

Comments



Separator Sheet

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Ed Byrge, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan R. Riekkki, Survey (FM, PM, & A's only)
Date: September 26, 2006
Re: **SDR-16503** Sandstone Arches, LLC 4600 N. Rancho Dr.
Request for a Site Development Plan Review for a proposed commercial development on 7.03 acres

CONDITIONS OF APPROVAL:

1. Coordinate with the City Surveyor to discuss mapping options for this site.
2. Dedicate 40 feet of right-of-way adjacent to this site for Torrey Pines Drive prior to the issuance of any permits or, alternatively, in conjunction with a subdivision map for this site.
3. Construct all incomplete half-street improvements on Torrey Pines Drive adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
4. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
5. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
6. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a and shall meet the approval of the Nevada Department of Transportation for all driveways accessing Rancho Drive.
7. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
8. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
9. Site development to comply with all applicable conditions of approval for ZON-16504 and all other site-related actions.

COMMENTS:

We note that there is a Pedestrian Path/Trail adjacent to this site on Rancho Drive and should be commented on by the Planning and Development Department.

MEMORANDUM

City of Las Vegas Planning & Development Department

To: Land Development
From: Peter Lowenstein
Phone: (702) 229-4693 Fax: (702) 385-7268
CC: Land Development Civil Plan Ref. # 23772
Date: 08/07/07 1st Review
Re: Palisades Business Park

STATUS:

☒ Cond. Appr.
☐ Denied

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. The signature line on the cover sheet should state "Doug Rankin, AICP, Planning Manager" and "This plan meets the applicable standards of the Planning and Development Department."
2. Please submit to the Department of Planning and Development a detailed justification letter explaining all deviations from that of the original Site Development Plan Review (SDR-16503), as well as revised copies of a site plan, landscape plan and building elevations. Once these materials are accepted a decision as to whether or not the proposed changes can be handled as either Minor or Major Amendment to the approved Site Development Plan Review (SDR-16503) will be determined by staff in accordance with Title 19.18.050(H).
3. Please revise all applicable sheets to depict the instillation of wheel stops adjacent to all landscape planters (regardless of planter width), walls, fences, and sidewalks that are less than 7'-0" wide. Wheel stops within zero-curb handicap parking spaces must be shown. Include a construction note to reference the wheel stops (see Sheets HC1 and HC2 for required locations). *
4. ~~Revise the Grading Plan to show the location of proposed trash enclosures.~~ Include a construction note stating "Trash enclosure, per Architectural Plans."
5. Please revise Details A and B on Sheet DT1 to reflect the installation of a five (5) foot sidewalk, rather than a six (6) foot sidewalk, so as to be in conformance with Exhibit 2 of the Master Plan Transportation Trails Element of the General Plan.
6. Please revise Detail D on Sheet DT1 so that the sidewalk width is called out.
7. The proposed flood wall happens to double as a perimeter wall. Therefore, per Title 19.12.075 the proposed wall is to be a "decorative block wall with 20% contrasting material and cap."
8. Please place a general note within the Utility Plan stating "All above ground utility appurtenances shall conform to the requirements of Title 19.12.040."
9. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits, including civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

August 24, 2007

City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89101

Attn: Steve Gebeke
Planner

**RE: PALISADES BUSINESS PARK
SDR-16503
SITE DEVELOPMENT REVIEW
JUSTIFICATION LETTER**

PROJECT NO: 06-178

Dear Steve,

Please be advised that we have made adjustments to the previously approved project as indicated on the attached three (3) sets of drawings. The changes that have occurred are as follows;

The building square footages have been reduced. The parking ratio has been increased. The buildings have been moved to allow for the parking ratio increase. The architecture has changed to reflect a residential design as well as the building height has been reduced by more than 10%.

Please note that the revised elevations have been presented to Councilman Ross's office and they have approved of the revised design and my understanding was that this information was going to be passed to Margo Wheeler.

The overall intent has not changed and the modifications made will result in a superior development that what was previously approved.

This request is appropriate based on the following finding of the facts.

