

Plans (PMT)



Separator Sheet

GENERAL NOTES

1. ROOF TILE - WHITE PEG TILE (MONTELEONE TILE "NEWPORT BLEND")
2. SUDRENT, IS ALUMINUM "CAME BRONZE"

LEGEND

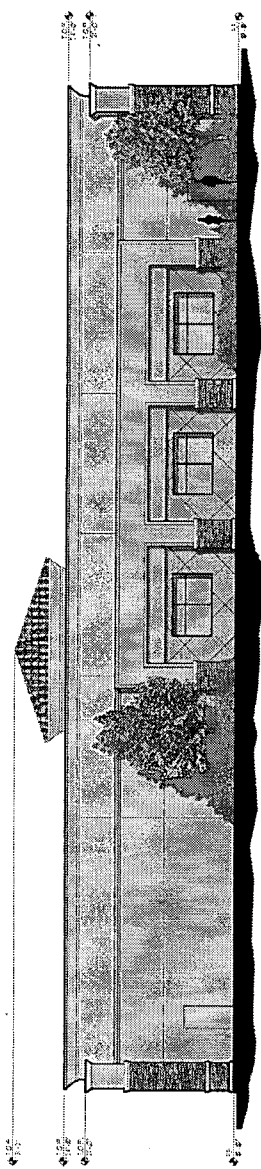
PAINT TO MATCH DRIVEWAY "VELA SAND"

PAINT TO MATCH DRIVEWAY "ON 666 SMALL CRACKS"

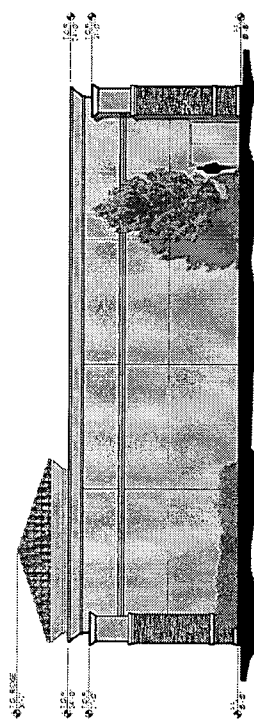
PAINT TO MATCH DRIVEWAY "MILK CHOCOLATE"

PAINT TO MATCH DRIVEWAY "MILK CHOCOLATE"

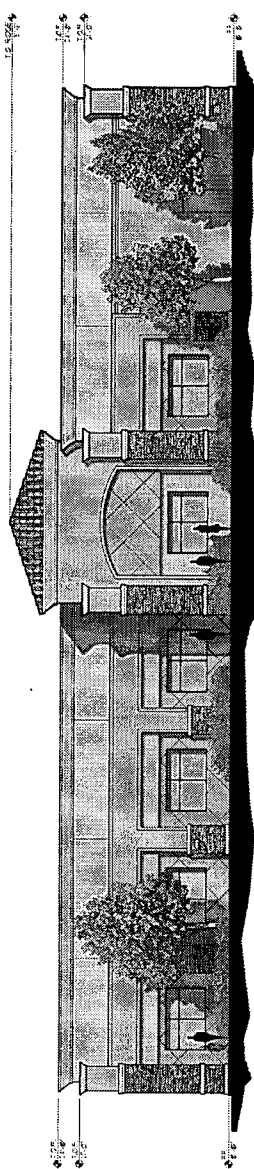
COLORED LUMBER - 1/2" x 4" x 8" LUGGERS - 1/2" x 4" x 8" DRIFTWOOD



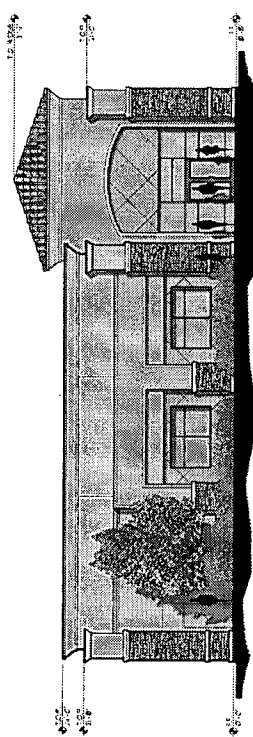
NORTH ELEVATION
1/4" SCALE: 1/8" = 1'-0"



EAST ELEVATION
1/4" SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
1/4" SCALE: 1/8" = 1'-0"



WEST ELEVATION
1/4" SCALE: 1/8" = 1'-0"

RECEIVED
SDR-18009
NOV 06 2006
12/21/06 PC

WETZEL ARCHITECTURE

ARCHITECTURE - PLANNING - DESIGN

6363 McCLEOD DR. #2

LAS VEGAS, NEVADA 89120

TEL: 702.735.7800 FAX: 702.735.9888

NOT FOR CONSTRUCTION

Centennial Dialysis

APN: 125-20-710-008

Las Vegas, Nevada

36 ACRE LLC

Project: 125-20-710-008

Phase: 125-20-710-008

Owner: 125-20-710-008

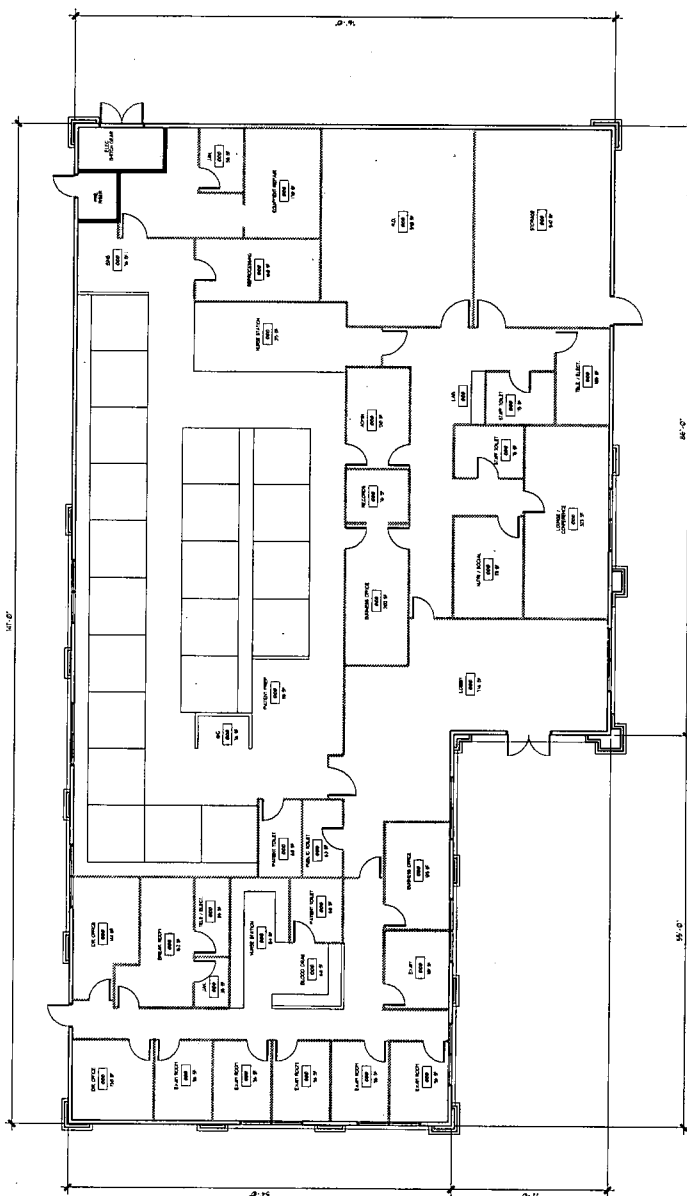
Checked by: 125-20-710-008

Date: 125-20-710-008

Description: 125-20-710-008

EXTERIOR ELEVATIONS

A 5.00

[illegible]

FLOOR PLAN
SCALE: 1/8" = 1'-0"

SDR-18009
12/21/06 PC

RECEIVED
NOV 06 2006

FLOOR PLAN

A 2.00

Centennial Dialysis

APN: 125-20-710-008
Las Vegas, Nevada
36 ACRE LLC

WETZEL
ARCHITECTURE

ARCHITECTURE • PLANNING • DESIGN

6362 MCLEOD DR., #8
LAS VEGAS, NEVADA 89120
T: (702) 798-7900 F: (702) 798-9888

**KATUNAGI**

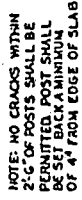
It demands coordination and control beyond the traditional boundaries of the engineering profession. The project manager is not to be confused with the project engineer, who is not to be confused with the project architect, who is not to be confused with the project engineer-architect, who is not to be confused with the project engineer-architect-engineer. Each of these professions has its own set of responsibilities and its own set of standards. The project manager is the one who is responsible for the overall success of the project, and for the coordination of the various disciplines involved. The project engineer is responsible for the technical aspects of the project, and for the design of the building. The project architect is responsible for the aesthetic aspects of the project, and for the design of the building's form. The project engineer-architect is responsible for the integration of the technical and aesthetic aspects of the project, and for the design of the building's structure and form. The project engineer-architect-engineer is responsible for the integration of the technical, aesthetic, and engineering aspects of the project, and for the design of the building's structure, form, and function.

Plans (Elevations)

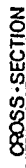


Separator Sheet

FREESTANDING LATTICE / COMMERCIAL STRUCTURES



FREE-STANDING OPEN LATTICE-TYPE PATIO COVER



- 1 - Aluminum design and stresses are per the latest edition of the Uniform Building Code and the 1971 edition of the Aluminum Construction manual.
- 2 - Alternate aluminum alloys may be substituted for those above, provided they are registered with the Aluminum Association and have equal or greater yield and ultimate strengths.
- 3 - All Concrete slabs shall have a minimum 28 day compressive strength of 3000 p.s.i. Concrete slabs shall have 3 1/2" minimum thickness and shall be in good condition.
- 4 - All footings shall bear on firm, natural undisturbed soil or certified fill. Design vertical soil bearing pressure = 1,000 P.S.F.
- 5 - All steel members shall be hot-dip galvanized or dechlorinated and conform to A.S.T.M. A-446, Grade C.
- 6 - Aluminum fasteners shall be 2024-T4. All other fasteners shall be galvanized steel or cadmium plated. All bolts shall conform to A.S.T.M. A-307 and have standard cut plate washers. Holes for bolts shall be bolt diameter plus 1/16" maximum.
- 7 - Expansion bolts shall be Hilti Rock Bolts K11 carbon steel or equal per I.C.B.O. ER No. 4527.
- 8 - All bolts shall have a minimum concrete edge distance of 6 bolt diameters.
- 9 - Each installation shall bear an identify tag giving the name and address of the manufacturer, design loads and underbracing.
- 10 - All items pertaining to each particular installation shall be checked, in project, post spacing, footing detail, etc.
- 11 - Open beam photo cover shall not be enclosed with any type of solid material, and the design loads have only been applied to the horizontal projected area of the lintels, rafters, beams, etc. per I.C.B.O. criteria.
- 11 - For all detail references, see Sheet 11 of 12.

11 - For all detail references, see Sheet 11 of 12.

APPROVED

TANK FOOTINGS:

1. CONCRETE SLAB (EXISTING OR NEW) COMPLETELY SURROUND NEW FOOTING.
2. CONCRETE SLAB DOES NOT EXIST AND NO SLAB WILL BE CONSTRUCTED AS PART OF THIS INSTALLATION.

John Kerkosz 8/31/87

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**CURRENT PLANNING DIVISION
CITY OF LAS VEGAS**

RECEIVED

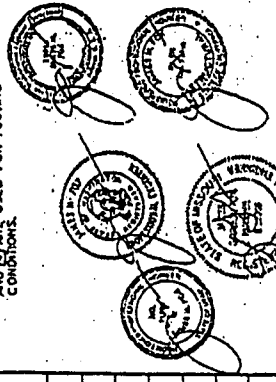
DESIGNS

AUG 31 2007

	POST	TYPES
11	3°50. POST + (2) - 2°X G 1/2° X .024° W / (8) - # 14 S.M.S.	
12	3°50. POST + (2) - 2°X G 1/2° X .032° W / (8) - # 14 S.M.S.	
13	3°50. POST + (2) - 2°X G 1/2° X .024° W / (12) - # 14 S.M.S.	
14	3°50. POST + (2) - 2°X G 1/2° X .032° W / (12) - # 14 S.M.S.	

NOTE:
POST TYPES [1] AND [3] ARE USED
FOR SLAB CONDITIONS. POST [3]
AND [4] ARE USED FOR FOOTING
CONDITIONS.

DEAM TO POST CONNECTION				TABLE C	
WIND SPEED & EXPOSURE	TO BEAM	TO POST	WIND SPEED & EXPOSURE	TO BEAM	TO POST
70-B	4	4	70-B	2	2
70-C	(3)-5/8" [#]	(3)-5/8" [#]	70-C	(2)-5/8" [#]	(2)-5/8" [#]
90-B	(3)-1/2" [#]	(3)-1/2" [#]	90-B	(2)-5/8" [#]	(2)-5/8" [#]
90-C	(3)-1" [#]	(3)-1" [#]	90-C	(2)-1" [#]	(2)-1" [#]



REVISION DATE 12-1998

92-12287
9 of 12

ALUMA-LATTICE PATIO COVER
(AS APPEAR)

**FREESTANDING LATTICE-TYPE
COMMERCIAL STRUCTURES**
L-L=20 & 30 RSF.
WIND SPEED & EXPOSURE •
70-8 TO 6 0-8 & 20-0



METALS USA
BUILDING PRODUCTS GROUP

[illegible]

FOX ENGINEERING
JAMES M. FOX, STRUCTURAL ENGINEER
ELEGANT RD. DOWNEY, CALIFORNIA 90241

FILE

65-53661-100

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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[illegible]

7.2
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DES
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DRT NO
5038 P

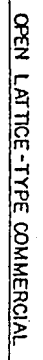
ICE
EV
RE

10

1

五

NOTE:
NO CRACKS WITHIN
2'-6" OF POSTS SHALL
BE PERMITTED; POST
SHALL BE SET BACK
A MINIMUM OF 4' FROM
SLAB.



CROSS - SECTION

- | | | | | | | |
|------|-----------------------------|------|------|-------|-------|-------|
| | MIND OF LEO Q. CARPENTIER : | | | | | |
| 70 A | 70 C | 80 B | 90 E | 100 D | 110 F | 120 G |

MAX. OVERHANG

ATTACHED LATTICE / COMMERCIAL STRUCTURES

FASTENER CONNECTION .TABLE

BEAM TO POST CONNECTION

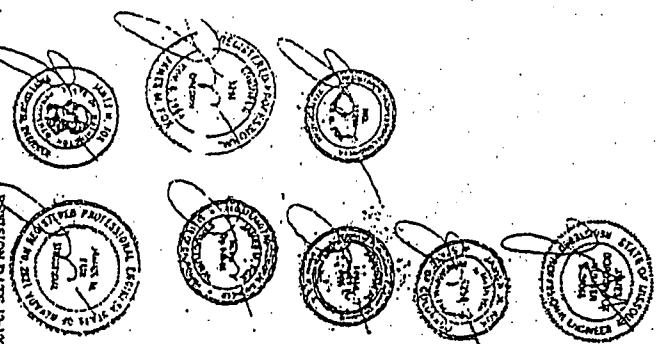
NOTE: POST TYPES ☒ 1 AND ☒ 2 ARE USED FOR SLAB CONDITIONS. POST ☒ 3 AND ☒ 4 ARE USED FOR FOOTING CONDITIONS.

