARE NOT PROVIDED WITHIN THIS BUILDING, ADDITIONAL PLUMBING FIXTURES MUST BE PROVIDED IN AN ADJACENT BUILDING ON THE SAME JOB SITE AS PER LOCAL BUILDING DEPARTMENT REQUIREMENTS. 9. THIS PLAN MAY BE REVERSED AND/OR MIRRORRED. 10. HANDICAP RAMPS WILL BE REQUIRED FOR BUILDING ACCESS. 11. SEE STRUCTURAL PACKAGE FOR ALL STRUCTURAL STANDARDS AND DETAILS.	

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FACTORY BUILT
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STATE OF NEVADA
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BY *Gary Childers*
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THIS BUILDING MUST MEET OR EXCEED THE MINIMUM DESIGN LOADS ESTABLISHED BY THE LOCAL JURISDICTION AT THE INSTALLATION SITE

ELECTRICAL SCHEDULE				
SYMBOL	DESCRIPTION	CLR	QTY	REMARKS
125 AMP 1 PHASE 120/240 W/ 125 AMP MAIN 36" A.F.F. TO TOP OF PANEL/EXT. SURFACE (N.B.S.)		N/A	3	GE TLM 1212 LOADCENTER
Φ	DUPLEX RECEPTACLE W/ COVER PLATE @18" A.F.F. U.N.O. (NO BRAND SPECIFIED)	MORY	25	
Φ	GROUND FAULT CIRCUIT INTERRUPT (GFCI) W/ COVER PLATE @42" A.F.F. U.N.O. (NO BRAND SPECIFIED)	MORY	3	
Φ	GFCI DUPLEX RCPT. W/ WEATHER PROOF COVER PLATE @18" A.F.F. U.N.O. (NO BRAND SPECIFIED)	MORY	2	
Φ	DEDICATED RECEPTACLE W/ COVER PLATE @18" A.F.F. U.N.O. (NO BRAND SPECIFIED)	MORY	1	
Φ	HEAT TAPE RCPT. MOUNTED UNDER BUILDING W/ NO SWITCH W/ COVER PLATE (N.B.S.)	RED	1	
\$	SINGLE POLE SWITCH W/ COVER PLATE @ 48" A.F.F. U.N.O. (NO BRAND SPECIFIED)	MORY	2	@42" A.F.F. IN RESTROOMS
\$	DBL. SINGLE POLE SWITCH W/ COVER PLATE @48" A.F.F. U.N.O. (NO BRAND SPECIFIED)	MORY	3	LIGHTS IN OFFICES ARE TO BE DUAL SWITCHED.
\$	(2) 3 WAY SWITCHES W/ COVER PLATE @ 48" A.F.F. U.N.O. (NO BRAND SPECIFIED)	MORY	2	
Φ	2x4 J-BOX @6" A.F.F. W/ 3/4" CONDUIT STUBBED TO CEILING CAVITY W/ COVER PLATE U.N.O.	N/A	9	FOR FUTURE TELEPHONE
Φ	70 CFM FAN/LIGHT COMBO BRAND: BROWN 679	N/A	2	
Φ	THERMOSTAT @48" A.F.F. U.N.O. BRAND: HONEYWELL T874H1024 SUB BASE: Q674F1261	N/A	3	
Φ	2x4-4 TUBE FLUORESCENT FIXTURE, RECESSED, DIFFUSED, (NO BRAND SPECIFIED)	N/A	23	
Φ	PORCH LIGHTS @84" A.F.F. U.N.O. BRAND: VANGUARD	N/A	2	W/ (1) PHOTOCELL CENTERED ON HOOD (SIDEWALL)
Φ	WALL MOUNT EMERGENCY LIGHT MNT'D @84" A.F.F. W/ BATTERY BACKUP U.N.O.	N/A	3	
Φ	HARD WIRED SINGLE GANGED J-BOX FOR WATER HEATER @18" A.F.F. W/ COVER PLATE (NO BRAND SPECIFIED)	N/A	1	
RACEWAY MC/FLEX				
NOTE: 1. ALL MEASUREMENTS FOR DEVICES WHICH REQUIRE A HEIGHT ARE TO THE CENTER LINE OF DEVICE UNLESS NOTED OTHERWISE. 2. ALL EXTERIOR ELECTRICAL DEVICES TO BE WEATHERPROOF. 3. FIRE ALARM SYSTEM PROVIDED AND INSTALLED ON SITE BY OTHERS. (WHEN APPLICABLE.)				

PLUMBING SCHEDULE		
SYMBOL	DESCRIPTION	QTY
Φ	FLOOR MNT'D ELONGATED BOWL FOR THE HANDICAPPED W/ STANDARD TANK (NO BRAND SPECIFIED)	2
Φ	ONE SET GRAB BARS, INCLUDES: (1) 36" LONG & (1) 48" LONG. MOUNTED @ 34" A.F.F.	2 SETS
Φ	WALL HUNG LAVATORY W/ 29" SPACE UNDERNEATH RIM FOR HANDICAPPED W/ STANDARD FAUCETS (NO BRAND SPECIFIED)	2
Φ	15"x15" BAR SINK W/ GOOSENECK FAUCET (NO BRAND SPECIFIED)	1
Φ	8 GAL. ELECTRIC WATER HEATER (120V) A WATER TIGHT PAN IS TO BE INSTALLED BENEATH THE WATER HEATER W/ A 5/4" DRAIN.	1
Φ	TOILET PAPER HOLDER (NO BRAND SPECIFIED)	2
Φ	24"x36" MIRROR @ 36" A.F.F. (NO BRAND SPECIFIED)	2
NOTE:		

HVAC SCHEDULE		
SYM	DESCRIPTION	QTY
Φ	3 TON HP W/ 5 kw HEAT STRIP (F.A.D.) W/ SMOKE BUCT DETECTORS MODEL # (W138-A05) OR EQUAL	3
Φ	28"x8" GALV. SLEEVE 12" LONG	3
Φ	RETURN AIR PLENUM	3
Φ	30"x10"x10"-0" FIBERGLASS DUCT.	N/A
Φ	28"x8"x10"-0" FIBERGLASS DUCT.	18
Φ	20"x8"x10"-0" FIBERGLASS DUCT.	12
Φ	24"x24" 4-WAY THROW DIFFUSER 8" COLLAR W/ SCOOP & DAMPER 8" FLEX 8" START COLLAR.	2
Φ	24"x24" 4-WAY THROW DIFFUSER, 10" OVAL COLLAR W/ SCOOP & DAMPER 10" FLEX, 10" START COLLAR.	11
Φ	24"x24" RETURN AIR GRILL W/ 10" COLLAR, 10" FLEX, 10" START COLLAR.	11
NOTE:		

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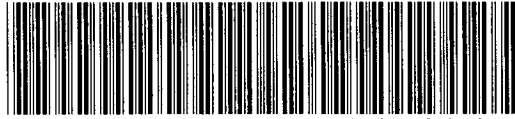
SIGNATURE: _____ DATE: 4/14/05
DRAWN: FRED R.

APR 14 2005
R. MARK STEELE
PROFESSIONAL ENGINEER-STATE OF NEVADA
No. 11608
EXPIRES 6/30/06

SHEET NUMBER ONLY

SDR-16959
11/02/06 PC

Plans (Elevations)



PLANS - ELEVATIONS

Separator Sheet

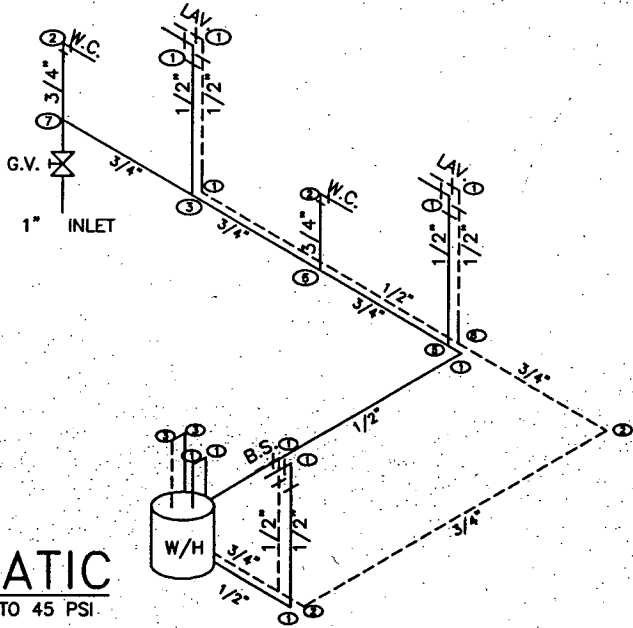
DESCRIPTION	QTY	FIXTURE UNITS
BAR SINK	1	2
LAVATORY	2	4
WATER CLOSET	2	10
TOTAL F.U. = 16 = 1" INLET		

WASTE FIXTURE SIZES	
1	1 1/2" P-TRAP
2	3" LTTY
3	3" SAN-T
4	3"x3"x1 1/2" SAN-T
5	3"x3"x2" LTTY
6	2" LTTY
6	2"x2"x1 1/2" SAN-T

COLD & HOT SCHEMATIC

MAXIMUM PRESSURE RANGE • POINT OF CONNECTION 30 TO 45 PSI.
GREATEST DEVELOPED LENGTH 100'

SUPPLY: COPPER (TYPE L)



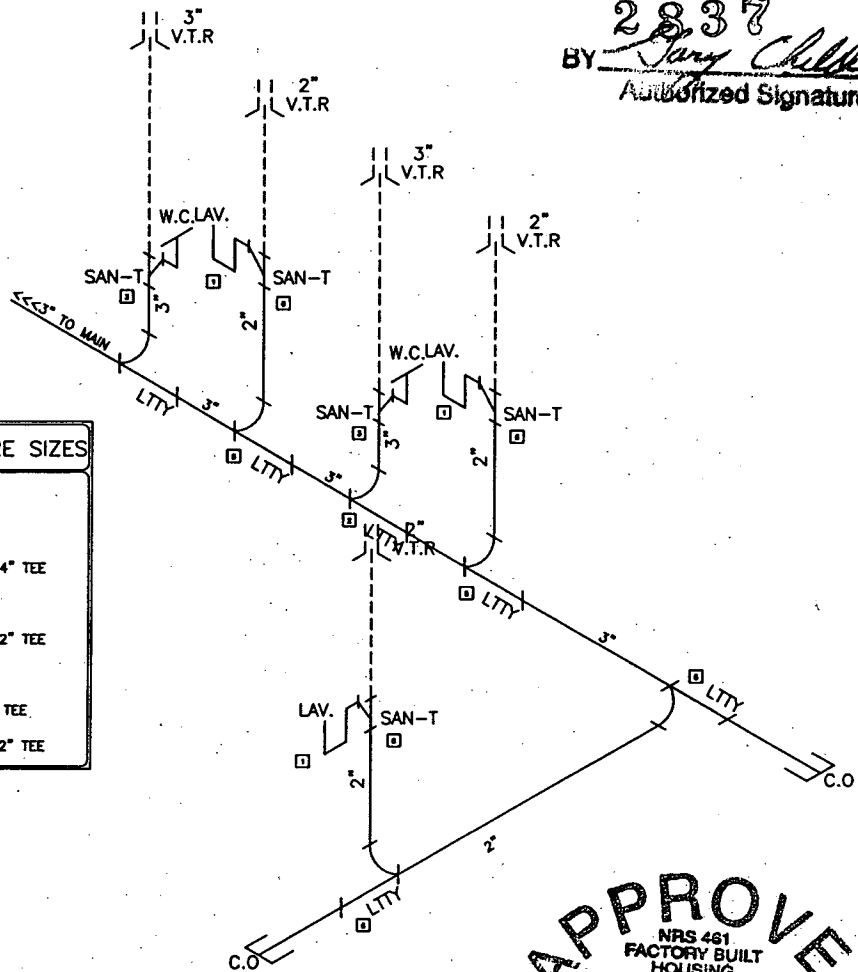
COPPER FIXTURE SIZES	
1	1/2" EL
2	3/4" EL
3	3/4"x1/2"x3/4" TEE
4	1/2" TEE
5	3/4"x3/4"x1/2" TEE
6	3/4" TEE
7	1"x3/4"x3/4" TEE
8	3/4"x1/2"x1/2" TEE

WASTE & VENT SCHEMATIC

ALL PIPE TO BE ABS SCHEDULE 40
AND WILL SLOPE 1/4" PER FOOT

NOTE: PLUMBING MANIFOLD TO BE SUPPLIED BY
FACTORY AND INSTALLED ON SITE BY OTHERS.

CUSTOMER IS TO VERIFY POINT OF CONNECTION FOR
WASTE ON PLANS. IF NO MODIFICATION IS INDICATED AT
CUSTOMER SIGN OFF THEN THE MANIFOLD WILL BE
SUPPLIED AS SHOWN ON PLANS.



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NRS 461
FACTORY BUILT
HOUSING
STATE OF NEVADA

OCT 11 2005

2837
BY *Gary Childers*
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PHONE: (602) 442-9298

APR 18 2005

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PMI-0149 TO 0150 -1260

PMI-GE-3660-01

DATE: 4/14/05

DRAWN: FRED R.