1. The proposed development is compatible with adjacent development and development in the area.
2. The proposed development is consistent with the General Plan, Title 19 and the Design Standards Manual, the landscape, Wall and buffer Standards, and other duly-adopted city plans, policies and standards.
3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic.
4. Building and landscape materials are appropriate for the area and for the city.
5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area.
6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

Should you have any questions or require additional information please contact our office.

Sincerely,

Richard C. Gallegos
Principal

RCG/mt

Cc: 06-178.js.it.sdr.clv

PLANNING AND
DEVELOPMENT

AUG 24 3 22 PM '07

RECEIVED

APN Map



Separator Sheet

9002 50 DES

NOTES

This map is for assessment purposes only and does not represent a survey. No liability is assumed by the Assessor for the accuracy of the information herein. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 1:100,000 ORIGINAL

MAP LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
—	PARCEL BOUNDARY	—	ROAD BOUNDARY
—	SUBD BOUNDARY	—	ROAD EASEMENT
—	ROAD EASEMENT	—	PA/LO BOUNDARY
—	NON-PARCEL LOT LINE	—	MATCH LINE / LEADER LINE
—	ROAD ID NUMBER	—	GOV. LOT NUMBER

ASSESSOR'S PARCELS - CLARK CO., NV.
M. W. Schofield, Assessor

T20S R60E

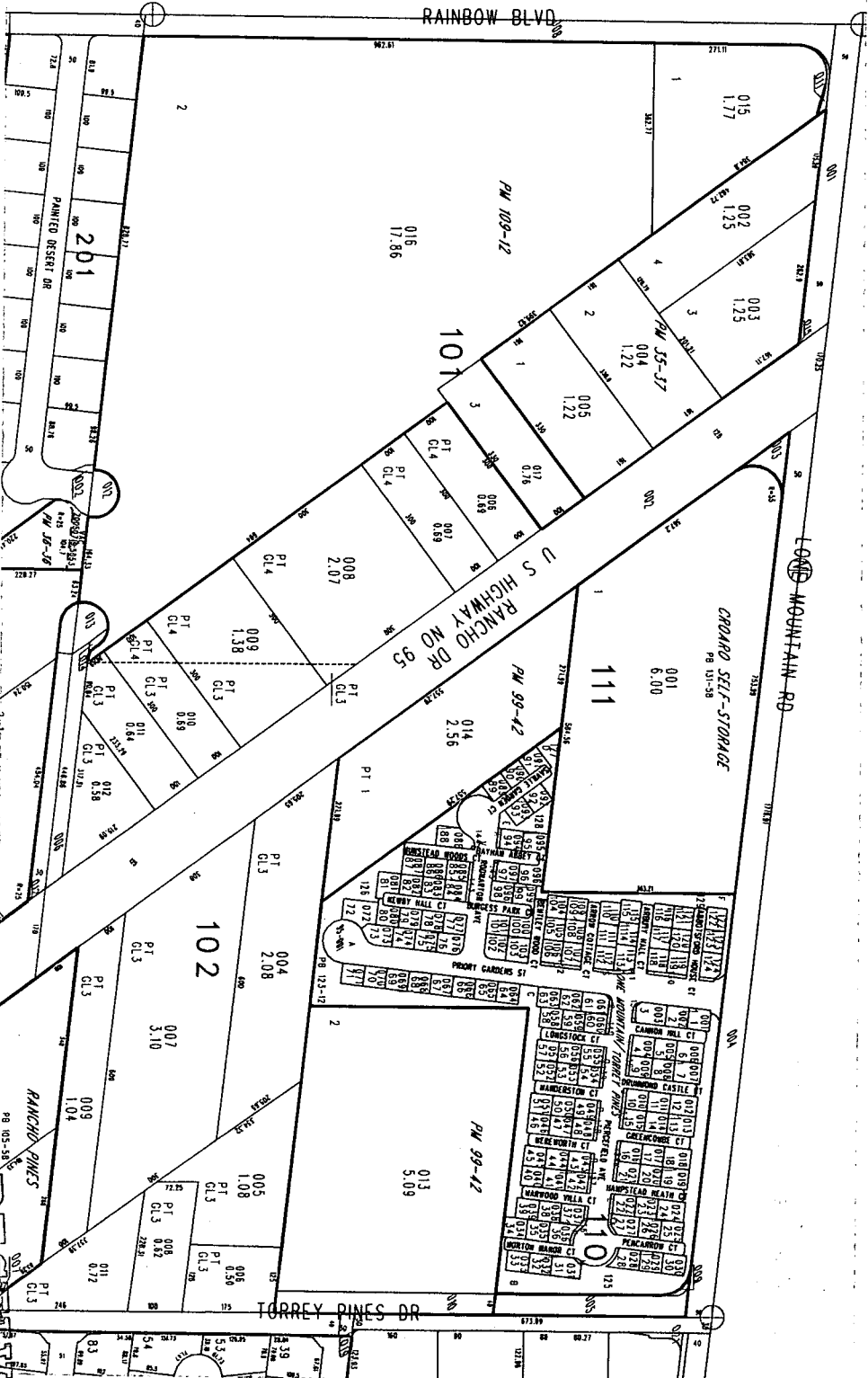
02

N 2 NW 4

138-02-1

SECTION	1	2	3	4
138	126	125	124	
137	137	138	139	
136	163	162		

SECTION	1	2	3	4
138	126	125	124	
137	137	138	139	
136	163	162		



SDR-16503
10/19/06 PC

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SEP 05 2006
LAX DIST 200

Deed



Separator Sheet

RECORDING REQUESTED BY:

Fidelity National Title Agency of Nevada, Inc.
Escrow No. 02-310159-LV
Title Order No. 00310159

When Recorded Mail Document
and Tax Statement To:
Mr. Gus Merhi
3275 E. Sahara Avenue
Las Vegas, NV 89104

RPTT: 2,026.25

APN: 138-02-102-007

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That F. Robert Etor and Shikley H. Etor, Co-Trustees of the Etor 1981 Trust dated January 7, 1981