[illegible]

754 753 752 751 750 749 748 747 746 745 744 743 742 741 740 739 738 737 736 735 734 733 732 731 730 729 728 727 726 725 724 723 722 721 720 719 718 717 716 715 714 713 712 711 710 709 708 707 706 705 704 703 702 701 700 699 698 697 696 695 694 693 692 691 690 689 688 687 686 685 684 683 682 681 680 679 678 677 676 675 674 673 672 671 670 669 668 667 666 665 664 663 662 661 660 659 658 657 656 655 654 653 652 651 650 649 648 647 646 645 644 643 642 641 640 639 638 637 636 635 634 633 632 631 630 629 628 627 626 625 624 623 622 621 620 619 618 617 616 615 614 613 612 611 610 609 608 607 606 605 604 603 602 601 600 599 598 597 596 595 594 593 592 591 590 589 588 587 586 585 584 583 582 581 580 579 578 577 576 575 574 573 572 571 570 569 568 567 566 565 564 563 562 561 560 559 558 557 556 555 554 553 552 551 550 549 548 547 546 545 544 543 542 541 540 539 538 537 536 535 534 533 532 531 530 529 528 527 526 525 524 523 522 521 520 519 518 517 516 515 514 513 512 511 510 509 508 507 506 505 504 503 502 501 500 499 498 497 496 495 494 493 492 491 490 489 488 487 486 485 484 483 482 481 480 479 478 477 476 475 474 473 472 471 470 469 468 467 466 465 464 463 462 461 460 459 458 457 456 455 454 453 452 451 450 449 448 447 446 445 444 443 442 441 440 439 438 437 436 435 434 433 432 431 430 429 428 427 426 425 424 423 422 421 420 419 418 417 416 415 414 413 412 411 410 409 408 407 406 405 404 403 402 401 400 399 398 397 396 395 394 393 392 391 390 389 388 387 386 385 384 383 382 381 380 379 378 377 376 375 374 373 372 371 370 369 368 367 366 365 364 363 362 361 360 359 358 357 356 355 354 353 352 351 350 349 348 347 346 345 344 343 342 341 340 339 338 337 336 335 334 333 332 331 330 329 328 327 326 325 324 323 322 321 320 319 318 317 316 315 314 313 312 311 310 309 308 307 306 305 304 303 302 301 300 299 298 297 296 295 294 293 292 291 290 289 288 287 286 285 284 283 282 281 280 279 278 277 276 275 274 273 272 271 270 269 268 267 266 265 264 263 262 261 260 259 258 257 256 255 254 253 252 251 250 249 248 247 246 245 244 243 242 241 240 239 238 237 236 235 234 233 232 231 230 229 228 227 226 225 224 223 222 221 220 219 218 217 216 215 214 213 212 211 210 209 208 207 206 205 204 203 202 201 200 199 198 197 196 195 194 193 192 191 190 189 188 187 186 185 184 183 182 181 180 179 178 177 176 175 174 173 172 171 170 169 168 167 166 165 164 163 162 161 160 159 158 157 156 155 154 153 152 151 150 149 148 147 146 145 144 143 142 141 140 139 138 137 136 135 134 133 132 131 130 129 128 127 126 125 124 123 122 121 120 119 118 117 116 115 114 113 112 111 110 109 108 107 106 105 104 103 102 101 100 99 98 97 96 95 94 93 92 91 90 89 88 87 86 85 84 83 82 81 80 79 78 77 76 75 74 73 72 71 70 69 68 67 66 65 64 63 62 61 60 59 58 57 56 55 54 53 52 51 50 49 48 47 46 45 44 43 42 41 40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

ALUMA-LATTICE PATIO COVER
(ALHETBY)
METALS USA • BUILDING PRODUCTS GROUP
PHOENIX, ARIZONA
(602) 278-6224

DOE NO. 92-19287
SHEET 8 of 12



Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekk, Survey (FM, PM, & A's only)
Date: November 30, 2006
Re: **SDR-18009** Neville Pokroy S. Side Deer Springs Rd., E. of Durango Dr.
Request for a Site Development Plan Review for a proposed medical office building

CONDITIONS OF APPROVAL:

1. Remove all substandard public street improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
2. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or the submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
3. Site development to comply with all applicable conditions of approval for the Montecito Lifestyles Center commercial subdivision and all other site-related actions.

MEMORANDUM

City of Las Vegas Planning & Development Department

To: Land Development
From: Steve Gebeke
Phone: (702) 229-5410 Fax: (702) 385-7268
CC: Land Development Civil Plan Ref. # 20864
Date: 03/29/07 1st Review
Re: Centennial Dialysis

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. The signature line on the cover sheet should state "Doug Rankin, AICP, Planning Manager" and "This plan meets the applicable standards of the Planning and Development Department."
2. Reasonable and direct access to the building from the public sidewalk is required and depicted in the site plan approved in the Site Development Review, SDR-18009, but is blocked in the submitted plans by a proposed flood wall. Revise all applicable sheets to depict access to the building from the public sidewalk.
3. Please revise all applicable sheets to show wheel stops adjacent to all landscape planters (regardless of planter width) and sidewalks that are less than 7-feet wide. Wheel stops within zero-curb handicap parking spaces must be shown. Include a construction note to reference the wheel stops.
4. Please revise the Utility Plan to depict the installation of both the RPPA and DCDA as being located a minimum of three (3) feet from the back of sidewalk. Please place a general note within the Utility Plan stating "All above ground utility appurtenances shall conform to the requirements of Title 19.12.040."
5. Revise Section A on Sheet C4 to depict the landscape area along Deer Springs Way as being a minimum of 15'-0" in width.
6. Revise Section D on Sheet C4 to conform to the Grading Plan. The Grading Plan indicates approximately 13' between the proposed building and the property line. Section D depicts this same area at 10' in width.
7. Revise Section E on Sheet C4 to depict the total landscape area along Deer Springs Way as being a minimum of 15'-0" in width. At the location of this section in the Grading Plan, the area between the sidewalk and the building is depicted as a concrete stoop. Please revise the section to conform to the Grading Plan.
8. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits; including, civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.



DEPARTMENT OF BUILDING AND SAFETY

DEVELOPMENT SERVICES CENTER

IAS ACCREDITED

Plans Examination, Permits Division
731 S. Fourth Street, Las Vegas, NV 89101-6918

Switchboard: (702) 229-6251

Plans Status: (702) 229-6916

Online Plans Status: <http://www3.ci.las-vegas.nv.us/planscheck/>

City of LV Project #: C-144-07

Date: 4/12/07

Project Description:

CENTENNIAL DIALYSIS

TO: Wetzel Architecture
LEA Civil Engineering
M. Webber Inc. Engineering

Fax: [Fax:@702-798-9888]
[Fax:@702-363-9343]
[Fax:@818-838-9162]

From: Mike Cutler Plans Examiner

Phone: (702) 229-4761 Fax: (702) 474-7369

I have reviewed the above referenced project for Mechanical and Plumbing issues. **Please submit a written response to each of the items listed below along with revised drawings.** Please be advised, there may be additional comments from other Plans Examiners or agencies that could impact these comments. Your response may trigger additional items. If you are submitting revisions, identify all changes from the last submittal using clouding and identifying with a delta and revision number. Include delta and revision number in the title block with the date of the change. **This office will not accept plans or revisions drawn in ink, pencil, highlighter, or "white out".**

The primary design professional shall be responsible for reviewing and coordinating all submittal documents prepared by others, including deferred submittal items, for compatibility with the design of the building. Ensure that all Architectural & Engineering seals are properly signed and dated. All plans sheets shall be the same size; the maximum size is 30" X 42". documents that are 8 1/2" X 11" shall not be attached to the plans or submitted as revisions. **Do not throw away the old plans.** Sheets that are removed are to be marked as "OLD" and dated.

Civil:

1. Please provide approved civil plans. Plan cover sheet must have all other entities signatures prior to plumbing/mechanical approval.

Mechanical:

1. Please include on the plans The Signed Mechanical Compliance Report from Comcheck showing that the Mechanical plan is in compliance with the 2003 International Energy Conservation Code. The code also requires that the following Mechanical information be shown on the plans: Equipment schedule listing the make, model and efficiency specifications of the equipment, Duct insulation R-values and plan notes about duct sealing requirements, Show that the heating and cooling systems thermostatic control design schematic is in compliance with Sections 803.3.3.1 through 803.3.3.5.
2. Please show a detail on how the back draft damper is to be attached. The present detail only shows it sitting on the rooftop.

Plumbing:

1. Water pipe sizing must be qualified by UPC Tables 6-4 and 6-5 or Appendix A. Supporting information must be on plans. site pressure, meter and RPPA size, and friction loss, fixture count and distance to the most remote water fixture.
2. Sheet P2.0 The make up detail shows the termination point of the B-vent to be 1 foot above the combustion air inlets that are within 10' of the vent. The minimum distance above the make up air is 3'. Per section 517.6 in the 2000 UPC. Please show the necessary changes or revisions on the plans.
3. The Vent pipe horizontal runs are not allowed to exceed 1/3 of the total permitted length. per table 7-5. When vents are increased 1-pipe size for their entire length, the maximum length limitations specified in table 7-5 do not apply. Please show the necessary changes or revisions on the plans.

PLEASE SUBMIT A WRITTEN RESPONSE TO EACH OF THE ITEMS LISTED ABOVE

FAX RECEIPTS

The message you sent to at 818-838-9162, was delivered successfully
on 4/12/2007 at 11:14:46 AM

The message you sent to at 702-363-9343, was delivered successfully
on 4/12/2007 at 11:15:33 AM

The message you sent to at 702-798-9888, was delivered successfully
on 4/12/2007 at 11:16:45 AM

MEMORANDUM

City of Las Vegas Planning & Development Department

To: Land Development
From: Steve Gebeke
Phone: (702) 229-5410 Fax: (702) 385-7268
CC: Land Development Civil Plan Ref. # 20864
Date: 04/23/07 1st Mylar Review
Re: Centennial Dialysis

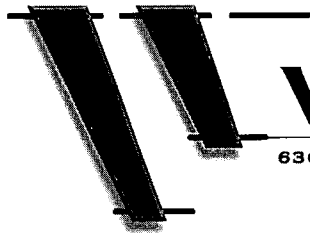
The Planning Department has reviewed the aforementioned plans and has the following comments:

Please Note: Comments 1-4 were noted on blueline submittals and discussed at an express meeting held on 04/12/07, but have not been corrected in the mylar submittal.

1. Reasonable and direct access to the building from the public sidewalk is required and depicted in the site plan approved in the Site Development Review, SDR-18009, but is blocked in the submitted plans by a proposed flood wall. Access as shown requires pedestrian traffic to utilize vehicular drive lanes and is unacceptable. Revise all applicable sheets to depict pedestrian access to the building from the public sidewalk.
2. Revise Section A on Sheet C4 to depict the landscape area along Deer Springs Way as being a minimum of 15'-0" in width.
3. Revise Section D on Sheet C4 to conform to the Grading Plan. The Grading Plan indicates approximately 13' between the proposed building and the property line. Section D depicts this same area at 10' in width.
4. Revise Section E on Sheet C4 to depict the total landscape area along Deer Springs Way as being a minimum of 15'-0" in width. At the location of this section in the Grading Plan, the area between the sidewalk and the building is depicted as a concrete stoop. Please revise the section to conform to the Grading Plan.
5. Civil plan redlines must be returned with mylars for planning signature.

682-1706 (c)
363-5242 (o)

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits; including, civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.



WETZEL ARCHITECTURE

6362 MCLEOD DR. #6 LAS VEGAS, NV 89120 P: 702-798-7900 F: 702-798-9888

April 26, 2007

Darren Harris
City of Las Vegas
Planning & Development
731 South Fourth Street
Las Vegas, NV 89101

RE: Justification Letter for Modification to Elevations
Centennial Dialysis
CLV Project No. C-0144-07

Dear Mr. Harris,

Wetzel Architecture is pleased to submit this letter in response to item #3 of your review comments dated April 20, 2007.

The differences in the exterior elevations from the original plan submitted and the current plan are minimal and consist of typical shifts made during the design development process. The main entry moved along with the addition of an entry trellis using the same colors and materials as the building. Other than that, a few windows were moved and some were added in response to interior office and circulation changes in the floor plan. All of the exterior colors and materials are same as the original submittal.

It is our pleasure to submit this justification letter and revised color elevations for your review and approval. If you have any questions or require additional information, please call me at (702) 798-7900.

Sincerely,
WETZEL Architecture, Ltd

Michael E. Wetzel, AIA
Principal

Attachments: A 5.00 Color Exterior Elevations

APPROVED
Admin Approved Per John K.
BY 4/27/07
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS

PLANNING AND
DEVELOPMENT

APR 26 3 20 PM '07

RECEIVED

City of Las Vegas

ADMINISTRATIVE ACTIONS

☒ Action: Administrative Approval Per John K.
Date: 4/27/07 Staff: DARREN HARRIS
Notes: THE building was Administratively Approved
BASED ON THE EXTERIOR MODIFICATIONS THAT
WERE MADE FROM THE ORIGINAL PLANS TO THE
CURRENT PLANS.

☒ Action: ADMIN APPROVAL
Date: 8-31-07 Staff: John Korkosz
Notes: Shade Structure is minor & will be
compatible w/ the existing project.

☐ Action: _____
Date: _____ Staff: _____
Notes: _____

☐ Action: _____
Date: _____ Staff: _____
Notes: _____

Darren Harris, Planner I

Planning & Development Department - Current Planning Division

731 South Fourth Street

Las Vegas, NV 89101

Voice – (702) 229-1286

Fax – (702) 385-7268

Email – dmharris@lasvegasnevada.gov

Date:	June 6, 2007	To: Wetzel Architecture
Fax Number:	798-9888	Company:
Voice Number:	798-7900	
CLV Project Number:	C-0144-07	
Description:	Shell Building and Tenant Improvement	

Memo:

Need Trash enclosure detail prior to C of O.

Extraction List



EXTRACTION LIST

Separator Sheet

13/a

PARCELS 325
LABELS 262

Report of All Selected Parcels

Case Number: SDR-18009

Printed On: Thu: November 16, 2006

Owner	Address	Parcel Number
36 ACRE L L C	%VERTICAL HOLDINGS CO LLC 7377 E DOUBLETREE RANCH RD #A-270 SCOTTSDALE AZ	12520297003
36 ACRE L L C	%VERTICAL HOLDINGS CO L L C 7377 E DOUBLETREE RANCH RD #A-270 SCOTTSDALE AZ	12520215000
ABLAHAD NICK	6955 N DURANGO DR #2069 LAS VEGAS NV	12520710007
ACKERMAN H DON & SUSAN	%SAS INESTMENTS L L C 2255-D RENAISSANCE DR LAS VEGAS NV	12520710008
ACKERMAN H DON & SUSAN	%SAS INVESTMENTS L L C 2255-D RENAISSANCE DR LAS VEGAS NV	12520215031
ACKERMAN H DON & SUSAN	%S A S INVESTMENTS L L C 2255-D RENAISSANCE DR LAS VEGAS NV	12520215161
ACKERMAN H DON & SUSAN	%SAS INVESTMENTS L L C 2255-D RENAISSANCE DR LAS VEGAS NV	12520215129
ACKERMAN H DON & SUSAN	%SAS INVESTMENTS L L C 2255-D RENAISSANCE DR LAS VEGAS NV	12520215132
ACKERMAN H DON & SUSAN	%S A S INVESTMENTS L L C 2255-D RENAISSANCE DR LAS VEGAS NV	12520215258
ACKERMAN H DON & SUSAN	%SAS INVESTMENTS L L C 2255-D RENAISSANCE DR LAS VEGAS NV	12520215156
AGARWAL ABISHEK & VIBHA	8573 VESTIA CT LAS VEGAS NV	12520712137
AJLOUNY JAMIL N & PAMELA	4541 WINTERGREEN DR TROY MI	12520215223
AJLOUNY JAMIL N & PAMELA	4541 WINTERGREEN DR TROY MI	12520215274
ANDERSON ELDON L JR	2796 SYDNEY WY CASTRO VALLEY CA	12520215116
ANDRA MIRCEA	9120 BIG PLANTATION AVE LAS VEGAS NV	12520215188
ARCHAMBAULT DAVID A	5753 KENSINGTON PL BONSAI CA	12520215194
ARSLANIAN HAGOP A	29567 COLONY CIR FARMINGTON HILLS MI	12520215183
ASIAN DEVELOPMENT L L C	%TEMPLE MISSION TR P O BOX 33130 LAS VEGAS NV	12520201017
ASIAN DEVELOPMENT L L C	%C BROOKSBY P O BOX 33292 LAS VEGAS NV	12520201015
ASIAN DEVELOPMENT L L C	%TEMPLE MISSION TR P O BOX 33130 LAS VEGAS NV	12520201018
ATABAKI ALI	1006 ESPLANADE CIR FOLSOM CA	12520215057
BAKAYOU BASMAN	1789 SEA PINES RD EL CAJON CA	12520215022
BAKHTIARI SHAHRZAD	1313 LAUREL ST #110 SAN CARLOS CA	12520215226
BAKHTIARI SHAHRZAD	1313 LAUREL ST #118 SAN CARLOS CA	12520215218
BAKHTIARI SHAHZAD	1313 LAUREL ST #110 SAN CARLOS CA	12520215281
BAKHTIARI SIAVASH	1313 LAUREL ST #118 SAN CARLOS CA	12520215219
BAKHTIARI SIAVASH	1313 LAUREL ST #118 SAN CARLOS CA	12520215145
BAKHTIARI SIAVASH	1313 LAUREL ST #118 SAN CARLOS CA	12520215234
BARENO ARMANDO II	P O BOX 34982 LAS VEGAS NV	12520215227
BARUKZAI MASOUD	P O BOX 5286 PLEASANTON CA	12520215221