SIGNATURE: _____

CUSTOMER SIGN OFF AREA

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DATE: _____

SIGNATURE: _____

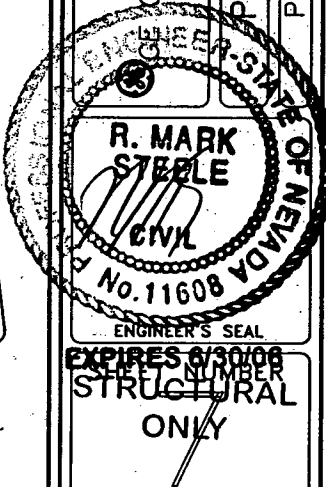
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SIGNATURE: _____

DATE: _____

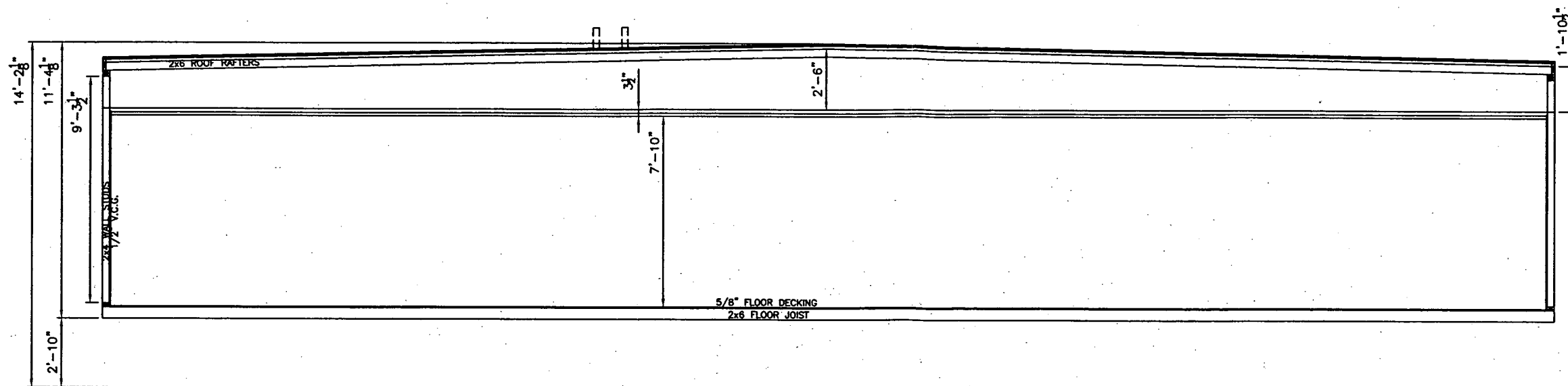
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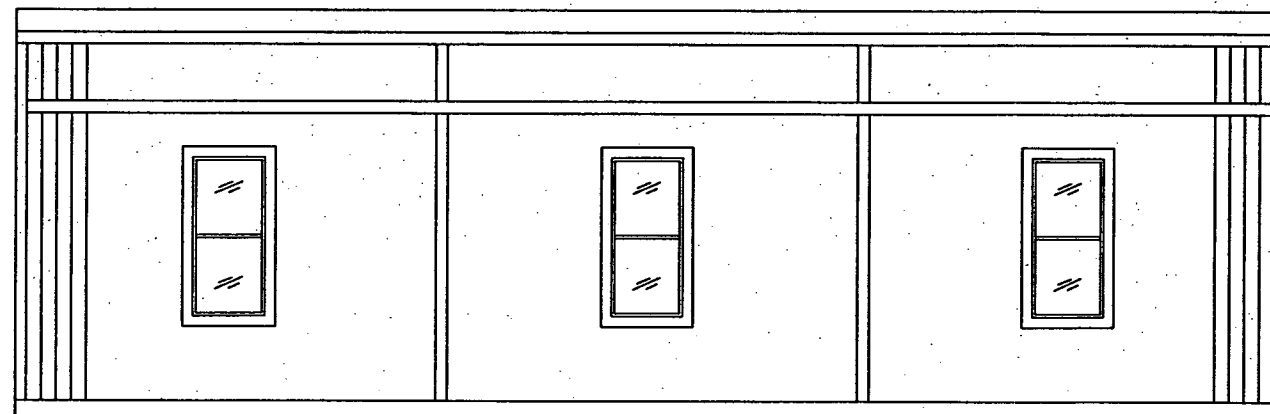


SDR-16959

11/02/06 PC



CROSS SECTION



ELEVATION 'D'

APPROVED
NRS 461
FACTORY BUILT
HOUSING
STATE OF NEVADA
OCT 11 2005
2837
BY Sary Chelba
Authorized Signature

APPROVED
NRS 461
FACTORY BUILT
HOUSING
STATE OF NEVADA
APR 26 2005
12837
BY Sary Chelba
Authorized Signature

125 AMP 120/240 1 PHASE EXTERIOR SURFACE MOUNT PANEL W/ 125 amp MAIN BRKR											
DESCRIPTION	CIR	BRK	WS	A	B	WS	BRK	CIR	DESCRIPTION		
HVAC UNIT	1	60	#6	6360 1875	#12	20		2	WATER HEATER		
	3	2	#6	6360 1260	#12	20		4	(7) RECEPTS		
(2) LIGHTS, (2) EMERG. (2) F.L.C.	5		#12	1022 1260	#12	20		6	(7) RECEPTS		
SPACE	7				#12	20		8	DED. RECEPT		
SPACE	9				#12	20		10	HEAT TAPE		
SPACE	11				#12	20		12	SPACE		
ELECTRICAL CALCULATIONS: PANEL 'A'											
GENERAL LIGHTING: 710 sq/ft x 3.5 x 1.25 = 3,106w											
(1) HVAC UNIT = 12,720w											
(14) RECPTS. = 2,520w											
(1) WATER HEATER = 1,875w											
(1) DED. RECEPT = 1,800w											
(1) HEAT TAPE = 1,500w											
22,621w ÷ 240v = 94 AMPS TOTAL											

125 AMP 120/240 1 PHASE EXTERIOR SURFACE MOUNT PANEL W/ 125 amp MAIN BRKR											
DESCRIPTION	CIR	BRK	WS	A	B	WS	BRK	CIR	DESCRIPTION		
HVAC UNIT	1	60	#6	6360 720	#12	20		2	(6) RECEPTS		
	3	2	#6	6360 1080	#12	20		4	SPACE		
(2) LIGHTS, (2) EXT.	5		#12	422				6	SPACE		
(8) LIGHTS	7		#12	1088				8	SPACE		
SPACE	9							10	SPACE		
SPACE	11							12	SPACE		
ELECTRICAL CALCULATIONS: PANEL 'B'											
GENERAL LIGHTING: 710 sq/ft x 3.5 x 1.25 = 3,106w											
(1) HVAC UNIT = 12,720w											
(6) RECPTS. = 1,080w											
17,626w ÷ 240v = 73 AMPS TOTAL											

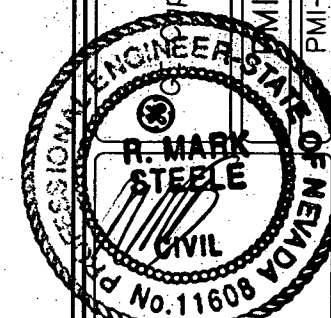
125 AMP 120/240 1 PHASE EXTERIOR SURFACE MOUNT PANEL W/ 125 amp MAIN BRKR											
DESCRIPTION	CIR	BRK	WS	A	B	WS	BRK	CIR	DESCRIPTION		
HVAC UNIT	1	60	#6	6360 900	#12	20		2	(5) RECEPTS		
	3	2	#6	6360 900	#12	20		4	(5) RECEPTS		
(2) LIGHTS, (2) EXT.	5		#12	347				6	SPACE		
(9) LIGHTS, (1) EMERG.	7		#12	1299				8	SPACE		
SPACE	9							10	SPACE		
SPACE	11							12	SPACE		
ELECTRICAL CALCULATIONS: PANEL 'C'											
GENERAL LIGHTING: 710 sq/ft x 3.5 x 1.25 = 3,106w											
(1) HVAC UNIT = 12,720w											
(10) RECPTS. = 1,800w											
17,626w ÷ 240v = 73 AMPS TOTAL											

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PHOENIX MODULAR

1635 S. 43rd Ave. #300
PHOENIX, AZ 85009
PHONE: (602) 442-9298

Modular Space



EXPIRES 6/30/06

STRUCTURAL
SHEET NUMBER
ONLY

DATE: 4/14/05

DRAWN: FRED R.

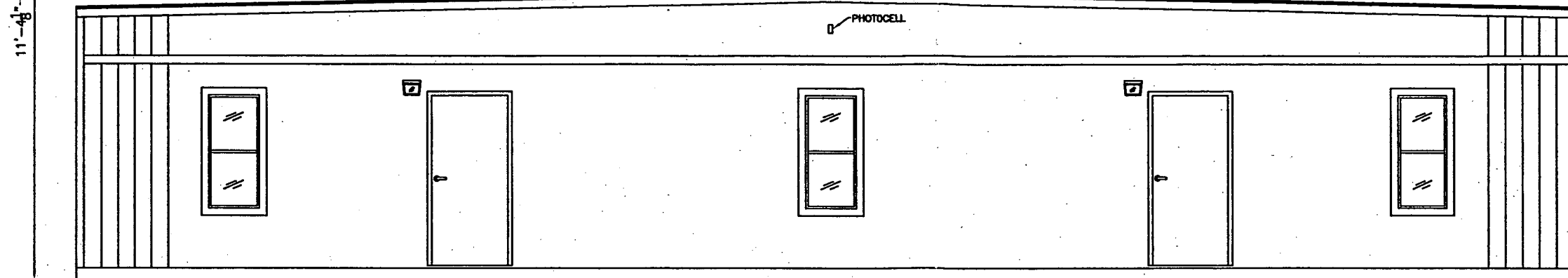
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PMI-GE-3660-01

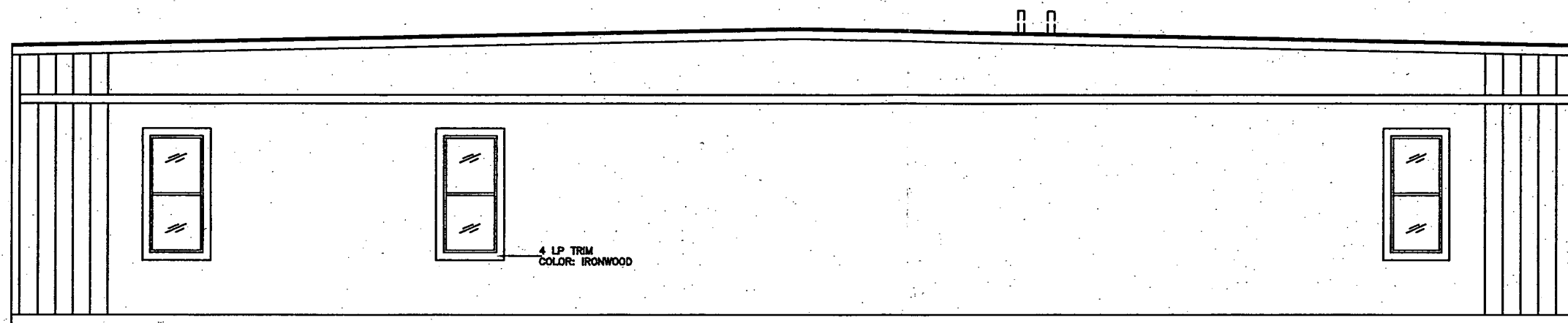
SDR-16959

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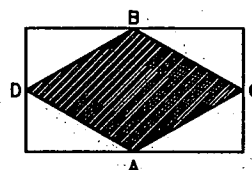
14'-2 1/8" TOTAL SHIPPING HGT.



