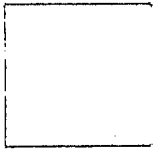
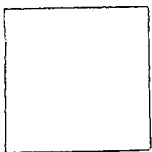


Main body of house will
be stucco, color will be
bungalow white

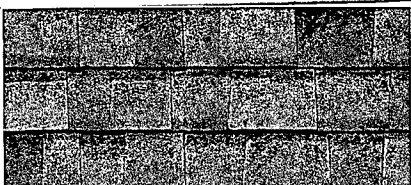


2005-10C
Bungalow White

Trim will be wood and
the color will be Dust
Bunny



2005-10B
Dust Bunny



Desert Tan[†]

Shingles will be
OAKridge Pro 30
shingles in Desert Tan

VAR-16505

10/19/06 PC

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SEP 05 2006

Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekki, Survey (FM, PM, & A's only)
Date: September 18, 2006
Re: **VAR-16505** Alvy Cook 1117 Strong Drive
Request for a rear setback Variance

COMMENTS:

We have no comment on the Variance Request for property located at 1117 Strong Drive to allow a rear yard setback of 5 feet where 15 feet is the minimum setback required for a proposed room addition.

APN Map



Separator Sheet

Assessment use only and does NOT represent a survey.
 ed for the accuracy of the data delineated herein,
 and other non-measured parcels may be obtained
 sent. Listing in the Assessor's Office.
 from official records, including surveys and deeds,
 information required for assessment. See the
 or more detailed legal information.
 EFFECT WHEN MAP REDUCED FROM THIS ORIGINAL

MAP LEGEND

Parcel Boundary
 Subd Boundary
 Road Easement
 Pw/LD Boundary
 Non-Parcel Lot Line
 Watch Line / Leader Line

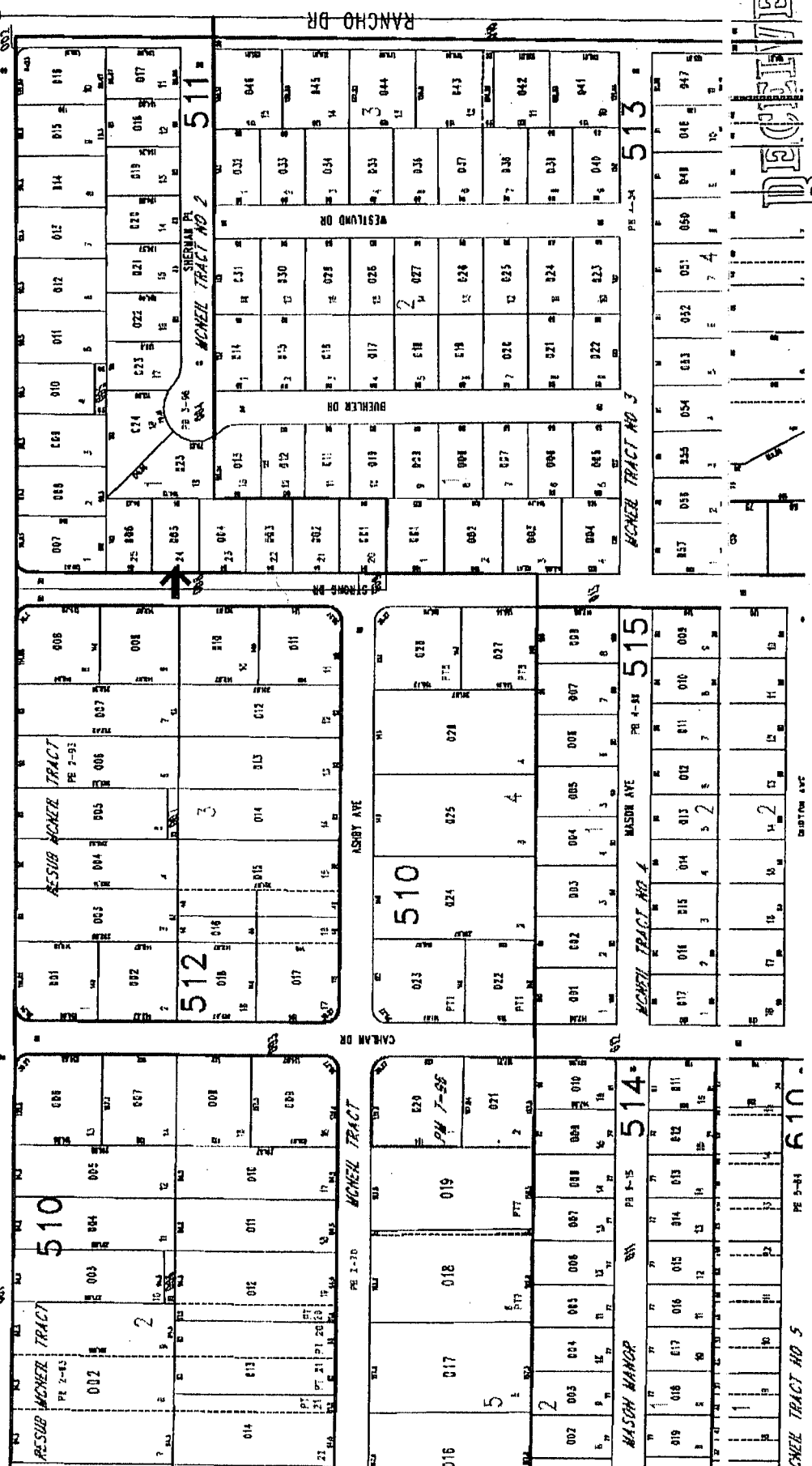
Parcel Number
 Subd Number
 Road Easement
 Pw/LD Boundary
 Non-Parcel Lot Line
 Watch Line / Leader Line

Parcel Number
 Subd Number
 Road Easement
 Pw/LD Boundary
 Non-Parcel Lot Line
 Watch Line / Leader Line

Parcel Number
 Subd Number
 Road Easement
 Pw/LD Boundary
 Non-Parcel Lot Line
 Watch Line / Leader Line

Parcel Number
 Subd Number
 Road Easement
 Pw/LD Boundary
 Non-Parcel Lot Line
 Watch Line / Leader Line

CHARLESTON BLVD



RECEIVED
 SEP 05 2006

Protest / Approval Letter



PROTEST / APPROVAL LETTER

Separator Sheet

Telephone Protest/ Approval Log

Meeting Date: 10/19/06

Case Number: VAR 16505

Date: 10/12/06
Name: Marsha Pippin
Address: 1130 Buehler
Las Vegas, NV 89102
Phone: 702-768-9655
☒ PROTEST ☐ APPROVE

Date: 10/12/06
Name: Stephen Reilly
Address: 1215 Strong
LV
Phone:
☒ PROTEST ☐ APPROVE

Date: _____
me: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Carman Burney

From: Nora Lares
Sent: Wednesday, October 18, 2006 1:19 PM
To: Carman Burney
Subject: FW: Internet Submission - VAR-16505 neighbor opposition

-----Original Message-----

From: jpreza@cox.net [mailto:jpreza@cox.net]
Sent: Wednesday, October 18, 2006 1:12 PM
To: planning@LasVegasNevada.gov
Subject: Internet Submission - VAR-16505 neighbor opposition

Citizen Name: James P. Reza

Email: jpreza@cox.net

Comments: Rergarding the above named variance request, I would like to register my opposition to the granting of this request. Myself and my wife are native Las Vegans who have lived at 1201 Strong Drive since June 2002, and I have appeared before the Planning Commission in recent months to register opposition to similar variance requests in the McNeil Estates neighborhood. We sold our Summerlin home and moved to McNeil to avoid the kind of wall-to-wall development that suburban developers are forced to create. Allowing homes to be expanded to fill their lots in McNeil increases resale value for one homeowner while threatening to alter the very nature of our open, friendly neighborhood. Please do not allow a precedent to be set, please do not allow the potential for greed and higher resale values via greater square footage to change McNeil Estates. Owner Alvy Cook should be encouraged to expand and improve his home without having to build to within five short feet of his neighbor's wall.

Thank you,
James P. Reza
702-256-9688

Date: 10/18/2006 1:12:28 PM

Nov. 9, 2006

RECEIVED
CITY CLERK

2006 NOV -9 A 9:22

Alvy Cook
1117 Strong Dr
Las Vegas, NV 891
702-258-7781

To Whom it may Concern,
This letter is concerning our
meeting on Nov. 2 which we were
denied our variance. We are putting
this in writing to appeal this.
Please let us know of ~~of~~ our
meeting concerning this appeal.

I'm enclosing a copy of the letter
of denial, I will be faxing and sending
~~this~~ ~~a~~ letter through the mail.

Thank You
Alvy & Connie Cook

1117 Strong Dr (APN 162-05-511-005)
R-1 Single Family Residence
Zone 1 Tarkanian

Gidget Peterson
1111 Strong Drive
Las Vegas, NV 89102

November 01, 2006

To whom it may concern:

Mr. Cook is requesting a variance for an extension on his residential home at 1117 Strong Drive. I reside next door at 1111 Strong Drive. I am currently renting this home from Realty Executive. I have no problem with the addition to Mr. Cooks home. I feel it will be a welcomed addition not only to his home but to the neighborhood.

Sincerely,


Ms. Gidget Peterson

VAR-16505

Submitted at Planning Commission

Date 11/2/06 Item # 38

Holly Drury

2412 Mason Ave.
Las Vegas, NV 89102-2122
(702) 877-2591
ahollydrury@aol.com

October 30, 2006

To whom it may concern,

Our family moved into the McNeil sub-division over 30 years ago when I was in high school. Years later, when their children had grown, my parents provided us the opportunity to purchase their home. My husband and I were eager to move our family into this terrific neighborhood.

*This well established neighborhood has under gone many changes. But what makes this neighborhood unique is the neighborly ways of the residents. The respect most of us have for one another. **We respect the wishes of Alvy and Connie Cook, of 1117 Strong Drive, to improve their property. We do not object to their plans to expand and hope the zoning commission will approve their zone variance request.** We are also, currently remodeling our home and although our plans do not involve a zone variance, our neighbors are also supportive of our building plans.*

Thank you,

Holly Drury
Holly Drury

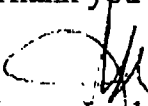
VAR-16505

To whom it may concern,

10/20/06 9:20am

Please be advised that we are the direct neighbors to Alvy and Connie to the south. Our address is 1127 Strong Dr. We feel it is fine and welcomed to the neighborhood with the addition to their home.

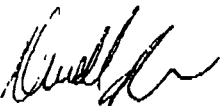
Thank you


James Lash

1127 Strong Dr

Las Vegas Nv 89102

702-338-1721


DONALD RENDINO



State of Nevada

County of Clark

This instrument was acknowledged

By Suzanne Hatch on 10-20-06

VAR-16505

Thomas Jerald Newton

1122 Buehler Drive
Las Vegas, Nevada 89102

Phone (702) 382-1754
Fax (702) 382-3963

October 30, 2006

Alvy Cook
1117 Strong Drive
Las Vegas, Nevada 89102

RE: REQUEST FOR VARIANCE: VAR-16505

Dear Mr. & Mrs. Cook, and To Whomever This May Concern,

Your property and my property are adjoining, back-to-back.

Since you want to improve your property, I will heartily endorse any plan which you desire.