Report of All Selected Parcels

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Owner	Address	Parcel Number
BASS RAYMOND	2609 N PRINDLE ARLINGTON HEIGHTS IL	12520215070
BATES ALICE F REVOCABLE TRUST	10251 TURRET PEAK LAS VEGAS NV	12520215191
BECERRA ABEL L	8111 ALLENGROVE DOWNEY CA	12520215144
BECERRA ABEL L	8111 ALLENGROVE DOWNEY CA	12520215222
BECERRA RICHARD	8111 ALLENGROVE ST DOWNEY CA	12520215214
BECERRA RICHARD	8111 ALLENGROVE ST DOWNEY CA	12520215137
BELCHER JASON	2250 MONROE ST #209 SANTA CLARA CA	12520215164
BERKES JACKIE M	2900 MADISON AVE #A-35 FULLERTON CA	12520215135
BIJU JISSY	6822 RELIC ST LAS VEGAS NV	12520210049
BOLAND COLLEEN SEPARATE PPTY TR	377 WAWONA AVE PISMO BEACH CA	12520215157
BOOKE KIMBERLY & PHILIP	2343 SAN MARCO CT MANTECA CA	12520215239
BORDEN JOEL A JR & MARYLOU A	8572 VESTIA CT LAS VEGAS NV	12520712132
BOZZO KRISTI	5200 BREEZE CIR EL DORADO HILLS CA	12520215063
BUCHOLTZ ROY J	3350 WILBURY RD OAK HILL VA	12520215241
BYRNES LINDA	1320 MLK JR WY BERKELY CA	12520215072
CACHAO VIRGILIO C & LEVITA L	8573 PRIMULA CT LAS VEGAS NV	12520712125
CALL EDWARD JOHN & PATRICIA ANN	1770 LARRY LN ESCONDIDO CA	12520215246
CARUSO STEPHEN & DIANE	318 GETZ AVE STATEN ISLAND NY	12520215033
CARUSO STEPHEN J SR & DIANE F	318 GETZ AVE STATEN ISLAND NY	12520215210
CHESSICK ANNE	3609 PEBBLE BEACH RD NORTHBROOK IL	12520215078
CHEUNG HOI YIN & SHUNG M REV TR	8239 BEVERLY DR SAN GABRIEL CA	12520215090
CHUAN BILL	1775 VALHALLA CT SAN JOSE CA	12520215247
CHUNG DAVID	1312 MASSACHUSETTS AVE #208 WASHINGTON DC	12520215038
CHUNG EILEEN	7104 CROSS CREEK CIR #D DUBLIN CA	12520215244
CHUNG EILEEN	7104 CROSS CREEK CIR DUBLIN CA	12520215189
COHEN RANDY & DANA	3559 CODY RD SHERMANOAK CA	12520215055
CORLEY M DEAN REVOCABLE TRUST	5 ENDLESS VISTA ALISO VIEJO CA	12520215016
CORTEZ EVELYN L	7409 MIDNIGHT RAMBLER LAS VEGAS NV	12520215141
CRIDER LARRY F	233 SAN JOSE AVE SAN FRANCISCO CA	12520215251
D'AGOSTINO DOMINICK A	96 MANNER AVE GARFIELD NJ	12520215242
DANG HAI T	2923 AGUA VISTA DR SAN JOSE CA	12520215237
DAVE MOLLY	10902 PENTLAND DOWNS ST LAS VEGAS NV	12520215209

Report of All Selected Parcels

Case Number: SDR-18009

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Owner	Address	Parcel Number
DAVIS ADRIENNE C	10455 RIVERSIDE DR #5 TOLUCA LAKE CA	12520215217
DEE BUNTHAN	5803 LITTLE SHAY DR FONTANA CA	12520215225
DELACRUZ ELAINE	4748 BOW CANYON CT LAS VEGAS NV	12520215275
DIBIASE ANTHONY & EVANA	2 COSENZA IRVINE CA	12520712120
DROSSOS SCOTT S	2007 LAMEGO WY EL DORADO HILLS CA	12520215011
EBERHARDT LISA A	4429 38TH AVE SACRAMENTO CA	12520215125
EL CAPITAN PARTNERSHIP	3202 W CHARLESTON BLVD LAS VEGAS NV	12520301008
ELSON MICHAEL K & ROBERT D	12804 WADDELL ST VALLEY VILLAGE CA	12520215178
EPIC VENTURE I L L C	6660 DELMONICO DR #D-509 COLORADO SPRINGS CO	12520215119
EPIC VENTURE I L L C	6660 DELMONICO DR #D-509 COLORADO SPRINGS CO	12520215186
ESQUIBEL GABRIEL J	8370 W CHEYENNE AVE #109-84 LAS VEGAS NV	12520215027
EVARISTO SHAWN	6955 N DURANGO DR #2032 BLDG 4 LAS VEGAS NV	12520215080
FABIA CARMELO N	6512 ALPINE AUTUMN CT LAS VEGAS NV	12520215177
FARSHAD JEFFREY	2716 JOLIET ST NEW ORLEANS LA	12520215047
FISCHER ALLAN D & JENNIFER E	7641 ARBORETUM VILLAGE PL CHANHASSEN MN	12520215200
FISH LAURENCE & S REV FAM TR	1840 LYNDON RD SAN DIEGO CA	12520215074
FLEXEN JAMES & OLGA	6826 RELIC ST LAS VEGAS NV	12520210048
FLORES FRANCISCO & LAURA	112 E ST REDWOOD CITY CA	12520215231
FOI CLAUDIA	6955 N DURANGO DR #1071 LAS VEGAS NV	12520215163
FORONDA MARIE JAN	1618 SULLIVAN AVE #203 DALY CITY CA	12520215205
FOX GREG ALLEN	159 W BROADWAY SALT LAKE CITY UT	12520215158
FREEMAN MICHELLE	6955 N DURANGO DR #2076 LAS VEGAS NV	12520215176
FREIJ DIANA	6955 N DURANGO DR #2041 LAS VEGAS NV	12520215084
FREIJ JACK M	37544 TURNBERRY CT FARMINGTON HILLS MI	12520215082
FREIJ SAMIR & DIANA	6955 N DURANGO DR #2041 LAS VEGAS NV	12520215265
FREIJ SAMIR & DIANA	6955 N DURANGO DR #2041 LAS VEGAS NV	12520215109
FREIJ SAMIR & DIANA	6955 N DURANGO DR #2041 LAS VEGAS NV	12520215013
FREIJ SAMIR & DIANNA	6955 N DURANGO DR #2041 LAS VEGAS NV	12520215187
FREIJ SAMIR & DIANNA	6955 N DURANGO DR #2041 LAS VEGAS NV	12520215060
FREIJ SAMIR & DIANNA	6955 N DURANGO DR #2041 LAS VEGAS NV	12520215053
FRYE CHRISTOPHER & JAIME	1311 JUANITA DR WALNUT CREEK CA	12520215124
GALVAN ALEJANDRO	9063 GALANGAL AVE HESPERIA CA	12520215136

Report of All Selected Parcels

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Owner	Address	Parcel Number
GARCIA NARDA	1817 OAK AVE REDWOOD CITY CA	12520215015
GARCIA THOMAS A & PAULA R	8572 RHAMUS CT LAS VEGAS NV	12520712114
GARRARD ARCHIE RONALD	25527 BRIGHTON PL STEVENSON RANCH CA	12520215243
GARRARD ARCHIE RONALD	25527 BRIGHTON PL STEVENSON RANCH CA	12520215110
GARRARD ARCHIE RONALD	25527 BRIGHTON PL STEVENSON RANCH CA	12520215215
GARRARD ARCHIE RONALD	25527 BRIGHTON PL STEVENSON RANCH CA	12520215259
GARRARD ARCHIE RONALD	25527 BRIGHTON PL STEVENSON RANCH CA	12520215042
GAUTHIER MARGARET L	5862 OLEANDER DR NEWARK CA	12520215162
GHOSAL RUBEN	6832 ROLLING OAKS CT LAS VEGAS NV	12520215085
GOEL SANJAY K	335 ELAN VILLAGE LN SAN JOSE CA	12520215174
GONZALEZ BULMARO	545 7TH AVE MENLO PARK CA	12520215005
GONZALEZ BULMARO	545 7TH AVE MENLO PARK CA	12520215062
GONZALEZ RAUL & OLGA P	8572 BROMELIA CT LAS VEGAS NV	12520712126
GOODMAN MARK	215 HURST RD N E PALM BAY FL	12520215131
GOROQ FERENC	1509 PEARL ST SANTA MONICA CA	12520215095
GRAND-REGENTS L L C	14747 WILD COLTS PLACO JAMUL CA	12520215264
GREAT MALL LAS VEGAS L L C	9440 W SAHARA AVE #240 LAS VEGAS NV	12520601005
GUPTA VEERENDRA & PRATIBHA	46479 ROADRUNNER RD FREMONT CA	12520215076
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215271
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215004
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215269
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215268
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215267
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215272
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215270
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215001
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215003
H D A FOUNDATION L L C	%H AHLERS 9731 ORIENT EXPRESS CT LAS VEGAS NV	12520215002
HABASH ZABI	6013 BIRCH PL NEWARK CA	12520215167
HALE PATRELL L	124 HEMLOCK DR SHEHOLA PA	12520215107
HARRELL MICHAEL C & CATHERINE N	5257 POCOSIN LN ALEXANDRIA VA	12520215046
HARRELL MICHAEL C & CATHERINE N	5257 POCOSIN LN ALEXANDRIA VA	12520215118

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Owner	Address	Parcel Number
HARRIS-INMAN SAMUEL T	8565 PRIMULA CT LAS VEGAS NV	12520712123
HENRY SUSAN R REVOCABLE TRUST	4977 CARTE PLAYA ENCINO SAN DIEGO CA	12520215115
HERFIATHIL A	654 BRIARCLIFF DR GROSSE POINT WOODS MI	12520215086
HERFI LOUIE G	8920 SNOW TRACK AVE LAS VEGAS NV	12520215147
HERMIZ MANUEL & MONA	2040 HIDDEN SPRINGS CT EL CAJON CA	12520215170
HERMIZ MANUEL & MONA	2040 HIDDEN SPRINGS CT EL CAJON CA	12520215169
HITT WILLIAM D	2208 ALIA CT LAS VEGAS NV	12520201025
HITT WILLIAM D	2208 ALIA CT LAS VEGAS NV	12520201016
HODROSKY PINXI	8568 PRIMULA CT LAS VEGAS NV	12520712121
HOLT ROBERT JR	P O BOX 772 LOMA LINDA CA	12520215220
HUA HOANG MINH	2885 HOSTETTER RD SAN JOSE CA	12520215018
HUIZAE GLORIA	266 REDWOOD DR PASADENA CA	12520215006
IEPAN TIBERU	6955 N DURANGO #3015 LAS VEGAS NV	12520215039
ILIFF BRIAN J & LUCITA	8573 BROMELIA CT LAS VEGAS NV	12520712131
IMPERIO ANNIE	6955 N DURANGD DR #2114 LAS VEGAS NV	12520215282
INLAND WESTERN L V MONTECITO LLC	2901 BUTTERFIELD RD OAK BROOK IL	12520710009
JUANIR DENNIS	8564 PRIMULA CT LAS VEGAS NV	12520712122
KASAWDISH AMAD & MAY	2540 VALLEY WATER CT SPRINGVALLEY CA	12520215035
KASAWDISH AMAD & MAY	2540 VALLEY WATER CT SPRINGVALLEY CA	12520215026
KASAWDISH AMAD & MAY	2540 SPRING VALLEY WATER CT SPRING VALLEY CA	12520215019
KATSANEVAS ANDREW G	6957 S DIXIE DR WEST JORDAN UT	12520215197
KATSANEVAS DAVID A & PARI	6578 BOUCHELLE LN SALT LAKE CITY UT	12520215201
KEJBO SABRI	713 E WASHINGTON EL CAJON CA	12520215257
KELLER STEPHEN J & LONI	189 N BASCOM AVE #100 SAN JOSE CA	12520215075
KELLY MICHELE D	437 E ALVARADO ST POMONA CA	12520215153
KHOURY MICHAEL A & ELIZABETH M	16170 AMHERST AVE BEVERLY HILLS MI	12520215089
KHOURY MICHAEL A & ELIZABETH M	16170 AMHERST AVE BEVERLY HILLS MI	12520215181
KHOURY TABATHA N	37544 TURNBERRY CT FARMINGTON HILLS MI	12520215184
KHOURY WISAM & PETER E	18453 STONE RIDGE CT NORTHVILLE MI	12520215014
KIM ROLLAN WHA	1127 HIGH ST PAL ALTO CA	12520215044
KOHL'S DEPARTMENT STORES INC	%FINANCE N56 W 17000 RIDGEWOOD DR MENOMOREE FALLS WI	12520710003
KOPPER KEG NORTH INC	8725 W DEER SPRINGS WY LAS VEGAS NV	12520710005

Report of All Selected Parcels

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Owner	Address	Parcel Number
KRAIDMAN BRET & SHARI FAMILY TR	23301 SUNNYVALE CT VALENCIA CA	12520215263
LAM MINH X	650 KIRK GLEN DR SAN JOSE CA	12520215250
LEDESMAN ANGELICA	8568 RHAMUS CT LAS VEGAS NV	12520712115
LEE KENYON	4550 W OAKLEY BLVD #108-B LAS VEGAS NV	12520215133
LEMOS FAMILY TRUST	1 OAK TREE LN BELMONT CA	12520215171
LEMOS MICHAEL R	P O BOX 595 BELMONT CA	12520215127
LEMOS MICHAEL R	2203 HASTINGS DR #16 BELMONT CA	12520215211
LETRAN TUYET NHUNG T	225 PRAGUE DR SAN JOSE CA	12520215262
LEUNG PAULINE	102 FLYING MIST ISLE FOSTER CITY CA	12520215173
LI JIN XIA	1478 PARKMONT DR SAN JOSE CA	12520215151
LITWIN ERIC A & MARTI A	3333 SUNSET HILLS BLVD THOUSAND OAKS CA	12520215128
LITWIN ERIC A MARTI A	3333 SUNSET HILLS BLVD THOUSAND OAKS CA	12520215096
LOMIBAO AIDA A	6225 MARKLEHAM AVE LAS VEGAS NV	12520215185
LOPEZ MARINA	1199 CLEVELAND ST REDWOOD CITY CA	12520215106
LOPEZ SALVADOR	735 N NEIL ST WEST COVINA CA	12520215061
LOVENSON ZACHARY R	390-B COUNTRY CLUB DR SIMI VALLEY CA	12520215248
LOVENSON ZACHARY R	390-B COUNTRY CLUB DR SIMI VALLEY CA	12520215224
M D M PROPERTIES L L C ETAL	26046 EDEN LANDING RD #4 HAYWARD CA	12520301019
MADLAMBAYAN ODIN M & MARIA B	560 BORANDA CT MOUNTAIN VIEW CA	12520215114
MALDONADO ERICK F	5038 GLICKMAN AVE #110 TEMPLE CITY CA	12520215036
MALDONADO ERICK F	55 S LAKE AVE #125 PASADENA CA	12520215168
MARSH JAMES R	P O BOX 42156 LAS VEGAS NV	12520301009
MARTINIA ANTONIO T	6955 N DURANGO DR #1025 LAS VEGAS NV	12520215065
MASSI ALBERT D ETAL	3202 W CHARLESTON BLVD LAS VEGAS NV	12520301020
MATTI AYAD	1830 ELM ST TROY MI	12520215195
MATTI AYAD	1830 ELM CT TROY MI	12520215030
MATTI AYAD	1830 ELM CT TROY MI	12520215023
MATTI AYAD	1830 ELM CT TROY MI	12520215193
MCNURLIN THOMAS C M & KIMBERLY K	5451 N SUNDANCE PL TUCSON AZ	12520215175
MCNURLIN THOMAS C M & KIMBERLY K	5451 N SUNDANCE PL TUCSON AZ	12520215099
MERAM FRANCESCA	6164 CAMINO LARGO SAN DIEGO CA	12520215104
MERAM SAM	6542 DEL CERRO BLVD SAN DIEGO CA	12520215142

