

Plans (PMT)

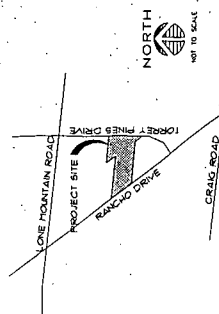


Separator Sheet

GENERAL NOTES:

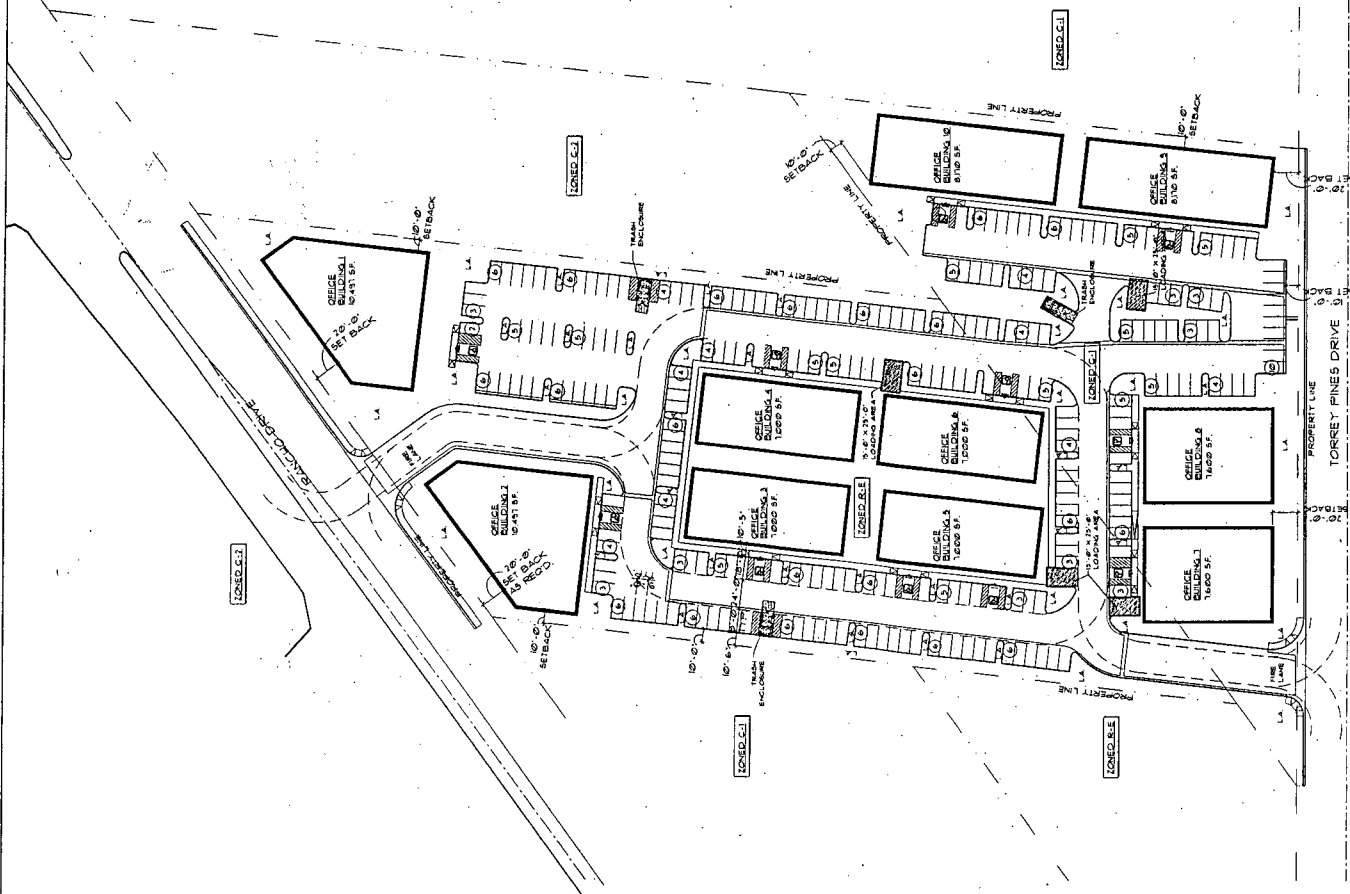
1. SEE LANDSCAPE DRAWINGS FOR LANDSCAPING INFORMATION.
2. SEE CIVIL DRAWINGS FOR ALL SITE LAYOUT DIMENSIONS, CURBS, GUTTERS, AND PLANTERS.
3. SEE CIVIL, PLUMBING, AND ELECTRICAL DRAWINGS FOR UTILITY LINES.
4. SEE CIVIL DRAWINGS FOR ALL GRADING AND DRAINAGE INFORMATION.
5. SITE LAYOUT IS TO BE COORDINATED WITH CIVIL DRAWINGS. IF DISCREPANCIES EXIST, THE CIVIL DRAWINGS SHALL TAKE PRECEDENCE. IF DISCREPANCIES EXIST IN THE DRAINAGE, NOTIFY THE ARCHITECT IMMEDIATELY.
6. ALL SITE CONCRETE SHALL RECEIVE WEATHERPROOF PLAN JOINTS AT 16' @ O.C. AND TOoled JOINTS AT 12' @ O.C.
7. CONCRETE WALKS, LANDINGS, ETC. SHALL RECEIVE LIGHT BROOK FINISH.
8. SLOPE ALL WATERS AROUND AWAY FROM BUILDING TO MINIMUM SLOPE ALONG ACCESSIBLE ROUTE BUT NOT EXCEED 3% IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
9. ALL LIGHTING REQUIREMENTS WILL MEET CODE REQUIREMENTS AT THE TIME OF BUILDING CONSTRUCTION.
10. L.A. - LANDSCAPE AREA

PROJECT LOCATION



PROJECT DATA

130-07-007-005 THRU 009 / 01	
APN:	
EXISTING ZONING:	C-1 R/E
PROPOSED ZONING:	C-1
REQUIREMENTS:	
1. SITE AREA:	279,557 SF (6.41 ACRES)
2. BACKLASH:	REQUIRED:
FRONT	20'-0"
SIDES	10'-0"
REAR	20'-0"
3. BUILDING AREA:	80,534 SF
4. FUTURE OFFICE SPACE	
COLLAGEAGE	
BUILDING AREAS / SITE AREA	
80,534 SF / 279,557 SF.	
5. PARKING:	
1,030 SF (OFFICE)	REQUIRED:
269 SPACES	274 SPACES
6. ADJACENT PARKING	1 SPACES
7. LOADING ZONE	4 SPACES
8. PROPOSED	
174 SPACES	
18 SPACES	
5 SPACES	



RECEIVED
OCT 17 2006
ZON-16504
REVISED
10/19/06 PC

ARCHITECTURAL SITE PLAN

SCALE: 1" = 40'

ARCHITECT
SCALE: 1" = 48"

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES AND LIST IS PROVIDED AS A REFERENCE ONLY.
2. LANDSCAPE MATERIALS ARE TO BE PLANT MATERIAL PRIOR TO INSTALLATION WITH PROVISIONS OF 48 HOURS.
3. PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10% OF TOTAL QUANTITY OF EACH SPECIES, SHOWING GENUS, SPECIES, VARIETY, ETC.
4. PROVIDE MATCHING SIZES & FORMS OF LIKE SHRUB SPECIES AS SHOWN ON DRAWINGS.
5. DECOMPOSED GRANITE 1/4" THICK, COLOR TO BE SELECTED BY OWNER.
6. SITE PLAN LANDSCAPE PLAN DESIGNED PER ZONING REQUIREMENTS.
7. DEPTH TYPICAL IN ALL PLANTING BEDS.
8. ANY TREE WITHIN 5'-0" OF A SIDEWALK OR WALL SHALL BE PLANTED WITH A ROOT SHIELD DESIGNED TO DIRECT ROOT GROWTH DOWNWARD.

LANDSCAPE LEGEND

BOTANICAL NAME
(OPTIONAL NAME)

SIZE

REMARKS

TREES - MEDIUM

- PROSCYPIUS (TEXAS MONEY TREE)
- 74" BOX
- STANDARD TRUNK
- 70" DBH
- 5' FEET ALONG
- 5' FEET ALONG
- 5' FEET ALONG
- PERFECTER

SHRUBS - LARGE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

5 GAL / TREE

GROUNDCOVER & ACCENT

HEPERALOE PARVIFLORA

(RED TUCCA)

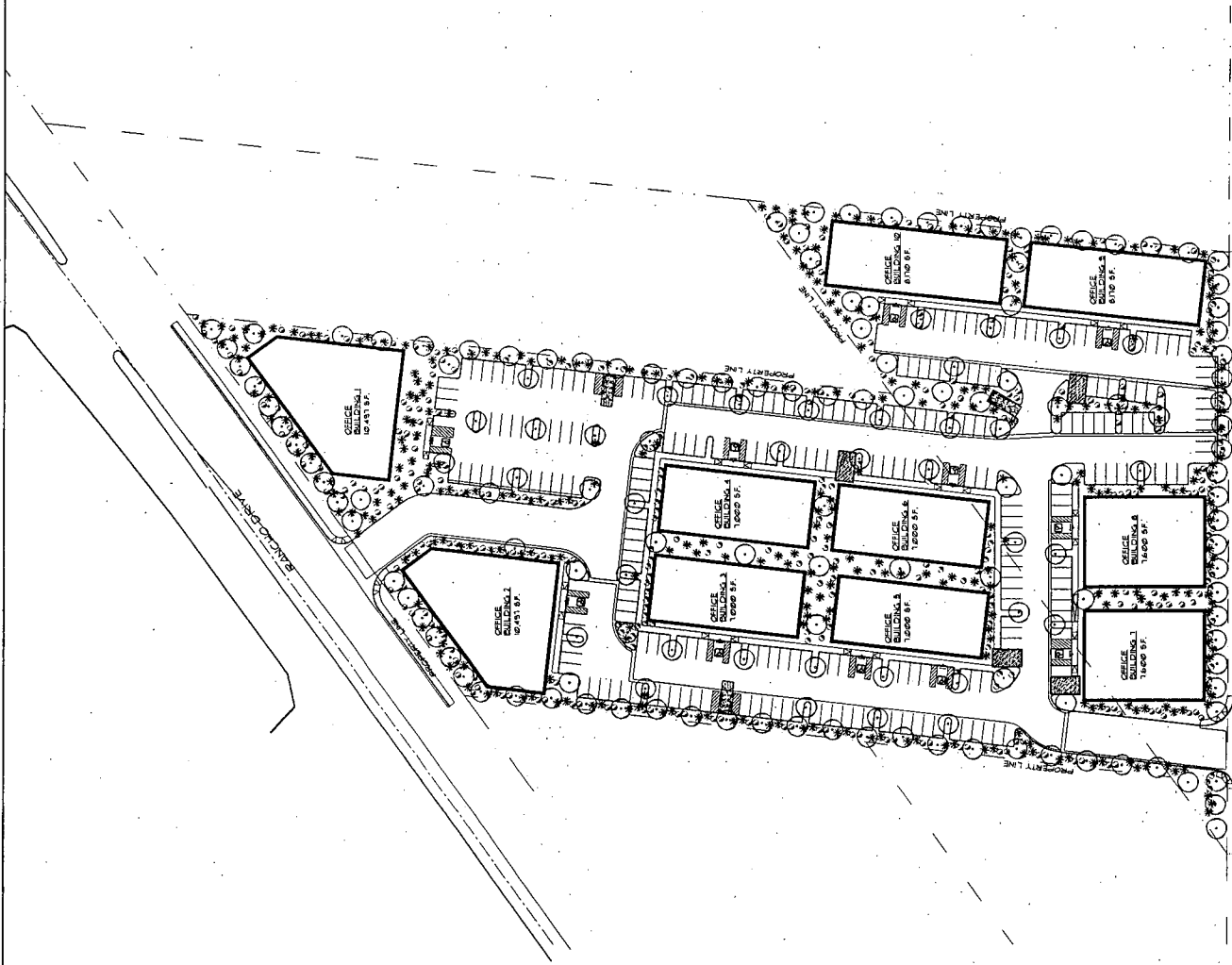
ALL AREAS NOT RECEIVING LIVE GROUNDCOVER SHALL HAVE

7" ROCK MULCH

THE BUILDING FOUNDATION SHALL BE PROTECTED WITH

A WATERPROOF MEMBRANE IF LANDSCAPING IS TO BE LOCATED NEARBY.