Your property is yours, which is yours to modify however you want. Since safety is a concern for you as well as for me, I'm sure your plans to remodel and to increase your house size adequately reflect your interests and any worries from your neighbors.

Good Luck on your Project!

ACE LOCKSMITHS



ACE LOCKSMITHS
"YOUR WINNING SECURITY TEAM"

SECURITY ALARMS



JERRY NEWTON, CEO
CML, Certified Master Locksmith
CPS, Certified Professional Safecracker

(702) 382-1754

1201 S. CASINO CENTER • LAS VEGAS, NEVADA 89104
FAX: (702) 382-3963 • E MAIL: aceclock@earthlink.net
Visit our Web Store: www.aceclock-lasvegas.com

Sincerely,

Your Neighbor,

Jerry Newton

Attachment: VAR-16505

VAR-16505

Extraction List



Separator Sheet

9/3

PARCELS 171
LABELS 160

Report of All Selected Parcels

Owner **Case Number:** VAR-16505 **Printed On:** Fri: September 8, 2006

Owner	Address	Parcel Number
2628 W CHARLESTON L L C	9108 LAS TUNAS DR TEMPLE CITY CA	13932497002
2628 W CHARLESTON L L C	9108 LAS TUNAS DR TEMPLE CITY CA	13932802027
70 L P	4560 S DECATUR BLVD #200 LAS VEGAS NV	13932802028
70 L P	4560 S DECATUR BLVD #200 LAS VEGAS NV	16205513044
ALEXANDER PHILLIP	850 S RANCHO DR #1074 LAS VEGAS NV	16205513042
ALLEN CHRISTOPHER S	1125 CAHLAN DR LAS VEGAS NV	16205515009
ARMSTRONG JEFFREY	1218 WESTLUND DR LAS VEGAS NV	16205512019
ARMSTRONG JOHN E & BETTY L	1138 WESTLUND DR LAS VEGAS NV	16205513024
ARMSTRONG LESTER A & BINA M D	1110 STRONG DR LAS VEGAS NV	16205513029
B M K ENTERPRISES L L C	%T KERESTESI %CRAGIN & PIKE 2603 W CHARLESTON BLVD LAS VEGAS NV	16205512009
B N M DEVELOPMENT L L C	%TUAZON BENIGNO 520 S 4TH ST 2ND FLR LAS VEGAS NV	16205512007
BABER DANIELLE E	1207 BUEHLER DR LAS VEGAS NV	16205512020
BAILEY DANI LINDSAY	1137 WESTLUND DR LAS VEGAS NV	16205513018
BALDASSARRE JOSHUA J	2500 SHERMAN PL LAS VEGAS NV	16205513034
BALDWIN DAVID & JOAN	819 SHETLAND RD LAS VEGAS NV	16205511024
BALLE CENTER L L C	2801 W CHARLESTON BLVD #100 LAS VEGAS NV	13932802017
BALLE FAMILY L P	6670 PALMYRA AVE LAS VEGAS NV	16205510006
BARNSON LARRY H & KATHRYN L	2708 MASON AVE LAS VEGAS NV	16205512005
BARTZ JAMES J	2407 SHERMAN PL LAS VEGAS NV	16205515002
BAUGHN CORNELIUS A & PATRICIA A	1219 BUEHLER DR LAS VEGAS NV	16205513031
BEERS CHRISTOPHER	1204 BUEHLER DR LAS VEGAS NV	16205511021
BENEFIEL RANDALL M & SHIRLEY	2616 MASON AVE LAS VEGAS NV	16205513020
BISCH LAURIE P	2621 MASON AVE LAS VEGAS NV	16205513009
BONETTI ANTHONY	1201 WESTLUND DR LAS VEGAS NV	16205515005
BREWER PEGGY A LIVING TRUST	%PREMIER TRUST INC 2700 W SAHARA AVE #300 LAS VEGAS NV	16205515014
BRIARE WILLIAM H FAMILY TRUST	2325 MASON AVE LAS VEGAS NV	16205513035
CAREY RAYLYN 1994 FAMILY TRUST	825 SHETLAND RD LAS VEGAS NV	13932801006
CARRILLO RAYMOND J & DEBRA L	%P SCHWARTZ 2877 PARADISE RD LAS VEGAS NV	16205513049
CHARLESTON RANCHO L L C	15905 CALUMET CT RIVERSIDE CA	13932802021
CHARNETSKY VICTOR C & L L FAM TR	1208 BUEHLER DR LAS VEGAS NV	13932802032
CLAUSEN CLINTON H		13932801008
		16205513008

Report of All Selected Parcels

Owner	Case Number:	VAR-16505	Printed On: Fri: September 8, 2006
Address	Parcel Number		
COLLINS MARY	1205 CAHLAN DR LAS VEGAS NV	16205510022	
COOK ALVY F	1117 STRONG DR LAS VEGAS NV	16205511005	
COVERT CAMILLE	1219 WESTLUND DR LAS VEGAS NV	16205513038	
CURRAN WILLIAM F & MARY 1997 TR	2310 SHERMAN PL LAS VEGAS NV	16205511017	
DAUPHINAIS PATRICK G & SUZANNE E	P O BOX 1515 VAIL CO	16205512017	
DAVISON THOMAS P	1267 STRONG DR LAS VEGAS NV	16205601001	
DOLAN JOY A	2505 MASON AVE LAS VEGAS NV	16205513055	
DRAGO ANTHONY R FAM TR	2612 ASHBY AVE LAS VEGAS NV	16205512013	
DRURY WILLIAM & HOLLY	2412 MASON AVE LAS VEGAS NV	16205513022	
EGTEDAR ROBAB	2601 W CHARLESTON BLVD LAS VEGAS NV	16205512008	
ELLIS CHRISTOPHER L	1260 STRONG DR LAS VEGAS NV	16205611009	
ELWORTH-WINNER ANN C	2501 MASON AVE LAS VEGAS NV	16205513054	
ERICKSON RICHARD H & CAROL L	2727 ASHBY AVE LAS VEGAS NV	16205510023	
F H S LAS VEGAS L P	%GOLDFARB & SIMENS %M SIMENS 111 PINE ST 18TH FLOOR SAN FRANCISCO CA	13932802023	
F H S LAS VEGAS L P	%GOLDFARB & SIMENS 111 PINE ST 18TH FLOOR SAN FRANCISCO CA	13932802018	
FAYLONA INVESTMENTS L L C	1827 INDIAN BEND DR HENDERSON NV	13932801010	
FEYZNIA EXXON MEHDI	2504 LLEWELLYN DR LAS VEGAS NV	16205615009	
FINK GARY S	2612 BURTON AVE LAS VEGAS NV	16205611007	
FINK PAUL R JR & BARBARA A	1220 STRONG DR LAS VEGAS NV	16205515008	
GARCIA MARIO A & ELSA F	824 TROTTER CIR LAS VEGAS NV	13932810010	
GARRET GROUP L L C	2237 W CHARLESTON BLVD LAS VEGAS NV	16204101001	
GILES DAVID M TRUST	2608 ASHBY AVE LAS VEGAS NV	16205512012	
GILLETT FAMILY TRUST	1207 STRONG DR LAS VEGAS NV	16205513001	
GRAHAM LINDA R	2404 MASON AVE LAS VEGAS NV	16205513023	
GRAY ELIZABETH ANN	25772 CARROLL CREEK RD CUSTER SD	16205511003	
GRUBBS JOHN D & JOANNE A	1213 WESTLUND DR LAS VEGAS NV	16205513037	
HALL JAN L	1208 WESTLUND DR LAS VEGAS NV	16205513026	
HARTMAN WILLIAM M	1200 WESTLUND DR LAS VEGAS NV	16205513028	
HARWARD NATHAN	1219 STRONG DR LAS VEGAS NV	16205513003	
HASTING JEFFREY P & KRISTINE E	832 TROTTER CIR LAS VEGAS NV	13932810012	
HEANEY GERRARD	1204 WESTLUND DR LAS VEGAS NV	16205513027	
HEMINGTON RALPH W JR	2711 ASHBY AVE LAS VEGAS NV	16205510024	

Report of All Selected Parcels

Owner	Case Number:	VAR-16505	Printed On: Fri: September 8, 2006
Address	Parcel Number		
HIGGINS BRIGID M	2700 ASHBY AVE LAS VEGAS NV	16205512014	
HINTON VERNA R	2416 LLEWELLYN DR LAS VEGAS NV	16205615007	
HONEYCUTT WILLIAM B	1212 WESTLUND DR LAS VEGAS NV	16205513025	
HOWARD PRESTON B & ALEXIS	1124 STRONG DR LAS VEGAS NV	16205512010	
HUSSEY DANIEL S & KATHRYN	2273 TRAFALGAR CT HENDERSON NV	16205513015	
JHAWWAR SATWANT S	%R CZERLANIS 7829 BERMUDA DUNES AVE LAS VEGAS NV	16205511002	
JIANU FAMILY TRUST	816 TOTTER CIR LAS VEGAS NV	13932810008	
KASS JOHN G & VIRGINIA A LIV TR	818 SHETLAND RD LAS VEGAS NV	13932801007	
KERESTESI FAMILY TRUST	2613 MASON AVE LAS VEGAS NV	16205515011	
KIBLER KELLY	2620 MASON AVE LAS VEGAS NV	16205515004	
KLOCHKO VITALI	820 TROTTER CIR LAS VEGAS NV	13932810009	
KOPLOW 1988 TRUST	1137 BUEHLER DR LAS VEGAS NV	16205513016	
KWIK-CHEK REALTY CO INC	%AV TAX DEPT #2052-17256 P O BOX 711 DALLAS TX	13932804010	
LAING EDGAR J TRUST	2513 MASON AVE LAS VEGAS NV	16205513056	
LAS VEGAS MTGE CO INC	7160 AZURE DR LAS VEGAS NV	16205511011	
LAS VEGAS SURGCARE INC	%TAX DEPT 52801 P O BOX 1504 NASHVILLE TN	13932802024	
LASH JAMES B	1127 STRONG DR LAS VEGAS NV	16205511004	
LONGLEY RONALD & KIMBERLY	1225 BUEHLER DR LAS VEGAS NV	16205513021	
LUNDBLADE FRED H	%SIERRA HEALTH SERV %CORP TAX P O BOX 14189 LAS VEGAS NV	13932802020	
M G T ENTERPRISES L L C	%M MCKINLEY %CRAGIN & PIKE 2603 W CHARLESTON BLVD LAS VEGAS NV	16205512006	
MACAULEY IAN T	1230 S RANCHO DR LAS VEGAS NV	16205513041	
MAGAR JAMES G & DEANNA	2607 MASON AVE LAS VEGAS NV	16205515010	
MAKABENTA PAUL & EDNA	4148 MELODY LN LAS VEGAS NV	16205511008	
MALINOWSKI ROBERT C	1207 WESTLUND DR LAS VEGAS NV	16205513036	
MASON DAVID L	1137 SO RANCHO DR #120 LAS VEGAS NV	16205513046	
MAYBLUM MARILYN	2411 MASON AVE LAS VEGAS NV	16205513052	
MCCULLOCH JEAN	2619 MASON AVE LAS VEGAS NV	16205515013	
MCMAHAN ROBERT L & JUDITH A	1201 BUEHLER DR LAS VEGAS NV	16205513017	
MCMANUS JOHN RYON & DONNA L	2620 BURTON AVE LAS VEGAS NV	16205611008	
MESERVY DENNIS K & MARA C	2718 MASON AVE LAS VEGAS NV	16205515001	
MILLER LAWRENCE T & M PATRICIA	2500 LLEWELLYN DR LAS VEGAS NV	16205615008	
MONTAGUE-CASALAN FAMILY TRUST	1213 BUEHLER DR LAS VEGAS NV	16205513019	