Report of All Selected Parcels

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Owner	Address	Parcel Number
MERAM SAM	6542 DEL CERRO BLVD SAN DIEGO CA	12520215213
MERAM SAM	6542 DEL CERRO BLVD SAN DIEGO CA	12520215276
MERAM SAMI	898 DESERT VIEW AVE EL CENTRO CA	12520215101
MERAM SAMI	898 DESERTVIEW AVE EL CENTRO CA	12520215236
MERCER SCOTT O	36 S STATE ST #2000 SALT LAKE CITY UT	12520215235
MILLER NIMFA	10148 SIERRA MADRE RD SPRING VALLEY CA	12520215024
MILLER NIMFA	10148 SIERRA MADRE RD SPRING VALLEY CA	12520215100
MILLER NIMFA	10148 SIERRA MADRE RD SPRING VALLEY CA	12520215041
MILLER NIMFA	10148 SIERRA MADRE RD SPRING VALLEY CA	12520215098
MILLER NIMFA	6955 N DURANGO DR #2024 LAS VEGAS NV	12520215056
MILLER NIMFA H	10148 SIERRA MADRE RD SPRING VALLEY CA	12520215040
MODHA JAMNADAS A	43 CREEK VIEW RD TRABUCO CANYON CA	12520215111
MODHA JAMNADAS A	43 CREEK VIEW RD TRABUCO CANYON CA	12520215150
MODHA JAMNADAS A	43 CREEK VIEW RD TRABUCO CANYON CA	12520215284
MODHA JAMNADAS A	43 CREEK VIEW RD TRABUCO CANYON CA	12520215283
MOFIDI SHAHRAM M & FERESHTEH	130 MARKET PL BOX 151 SAN RAMON CA	12520215212
MOFIDI SHAHRAM M & FERESHTEH	130 MARKET PL BOX 151 SAN RAMON CA	12520215196
MOFIDI SHAHRAM M & FERESHTEH	130 MARKET PL BOX 151 SAN RAMON CA	12520215204
MOHADDES BATOOL	3323 BENTON ST SANTA CLARA CA	12520215126
MONTECITO IMAGING L L C	2020 PALOMINO LN #100 LAS VEGAS NV	12520710006
MORA MYRIHAM H	8569 BROMELIA CT LAS VEGAS NV	12520712130
MOY EDWARD	814 EMILY DR MOUNTAIN VIEW CA	12520215277
MOY EDWARD	814 EMILY DR MOUNTAIN VIEW CA	12520215261
NASR SILVA	18350 HATTERAS ST #240 TARZANA CA	12520215066
NGUYEN THANH-LINH	1566 W ALOGONQUIN RD #124 HOFFMAN ESTATES IL	12520215108
NIBERT SARAH JANE	8569 PRIMULA CT LAS VEGAS NV	12520712124
NIMMAGADDA CHANDRAHASA	1439 REDDING RD SACRAMENTO CA	12520215160
O C J LIVING TRUST ETAL	57 W SYCAMORE AVE ARCADIA CA	12520215094
O'CONNOR SEAN	11896 THOMAS HAYES LN SAN DIEGO CA	12520215240
OLIPHANT DREW & NANCY S	23303 SUNNYVALE CT VALENCIA CA	12520215043
ORTEGA APRIL	6955 N DURANGO DR #1066 LAS VEGAS NV	12520215154
OWINGS ERIC J & SONJA C	%BEST RENT FINDERS 6175 SPRING MOUNTAIN RD #1-B LAS VEGAS NV	12520215207

Report of All Selected Parcels

Case Number: SDR-18009

Printed On: Thu: November 16, 2006

Owner	Address	Parcel Number
PATEL JAGRUTI M	1503 EDMOND DR SAN CARLOS CA	12520215202
PATEL KANTI & KANCHAN	1313 LAUREL ST #100 SAN CARLOS CA	12520215025
PATEL SAILIESH & PRITY	34570 CALCUTTA DR FREMONT CA	12520215130
PATEL SNEHAL	34773 MONACO COMMONS FREMONT CA	12520215083
PATEL SNEHAL	34773 MONACO COMMON FREEMONT CA	12520215252
PATEL YATIN KANTI	3200 EL CAMINO REAL PALO ALTO CA	12520215148
PATTERSON STANLEY	11219 W COTTONWOOD LN AVONDALE AZ	12520215182
PAULSON KERRY G	14075 VIA CORSINI SAN DIEGO CA	12520215192
PEARLMAN CURTIS	5738 SKYVIEW WY #F AGOURA HILLS CA	12520215067
PENNINGTON DUSTIN	336 W 300 SOUTH #405 SALT LAKE CITY UT	12520215012
PENNINGTON DUSTIN	2288 FOOTHILL DR #D302 SALT LAKE CITY UT	12520215143
PENNINGTON LESLIE H	852 E WINDSOR LN BOUNTIFUL UT	12520215146
PENNINGTON LESLIE H	852 E WINDSOR LN BOUNTIFUL UT	12520215279
PENNINGTON STANLEY W	9031 E AMHERST DR #B DENVER CO	12520215049
PENNINGTON STANLEY W	9031 E AMHERST DR #B DENVER CO	12520215007
PEREZ OSCAR & ANA B	1032 JONES CT REDWOOD CITY CA	12520215273
PETERSON LAURA L	24988 BLUE RAVINE #106 FOLSOM CA	12520215229
PETERSON LAURA LYNN	24988 BLUE RAVINE RD #106 FOLSOM CA	12520215120
PLANTONE GLENN S	7409 MIDNIGHT RAMBLER ST LAS VEGAS NV	12520215029
RAGBIR PATRICIA	55 MIDLAND AVE STAMFORD CT	12520215249
RATSANEVAS DAVID ANDREW & PARI	4022 CHASE BROOKER LN SALT LAKE CITY UT	12520215105
RICHMOND AMERICAN HOMES NEVADA	9970 W CHEYENNE AVE #100 LAS VEGAS NV	12520712118
RICHMOND AMERICAN HOMES NEVADA	9970 W CHEYENNE AVE #100 LAS VEGAS NV	12520712119
RICHMOND AMERICAN HOMES NEVADA	9970 W CHEYENNE AVE #100 LAS VEGAS NV	12520712116
ROEHRIG THOMAS	%K PAULSON 14075 VIA CORSINI SAN DIEGO CA	12520215021
ROSS ROBERT & LANI	16133 VENTURA BLVD ENCINO CA	12520215266
ROSS TODD A	230 NORTHWOOD DR SOUTHWEST SAN FRANCISCO CA	12520215254
SADHU FAMILY TRUST	27226 DELEMOS MISSION VIEJO CA	12520215054
SADHU FAMILY TRUST	27226 DELEMOS MISSION VIEJO CA	12520215093
SAFADI MARLENE & REMON	23414 N COLONIAL CT ST CLAIR SHORES MI	12520215073
SALAS JUAN ALBERTO	1126 S GREVILLEA AVE INGLEWOOD CA	12520215051
SALCEDO CARLOS GABRIEL & LAURA H	1107 2ND AVE #207 REDWOOD CITY CA	12520215058

Report of All Selected Parcels

Case Number: SDR-18009

Printed On: Thu: November 16, 2006

Owner	Address	Parcel Number
SAMOY JONAH	31105 MEADOWBROOK AVE HAYWARD CA	12520215071
SAN MATEO EQUITY CORP	400 S EL CAMINO REAL #700 SAN MATEO CA	12520215138
SANTORO ROCCO J & BRENDA JEAN	242 HOUGHTON ST MOUNTAIN VIEW CA	12520215121
SCHULTE THOMAS M	4080 PARADISE RD #15-186 LAS VEGAS NV	12520215134
SEPULVEDA ADRIAN SR	1313 LAUREL ST #110 SAN CARLOS CA	12520215149
SEPULVEDA ADRIAN SR	3488 GREGORY DR BAYPOINT CA	12520215050
SEPULVEDA EDWARD & FLORA	1817 OAK AVE REDWOOD CITY CA	12520215059
SEPULVEDA EDWARD & FLORA	1815 OAK AVE REDWOOD CITY CA	12520215140
SEPULVEDA EDWARD & FLORA	1815 OAK AVE REDWOOD CITY CA	12520215117
SEPULVEDA EDWARD & FLORA	1817 OAK AVE REDWOOD CITY CA	12520215032
SHAH VIPAL	65 SOUTHWIND ALISO VIEJO CA	12520215256
SINGH JAVIEER & MEENAKSHI	48457 CEREUS CT FREMONT CA	12520215077
SINGLETON GERALD & VANI	32406 CREST LN UNION CITY CA	12520215045
SJOBERG GARY M & CHERYL M ETAL	57 W SYCAMORE AVE ARCADIA CA	12520215180
SOUVANNARANGSY SIPHACHANH	1953 WINDMILL CIR SANTA ROSA CA	12520215048
SPINNAKER HOMES V L L C	4366 W CHEYENNE AVE NO LAS VEGAS NV	12520301007
STATEWIDE PROPERTIES L L C	2764 LAKE SAHARA DR #111 LAS VEGAS NV	12520215020
STEPHAN WALEED	2262 WIND RIVER RD EL CAJON CA	12520215139
STEPHAN WALEED	2262 WIND RIVER RD EL CAJON CA	12520215081
STEPHAN WALEED A	2262 WIND RIVER RD EL CAJON CA	12520215199
STEPHEN WALEED A	2262 WIND RIVER RD EL CAJON CA	12520215034
STEPHENS LESLIE F & RICHARD	1016 SHADOW CANYON RD BREA CA	12520215152
STEVENS SARAH	6818 RELIC ST LAS VEGAS NV	12520210050
STEWART STEVE	12300 WILSHIRE BLVD #310 LOS ANGELES CA	12520215206
STOILOV STOIL L	2620 PIRATES COVE #3 SCHAUMBURG IL	12520215255
STRIPLEN A TNHONY G & PAMELA F	3282 HELEN LN LAFAYETTE CA	12520215233
STROUD WAYNE	232 JUNIPERO AVE #1A LONG BEACH CA	12520215166
STURLA DONNA E	6808 CASTILLO CT CITRUS HEIGHTS CA	12520215172
STURLA DONNA E	6808 CASTILLO CT CITRUS HEIGHTS CA	12520215010
STURLA DONNA E	6808 CASTILLO CT CITRUS HEIGHTS CA	12520215112
SWANER MICHAEL L & CRISTINA	10305 MELMONT RD MELBA ID	12520215009
TAKAGAWA REVOCABLE LIVING TRUST	290 EDINBURGH CIR DANVILLE CA	12520215068

Report of All Selected Parcels

Case Number: SDR-18009

Printed On: Thu: November 16, 2006

Owner	Address	Parcel Number
TAYLOR MELVIN LOYD SR & HELEN L	5845 CAMANCHE DR MANTECA CA	12520215238
THIERRY TREMAINE A	910 NORTH PROSPECT AVE REDONDO BEACH CA	12520215079
TODOROVA MIGLENA P	1166 SILVERWOOD CT #1C WHEELING IL	12520215087
TOMA MERRY	14747 WILD COLT PL JAMAL CA	12520215102
TRAN TAN DINH ETAL	41250 ALLINE ST FREMONT CA	12520215253
TRIEU MAY ETAL	11898 THOMAS HAYES LN SAN DIEGO CA	12520215123
TROUTMAN CRAIG	8001 240TH ST W LAKEVILLE MN	12520215069
TROUTMAN RUTH	8001 240TH ST WEST LAKEVILLE MN	12520215155
TUDOR GABRIEL	4277 CLARINBRIDGE CIR DUBLIN CA	12520215092
VAGHETI ROBERT	P O BOX 151564 SAN DIEGO CA	12520215208
VALLEY HEALTH SYSTEM L L C	%UNIVERSAL HEALTH SERV INC P O BOX 61558 KING OF PRUSSIA PA	12520610003
VANBUREN JUSTIN	21660 RAINBOW CT CUPERTINO CA	12520215245
VARTANIAN SANVER & KNAR	1519 29TH AVE SAN FRANCISCO CA	12520215008
VARTANIAN SANVER & KNAR	1519 29TH AVE SAN FRANCISCO CA	12520215088
VASQUEZ ARACELY	311 SUNSET AVE LA PUENTE CA	12520215037
VERGONA WILLIAM	6924 LARGO MAR AVE LAS VEGAS NV	12520215198
VERGONA WILLIAM	6924 LARGO MAR AVE LAS VEGAS NV	12520215190
VON-ZIELBAUER PAUL	36 4TH ST BROOKLYN NY	12520215228
VOSSOUGH PARVIZ & SHOHRE	P O BOX 5131 BELMONT CA	12520215052
VUOJO ROBERT M & SHARYN L	11983 SENTINEL POINT CT RESTON VA	12520215122
WALKER ALENE	8565 RHAMUS CT LAS VEGAS NV	12520712117
WATTS LATORYA	8568 BROMELIA CT LAS VEGAS NV	12520712127
WESTALL NOELANI	8912 SHEEP RANCH CT LAS VEGAS NV	12520215278
WINSTON WILLIAM & JANET	556 ACADEMY AVE MATTESON IL	12520215232
WITMEYER MARIANNE & RONALD	132 N EL CAMINO REAL #302 ENCINITAS CA	12520215260
WITMEYER MARIANNE & RONALD	132 N EL CAMINO REAL #302 ENCINITAS CA	12520215097
WONG LIVING TRUST	27 CARRIAGE DR IRVINE CA	12520215113
WUBBEN CRAIG & KRISTIE	1418 KNOLLCREST DR ROSEVILLE CA	12520215064
YEGHIAYAN STEVE & LISA	9011 TIERRA SANTA ANA LAS VEGAS NV	12520215017
YIP KELLY	2913 WALL ST SAN JOSE CA	12520215179
YIP LARRY	2917 WALL ST SAN JOSE CA	12520215103
YOUNG TERRY A	7501 TRICKLING WASH DR LAS VEGAS NV	12520215091

Report of All Selected Parcels

Case Number: SDR-18009

Printed On: Thu: November 16, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
YOUSOFI KHATOL	1801 MCKENNA DR TRACY CA	12520215028
ZAHM DONNA	36278 BRIGHTON CT NEWARK CA	12520215159
ZARGARI AFSOON	1421 HADDINGTON DR FOLSOM CA	12520215280
ZARGARI ASHKAN	3323 BENTON ST SANTA CLARA CA	12520215230
ZARGARI MOHAMMAD	3323 BENTON ST SANTA CLARA CA	12520215203

Deed



Separator Sheet

CLB

Receipt/Conformed Copy

Requestor:
NEVADA TITLE COMPANY
06/03/2004 14:02:44 T200400034211
Book/Instr.: 20040603-0003B27
Agreement: Page Count: 95
Fees: \$133.00

Frances Deane
Clark County Recorder

A.P.N#: 125-20-701-001

WHEN RECORDED RETURN TO:
Kelly B. Reilly
Law Department
Kohl's Department Stores, Inc.
N56 W 17000 Ridgewood Drive
Menomonee Falls, Wisconsin 53051

RE-RECORD
OPERATION AND EASEMENT AGREEMENT
BETWEEN KOHL'S DEPARTMENT STORES, INC.
AND
DURANGO 215, L.L.C.