RECEIVED ZON-16504
OCT 17 2006
REVISED
10/19/06 PC



LANDSCAPE PLAN
SCALE 1" = 40'

Pacific design concepts, llc
3005 W. Horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

OFFICE AT
RANCHO AND TORREY PINES
L.S. VEGAS, NEVADA
RANCHO AND TORREY PINES

CONTRACT NO.
PROJECT NO.

LANDSCAPE PLAN
LAND USE SUBMITTAL

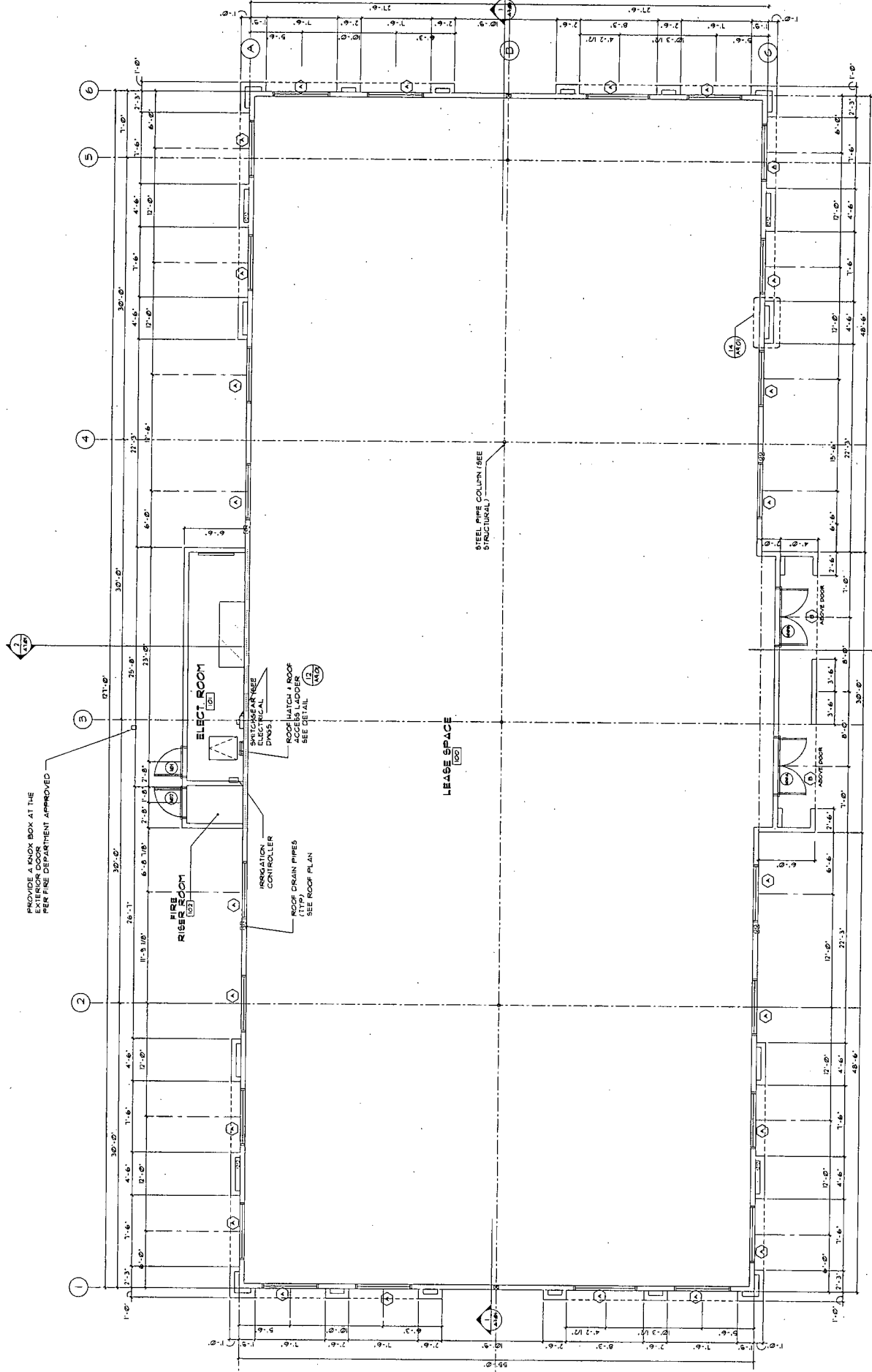
DATE: 10/19/06
DRAWN BY: JCP
CHECKED BY: JCP
PROJECT NO.: ZON-16504
SHEET NO.: 10/19/06 PC
LS101

3005 W. HORIZON RIDGE PARKWAY, SUITE 200
HENDERSON, NEVADA 89052
(702) 454-5842 fax (702) 454-7842
Pacific design concepts, llc

OFFICE AT
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA
PROJECT 11111

FLOOR PLAN 3.4,5,6
FOR BUILDING
7, 8, 9, AND 10 (SIMILAR)

A101
01



GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUDS CENTER LINE OF GRIDS AND COLUMNS.
2. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE BEGINNING WORK.
3. OWNER SHALL PROVIDE AND LOCATE ACCESS PANELS REQUIRED FOR MECHANICAL, PLUMBING & ELECTRICAL WORK (M.P.E.).
4. APPLIANCES AND OTHER EQUIPMENT BY OWNER (N.C.).
5. ALL PARTITIONS ADJACENT TO OR LOCATED AT THE EXTERIOR SHALL BE CONSTRUCTED WITH MOISTURE RESISTANT GYP. BD.

WALL LEGEND

- EXTERIOR WALL CONSTRUCTION:
2" EXTERIOR INSULATION FINISH SYSTEM
2" EXTERIOR INSULATION SHEATHING OVER
OVER 2" X 6 WOOD STUDS @ 16" O.C. WITH
R-18 BATT INSULATION
- LIQUID-FIRE PARTITION WALL CONSTRUCTION:
1 LAYER OF 5/8" TYPE "X" GYP. BD. ON EACH
SIDE OF 2X6 WOOD STUDS @ 16" O.C.
PER UBC-00 TABLE 714.1 (2) SEC 14.13

1 FLOOR PLAN / ONE STORY OFFICE BUILDING
SCALE 1/4" = 1'-0"
ZON-16504 SEP 05 2006
10/19/06 PC

GENERAL NOTES

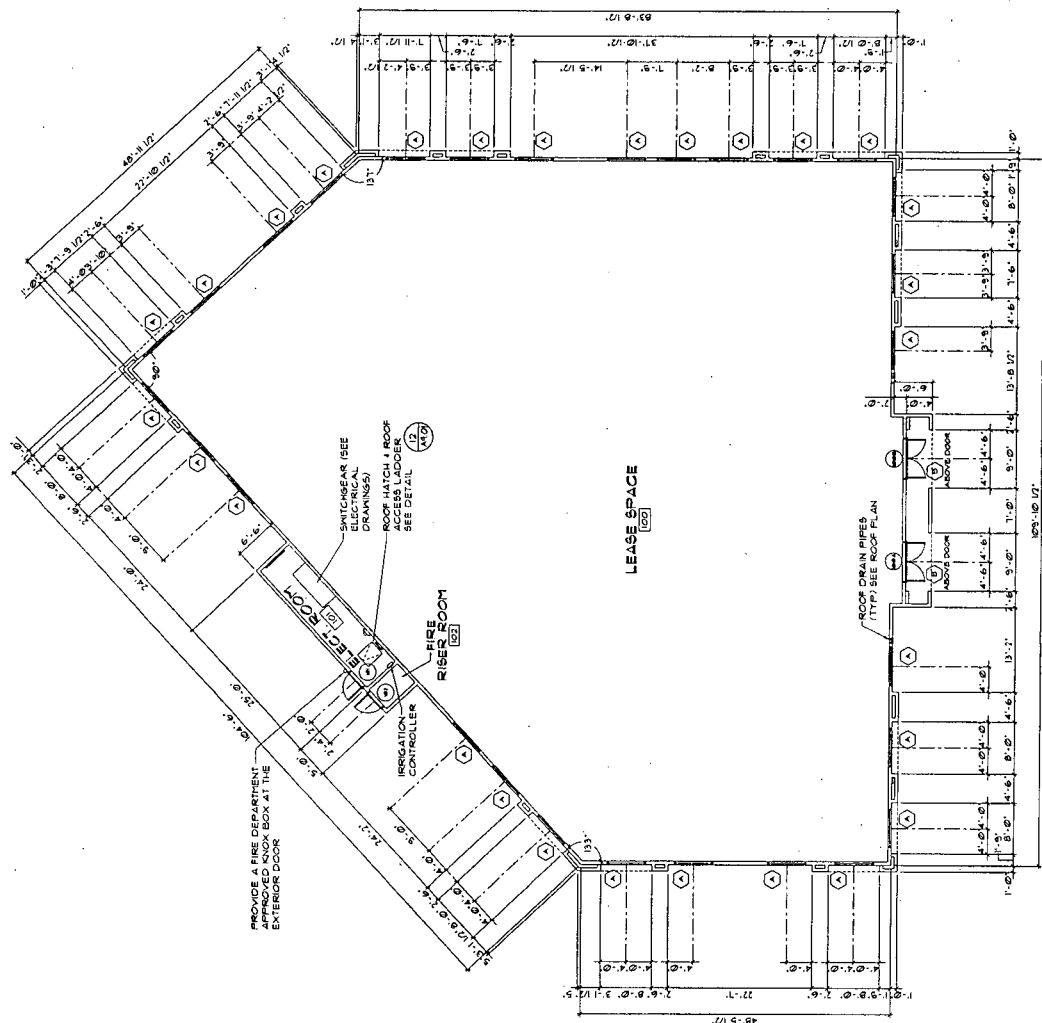
1. ALL DIMENSIONS ARE TO FACE OF STUDS. CENTER LINE OF GRIDS AND COLUMNS.
2. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE BEGINNING WORK.
3. CONVEYANCE SHALL PROVIDE AND LOCATE ACCESS MECHANICAL DUCTS, PLUMBING & ELECTRICAL WORK (N/C).
4. APPLIANCES AND OTHER EQUIPMENT BY OWNER.
5. ALL PARTITIONS ADJACENT TO OR LOCATED AT THE EXTERIOR SHALL BE CONSTRUCTED WITH MOISTURE RESISTANT GYP. BD.

WALL LEGEND



EXTERIOR WALL CONSTRUCTION:
2" EXTERIOR INSULATION FINISH SYSTEM
OVER 2" X 8" WOOD STUDS @ 16" O.C. WITH
R-19 BATT INSULATION

100% FIRE PARTITION WALL CONSTRUCTION:
1 LAYER OF 5/8" TYPE 'X' GYP. BD. ON EACH
SIDE OF 2X6 WOOD STUDS @ 16" O.C.
PER IBC-00 TABLE INT (2) SEC 14-1.5



1" = 10' SCALE 1/8" = 1'-0"

RECEIVED
SEP 05 2006
ZON-16504

10/19/06 PC

Project No. 1001
Floor Plan Building 1
(Building 2 SIM.)
3005 W. Horizon Ridge Parkway, Suite 200
Henderson, Nevada 89052
(702) 454-5842 FAX (702) 454-7842
Pacific design concepts, llc

Office at
Rancho and Torrey Pines
Las Vegas, Nevada

Project No. 1001
Floor Plan Building 1
(Building 2 SIM.)