Report of All Selected Parcels

Owner	Case Number:	VAR-16505	Printed On: Fri: September 8, 2006
Address	Parcel Numbe		
MOSLEY DONALD M	1127 WESTLUND DR LAS VEGAS NV	16205513032	
MOSS P	2504 MASON AVE LAS VEGAS NV	16205513005	
NARAN JAIVADAN & HANSA	2747 PARADISE RD #2701 LAS VEGAS NV	13932802030	
NARAN JAIVADAN & HANSA	2747 PARADISE RD #2701 LAS VEGAS NV	13932802022	
NARANG FAMILY INTER VIVOS TRUST	9925 GERALD AVE NORTH HILLS CA	16205513043	
NELSON ALEDA C TRUST	3611 S LINDELL #201 LAS VEGAS NV	13932802014	
NEVADA COMMUNITY FOUNDATION INC	%D CLOUGH 6130 W ELTON AVE LAS VEGAS NV	16205515006	
NEWBERRY DENNIS W	1124 CAHLAN DR LAS VEGAS NV	16205510008	
NEWTON THOMAS JERALD	1122 BUEHLER DR LAS VEGAS NV	16205511025	
NGUYEN ANGIE	14482 BEACH BLVD #Y WESTMINSTER CA	13932801009	
NORTON LILLIAN M	2801 ASHBY AVE LAS VEGAS NV	16205510020	
ORSOSITO L L C	2720 S BRONCO ST LAS VEGAS NV	16205511013	
ORSOSITO L L C	2401 W CHARLESTON BLVD LAS VEGAS NV	16205511014	
PACHECO SUSAN J	2700 MASON AVE LAS VEGAS NV	16205515003	
PAINTER 1983 TRUST	P O BOX 28356 LAS VEGAS NV	16205510007	
PALOMINO GARDENS HOMEOWNERS ASSN	824 TROTTER CIR LAS VEGAS NV	13932810013	
PARK SUNG	11960 CENTRALIA BLVD #101 HAWAIIAN GARDENS CA	16205511006	
PECK DANIEL E	1131 WESTLUND DR LAS VEGAS NV	16205513033	
PETERSON MARIE	2420 SHERMAN PL LAS VEGAS NV	16205511023	
PETERSON TRAVIS K	2324 SHERMAN PL LAS VEGAS NV	16205511019	
PETTIS JAMES E & PEGGY M LIV TR	1216 STRONG DR LAS VEGAS NV	16205510027	
PHOENIX FAMILY TRUST	2421 SHERMAN PL LAS VEGAS NV	16205513014	
PINJUV F MIKE & BEVERLY A CO-TRS	1132 WESTLUND DR LAS VEGAS NV	16205513030	
PIPPIN MARSHA L REVOCABLE TRUST	1130 BUEHLER DR LAS VEGAS NV	16205513012	
POLLEY MICHAEL S SR & RENEE H	2606 MASON AVE LAS VEGAS NV	16205515007	
PORTER TAD & MARY ANNE TRUST	2601 ASHBY AVE LAS VEGAS NV	16205510028	
POTTER GORDON TRUST	2619 ASHBY AVE LAS VEGAS NV	16205510026	
PREMIER DENTAL ASSOCIATES L L C	2421 W CHARLESTON BLVD LAS VEGAS NV	16205511010	
QUINN MAXINE	2415 MASON AVE LAS VEGAS NV	16205513053	
RANCHO BUILDING INVESTMENTS LLC	1117 S RANCHO DR LAS VEGAS NV	16204117002	
RANCHO COURTYARD L L C	3065 S JONES BLVD #201 LAS VEGAS NV	16204117003	
RAVENHOLT DIRK A	2324 MASON AVE LAS VEGAS NV	16205513040	

Report of All Selected Parcels

Owner	Case Number:	VAR-16505	Printed On: Fri: September 8, 2006
Address	Parcel Number		
RAVENHOLT DIRK A & CYNTHIA A	1223 WESTLUND DR LAS VEGAS NV	16205513039	
REILLY STEPHEN & GLENDA M	1213 STRONG DR LAS VEGAS NV	16205513002	
RENTCHLER GERI RUDIAK	1201 S RANCHO DR LAS VEGAS NV	16204101015	
REZA JAMES P & STACI D	1201 STRONG DR LAS VEGAS NV	16205511001	
RODGERS AMELIA LORRAINE	2401 MASON AVE LAS VEGAS NV	16205513050	
ROHAC WILLIAM & SONDR A FAMILY TR	1908 CALANDA CT LAS VEGAS NV	16205513007	
ROYAL CHARLESTON L L C	%B ANONUEVO 66 BIG CREEK CT LAS VEGAS NV	16205511012	
RUDIAK G NV PERS RES IRR TR	2244 EDGEWOOD AVE LAS VEGAS NV	16204101016	
SALING JOHN E JR & GREGORY S	2318 SHERMAN PL LAS VEGAS NV	16205511018	
SANWAL VIRENDER & PREETHA	100 S MARTIN LUTHER KING BLVD #89106 LAS VEGAS NV	13932810020	
SHAPIRO LEONARD	4955 S DECATUR BLVD LAS VEGAS NV	13932802031	
SHER BRADLEY J	1225 STRONG DR LAS VEGAS NV	16205513004	
SILVA CARLOS	2400 SHERMAN LAS VEGAS NV	16205511020	
SILVA EDWARD C	2500 W CHARLESTON BLVD LAS VEGAS NV	13932802029	
STELLAR LIMITED L L C	1200 SAINTS BURY DR LAS VEGAS NV	16205511009	
STOVALL LESLIE M & SARAH S	2705 ASHBY AVE LAS VEGAS NV	16205510025	
STRANSKI RICHARD	11886 PARTENIO CT LAS VEGAS NV	13932802016	
T M S PTYS	2701 W CHARLESTON BLVD LAS VEGAS NV	16205512004	
TABOR FAMILY TRUST	2600 ASHBY AVE LAS VEGAS NV	16205512011	
TAN & RICA L L C	%M GAERLAN 10404 ORKINEY DR LAS VEGAS NV	16205511007	
THOMPSON CHARLES E & CONNIE L	1245 STRONG DR LAS VEGAS NV	16205513057	
THOMPSON MARK B	2416 SHERMAN PL LAS VEGAS NV	16205511022	
TOMBA PAUL E	2617 MASON AVE LAS VEGAS NV	16205515012	
VAUSE FAMILY TRUST	3020 PLAZA DE MONTE LAS VEGAS NV	16205511016	
VAUSE FAMILY TRUST	3020 PLAZA DE MONTE LAS VEGAS NV	16205511015	
VER-LEN CORP	10660 S RANCHO DESTINO LAS VEGAS NV	13932802026	
WEBB RENEE M & RAY C	1218 BUEHLER DR LAS VEGAS NV	16205513006	
WEINGARTEN NOSTAT INC	2600 CITADEL PLAZA DR #600 HOUSTON TX	13932802015	
WEINGARTEN NOSTAT INC	2600 CITADEL PLAZA DR #600 HOUSTON TX	13932802012	
WEINSTEIN SUSAN & E LIV TR	%H & L REALTY & MGT CO P O BOX 7440 LAS VEGAS NV	16205512002	
WEISEL EDWARD L	2407 MASON AVE LAS VEGAS NV	16205513051	
WHEATLEY RONALD W & BARBARA	1126 BUEHLER DR LAS VEGAS NV	16205513013	

Report of All Selected Parcels

Case Number: VAR-16505

Printed On: Fri: September 8, 2006

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
WHIPPLE DENNIS C	1138 S RANCHO DR LAS VEGAS NV	16205513045
WINCKLER GARTH R & KAREN C	835 SHETLAND RD LAS VEGAS NV	13932802025
WINDROSE MEDICAL PROPERTIES L P	%G RUNNERSTRUM 3502 WOODVIEW TRACE #200 INDIANAPOLIS IN	13932802034
WINDROSE MEDICAL PROPERTIES L P	%G RUNNERSTRUM 3502 WOODVIEW TRACE #200 INDIANAPOLIS IN	13932802019
WINDROSE MEDICAL PROPERTIES L P	%G RUNNERSTRUM 3502 WOODVIEW TRACE #200 INDIANAPOLIS IN	13932802033
WINDROSE MEDICAL PROPERTIES L P	%G RUNNERSTRUM 3502 WOODVIEW TRACE #200 INDIANAPOLIS IN	13932802035
WINGEERD S HUBERT & ZELPHA M	1138 BUEHLER DR LAS VEGAS NV	16205513011
WYMARK TRUST	2800 ASHBY AVE LAS VEGAS NV	16205510009
YAKOUBOFF BILAN TRUST	1200 BUEHLER DR LAS VEGAS NV	16205512015
YAKOUBOFF BILAN TRUST	1200 BUEHLER DR LAS VEGAS NV	16205513010
ZIPF DAVID	713 HARVEST RUN #103 LAS VEGAS NV	13932810011

Deed



Separator Sheet

Legal Description

Lot 24 Block 1 McNeil Track #2

LAS VEGAS, NEVADA

A PORTION OF THE NE 1/4, NE 1/4,
SECTION 5, T21S, R61E, M.D.B. 8 M.
CLARK COUNTY, NEVADA

ENGINEER'S CERTIFICATE

This edition of *Who's Who* is a true reflection of the progress of the nation. It is a record of the achievements of the men and women who have made the United States what it is today. It is a record of the men and women who have made the United States what it is today. It is a record of the men and women who have made the United States what it is today.

OWNER'S CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS: That the Las Vegas Development Co., Inc., a Nevada Corporation, Owner of the property hereinbefore described, has caused the same to be surveyed and platted into blocks, lots, and streets as shown on the attached plat, and hereby declares the streets so shown to said for the use of the public forever. Easements or abutments are reserved for the construction and maintenance of public utilities only.

In witness whereof we have hereunto set our hands and affixed the Corporate Seal this 13th day of July, 1964.

ACKNOWLEDGEMENT

[illegible]

CITY ENGINEER'S CERTIFICATE

1. J. D. Gewirtz, Jr., acting for C. C. Berry, City Engineer of the City of Los Angeles, Nevada, do hereby certify that I have assembled the final map of the National Trust No. 2, that the subdivision on shown herein is substantially the same as it appeared on the tentative map, and approved alterations thereto, that all provisions of the Planning Commission Act, and any local ordinance applicable at the time of the approval of the tentative map have been complied with, and that I am satisfied that this map is technically correct.

APPROVALS

Approved this _____ day of _____, 1933 by the Board of Directors

[illegible]

SCALE: 1" = 100'

The undersigned, as trustee under the Deed of Trust dated December 19, 1952, executed by Las Vegas Development Co., Inc., a Nevada Corporation, as Plaintiff Title Insurance and Trust Company, Trustee, and recorded December 19, 1953 as Document No. 30717, Clark County Records, hereby lend in full and forever to said mortgagor.

PIONEER TITLE INSURANCE AND TRUST COMPANY, TRUSTEE

Date May 13, 1955 

Meine Widmungsk!