THIS DOCUMENT IS BEING RE-RECORDED TO ATTACH NEW EXHIBIT "X"
SITE PLAN TO COMPLY WITH CLARK COUNTY RECORDER'S OFFICE
RECORDING GUIDELINES.

APN
125-20-701-001

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OPERATION AND EASEMENT AGREEMENT

BETWEEN

KOHL'S DEPARTMENT STORES, INC.

AND

DURANGO 215, L.L.C.

**THIS DOCUMENT PREPARED BY
AND AFTER RECORDING MAIL TO:**

Kelly B. Reilly
Law Department
Kohl's Department Stores, Inc.
N56 W17000 Ridgewood Drive
Menomonee Falls, Wisconsin 53051

G:\share\legal\Stores\NV\Las Vegas\oea10.wpd
03/07/03

(7%) of the Occupant's Floor Area and does not have a separate customer entry/exit door to the outside of the Building.

1.24 Tract. "Tract" shall mean that portion of the Shopping Center owned by a Party.

1.25 Utility Lines.

(a) "Utility Lines" shall mean those facilities and systems for the transmission of utility services, including the drainage and storage of surface water.

(b) "Common Utility Lines" shall mean those Utility Lines which are installed to provide the applicable service to both the Kohl's Tract and the balance of the Shopping Center. The surface water collection, retention and distribution facilities shall be deemed to be a Common Utility Line.

(c) "Separate Utility Lines" shall mean those Utility Lines which are installed to provide the applicable service to either the Kohl's Tract or the balance of the Shopping Center, but not both. For the purpose of this OEA, the portion of a Utility Line extending between a Common Utility Line and a Building shall be considered a Separate Utility Line.

ARTICLE 2

EASEMENTS

2.1 Ingress, Egress and Parking.

(a) During the term of this OEA each Party hereby grants and conveys to each other Party for its use and for the use of its Permittees, in common with others entitled to use the same, a non-exclusive easement for the passage and parking of vehicles over and across the parking and driveway areas of the grantor's Tract, as the same may from time to time be constructed and maintained for such use, and for the passage and accommodation of pedestrians over and across the parking, driveway, sidewalk and enclosed mall areas of the grantor's Tract, as the same may from time to time be constructed and maintained for such use.

(b) Each Party hereby grants and conveys to each other Party for its use and for the use of its Permittees, in common with others entitled to use the same, a non-exclusive perpetual easement for the passage of vehicles over and across the access drives and service drives of the grantor's Tract, if any, which are designated on the SITE PLAN as "Perpetual Access".

(c) The easement rights granted under this Section 2.1 shall be subject to the following reservations as well as any other applicable provisions contained in this OEA:

(i) Each Party reserves the right to close off its portion of the Common Area for such reasonable period of time as may be legally necessary, in the opinion of such Party's counsel, to prevent the acquisition of prescriptive rights by anyone; provided, however, that prior to closing off any portion of the Common Area, as herein provided, such Party shall give written notice to each other Party of its

intention to do so, and shall attempt to coordinate such closing with each other Party so that no unreasonable interference with the passage of pedestrians or vehicles shall occur;

(ii) Each Party that has established a staging and/or storage area on its Tract pursuant to Section 3.5 reserves the right to exclude and restrain persons from using the staging and/or storage area during the period of time it is used for such purposes;

(iii) Each Party reserves the right to exclude and restrain Occupants of the Outlot Tracts and their Permittees from parking vehicles on its Tract, and notwithstanding anything to the contrary contained in this OEA, the easements granted in this OEA for the parking of vehicles shall not extend to the Occupants of the Outlot Tracts and their Permittees;

(iv) Each Party reserves the right to close off any enclosed mall area on its Tract during such periods of time that none of the Occupants of such Party's Tract which open to the enclosed mall are open for business; and

(v) Each Party reserves the right at any time and from time to time to exclude and restrain any Person who is not a Permittee from using the Common Area on its Tract.

2.2 Utilities.

(a) Each Party hereby grants and conveys to each other Party non-exclusive perpetual easements in, to, over, under, along and across those portions of the Common Area (exclusive of any portion located within Building Areas) located on the grantor's Tract necessary for the installation, operation, flow, passage, use, maintenance, connection, repair, relocation, and removal of Utility Lines serving the grantee's Tract, including but not limited to, sanitary sewers, storm drains, and water (fire and domestic), gas, electrical, telephone and communication lines.

(b) All Utility Lines shall be underground except:

(i) ground mounted electrical transformers;

(ii) above-ground surface water collection, retention and distribution facilities shown on the SITE PLAN;

(iii) as may be necessary during periods of construction, reconstruction, repair, or temporary service;

(iv) as may be required by governmental agencies having jurisdiction over the Shopping Center;

(v) as may be required by the provider of such service; and

(vi) fire hydrants.

EXHIBIT "B"

GRANT, BARGAIN, SALE DEED

A.P.N.:
R.P.T.T.:

Record at the Request of:

Mail tax bill to and
When recorded mail to:

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH, that 36 ACRE, L.L.C., a Delaware limited liability company, for a valuable consideration, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and Convey to _____, a _____, all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

**SEE LEGAL DESCRIPTION ATTACHED HERETO
AND MADE A PART HEREOF AS EXHIBIT "A".**

SUBJECT TO:

1. Taxes for the current fiscal year, not delinquent, including personal property taxes of any former owner, if any.
2. Restrictions, conditions, reservations, rights, rights of way and easements now of record, if any, or any that actually exist on the property.

TOGETHER WITH all singular the tenements, hereditaments and appurtenances belonging or in anywise appertaining.

[Signature(s) on following page.]

IN WITNESS WHEREOF, this instrument has been executed this ____ day of _____, 200__.

36 ACRE, L.L.C., a Delaware limited liability company

By: Vertical Holdings Company, L.L.C., an Arizona limited liability company
Its: Manager

By: _____
Mark G. Villalpando
Its: Administrative Member

STATE OF ARIZONA)
) ss:
County of Maricopa)

This instrument was acknowledged before me on this ____ day of _____, 200__, by Mark G. Villalpando, as Administrative Member of Vertical Holdings Company, L.L.C., an Arizona limited liability company, the Manager of 36 ACRE, L.L.C., a Delaware limited liability company, on behalf of the company.

NOTARY PUBLIC

Commission Expires:

EXHIBIT "A-1"

LEGAL DESCRIPTION OF PROPERTY

OUTLOT 5

That portion of the NW¼ of the SE¼ of Section 20, T. 19 S., R. 60 E., M.D.M., City of Las Vegas, Clark County, NV, described as follows:

Commencing at the NW corner of said SE¼ of Section 20;

Thence N89°52'18"E 306.11 feet along the northerly line of said SE¼ of Section 20;

Thence S00°07'42"E 46.96 feet to the Point Of Beginning;

Thence N81°49'00"E 14.12 feet;

Thence N87°41'16"E 128.58 feet to a non-tangent curve having a radius that bears S01°32'19" E 106.50 feet;

Thence easterly 18.89 feet along the arc of said curve, being concave to the South, through a central angle of 10°09'45";

Thence S00°07'42"E 209.27 feet;

Thence S90°00'00"W 147.56 feet to a tangent curve;

Thence northwesterly 23.56 feet along the arc of said curve, being concave to the NE, having a radius of 15.00 feet, through a central angle of 90°00'00";

Thence N00°00'00"E 183.05 feet to a tangent curve;

Thence northerly 5.02 feet along the arc of said curve, being concave to the East, having a radius of 15.74 feet, through a central angle of 18°16'01" to the Point Of Beginning.

Containing 33,639 Sq. Ft. or 0.772 Ac., more or less.

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MONTECITO LIFESTYLE CENTER
OUTLOT 5

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

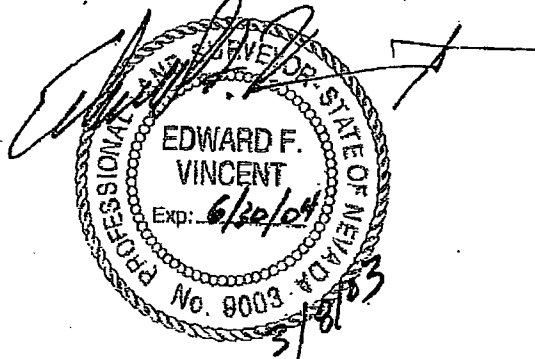
COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER OF SECTION 20; THENCE NORTH $89^{\circ}52'18''$ EAST 306.19 FEET ALONG THE NORTHERLY LINE OF SAID SOUTHEAST QUARTER OF SECTION 20; THENCE SOUTH $00^{\circ}07'42''$ EAST 46.96 FEET TO THE POINT OF BEGINNING; THENCE NORTH $81^{\circ}49'00''$ EAST 14.04 FEET; THENCE NORTH $87^{\circ}41'16''$ EAST 128.58 FEET TO A NON-TANGENT CURVE HAVING A RADIUS THAT BEARS SOUTH $01^{\circ}32'19''$ EAST 106.50 FEET DISTANT; THENCE EASTERLY 18.89 FEET ALONG THE ARC OF SAID CURVE, BEING CONCAVE TO THE SOUTH, THROUGH A CENTRAL ANGLE OF $10^{\circ}09'45''$; THENCE SOUTH $00^{\circ}00'00''$ EAST 209.27 FEET; THENCE SOUTH $90^{\circ}00'00''$ WEST 147.09 FEET TO A TANGENT CURVE; THENCE NORTHWESTERLY 23.56 FEET ALONG THE ARC OF SAID CURVE, BEING CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 15.00 FEET, THROUGH A CENTRAL ANGLE OF $90^{\circ}00'00''$; THENCE NORTH $00^{\circ}00'00''$ EAST 183.05 FEET TO A TANGENT CURVE; THENCE NORTHERLY 5.30 FEET ALONG THE ARC OF SAID CURVE, BEING CONCAVE TO THE EAST, HAVING A RADIUS OF 15.74 FEET, THROUGH A CENTRAL ANGLE OF $19^{\circ}18'29''$ TO THE POINT OF BEGINNING.

CONTAINING 33,629 SQUARE FEET OR 0.772 ACRES, MORE OR LESS.

BASIS OF BEARING

NORTH $00^{\circ}04'54''$ EAST, BEING THE BEARING OF THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., AS SHOWN ON A MAP ON FILE IN THE CLARK COUNTY RECORDERS OFFICE AS FILE 107, PAGE 31 OF SURVEYS.

EDWARD F. VINCENT
PROFESSIONAL LAND SURVEYOR
NEVADA CERTIFICATE NO 9003
EXP. 06/30/04



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NORTHWEST CORNER OF THE
NORTHWEST QUARTER OF THE
SOUTHEAST QUARTER SECTION 20

NORTH 89° 52' 18" EAST
306.19'

FUTURE
DEER SPRINGS WAY

SOUTH 00° 07' 42" EAST
46.96'

N87°41'16"E 128.58'

N81°49'00"E

14.04'

POINT OF
BEGINNING

D=19°18'29"

R=15.74'

L=5.30'

D=10°09'45"

R=106.50'

L=18.89'

N00°00'00"E
183.05'

OUTLOT 5

N00°00'00"E 209.27'

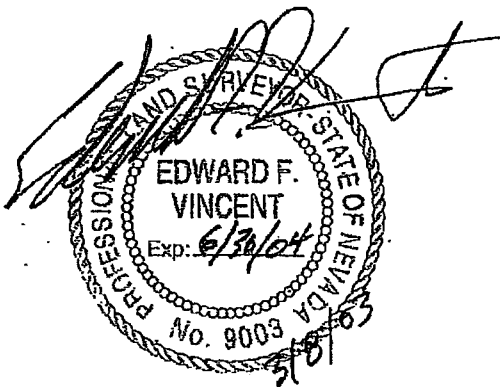
D=90°00'00"

R=15.00'

L=23.56'

N90°00'00"E

147.09'



PROJECT NO.
079.01001/Phase 9

DATE
3/4/03

MONTECITO LIFESTYLE CENTER
OUTLOT 5 EXHIBIT

PRIMAS AND ASSOCIATES
CONSULTING ENGINEERS

SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18009** APN: 125-20-710-008

Name of Property Owner: 36 ACRE, LLC

Name of Applicant: DR. NEVILLE POXROY

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: 36 ACRE, LLC. Mark Villafra

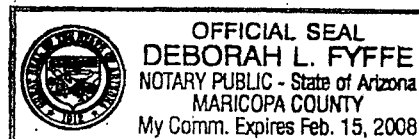
Print Name: 36 ACRE, LLC

Subscribed and sworn before me

This 16th day of October, 2006

Deborah L. Fyffe
Notary Public in and for said County and State

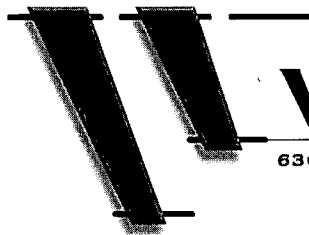
State of Arizona, Maricopa County



Justification Letter



Separator Sheet



WETZEL ARCHITECTURE

6362 MCLEOD DR. #6 LAS VEGAS, NV 89120 P: 702-798-7900 F: 702-798-9888

October 9, 2006

City of Las Vegas
Planning & Development
731 South Fourth Street
Las Vegas, NV 89101

RE: Justification Letter to Accompany Site Development Plan Review
Montecito Medical Office Building
Project No. 06-032
APN Nos.: 125-20-710-008

To Whom It May Concern:

Dakem & Associates is proposing to construct one new office building on a pad site located on the southeast corner of Durango and Deer Springs. The proposed building will be approximately 9,000 square feet, with approximately 45 parking spaces (see site plan included with this submittal).

Wetzel Architecture, Ltd., is requesting on behalf of Vertical Holdings Co. LLC, that a Site Development Plan Review be performed for the aforementioned site. The site is within the Town Center District area. The building is proposed to consist of architectural features consistent with the existing shopping center. The results of the review will be used to complete the construction drawings for the building and any required onsite improvements. The proposed facility and intended use is anticipated to conform to the existing General Plan requirements.

This submittal contains a site plan containing the following information: site dimensions and offsets, proposed building locations, conceptual floor plan layout(s), onsite parking analysis and corresponding onsite parking locations and dimensions, and onsite improvements.

It is our pleasure to submit this justification letter, accompanying application and all other attachments as required by City of Las Vegas – Current Planning Division for completion of a Site Development Plan Review. If you have any questions or require additional information, please call me at (702) 798-7900.

Sincerely,
WETZEL Architecture, Ltd

Michael E. Wetzel, AIA
Principal

Attachments

cc: Daniel S. Amster, Dakem & Associates

SDR-18009
12/21/06 PC

Application



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SITE DEVELOPMENT PLAN REVIEW
Project Address (Location) 8775 Deer Springs Way, Las Vegas, NV 89149
Project Name CENTENNIAL DIALYSIS Proposed Use MEDICAL CLINIC
Assessor's Parcel #(s) 125-20-710-008 Ward # 6
General Plan: existing _____ proposed _____ Zoning: existing T-C proposed T-C
Commercial Square Footage 9,000 SF Floor Area Ratio 1:3.74
Gross Acres .77 Lots/Units 1 Density _____
Additional Information _____

PROPERTY OWNER 36 ACRE, LLC Contact MARK VILLALPANDO
Address 7377 E DOUBLETREE RANCH RD. #A270 Phone: 480-585-0100 Fax: 602 296-0298
City SCOTTSDALE State AZ Zip 85268

APPLICANT DR. NEVILLE POYROY Contact _____
Address 500 S. RANCHO DR. #12 Phone: _____ Fax: 702 877-4536
City LAS VEGAS State NV Zip 89106

REPRESENTATIVE DAKEM'S ASSOCIATES, LLC Contact DANIEL S. AMSTER
Address 3400 W. DESERT INN RD, SUITE 25 Phone: 702 897-6969 Fax: 702 897-3311
City LAS VEGAS State NV Zip 89102

Property Owner Signature* Mark Villalpando

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Mark Villalpando

Subscribed and sworn before me 36 Acres, LLC

This 16th day of October, 20 06

Deborah L. Fyffe Maricopa County, Arizona

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>SDR-18009</u>
Meeting Date:	<u>12/21/06</u>
Total Fee:	<u>\$800.00</u>
Date Received:*	<u>11/6/06</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Hansen Sheet



Separator Sheet

Report Date 11/07/2006 09:27 AM

Submitted By

Page 1

A/P # 18009 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	11/06/2006 13:21	984478	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-18009 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: NEVILLE POKROY - OWNER: 36 ACRE, LLC - Request for a Site Development Plan Review FOR A PROPOSED 9,000 SQUARE-FOOT MEDICAL OFFICE BUILDING on 0.77 acres adjacent to the south side of West Deer Springs Way, approximately 300 feet from North Durango Drive (APN:125-20-710-008), T-C (Town Center) Zone [(Mixed-Use Commercial) - Montecito Town Center) Land Use Designation], Ward 6 (Ross).

