

# Plans (PMT)

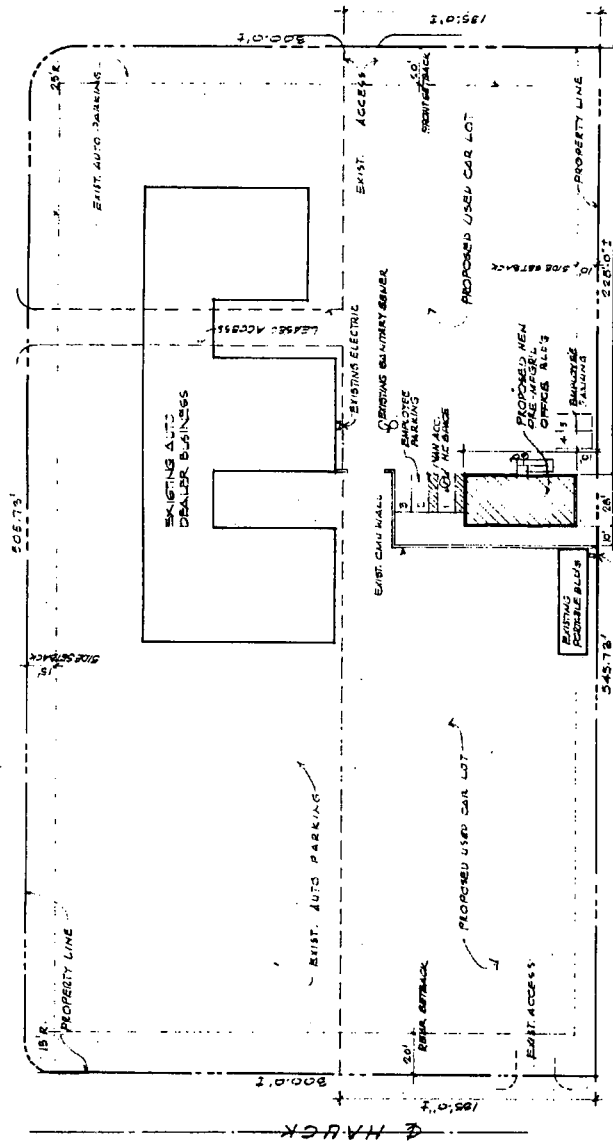
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Separator Sheet

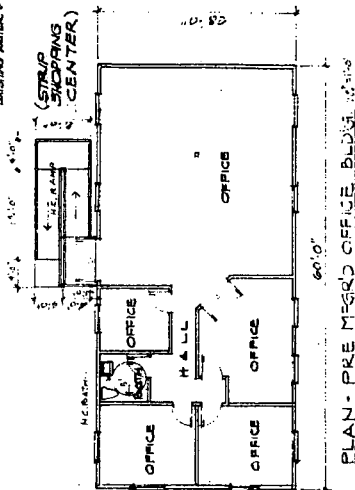
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ET PARQUE

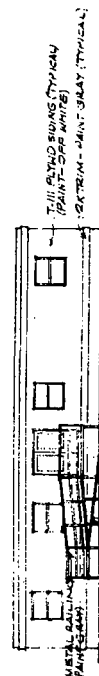


SITE PLAN 1" = 30'0"

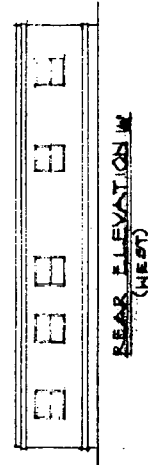
PARKING REQUIRED : 56100 ÷ 600 = 93.6 (4) SPACES  
PARKING PROVIDED : 5 SPACES



FRONT ELEVATION 18  
(EAST)



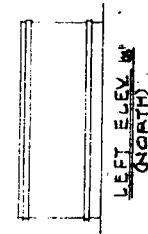
二



REAR ELEVATION W  
(WEST)



(HUNG)  
RIGHT ELEV. 1st



LEFT ELEV 84  
(NORTH)

RECEIVED  
NOV 20 2006

NOV 20 2006



RECEIVED

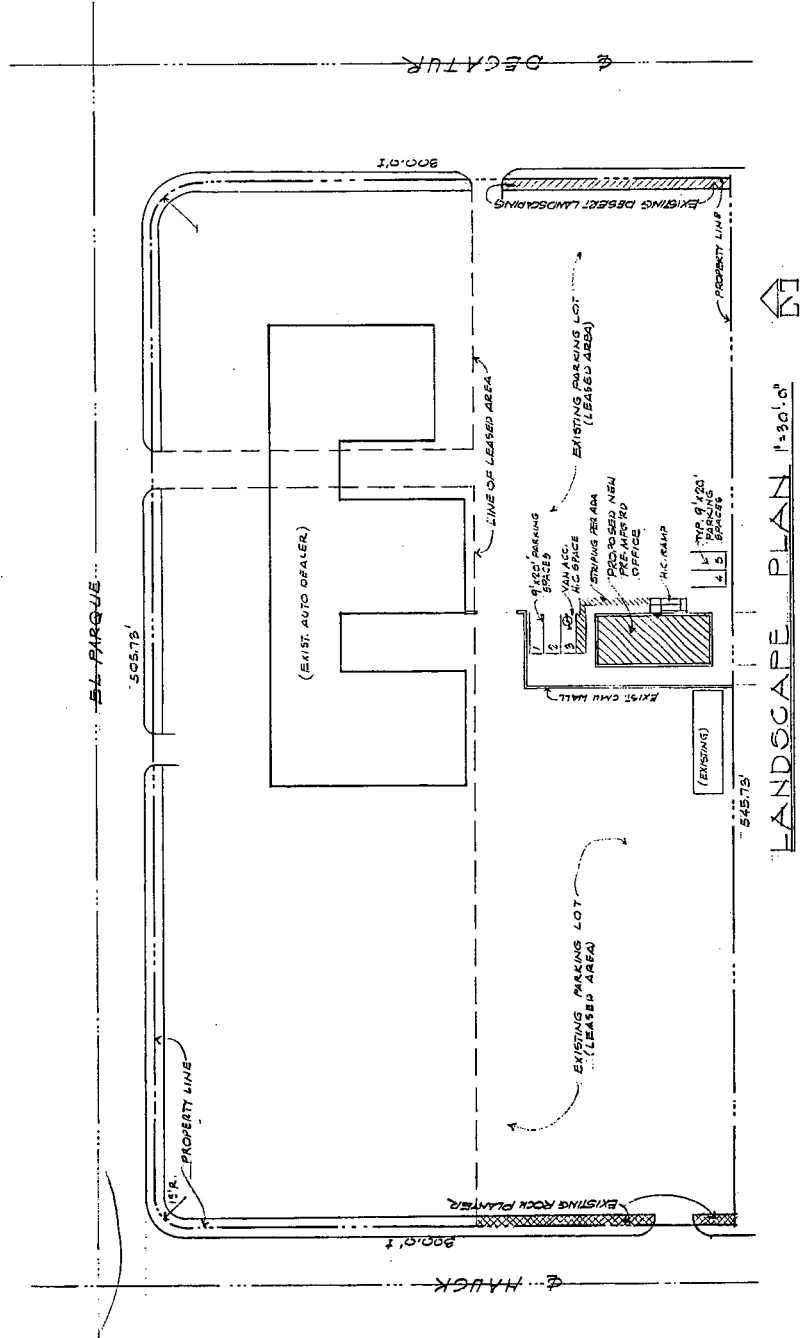
**SDR-18034 SUP-18037**  
**REVISED 12/21/06 PC**

STEVE HISKIN, ARCHITECT, INC.  
3305 SPRING MT. RD., #32  
LAS VEGAS, NV 89102 ph. 227-6498

DECLARACIÓN DE LA PRESENTACIÓN  
LAS VEGAS, CLARK CO., NV.

FLOOR PLAN  
BUILDING ELEVATIONS

REVISED



# Comments

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Separator Sheet

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# Memorandum

City of Las Vegas  
Department of Public Works  
Development Coordination

**To:** Department of Planning and Development  
**From:** Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*  
**CC:** Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekkki, Survey (FM, PM, & A's only)  
**Date:** December 1, 2006  
**Re:** **SDR-18034** Carollo's Tropicana Motors, Inc. 2025 South Decatur Boulevard  
Request for a Site Development Plan Review for a modular office building

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## CONDITIONS OF APPROVAL:

1. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
2. Coordinate with the City Engineer's Office regarding the Decatur Boulevard project to determine impacts to this site, if any, prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first.
3. The driveway located adjacent to Decatur Boulevard shall be designed, located and constructed in accordance with Standard Drawing #222a.
4. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
5. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans, the issuance of any building or grading permits or the submittal of a map for this site, whichever may occur first. Provide and improve all drainage ways as recommended.

# APN Map

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5

## Separator Sheet

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# Deed

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# Separator Sheet

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**EP DECATUR, LP**

|                                    |                              |                       |                        |
|------------------------------------|------------------------------|-----------------------|------------------------|
| <b>Business Entity Information</b> |                              |                       |                        |
| Status:                            | Active                       | File Date:            | 10/25/2005 11:14:04 AM |
| Type:                              | Domestic Limited Partnership | Corp Number:          | E0723102005-5          |
| Qualifying State:                  | NV                           | List of Officers Due: | 10/31/2007             |
| Managed By:                        |                              | Expiration Date:      | 12/31/2035             |

|                                   |                            |                    |                        |
|-----------------------------------|----------------------------|--------------------|------------------------|
| <b>Resident Agent Information</b> |                            |                    |                        |
| Name:                             | FLANGAS MCMILLAN LAW GROUP | Address 1:         | 3275 SOUTH JONES BLVD. |
| Address 2:                        | SUITE 105                  | City:              | LAS VEGAS              |
| State:                            | NV                         | Zip Code:          | 89146                  |
| Phone:                            |                            | Fax:               |                        |
| Email:                            |                            | Mailing Address 1: |                        |
| Mailing Address 2:                |                            | Mailing City:      |                        |
| Mailing State:                    |                            | Mailing Zip Code:  |                        |

|                                                |   |                 |      |
|------------------------------------------------|---|-----------------|------|
| <b>Financial Information</b>                   |   |                 |      |
| No Par Share Count:                            | 0 | Capital Amount: | \$ 0 |
| <b>No stock records found for this company</b> |   |                 |      |

|                                           |                        |            |           |                                                               |
|-------------------------------------------|------------------------|------------|-----------|---------------------------------------------------------------|
| <b>Officers</b>                           |                        |            |           | <input checked="" type="checkbox"/> Include Inactive Officers |
| <b>General Partner - IDC DECATUR, LLC</b> |                        |            |           |                                                               |
| Address 1:                                | 3275 SOUTH JONES BLVD. | Address 2: | SUITE 105 |                                                               |
| City:                                     | LAS VEGAS              | State:     | NV        |                                                               |
| Zip Code:                                 | 89146                  | Country:   |           |                                                               |
| Status:                                   | Active                 | Email:     |           |                                                               |
| <b>General Partner - IDC DECATUR, LLC</b> |                        |            |           |                                                               |
| Address 1:                                | 3275 SOUTH JONES BLVD. | Address 2: | SUITE 105 |                                                               |
| City:                                     | LAS VEGAS              | State:     | NV        |                                                               |
| Zip Code:                                 | 89146                  | Country:   |           |                                                               |
| Status:                                   | Historical             | Email:     |           |                                                               |

|                            |                                    |                 |   |
|----------------------------|------------------------------------|-----------------|---|
| <b>Actions/Amendments</b>  |                                    |                 |   |
| Action Type:               | Certificate of Limited Partnership |                 |   |
| Document Number:           | 20050502524-95                     | # of Pages:     | 1 |
| File Date:                 | 10/25/2005                         | Effective Date: |   |
| (No Notes for this action) |                                    |                 |   |
| Action Type:               | Initial List                       |                 |   |
| Document Number:           | 20050511468-92                     | # of Pages:     | 1 |
| File Date:                 | 10/27/2005                         | Effective Date: |   |
| (No Notes for this action) |                                    |                 |   |
| Action Type:               | Annual List                        |                 |   |
| Document Number:           | 20060525211-14                     | # of Pages:     | 1 |
| File Date:                 | 08/16/2006                         | Effective Date: |   |
| (No Notes for this action) |                                    |                 |   |