ELEVATION 'A'

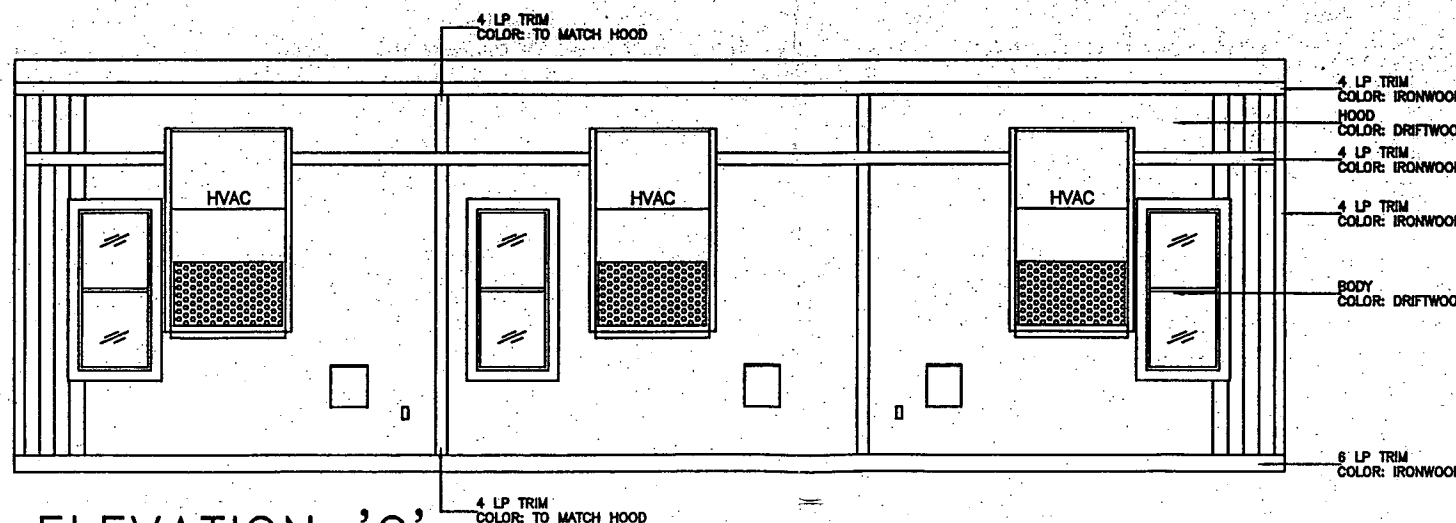


ELEVATION 'B'



SHIP LOOSE PLUMBING VENT

INSTALL DEALER DECALS



ELEVATION 'C'

APPROVED
NRS 461
FACTORY BUILT
HOUSING
STATE OF NEVADA

OCT 11 2005

BY Gary Chiller
Authorized Signature

APPROVED
NRS 461
FACTORY BUILT
HOUSING
STATE OF NEVADA

APR 26 2005

02837

BY Gary Chiller
Authorized Signature

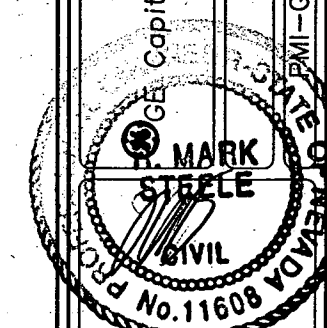
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PHOENIX MODULAR

1635 S. 43rd Ave. #300
PHOENIX, AZ 85009
PHONE: (602) 442-9298

Capital Modular Space
APR 18 2005



EXPIRES 6/30/06
STRUCTURAL
ENGINEER'S SEAL

SHEET NUMBER

5

CUSTOMER SIGN OFF AREA

☐ APPROVED WITHOUT MODIFICATION
☐ APPROVED WITH MODIFICATION

DATE:

SIGNATURE:

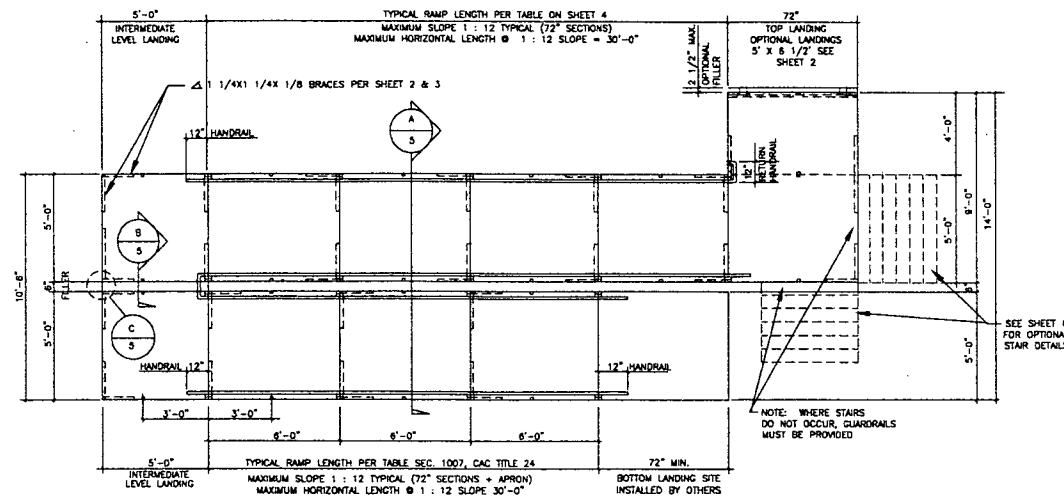
DATE: 4/14/05

SIGNATURE: FRED R.

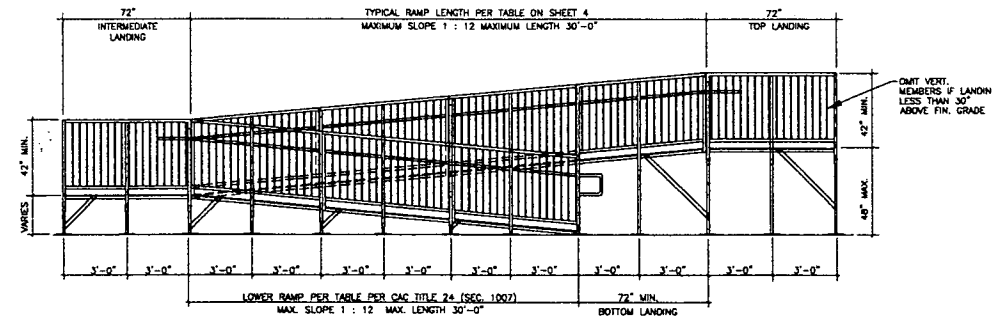
STATE OF NEVADA - GE-3660-01

SDR-16959

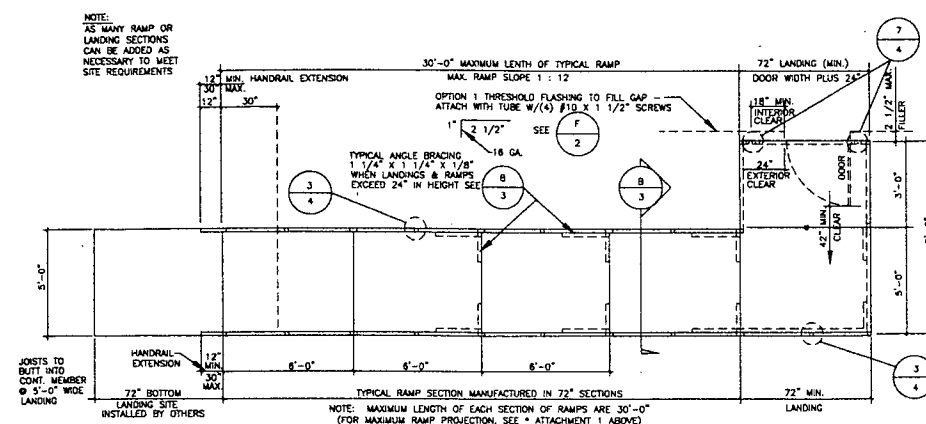
11/02/06 PC



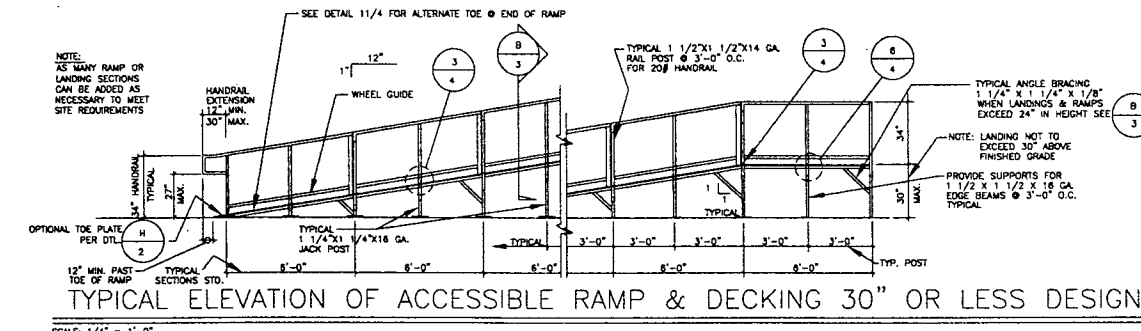
TYPICAL PLAN VIEW OF ACCESSIBLE RAMP WITH SWITCH-BACK & PLATFORMS
SCALE: 1/4" = 1'-0"



TYPICAL ELEVATION OF ACCESSIBLE RAMP W/SWITCH-BACK RAMP
W/ 5'-0" WIDE RAMPS
SCALE: 1/4" = 1'-0"

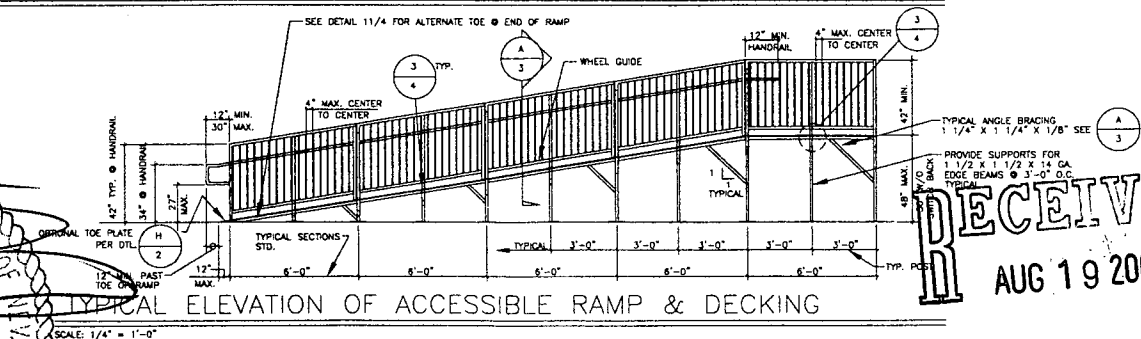


TYPICAL PLAN VIEW OF ACCESSIBLE RAMP & DECK LAYOUT
SCALE: 1/4" = 1'-0"

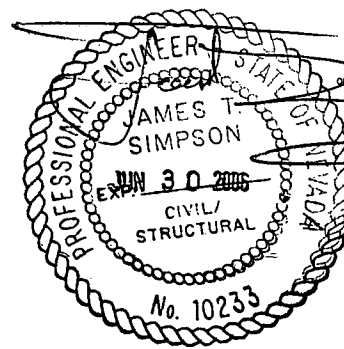


TYPICAL ELEVATION OF ACCESSIBLE RAMP & DECKING 30" OR LESS DESIGN
SCALE: 1/4" = 1'-0"

TYPICAL PLAN VIEW OF ACCESSIBLE RAMP & DECK LAYOUT OVER 30" DESIGN
SCALE: 1/4" = 1'-0"



TYPICAL ELEVATION OF ACCESSIBLE RAMP & DECKING
SCALE: 1/4" = 1'-0"