Parent A/P #

Project # 18009 Project/Phase Name CENTENNIAL DIALYSIS Phase #
Size/Area 0.77 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 12520710008

Location

Owner/Tenant

Contact ID AC1304356 Name 36 ACRES, LLC
Mailing Address 7377 E. DOUBLETREE RANCH RD, STE A270
City SCOTTSDALE Organization
ZIP/PC 85258 State/Province AZ
Day Phone (480)585-0100 x Country
Fax (602)296-0298 Evening Phone
Mobile # ☐ Foreign

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

No Addresses are linked to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

12520710008

Planning Condition Description Effective Expire Comments

There is no planning condition for this project.

Report Date 11/07/2006 09:27 AM

Submitted By

Page 2

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance? Final City Council letter received
N Parent Project link required? Annotated minutes recieved
Y Will this go to the City Council? Is there a condition of approval for a Required Review?
Hearing Type If yes, when does it need to be reviewed?
Public, Non-Public, AdminPUBLC

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
12/21/2006	PC	SCHEDULED	0	0	0
DSULLIVAN	11/06/2006				

Template Type A/P #	A/P Type	Status	Stage
No children exist for this project			

Employee Employee ID	Last	First	MI	Comments
No Employee Entries				

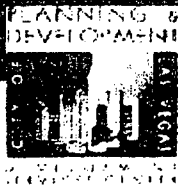
Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CK NAME,# WHO PICKED UP PERMIT	970040	11/06/2006 13:26		0.00
	PHILLIP CONNOR, DAKEM & ASSOCIATES LLC CK 25013, 837-6969				

Project Checklist



PROJECT CHECKLIST

Separator Sheet

☐ Meeting☐ Telephone

Conversation Record

Project Name medical officeConversation between CLV Representative(s): Jim Marshall
and,Page 1 of 1
Date 11/17/06
Time am pm

Name	Company/Department	Phone	FAX
Michael Wetzel	Wetzel Architecture	798-7900	
Victor Bolanos			
Roger Bailey			
Gary Reid			

☐ see Meeting Attendance Sheet

- NOVEMBER 7TH

Comments:

Montecito Town Centersite (Pad 7) 8,425 sq ft per Z-0076-98 (24)Z-0076-98 (34) excludes subject site.Perimeter Landscape buffer 15 feet - see conditions.8 feet interior - Trees 1 per 30 feetshopping center - show analysis of entire Montecito Lifestyles Center
1 per 230 -medical office use - 9,000 square feetHandicap Parking - over 1,000 twenty spaces, plus one
space for each 100 over 1,000 spaces or
fraction thereof.include cross access parking agreement for the site.Landscape finger every six spaces 6 feet wide
Public curbHeight 31' 5"December 21, 2006January 17, 2006

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes
Item Required				
YES	NO			
APPLICATION				
☒	☐	Signed and notarized by all property owners or authorized agent(s)		
☒	☐	Grant deed and legal description		
☒	☐	Detailed justification letter		
☒	☐	Reduced 8.5" x 11" copy of all plans and elevations		
☒	☐	Full size, rolled, color copy of all plans and elevations		
☒	☐	Correct fee(s): \$ <u>500</u> \$ <u>300</u> \$ <u> </u> Total = \$ <u>800</u>		
☒	☐	Statement of Financial Interest		
☐	☒	Development Impact Notice and Assessment (DINA)		
☐	☒	Project of Regional Significance		
SITE PLAN Folded Plans: <u>19</u> Rolled/Colored Plans: <u> </u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		1 per 250
☒	☐	North arrow, scale, and vicinity map		
☒	☐	All property lines and present dimensions labeled		
☒	☐	All building setbacks labeled		
☒	☐	All adjacent existing land uses and street names labeled		
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized: <u>shopping center</u>		
☒	☐	Parking space count and typical dimensions labeled #regular #compact #handicap Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		
LANDSCAPE PLAN Folded Plans: <u>3</u> Rolled/Colored Plans: <u> </u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	All property lines and present dimensions labeled		
☒	☐	All required perimeter landscape planters shown		
☒	☐	All required parking lot fingers/islands shown		
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover		
BUILDING ELEVATIONS Folded Plans: <u>2</u> Rolled/Colored Plans: <u> </u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	Scale and building dimensions labeled		
☒	☐	North, south, east, and west elevations of all buildings		
☒	☐	All building materials and colors noted		
☒	☐	8" x 10" photo of original color and material board		
☒	☐	All wall sign locations shown and sizes noted		
FLOOR PLANS Folded Plans: <u> </u> Rolled Plans: <u> </u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	Scale and building dimensions labeled		
☒	☐	All building entrances/exits shown		
☒	☐	Use of all rooms noted/labeled		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: Michael Wetzel Application Type: Site Development Review
 APN: 125-207-10-008 Location: Durango & Deer Springs
 Planner: J. Trice Pre-App Meeting Date: 10/29/06 Earliest PC Date: 12-21-06

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SDR-18009 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: NEVILLE POKROY - OWNER: 36 ACRE, LLC - Request for a Site Development Plan Review FOR A PROPOSED 9,000 SQUARE-FOOT MEDICAL OFFICE BUILDING on 0.77 acres adjacent to the south side of Deer Springs Way, approximately 300 feet east of Durango Drive (APN 125-20-710-008), T-C (Town Center) Zone [Mixed-Use Commercial – Montecito Town Center Special Land Use Designation], Ward 6 (Ross).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 20, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: **DECEMBER 21, 2006** CITY COUNCIL: **JANUARY 17, 2007**

CASE PLANNER: **DOUG RANKIN**



PUBLIC HEARING

Comments Due: NOVEMBER 20, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Dorothy Marsili (damarsili@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-18009

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

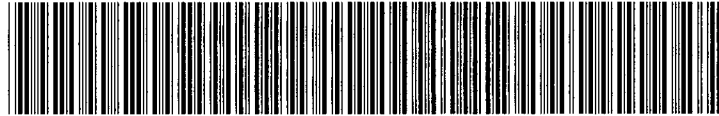
SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEMUS
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	DOA J. MEADE, ENGINEERING DESIGN DIVISION	1001 S. VALLEY VIEW BLVD.

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR
11/06/2006

Neighborhood Services List



NEIGHBORHOOD SERVICES LIST

Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: December 21,2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-18009

Cimarron Springs HOA

Elkhorn Springs Community Association

Lone Mountain Citizens Advisory Council

Timberlake HOA

Wildflower II HOA

Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: DECEMBER 21, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SDR-18009

APPLICANT: DR. NEVILLE POKROY - OWNER: 36 ACRE, LLC - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR A PROPOSED 9,506 SQUARE-FOOT MEDICAL OFFICE BUILDING ON 0.77 ACRES ADJACENT TO THE SOUTH SIDE OF DEER SPRINGS WAY, APPROXIMATELY 300 FEET EAST OF DURANGO DRIVE (APN 125-20-710-008), T-C (TOWN CENTER) ZONE [MIXED-USE COMMERCIAL - MONTECITO TOWN CENTER SPECIAL LAND USE DESIGNATION], WARD 6 (ROSS).

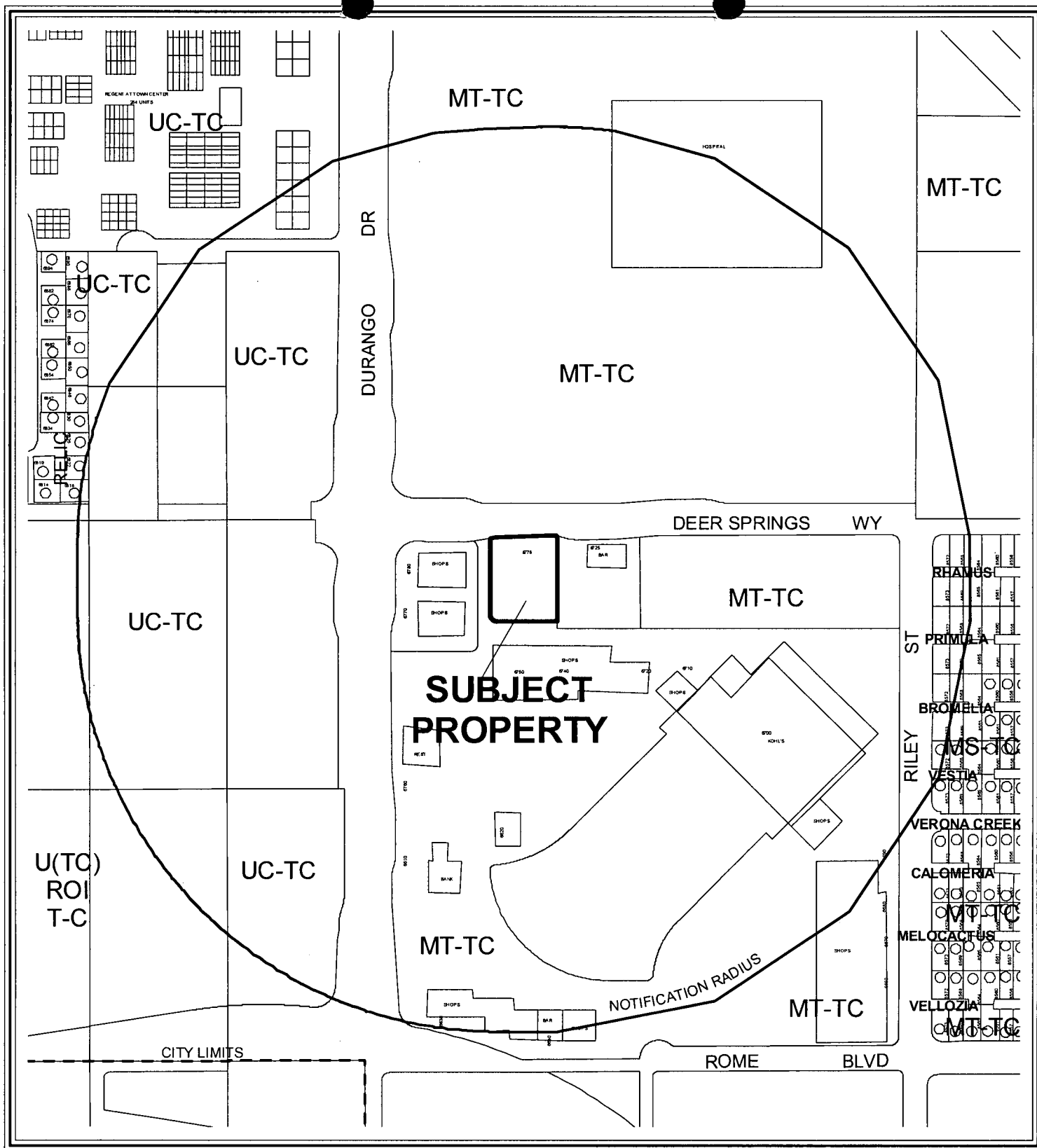
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 20, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



DOUGLAS J. RANKIN, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



CASE: SDR-18009

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [MIXED-USE (MONTECITO TOWN CENTER)
LAND USE DESIGNATION]

0 90 180 Feet



Applicant Letter



Separator Sheet

FROM :

FAX NO. : 702 837 3311

Dec. 19 2006 11:25AM P2/2

DEC/19/2006/TUE 12:12 PM VERTICAL HOLDINGS

FAX No. 4805852310

P. 002

CITY OF LAS VEGAS	
ONE MOTION / ONE VOTE	
	Planning and Development Department Current Planning Division 731 South Fourth Street Las Vegas, Nevada 89101 (702) 229-6301 Phone (702) 385-7268 Fax

SUBJECT: SDR-18009 - APPLICANT: DR. NEVILLE POKROY - OWNER: 36 ACRE, LLC

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the **December 21, 2006** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to Carman Barney at 385-7268. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions.


Signature

12/19/06
Date

MARK G. VILLALPANDO
Please Print Name

36 ACRE, LLC
Company Name

Sincerely,

Douglas J. Rankin, Planning Supervisor
Current Planning Division

RECEIVED
DEC 19 2006

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

December 8, 2006

Mr. Mark Villapando
36 Acre, LLC
7377 East Doubletree Ranch Road, Suite A270
Scottsdale, Arizona 85258

RE: SDR-18009 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Villapando:

Please be advised the City Planning Commission at its regular meeting on **December 21, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Douglas J. Rankin, Planning Supervisor
Planning and Development Department
Current Planning Division

DJR:clb

cc: Dr. Neville Pokroy
500 South Rancho Drive, Suite #12
Las Vegas, Nevada 89106

Mr. Daniel Amster
Dakem & Associates, LLC
3400 West Desert Inn Road, Suite #25
Las Vegas, Nevada 89102

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

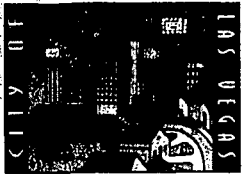


Action Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

December 22, 2006

Mr. Mark Villapando
36 Acre, LLC
7377 East Doubletree Ranch Road, Suite A270
Scottsdale, Arizona 85258

RE: SDR-18009 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Villapando:

Your request for a Site Development Plan Review FOR A PROPOSED 9,000 SQUARE-FOOT MEDICAL OFFICE BUILDING on 0.77 acres adjacent to the south side of Deer Springs Way, approximately 300 feet east of Durango Drive (APN 125-20-710-008), T-C (Town Center) Zone [Mixed-Use Commercial – Montecito Town Center Special Land Use Designation], Ward 6 (Ross), was considered by the Planning Commission on December 21, 2006.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/06/06, except as amended by conditions herein.
3. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



4. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
5. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
8. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

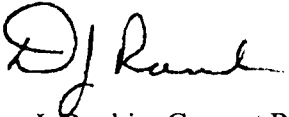
11. Remove all substandard public street improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
12. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or the submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.

Mr. Mark Villapando
SDR-18009 - Page Three
December 22, 2006

13. Site development to comply with all applicable conditions of approval for the Montecito Lifestyles Center commercial subdivision and all other site-related actions.

This action by the Planning Commission on **December 21, 2006** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision or there is a review action filed by the City Council within the same time period. The Notice of Final Action was filed with the Las Vegas City Clerk on **December 22, 2006**.