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, do(s) hereby Grant, Bargain, Sell and Convey to Saitar LLC, a Nevada limited liability company all that real property situated in the CLARK County, State of Nevada, bounded and described as follows:

SEE EXHIBIT ONE ATTACHED HERETO AND MADE A PART HEREOF

SUBJECT TO: 1. Taxes for the fiscal year 2001-2002
2. Covenants, Conditions, Reservations, Rights, Rights of Way and Easements now of record.

Together with all and singular tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

DATED: March 13, 2002

STATE OF NEVADA
COUNTY OF Clark

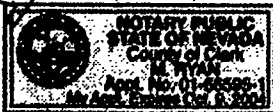
This instrument was acknowledged before me

on 3/26/02

by Robert Etor and Shikley H. Etor,
Trustees of the Etor 1981 Trust
dated January 7, 1981

Signature _____ Notary Public

My Commission Expires: 10-9-04



Etor 1981 Trust

By: _____
F. Robert Etor, Trustee

By: _____
Shikley H. Etor, Trustee

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EXHIBIT "ONE"

That portion of Government Lot 3 in Section 2, Township 20 South, Range 60 East, M.D.B. & M., Clark County, Nevada

Commencing at the Northwest Corner of Said Section 2; Thence South $83^{\circ}40'35''$ East along the North line thereof a distance of 373.64 feet to a point on the Northeastly line of U.S. Highway No. 95 (125 feet wide); Thence South $36^{\circ}26'$ East along the said Northeastly line a distance of 1323.98 feet to the Southwest Corner of that certain parcel of land conveyed by Michael Wilder to James M. Spartan by deed recorded September 26, 1956 as Document No. 90014, Official Records of Clark County Nevada, the True Point of Beginning; Thence continuing South $36^{\circ}26'$ East a distance of 300.00 feet to the Northwest Corner of that certain parcel of land conveyed by Michael Wilder and Frank Ferrara to William G. Moses, et ux, by deed recorded March 27, 1956, as Document No. 73748, Official Records of Clark County, Nevada; Thence South $83^{\circ}45'28''$ East along the North line of the last mentioned conveyed parcel a distance of 600.00 feet to the Northeast Corner thereof; thence North $36^{\circ}26'$ West a distance 300.00 feet to the Southeast Corner of the first mentioned parcel conveyed to Spartan; Thence North $83^{\circ}45'28''$ West a distance of 600.00 feet to the True Point of Beginning.