Sheet No. A102

Pacific design concepts, llc
 2005 W. Horizon ridge Parkway, suite 200
 Henderson, Nevada 89052
 (702) 454-5842 fax (702) 454-7842

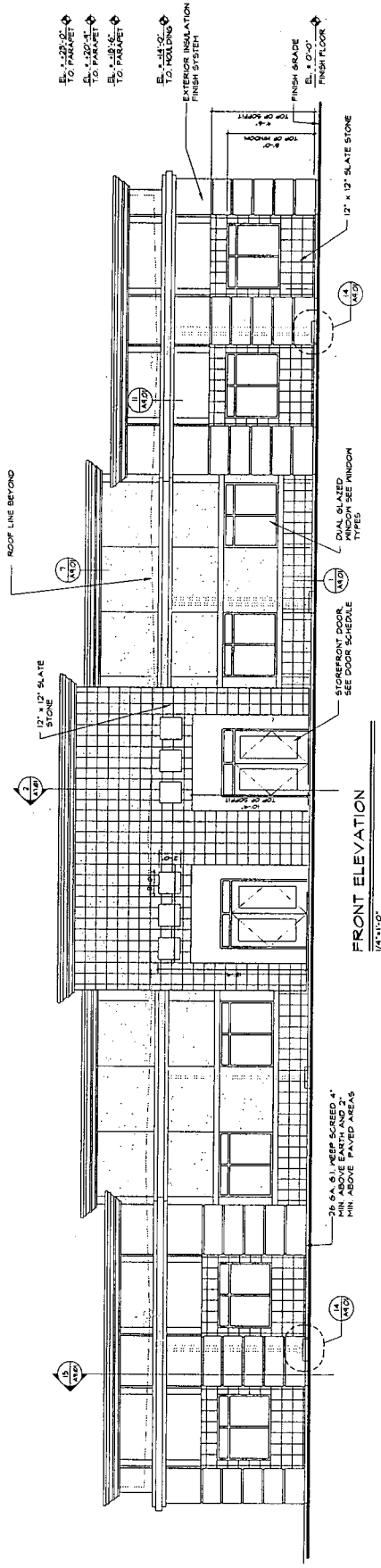
OFFICE AT
 RANCHO AND TORREY PINES
 PROJECT 1110

CONSULTANT

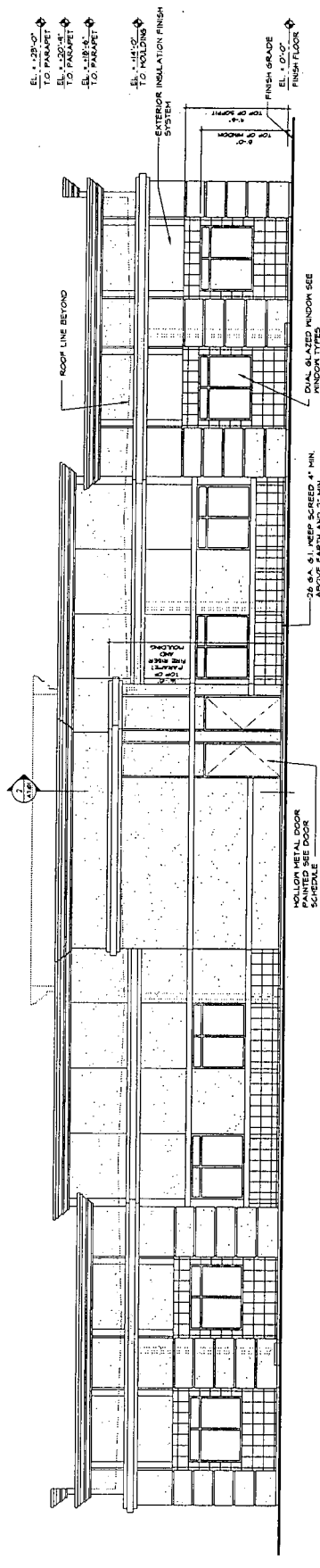
EXTERIOR ELEVATIONS
 FOR BUILDING 3, 4, 5, 6
 BLDG. 7, 8, 9, 10 SIMILAR

DATE: 08/16/06
 DRAWN BY: KCP
 CHECKED BY: KCP
 PROJECT NO.: 206-110
 SHEET NO.: 206-110-1
 SHEET NO.: A6.02
 SHEET NO.: 01

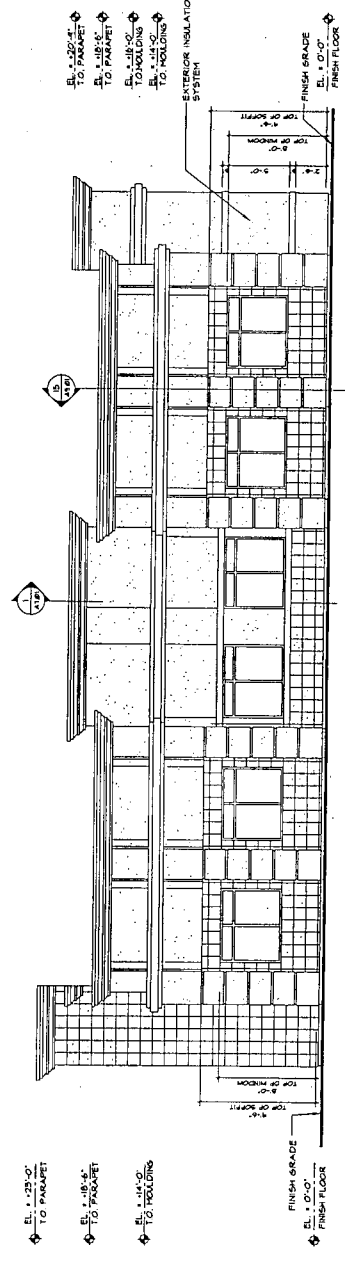
SEP 05 2006
ZON-16502
SDR-16503
10/19/06 PC



FRONT ELEVATION
 1/4"=1'-0"



REAR ELEVATION
 1/4"=1'-0"



SIDE ELEVATION
 1/4"=1'-0"

Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BAA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekki, Survey (FM, PM, & A's only)
Date: September 26, 2006
Re: **ZON-16504** Sandstone Arches, LLC 4600 N. Rancho Dr.
Request for Rezoning from R-E and C-2 to C-1

CONDITIONS OF APPROVAL:

1. Construct all incomplete half-street improvements on Rancho Drive adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
2. Landscape and maintain all unimproved right-of-way, if any, on Rancho Drive adjacent to this site.
3. Obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Rancho Drive public right-of-way adjacent to this site prior to the issuance of any permits.
4. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
5. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.

APN Map

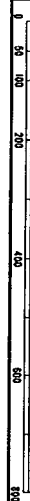


Separator Sheet

NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the records documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM THIS ORIGINAL



MAP LEGEND

AVERAGE ON VALUE	35
ASSESSOR'S PARCELS - CLARK CO., NV.	
M. W. Schofield, Assessor	
PARCEL BOUNDARY	001
SUBD BOUNDARY	1.00
ROAD EASEMENT	202
PA/LD BOUNDARY	202
NON-PARCEL LOT LINE	5
MATCH LINE / LEADER LINE	5
ROAD ID NUMBER	5
GOV. LOT NUMBER	5

T20S R60E	
125	124
126	125
127	126
128	127
129	128
130	129
131	130
132	131
133	132
134	133
135	134
136	135
137	136
138	137
139	138
140	139
141	140
142	141
143	142
144	143
145	144
146	145
147	146
148	147
149	148
150	149
151	150
152	151
153	152
154	153
155	154
156	155
157	156
158	157
159	158
160	159
161	160
162	161
163	162
164	163
165	164
166	165
167	166
168	167
169	168
170	169
171	170
172	171
173	172
174	173
175	174
176	175
177	176
178	177
179	178
180	179
181	180
182	181
183	182
184	183
185	184
186	185
187	186
188	187
189	188
190	189
191	190
192	191
193	192
194	193
195	194
196	195
197	196
198	197
199	198
200	199
201	200
202	201
203	202
204	203
205	204
206	205
207	206
208	207
209	208
210	209
211	210
212	211
213	212
214	213
215	214
216	215
217	216
218	217
219	218
220	219
221	220
222	221
223	222
224	223
225	224
226	225
227	226
228	227
229	228
230	229
231	230
232	231
233	232
234	233
235	234
236	235
237	236
238	237
239	238
240	239
241	240
242	241
243	242
244	243
245	244
246	245
247	246
248	247
249	248
250	249
251	250
252	251
253	252
254	253
255	254
256	255
257	256
258	257
259	258
260	259
261	260
262	261
263	262
264	263
265	264
266	265
267	266
268	267
269	268
270	269
271	270
272	271
273	272
274	273
275	274
276	275
277	276
278	277
279	278
280	279
281	280
282	281
283	282
284	283
285	284
286	285
287	286
288	287
289	288
290	289
291	290
292	291
293	292
294	293
295	294
296	295
297	296
298	297
299	298
300	299
301	300
302	301
303	302
304	303
305	304
306	305
307	306
308	307
309	308
310	309
311	310
312	311
313	312
314	313
315	314
316	315
317	316
318	317
319	318
320	319
321	320
322	321
323	322
324	323
325	324
326	325
327	326
328	327
329	328
330	329
331	330
332	331
333	332
334	333
335	334
336	335
337	336
338	337
339	338
340	339
341	340
342	341
343	342
344	343
345	344
346	345
347	346
348	347
349	348
350	349
351	350
352	351
353	352
354	353
355	354
356	355
357	356
358	357
359	358
360	359
361	360
362	361
363	362
364	363
365	364
366	365
367	366
368	367
369	368
370	369
371	370
372	371
373	372
374	373
375	374
376	375
377	376
378	377
379	378
380	379
381	380
382	381
383	382
384	383
385	384
386	385
387	386
388	387
389	388
390	389
391	390
392	391
393	392
394	393
395	394
396	395
397	396
398	397
399	398
400	399
401	400
402	401
403	402
404	403
405	404
406	405
407	406
408	407
409	408
410	409
411	410
412	411
413	412
414	413
415	414
416	415
417	416
418	417
419	418
420	419
421	420
422	421
423	422
424	423
425	424
426	425
427	426
428	427
429	428
430	429
431	430
432	431
433	432
434	433
435	434
436	435
437	436
438	437
439	438
440	439
441	440
442	441
443	442
444	443
445	444
446	445
447	446
448	447
449	448
450	449
451	450
452	451
453	452
454	453
455	454
456	455
457	456
458	457
459	458
460	459
461	460
462	461
463	462
464	463
465	464
466	465
467	466
468	467
469	468
470	469
471	470
472	471
473	472
474	473
475	474
476	475
477	476
478	477
479	478
480	479
481	480
482	481
483	482
484	483
485	484
486	485
487	486
488	487
489	488
490	489
491	490
492	491
493	492
494	493
495	494
496	495
497	496
498	497
499	498
500	499
501	500
502	501
503	502
504	503
505	504
506	505
507	506
508	507
509	508
510	509
511	510
512	511
513	512
514	513
515	514
516	515
517	516
518	517
519	518
520	519
521	520
522	521
523	522
524	523
525	524
526	525
527	526
528	527
529	528
530	529
531	530
532	531
533	532
534	533
535	534
536	535
537	536
538	537
539	538
540	539
541	540
542	541
543	542
544	543
545	544
546	545
547	546
548	547
549	548
550	549
551	550
552	551
553	552
554	553
555	554
556	555
557	556
558	557
559	558
560	559
561	560
562	561
563	562
564	563
565	564
566	565
567	566
568	567
569	568
570	569
571	570
572	571
573	572
574	573
575	574
576	575
577	576
578	577
579	578
580	579
581	580
582	581
583	582
584	583
585	584
586	585
587	586
588	587
589	588
590	589
591	590
592	591
593	592
594	593
595	594
596	595
597	596
598	597
599	598
600	599
601	600
602	601
603	602
604	603
605	604
606	605
607	606
608	607
609	608
610	609
611	610
612	611
613	612
614	613
615	614
616	615
617	616
618	617
619	618
620	619
621	620
622	621
623	622
624	623
625	624
626	625
627	626
628	627
629	628
630	629
631	630
632	631
633	632
634	633
635	634
636	635
637	636
638	637
639	638
640	639
641	640
642	641
643	642
644	643
645	644
646	645
647	646
648	647
649	648
650	649
651	650
652	651
653	652
654	653
655	654
656	655
657	656

Deed



Separator Sheet

RECORDING REQUESTED BY:

Fidelity National Title Agency of Nevada, Inc.
Escrow No. 02-310159-LV
Title Order No. 00310159

When Recorded Mail Document
and Tax Statement To:
Mr. Gus Merhi
3275 E. Sahara Avenue
Las Vegas, NV 89104

RPTT: 2,026.25

APN: 138-02-102-007

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That F. Robert Etor and Shirley H. Etor, Co-Trustees of the Etor 1981 Trust dated January 7, 1981

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to Galtar LLC, a Nevada limited liability company all that real property situated in the CLARK County, State of Nevada, bounded and described as follows:

SEE EXHIBIT ONE ATTACHED HERETO AND MADE A PART HEREOF

SUBJECT TO: 1. Taxes for the fiscal year 2001-2002
2. Covenants, Conditions, Reservations, Rights, Rights of Way and Easements now of record.