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MAR 27 2006

EX
STRUCTURAL ENGINEERS, INC.
821 EAST WHITTIER BOULEVARD
LA HABRA, CALIFORNIA 90631

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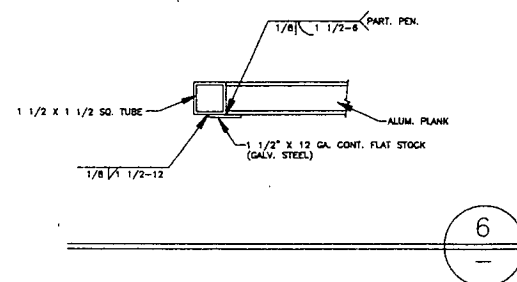
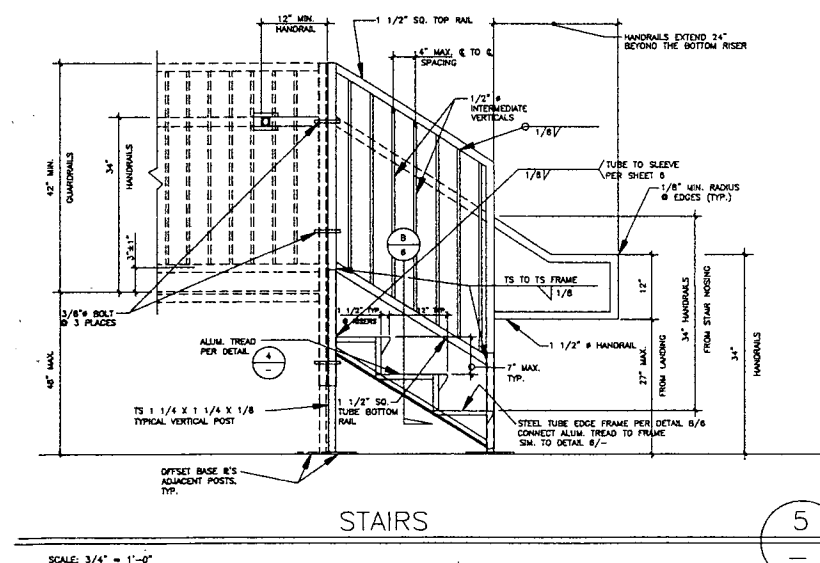
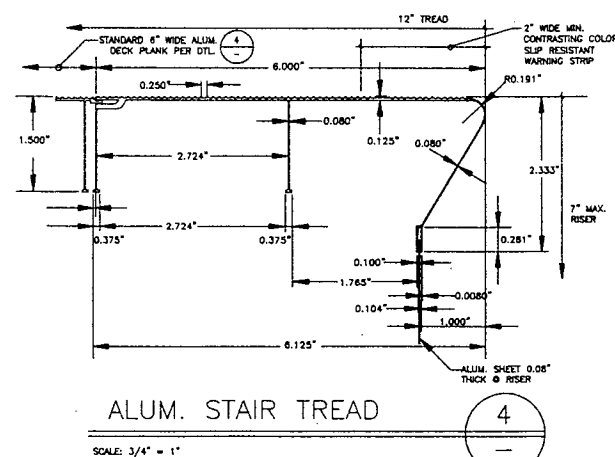
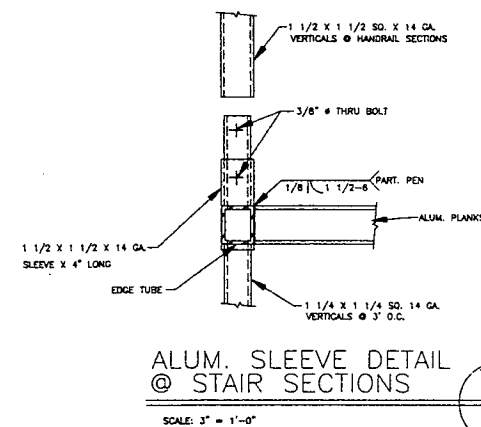
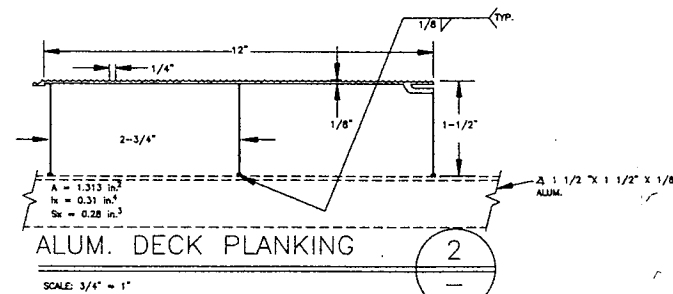
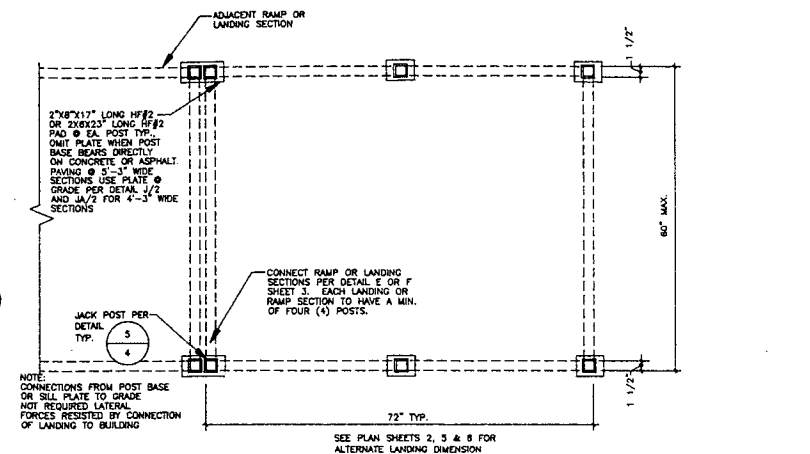
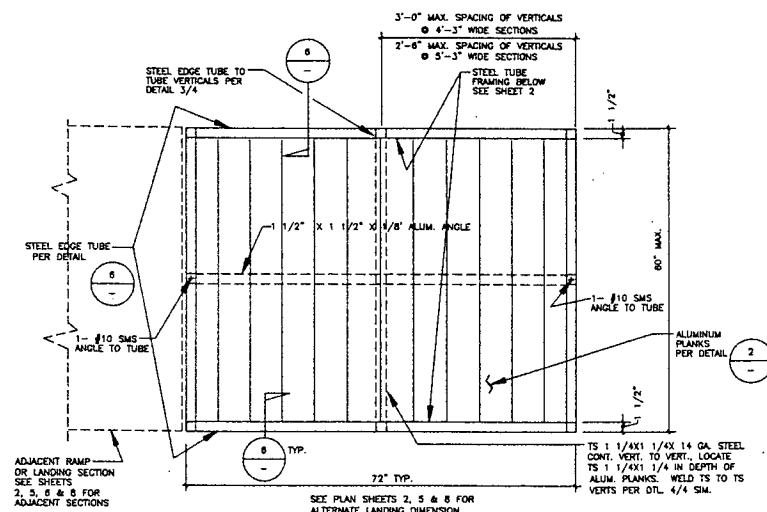
REVISIONS	BY

TMP SERVICES
425 S. Rancho Avenue
Colton, CA 92324
(909) 777-3140
FAX (909) 777-3149

ACCESSIBLE RAMP
ELEVATIONS &
DETAILS

SITE:
STATE OF NEVADA
SDR-16959
11/02/06 PC

DRAWN	
CHECKED	
DATE	2/4/04
SCALE	
JOB NO.	
OF	
SHEETS	



NOTES:

COOES:

2003 INTERNATIONAL BUILDING CODE (IBC)

DESIGN LOADS:

LIVE LOAD: 100 PSF

SEISMIC: ZONE 4

HANDRAIL & GUARD RAIL LOADS:

50#/FT.

200# POINT LOAD

MATERIAL SPECIFICATIONS:

ALUMINUM:

1 1/4X 1 1/4X 1/8 ANGLE	6063 T5
2"X1 1/2"X1/8" CHANNEL	6063 T5
DECK PLANKS	6063 T5
STAIR PLANKS	6063 T5

BOLTS: ALUMINUM 8081-T8, 2024-T6 OR 7075-T73, ALTERNATE USE TYPE 304 STAINLESS STEEL BOLTS.

WELDS: ALL WELDING SHALL CONFORM TO "AMERICAN WELDING SOCIETY D11-97" FOR ALUMINUM, ELECTRODES SHALL BE 5356 OR 5554 FOR 6063-T5 ALUMINUM & SHALL BE 5556 FOR 8081-T8 ALUMINUM.

SEE SHEET 4 FOR GENERAL NOTES.

[illegible]

TMP SERVICES
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Colton, CA 92324
(909) 777-3140
FAX (909) 777-3149

ACCESSIBLE RAMP
OPTIONAL ALUMINUM
DECK

SITE:
STATE OF NEVADA

SDR-16959

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MAR 27 2006

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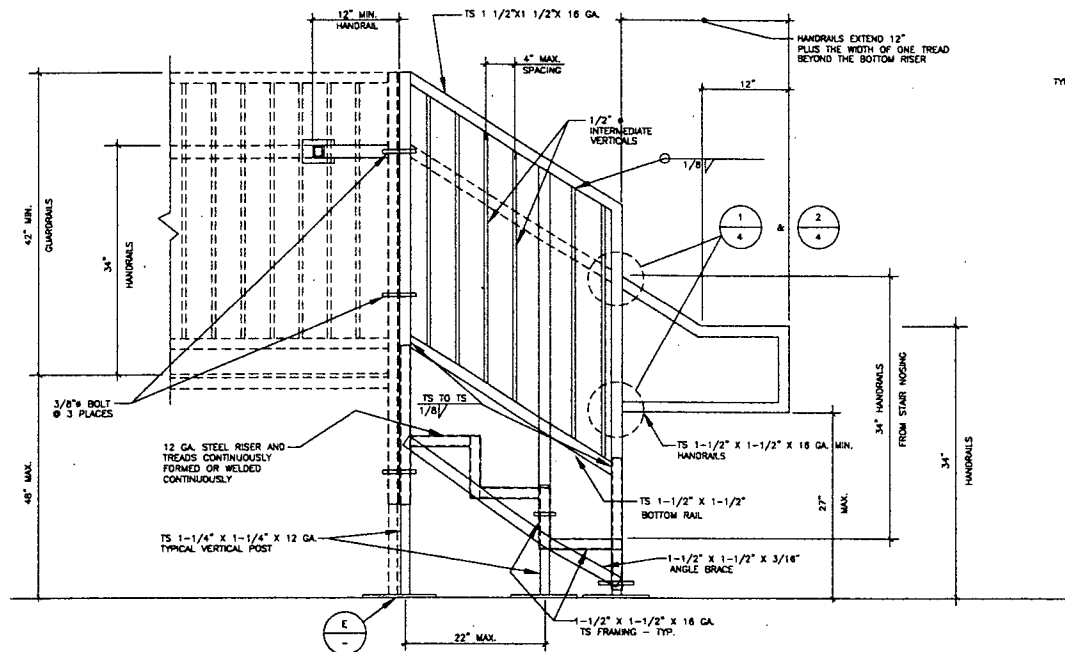


STRUCTURAL ENGINEERS, INC.
301 EAST HANCOCK ROAD SUITE 200
ANN ARBOR MI 48106-1500
(313) 763-1100

MEMBER
STRUCTURAL ENGINEERS
ASSOCIATION OF CALIFORNIA
AMERICAN CONCRETE
INSTITUTE

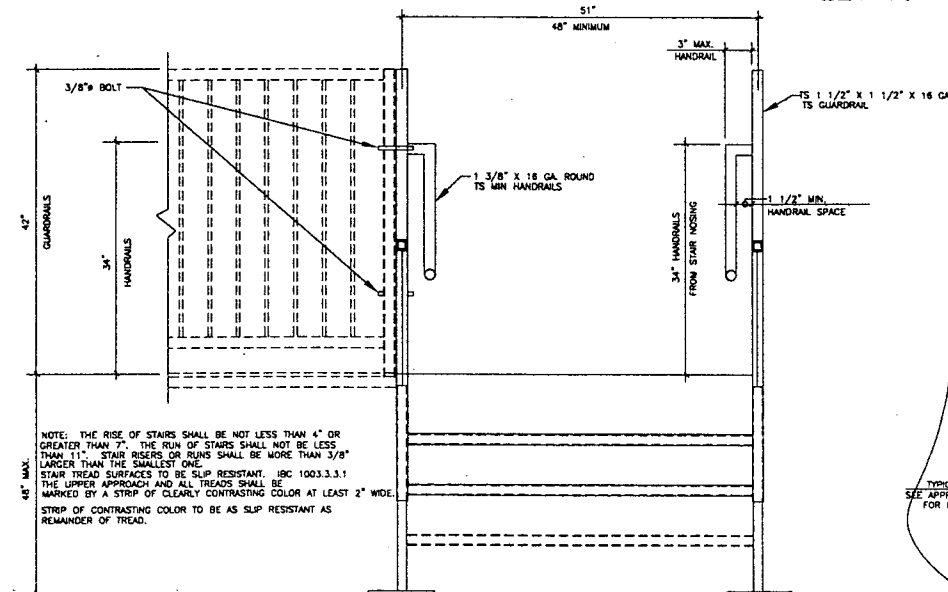
(562)897-7304
Fax(562)881-2020

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DATE 2/04/04
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JOB NO.
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OF SHEETS



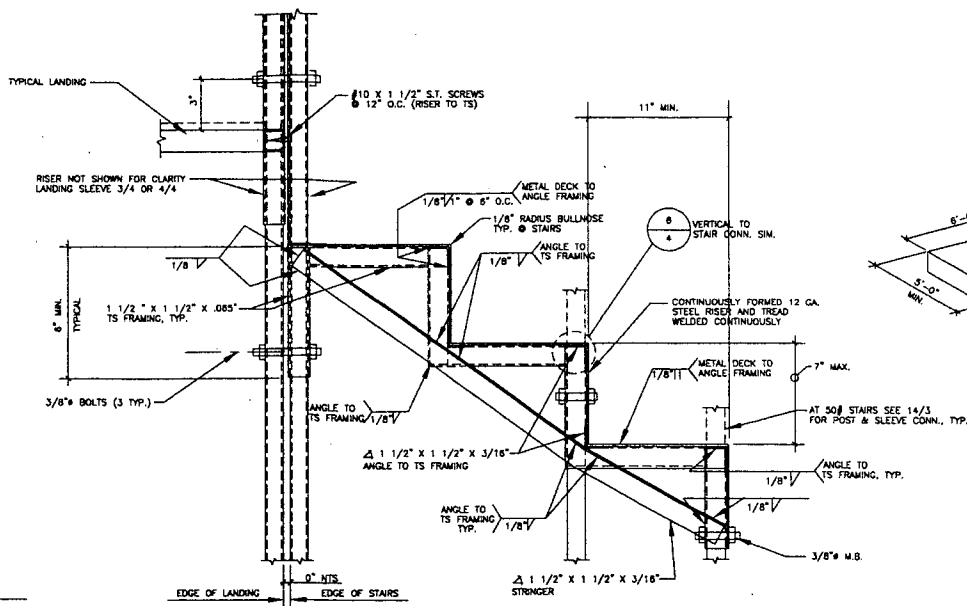
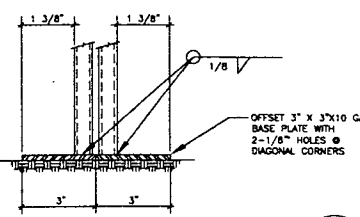
SIDE VIEW

SCALE: 1" = 1'-0"