The above legal description was copied from document recorded April 18, 1980, in Book 1215 as Document No. 1174367, of Official Records, Clark County, Nevada

Assessor's Parcel No: 138-02-102-007

ASSESSOR

CLARK COUNTY RECORDS
RECORDED AT REQUEST OF: FIDELITY NATIONAL TITLE
BOOK: 2006 15:15 JVB PAGE: 1481
OFFICIAL RECORDS
BOOK: NS1120020828-02526 FEE: 15.00
DATE: 2,006.05

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SEP 05 2006

Affix R.P.T.T. \$650.00

Escrow No 00236785-DIG

WHEN RECORDED MAIL TO AND MAIL TAX
STATEMENTS TO:

GALTAR LLC

3275 E. SAHARA AVENUE

LAS VEGAS NV 89104

COPY

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That: TOBY LAMURAGLIA and FIORINDA LAMURAGLIA, who acquired title without status, as tenants in common, in consideration of \$10.00 the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to GALTAR, LLC, a Nevada Limited Liability Company

all that real property situate in the County of CLARK State of Nevada, bounded and described as follows: THAT PORTION OF GOVERNMENT LOT THREE (3) IN SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M. D. B. & M., IN THE COUNTY OF CLARK, STATE OF NEVADA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID GOVERNMENT LOT 3 WITH THE NORTHEASTERLY LINE OF U.S. HIGHWAY NO. 95 (125.00 FEET WIDE); THENCE ALONG SAID NORTHEASTERLY LINE NORTH 36°26' WEST 100.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTHEASTERLY LINE NORTH 36°26' WEST 100.00 FEET; THENCE PARALLEL WITH SAID SOUTH LINE SOUTH 83°45'28" EAST 600.00 FEET; THENCE SOUTH 36°26' EAST 100.00 FEET; THENCE PARALLEL WITH SAID SOUTH LINE NORTH 83°45'28" WEST 600.00 FEET TO THE TRUE POINT OF BEGINNING.

- SUBJECT TO:
1. Taxes for the current fiscal year, and any and all taxes (including supplemental taxes) and assessments levied or assessed after the recording date of this document.
 2. Rights of way, easements, restrictions, easements and conditions of record.
 3. First Deed of Trust to record concurrently herewith.

Together with all and singular the tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

Witness my/our hand(s) this 7th day of September, 2002.

signed in counterpart
TOBY LAMURAGLIA

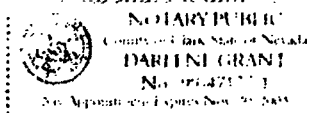
FIORINDA LAMURAGLIA

STATE OF NEVADA
COUNTY OF CLARK

Sept 7, 2002

On Sept 7, 2002 personally appeared before me, a Notary Public, FIORINDA LAMURAGLIA, personally known (or proven) to me to be the person(s) whose name(s) is/are subscribed to the within instrument who acknowledged that she executed the instrument.

Notary Public in and for said County and State.



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EXHIBIT "A"

THAT PORTION OF GOVERNMENT LOT THREE (3) IN SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M. D. B. & M., IN THE COUNTY OF CLARK, STATE OF NEVADA, DESCRIBED AS FOLLOWS

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF SAID GOVERNMENT LOT 3 WITH THE NORTHEASTERLY LINE OF U.S. HIGHWAY NO. 95 (125.00 FEET WIDE), THENCE ALONG SAID NORTHEASTERLY LINE NORTH 36°26' WEST 100.00 FEET TO THE TRUE POINT OF BEGINNING, THENCE CONTINUING ALONG SAID NORTHEASTERLY LINE NORTH 36°26' WEST 100.00 FEET, THENCE PARALLEL WITH SAID SOUTH LINE SOUTH 83°45'28" EAST 600.00 FEET, THENCE SOUTH 36°26' EAST 100.00 FEET, THENCE PARALLEL WITH SAID SOUTH LINE NORTH 83°45'28" WEST 600.00 FEET TO THE TRUE POINT OF BEGINNING.