Together with all and singular tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

DATED: March 13, 2002

STATE OF NEVADA
COUNTY OF Clark

This instrument was acknowledged before me

on 3/26/02

by F. Robert Etor and Shirley H. Etor,
Trustees of the Etor 1981 Trust
dated January 7, 1981

Signature _____ Notary Public

My Commission Expires: 10-9-04



Etor 1981 Trust

By: _____
F. Robert Etor, Trustee

By: _____
Shirley H. Etor, Trustee

RECEIVED
SEP 05 2006

EXHIBIT "ONE"

That portion of Government Lot 3 in Section 2, Township 20 South, Range 60 East, M.D.B. & M., Clark County, Nevada

Commencing at the Northwest Corner of Said Section 2; Thence South $83^{\circ}40'25''$ East along the North line thereof a distance of 373.64 feet to a point on the Northeastly line of U.S. Highway No. 95 (125 feet wide); Thence South $36^{\circ}26'$ East along the said Northeastly line a distance of 1323.98 feet to the Southwest Corner of that certain parcel of land conveyed by Michael Wilder to James M. Spartan by deed recorded September 26, 1956 as Document No. 90014, Official Records of Clark County, Nevada, the True Point of Beginning; Thence continuing South $36^{\circ}26'$ East a distance of 300.00 feet to the Northwest Corner of that certain parcel of land conveyed by Michael Wilder and Frank Ferrara to William G. Moses, et ux, by deed recorded March 27, 1956, as Document No. 73748, Official Records of Clark County, Nevada; Thence South $83^{\circ}45'28''$ East along the North line of the last mentioned conveyed parcel a distance of 600.00 feet to the Northeast Corner thereof; thence North $36^{\circ}26'$ West a distance distance 300.00 feet to the Southeast Corner of the first mentioned parcel conveyed to Spartan; Thence North $83^{\circ}45'28''$ West a distance of 600.00 feet to the True Point of Beginning.

The above legal description was copied from document recorded April 18, 1980, in Book 1215 as Document No. 1174367, of Official Records, Clark County, Nevada

Assessor's Parcel No: 138-02-102-007

ASSESSOR

CLARK COUNTY, NEVADA
RECORDED AT REQUEST OF: FIDELITY NATIONAL TITLE
BOOK: 2002 15:15 JVB PAGE: 0001
OFFICIAL RECORDS
BOOK/INST: 20020020-02526 FILE: 15.00
DATE: 2,026.25

RECEIVED
SEP 05 2006

Affix R.P.T.T. \$650.00

Escrow No 00236785-DJG

WHEN RECORDED MAIL TO AND MAIL TAX
STATEMENTS TO:

GALTAR LLC

3275 E. SAHARA AVENUE

LAS VEGAS NV 89104

COPY

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That: TOBY LAMURAGLIA and FIORINDA LAMURAGLIA, who acquired title without status, as tenants in common, in consideration of \$10.00 the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to GALTAR, LLC, a Nevada Limited Liability Company

all that real property situate in the County of CLARK State of Nevada, bounded and described as follows: THAT PORTION OF GOVERNMENT LOT THREE (3) IN SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M. D. B. & M., IN THE COUNTY OF CLARK, STATE OF NEVADA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID GOVERNMENT LOT 3 WITH THE NORTHEASTERLY LINE OF U.S. HIGHWAY NO. 95 (125.00 FEET WIDE); THENCE ALONG SAID NORTHEASTERLY LINE NORTH 36°26' WEST 100.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTHEASTERLY LINE NORTH 36°26' WEST 100.00 FEET; THENCE PARALLEL WITH SAID SOUTH LINE SOUTH 83°45'28" EAST 600.00 FEET; THENCE SOUTH 36°26' EAST 100.00 FEET; THENCE PARALLEL WITH SAID SOUTH LINE NORTH 83°45'28" WEST 600.00 FEET TO THE TRUE POINT OF BEGINNING.

SUBJECT TO:

1. Taxes for the current fiscal year, and any and all taxes (including supplemental taxes) and assessments levied or assessed after the recording date of this document.
2. Rights of way, easements, restrictions, easements and conditions of record.
3. First Deed of Trust to record concurrently herewith.

Together with all and singular the tenements, hereditaments, and appurtenances thereunto belonging or in anywise appertaining.

Witness my/our hand(s) this 7th day of September, 2002.

signed in counterpart
TOBY LAMURAGLIA

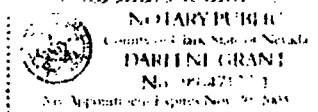
Fiorinda Lamuraglia
FIORINDA LAMURAGLIA

STATE OF NEVADA
COUNTY OF CLARK

Sept 7, 2002

On Sept 7, 2002 personally appeared before me, a Notary Public, FIORINDA LAMURAGLIA, personally known (or proven) to me to be the person(s) whose name(s) is/are subscribed to the within instrument who acknowledged that she executed the instrument.

Notary Public in and for said County and State.



RECEIVED
SEP 05 2006

20020916
01819

EXHIBIT "A"

THAT PORTION OF GOVERNMENT LOT THREE (3) IN SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M. D. B. & M., IN THE COUNTY OF CLARK, STATE OF NEVADA, DESCRIBED AS FOLLOWS

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID GOVERNMENT LOT 3 WITH THE NORTHEASTERLY LINE OF U.S. HIGHWAY NO. 95 (125.00 FEET WIDE), THENCE ALONG SAID NORTHEASTERLY LINE NORTH 36°26' WEST 100.00 FEET TO THE TRUE POINT OF BEGINNING, THENCE CONTINUING ALONG SAID NORTHEASTERLY LINE NORTH 36°26' WEST 100.00 FEET, THENCE PARALLEL WITH SAID SOUTH LINE SOUTH 83°45'28" EAST 600.00 FEET, THENCE SOUTH 36°26' EAST 100.00 FEET, THENCE PARALLEL WITH SAID SOUTH LINE NORTH 83°45'28" WEST 600.00 FEET TO THE TRUE POINT OF BEGINNING.

ASSESSOR'S

COPY

CLERK OF DISTRICT COURT
COUNTY OF CLARK, NEVADA
RECORDED AT REQUEST OF: CLARK COUNTY
BY: LEO J. JONES
BOOK: 1100 PAGE: 100
OFFICIAL RECORDS
BOOK: 1100 PAGE: 100
FILE: 1100
NO. 11 100.00

DDT form rev 12-99

RECEIVED
SEP 05 2006

SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-16504** APN: 138-02-102-007 and 009

Name of Property Owner: Galtar, LLC

Name of Applicant: Sandstone Arches, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN _____

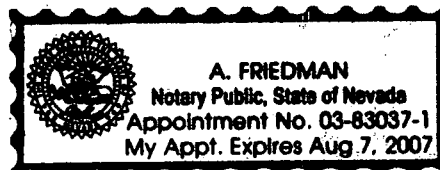
Signature of Property Owner: 

Print Name: Ghassan Merhi

Subscribed and sworn before me

This 28th day of August, 20 06

Notary Public in and for said County and State



Justification Letter



Separator Sheet



August 29, 2006

CIVIL City of Las Vegas
Planning and Development Department
731 South 4th Street
STRUCTURAL Las Vegas, Nevada
89101

MECHANICAL Dear Ladies/Gentlemen:

ELECTRICAL Please accept this letter from Wright Engineers on behalf of our client, Sandstone
PLUMBING Arches LLC, as the justification for related requests for a General Plan Amendment, a
SURVEYING Rezoning and a Site Development Plan Review for development of property at 4600
LEED Rancho Drive (APN#'s 138-02-102-005, 006, 007, 008, 009 and 011).

Our client intends to develop 10 one-story office pads containing a total of 81,240 square feet on the site. The site is currently split from a land use and zoning standpoint and the General Plan Amendment and Rezoning requests are intended to rectify this situation. The two parcels fronting on to Rancho Drive (APN#'s 138-02-102-007 and 009) are currently designated GC (General Commercial), and were zoned C-2 (General Commercial); however, the C-2 zoning on 138-02-102-009 (per ZON-1411) elapsed on February 19, 2005, leaving R-E (Residence Estates) zoning in its place, and the C-2 zoning on 138-02-102-007 (per Z-0049-02) is the subject of an Extension of Time request (EOT-15595) scheduled for the September 20, 2006 City Council agenda.

The intent is to seek a General Plan Amendment from GC (General Commercial) to SC (Service Commercial), and a conforming Rezoning from the R-E and C-2 districts to C-1 (Limited Commercial) on these two parcels, to match the existing land use and zoning on the other four parcels, which are currently designated as SC and are hard zoned as C-1. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations.

This site was the location of a previously approved used car sales lot (SDR-1413) which were approved by Las Vegas City Council on February 19, 2003. The current office project will not require general commercial land use and zoning, and will be more compatible with surrounding residential and office uses than the previous project. The current request is for an attractive, one-story office campus that will compliment the area.

Thank you for your consideration.

Sincerely,

Gary Leobold, AICP
Director of Planning

7425 Peak Drive
Las Vegas, NV 89128
(p) 702.933.7000
(f) 702.933.7001
800.933.7611
wrightengineers.com

C: 285-4885

RECEIVED
SEP 05 2006
ZON-16504
10/19/06 PC

LAS VEGAS

IRVINE

PHOENIX

SACRAMENTO

Application



Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Rezoning R-E [ROI to C-2] and R-E to C-1
 Project Address (Location) 4600 N. Rancho Drive
 Project Name Rancho/Torrey Pines Offices Proposed Use Offices
 Assessor's Parcel #(s) 138-02-102-007 and 009 Ward # 6
 General Plan: existing GC proposed SC Zoning: existing R-E/C-2 proposed C-1
 Commercial Square Footage 81,240 (proposed) Floor Area Ratio 0.29
 Gross Acres 4.14 Lots/Units -- Density --
 Additional Information related general plan amendment and site development plan review

PROPERTY OWNER Galtar, LLC Contact Robert Ford
 Address 3275 E. Sahara Ave. Phone: (702) 321-3706 Fax: (702) 228-3052
 City Las Vegas State NV Zip 89104-4303

APPLICANT Sandstone Arches, LLC Contact Jim Davis
 Address 4520 Palisades Canyon Circle Phone: (702) 591-1352 Fax: (702) 839-0351
 City Las Vegas State NV Zip 89129

REPRESENTATIVE _____ Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____

Property Owner Signature* _____

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Ghassan Merhi

Subscribed and sworn before me

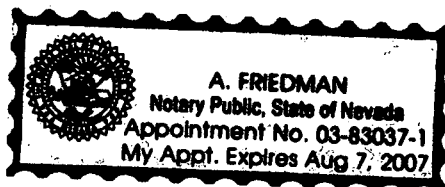
This 28th day of AUGUST, 20 06.

Notary Public in and for said County and State

FOR DEPARTMENT USE ONLY

Case #	<u>200-16504</u>
Meeting Date:	<u>10/19/06</u>
Total Fee:	<u>1000.00</u>
Date Received:*	<u>9/5/06</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



RECEIVED
SEP 05 2006

Hansen Sheet



Separator Sheet

Report Date 09/06/2006 10:49 AM

Submitted By

Page 1

A/P # 16504 REZONING

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	09/05/2006 11:36	982721	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

ZON-16504 - REZONING RELATED TO SDR-16503 - PUBLIC HEARING - APPLICANT: SANDSTONE ARCHES, LLC OWNER: GALTAR, LLC - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO C-2 (GENERAL COMMERCIAL) AND C-2 (GENERAL COMMERCIAL) TO: C-1(LIMITED COMMERCIAL) on 4.14 acres at 4600 N. Rancho Drive (APN 138-02-102-007 and 009), Ward 6 (Ross).

Parent A/P #

Project # 16504 Project/Phase Name
Size/Area 0.50 ACRE Size Description
Proposed Start Proposed Stop
% Complete Formula

Phase #
Subdivision Code
% Completed 0.00

Property/Site Information

Parcel 13802102007

Location

Owner/Tenant

Contact ID AC210884 Name GALTAR L L C
Mailing Address 3275 E SAHARA AVE
City LAS VEGAS
ZIP/PC 89104-4303
Day Phone (702)641-8379 x
Fax (702)641-3428

Organization
State/Province NV
Country
Evening Phone
Mobile #

☐ Foreign

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

4620 N RANCHO DR
LAS VEGAS, 89130-

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13802102007
13802102009

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

Report Date 09/06/2006 10:49 AM

Submitted By

Page 2

REZONING

N DINA Required? N PRS Parent required? Zoning Information

Final City Council letter received

Annotated minutes recieved

Is there a condition of approval for a Required Review?