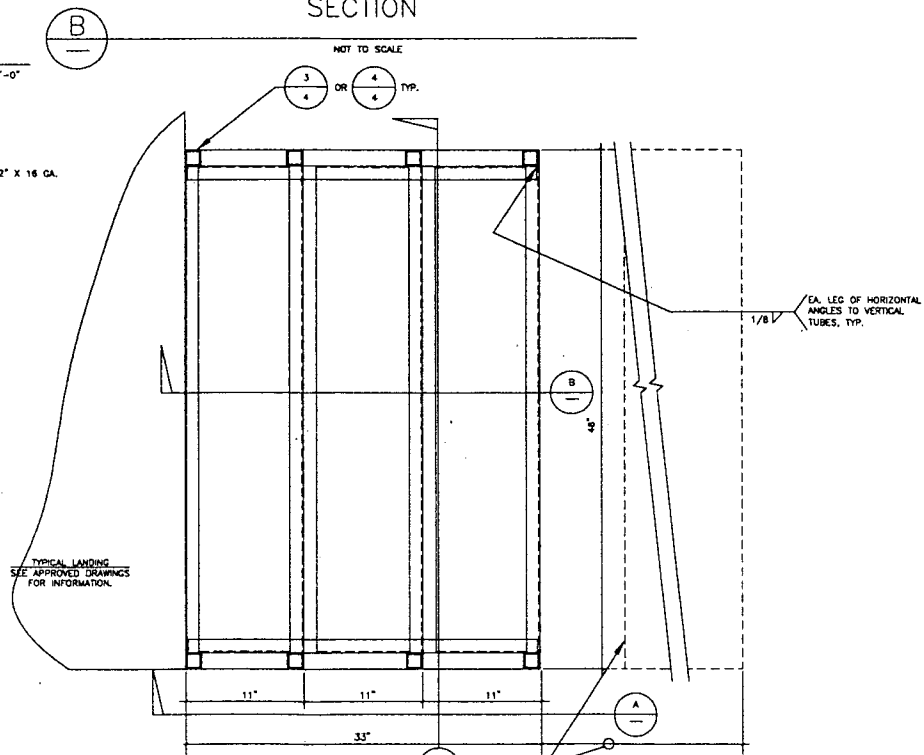
FRONT VIEW

SCALE: 1" = 1'-0"



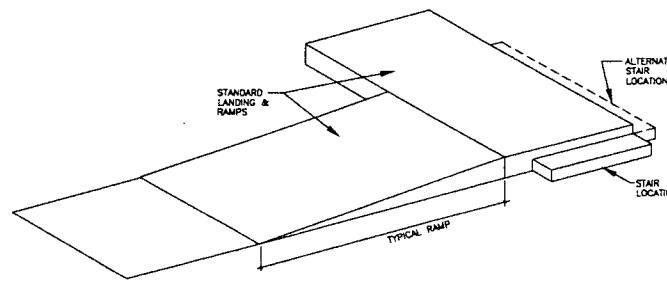
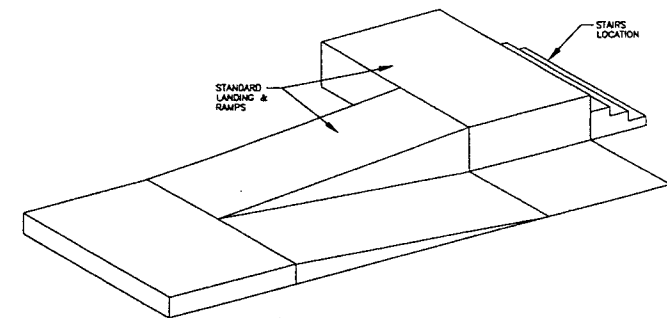
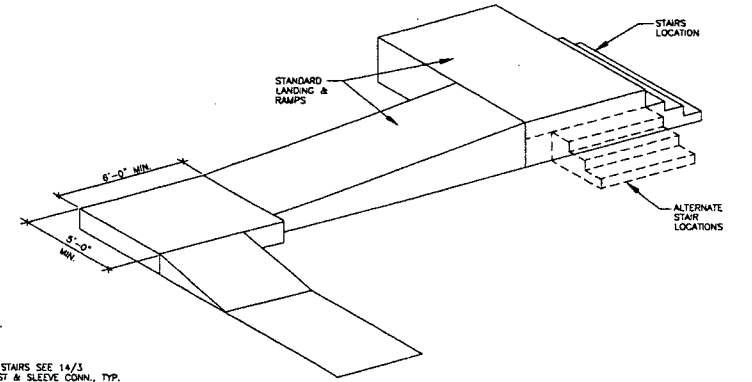
SECTION

NOT TO SCALE



PLAN VIEW

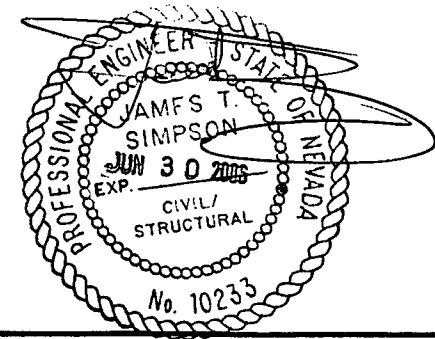
NOT TO SCALE



ALTERNATE STAIR CONFIGURATIONS

NOTE: PLANS ABOVE SHOW ALTERNATE CONFIGURATIONS ONLY. SEE PLANS & DETAILS ON SHEETS 2, 3, 4, 5, 6, 7 & 8 FOR REQUIREMENTS FOR HANDRAILS, RAMPS, LANDINGS, STAIRS

DATE SIGNED
MAR 27 2006



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EXL
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MEMBER
STRUCTURAL ENGINEERS
ASSOCIATION OF CALIFORNIA
AMERICAN CONCRETE
INSTITUTE
921 EAST WHITTIER BOULEVARD
LA HABRA, CALIFORNIA 90631
(562) 967-7304
Fax (562) 961-2020

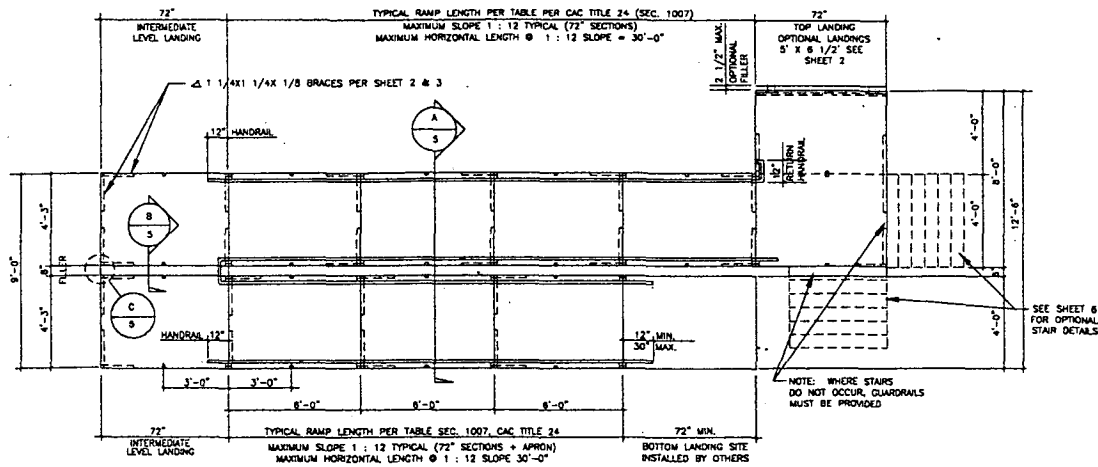
REVISIONS	BY

TMP SERVICES
425 S. Rancho Avenue
Torrance, CA 90504
(909) 777-3140
FAX (909) 777-3149

ACCESSIBLE RAMP
SWITCHBACK DETAILS

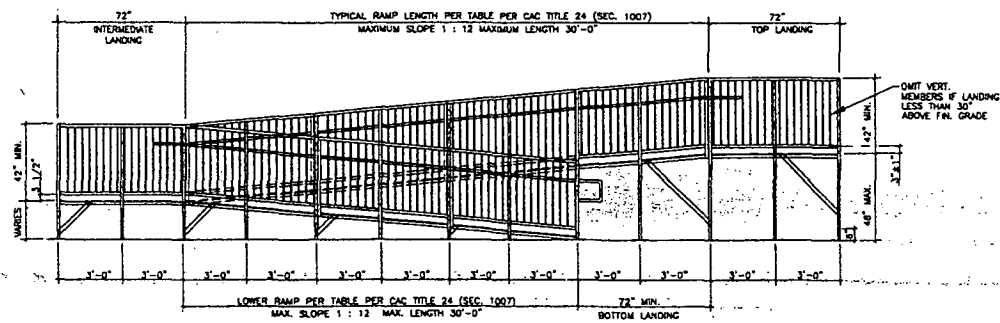
SITE:
STATE OF NEVADA
SDR-16959
11/02/06 PC