ASSESSOR'S COPY

CLERK OF COUNTY CLERK, NEVADA
RECORDED AT REQUEST OF CLERK, STATE OF NEVADA

BY: LRA: 10/10/06 SEE PAGE 10/10/06

OFFICIAL RECORDS

BOOK/INDEX: 00020916-01019 FEE: 10.00
10.00

DDTfirst rev 12/99

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SEP 05 2006

ESCROW NO: 04161030-086-JR
APN: 138-02-102-006
Affix R.P.T.T. \$816.00

WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:

~~CHICKAR KICK~~
~~AND~~ GHASSAN MERHI
3275 E. SAHARA AVE.
LAS VEGAS, NV 89104

20050310-0002500

Fee: \$16.00 RPTT: \$816.00
N/T Fee: \$25.00

03/10/2005 13:33:54

T20050044091

Requestor:

CHICAGO TITLE

Frances Deane
Clark County Recorder

BGN
Pgs: 3

ESCROW NO: 04161030-086-JR

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH That

James Lee Orndoff and Teresa Orndoff, Trustees of The Orndoff 1996 Trust as to an undivided 50% interest and Jerry A. Threet, Trustee of The Jerry A. Threet Living Trust as to an undivided 50% interest.

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to

Ghassan Merhi, an unmarried man

all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

Situate in the County of Clark, State of Nevada, and further described as follows:

BEING a portion of Government Lot 3, Section 2, Township 20 South, Range 60 East, M.D.B.&M., Clark County, Nevada described as follows:

COMMENCING at the Northwest corner of said Section 2; Thence South 89°40'36" East along the North line of said Section 2, 737.64 feet to a point on the Northeasterly line of U.S. Highway No. 95; Thence South 36°26'00" East along the said Northeasterly right of way line 1118.33 feet to the Southwest corner of that certain parcel of land conveyed by Frank Ferrara and Michael Wilder to Frank Priolo, et ux, by Deed recorded September 6, 1955 as Document No. 56223, Official Records of Clark County, Nevada; Thence South 89°45'28" East, 1050.66 feet to the Southeast corner of the said conveyed tract to Frank Priolo, et ux, which is the TRUE POINT OF BEGINNING;

Thence South 0°03'40" East 175 feet to a point; Thence North 83°45'28" West 125 feet to a point; Thence North 0°03'40" East 175 feet to a point (said point is also in the South line of said land conveyed to Frank Priolo, et ux, as aforesaid); Thence South 83°45'28" East 125 feet to the TRUE POINT OF BEGINNING.

Subject to: 1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of record, if any.

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ESCROW NO: 04161030-086-JR

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness my/our hand(s) this 1st day of March 2005.

SELLERS:

The Orndoff 1996 Trust

James Lee Orndoff, Trustee
By: James Lee Orndoff, Trustee

Teresa Atoniua Orndoff, Trustee
By: Teresa Atoniua Orndoff, Trustee

The Jerry A. Threet Living Trust

Jerry A. Threet
By: Jerry A. Threet, Trustee

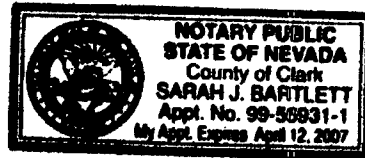
STATE OF NEVADA

COUNTY OF Clark

On this 1st day of March, 2005, appeared before me, a Notary Public, James Lee Orndoff and Teresa Atoniua Orndoff, Trustees of The Orndoff 1996 Trust personally known or proven to me to be the persons whose names are subscribed to the above instrument, who acknowledged that they executed the instrument for the purposes therein contained.