## IDC DECATUR, LLC

| Business Entity Information |                                    |                       |                       |
|-----------------------------|------------------------------------|-----------------------|-----------------------|
| Status:                     | Active                             | File Date:            | 10/21/2005 2:45:46 PM |
| Type:                       | Domestic Limited-Liability Company | Corp Number:          | E0715942005-5         |
| Qualifying State:           | NV                                 | List of Officers Due: | 10/31/2007            |
| Managed By:                 | Managing Members                   | Expiration Date:      |                       |

| Resident Agent Information |                            |                    |                        |
|----------------------------|----------------------------|--------------------|------------------------|
| Name:                      | FLANGAS MCMILLAN LAW GROUP | Address 1:         | 3275 SOUTH JONES BLVD. |
| Address 2:                 | SUITE 105                  | City:              | LAS VEGAS              |
| State:                     | NV                         | Zip Code:          | 89146                  |
| Phone:                     |                            | Fax:               |                        |
| Email:                     |                            | Mailing Address 1: |                        |
| Mailing Address 2:         |                            | Mailing City:      |                        |
| Mailing State:             |                            | Mailing Zip Code:  |                        |

| Financial Information                   |   |                 |      |
|-----------------------------------------|---|-----------------|------|
| No Par Share Count:                     | 0 | Capital Amount: | \$ 0 |
| No stock records found for this company |   |                 |      |

| Officers <input checked="" type="checkbox"/> Include Inactive Officers |                       |            |           |
|------------------------------------------------------------------------|-----------------------|------------|-----------|
| Managing Member - BRESLIN FAMILY TRUST                                 |                       |            |           |
| Address 1:                                                             | 5525 POLARIS AVENUE   | Address 2: | SUITE B   |
| City:                                                                  | LAS VEGAS             | State:     | NV        |
| Zip Code:                                                              | 89118                 | Country:   |           |
| Status:                                                                | Active                | Email:     |           |
| Managing Member - BRESLIN FAMILY TRUST                                 |                       |            |           |
| Address 1:                                                             | 5525 POLARIS AVENUE   | Address 2: | SUITE B   |
| City:                                                                  | LAS VEGAS             | State:     | NV        |
| Zip Code:                                                              | 89118                 | Country:   |           |
| Status:                                                                | Historical            | Email:     |           |
| Managing Member - JEFF SUSA                                            |                       |            |           |
| Address 1:                                                             | 3275 SOUTH JONES BLVD | Address 2: | SUITE 105 |
| City:                                                                  | LAS VEGAS             | State:     | NV        |
| Zip Code:                                                              | 89146                 | Country:   |           |
| Status:                                                                | Active                | Email:     |           |
| Managing Member - JEFF SUSA                                            |                       |            |           |
| Address 1:                                                             | 3275 SOUTH JONES BLVD | Address 2: | SUITE 105 |
| City:                                                                  | LAS VEGAS             | State:     | NV        |
| Zip Code:                                                              | 89146                 | Country:   |           |
| Status:                                                                | Historical            | Email:     |           |

| Actions/Amendments         |                          |                 |   |
|----------------------------|--------------------------|-----------------|---|
| Action Type:               | Articles of Organization |                 |   |
| Document Number:           | 20050497625-80           | # of Pages:     | 6 |
| File Date:                 | 10/21/2005               | Effective Date: |   |
| (No Notes for this action) |                          |                 |   |

|                                   |                       |                        |          |
|-----------------------------------|-----------------------|------------------------|----------|
| <b>Action Type:</b>               | <b>Initial List</b>   |                        |          |
| <b>Document Number:</b>           | <b>20050502500-19</b> | <b># of Pages:</b>     | <b>1</b> |
| <b>File Date:</b>                 | <b>10/25/2005</b>     | <b>Effective Date:</b> |          |
| <b>(No Notes for this action)</b> |                       |                        |          |
| <b>Action Type:</b>               | <b>Annual List</b>    |                        |          |
| <b>Document Number:</b>           | <b>20060529868-26</b> | <b># of Pages:</b>     | <b>1</b> |
| <b>File Date:</b>                 | <b>08/17/2006</b>     | <b>Effective Date:</b> |          |
| <b>(No Notes for this action)</b> |                       |                        |          |

20051222-0003796

Fee: \$24.00 RPTT: \$28,687.50  
N/C Fee: \$25.00

12/22/2005 14:07:30  
T20050232098

Requestor:  
NEVADA TITLE COMPANY

Frances Deane DOM  
Clark County Recorder Pas: 11

A.P.N.: 163-01-708-001, 163-01-708-002  
R.P.T.T.: \$28,687.50

Escrow #05-10-0527-LAP

Mail tax bill to and  
When recorded mail to:  
EP Decatur, LP  
Attn: Jeff Susa  
3275 S Jones Blvd.  
Las Vegas, NV 89146

## GRANT, BARGAIN, SALE DEED

**THIS INDENTURE WITNESSETH**, That **A & J's Investments**, a partnership, for a valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to **EP Decatur, LP**, a Nevada limited partnership, all that real property situated in the County of **Clark**, State of Nevada, bounded and described as follows:

**THE LEGAL DESCRIPTION ATTACHED HERETO  
AND MADE A PART HEREOF AS EXHIBIT "A".**

### SUBJECT TO:

1. Taxes for the current fiscal year, not delinquent, including personal property taxes of any former owner, if any;
2. Restrictions, conditions, reservations, rights, rights of way and easements now of record, if any, or any that actually exist on the property.

**TOGETHER WITH** all singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

IN WITNESS WHEREOF, this instrument has been executed this 8th day of December, 2005.

A & J's Investments, a partnership

By: James J. Chaisson

Print Name: JAMES J. CHAISSON

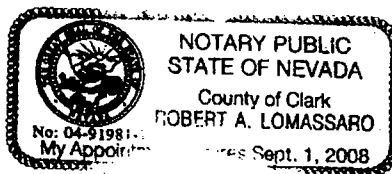
Title: PARTNER

State of NEVADA }  
County of Clark } ss:

This instrument was acknowledged before me on

by JAMES J. CHAISSON as GENERAL PARTNER  
of A & J's Investments, a partnership

NOTARY PUBLIC  
My Commission Expires: 12/1/2008



A & J's Investments, a partnership

John Milam  
By: John Milam, General Partner

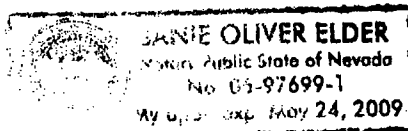
By: Jack Hunter, General Partner

By: Aldo Lippetti, General Partner

State of NEVADA }  
County of Clerk } ss:

This instrument was acknowledged before me on  
by John Milam as General Partner  
of A & J's Investments, a partnership

Jane Oliver Elder  
NOTARY PUBLIC  
My Commission Expires May 24, 2009



A & J's Investments, a partnership

By: John Milam, General Partner

*John Milam*

By: Jack Hunter, General Partner

By: Aldo Lippetti, General Partner

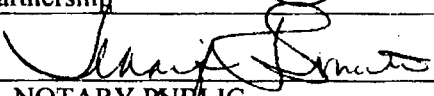
State of NEVADA }  
County of Clerk } ss:

This instrument was acknowledged before me on \_\_\_\_\_  
by John Milam as General Partner  
of A & J's Investments, a partnership

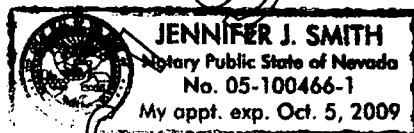
NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_

State of NEVADA }  
County of Clark } ss:

This instrument was acknowledged before me on December 12, 2005  
by Jack Huner as General Partner  
of A & J's Investments, a partnership

  
NOTARY PUBLIC

My Commission Expires: 10/5/09



State of NEVADA }  
County of Clark } ss:

This instrument was acknowledged before me on \_\_\_\_\_  
by Aldo Lippetti as General Partner  
of A & J's Investments, a partnership

NOTARY PUBLIC

My Commission Expires: \_\_\_\_\_

A & J's Investments, a partnership

By: John Milam, General Partner

By: Jack Hunter, General Partner

By: Aldo Lippetti, General Partner

State of NEVADA }  
County of Clark } ss:

This instrument was acknowledged before me on \_\_\_\_\_  
by John Milam as General Partner  
of A & J's Investments, a partnership

NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_

State of NEVADA }  
County of Clark } ss:

This instrument was acknowledged before me on  
by Jack Huner as General Partner  
of A & J's Investments, a partnership

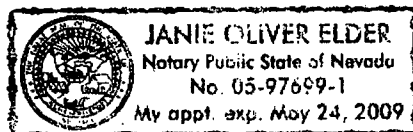
NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_

State of NEVADA }  
County of Clark } ss:

This instrument was acknowledged before me on  
by Aldo Lippetti as General Partner  
of A & J's Investments, a partnership

December 13, 2005

Janie Oliver Elder  
NOTARY PUBLIC  
My Commission Expires: May 24 - 2009



State of Nevada  
Declaration of Value

1. Assessor Parcel Number(s)

- a) 163-01-708-001, 163-01-708-002  
b) \_\_\_\_\_  
c) \_\_\_\_\_  
d) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Type of Property:

- ☐ a) Vacant Land ☐ b) Sgl. Fam. Residence  
☐ c) Condo/Twnhse ☐ d) 2-4 Plex  
☐ e) Apt. Bldg. ☒ f) Comm'l Bld'g  
☐ g) Agricultural ☐ h) Mobile Home  
☐ i) Other \_\_\_\_\_