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SHEETS



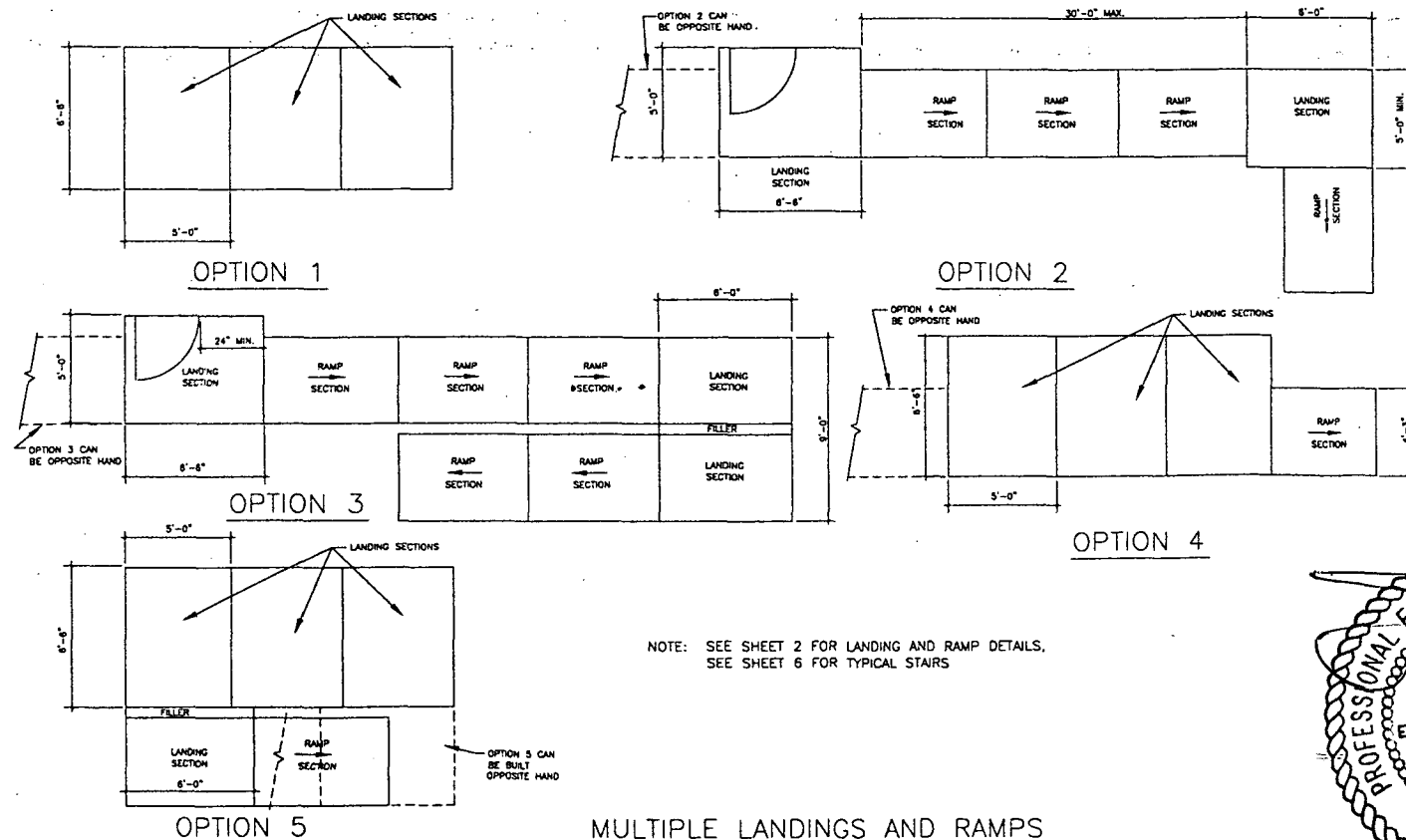
TYPICAL PLAN VIEW OF ACCESSIBLE RAMP WITH SWITCH-BACK & PLATFORMS

SCALE: 1/4\"/>



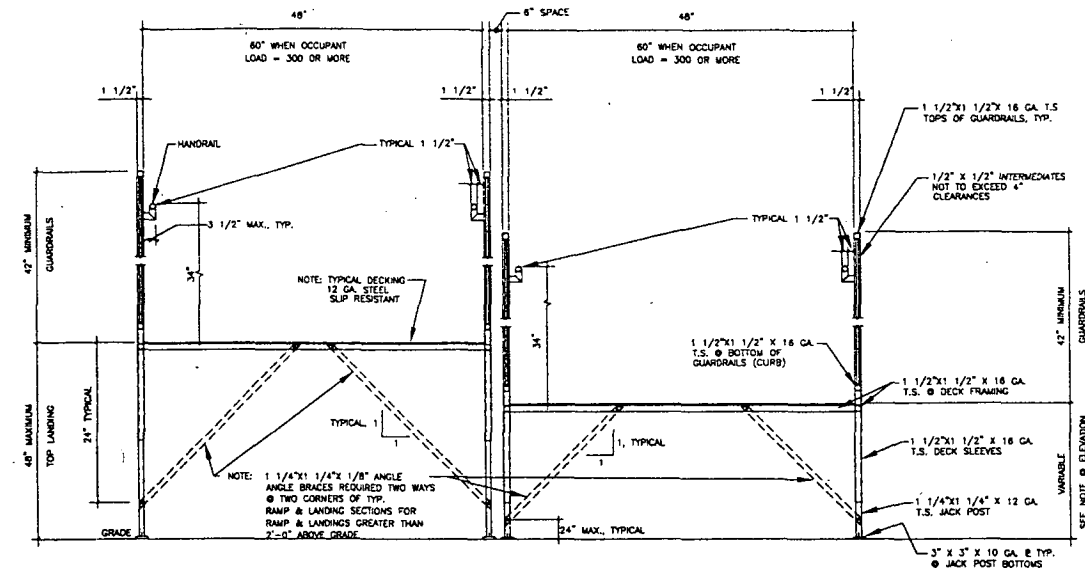
TYPICAL ELEVATION OF ACCESSIBLE RAMP W/SWITCH-BACK RAMP

SCALE: 1/4\"/>



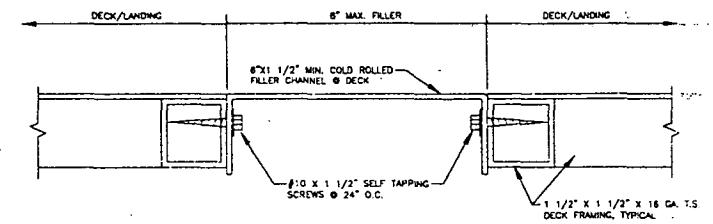
NOTE: SEE SHEET 2 FOR LANDING AND RAMP DETAILS, SEE SHEET 6 FOR TYPICAL STAIRS

MULTIPLE LANDINGS AND RAMPS



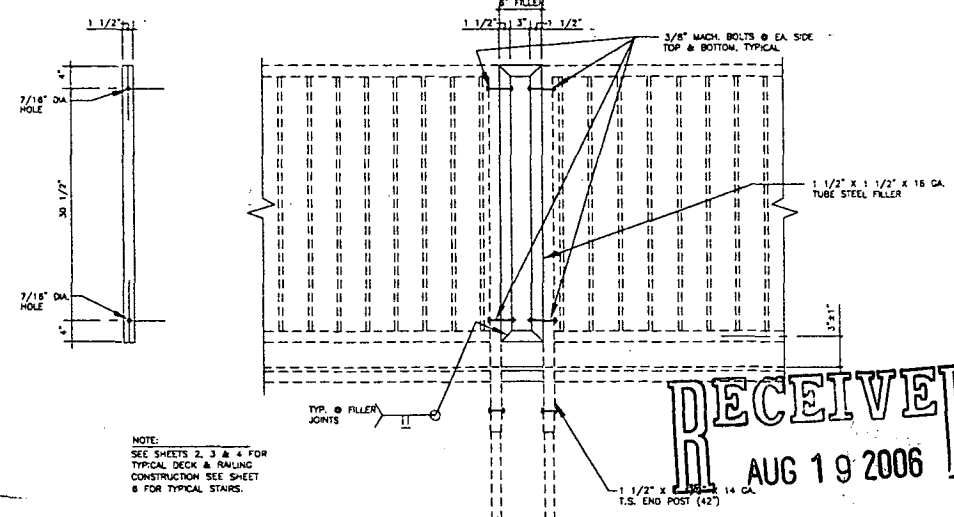
TYPICAL CROSS SECTIONS

SCALE: 1/4\"/>



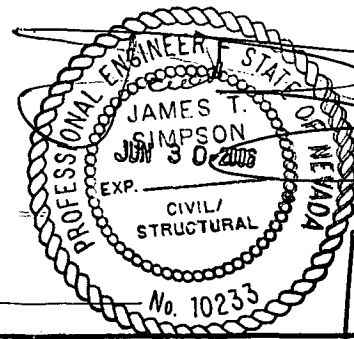
TYPICAL DECK CROSS SECTION

SCALE: 1/2\"/>



TYPICAL GUARDRAIL FILLER

SCALE: 3/4\"/>



DATE SIGNED
MAR 27 2006

EXL
STRUCTURAL ENGINEERS, INC.
MEMBER
STRUCTURAL ENGINEERS
ASSOCIATION OF CALIFORNIA
AMERICAN CONCRETE
INSTITUTE
921 EAST WHITTIER BOULEVARD
LA HABRA, CALIFORNIA 90631
(949) 887-7304
FAX (949) 887-7303

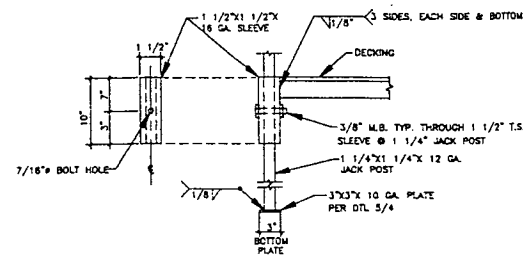
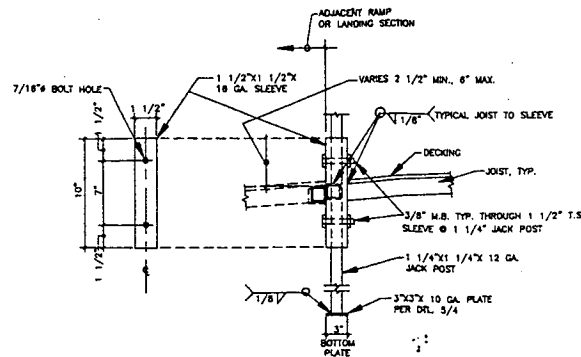
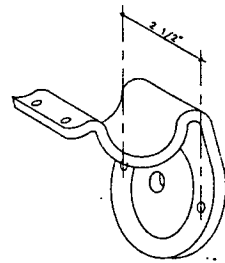
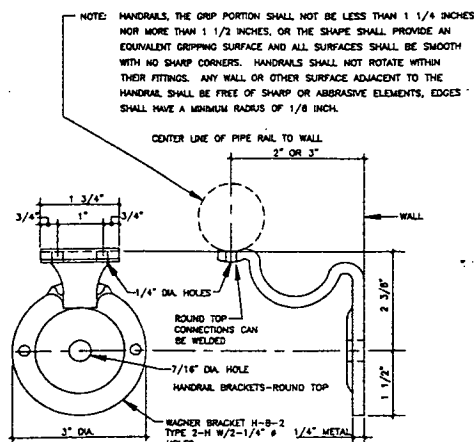
REVISIONS	BY

TMP SERVICES
425 S. Rancho Avenue
Colton, CA 92324
(909) 777-3140
FAX (909) 777-3149

ACCESSIBLE RAMP
SWITCHBACK DETAILS

SITE:
STATE OF NEVADA
SDR-16959
11/02/06 PC

DRAWN	
CHECKED	
DATE	2/4/04
SCALE	
JOB NO.	
5	
OF	SHEETS



NOTES:
 CODES:
 2003 INTERNATIONAL BUILDING CODE (IBC)
 DESIGN LOADS:
 LIVE LOAD: 100 PSF
 SEISMIC: ZONE 4
 HANDRAIL & GUARD RAIL LOADS:
 50#/FT.
 200# POINT LOAD

MATERIAL SPECIFICATIONS:
 STEEL: TUBE STEEL ASTM A500 GRADE A (F_y = 38KSI; FOR SHAPED TUBING & F_y = 33 KSI FOR ROUND TUBING)
 ALL STEEL TO BE COATED WITH A RUST INHIBITIVE COATING
 BOLTS: ASTM A307
 PLYWOOD OPTION: APA RATED STRUCT 1 EXTERIOR PLYWOOD
 WELDS: ALL WELDING SHALL CONFORM TO "AMERICAN WELDING SOCIETY D-1. 3-81 FOR SHEET STEEL"
 ELECTRODES SHALL BE E70XX.

GENERAL NOTES:
 1) RAMP HAVING SLOPES STEEPER THAN 1 VERTICAL TO 20 HORIZONTAL SHALL HAVE LANDINGS AT TOP AND BOTTOM AND AT LEAST ONE INTERMEDIATE LANDING SHALL BE PROVIDED FOR EACH 30' OF RISE. PER IBC SECTION 1010.4.
 2) LOCATION OF LANDINGS:
 LANDINGS SHALL BE PROVIDED AT TOP AND BOTTOM OF EACH RAMP. INTERMEDIATE LANDINGS SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING 30 INCHES OF VERTICAL RISE AND AT EACH CHANGE OF DIRECTION. LANDINGS ARE NOT CONSIDERED IN DETERMINING THE MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP.

NOTE: EXAMPLES OF RAMP DIMENSIONS ARE:

SLOPE	MAX. RISE (INCHES)	MAX. HORIZONTAL PROJECTION
1:12	30	30'-0"
1:18	30	40'-0"
1:20	30	50'-0"
1:15	30	37'-8"

2. SIZE OF TOP LANDINGS. TOP LANDINGS SHALL NOT BE LESS THAN 60 INCHES WIDE AND SHALL HAVE A LENGTH OF NOT LESS THAN 60 INCHES IN THE DIRECTION OF RAMP RUN.

3) DOORS IN ANY POSITION SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE LANDING TO LESS THAN 42" AND SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 7" WHEN FULLY OPENED. IBC 1008.1.5.

4) RAMP SHALL BE CONSTRUCTED AS REQUIRED FOR STAIRWAYS.

5) THE SURFACE OF RAMP SHALL BE ROUGHED OR SHALL BE OF SLIP-RESISTANT MATERIAL.

6) RAMP REQUIREMENTS SHALL BE PER IBC CHAPTERS 10 AND 11.

7) RAMP AND STAIRWAYS USED AS EXIT SHALL CONFORM TO IBC SEC. 1009. SEC. 1009.4 AND CHAPTER 11.

8) HANDRAILS AND GUARDRAILS SHALL CONFORM TO IBC SEC. 1009.11 AND SEC. 1010.8.

HANDRAIL POSTS FOR 50#/FT. LOADING:

1) 1 1/2" X 1 1/2" X 14 GA. & 1 1/4" X 1 1/4" X 12 GA. TUBES SHALL CONFORM TO ASTM A500.

9) RAMP SHALL CONFORM TO IBC SEC. 1010.

10) STRIKE EDGE EXTENSION THE WIDTH OF THE LANDING SHALL EXTEND 24" PAST THE STRIKE EDGE OF ANY DOOR OR GATE FOR EXTERIOR RAMP AND 18" PAST THE STRIKE EDGE FOR INTERIOR RAMP.

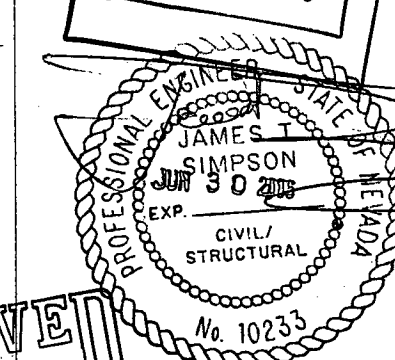
11) LANDING WIDTH. AT BOTTOM AND INTERMEDIATE LANDINGS THE WIDTH SHALL BE AT LEAST THE SAME AS REQUIRED FOR RAMP.

12) THE WIDTH OF RAMP SHALL BE AS REQUIRED PER SCAFFOLDING AND EXITS.

PARTIAL LIST OF APPLICABLE STANDARDS:

NFPA 12, 1999 EDITION, THE INSTALLATION OF AUTOMATIC SPRINKLER SYSTEMS
 NFPA 14, 2000 EDITION, INSTALLATION OF STAIRPIPE, PHASE INSTANT AND HOSE SYSTEMS
 NFPA 24, 1995 EDITION, INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES
 NFPA 72, 1999 EDITION, NATIONAL FIRE ALARM CODE

DATE SIGNED
 MAR 27 2006



RECEIVED
 AUG 19 2006

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 STRUCTURAL ENGINEERS, INC.
 821 EAST WHITTIER BOULEVARD
 LA HABRA, CALIFORNIA 90631
 (949) 981-7304
 FAX (949) 981-2050

MEMBER
 STRUCTURAL ENGINEERS
 ASSOCIATION OF CALIFORNIA
 AMERICAN CONCRETE
 INSTITUTE

REVISIONS	BY

TMP SERVICES
 425 S. Rancho Avenue
 Colton, CA 92324

DETAILS
 AND NOTES

SITE:
 STATE OF NEVADA
 SDR-16959
 11/02/06 PC

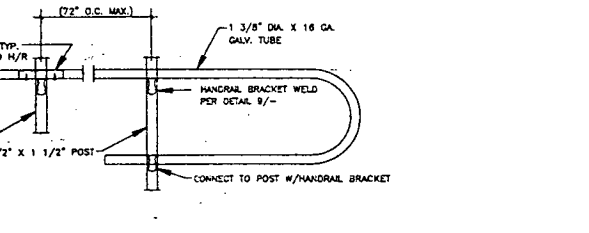
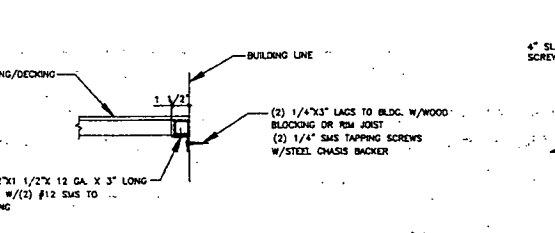
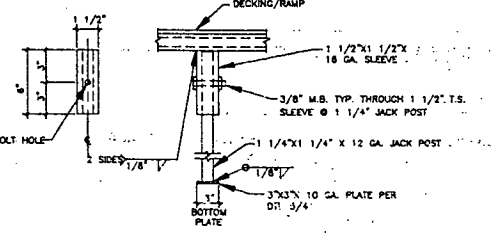
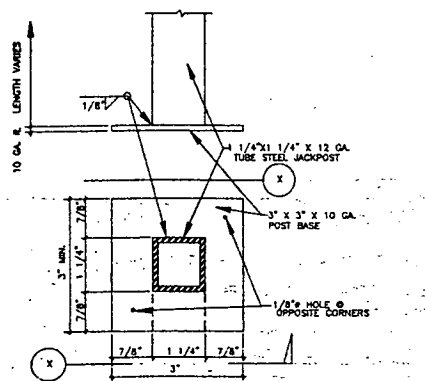
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CHECKED	
DATE	2/04/04
SCALE	
JOB NO.	
	4
OF	SHEETS

1
 4 TYPICAL HANDRAIL ARMS

2
 4 HANDRAIL TO HANDRAIL ARMS

3
 4 RAMP POST SLEEVES 1 1/2" T.S.