[Signature]
Notary Public

My commission expires: April 12, 2007



STATE OF NEVADA)

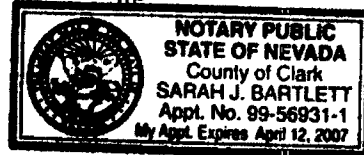
) ss.

COUNTY OF Clark)

On this 1st day of March, 2005, appeared before me, a Notary Public, Jerry A. Threet, Trustee of The Jerry A. Threet Living Trust personally known or proven to me to be the persons whose names are subscribed to the above instrument, who acknowledged that they executed the instrument for the purposes therein contained.

[Signature]
Notary Public

My commission expires: April 12, 2007



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SEP 05 2006

ESCROW NO: 04131702-086-JR

APN: 138-02-102-005 138-02-102-008 and 138-02-102-011

Affix R.P.T.T. \$3,953.50

WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:

GALTAR, LLC
3275 EAST SAHARA
LAS VEGAS, NV 89104

20041103-0003226

Fee: \$18.00
N/C Fee: \$0.00

RPTT: \$3,952.50

11/03/2004

13:53:59

120040124624

Requestor:
CHICAGO TITLE

Frances Deane
Clark County Recorder

BGN
Pgs: 5

ESCROW NO: 04131702-086-JR

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

F. Robert Etor and Shirley H. Etor as Co-Trustees of the The Etor 1981 Trust dated January 07, 1981 and their successors

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to

Galtar, LLC, a Nevada Limited liability company

all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

See Exhibit A attached hereto and made a part hereof.

Subject to:

1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness my/our hand(s) this 26th day of October, 2004.

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ESCROW NO: 04131702-086-JR

SELLERS:

The Etor 1981 Trust dated January 07, 1981

F. Robert Etor Co-Trustee

F. Robert Etor, Co-Trustee

Shirley H. Etor
Shirley H. Etor, Co-Trustee

STATE OF NEVADA

)
) ss.

COUNTY OF Clark

On this 29th day of October, 2004

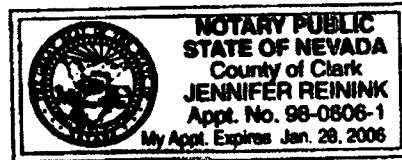
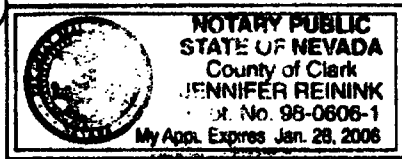
appeared before me, a Notary Public,

F. Robert Etor & Shirley Etor, Co-Trustees

personally known or proven to me to be the person(s) whose name(s) is/are subscribed to the above instrument, who acknowledged that he/she/they executed the instrument for the purposes therein contained.

Jennifer Reinink
Notary Public

My commission expires: 1-28-06



ASSESSED

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SEP 05 2006

Exhibit A

PARCEL I:

That portion of Government Lot Three (3) in Section 2, Township 20 South, Range 60 East, M.D.B. & M., described as follows:

COMMENCING at the Northwest corner of said Section 2; Thence South $83^{\circ}40'36''$ East along the North line of said Section 2, a distance of 737.64 feet to a point of the Northeastly right of way line of U.S. Highway No. 95; Thence South $36^{\circ}26'00''$ East along the said right of way line a distance of 1,118.33 feet to the Southwest corner of that certain parcel of land conveyed by Frank Ferrara and Michael Wilder to Frank Priolo, et ux, by Document No. 56223, recorded September 06, 1955 in Official Records of Clark County, Nevada; Thence South $83^{\circ}45'28''$ East along the North boundary line of said Parcel, a distance of 600.00 feet to the Trust Point of Beginning; Thence continuing South $83^{\circ}45'28''$ East, a distance of 325.00 feet to a point, being the Northeast corner of that certain parcel of land conveyed by Linda Gaylord to Israel Micklin, et ux, by Document No. 275003, recorded January 31, 1962 in said County Official records; Thence South $00^{\circ}03'40''$ West, a distance of 175 feet to a point; Thence North $83^{\circ}45'28''$ West, a distance of 125 feet to a point; Thence South $00^{\circ}03'40''$ West, a distance of 72.23 feet, to a point in the Easterly boundary line of that certain parcel of land conveyed by a Document No. 93333, recorded November 13, 1956, in said County Official records; Thence North $36^{\circ}26'00''$ West, along the said boundary line and its prolongation a distance of 334.32 feet to the True Point of Beginning.