FOR RECORDER'S OPTIONAL USE ONLY

Document/Instrument #: \_\_\_\_\_  
Book: \_\_\_\_\_ Page: \_\_\_\_\_  
Date of Recording: \_\_\_\_\_  
Notes: \_\_\_\_\_

3. Total Value/Sales Price of Property

\$5,625,000.00

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

\$5,625,000.00

Real Property Transfer Tax Due

\$ 28,687.50

4. If Exemption Claimed:

- a. Transfer Tax Exemption per NRS 375.090,  
Section: \_\_\_\_\_  
b. Explain Reason for  
Exemption: \_\_\_\_\_  
\_\_\_\_\_

5. Partial Interest. Percentage being transferred: 100 %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: \_\_\_\_\_

Capacity: GRANTOR/SELLER

Signature: \_\_\_\_\_

Capacity: GRANTEE/BUYER

SELLER (GRANTOR) INFORMATION  
(REQUIRED)

BUYER (GRANTEE) INFORMATION  
(REQUIRED)

Print Name: A & J's Investments, a partnership

Print Name: EP Decatur, LP, a Nevada limited  
partnership

Address: 4021 Meadows Lane

Address: 3275 S. Jones Blvd

City/State/Zip: Las Vegas, NV 89107

City/State/Zip: Las Vegas, NV 89146

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company

Esc. #: 05-10-0527-LAP

Address: 2500 N Buffalo, Suite 150

City: Las Vegas

State: NV

Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

State of Nevada  
Declaration of Value

1. Assessor Parcel Number(s)  
a) 163-01-708-001, 163-01-708-002  
b) \_\_\_\_\_  
c) \_\_\_\_\_  
d) \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Type of Property:  
☐ a) Vacant Land ☐ b) Sgl. Fam. Residence  
☐ c) Condo/Twnhse ☐ d) 2-4 Plex  
☐ e) Apt. Bldg. ☒ f) Comm'l/Ind'l  
☐ g) Agricultural ☐ h) Mobile Home  
☐ i) Other

**FOR RECORDER'S OPTIONAL USE ONLY**  
Document/Instrument #: \_\_\_\_\_  
Book: \_\_\_\_\_ Page: \_\_\_\_\_  
Date of Recording: \_\_\_\_\_  
Notes: \_\_\_\_\_

3. Total Value/Sales Price of Property \$5,625,000.00  
Deed in Lieu of Foreclosure Only (Value of property) \_\_\_\_\_  
Transfer Tax Value: \$5,625,000.00  
Real Property Transfer Tax Due \$28,687.50

4. **If Exemption Claimed:**  
a. Transfer Tax Exemption, per NRS 375.090, Section: \_\_\_\_\_  
b. Explain Reason for Exemption: \_\_\_\_\_  
\_\_\_\_\_

5. Partial Interest: Percentage being transferred: 100 %  
The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.060 that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signatures: \_\_\_\_\_ Capacity: GRANTOR/SELLER  
Signatures: \_\_\_\_\_ Capacity: GRANTEE/BUYER  
**SELLER (GRANTOR) INFORMATION** **BUYER (GRANTEE) INFORMATION**  
(REQUIRED) (REQUIRED)

Print Name: A & J's Investments, a partnership Print Name: EP Decatur, LP, a Nevada limited partnership  
Address: 4021 Meadows Lane Address: 3275 S. Jones Blvd  
City/State/Zip: Las Vegas, NV 89107 City/State/Zip: Las Vegas, NV 89146

**COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)**

Print Name: Nevada Title Company Esc. #: 05-10-0527-LAP  
Address: 2500 N Buffalo, Suite 150  
City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

**State of Nevada  
Declaration of Value**

**1. Assessor Parcel Number(s)**

a) 163-01-708-001, 163-01-708-002

b) \_\_\_\_\_

c) \_\_\_\_\_

d) \_\_\_\_\_

**2. Type of Property:**

☐

a) Vacant Land

☐

c) Condo/Twnhse

☐

e) Apt. Bldg.

☐

g) Agricultural

☐

i) Other

☐

b) Sgl. Fam. Residence

☐

d) 2-4 Plex

☒

f) Comm'l/Ind'l

☐

h) Mobile Home

**3. Total Value/Sales Price of Property**

\$5,625,000.00

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

\$5625,000.00

Real Property Transfer Tax Due

\$28,687.50

**4. If Exemption Claimed:**

a. Transfer Tax Exemption, per NRS 375.090, Section: \_\_\_\_\_

b. Explain Reason for Exemption: \_\_\_\_\_

**5. Partial Interest: Percentage being transferred: 100 %**

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: \_\_\_\_\_

Capacity: GRANTOR/SELLER

Signature: \_\_\_\_\_

Capacity: GRANTEE/BUYER

**SELLER (GRANTOR) INFORMATION  
(REQUIRED)**

**BUYER (GRANTEE) INFORMATION  
(REQUIRED)**

Print Name: A & J's Investments, a partnership

Print Name: EP Decatur, LP, a Nevada limited partnership

Address: 4021 Meadows Lane

Address: 3275 S. Jones Blvd

City/State/Zip: Las Vegas, NV 89107

City/State/Zip: Las Vegas, NV 89146

**COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)**

Print Name: Nevada Title Company

Esc. #: 05-10-0527-LAP

Address: 2500 N Buffalo, Suite 150

City: Las Vegas

State: NV

Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

AGENTS INVESTMENTS TAX

# 88-0137811

**PARCEL ONE (1):**

GOVERNMENT LOT EIGHTY-ONE (81) OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 60 EAST, M.D.M.

EXCEPT THE INTEREST IN THE NORTH THIRTY (30.00) AND THE WEST THIRTY (30.00) FEET OF SAID LAND AS CONVEYED TO CLARK COUNTY BY DEED RECORDED NOVEMBER 6, 1970 AS DOCUMENT NO. 61318, OF OFFICIAL RECORDS.

FURTHER EXCEPTING THEREFROM SAID LAND AS CONVEYED TO CLARK COUNTY BY DEED RECORDED DECEMBER 2, 1981 IN BOOK 1494 AS DOCUMENT NO. 1453365, OF OFFICIAL RECORDS.

**PARCEL TWO (2):**

GOVERNMENT LOT EIGHTY-THREE (83) OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 60 EAST, M.D.M.

EXCEPTING THEREFROM THE INTEREST IN AND TO THE EAST SIXTY (60) FEET AS CONVEYED TO THE COUNTY OF CLARK FOR ROADS, UTILITIES, OTHER PUBLIC AND INCIDENTAL PURPOSES BY DEED RECORDED DECEMBER 7, 1966 AS DOCUMENT NO. 612816, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

FURTHER EXCEPTING THEREFROM SAID LAND AS CONVEYED TO CLARK COUNTY BY DEED RECORDED APRIL 8, 1977 IN BOOK 726 AS DOCUMENT NO. 685021, OF OFFICIAL RECORDS.

# SOFI

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## Separator Sheet

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## PLANNING & DEVELOPMENT DEPARTMENT

### STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18034** APN: 163-01-108-001

Name of Property Owner: EP Decatur LP

Name of Applicant: Carollo's Tropicana Motors Inc

Name of Representative: Peter P. Carollo

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

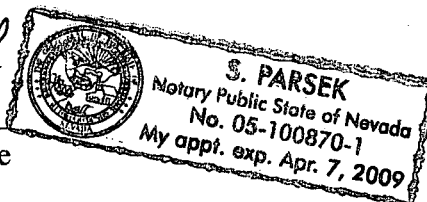
Signature of Property Owner: \_\_\_\_\_

Print Name: Jeff Sosa

Subscribed and sworn before me

This 17 day of Nov, 20 06

Notary Public in and for said County and State



## PLANNING & DEVELOPMENT DEPARTMENT

## STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18034** APN: 163-01-708-002

Name\_of Property Owner: EP Section LP

Name of Applicant: James Abell - Peter Carroll

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

Yes No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

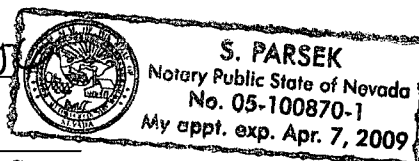
Signature of Property Owner: \_\_\_\_\_

Print Name: \_\_\_\_\_

Subscribed and sworn before me

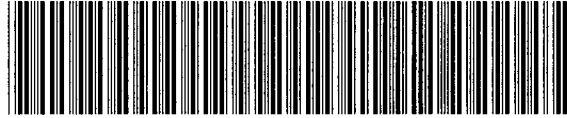
This 7 day of Nov, 200

Notary Public in and for said County and State



# Justification Letter

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JUSTIFICATION LETTER

Separator Sheet

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# CAROLLO

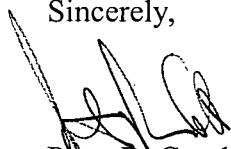
# FALCONI

## SUPER CAR STORE

November 17, 2006

This is a request to operate a used auto sales facility at 2025 S. Decatur for no more than a two year period starting January, 2007. We also request that you accept the existing landscape at this location. Carollo's Tropicana Motors, INC. dba Carollo Falconi Super Car Store has operated successfully in the Las Vegas area for over eighteen years. We have lost our lease at the current location of 4845 W. Tropicana. This reason has prompted the request to relocate to 2025 S. Decatur.

Sincerely,



Peter R. Carollo  
President

**SDR-18034** RECEIVED

**12/21/06 PC** NOV 20 2006

# CAROLLO

# FALCONI

## SUPER CAR STORE

November 1, 2006

This request is to operate a used auto sales facility at 2025 S. Decatur for no more than a two year period starting January, 2007. Carollo's Tropicana Motors, INC. dba Carollo Falconi Super Car Store has operated successfully in the Las Vegas area for over eighteen years. We have lost our lease at the current location of 4845 W. Tropicana. This reason has prompted this request to be relocated at 2025 S. Decatur.

Sincerely,



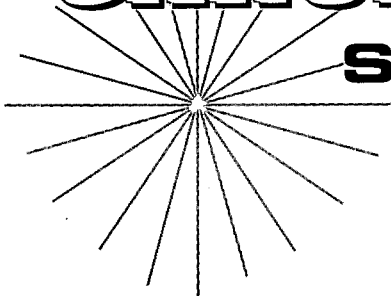
Peter R. Carollo  
President

**SDR-18034**  
**12/21/06 PC**

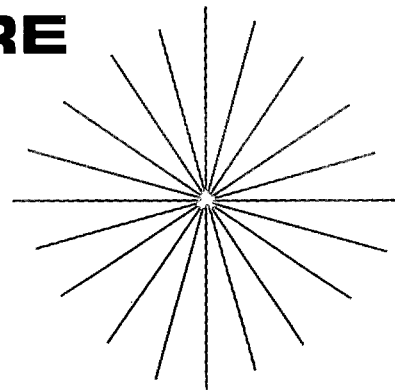
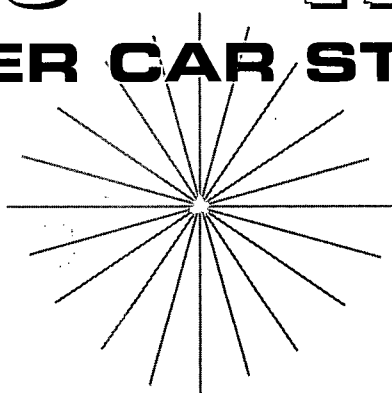
# CAROLLO

# FALCONI

## SUPER CAR STORE



November 2, 2006



My financial interest in Carollo's Tropicana Motors, INC. dba Carollo Falconi Super Car Store is that I, Peter R. Carollo, own fifty percent of the stock.