If yes, when does it need to be reviewed?

ROI Expired

Meeting Information

Zoning Information	Acres	Existing	Existing ROI	Proposed	Approved	ROI?	ROI Exp Date	Ordinance Adopted
Ordinance #		Added By	Modified By	Comments				

There are no items in this list

Meeting Information	Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Added By	Add Date	Modified By	Modified Date		

10/19/2006	PC	SCHEDULED				
PLOWENSTEIN	09/05/2006			0	0	0

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee	Employee ID	Last	First	MI	Comments
----------	-------------	------	-------	----	----------

No Employee Entries

Log	Action	Description	Entered By	Start	Stop	Hours
Comments						

PAYMNT	CK NAME,# WHO PICKED UP PERMIT	983657	09/05/2006 11:43			0.00
	sandstone arches ck 1292 / gary leopold / 933-7000					

Project Checklist



Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes	
Item Required					
YES	NO				

APPLICATION		
☒	☐	Signed and notarized by all property owners or authorized agent(s)
☒	☐	Grant deed and legal description
☒	☐	Detailed justification letter
☒	☐	Reduced 8.5" x 11" copy of all plans and elevations
☒	☐	Full size, rolled, color copy of all plans and elevations
☒	☐	Correct fee(s): \$ <u>700</u> \$ <u>300</u> \$ _____ Total = \$ <u>1000</u>
☒	☐	Statement of Financial Interest
☐	☒	Development Impact Notice and Assessment (DINA)
☐	☒	Project of Regional Significance

SITE PLAN		Folded Plans: <u>6</u>	Rolled/Colored Plans: <u>1</u>
☒	☐	11" x 17" min. to 24" x 36" max. page size	
☒	☐	North arrow, scale, and vicinity map	
☒	☐	All property lines and present dimensions labeled	
☒	☐	All building setbacks labeled	
☒	☐	All adjacent existing land uses and street names labeled	
☒	☐	All points of ingress and egress shown	
☒	☐	ADA accessibility requirements shown/labeled	
☒	☐	Parking standard(s) utilized: _____	
☒	☐	Parking space count and typical dimensions labeled #regular _____ #compact _____ #handicap _____ Total _____	
☒	☐	All free-standing sign locations shown and heights and sizes noted	

LANDSCAPE PLAN		Folded Plans:	Rolled/Colored Plans:
☐	☒	11" x 17" min. to 24" x 36" max. page size	
☐	☒	North arrow, scale, and vicinity map	
☐	☒	All property lines and present dimensions labeled	
☐	☒	All required perimeter landscape planters shown	
☐	☒	All required parking lot fingers/islands shown	
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover	

BUILDING ELEVATIONS		Folded Plans:	Rolled/Colored Plans:
☐	☒	11" x 17" min. to 24" x 36" max. page size	
☐	☒	Scale and building dimensions labeled	
☐	☒	North, south, east, and west elevations of all buildings	
☐	☒	All building materials and colors noted	
☐	☒	8" x 10" photo of original color and material board	
☐	☒	All wall sign locations shown and sizes noted	

FLOOR PLANS		Folded Plans:	Rolled Plans:
☐	☒	11" x 17" min. to 24" x 36" max. page size	
☐	☒	Scale and building dimensions labeled	
☐	☒	All building entrances/exits shown	
☐	☒	Use of all rooms noted/labeled	

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: Jim Davis Application Type: Rezoning to R-12

APN: 138021.02005, 006, 008, 011 Location: South of Lone Mountain between Torrey Pines

Planner: J. Tavel Pre-App Meeting Date: 8-23-06 Earliest PC Date: 10-19-06

☒ Meeting☐ Telephone

Conversation Record

Project Name Sandstone ArchesPage 1 of 1
Date 9/23/06
Time 1:00 am pmConversation between CLV Representative(s): Jim Marshall, Victor Bolanos
and, Roger Bailey, Kyle Walton

Name

Company/Department

Phone

FAX

Gary Leibold☐ see Meeting Attendance Sheet

Comments:

EOT-5088- extends zoning C-2 (138, 021 0205, 6, 8 & 11)GPA-6C Rezoning to C-2 5, 6, 8, 11Setbacks front 20' side 10' rear 20'Landscaping Exterior 15 feet - Interior 8Parking Office - 1 space per 300 sq ft.Restaurant - seating ^{area} 1 space per 50 kitchen one space per 200Retail - 1 per 175 sq ftResidential Adjacency Standards - complyRetail Parking calc - 5,000 storageMonica or Mike - Labels readyPublic WorksLess than 5% slope on western portionone lot commercial subdivisionThroat depth of 32 feetTraffic Impact AnalysisEOT- 9-20 consolidate
condition be concurrent with rezoning
Trailselement-confirm-

North

RECEIVED
SEP 05 2006

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



**Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax**

ZON-16504 - REZONING RELATED TO SDR-16503 - PUBLIC HEARING - APPLICANT: SANDSTONE ARCHES, LLC OWNER: GALTAR, LLC - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO C-2 (GENERAL COMMERCIAL) AND C-2 (GENERAL COMMERCIAL) TO: C-1 (LIMITED COMMERCIAL) on 4.14 acres at 4600 North Rancho Drive (APN 138-02-102-007 and 009), Ward 6 (Ross).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: **OCTOBER 19, 2006** CITY COUNCIL: **NOVEMBER 15, 2006**

PLANNING SUPERVISOR: **JOHN KORKOSZ**



PUBLIC HEARING

Comments Due: **SEPTEMBER 18, 2006**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

ZON-16504

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING	RICK SCHRODER	DSC

SENT VIA COURIER/INTER-OFFICE MAIL/ OR US MAIL

CCSD	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd Floor City Hall
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*SID (DPW)	T. McDANIEL	4th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: October 19, 2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

ZON-16504

Lone Mountain Citizens Advisory Council

Los Prados HOA

Northwest Area Residents Association

Northwest Citizens Board

Pueblo at Sante Fe Condominium Association

Rancho Alta Mira Owners Association

Sheep Mountain #5 NA

Turning Point Community Association

Woodcrest Village HOA

Public Hearing Notice



Separator Sheet

NOTICE OF PUBLIC HEARING

REZONING

MEETING: PLANNING COMMISSION
DATE: OCTOBER 19, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

ZON-16504

APPLICANT: SANDSTONE ARCHES, LLC - OWNER: GALTAR, LLC - REQUEST FOR A REZONING FROM: R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO C-2 (GENERAL COMMERCIAL) AND C-2 (GENERAL COMMERCIAL) TO: C-1 (LIMITED COMMERCIAL) ON 4.14 ACRES AT 4600 NORTH RANCHO DRIVE (APN 138-02-102-007 AND 009), WARD 6 (ROSS).

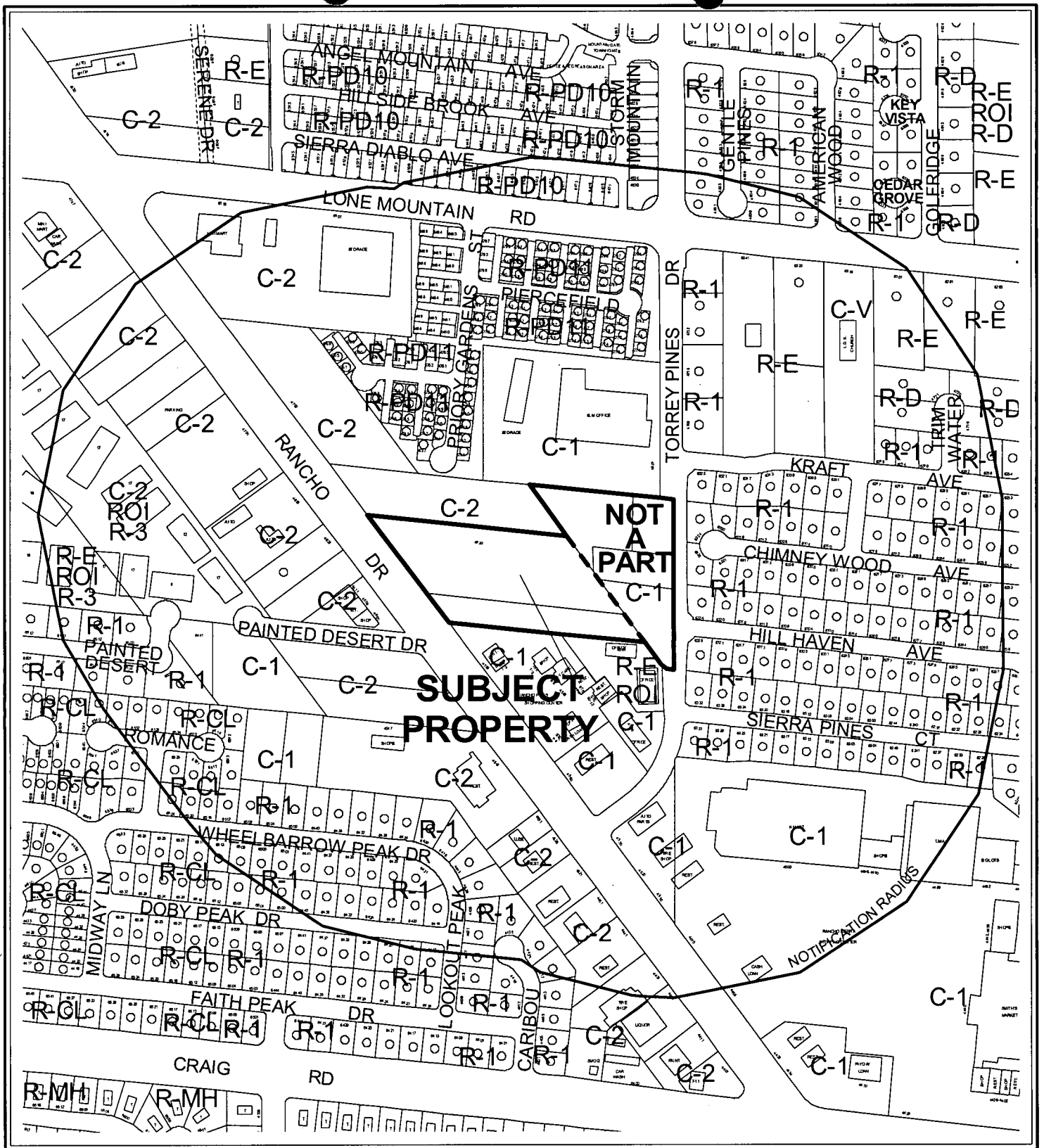
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE NORTHWEST QUARTER (NW¼) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE



0 200 400 Feet

CASE: ZON-16504

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



Applicant Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

October 6, 2006

Mr. Robert Ford
Galtar, LLC
3275 East Sahara Avenue
Las Vegas, Nevada 89104

RE: ZON-16504 - REZONING

Dear Mr. Ford:

Please be advised the City Planning Commission at its regular meeting on **October 19, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:clb

cc: Mr. Jim Davis
Sandstone Arches, LLC
4520 Palisades Canyon Circle
Las Vegas, Nevada 89129

Mr. Gary Leobold
Wright Engineers
7425 Peak Drive
Las Vegas, Nevada 89128

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby

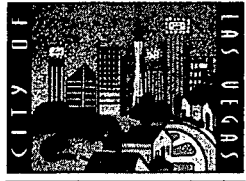


Action Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353
Comp Planning 229-6022
Current Planning 229-6301
www.lasvegasnevada.gov

October 20, 2006

Mr. Robert Ford
Galtar, LLC
3275 East Sahara Avenue
Las Vegas, Nevada 89104

RE: ZON-16504 - REZONING

Dear Mr. Ford:

Your request for a Rezoning FROM: R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO C-2 (GENERAL COMMERCIAL) AND C-2 (GENERAL COMMERCIAL) TO: C-1 (LIMITED COMMERCIAL) on 4.14 acres at 4600 North Rancho Drive (APN 138-02-102-007 and 009), Ward 6 (Ross), was considered by the Planning Commission on October 19, 2006.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning and Development

1. A General Plan Amendment (GPA-16502) to a SC (Service Commercial) Land Use Designation approved by the City Council.
2. A Resolution of Intent with a two-year time limit is hereby granted.
3. A Site Development Plan Review (SDR-16503) application, if approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

4. Construct all incomplete half-street improvements on Rancho Drive adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
5. Landscape and maintain all unimproved right-of-way, if any, on Rancho Drive adjacent to this site.
6. Obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Rancho Drive public right-of-way adjacent to this site prior to the issuance of any permits.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Mr. Robert Ford
ZON-16504 - Page Two
October 20, 2006

7. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings **or** the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
8. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.