VAR-16505

10/19/06 PC

96-38070

20030829
040808

STATE OF NEVADA DECLARATION OF VALUE

26
1. Assessor Parcel Number(s):

- a) 162-05-511-005
- b) _____
- c) _____
- d) _____

FOR RECORDERS OPTIONAL USE ONLY

Document/Instruments

Book: _____

Date of Recording: _____

Notes: _____

2. Type of Property:

- a) ☐ Vacant Land
- b) ☒ Single Family Residence
- c) ☐ Condo/Townhouse
- d) ☐ 2-4 Plex
- e) ☐ Apartment Building
- f) ☐ Commercial/Industrial
- g) ☐ Agricultural
- h) ☐ Mobile Home
- i) ☐ Other

3. Total Value/Sales Price of Property:

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

Real Property Transfer Tax Due:

\$ _____
\$ _____
\$ _____
\$ _____

4. If Exemption Claimed:

a) Transfer Tax Exemption, per NRS 375.090, Section: Exempt No. 2

b) Explain Reason for Exemption: SPOUSE RELEASING COMMUNITY INTEREST WITHOUT CONSIDERATION

5. Partial Interest: Percentage being transferred: 100.00%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month.

Pursuant to NRS 375.060, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature Connie L. Cook Capacity Individual
Signature Alvy E. Cook Capacity Individual

SELLER (GRANTOR) INFORMATION

Print Name: Connie L. Cook
Address: 1117 Stream Drive
City: Las Vegas
State: NV Zip: 89102

BUYER (GRANTEE) INFORMATION

Print Name: Alvy E. Cook
Address: 1117 Stream Drive
City: Las Vegas
State: NV Zip: 89102

COMPANY/PERSON REQUESTING RECORDING

(REQUIRED IF NOT THE SELLER OR BUYER)

Lawyers Title of Nevada, Inc.
1210 S. Valley View Blvd.
Las Vegas, Nevada 89102

Escrow No. 03-07-3708 NN
Escrow Officer: Nick Nicholson

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED)

4080

APN: 162-05-511-005

**WHEN RECORDED MAIL TO
AND**

MAIL TAX STATEMENTS TO:

Alvy F. Cook
1117 Strong Drive
Las Vegas, Nevada 89102

Affix R.P.T.T. \$ Exempt No. 6

CLARK COUNTY, NEVADA
FRANCIS GRANE, RECORDER

RECORDED AT THE REQUEST OF:

LAWYERS TITLE OF NEVADA

08-29-2003

14112 MRP

OFFICIAL RECORDS

BOOK/INSTR: 2003-04080

PAGE COUNT:

2

FEE
RPTT:

15.00
EX0806

Grant, Bargain, Sale Deed

THIS INDENTURE WITNESSETH: That

Cornie K. Cook, a married woman, Spouse of the grantee hereon,

FOR VALUABLE CONSIDERATION, the receipt of which is hereby acknowledged, do hereby Grant,
Bargain, Sell and Convey to:

Alvy F. Cook, a married man, as his sole and separate property,

All that real property situated in the _____ County of _____ State of Nevada, bounded and
described as follows:

Lot twenty-four (24) in Block one (1) of MCNEIL TRACT NO. 2, as shown by map thereof on
file in Book 3 of Plats, page 96, in the office of the County Recorder of Clark County, Nevada.

SUBJECT TO:

- 1.) Taxes for the fiscal tax year 2002-2003.
- 2.) Covenants, Conditions, Reservations, Rights, Rights of Way and
Easements now of record.

**IT IS THE EXPRESS INTENT OF THE UNDERSIGNED GRANTOR TO CONVEY ALL
RIGHT, TITLE AND INTEREST, COMMUNITY OR OTHERWISE, IN AND TO THE HEREIN
DESCRIBED PROPERTY TO THE GRANTEE AS THEIR SOLE AND SEPARATE
PROPERTY.**

Together with all and singular tenements, hereditaments and appurtenances thereunto belonging or in
anywise appertaining.

DATE: 8/28/2003

Cornie K. Cook
Cornie K. Cook

X _____

20030829
04080

STATE OF Nevada)

)ss.

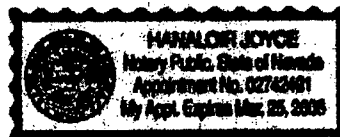
COUNTY OF Clark)

On this 25th day of August, 2003, personally appeared before me, the undersigned, a notary public Connie K. Cook, proved to me on the basis of satisfactory evidence to me to be the person(s) who executed the within instrument freely and voluntarily in and for the uses and purposes therein mentioned.

Connie K. Cook
(NOTARY PUBLIC)

OFFICIAL SEAL:

RECORDED AT THE REQUEST OF:
LAWYERS TITLE OF NEVADA
ESCROW NO. 03-07-2708 NN



GENERAL INFORMATION	
PARCEL NO.	162-05-511-005
OWNER AND MAILING ADDRESS	COOK ALVY F 1117 STRONG DR LAS VEGAS NV 89102-2133
LOCATION ADDRESS CITY/TOWNSHIP	1117 STRONG DR LAS VEGAS
ASSESSOR DESCRIPTION	MCNEIL TRACT #2 PLAT BOOK 3 PAGE 96 LOT 24 BLOCK 1
RECORDED DOCUMENT NO.	* 20030829:04080
RECORDED DATE	08/29/2003
VESTING	NO STATUS

*Note: Only documents from September 15, 1999 through present are available for viewing.

ASSESSMENT INFORMATION AND SUPPLEMENTAL VALUE	
TAX DISTRICT	200
APPRAISAL YEAR	2006
FISCAL YEAR	06-07
SUPPLEMENTAL IMPROVEMENT VALUE	0
SUPPLEMENTAL IMPROVEMENT ACCOUNT NUMBER	N/A

REAL PROPERTY ASSESSED VALUE		
FISCAL YEAR	2005-06	2006-07
LAND	28175	49000
IMPROVEMENTS	13381	14672
PERSONAL PROPERTY	0	0
EXEMPT	0	0
GROSS ASSESSED	41556	63672
TAXABLE VALUE LAND+IMP	118731	181920
ESTIMATED LOT SIZE AND APPRAISAL INFORMATION		
ESTIMATED SIZE	0.25 Acres	
ORIGINAL CONST. YEAR	1955	
LAST SALE PRICE MONTH/YEAR	140000 08/95	
LAND USE	RESIDENTIAL SINGLE FAMILY	
DWELLING UNITS	1	

PRIMARY RESIDENTIAL STRUCTURE					
TOTAL LIVING SQ. FT.	2025	CARPORT SQ. FT.	325	ADDN/CONV	NONE
1ST FLOOR SQ. FT.	2025	STORIES	ONE STORY	POOL	NO
2ND FLOOR SQ. FT.	0	BEDROOMS	3	SPA	NO
BASEMENT SQ. FT.	0	BATHROOMS	2 FULL	TYPE OF CONSTRUCTION	FRAME SIDING/SHGLE
GARAGE SQ. FT.	0	FIREPLACE	1	ROOF TYPE	CONCRETE TILE

SOFI



Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: VAR-16505 APN: 162-05-511-005

Name of Property Owner: Alvy Cook

Name of Applicant: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

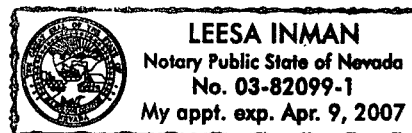
Signature of Property Owner: Alvy Cook

Print Name: Alvy Cook

Subscribed and sworn before me

This 5 day of September, 2006

Leesa Inman
Notary Public in and for said County and State



Justification Letter



Separator Sheet

Just a short note about why we would like to get these variances, if we can get the extra 9' it would allow us to put in an 'L' shape courtyard with a pool that would give us and our neighbors more privacy. The new part of the house would have no view windows on the east side, therefore it should not be an intrusion on anybody and like I said would actually give more privacy to all parties. Without the variance, part of the existing structure would have to be cut in to and would still leave limited space. We are primarily trying to improve the livability of the property. This house is located in the Mcneil Estates a very nice older neighborhood, bu the houses are getting a little age on them and need to be renovated to keep the neighborhood up to the shape it should be. Your consideration would be appreciated.

Thank you,

VAR-16505
10/19/06 PC

Application



Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Alvy Cook
 Project Address (Location) 1117 Strong DR, Las Vegas, NV 89102
 Project Name Variance - 1117 Strong DR Proposed Use RESIDENTIAL ADDITION
 Assessor's Parcel #(s) 162-05-511-005 Ward # _____
 General Plan: existing _____ proposed _____ Zoning: existing _____ proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres .25 Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Alvy Cook Contact Alvy Cook
 Address 1117 Strong DR Phone: 258-7781 Fax: 258-0038
 City Las Vegas, NV 89102 State NV Zip 89102

APPLICANT _____ Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____

REPRESENTATIVE _____ Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____

Property Owner Signature* Alvy Cook

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

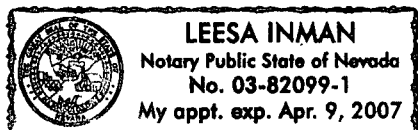
Print Name Alvy Cook

Subscribed and sworn before me

This 5 day of September, 20 06.

Leesa Inman

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case # VAR-16505
 Meeting Date: 10/19/06
 Total Fee: \$600.00
 Date Received: 9/5/06
 Received By: [Signature]

* The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Hansen Sheet



Separator Sheet

Report Date 09/05/2006 02:24 PM

Submitted By

Page 1

A/P # 16505 VARIANCE

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	09/05/2006 11:31	984478	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

VAR-16505 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: ALVY COOK - Request for a Variance TO ALLOW A REAR YARD SETBACK OF FIVE FEET WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION at 1117 Strong Drive (APN 162-05-511-005), R-1 (Single Family Residential) Zone, Ward 1 (Tarkanian).

Parent A/P #

Project # 16505 Project/Phase Name
Size/Area 0.25 ACRE Size Description
Proposed Start Proposed Stop
% Complete Formula

Phase #
Subdivision Code
% Completed 0.00

Property/Site Information

Parcel 16205511005

Location

Owner/Tenant

Contact ID AC1270025 Name ALVY COOK
Mailing Address 1117 STRONG DR.
City LAS VEGAS
ZIP/PC 89102
Day Phone (702)258-7781 x
Fax (702)258-0038

Organization
State/Province NEVADA
Country
Evening Phone
Mobile #

☐ Foreign

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

1117 STRONG DR
LAS VEGAS, 89102-

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

16205511005

Planning Condition Description Effective Expire Comments

There is no planning condition for this project.

Report Date 09/05/2006 02:24 PM

Submitted By

Page 2

VARIANCE

Parent Project link required? Final City Council letter received
Y Will this go to the City Council? Annotated minutes received
Is there a condition of approval for a Required Review?
If yes, when does it need to be reviewed?