Sincerely,

A handwritten signature in black ink, appearing to read "Peter R. Carollo", written over the printed name.

Peter R. Carollo  
President

**SDR-18034**  
**12/21/06 PC**

# Application

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Separator Sheet

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# PLANNING & DEVELOPMENT DEPARTMENT

## APPLICATION / PETITION FORM

Application/Petition For: used car sales facility SDR  
 Project Address (Location) 2025 S. Decatur W NV 89118  
 Project Name Carroll's Tropical Motors Inc dba Carroll's Falcon Superstore Proposed Use \_\_\_\_\_  
 Assessor's Parcel #(s) 163-01-708-001 Ward # \_\_\_\_\_  
163-01-708-002  
 General Plan: existing \_\_\_\_\_ proposed \_\_\_\_\_ Zoning: existing \_\_\_\_\_ proposed \_\_\_\_\_  
 Commercial Square Footage \_\_\_\_\_ Floor Area Ratio \_\_\_\_\_  
 Gross Acres 3.74 AC: \_\_\_\_\_ Lots/Units \_\_\_\_\_ Density \_\_\_\_\_  
 Additional Information \_\_\_\_\_

|                                     |                           |
|-------------------------------------|---------------------------|
| PROPERTY OWNER <u>EP Decatur LP</u> | Contact <u>Jeff Sosa</u>  |
| Address <u>2025 S. Decatur</u>      | Phone: _____ Fax: _____   |
| City <u>W</u>                       | State <u>NV</u> Zip _____ |

|                                                                                |                                             |
|--------------------------------------------------------------------------------|---------------------------------------------|
| APPLICANT <u>Carroll's Tropical Motors Inc dba Carroll's Falcon Superstore</u> | Contact <u>Pete Carroll</u>                 |
| Address <u>5420 Camacho #109</u>                                               | Phone: <u>361-9600</u> Fax: <u>361-8203</u> |
| City <u>W</u>                                                                  | State <u>NV</u> Zip <u>89118</u>            |

|                                    |                                             |
|------------------------------------|---------------------------------------------|
| REPRESENTATIVE <u>JAMES ABEL</u>   | Contact <u>Jim Abel</u>                     |
| Address <u>2220 W. RICHMAR AVE</u> | Phone: <u>296-1281</u> Fax: <u>263-5725</u> |
| City <u>A-U NV</u>                 | State <u>NV</u> Zip <u>89139</u>            |

Property Owner Signature\* \_\_\_\_\_

\* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

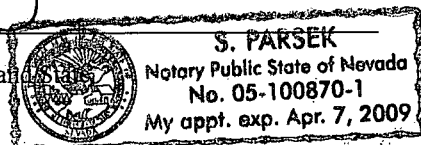
Print Name Jeff Sosa

Subscribed and sworn before me

This 7 day of NOV, 20 06

Paul

Notary Public in and for said County of \_\_\_\_\_



### FOR DEPARTMENT USE ONLY

|                 |                    |
|-----------------|--------------------|
| Case #          | <u>SDR-18034</u>   |
| Meeting Date:   | <u>12-21-06</u>    |
| Total Fee:      | <u>800-</u>        |
| Date Received:* | <u>11-7-06</u>     |
| Received By:    | <u>[Signature]</u> |

\*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

# Hansen Sheet

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# Separator Sheet

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Report Date 11/07/2006 03:52 PM

Submitted By

Page 1

A/P # 18034 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

|           | Date / Time      | By     |            | Date / Time | By |
|-----------|------------------|--------|------------|-------------|----|
| Processed | 11/07/2006 11:47 | 982786 | Temp COO   |             |    |
| Approved  |                  |        | COO Issued |             |    |
| Final     |                  |        | Expires    |             |    |

Associated Information

|                  |                                                  |            |                      |      |
|------------------|--------------------------------------------------|------------|----------------------|------|
| Type of Work     | # Plans                                          | 0          | Declared Valuation   | 0.00 |
| Dept of Commerce | # Plans                                          | 0          | Calculated Valuation | 0.00 |
| Priority         | <input checked="" type="checkbox"/> Auto Reviews | Bill Group | Actual Valuation     | 0.00 |

Description of Work

SDR-18034 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: CAROLLO'S TROPICANA MOTORS, INC. - OWNER: EP DECATUR LP - Request for a Site Development Plan Review FOR A PROPOSED 1,680 SQUARE-FOOT MODULAR OFFICE BUILDING TO AN EXISTING MOTOR VEHICLE SALES ESTABLISHMENT AND WAIVER OF PERIMETER LANDSCAPE BUFFERS on 3.74 acres at 2025 South Decatur Boulevard (APN:163-01-708-001 and 002), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).

Parent A/P #

Project # 18034 Project/Phase Name

Size/Area 3.74 ACRE Size Description

Proposed Start Proposed Stop

% Complete Formula

Phase #

Subdivision Code

% Completed 0.00

Property/Site Information

Parcel 16301708001

Location

Owner/Tenant

Contact ID AC1115843 Name E P DECATUR L P

Mailing Address 3275 S JONES BLVD

City LAS VEGAS

ZIP/PC 89146-6783

Day Phone

Fax

Organization % J SUSA

State/Province NV

Country

Evening Phone

Mobile #

☐ Foreign

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

2025 S DECATUR BLVD  
LAS VEGAS, 89146-

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

16301708001  
16301708002

| Planning Condition | Description | Effective | Expire | Comments |
|--------------------|-------------|-----------|--------|----------|
|--------------------|-------------|-----------|--------|----------|

There is no planning condition for this project.

Report Date 11/07/2006 03:52 PM

Submitted By

Page 2

**SITE PLAN REVIEW**

N DINA Required? N Project of Regional Significance? Final City Council letter received  
Parent Project link required? Annotated minutes recieved  
Will this go to the City Council? Is there a condition of approval for a Required Review?  
Hearing Type If yes, when does it need to be reviewed?  
Public, Non-Public, AdminPUBLIC

**Meeting Information**

| Meeting Info<br>Meeting Date<br>Comments<br>Added By | Meeting Type<br>Add Date | Meeting Status<br>Modified By<br>Modified Date | YES Votes | NO Votes | ABSTENTIONS |
|------------------------------------------------------|--------------------------|------------------------------------------------|-----------|----------|-------------|
| 12/21/2006                                           | PC                       | SCHEDULED                                      | 0         | 0        | 0           |
| DDONLEY                                              | 11/07/2006               |                                                |           |          |             |

| Template Type A/P #                | A/P Type | Status | Stage |
|------------------------------------|----------|--------|-------|
| No children exist for this project |          |        |       |

| Employee<br>Employee ID | Last | First | MI | Comments |
|-------------------------|------|-------|----|----------|
| No Employee Entries     |      |       |    |          |

| Log<br>Action<br>Comments | Description                                                                                                   | Entered By | Start            | Stop | Hours |
|---------------------------|---------------------------------------------------------------------------------------------------------------|------------|------------------|------|-------|
| PAYMNT                    | CK NAME,# WHO PICKED UP PERMIT<br>The Carollo Falconi Super Car Store ck 48650 & 48651 / Jim Abell / 367-9600 | 983657     | 11/07/2006 12:04 |      | 0.00  |

# Project Checklist

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Separator Sheet

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| Pre-Application Conference                                                                                          |                                     | CITY OF LAS VEGAS<br>Planning & Development Department<br>SUBMITTAL CHECKLIST                                            |  | Additional Notes |
|---------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------------------------------------------------------------------------------------------------------------|--|------------------|
| Item Required                                                                                                       |                                     |                                                                                                                          |  |                  |
| YES                                                                                                                 | NO                                  |                                                                                                                          |  |                  |
| <b>APPLICATION</b>                                                                                                  |                                     |                                                                                                                          |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Signed and notarized by <b>all</b> property owners or authorized agent(s) ✓                                              |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Grant deed and legal description                                                                                         |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>Detailed</b> justification letter                                                                                     |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Reduced 8.5" x 11" copy of <b>all</b> plans and elevations ✓                                                             |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Full size, rolled, color copy of <b>all</b> plans and elevations                                                         |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Correct fee(s): \$ <u>500</u> \$ <u>300</u> \$ _____ Total = \$ <u>800</u>                                               |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Statement of Financial Interest                                                                                          |  |                  |
| <input type="checkbox"/>                                                                                            | <input checked="" type="checkbox"/> | Development Impact Notice and Assessment (DINA)                                                                          |  |                  |
| <input type="checkbox"/>                                                                                            | <input checked="" type="checkbox"/> | Project of Regional Significance                                                                                         |  |                  |
| <b>SITE PLAN</b> <span style="float: right;">Folded Plans: <u>19</u> Rolled/Colored Plans: <u>1</u></span>          |                                     |                                                                                                                          |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | 11" x 17" min. to 24" x 36" max. page size ✓                                                                             |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | North arrow, scale, and vicinity map ✓                                                                                   |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> property lines and present dimensions labeled                                                                 |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> building setbacks labeled                                                                                     |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> adjacent existing land uses and street names labeled                                                          |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> points of ingress and egress shown ✓                                                                          |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | ADA accessibility requirements shown/labeled ✓                                                                           |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Parking standard(s) utilized: <u>1/500 S.F.</u>                                                                          |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Parking space count and typical dimensions labeled<br>#regular <u>4</u> #compact _____ #handicap <u>1</u> Total <u>5</u> |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> free-standing sign locations shown and heights and sizes noted                                                |  |                  |
| <b>LANDSCAPE PLAN</b> <span style="float: right;">Folded Plans: <u>3</u> Rolled/Colored Plans: <u>1</u></span>      |                                     |                                                                                                                          |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | 11" x 17" min. to 24" x 36" max. page size                                                                               |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | North arrow, scale, and vicinity map                                                                                     |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> property lines and present dimensions labeled                                                                 |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> required perimeter landscape planters shown                                                                   |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> required parking lot fingers/islands shown                                                                    |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Quantity, size, species/variety of <b>all</b> trees, shrubs, and ground cover                                            |  |                  |
| <b>BUILDING ELEVATIONS</b> <span style="float: right;">Folded Plans: <u>2</u> Rolled/Colored Plans: <u>1</u></span> |                                     |                                                                                                                          |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | 11" x 17" min. to 24" x 36" max. page size                                                                               |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Scale and building dimensions labeled                                                                                    |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | North, south, east, and west elevations of <b>all</b> buildings                                                          |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> building materials and colors noted                                                                           |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | 8" x 10" photo of original color and material board                                                                      |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> wall sign locations shown and sizes noted                                                                     |  |                  |
| <b>FLOOR PLANS</b> <span style="float: right;">Folded Plans: _____ Rolled Plans: <u>1</u></span>                    |                                     |                                                                                                                          |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | 11" x 17" min. to 24" x 36" max. page size                                                                               |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Scale and building dimensions labeled                                                                                    |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | <b>All</b> building entrances/exits shown                                                                                |  |                  |
| <input checked="" type="checkbox"/>                                                                                 | <input type="checkbox"/>            | Use of <b>all</b> rooms noted/labeled                                                                                    |  |                  |