This item will be considered by the City Council on **November 15, 2006**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:clb

cc: Mr. Jim Davis
Sandstone Arches, LLC
4520 Palisades Canyon Circle
Las Vegas, Nevada 89129

Mr. Gary Leobold
Wright Engineers
7425 Peak Drive
Las Vegas, Nevada 89128

City Council Action Letter



Separator Sheet



November 16, 2006

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

Mr. Robert Ford
Galtar, LLC
3275 East Sahara Avenue
Las Vegas, Nevada 89104

RE: ZON-16504 - REZONING
CITY COUNCIL MEETING OF NOVEMBER 15, 2006
RELATED TO GPA-16502 AND SDR-16503

Dear Mr. Ford:

The City Council at a regular meeting held November 15, 2006 APPROVED the request for a Rezoning FROM: R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO C-2 (GENERAL COMMERCIAL) AND C-2 (GENERAL COMMERCIAL) TO: C-1 (LIMITED COMMERCIAL) on 4.14 acres at 4600 North Rancho Drive (APN 138-02-102-007 and 009). The Notice of Final Action was filed with the Las Vegas City Clerk on November 16, 2006. This approval is subject to:

Planning and Development

1. A General Plan Amendment (GPA-16502) to a SC (Service Commercial) Land Use Designation approved by the City Council.
2. A Resolution of Intent with a two-year time limit is hereby granted.
3. A Site Development Plan Review (SDR-16503) application, if approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

4. Construct all incomplete half-street improvements on Rancho Drive adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
5. Landscape and maintain all unimproved right-of-way, if any, on Rancho Drive adjacent to this site.
6. Obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Rancho Drive public right-of-way adjacent to this site prior to the issuance of any permits.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

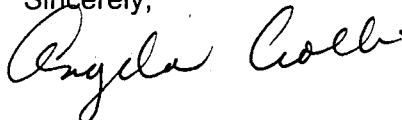
www.lasvegasnevada.gov

18112-001-06-05
CLV 7009

Mr. Robert Ford
ZON-16504 – Page Two
November 16, 2006

7. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
8. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. Jim Davis
Sandstone Arches, LLC
4520 Palisades Canyon Circle
Las Vegas, Nevada 89129

Mr. Gary Leobold
Wright Engineers
7425 Peak Drive
Las Vegas, Nevada 89128

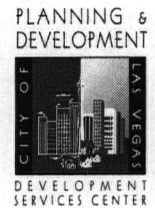
Affidavit of Sign Posting



Separator Sheet



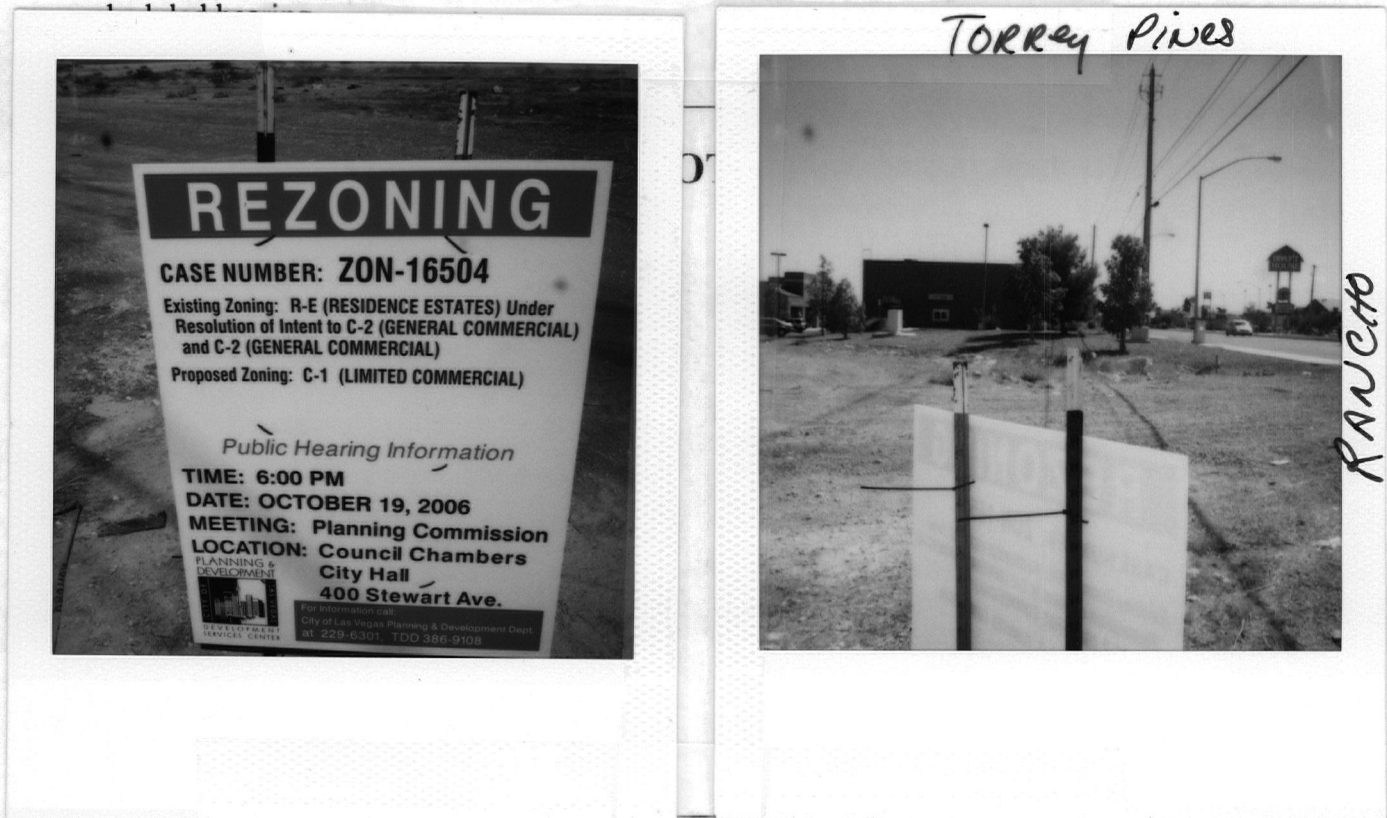
CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: ZON-16504

MEETING DATE: 10/19/06 PC

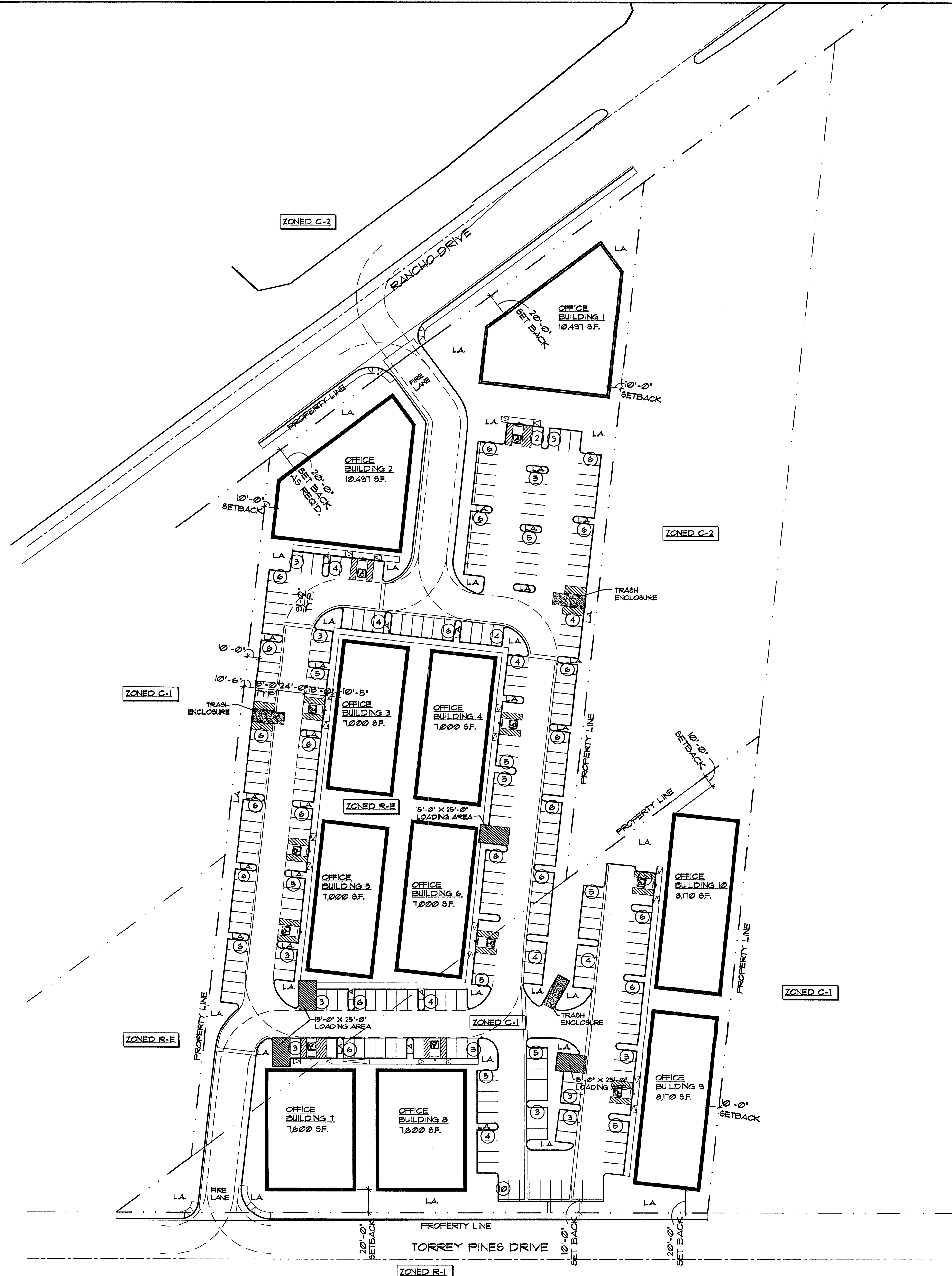
Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first



[Signature]
Signature

10-8-06
Date

This affidavit must be returned to the Planning and Development Department, Current Planning Division, located at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission, Hearings Officer or City Council.