Meeting Information

Meeting Information		Meeting Type		Meeting Status		YES Votes	NO Votes	ABSTENTIONS
Meeting Date	Comments	Add Date	Modified By	Modified Date				
10/19/2006		PC		SCHEDULED		0	0	0
DSULLIVAN		09/05/2006						

Template Type	A/P #	A/P Type	Status	Stage
No children exist for this project				

Employee ID	Last	First	MI	Comments
No Employee Entries				

Log Action	Description	Entered By	Start	Stop	Hours
PAYMNT	CK NAME,# WHO PICKED UP PERMIT alvy cook ck 103 / connie cook / 258-7781	983657	09/05/2006 11:53		0.00

Project Checklist



Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes
Item Required				
YES	NO			

APPLICATION				
☒	☐	Signed and notarized by <i>all</i> property owners or authorized agent(s)		
☒	☐	Grant deed and legal description		
☒	☐	<i>Detailed</i> justification letter	✓	
☒	☐	Reduced 8.5" x 11" copy of <i>all</i> plans and elevations		
☒	☐	Full size, rolled, color copy of <i>all</i> plans and elevations		
☒	☐	Correct fee(s): \$ <u>300</u> \$ <u>300</u> \$ _____ Total = \$ <u>600</u>	✓	
☒	☐	Statement of Financial Interest		
☐	☒	Development Impact Notice and Assessment (DINA)	✓	
☐	☒	Project of Regional Significance	✓	
SITE PLAN				
			Folded Plans: <u>13</u>	Rolled/Colored Plans: <u>1</u>
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	<i>All</i> property lines and present dimensions labeled		
☒	☐	<i>All</i> building setbacks labeled		
☒	☐	<i>All</i> adjacent existing land uses and street names labeled		
☒	☐	<i>All</i> points of ingress and egress shown		
☐	☒	ADA accessibility requirements shown/labeled		
☐	☒	Parking standard(s) utilized: _____		
☐	☒	Parking space count and typical dimensions labeled #regular #compact #handicap Total		
☐	☒	<i>All</i> free-standing sign locations shown and heights and sizes noted		
LANDSCAPE PLAN				
			Folded Plans: <u>6</u>	Rolled/Colored Plans: _____
☐	☒	11" x 17" min. to 24" x 36" max. page size		
☐	☒	North arrow, scale, and vicinity map		
☐	☒	<i>All</i> property lines and present dimensions labeled		
☐	☒	<i>All</i> required perimeter landscape planters shown		
☐	☒	<i>All</i> required parking lot fingers/islands shown		
☐	☒	Quantity, size, species/variety of <i>all</i> trees, shrubs, and ground cover		
BUILDING ELEVATIONS				
			Folded Plans: <u>2</u>	Rolled/Colored Plans: <u>/</u>
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	Scale and building dimensions labeled		
☒	☐	North, south, east, and west elevations of <i>all</i> buildings		
☒	☐	<i>All</i> building materials and colors noted		
☒	☐	8" x 10" photo of original color and material board		
☐	☒	<i>All</i> wall sign locations shown and sizes noted		
FLOOR PLANS				
			Folded Plans: <u>/</u>	Rolled Plans: <u>/</u>
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	Scale and building dimensions labeled		
☒	☐	<i>All</i> building entrances/exits shown		
☒	☐	Use of <i>all</i> rooms noted/labeled		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: Alvy Cook Application Type: Variance
 APN: 162 05511005 Location: Charleston & Strong
 Planner: [Signature] Pre-App Meeting Date: 8-25-06 Earliest PC Date: 10-19-06

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

VAR-16505 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: ALVY COOK - Request for a Variance TO ALLOW A REAR YARD SETBACK OF FIVE FEET WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION at 1117 Strong Drive (APN 162-05-511-005), R-1 (Single Family Residential) Zone, Ward 1 (Tarkanian).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M.

PLANNING COMMISSION: **OCTOBER 19, 2006** CITY COUNCIL: **NOVEMBER 15, 2006**

PLANNING SUPERVISOR: **JOHN KORKOSZ**



PUBLIC HEARING

Comments Due: SEPTEMBER 18, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

VAR-16505

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.**
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT **< US MAIL DELIVERY>**

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: October 19, 2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

VAR-16505

18b The Las Vegas Arts District NA

Artesian Heights NA

Charleston McNeil NA

Ellis Estates NA

Gateway District Association

Glen Heather Estates NA

Las Verdes Heights NA

Meadows Neighborhood Preservation NA

Palomino Area Preservation NA

Pinto Palomino Residents

Rancho Bel Air NA

Rancho Circle NA

Rancho Manor NA

Rancho Oakey NA

Rancho Sereno NA

Rancho South NA

Richfield NA

Scotch 80's HOA

Spanish Oaks HOA

Westleigh NA

Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

VARIANCE

MEETING: PLANNING COMMISSION
DATE: OCTOBER 19, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

VAR-16505

APPLICANT/OWNER: ALVY COOK - REQUEST FOR A VARIANCE TO ALLOW A FIVE-FOOT REAR YARD SETBACK WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION AT 1117 STRONG DRIVE (APN 162-05-511-005), R-1 (SINGLE FAMILY RESIDENTIAL) ZONE, WARD 1 (TARKANIAN).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

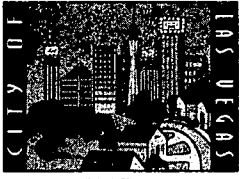


Applicant Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

October 6, 2006

Mr. Alvy Look
1117 Strong Drive
Las Vegas, Nevada 89102

RE: VAR-16505 - VARIANCE

Dear Mr. Look:

Please be advised the City Planning Commission at its regular meeting on **October 19, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:clb

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby





October 23, 2006

Mr. Alvy Look
1117 Strong Drive
Las Vegas, Nevada 89102

RE: VAR-16505 - VARIANCE

Dear Mr. Look:

Please be advised the City Planning Commission at its regular meeting on **November 2, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the *final agenda* will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink that reads "John Korkosz".

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009



Action Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

October 20, 2006

Mr. Alvy Look
1117 Strong Drive
Las Vegas, Nevada 89102

RE: VAR-16505 - VARIANCE

Dear Mr. Look:

Your request for a Variance TO ALLOW A FIVE-FOOT REAR YARD SETBACK WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION at 1117 Strong Drive (APN 162-05-511-005), R-1 (Single Family Residential) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on October 19, 2006.

The Planning Commission voted to hold this item in **ABEYANCE** in an effort to provide the applicant an opportunity to work with the neighbors.

This item is scheduled to be heard again at the **November 2, 2006** Planning Commission meeting which will be held at 6:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:clb

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

November 3, 2006

Mr. Alvy Look
1117 Strong Drive
Las Vegas, Nevada 89102

RE: VAR-16505 - VARIANCE

Dear Mr. Look:

Your request for a Variance TO ALLOW A FIVE-FOOT REAR YARD SETBACK WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION at 1117 Strong Drive (APN 162-05-511-005), R-1 (Single Family Residential) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on November 2, 2006.

The Planning Commission voted to **DENY** your request as the use was deemed inappropriate and excessive with the surrounding development.

This action by the Planning Commission on **November 2, 2006** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision or there is a review action filed by the City Council within the same time period. The Notice of Final Action was filed with the Las Vegas City Clerk on **November 3, 2006**.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:dm

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Recordation Memo



Separator Sheet

INTER-OFFICE MEMORANDUM

November 3, 2006

TO: PLANNING AND DEVELOPMENT DEPARTMENT	FROM: CITY CLERK
SUBJECT: APPEAL OR CITY COUNCIL REVIEW INFORMATION ON PLANNING COMMISSION ACTIONS	COPIES TO:

This is to certify that the following action relative to the Planning Commission decision on the application of:

FILE NO.: VAR-16505 - VARIANCE

APPLICANT: APPLICANT/OWNER: ALVY COOK

WARD: 1 (TARKANIAN)

Appeal by applicant or any other aggrieved person:

Yes

No

Review requested by City Council:

Yes

No

DATE

11/9/2006

CITY CLERK

Beverly K. Bridges

By: Beverly K. Bridges
Chief Deputy City Clerk

PLANNING AND DEVELOPMENT DEPARTMENT INFORMATION:

Date of Planning Commission Action

November 2, 2006

Last day for filing an appeal by applicant or any other aggrieved person. (Appeal period is 10 days after the date of the PC decision).

November 13, 2006

Last day for a review being requested by the City Council. (Review period is 10 days after the date of the PC decision.)

November 13, 2006

Set Date 11/15/2006
PH 12/6/2006

Chief Deputy City Clerk
By: Beverly K. Bridges

City Council Proof of Publication



Separator Sheet

Las Vegas, Nevada

NOVEMBER 9, 2006

TO: LAS VEGAS REVIEW JOURNAL

FROM: CITY CLERK

SUBJECT: PUBLICATION OF NOTICE OF PUBLIC HEARINGS – VARIANCES AND

APPEALS: VAR-14193, VAR-14734, VAR-16505, VAR-16645, VAR-16769 and VAR-16996

Please publish the attached LEGAL NOTICE

ON THE FOLLOWING DATE: TUESDAY, NOVEMBER 21, 2006 (One time)

Send me three copies of the Affidavit of Publication at your earliest convenience [no later than seven (7) days following final publication].

ASSISTANT DEPUTY CITY CLERK

cc: Finance Department – Accounts Payable
City Attorney – (on Ordinances)
Planning and Development Department
Front Desk

NOTICE OF PUBLIC HEARINGS
DECEMBER 06, 2006

NOTICE IS HEREBY GIVEN THAT ON WEDNESDAY, DECEMBER 06, 2006 at the hour of 1:00 P.M. in the Council Chambers, City Hall Complex, 400 Stewart Avenue, Las Vegas, Nevada, the City Council will consider the following Variances and Appeals:

VAR-14193 - APPLICANT/OWNER: RONALD J. WALKER - Appeal from the Denial by the Planning Commission of a Request for a Variance TO ALLOW A PROPOSED NON-HABITABLE ACCESSORY STRUCTURE TO BE 4 FEET TALLER THAN THE MAIN DWELLING on 0.54 acres at 1295 South Tenaya Way (APN 163-03-103-016), R-E (Residence Estates) Zone, Ward 2 (Wolfson), LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTION 3, TOWNSHIP 21 SOUTH, RANGE 60 EAST, M.D.M.

VAR-14734 - APPLICANT/OWNER: STEVEN PORTNOFF - Appeal from the Denial by the Planning Commission of a Request for a Variance TO ALLOW PROPOSED SIX FOOT HIGH BLOCK WALLS IN THE FRONT YARD WHERE FOUR FEET IS THE MAXIMUM HEIGHT ALLOWED on 0.63 acres located on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane (APN 163-04-401-002), U [(Undeveloped) Zone, R (Rural) General Plan Designation], Ward 2 (Wolfson), LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S $\frac{1}{2}$) OF THE SOUTHWEST QUARTER (SW $\frac{1}{4}$) OF SECTION 04, TOWNSHIP 21 SOUTH, RANGE 60 EAST, M.D.M.

VAR-16505 - APPLICANT/OWNER: ALVY COOK - Appeal from the Denial by the Planning Commission of a Request for a Variance TO ALLOW A FIVE-FOOT REAR YARD SETBACK WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION at 1117 Strong Drive (APN 162-05-511-005), R-1 (Single Family Residential) Zone, Ward 1 (Tarkanian), LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M.