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: Jim Abell Application Type: Site Development Review

APN: 163 017 08001 & 163 017 08002 Location: 2025 S. Decatur

Planner: Jtm Pre-App Meeting Date: 10-23-06 Earliest PC Date: 12-21-06

☒ Meeting☐ Telephone

## Conversation Record

Project Name \_\_\_\_\_

Page 1 of 1  
Date 10/23/06  
Time 11:00 (am) pmConversation between CLV Representative(s): Jim Marshall  
and, \_\_\_\_\_

| Name             | Company/Department             | Phone           | FAX |
|------------------|--------------------------------|-----------------|-----|
| <u>Jim Abell</u> | <u>Carroll Tropical Motors</u> | <u>296-1231</u> |     |
|                  |                                |                 |     |
|                  |                                |                 |     |
|                  |                                |                 |     |

☐ see Meeting Attendance Sheet

## Comments:

SDR - Site Development Review - <sup>New</sup> Buildings  
SUP - special use permit - Used Car Sales

1. The minimum site area shall be 25,000 square feet.
2. The installation and use of an outside public address or bell system is prohibited.
3. No used or discarded automotive parts or equipment shall be located in any open area outside of an enclosed building.
4. All exterior lighting shall be screened or otherwise designed so as not to shine directly onto any adjacent parcel of land.
5. Openings in service bays shall not face public rights-of-way and shall be designed to minimize the visual intrusion into adjoining properties.
6. Accessory automobile rental is permitted.

• Parking - one space for each 500 square feet of enclosed Gross floor area.  
Vehicles that are on display or for sale may not be parked or stored  
in parking spaces that are designated as off-street parking  
necessary to meet the minimum requirements of this table 2.  
The parking and storage of such vehicles must occur only  
in spaces that are in excess of the required minimum parking.

• Landscaping 15 foot buffer on ROW, 8 foot interior  
1 tree per 30 linear feet per 19.12

(C-2) • Setbacks Front 20 feet  
side 10 feet  
corner 15 feet  
Rear 20 feet

Justification Letter - Waiver of perimeter landscaping buffer requirements

# Final DRT

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# Separator Sheet

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**CITY OF LAS VEGAS**

**DEVELOPMENT REVIEW COMMENT FORM**



**Planning and Development Department**  
**Current Planning Division**  
**731 South Fourth Street**  
**Las Vegas, Nevada 89101**  
**(702) 229-6301 phone (702) 385-7268 fax**

**SDR-18034 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-18037 - PUBLIC HEARING -**  
**APPLICANT: CAROLLO'S TROPICANA MOTORS, INC. - OWNER: EP DECATUR, LP** - Request for a  
Site Development Plan Review FOR THE ADDITION OF A PROPOSED 1,680 SQUARE-FOOT MODULAR  
OFFICE BUILDING TO AN EXISTING MOTOR VEHICLE SALES (USED) ESTABLISHMENT on 3.74 acres  
at 2025 South Decatur Boulevard (APNs 163-01-708-001 and 002), C-2 (General Commercial) Zone, Ward 1  
(Tarkanian).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½)  
OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: **DECEMBER 21, 2006** CITY COUNCIL: **JANUARY 17, 2007**

CASE PLANNER: **DOUG RANKIN**



**PUBLIC HEARING**

**Comments Due: NOVEMBER 20, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili ([damarsili@lasvegasnevada.gov](mailto:damarsili@lasvegasnevada.gov)), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

**LIST COMMENTS BELOW:**

# Route Form

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Separator Sheet

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# CITY OF LAS VEGAS

## INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

**FROM: PLANNING AND DEVELOPMENT**

**SDR-18034**

### HAND DELIVERED

|                                 |                  |     |
|---------------------------------|------------------|-----|
| *DEVELOPMENT COORDINATION (DPW) | GARY REID        | DSC |
| FIRE ENGINEERING                | OZZIE MIRKHAH    | DSC |
| *FLOOD CONTROL (DPW)            | RAUL CRUZ        | DSC |
| *LAND DEVELOPMENT (DPW)         | JEFF GALAMBAS    | DSC |
| PERMITS/ INSPECTIONS            | ROD CLARK        | DSC |
| *RIGHT-OF-WAY (DPW)             | CAROLYN CAVINESS | DSC |
| *SANITARY SEWERS (DPW)          | TIM PARKS        | DSC |
| *TRAFFIC ENGINEERING (DPW)      | RICK SCHROEDER   | DSC |

### SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

|                                               |                                              |                                           |
|-----------------------------------------------|----------------------------------------------|-------------------------------------------|
| <CCSD>                                        | GUY CORRADO                                  | 4212 EUCALYPTUS ANNEX                     |
| METRO                                         | SGT. ROBERT ROSHACK                          | 7 <sup>th</sup> FLOOR CITY HALL           |
| OFFICE OF BUSINESS DEVELOPMENT                | DAVID BRATCHER                               | 2 <sup>nd</sup> FLOOR CITY HALL EXPANSION |
| NEIGHBORHOOD SERVICES                         | ANNE KILPONEN                                | 2 <sup>nd</sup> FLOOR CITY HALL           |
| *TEFO (DPW)                                   | TOM WILKING                                  | 3104 BONANZA ROAD                         |
| *STREETS & SANITATION (DPW)                   | JERRY WALKER                                 | 2900 RONEMUS                              |
| *PARKS & OPEN SPACES (DPW)                    | JOHN BLACK                                   | 2900 RONEMUS                              |
| *SID (DPW)                                    | T. McDANIEL                                  | 4 <sup>th</sup> FLOOR CITY HALL           |
| *SURVEY (DPW)                                 | ALAN RIEKKI                                  | WEST YARD                                 |
| <EMBARQ> (SDPR only)                          | SANDRA HOLLEY                                | 330 VALLEY VIEW BOULEVARD                 |
| LAS VEGAS VALLEY WATER DISTRICT<br>(NO PLANS) | DOA J. MEADE,<br>ENGINEERING DESIGN DIVISION | 1001 S. VALLEY VIEW BLVD.                 |

**\* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.  
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND  
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR  
11/07/2006

# Neighborhood Services List

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Separator Sheet

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City of Las Vegas - Planning and Development Department.

## **Development Notification**

**PC Meeting: December 21,2006**

**The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:**

**SDR-18034**

Artesian Heights NA

Charleston Heights South NA

Charleston Preservation NA #14

Kensington HOA

Las Verdes Heights NA

Meadows Neighborhood Preservation NA

Quail Estates West HOA

Sartini Plaza and Annex Resident Council

# Public Hearing Notice

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PUBLIC HEARING NOTICE

Separator Sheet

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# NOTICE OF PUBLIC HEARING

## SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION  
DATE: DECEMBER 21, 2006  
TIME: 6:00 P.M.  
LOCATION: CITY COUNCIL CHAMBERS  
400 STEWART AVENUE  
LAS VEGAS, NEVADA

### SDR-18034

APPLICANT: CAROLLO'S TROPICAL MOTORS, INC. - OWNER: EP DECATUR, LP - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR THE ADDITION OF A PROPOSED 1,680 SQUARE-FOOT OFFICE BUILDING TO AN EXSITING MOTOR VEHICLE SALES (NEW) ESTABLISHMENT AND A WAIVER OF THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS TO ALLOW A ZERO FOOT LANDSCAPE BUFFER WHERE 15 FOOT AND EIGHT FOOT LANDSCAPE BUFFERS ARE REQUIRED ON 3.74 ACRES AT 2025 SOUTH DECATUR BOULEVARD (APNS 163-01-708-001 AND 002), C-2 (GENERAL COMMERCIAL) ZONE, WARD 1 (TARKANIAN).

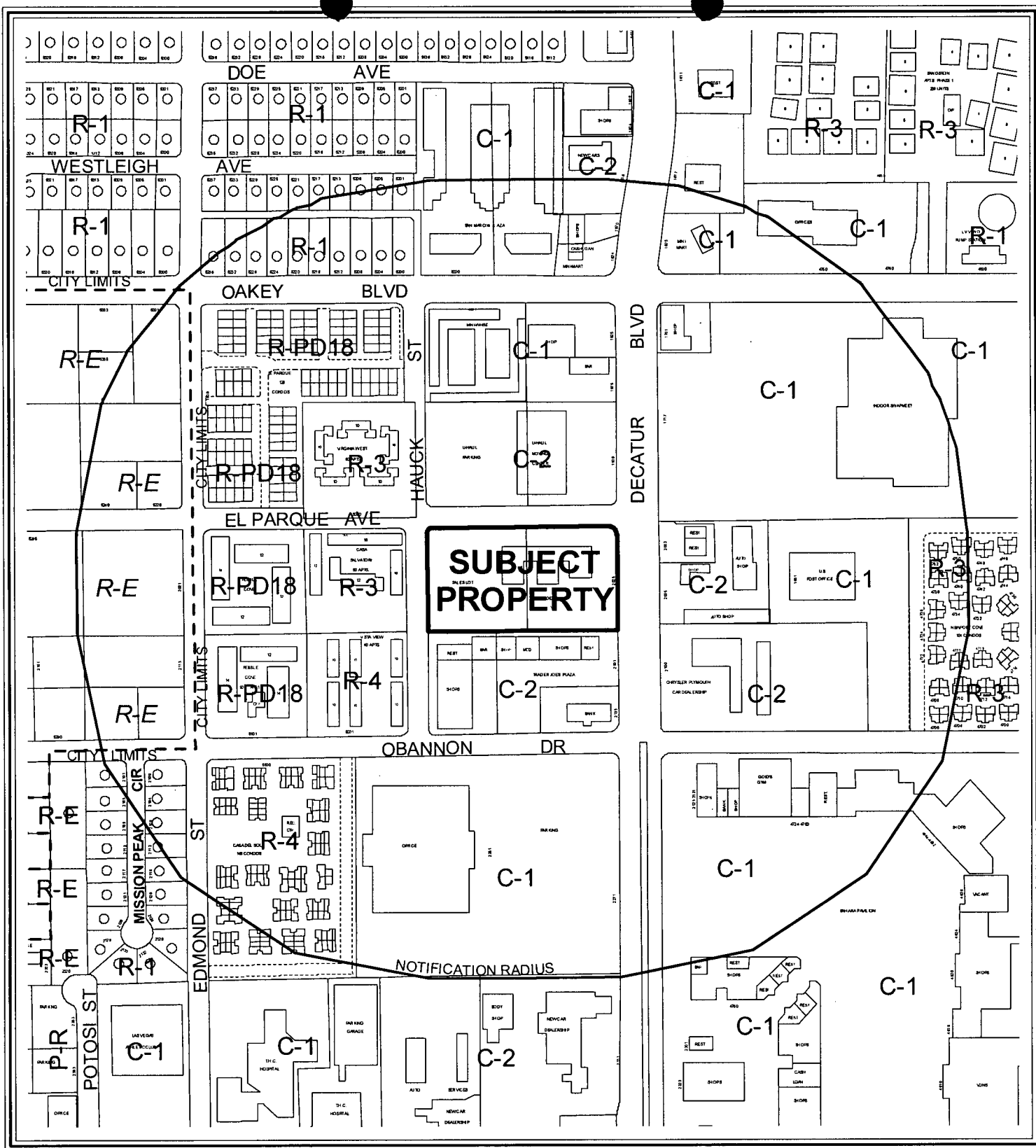
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$ ) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$ ) OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