PARCEL II:

That portion of Government Lot Three (3), in Section 2, Township 20 South, Range 60 East, M.D.B. & M., in the County of Clark, State of Nevada, described as follows:

COMMENCING at the Northwest corner of said Section 2; Thence South $83^{\circ}40'36''$ East along the North line of said Section 2, a distance of 737.64 feet to a point on the Northeastly line of U.S. Highway No. 95; Thence South $36^{\circ}26'00''$ East along the said Northeastly right-of-way line, a distance of 1118.33 feet to the Southwest corner of that certain parcel of land conveyed by Document No. 56223, recorded September 06, 1955 in Official Records of Clark County, Nevada; Thence South $83^{\circ}45'28''$ east, a distance of 1050.66 feet to the Southeast corner of said conveyed parcel; Thence South $00^{\circ}03'40''$ east a distance of 175.00 feet to the Southeast corner of that certain parcel of land conveyed by Document No. 202296, recorded June 27, 1960 in said County, Official Records; said Southeast corner being the True Point of Beginning; Thence North $83^{\circ}45'28''$ West, a distance of 250.00 feet, to a point; Thence South $00^{\circ}03'40''$ East, a distance of 72.23 feet to a point in the Easterly boundary line of that certain parcel of land conveyed by Document No. 93333, recorded November 13, 1986 in said County, Official Records; Thence South $36^{\circ}26'00''$ East, a distance of 33.59 feet, to the most Westerly corner of that certain parcel of land conveyed by Document No. 226423, recorded January 30, 1961 in said County, Official Records; Thence South $83^{\circ}45'28''$ East along the North line of aforesaid parcel, a distance of 228.31 feet to a point in the East boundary line of said Government Lot 3; Thence North $00^{\circ}03'40''$ West a distance of 100.00 feet to the True Point of Beginning.

PARCEL III:

Being a portion of Government Lot Three (3), Section 2, Township 20 South, Range 40 East, M.D.B. & M., described as follows:

COMMENCING at the Northwest corner of said Section 2, thence south $89^{\circ}40'36''$ East along the North line of said Section 2, 737.64 feet to a point on the Northeastly line of U.S. Highway No. 95; Thence South $36^{\circ}26'00''$ East along the said Northeastly right of way line 1118.33 feet to the southwest corner of that certain parcel of land conveyed by Frank Ferrara and Michael Wilder to Frank Priolo, et ux, by Deed recorded September 06, 1955 as

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Document No. 56223, Official Records, Clark county, Nevada; Thence South $89^{\circ}45'27''$ East, 1050.66 feet to the Southeast corner of the said southeast tract to Frank Friolo, et ux; Thence South $00^{\circ}03'40''$ East 521.83 feet to the Southeast corner of said Lot Three (3), and the True Point of Beginning; Thence North $83^{\circ}45'28''$ West along the south line of said Lot Three (3), a distance of 28.63 feet to the Southeast corner of that certain parcel of land covered by Michael Wilder and Frank Ferrara to William G. Moses, et ux, by Deed recorded March 27, 1956 as Document No. 73748, Official Records of Clark County, Nevada; Thence North $36^{\circ}26'00''$ West 337.39 feet to a point; Thence South $83^{\circ}45'28''$ East 228.31 feet to a point; Thence South $00^{\circ}03'40''$ West 246.83 feet to the True Point of Beginning.