4
 4 LANDING POST SLEEVES 1 1/2" T.S.



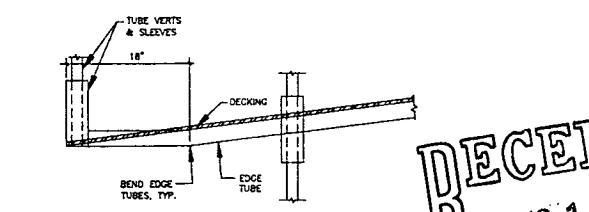
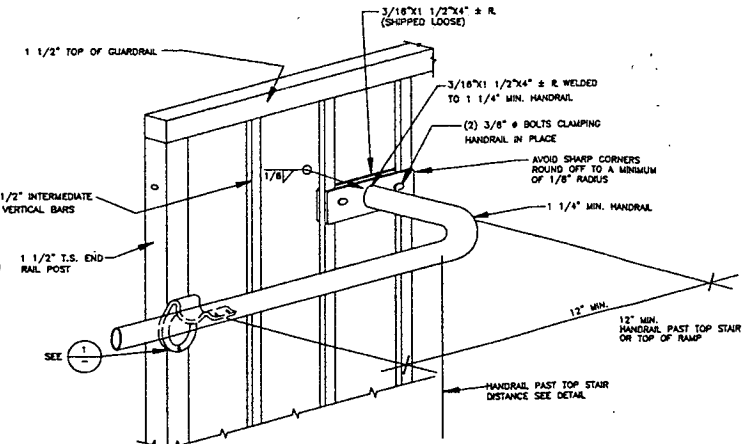
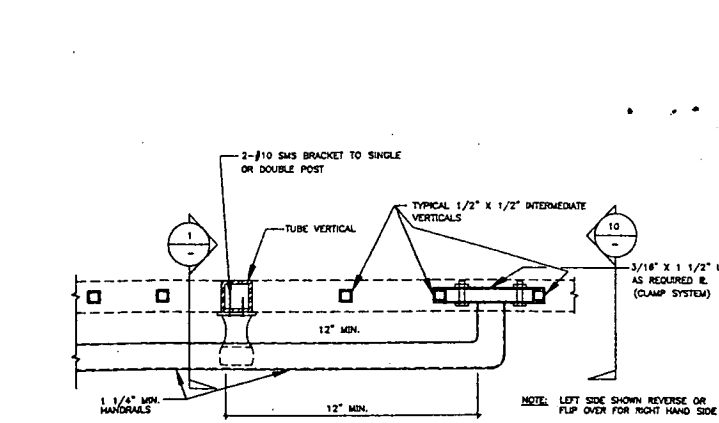
5
 4 POST BASE

6
 4 MID SPAN POST

7
 4 LANDING TO BUILDING

8
 4 TYPICAL HANDRAIL DETAIL

NOTE: DECK SECTIONS ARE FREE
 STANDING FOR VERTICAL
 LOADS.

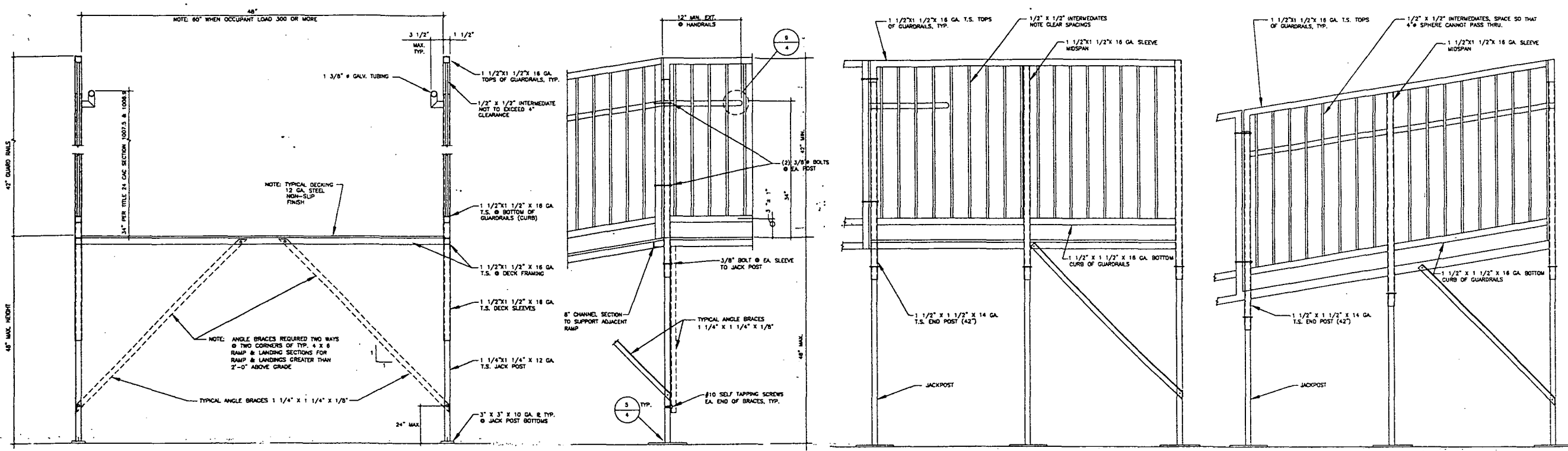


9
 4 TYPICAL HANDRAIL DETAIL @ TOP OF STAIRS
 OR RAMPS

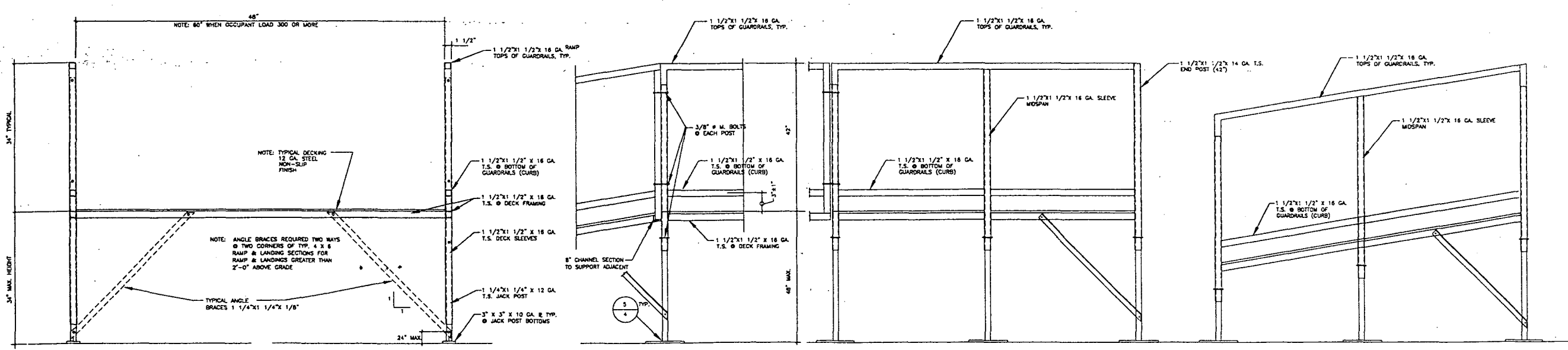
10
 4 ISOMETRIC VIEW

11
 4 ALTERNATE TOE @ END OF RAMP

TMP SERVICES MEMORANDUM



(A) TYPICAL CROSS SECTIONS, +30" **(C)** POST SECTION +30" **(E)** LANDING RAIL LAYOUT +30" **(G)** RAMP RAILING LAYOUT +30"



(B) TYPICAL CROSS SECTIONS -30" **(D)** POST SECTION -30" **(F)** LANDING RAIL LAYOUT -30" **(H)** RAMP RAILING LAYOUT -30"

PROFESSIONAL ENGINEER - STATE OF NEVADA
 JAMES T. SIMPSON
 JUN 30 2006
 CIVIL/STRUCTURAL
 No. 10233

DATE SIGNED
 MAR 27 2006

EXL
 STRUCTURAL ENGINEERS, INC.
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 425 S. RANCHO AVENUE
 COLTON, CA 92324
 (909) 777-3140
 FAX (909) 777-3149

ACCESSIBLE RAMP
 DETAILS & NOTES

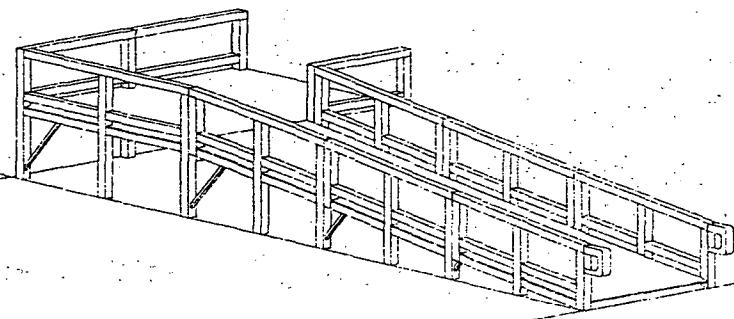
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SCALE	
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OF	SHEETS

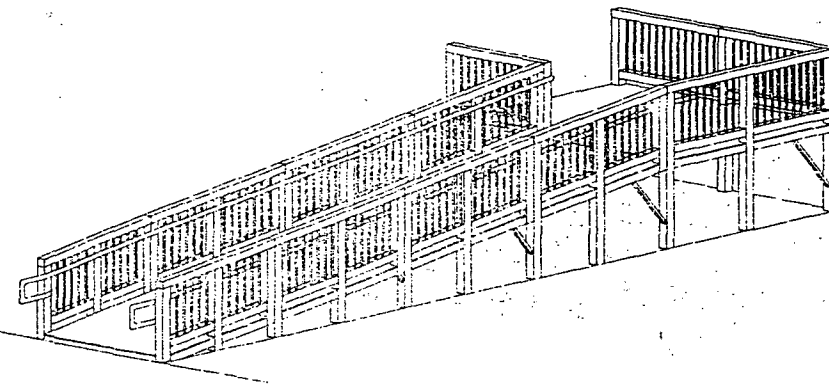
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TMP SERVICES

425 S. Rancho Avenue
Colton, CA 92324
(909) 777-3140 FAX (909) 777-3149



OPTION FOR 30" OR LESS GRADE DESIGN



OPTION FOR OVER 30" GRADE DESIGN

ACCESSIBLE RAMPS/LANDINGS/STAIRS

STATE OF NEVADA

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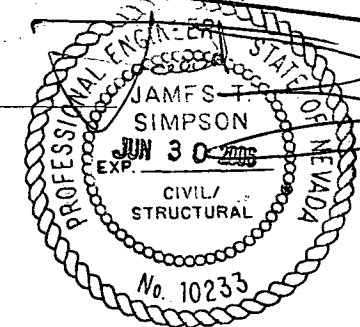


TABLE OF CONTENTS			
Sheet No.	Description	Dated	Revised
1	TITLE SHEET	2/04/04	
2	RAMP/LANDING PLAN & NOTES	2/04/04	
3	SECTIONS & ELEVATIONS	2/04/04	
4	DETAILS & NOTES	2/04/04	
5	SWITCH-BACK DETAILS	2/04/04	
6	STAIRS	2/04/04	
7	OPTIONAL ALUMINUM DECK	2/04/04	
8	OPTIONAL 5'-0" WIDE RAMPS	2/04/04	

EXL
STRUCTURAL ENGINEERS, INC.

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AMERICAN CONCRETE
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Fax (949) 991-2070

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Colton, CA 92324

COVER SHEET

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JOB NO.