DOUGLAS J. RANKIN, PLANNING SUPERVISOR  
PLANNING AND DEVELOPMENT DEPARTMENT  
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: **SDR-18034**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 100200 Feet



# Applicant Letter

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# Separator Sheet

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# PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street  
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

[www.lasvegasnevada.gov](http://www.lasvegasnevada.gov)

December 8, 2006

Mr. Jeff Sosa  
EP Decatur, Limited Partnership  
2025 South Decatur Boulevard  
Las Vegas, Nevada 89146

**RE: SDR-18034 - SITE DEVELOPMENT PLAN REVIEW**

Dear Mr. Sosa:

Please be advised the City Planning Commission at its regular meeting on **December 21, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, Planning Supervisor  
Planning and Development Department  
Current Planning Division

DJR:clb

cc: Mr. Pete Carollo  
Carollo's Tropicana Motors, Inc.  
5420 Cameron Street, Suite #109  
Las Vegas, Nevada 89118

Mr. Jim Abell  
3220 West Richmar Avenue  
Las Vegas, Nevada 89139

Mayor  
Oscar B. Goodman

City Council  
Gary Reese  
(Mayor Pro Tem)  
Larry Brown  
Lawrence Weekly  
Steve Wolfson  
Lois Tarkanian  
Steven D. Ross

City Manager  
Douglas A. Selby



# Action Letter

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ACTION LETTER

Separator Sheet

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# PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street  
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

December 22, 2006

Mr. Jeff Sosa  
EP Decatur, Limited Partnership  
2025 South Decatur Boulevard  
Las Vegas, Nevada 89146

**RE: SDR-18034 - SITE DEVELOPMENT PLAN REVIEW**

Dear Mr. Sosa:

Your request for a Site Development Plan Review FOR THE ADDITION OF A PROPOSED 1,680 SQUARE-FOOT OFFICE BUILDING TO AN EXISTING MOTOR VEHICLE SALES (NEW) ESTABLISHMENT AND A WAIVER OF THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS TO ALLOW A ZERO FOOT LANDSCAPE BUFFER WHERE 15 FOOT AND EIGHT FOOT LANDSCAPE BUFFERS ARE REQUIRED on 3.74 acres at 2025 South Decatur Boulevard (APNs 163-01-708-001 and 002), C-2 (General Commercial) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on December 21, 2006.

Planning Commission voted to recommend **DENIAL** of your request due to failure to meet Title 19 development standards.

This item will be considered by the City Council on **January 17, 2007**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. **The Council requires that you or your representative be present at this meeting.** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

Douglas J. Rankin, Current Planning Manager  
Planning and Development Department  
Current Planning Division

DJR:clb

cc: Mr. Pete Carollo  
Carollo's Tropicana Motors, Inc.  
5420 Cameron Street, Suite #109  
Las Vegas, Nevada 89118

Mr. Jim Abell  
3220 West Richmar Avenue  
Las Vegas, Nevada 89139

Mayor  
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City Council  
Gary Reese  
(Mayor Pro Tem)  
Larry Brown  
Lawrence Weekly  
Steve Wolfson  
Lois Tarkanian  
Steven D. Ross

City Manager  
Douglas A. Selby



# City Council Action Letter

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Separator Sheet

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March 1, 2007

Mr. Jeff Sosa  
EP Decatur, Limited Partnership  
2025 South Decatur Boulevard  
Las Vegas, Nevada 89146

RE: SDR-18034 – SITE DEVELOPMENT PLAN REVIEW  
CITY COUNCIL MEETING OF FEBRUARY 7, 2007  
RELATED TO SUP-18037

Dear Mr. Sosa:

The City Council at a regular meeting held February 7, 2007 APPROVED the request for a Site Development Plan Review FOR THE ADDITION OF A PROPOSED 1,680 SQUARE-FOOT OFFICE BUILDING TO AN EXISTING MOTOR VEHICLE SALES (NEW) ESTABLISHMENT AND A WAIVER OF THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS TO ALLOW A ZERO FOOT LANDSCAPE BUFFER WHERE 15 FOOT AND EIGHT FOOT LANDSCAPE BUFFERS ARE REQUIRED on 3.74 acres at 2025 South Decatur Boulevard (APNs 163-01-708-001 and 002), C-2 (General Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on February 8, 2007. This approval is subject to:

Added Conditions:

- A. A total of three (3) trees, minimum 24-inch box sized, shall be planted 30 feet on center on the southern portion of the Decatur Boulevard frontage.
- B. All barbed/razor wire on the subject property shall be removed within 30 days of approval of this application.

Planning & Development

1. Conformance to the Conditions of Approval for Special Use Permit (SUP-18037), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, and building elevations, date stamped 11/20/06, and landscape plan, date stamped 11/07/06, except as amended by conditions herein.

CITY OF LAS VEGAS  
400 STEWART AVENUE  
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

[www.lasvegasnevada.gov](http://www.lasvegasnevada.gov)

18112-001-06-05  
CLV 7009

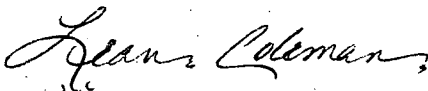
4. Recordation of a reversionary parcel map or administrative joining consolidating the parcels on the site prior to issuance of any building or grading permits.
5. A Waiver from LVMC Title 19.10 is hereby approved, to allow zero landscaping planters in the parking lot where one is required for each six parking spaces.
6. A Waiver from LVMC Title 19.12 is hereby approved, to allow a zero foot perimeter landscape buffer along the southern interior lot line where eight feet is required.
7. A revised site plan shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for a building permit, to reflect the entire site with all parking shown and tabulated to reflect total site compliance with LVMC Title 19.04 and Title 19.10 for parking requirements for all uses.
8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
9. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
10. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
12. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
13. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
14. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Mr. Jeff Sosa  
SDR-18034 – Page Three  
March 1, 2007

Public Works

15. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
16. Coordinate with the City Engineer's Office regarding the Decatur Boulevard project to determine impacts to this site, if any, prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first.
17. The driveway located adjacent to Decatur Boulevard shall be designed, located and constructed in accordance with Standard Drawing #222a.
18. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
19. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans, the issuance of any building or grading permits or the submittal of a map for this site, whichever may occur first. Provide and improve all drainage ways as recommended.

Sincerely,



Lean Coleman  
Deputy City Clerk II for  
Beverly K. Bridges, Acting City Clerk



M. Margo Wheeler, AICP  
Director  
Planning and Development Department

cc: Planning and Development Dept.  
Development Coordination-DPW  
Dept. of Fire Services

Mr. Pete Carollo  
Carollo's Tropicana Motors, Inc.  
5420 Cameron Street, Suite #109  
Las Vegas, Nevada 89118

Mr. Jim Abell  
3220 West Richmar Avenue  
Las Vegas, Nevada 89139



CORRECTED LETTER

January 23, 2007

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN  
MAYOR

GARY REESE  
MAYOR PRO TEM

LARRY BROWN  
LAWRENCE WEEKLY  
STEVE WOLFSON  
LOIS TARKANIAN  
STEVEN D. ROSS

DOUGLAS A. SELBY  
CITY MANAGER

Mr. Jeff Sosa  
EP Decatur, Limited Partnership  
2025 South Decatur Boulevard  
Las Vegas, Nevada 89146

RE: SDR-18034 – SITE DEVELOPMENT PLAN REVIEW  
CITY COUNCIL MEETING OF JANUARY 17, 2007  
RELATED TO SUP-18037

Dear Mr. Sosa:

The City Council at a regular meeting held January 17, 2007 HELD IN ABEYANCE the request for a Site Development Plan Review FOR THE ADDITION OF A PROPOSED 1,680 SQUARE-FOOT OFFICE BUILDING TO AN EXISTING MOTOR VEHICLE SALES (NEW) ESTABLISHMENT AND A WAIVER OF THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS TO ALLOW A ZERO FOOT LANDSCAPE BUFFER WHERE 15 FOOT AND EIGHT FOOT LANDSCAPE BUFFERS ARE REQUIRED on 3.74 acres at 2025 South Decatur Boulevard (APNs 163-01-708-001 and 002), C-2 (General Commercial) Zone.

This item will be heard during the 1:00 p.m. Planning and Development discussion portion of the **February 7, 2007** City Council Meeting. It is recommended that you or your representative be in attendance at this meeting. If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

A handwritten signature in cursive script that reads "Beverly K. Bridges".