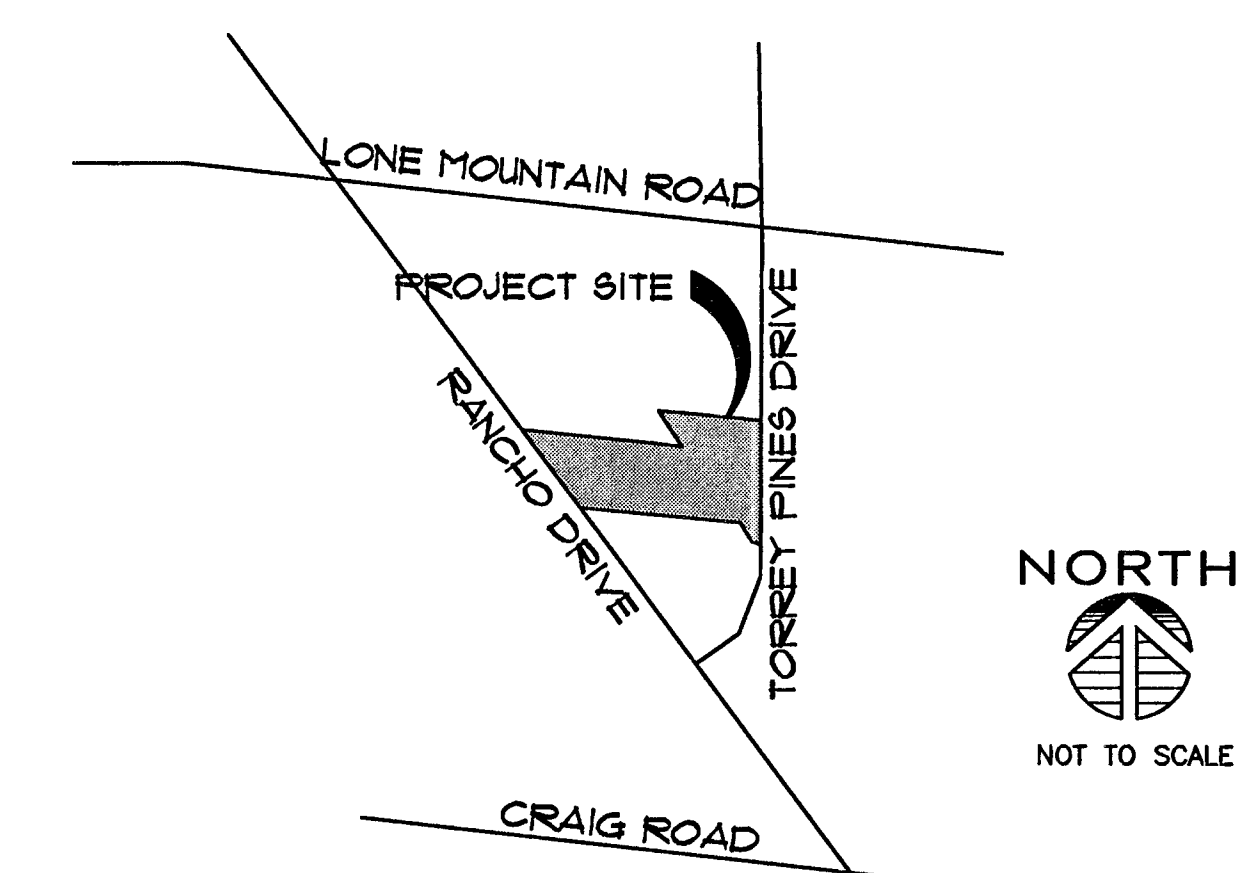


1
AS1.0
ARCHITECTURAL SITE PLAN
SCALE: 1" = 40'
NORTH

GENERAL NOTES:

1. SEE LANDSCAPE DRAWINGS FOR LANDSCAPING INFORMATION.
2. SEE CIVIL DRAWINGS FOR ALL SITE LAYOUT DIMENSIONS, CURBS, GUTTERS, AND PLANTERS.
3. SEE CIVIL, PLUMBING, AND ELECTRICAL DRAWINGS FOR UTILITY LINES.
4. SEE CIVIL DRAWINGS FOR ALL GRADING AND DRAINAGE INFORMATION.
5. SITE LAYOUT IS TO BE COORDINATED WITH CIVIL DRAWINGS, IF DISCREPANCIES EXIST, THE CIVIL DRAWINGS SHALL TAKE PRECEDENCE OVER THIS DRAWING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
6. ALL SITE CONCRETE SHALL RECEIVE WEAKENED FLAN JOINTS AT 18'-0" O.C. AND TOOLED JOINTS AT 5'-0" O.C.
7. ALL CONCRETE WALKS, LANDINGS, ETC. SHALL RECEIVE LIGHT BROOM FINISH.
8. SLOPE ALL PLANTER AREAS AWAY FROM BUILDING 2% MINIMUM.
9. SLOPE ALONG ACCESSIBLE ROUTE WILL NOT EXCEED 5% IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
10. ALL LIGHTING REQUIREMENTS WILL MEET CODE REQUIREMENTS AT THE TIME OF BUILDING CONSTRUCTION.
11. L.A. - LANDSCAPE AREA

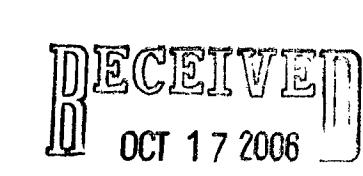
PROJECT LOCATION



PROJECT DATA

APN:	138-02-102-005 THRU 009 & 011		
EXISTING ZONING:	C-1 & R-E		
PROPOSED ZONING:	C-1		
SITE AREA:	219,552 SF. (6.41 ACRES)		
<u>SETBACKS:</u>	REQUIRED:	PROVIDED:	
FRONT	20'-0'	20'-0'	
SIDES	10'-0'	10'-0'	
REAR	20'-0'	20'-0'	
<u>BUILDING AREA:</u>			
FUTURE OFFICE SPACE	80,534 SF.		
<u>LOT COVERAGE:</u>			
BUILDING AREAS / SITE AREA	80,534 SF. / 219,552 SF. =		
	28.8%		
<u>PARKING:</u>	REQUIRED:	PROVIDED:	
1/320 SF. (OFFICE)	268 SPACES	214 SPACES	
ADA COMPLIANT PARKING	1 SPACES	10 SPACES	
LOADING ZONE	4 SPACES	4 SPACES	

ZON-16504
REVISED
10/19/06 PC



project title •

OFFICE AT
RANCHO AND TORREY PINES
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

consultant •

sheet title •

ARCHITECTURAL SITE PLAN
LAND USE SUBMITTAL

issue date •
AUG. 31, 2006

drawn by •
KPS

checked by •
RCG

project no. •
06-176

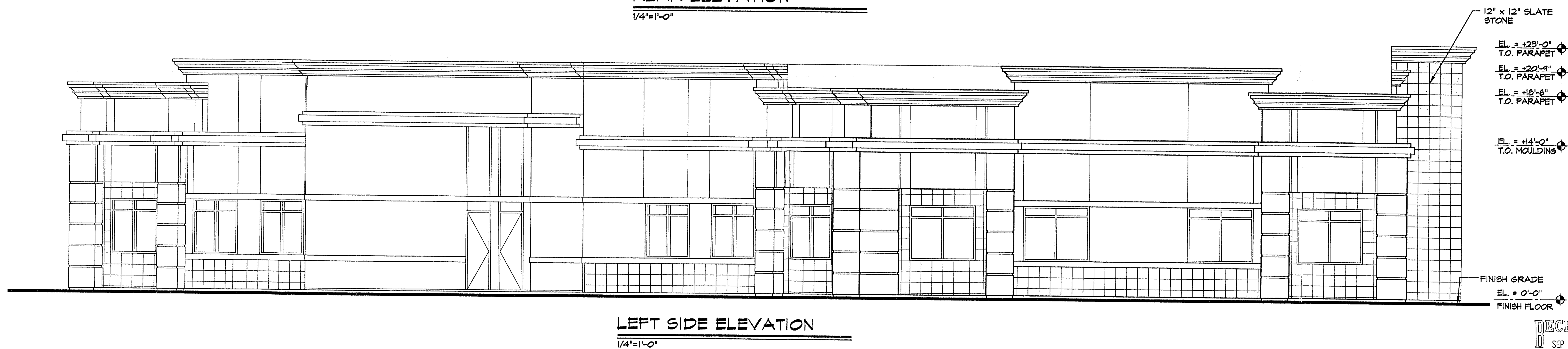
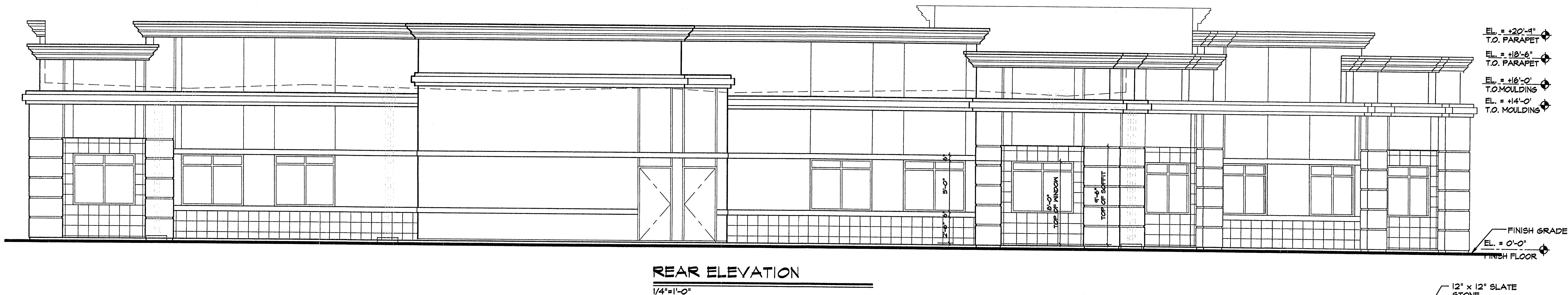
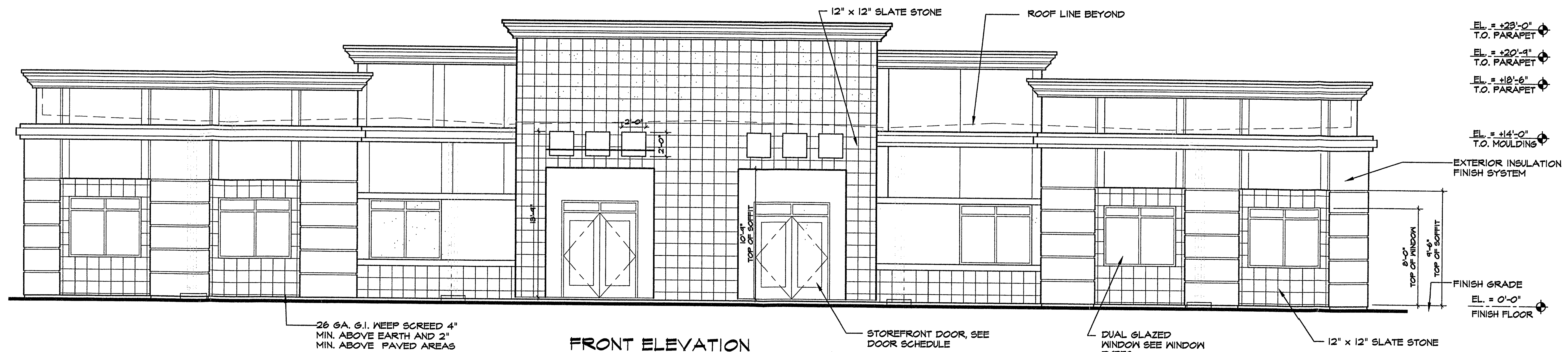
revisions •
A 9-21-06
A 10-3-06
A 10-11-06

sheet no.
AS1.01

of sheets

as instruments of service these drawings and specifications are the property of the architect and may not be reproduced or used for any purpose without the architect's written consent. copies of the drawings and specifications retained by the client may be utilized only for their use and for occupying the project for which they were prepared, and not for construction of any other projects. any use or reproduction of this drawing in whole or part by any means whatsoever is strictly prohibited. these documents are not final and ready for use, and therefore not valid, unless they are sealed, signed, and dated. trac 622,160 pacific design concepts, llc © 2006.

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842



pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

project title •
**OFFICE AT
RANCHO AND TORREY PINES**
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

consultant •

sheet title *

**EXTERIOR ELEVATIONS
FOR BLUING
1 AND 2 (SIMILAR)**

about title.

Issue date :

drawn by :

checked by

RCG
project no.

06-178

sheet no.