VAR-16645 - OWNER/APPLICANT: S.F. INVESTMENTS, LLC - Request for a Variance TO ALLOW PROPOSED SINGLE FAMILY DWELLING TO BE 14 FEET FROM THE REAR PROPERTY LINE WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED on 0.157 acres at 6162 Maxmar Court (APN 138-14-713-007), R-1 (Single Family Residential) Zone, Ward 5 (Weekly), LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF SECTION 14, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

VAR-16769 - APPLICANT/OWNER: STEVEN PORTNOFF - Request for a Variance TO ALLOW A PROPOSED SINGLE FAMILY DWELLING TO BE FIVE FEET FROM THE SIDE PROPERTY LINE WHERE 10 FEET IS THE MINIMUM SETBACK REQUIRED on 0.63 acres located on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane (APN 163-04-401-002), U [(Undeveloped) Zone, R (Rural) General Plan Designation], Ward 2 (Wolfson), LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S $\frac{1}{2}$) OF THE SOUTHWEST QUARTER (SW $\frac{1}{4}$) OF SECTION 04, TOWNSHIP 21 SOUTH, RANGE 60 EAST, M.D.M.

VAR-16996 - APPLICANT/OWNER: GHASSAN MISHREFI - Request for a variance TO ALLOW A RESIDENTIAL PLANNED DEVELOPMENT OF 1.08 ACRES WHERE FIVE ACRES IS THE MINIMUM AREA REQUIRED on the north side of Smoke Ranch Road, approximately 467 feet east of Michael Way (APN 138-13-801-068), R-E (Residential Estates) Zone under Resolution of Intent to R-PD6 (Residential Planned Development - 6 Units per Acre), Ward 5 (Weekly), LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S $\frac{1}{2}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

ANY AND ALL INTERESTED PERSONS may appear and be heard at said meeting or, prior thereto, may file written objections thereto or approvals thereof with the City Clerk, 1st Floor, City Hall.

BARBARA JO RONEMUS, CITY CLERK

City Council Action Letter



Separator Sheet



February 21, 2007

Mr. Alvy Look
117 Strong Drive
Las Vegas, Nevada 89102

RE: VAR-16505 - VARIANCE
CITY COUNCIL MEETING OF JANUARY 17, 2007

Dear Mr. Look:

The City Council at a regular meeting held January 17, 2007 APPROVED the request for a Variance TO ALLOW A FIVE-FOOT REAR YARD SETBACK WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION at 1117 Strong Drive (APN 162-05-511-005), R-1 (Single Family Residential) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on January 18, 2007. This approval is subject to:

Added Conditions

- A. Approval of the Variance will be for 7.5 foot setback where 15 is required.
- B. The plan for additional landscaping on the southeast corner, screening and irrigation shall be submitted to Planning and Development for approval prior to issuance of building permits. Approved landscaping and irrigation shall be installed and inspected prior to final building inspection.

Planning and Development

1. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

Sincerely,

Angela Crolli
Deputy City Clerk II for

M. Margo Wheeler, AICP
Director

Beverly K. Bridges, CMC, Acting City Clerk Planning and Development Department

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

CITY OF LAS VEGAS
800 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

12-001-06-05
17009





January 4, 2007

Mr. Alvy Look
117 Strong Drive
Las Vegas, Nevada 89102

RE: VAR-16505 - VARIANCE
CITY COUNCIL MEETING OF JANUARY 3, 2007

Dear Mr. Look:

The City Council at a regular meeting held January 3, 2007 HELD IN ABEYANCE the request for a Variance TO ALLOW A FIVE-FOOT REAR YARD SETBACK WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION at 1117 Strong Drive (APN 162-05-511-005), R-1 (Single Family Residential) Zone.

This item will be heard during the 1:00 p.m. Planning and Development discussion portion of the January 17, 2007 City Council Meeting. It is recommended that you or your representative be in attendance at this meeting. If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

A handwritten signature in cursive script that reads "Lean Coleman".

Lean Coleman
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009





LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

December 7, 2006

Mr. Alvy Look
117 Strong Drive
Las Vegas, Nevada 89102

RE: VAR-16505 - VARIANCE
CITY COUNCIL MEETING OF DECEMBER 6, 2006

Dear Mr. Look:

The City Council at a regular meeting held December 6, 2006 HELD IN ABEYANCE the request for a Variance TO ALLOW A FIVE-FOOT REAR YARD SETBACK WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION at 1117 Strong Drive (APN 162-05-511-005), R-1 (Single Family Residential) Zone.

This item will be heard during the 1:00 p.m. Planning and Development discussion portion of the January 3, 2007 City Council Meeting. It is recommended that you or your representative be in attendance at this meeting. If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

A handwritten signature in cursive script, reading "Lean Coleman".

Lean Coleman
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009



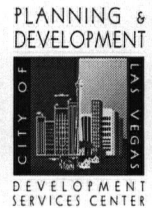
Affidavit of Sign Posting



Separator Sheet



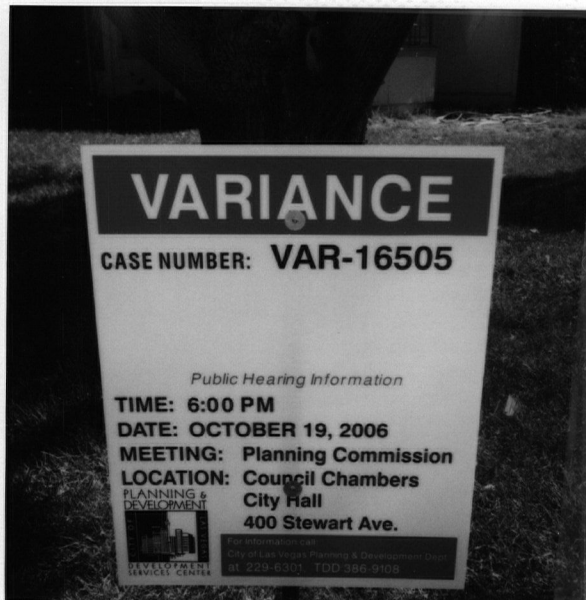
CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: VAR-16505

MEETING DATE: 10/19/06 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



STRONG

Signature

Date

10-8-6

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.



Elevations
Scale: 1/4" = 1'-0"

Cook Addition
1117 Strong Dr
Las Vegas, Nevada 89102

Elevations

APPROVED 7-0
11/21/06 DENIED (A-1) F.A. CC 4443/24 01/11/07

CITY COUNCIL DATE: 01/11/07
PLANNING COMMISSION DATE: 11/02/06
BY: [Signature]

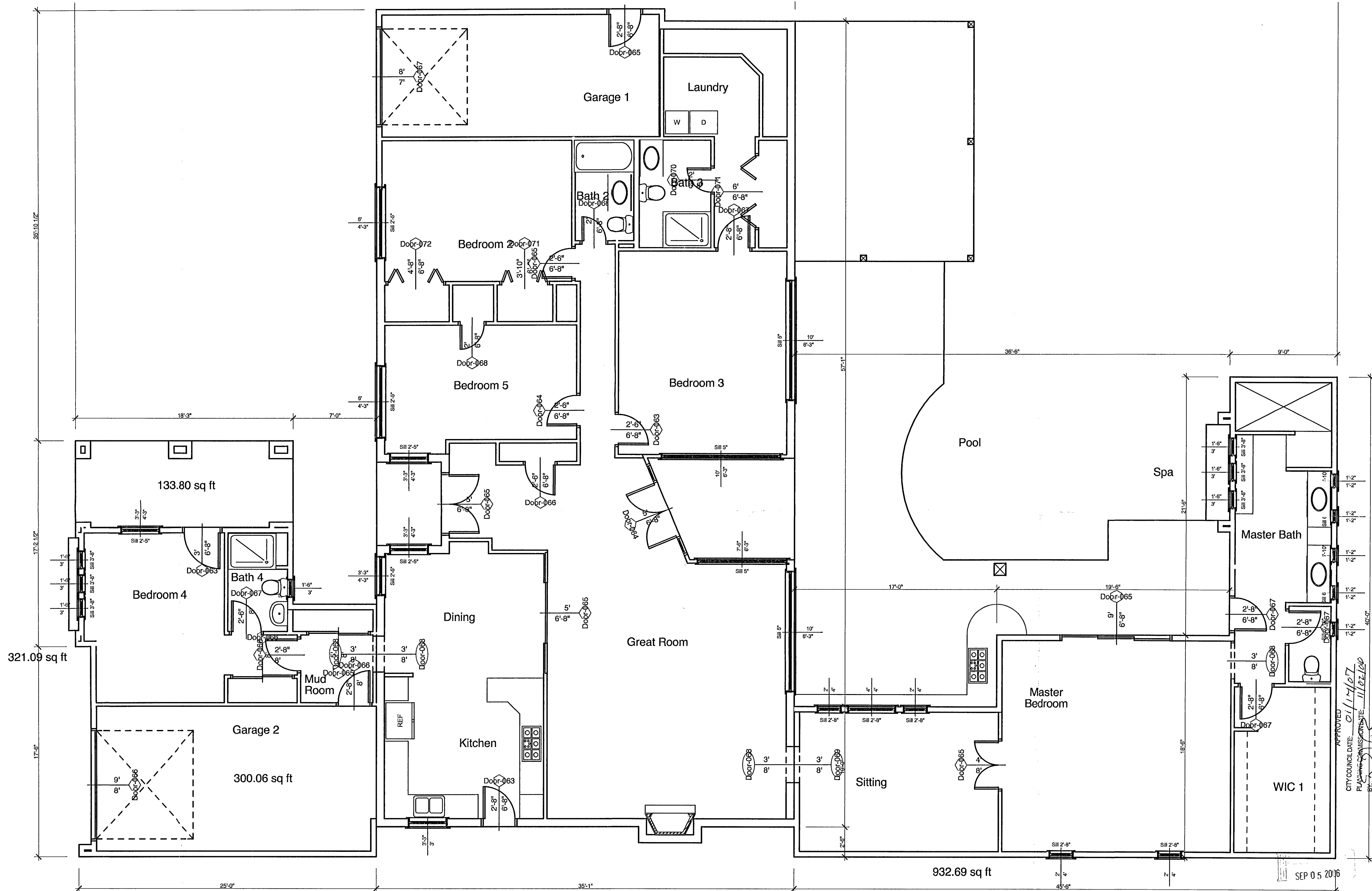
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

REV	NO	DESCRIPTION	DATE	BY

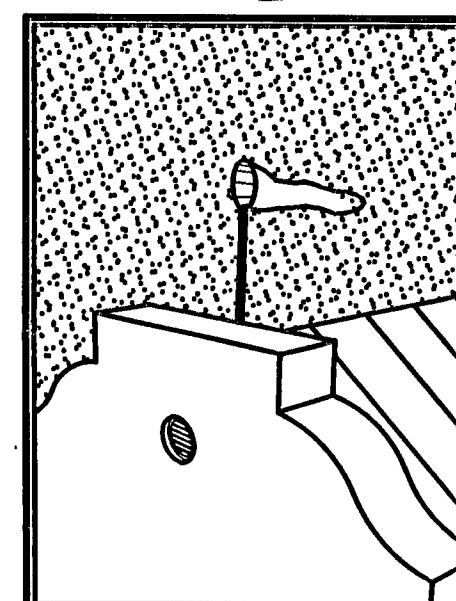
DATE:
9/1/06

John Mackey
Residential Designer
Lic # 113-P
5315 N. El Capitan Way
Las Vegas, NV 89149
jmackey4@cox.net
fax 702.228.0198
702.657.2277

A2



Floor Plan
Scale: 1/4" = 1'-0"



John Mackey
Residential Designer
Lic # 113-P
5315 N. El Capitan Way
Las Vegas, NV 89149
jmackey4@cox.net
fax 702.228.0198
702.657.2277