Beverly K. Bridges  
Chief Deputy City Clerk

cc: Planning and Development Dept.  
Development Coordination-DPW  
Dept. of Fire Services

CITY OF LAS VEGAS  
400 STEWART AVENUE  
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

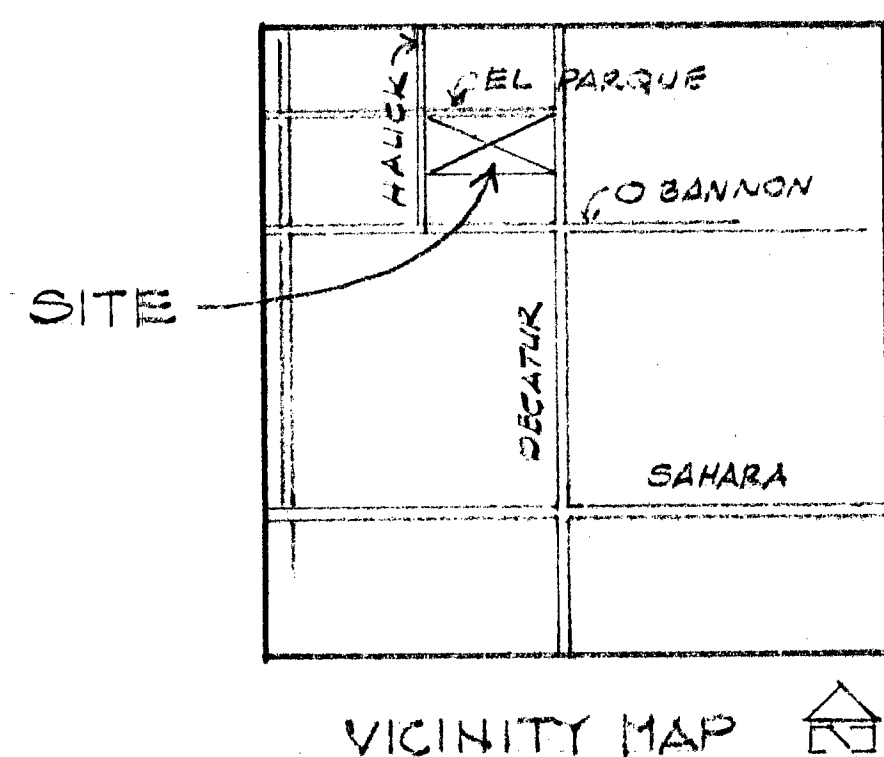
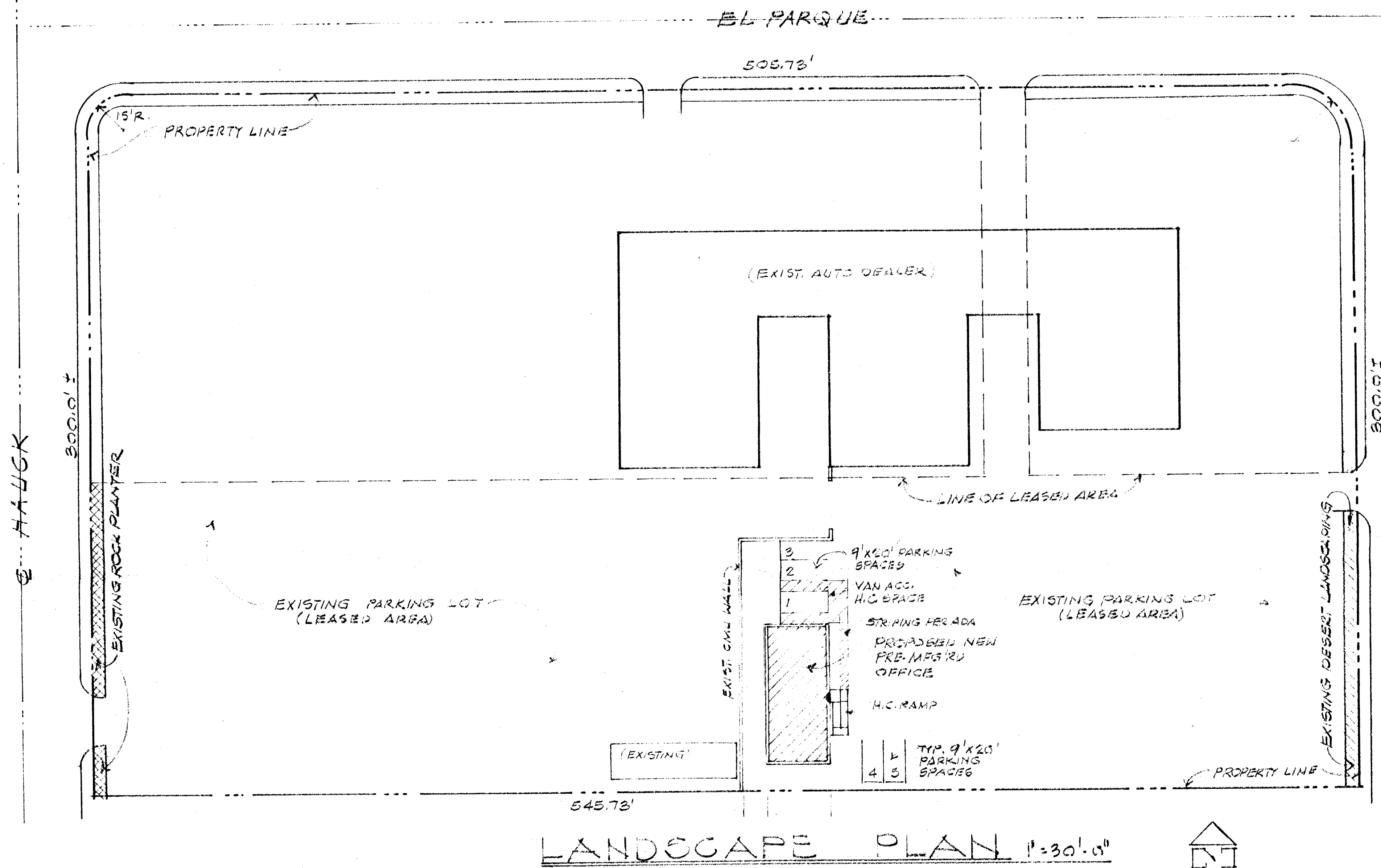
TTY 702.386.9108

[www.lasvegasnevada.gov](http://www.lasvegasnevada.gov)

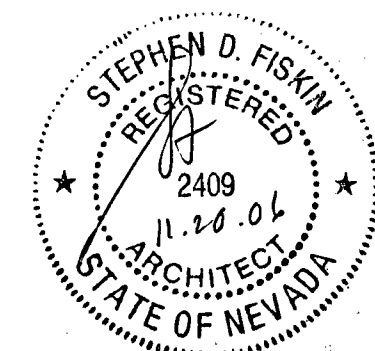
18112-001-06-05  
CLV 7009

Mr. Pete Carollo  
Carollo's Tropicana Motors, Inc.  
5420 Cameron Street, Suite #109  
Las Vegas, Nevada 89118

Mr. Jim Abell  
3220 West Richmar Avenue  
Las Vegas, Nevada 89139



APPROVED  
CITY COUNCIL DATE 02/07/07  
PLANNING COMMISSION DATE 12/12/07  
BY: [Signature]  
PLANNING AND DEVELOPMENT  
CITY OF LAS VEGAS



RECEIVED  
NOV 20 2006

STEVE FISKIN, ARCHITECT, INC.  
3305 SPRING MT. RD. #32  
LAS VEGAS, NV 89102 ph. 227-6493

CAROLLO USED CARS  
DECATUR & EL PARQUE  
LAS VEGAS, NV

LANDSCAPE PLAN  
02/07/07  
02/07/07

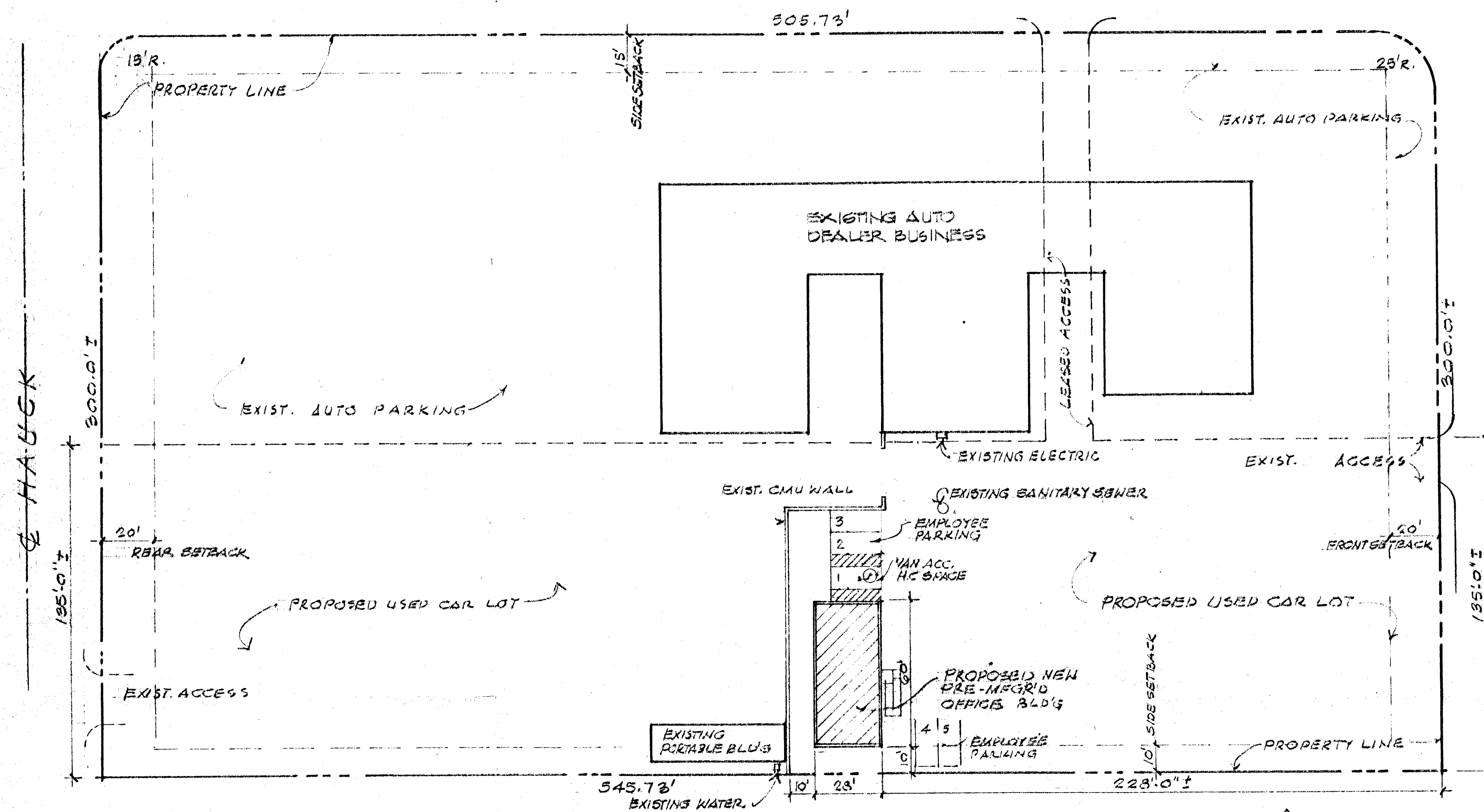
LI

SUB-18037 SDR-18034 12/21/06 PC L REVISED

(APARTMENTS)