Sincerely,

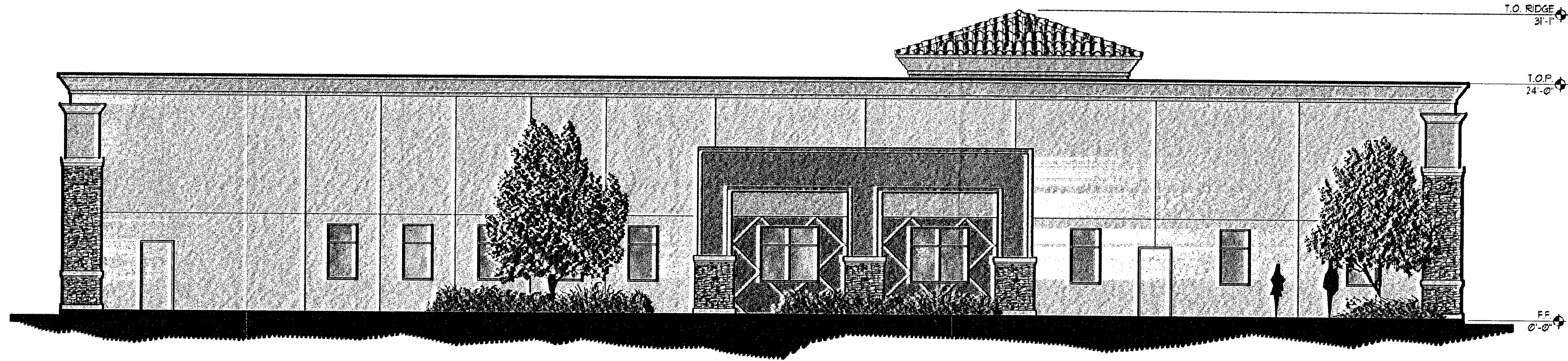


Douglas J. Rankin, Current Planning Manager
Planning and Development Department
Current Planning Division

DJR:clb

cc: Dr. Neville Pokroy
500 South Rancho Drive, Suite #12
Las Vegas, Nevada 89106

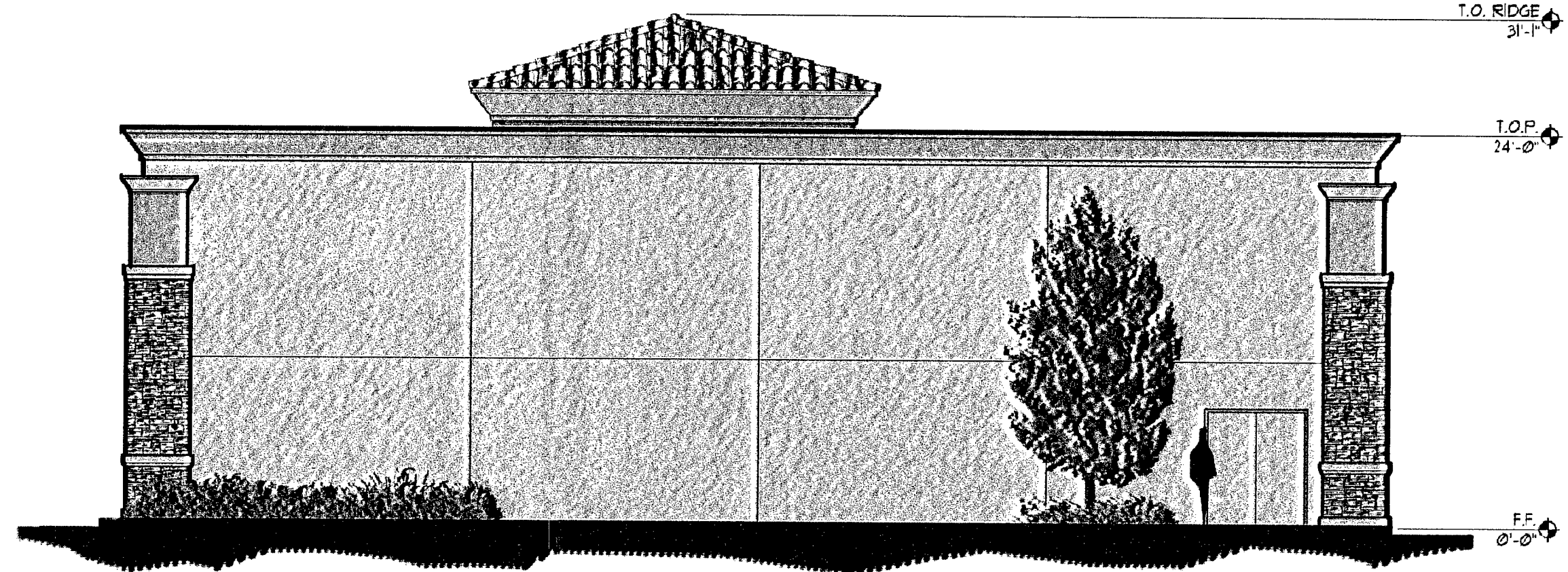
Mr. Daniel Amster
Dakem & Associates, LLC
3400 West Desert Inn Road, Suite #25
Las Vegas, Nevada 89102



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

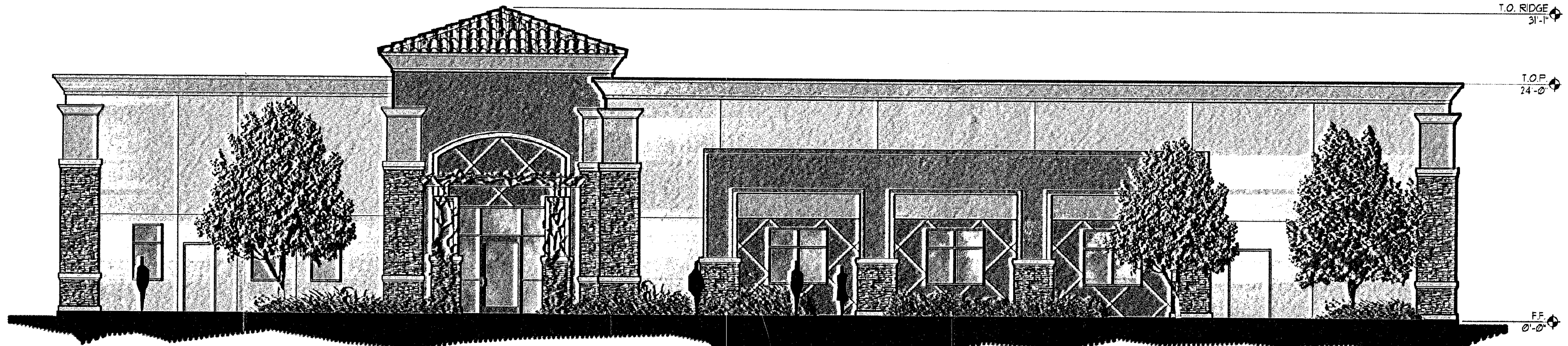
4



EAST ELEVATION

SCALE: 1/8" = 1'-0"

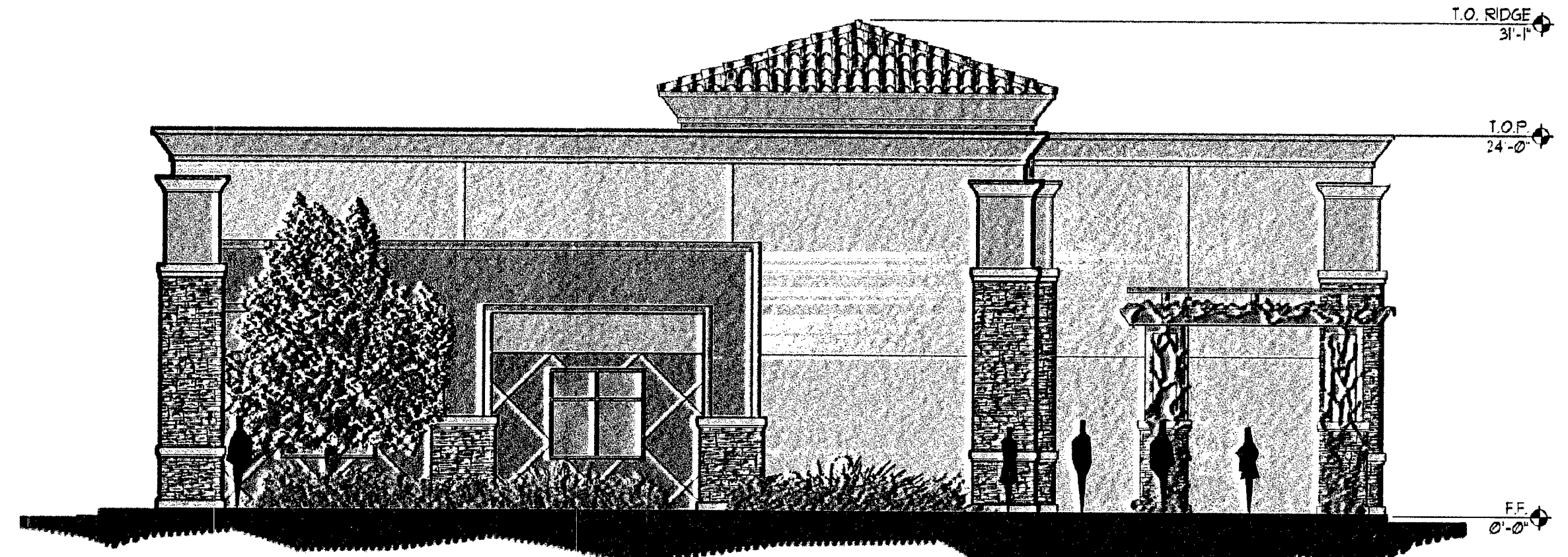
3



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

2



WEST ELEVATION

SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

1. ROOF TILE: US TILE TWO PIECE MISSION TILE 'NEWPORT BLEND'
2. STOREFRONT: US ALUMINUM 'DARK BRONZE'

LEGEND

- PAINT TO MATCH DRYVIT '413A SAND'
- PAINT TO MATCH DRYVIT '103 EGG SHELL CREAM'
- PAINT TO MATCH DRYVIT '430 HOT CHOCOLATE'
- PAINT TO MATCH DRYVIT '383 HONEY TWIST'
- CULTURED STONE: PRO-FIT LEDGERSTONE 'AUTUMN FF-205' DRYSTACK

WETZEL
ARCHITECTURE
ARCHITECTURE - PLANNING - DESIGN
6362 MCLEOD DR. #6
LAS VEGAS, NEVADA 89120
T: (702) 798-7900 F: (702) 798-9888

PRELIMINARY
NOT FOR CONSTRUCTION

Consultant:

All Drawings, Specifications and Copies thereof furnished by the Architect are to be used only with respect to this Project and are not to be used on any other Project with the exception of one contract set of each party to the building contract. Such Documents are to be returned at the completion of the Project. Any use or reproduction of this Drawing in whole or in part by any means whatsoever is strictly prohibited except with the specific written consent of the Architect. Solicitation or distribution to meet official regulatory requirements or for other purposes in connection with the project is not to be construed as publication in derogation of the Architects common law Copyrights or other reserved rights.

Centennial Dialysis

APN: 125-20-710-008
Las Vegas, Nevada
36 ACRE LLC

Project:

Date: 19 oct 06

Project No: 06-032

Drawn by: MEW

Checked by: MEW

Rev. Date Description

△
△
△
△
△

EXTERIOR
ELEVATIONS

A 5.00

RECEIVED
APR 26 2007

APPROVED
Admin Approved Per John K.
BY Jan Has 4/26/07
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS

[HOME](#) [BACK TO NEVADA](#)

<http://www.hardinlab.com/Nov94-484-208.htm>

12/21/2006

SCALE: 1/2" = 1'-0"

(11)

SCALE: 1/4" = 1'-0"

2. (2)

1. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO BEGINNING WORK.
2. PROPERTY LINES AND DIMENSIONS FOR REFERENCE ONLY, REFER CIVIL FOR HORIZONTAL CONTROL.
3. REFER TO CIVIL DRAWINGS FOR SITE RELATED ITEMS, UTILITY CONNECTIONS, CURBS AND GUTTERS, RADIUS INFORMATION AND SLOPES OF PAVEMENT.
4. REFER TO ELECTRICAL FOR SITE LIGHTING.

PROPOSED BUILDING

PROPOSED LANDSCAPED AREA

- ⑦ EXISTING PARKING AND DRIVE.
- ⑧ PROPERTY LINE.
- ⑨ ELECTRICAL TRANFORMER.
- ⑩ LINE OF 5'-0" SIDEWALK PER TOWN CENTER DESIGN STANDARDS.
- ⑪ CONCRETE DETAILING TO COMPLY WITH PROVISIONS OF THE CLARK COUNTY STANDARDS. REFER TO CIVIL.
- ⑫ ACCESSIBILITY SIGN MUST COMPLY WITH ALL APPLICABLE CODES AND STANDARDS. REFER TO CIVIL.
- ⑬ PRECAST CONCRETE SPLASH BLOCK SLOP TO DRAIN AWAY FROM BUILDING TYPICAL AT ROOF DRAIN.
- ⑭ LANDSCAPING AND IRRIGATION ETC. PER LANDSCAPE DRAWINGS. COORDINATE POWER REQUIREMENTS FOR SITE LIGHTING ETC. WITH ELECTRICAL DRAWINGS.
- ⑮ STRIPED AREA INDICATES HANDICAPPED ACCESSIBLE ROUTE. CONTRACTOR TO COORDINATE STRIPING WITH ALL APPLICABLE CODES AND STANDARDS. COORDINATE WITH CIVIL.
- ⑯ NEW ASPHALT PAVED DRIVE. REFER TO CIVIL.
- ⑰ 1'-0" CONCRETE INTERIOR WALK CENTER ON ENTRANCE DOORS.
- ⑱ 10' HOUR WALL CONSTRUCTION REQUIRED DUE TO DISTANCE FROM PROPERTY LINE. CONSTRUCT PER 2003 IBC TABLE 702.2(1) ITEM 5-0" ON BACK OF FINISH 1/4" MIN. TO 1.3 TO BOTTOM OF ACCESSIBLE TO CORRELATION. SEE EXISTING ONLY. NO FLOOR ACCESSIBLE TO CORRELATION OF NOGRESS OR EGRESS.
- ⑲ REFER TO 10/10/20 NOT 2003 PLASTER TERMINATION AT PAVED AREA. COORDINATE WITH CIVIL.
- ⑳ WHEEL STOP

Consultants:

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Centennial Dialysis
APN: 125-20-710-008
Las Vegas, Nevada
36 ACRE LLC

Project:	Date:	19 mar 07	Owner:
Project No:	06-032		
Drawn by:	PKC		
Checked by:	MEW		
Rev.	Date	Description	
△ 5-7-07		PLAN CHECK COMMENTS	
△ 5-14-07		PLANS APPPROVED FOR CONSTRUCTION	
△ JAK	JUN 19 2007	City of Henderson, Nevada	
△		Does Not Include the Following Plans:	
		1. Preliminary Maps No Change	
		2. Without Approval Plan	
		Not a Preliminary Map	
		SITE PLAN	

A 1.00

SCALE: $1/2" = 1'-0"$

3

SCALE: 1/4" = 1'-0"