A1

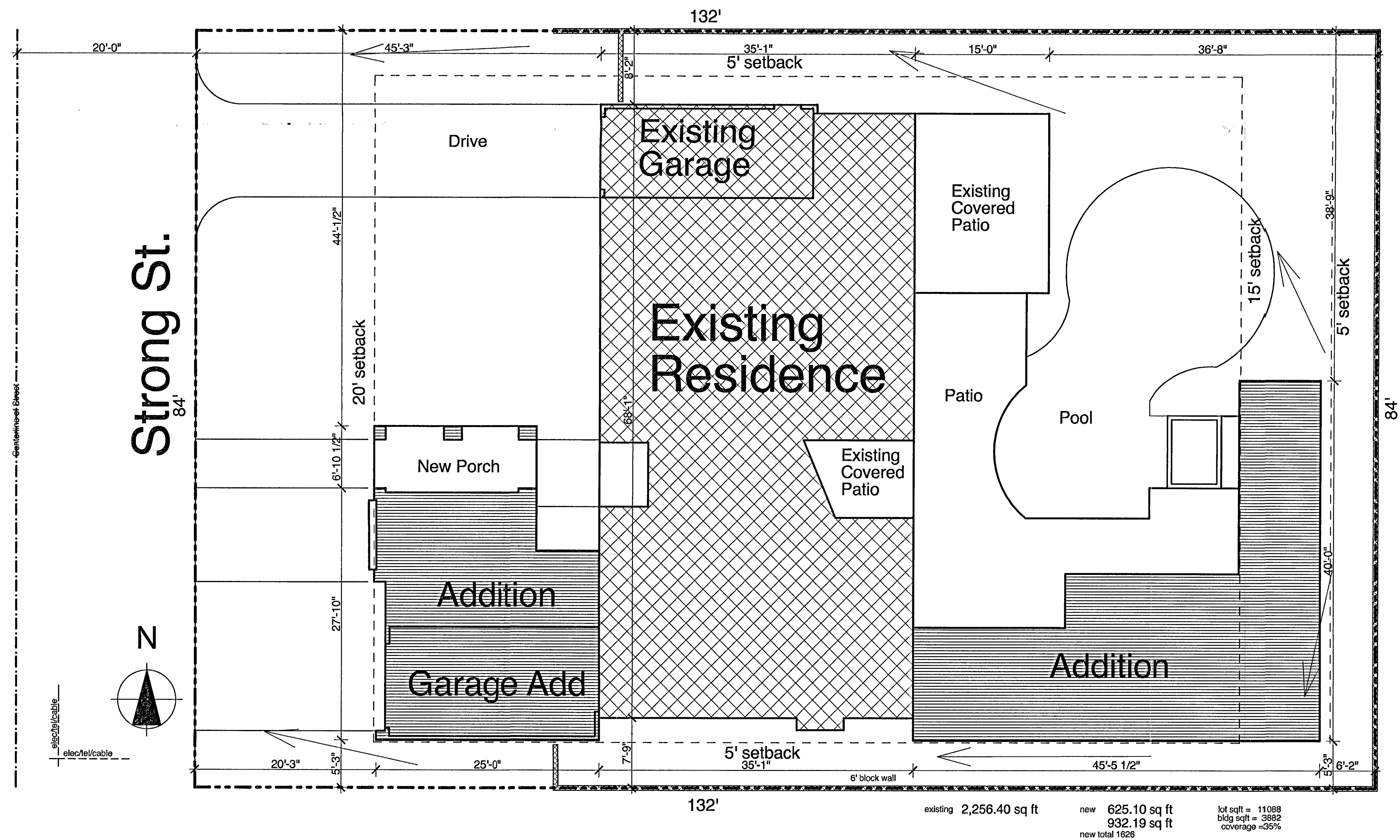
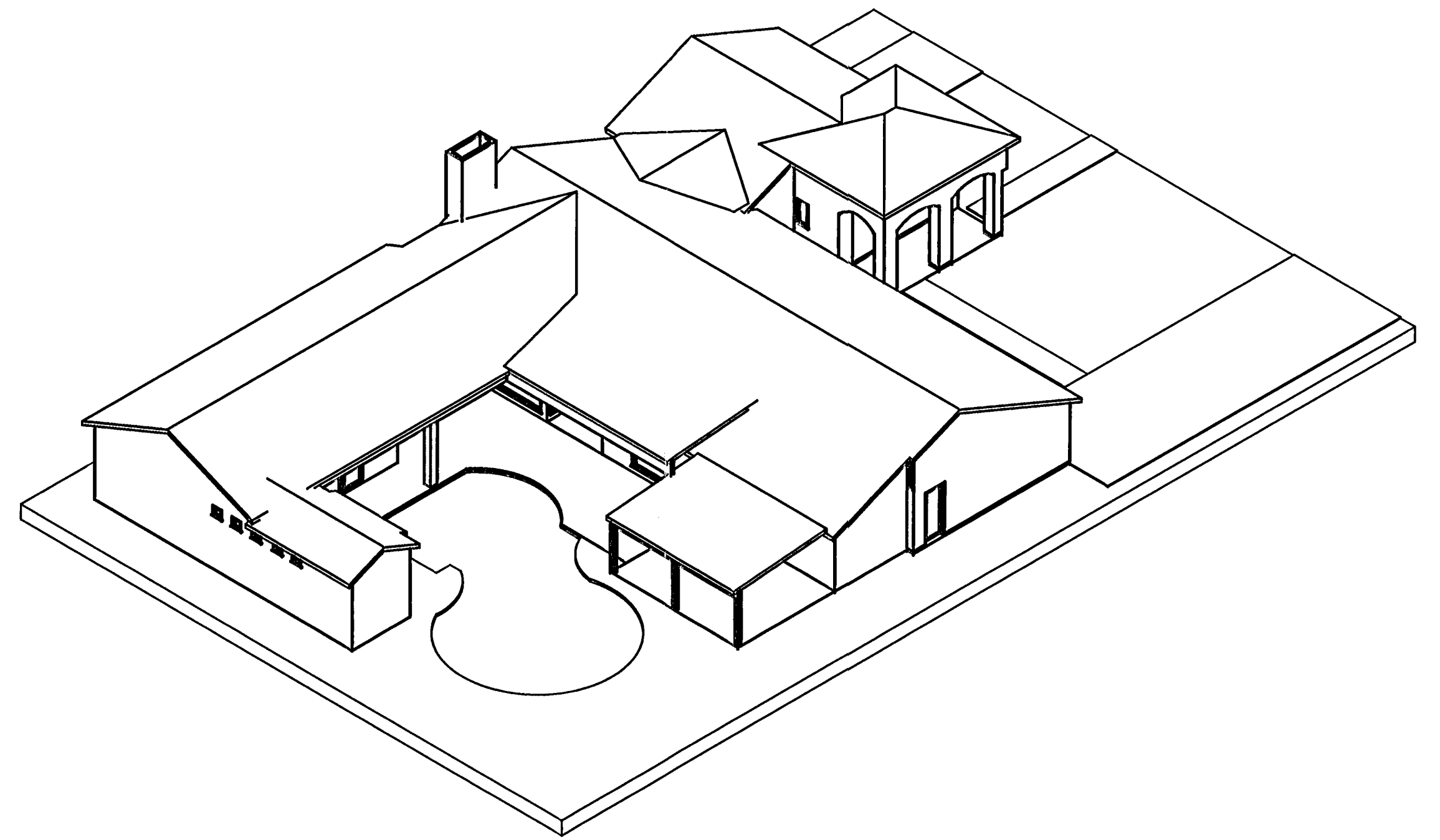
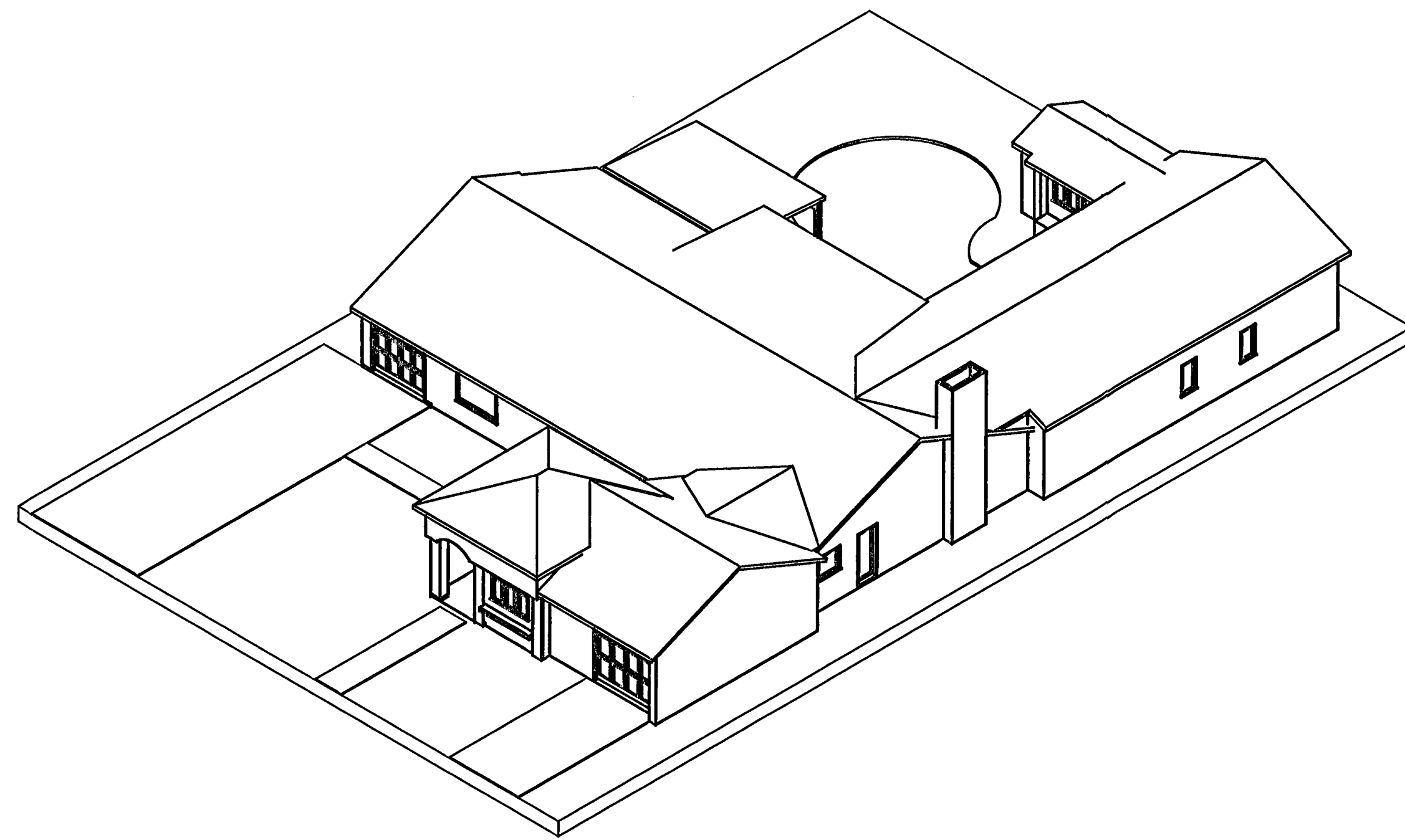
REVNO	DESCRIPTION	DATE	BY
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2	PLANNING AND DEVELOPMENT	11/22/00	John Mackey
3	APPROVED	01/14/07	John Mackey
4	APPROVED	01/14/07	John Mackey
5	APPROVED	01/14/07	John Mackey
6	APPROVED	01/14/07	John Mackey
7	APPROVED	01/14/07	John Mackey
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97	APPROVED	01/14/07	John Mackey
98	APPROVED	01/14/07	John Mackey
99	APPROVED	01/14/07	John Mackey
100	APPROVED	01/14/07	John Mackey