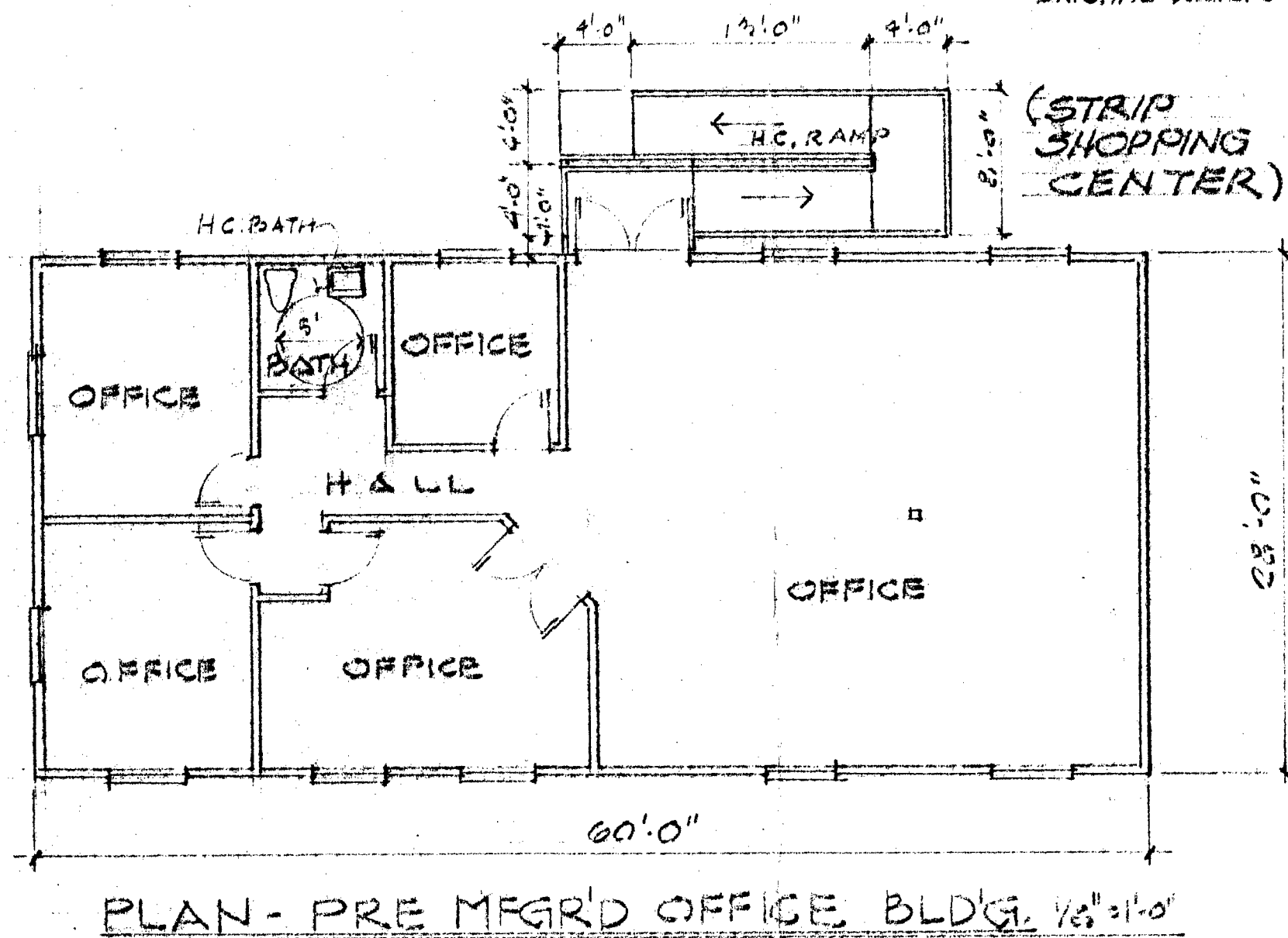
(U-HAUL RENTAL)

EL PARQUE

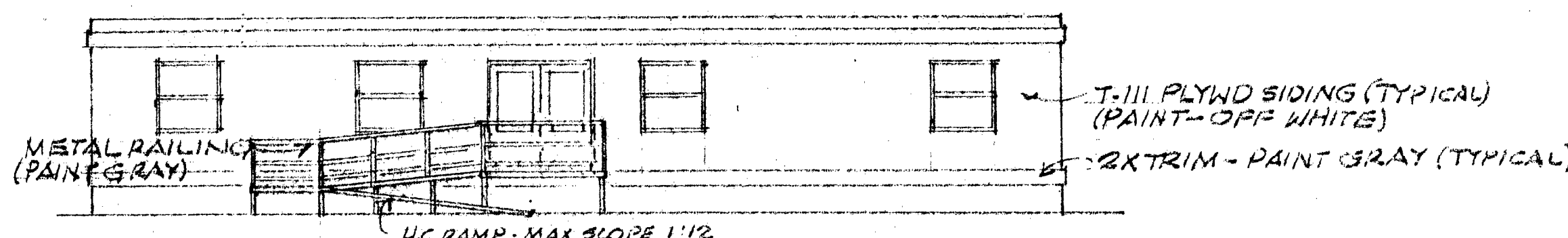


SITE PLAN 1" = 30'0"

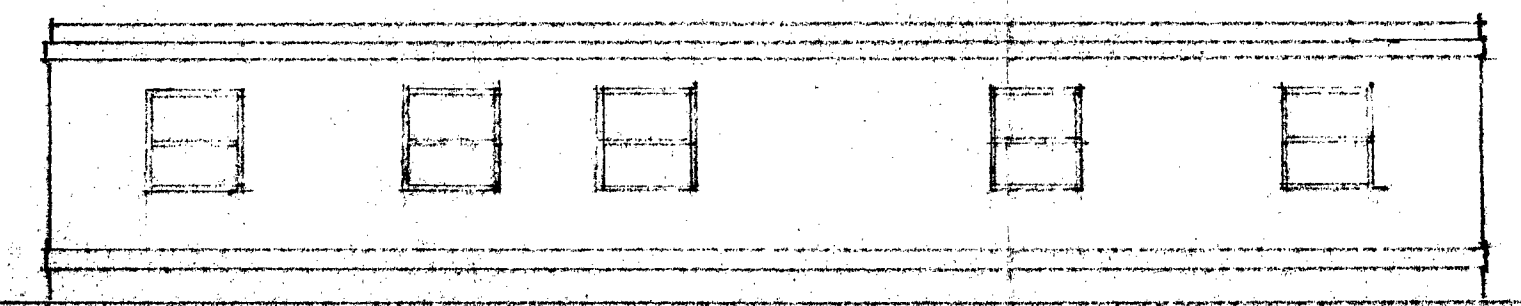
PARKING REQUIRED : 28 X 100 = 1080 + 500 = 3,36 (4) SPACES  
PARKING PROVIDED : 5 SPACES



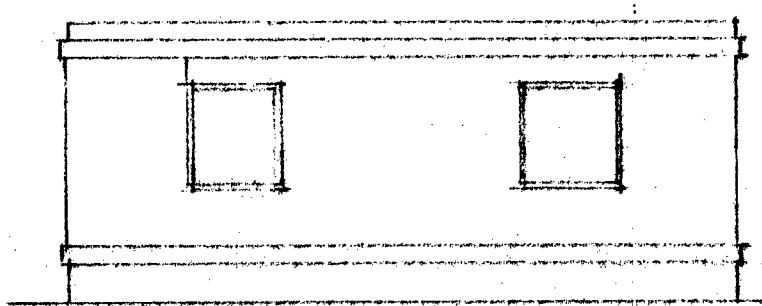
PLAN - PRE MFG'D OFFICE BLD'G 1/8" = 1'-0"



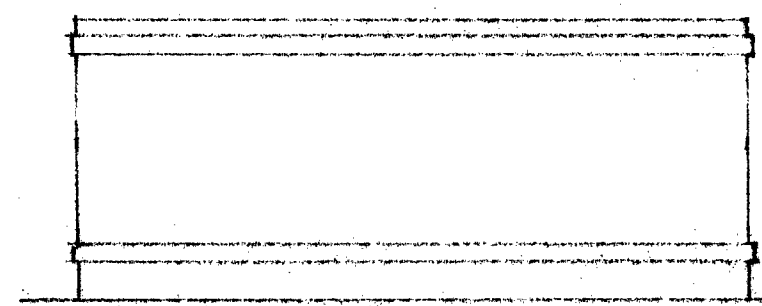
FRONT ELEVATION 1/8" (EAST)



REAR ELEVATION 1/8" (WEST)

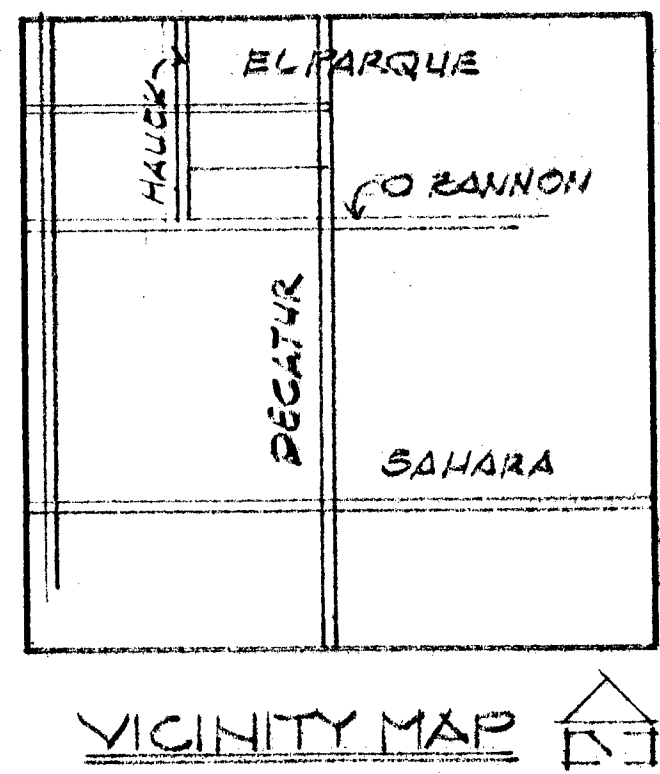


RIGHT ELEV. 1/8" (SOUTH)

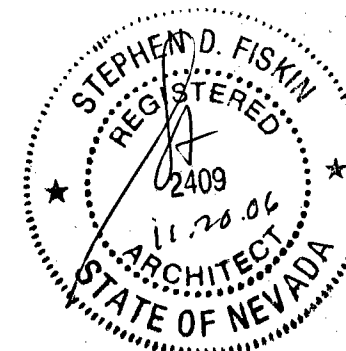


LEFT ELEV. 1/8" (NORTH)

(COMMERCIAL BUILDINGS)



APPROVED  
CITY COUNCIL DATE: 02/04/07  
PLANNING COMMISSION DATE: 12/12/07  
BY: [Signature]  
PLANNING AND DEVELOPMENT  
CITY OF LAS VEGAS



RECEIVED  
NOV 20 2006

SITE PLAN  
FLOOR PLAN  
BUILDING ELEVATIONS

STEVE FISKIN, ARCHITECT, INC.  
3305 SPRING MT. RD., #32  
LAS VEGAS, NV 89102 ph. 227-6493

CAROLLO USED CARS  
DECATUR & EL PARQUE  
LAS VEGAS, CLARK CO. NV

SI

SUR-18037 SDR-18034 12/21/06 RC S-F-E REVISED