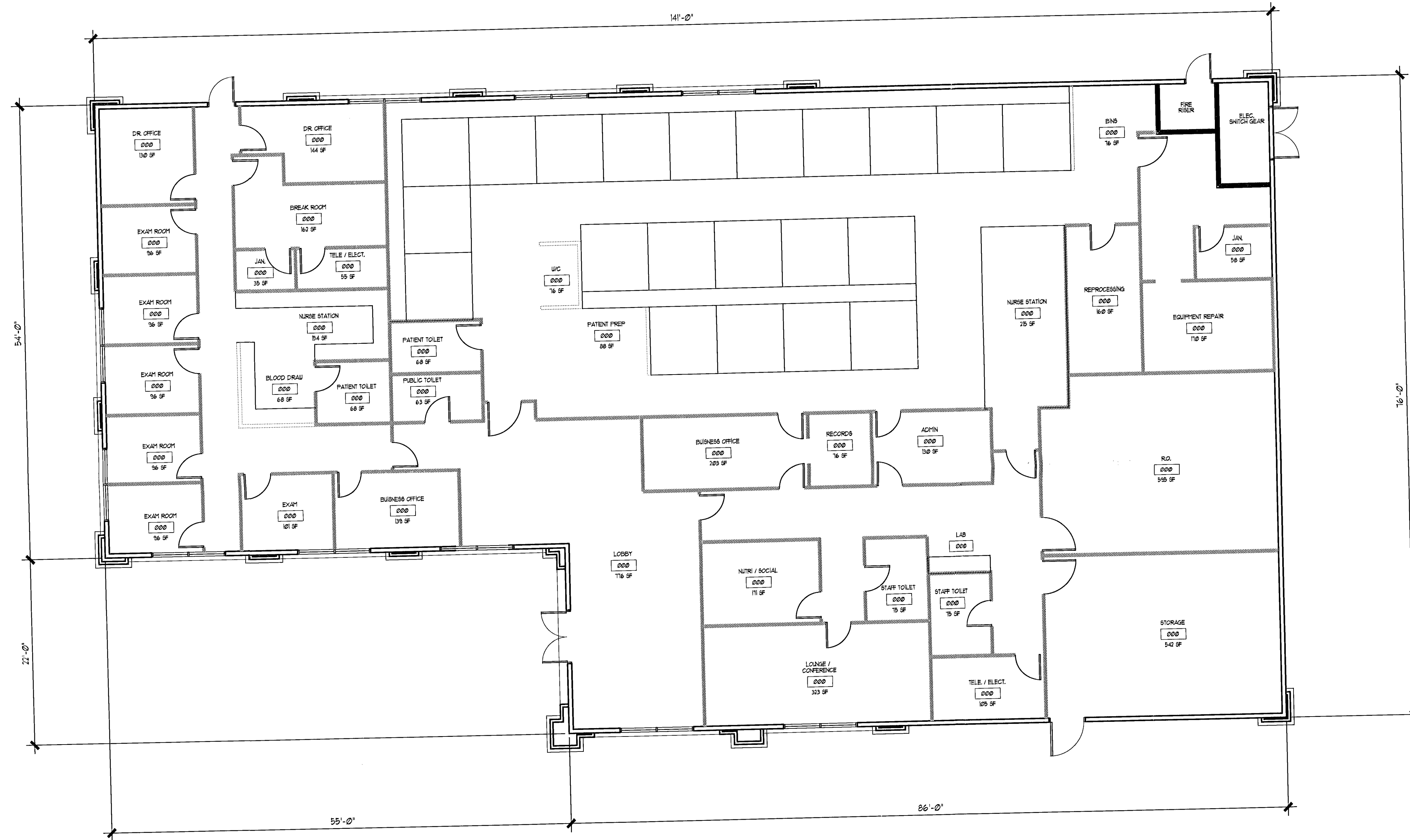
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SCALE: 1" = 20'-0"

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AUG 31 2007

REVISED



FLOOR PLAN
SCALE: 1/8" = 1'-0"

BASIS OF DESIGN

ADOPTED CODES

2003 INTERNATIONAL BUILDING CODE W/ LOCAL AMENDMENTS
2000 INTERNATIONAL MECHANICAL CODE W/ LOCAL AMENDMENTS
2000 INTERNATIONAL PLUMBING CODE W/ LOCAL AMENDMENTS
2002 INTERNATIONAL ELECTRICAL CODE W/ LOCAL AMENDMENTS
2003 INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS

SITE

APN: 125-20-710-008
ZONING: T-C
AREA: 1.11 ACRES ± 33341 S.F.
BUILDING ENVELOPE AREA: 5500 S.F.
FLOOR AREA RATIO: 20.8%
LANDSCAPE AREA: 6300 S.F. (20.6%)

USE AND OCCUPANCY CLASSIFICATION - CHAPTER 3

CLASSIFICATION - SECTION 304.1
OCCUPANCY: B
USE: MEDICAL OFFICE BUILDING

GENERAL BUILDING HEIGHT AND AREA - CHAPTER 3

ALLOWABLE HEIGHT AND BUILDING AREA - TABLE 503
ALLOWABLE HEIGHT - 2 STORY / 40'
ACTUAL HEIGHT - 1 STORY / 32'

PARKING - LAS VEGAS ZONING CODE TITLE 19

CHAPTER 19.10 TABLE 1
SHOPPING CENTER: ONE SPACE FOR EACH 250 S.F. OF GFA

REQUIRED: 38
PROVIDED: 40 (INCLUDES 2 HANDICAP ACCESSIBLE SPACES)

SIZE: 9'-0" x 19'-0" w/ 24'-0" DRIVE

WETZEL
ARCHITECTURE
ARCHITECTURE - PLANNING - DESIGN

6362 MCLEOD DR. #6
LAS VEGAS, NEVADA 89120
T: (702) 798-7900 F: (702) 798-9888

PRELIMINARY
NOT FOR CONSTRUCTION

Consultant:

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Centennial Dialysis

APN: 125-20-710-008
APPROVED
CITY COUNCIL DATE: 11/1/06
PLANNING COMMISSION DATE: 12/21/06
OWNER: CENTENNIAL DIALYSIS
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

36 ACRE LLC

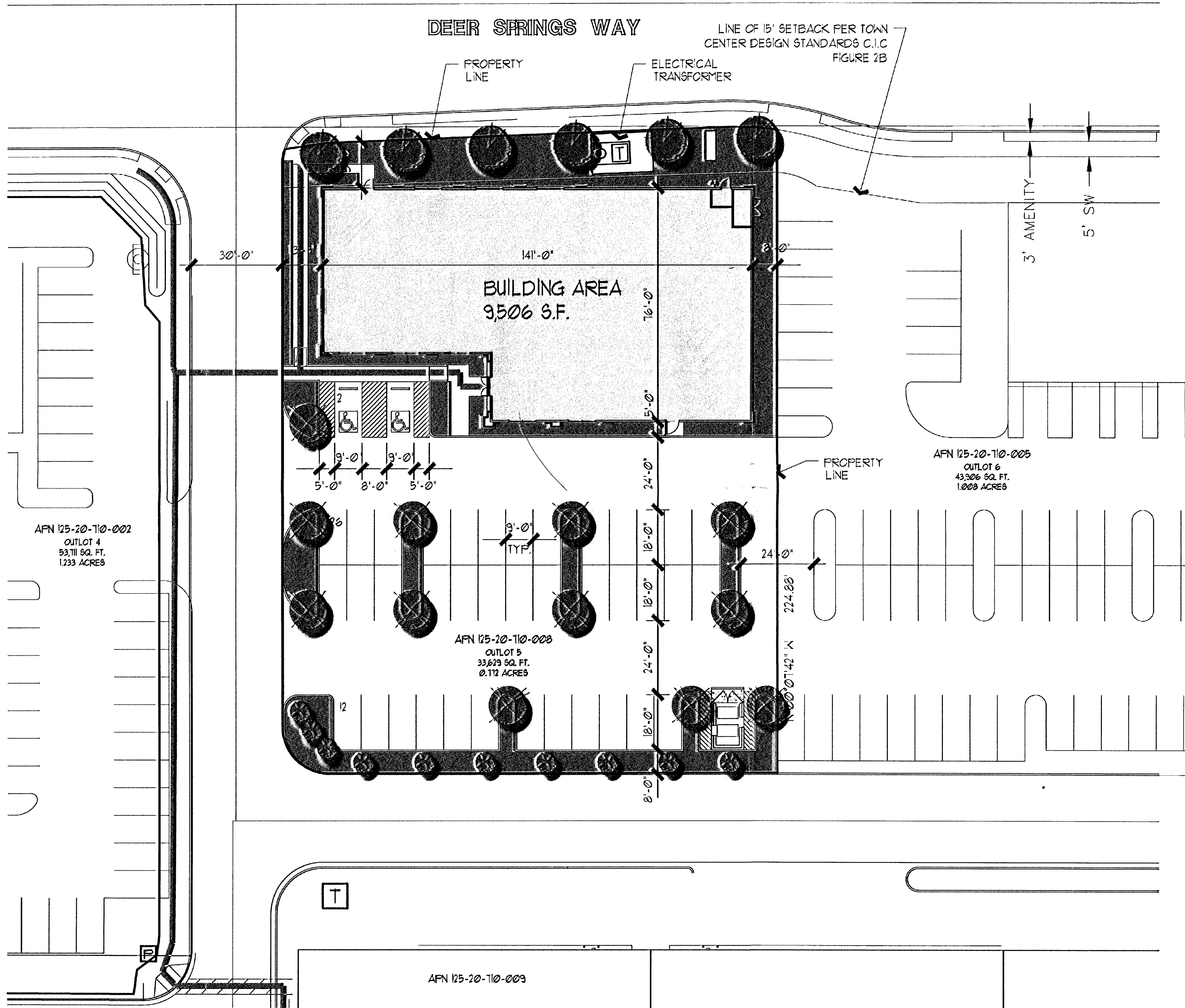
Date: 19 oct 06
Project No: 06-032
Drawn by: MEW
Checked by: MEW

Rev. Date Description
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FLOOR PLAN

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SITE / LANDSCAPE PLAN
SCALE: 1" = 20'-0"

BASIS OF DESIGN

ADOPTED CODES
2003 INTERNATIONAL BUILDING CODE W/ LOCAL AMENDMENTS
2000 INTERNATIONAL MECHANICAL CODE W/ LOCAL AMENDMENTS
2000 INTERNATIONAL PLUMBING CODE W/ LOCAL AMENDMENTS
2002 INTERNATIONAL ELECTRICAL CODE W/ LOCAL AMENDMENTS
2003 INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS

SITE
APN: 125-20-110-008
ZONING: T-C
AREA: ±.11 ACRES ± 33,541 S.F.
BUILDING ENVELOPE AREA: 9,500 S.F.
FLOOR AREA RATIO: 26.8%
LANDSCAPE AREA: 6,300 S.F. (20.6%)

USE AND OCCUPANCY CLASSIFICATION - CHAPTER 3

CLASSIFICATION - SECTION 304.1

OCCUPANCY - B
USE - MEDICAL OFFICE BUILDING

GENERAL BUILDING HEIGHT AND AREA - CHAPTER 5

ALLOWABLE HEIGHT AND BUILDING AREA - TABLE 503

ALLOWABLE HEIGHT - 2 STORY / 40'
ACTUAL HEIGHT - 1 STORY / 32'

PARKING - LAS VEGAS ZONING CODE TITLE 19

CHAPTER 19.10 TABLE 1

SHOPPING CENTER: ONE SPACE FOR EACH 250 S.F. OF GFA

REQUIRED: 38
PROVIDED: 40 (INCLUDES 2 HANDICAP ACCESSIBLE SPACES)

SIZE: 9'-0" x 18'-0" w/ 24'-0" DRIVE

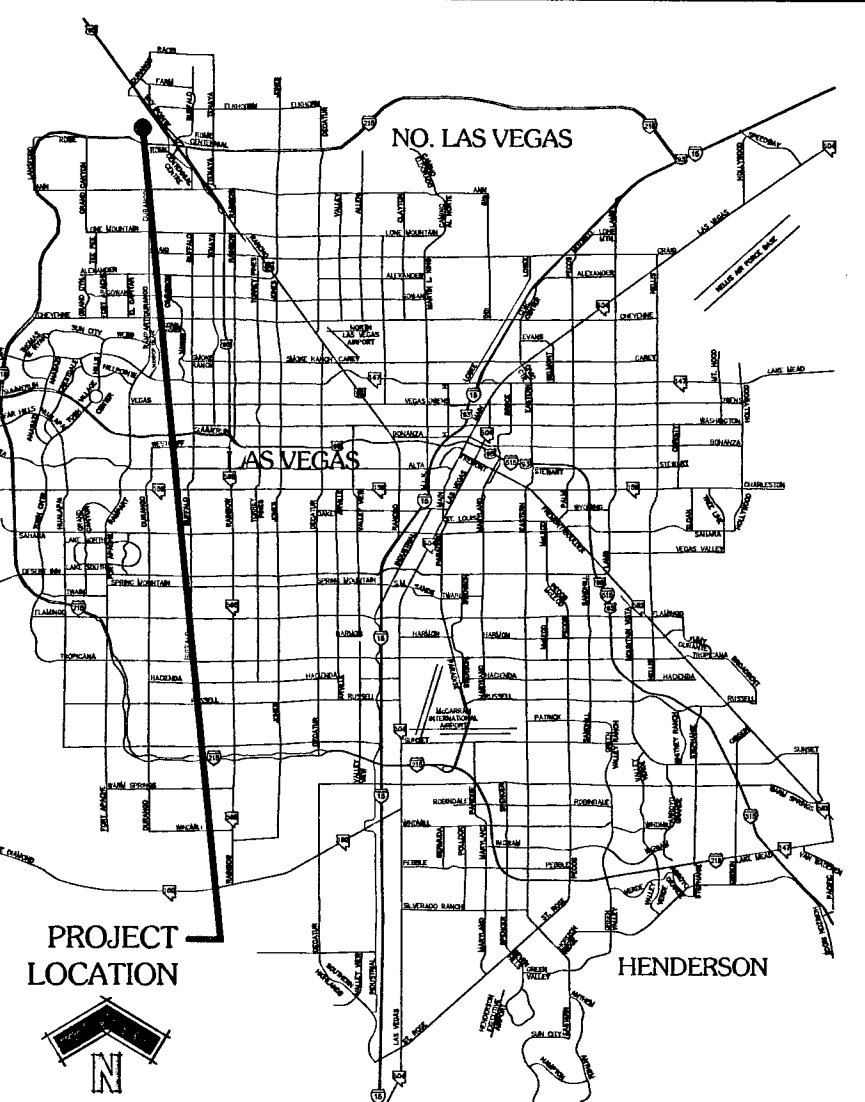
OVERALL SHOPPING CENTER PARKING ANALYSIS

	BUILDING AREA	PROVIDED	HC PROVIDED
PAD 1	18,710	76	6
PAD 2	6,600	27	
PAD 4A	4,626	19	3
PAD 4B	6,344	25	3
PAD 6A	5,300	21	4
PAD 6B	3,200	13	
PAD 7	9,500	38	2
PAD 9	4,200	17	
RETAIL 1	11,001	44	10
RETAIL 1A	10,400		
RETAIL 2	10,800		
RETAIL 2A	12,130		
RETAIL 3	4,680		
RETAIL 4	10,153	41	9
RETAIL 5	10,000	40	10
RETAIL 6A	10,800		
RETAIL 1	25,061		
RETAIL 8A	10,000		
RETAIL 8B	22,400		
TOTAL:	291,443 S.F.	1,638 SPACES	41 SPACES

PARKING REQUIRED: 1 PER 250 S.F.
1,150 TOTAL PARKING SPACES REQUIRED

HANDICAP REQUIRED: FIRST 1000 SPACES = 20 HC SPACES, EVERY 100 SPACES OVER 1000 = 1 HC SPACE
21 HANDICAP SPACES REQUIRED

VICINITY MAP

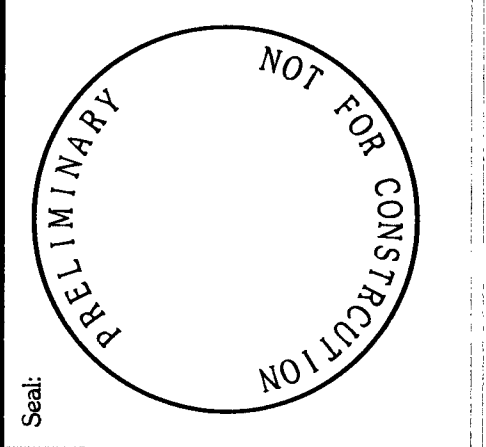


LEGEND

- CHITALPA - CHITALPA TASHKENTENSIS
24" BOX
- CHILEAN MESQUITE - PROSOPIS CHILENSIS
24" BOX
- CHASTE TREE - VITEX AGNUS-CASTUS
24" BOX
- MOJAVE GOLD DECOMPOSED GRANITE 1" SCREENED
2" DEPTH IN ALL PLANTER AREAS

SDR-18009
12/21/06 PC

WETZEL ARCHITECTURE
ARCHITECTURE - PLANNING - DESIGN
6362 MCLEOD DR. #6
LAS VEGAS, NEVADA 89120
T: (702) 798-7900 F: (702) 798-9888



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Centennial Dialysis
APPROVED
CITY COUNCIL DATE: 11/14
PLANNING COMMISSION DATE: 12/21/06
BY: [Signature]
OWNER: PLANNING AND DEVELOPMENT
36 ACRE LLC

Date:	19 oct 06	
Project No:	06-032	
Drawn by:	MEW	
Checked by:	MEW	
Rev.	Date	Description
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SITE / LANDSCAPE PLAN
A 1.00

SDR-18009 12/21/06 PC S+L Approved F.A.