Cook Addition
1117 Strong Dr
Las Vegas, Nevada 89102

Floor Plan

Approved 7-0

VAR-16505 10/14/06 PC 10/10/06 Revised (U-1) F.A. C.C. 10/11/07



existing 2,256.40 sq ft
new 625.10 sq ft
new total 1628
lot sqft = 11088
bldg sqft = 3882
coverage = 35%

Site Plan
Scale: 1/8" = 1'-0"

Cook Addition
1117 Strong Dr
Las Vegas, Nevada 89102

Site Plan

APPROVED
CITY COUNCIL DATE: 01/17/07
PLANNING COMMISSION DATE: 11/02/06
BY: [Signature]
CITY OF LAS VEGAS

REVNO	DESCRIPTION	DATE	BY

DATE:
9/1/06

SEP 05 2006

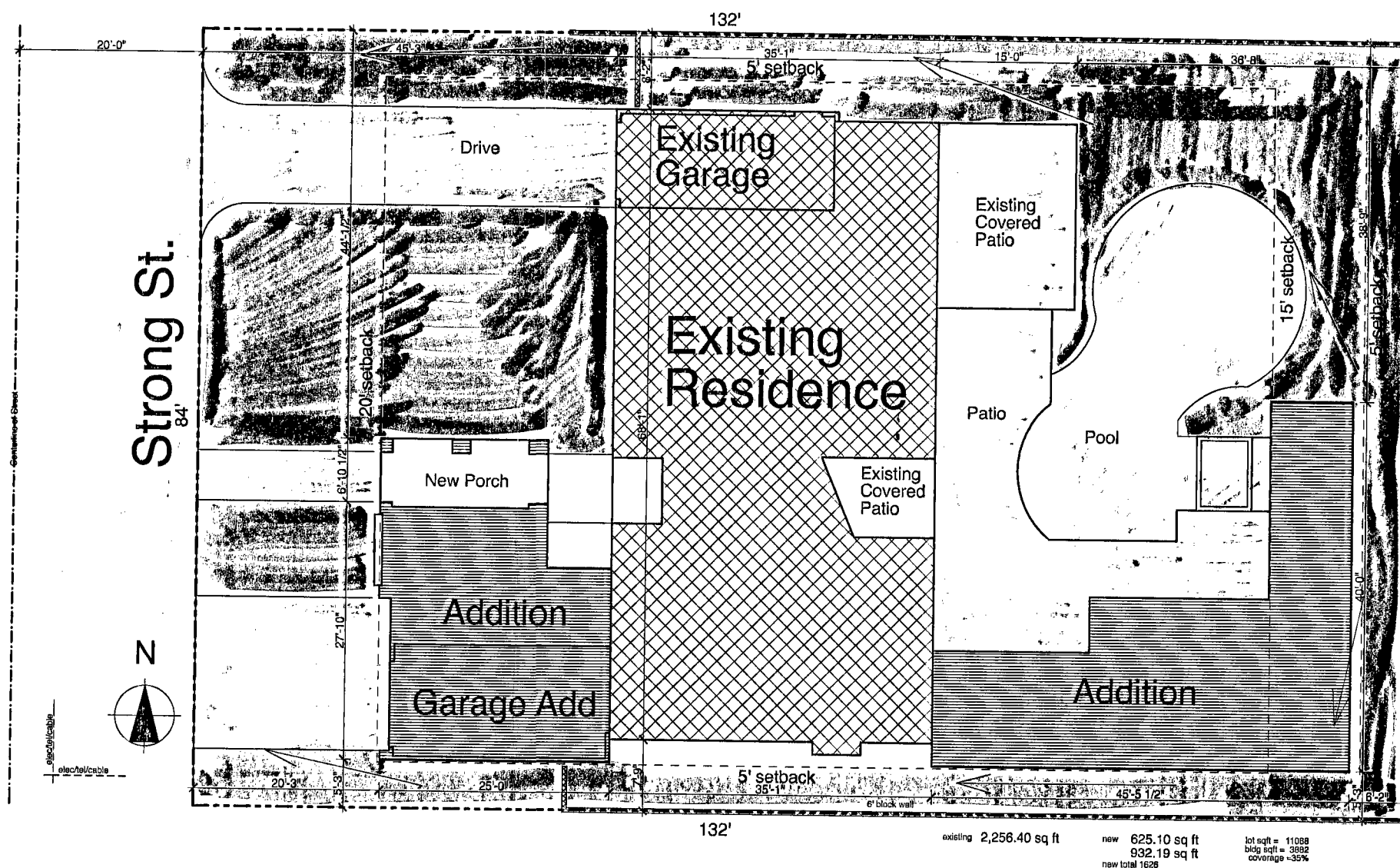
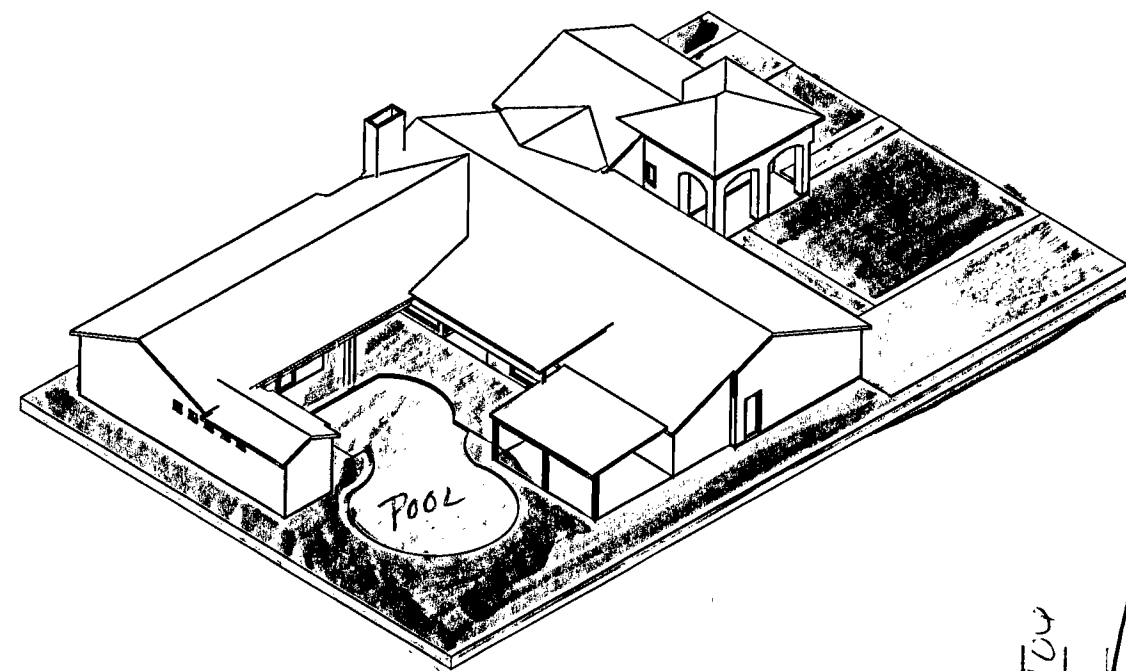
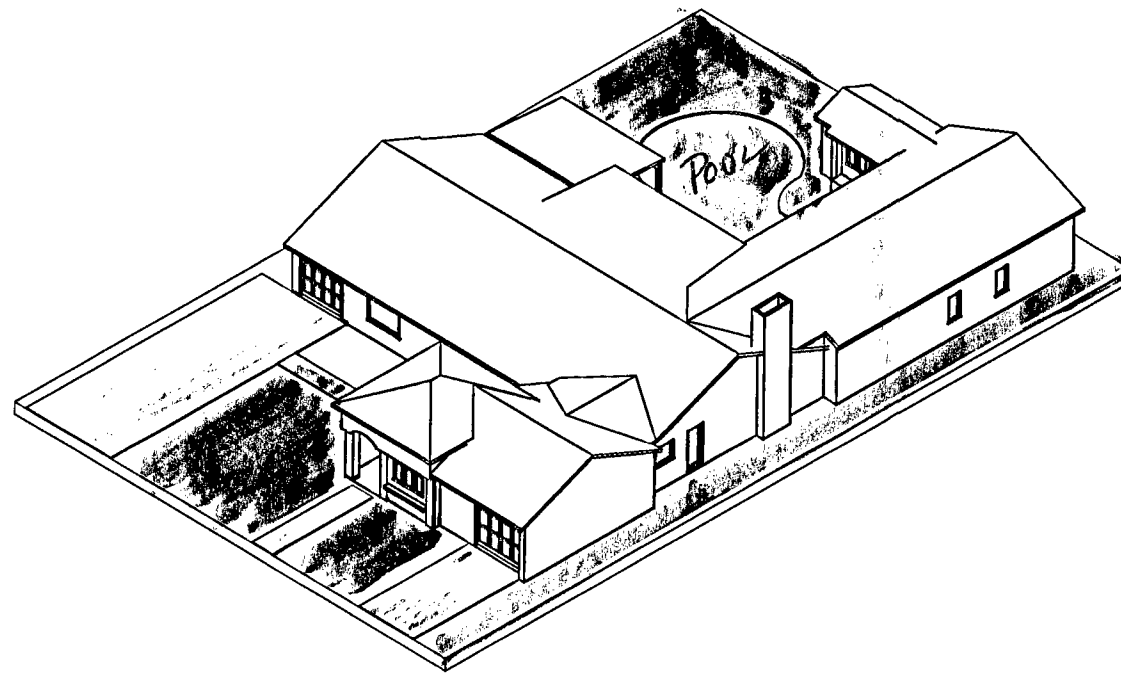


John Mackey
Residential Designer
Lic # 113-P
5315 N. El Capitan Way
Las Vegas, NV 89149
jmackey4@cox.net
fax 702.228.0198
702.657.2277

C1
VAR-16505

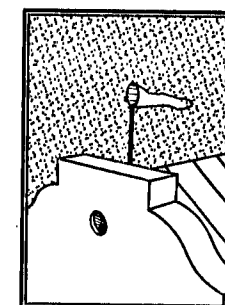
10/19/06 PC

Approved: [Signature] 01/17/07
F.A. cc 01/17/07
PC 11/02/06
VAR-16505



APPROVED
CITY COUNCIL DATE: 01/17/07
PLANNING COMMISSION DATE: 11/22/06
BY: [Signature]
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

RECORDED
SEP 05 2006



John Mackey
Residential Designer
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Las Vegas, NV 89149
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702.657.2277

C1

Site Plan
Scale: 1/8" = 1'-0"

Site Plan

REVNO	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

DATE:
9/1/06

Cook Addition
1117 Strong Dr
Las Vegas, Nevada 89102

Approved 7-0

11/02/06 Denied (6-1) F.A. CC 0770367 01/17/07