A6.01

5 of sheets

RECEIVED
SEP 05 2006

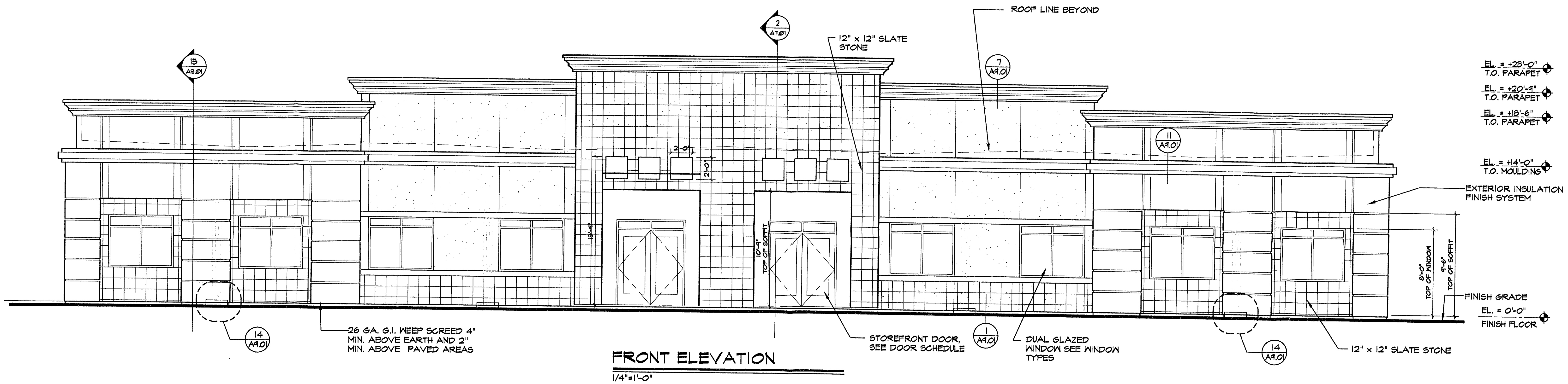
ZON-16503

ZON-16502

SDR-16503

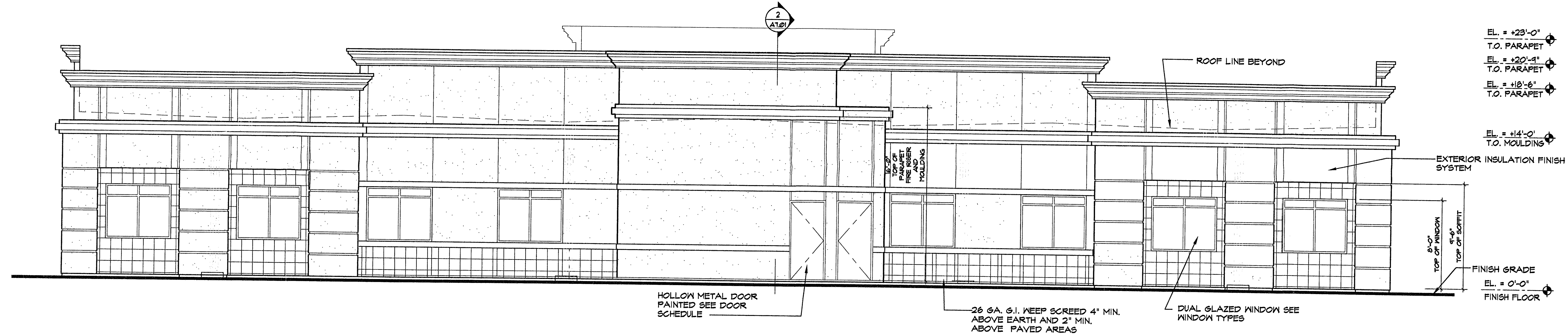
10/19/06 P

P:\06-178\DRview\06178A601.dwg plotted: 8/30/2006 1:36 PM by: MICHAEL WHITE



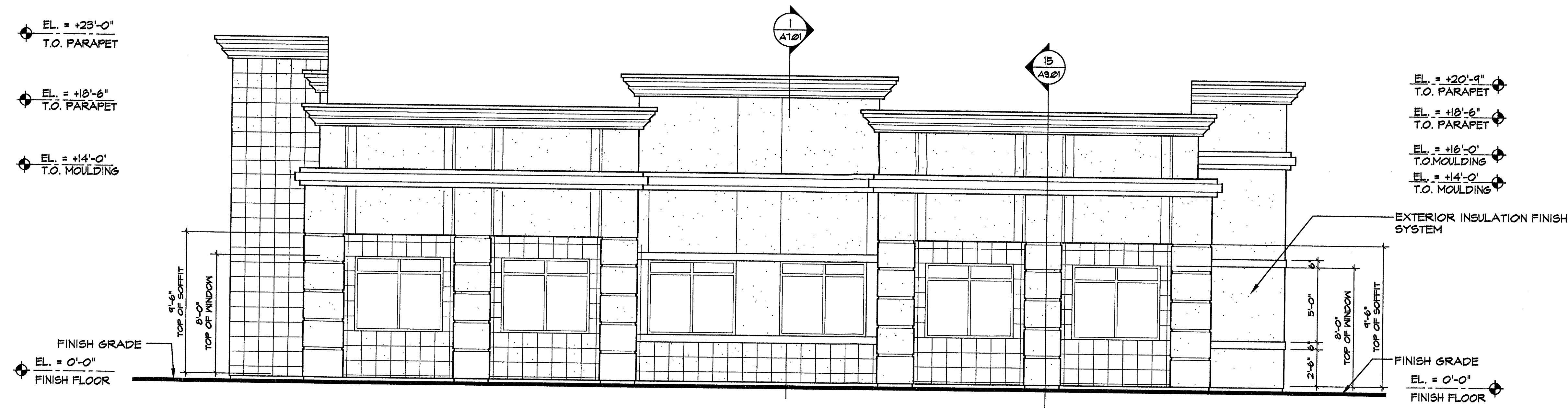
FRONT ELEVATION

1/4"=1'-0"



REAR ELEVATION

1/4"=1'-0"



SIDE ELEVATION

1/4"=1'-0"

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

project title •
OFFICE AT
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

consultant •

sheet title •
EXTERIOR ELEVATIONS
FOR BLUING 3, 4, 5, 6
BLDG. 7, 8, 9, 10 (SIMILAR)

issue date •

drawn by •

checked by •

project no. •

revisions •

sheet no.

of sheets

RECEIVED

SEP 05 2006

ZON-16502

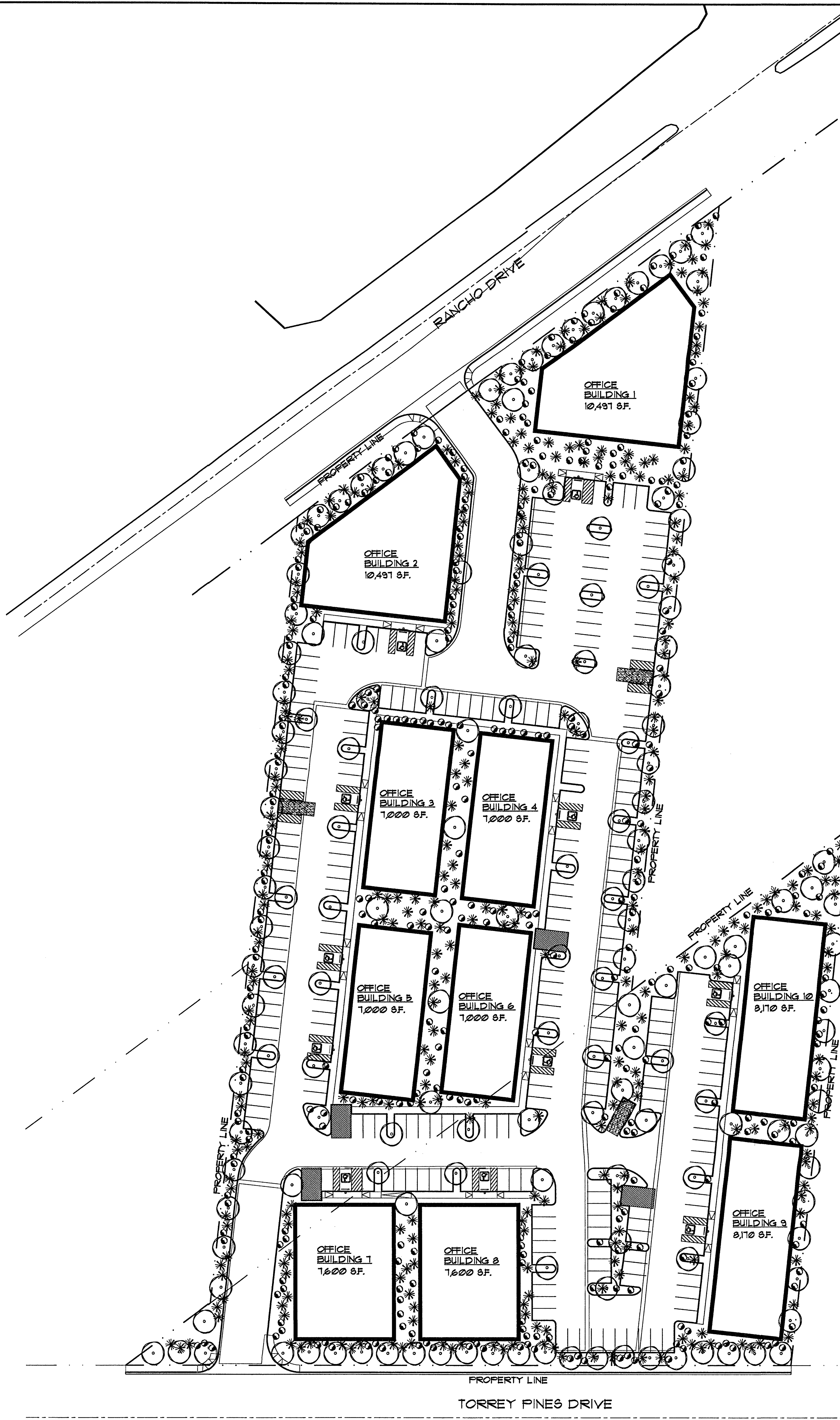
SDR-16503

10/19/06 PG

as instruments of service these drawings and specifications are the property of the architect and may not be reproduced or used for any purpose without the architect's written consent. copies of the drawings and specifications retained by the client may be utilized only for their use and for completing the project for which they were prepared, and not for construction of any other projects. any use or reproduction of these drawings or specifications for any other project without the architect's written consent is strictly prohibited. these documents are not final and ready for use, and therefore not valid, unless they are sealed, signed, and dated. noc 02/27/00 pacific design concepts, llc © 2006.

P:\06-178\Drawings\061784602.dwg plotted: 8/30/2006 1:36 PM by: MICHAEL WHITE

P:\06-178\Drawings\06178LS101.dwg plotted: 10/17/2006 10:59 AM by: KELLY PALMAROZZO



LANDSCAPE PLAN
SCALE: 1" = 40'

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. PLANT LIST IS INTENDED AS A REFERENCE ONLY.
2. LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MAT'L. PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
3. PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10% OF TOTAL QUANTITY OF EACH SPECIES. SHOWING GENUS, SPECIES, VARIETY, ETC.
4. PROVIDE MATCHING SIZES & FORMS OF LIKE SHRUB SPECIES AS SHOWN ON DRAWINGS.
5. DECOMPOSED GRANITE 1/2" MINUS, COLOR TO BE SELECTED BY OWNER, 2" DEPTH TYPICAL IN ALL PLANTING BEDS.
6. SITE PLAN/LANDSCAPE PLAN DESIGNED PER ZONING REQUIREMENTS.
7. ANY TREE WITHIN 5'-0" OF A SIDEWALK OR WALL SHALL BE PLANTED W/ A ROOT SHIELD DESIGNED TO DIRECT ROOT GROWTH DOWNWARD.

LANDSCAPE LEGEND

BOTANICAL NAME (COMMON NAME)	SIZE	REMARKS
TREES - MEDIUM		
PROSOPIS (TEXAS HONEY MESQUITE)	24" BOX	STANDARD TRUNK, 20'-0" APART ALONG STREET, 30'-0" APART ALONG PERIMETER
SHRUBS - LARGE		
CASSIA (SHRUBBY SENNA)	5 GAL. / TREE	
CONVULVULUS (BUSH MORNING GLORY)	5 GAL.	
BACCHARIS SAROTHROIDES (DESERT BROOM)	5 GAL. / TREE	
GROUNDCOVER & ACCENT		
HESPERALOE PARVIFLORA (RED YUCCA)	1 GAL. / TREE	
ALL AREAS NOT RECEIVING LIVE GROUNDCOVER SHALL HAVE 2" ROCK MULCH		
THE BUILDING FOUNDATION SHALL BE PROTECTED WITH A WATERPROOF MEMBRANE IF LANDSCAPING IS TO LOCATED NEARBY.		

ZON-16504
REVISED
10/19/06 PC

RECEIVED
OCT 17 2006

sheet no. 1
of 1 sheets

issue date
AUG. 31, 2006

drawn by
KPS

checked by
RCG

project no.
06-178

revisions
1. 9-27-06
2. OCT 17 2006

LANDSCAPE PLAN
LAND USE SUBMITTAL

consultant

project title
OFFICE AT
RANCHO AND TORREY PINES
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842