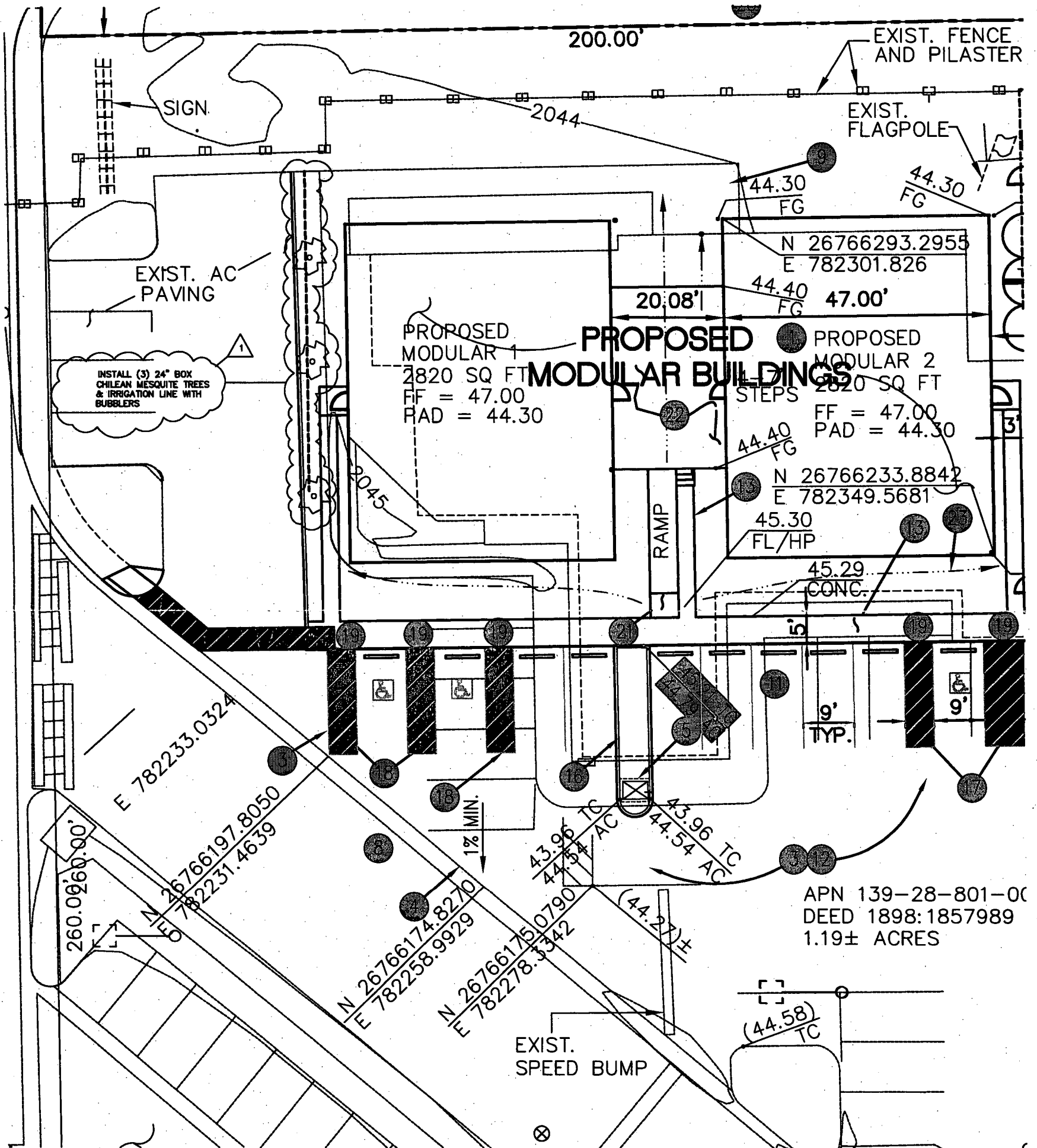
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OF SHEETS

Plans (PMT)



PLANS - PMT

Separator Sheet

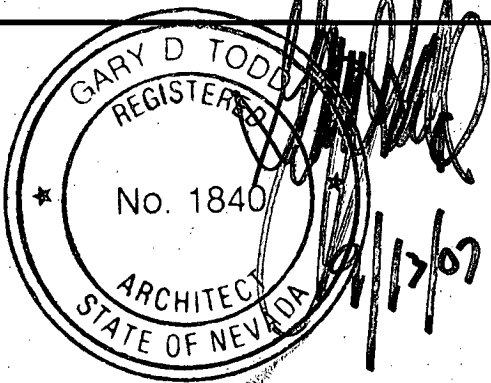


DELTA 1 TREES ADDED



4019 North 44th Street
Phoenix, Arizona 85018
PHONE (602) 952-8280
FAX (602) 952-8995

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Supplemental Planting plan west modular bldg trees

Project: Replcmnt Bldg's. L. V. Review Journal
Proj. No.: 06-7002-02
Issued For: Supplemental Drawing

Scale: no scale

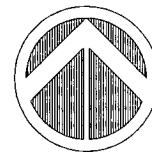
919 W. Bonanza Rd
Drawn By: teh
Ref. Dwg.: utility plan

Rev. Date: Description:

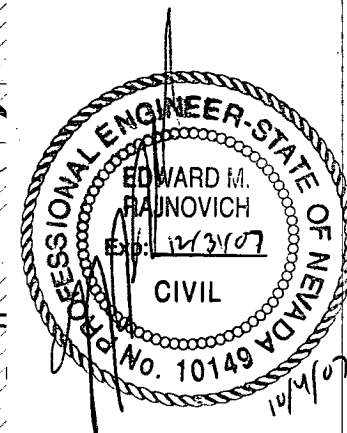
1 09-13-07 added trees

SD-L-1

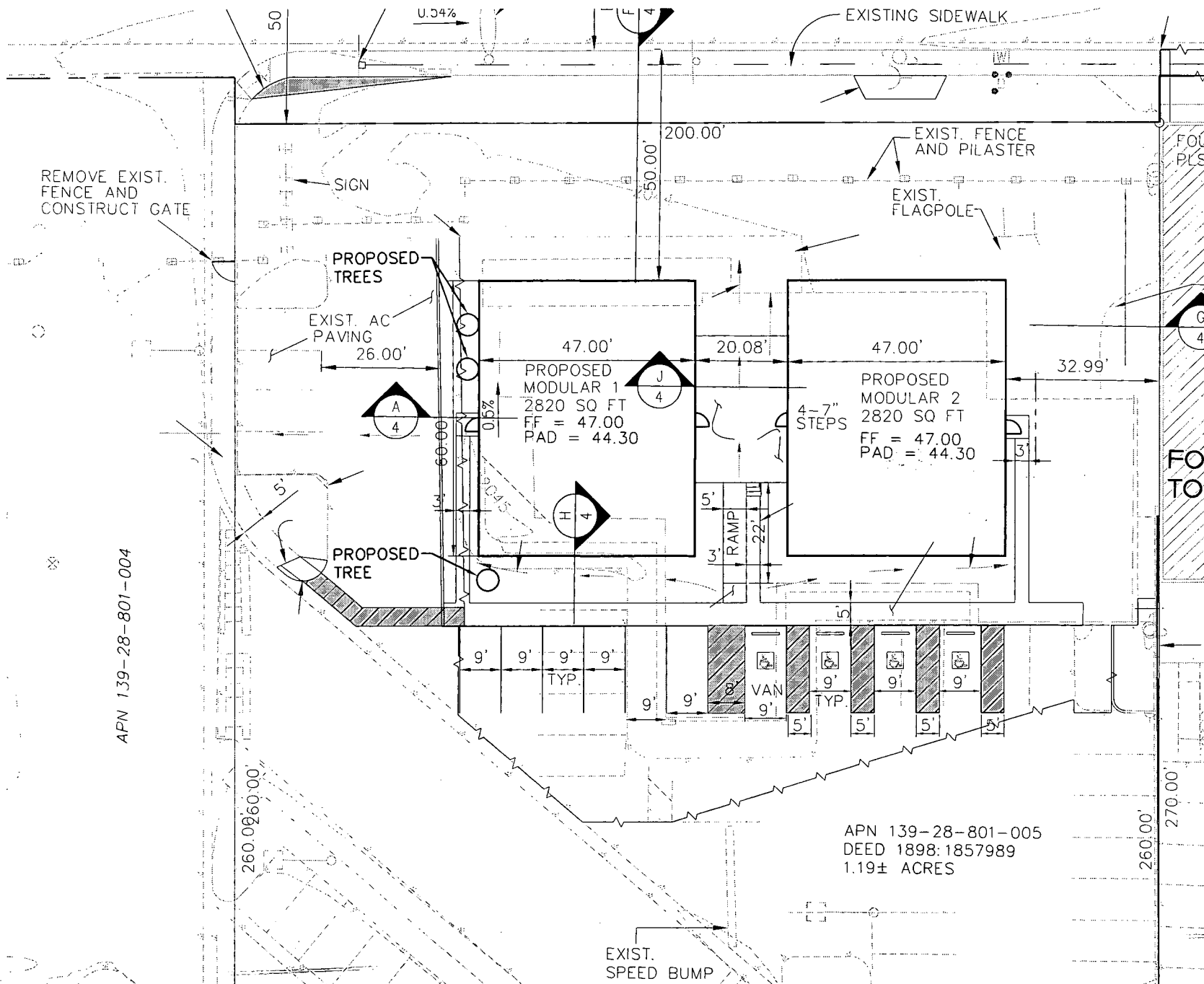
PROPOSED HANDICAP SPACE REVISION



SCALE 1" = 30'



SOUTHWEST
 3610 North Rancho Drive
 Las Vegas, Nevada 89130
 Telephone: (702) 648-9700
 fax: (702) 648-4143
 LAND PLANNING
 MAPPING
 DEVELOPMENT



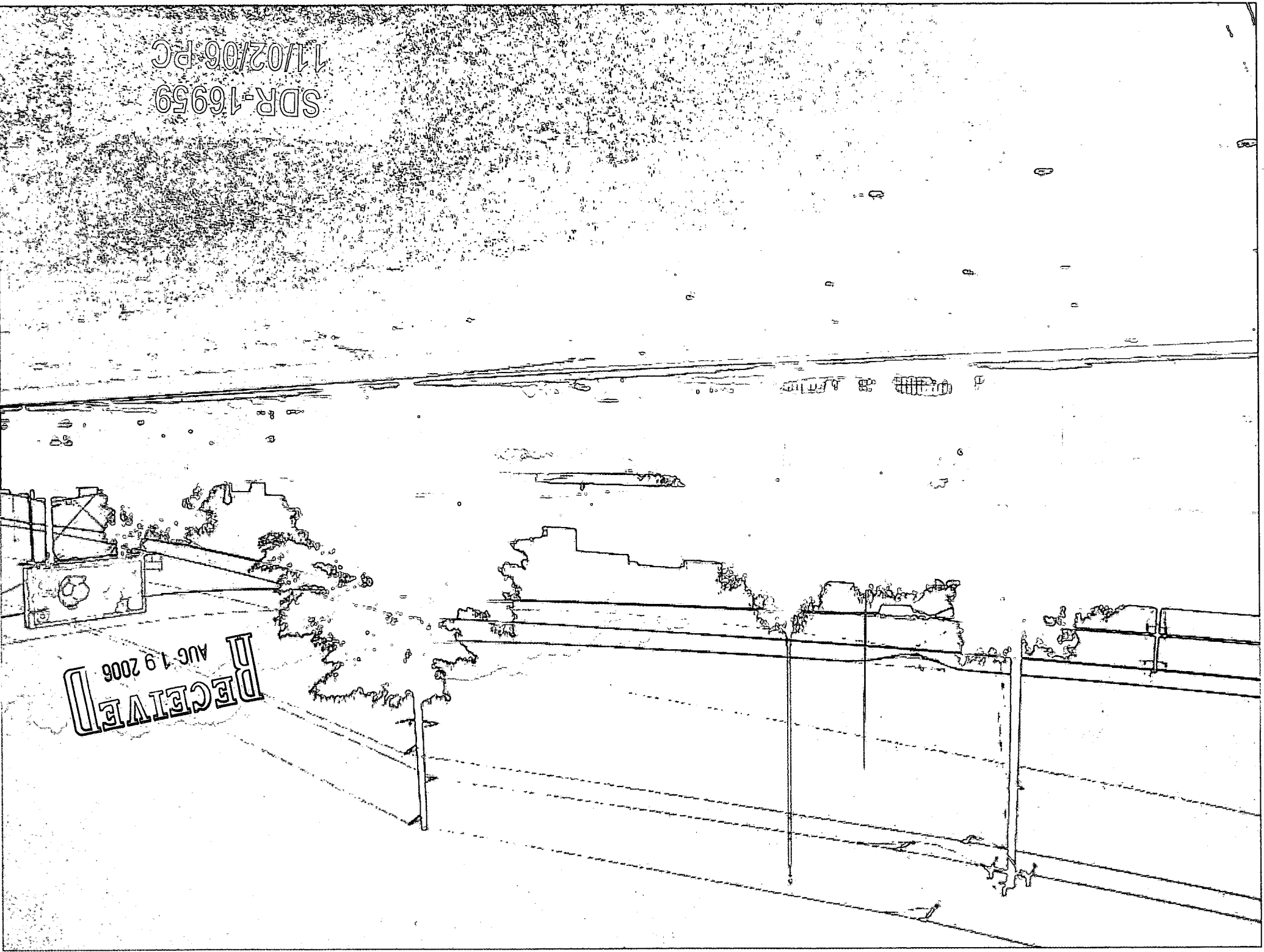
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LVRS MODULAR REPLACEMENTS

10/04/07

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