ASSESSOR'S

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SOFI



Separator Sheet



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-16503** APN: 138-02-102-006

Name of Property Owner: Merhi Ghassan

Name of Applicant: Sandstone Arches, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN _____

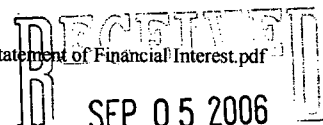
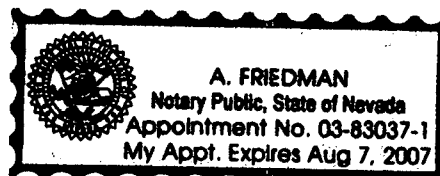
Signature of Property Owner: _____

Print Name: Ghassan Merhi

Subscribed and sworn before me

This 28th day of August, 2006

Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-16503** APN: 138-02-102-005, -007, -008, -009 and -011

Name of Property Owner: Galtar, LLC

Name of Applicant: Sandstone Arches, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

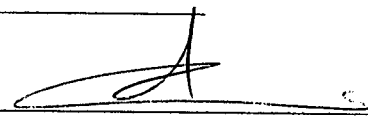
☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

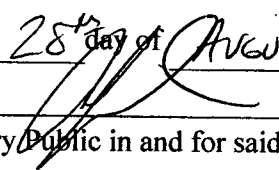
APN _____

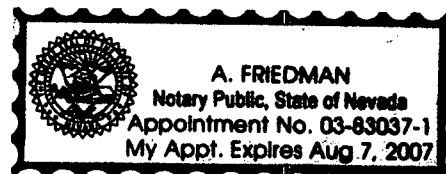
Signature of Property Owner: 

Print Name: Ghassan Merhi

Subscribed and sworn before me

This 28th day of AUGUST, 20 06


Notary Public in and for said County and State



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SEP 05 2006

Justification Letter



Separator Sheet



August 29, 2006

CIVIL City of Las Vegas
Planning and Development Department
731 South 4th Street
STRUCTURAL Las Vegas, Nevada
89101

MECHANICAL Dear Ladies/Gentlemen:

ELECTRICAL Please accept this letter from Wright Engineers on behalf of our client, Sandstone
PLUMBING Arches LLC, as the justification for related requests for a General Plan Amendment, a
Rezoning and a Site Development Plan Review for development of property at 4600
Rancho Drive (APN#'s 138-02-102-005, 006, 007, 008, 009 and 011).

SURVEYING Our client intends to develop 10 one-story office pads containing a total of 81,240 square
LEED feet on the site. The site is currently split from a land use and zoning standpoint and the
General Plan Amendment and Rezoning requests are intended to rectify this situation.
The two parcels fronting on to Rancho Drive (APN#'s 138-02-102-007 and 009) are
currently designated GC (General Commercial), and were zoned C-2 (General
Commercial); however, the C-2 zoning on 138-02-102-009 (per ZON-1411) elapsed on
February 19, 2005, leaving R-E (Residence Estates) zoning in its place, and the C-2
zoning on 138-02-102-007 (per Z-0049-02) is the subject of an Extension of Time
request (EOT-15595) scheduled for the September 20, 2006 City Council agenda.

The intent is to seek a General Plan Amendment from GC (General Commercial) to SC
(Service Commercial), and a conforming Rezoning from the R-E and C-2 districts to C-1
(Limited Commercial) on these two parcels, to match the existing land use and zoning
on the other four parcels, which are currently designated as SC and are hard zoned as
C-1. A Site Development Plan Review for the project is also being submitted. This site
plan fully conforms to Title 19 regulations.

This site was the location of a previously approved used car sales lot (SDR-1413) which
were approved by Las Vegas City Council on February 19, 2003. The current office
project will not require general commercial land use and zoning, and will be more
compatible with surrounding residential and office uses than the previous project. The
current request is for an attractive, one-story office campus that will compliment the
area.

Thank you for your consideration.

Sincerely,

Gary Leobold, AICP
Director of Planning

7425 Peak Drive
Las Vegas, NV 89128
(p) 702.933.7000
(f) 702.933.7001
800.933.7611
wrightengineers.com

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SDR-16503

10/19/06 PC

Application



Separator Sheet

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Plan Review

Project Address (Location) 4600 N. Rancho Drive

Project Name Rancho/Torrey Pines Offices

Proposed Use Offices

Assessor's Parcel #(s) 138-02-102-006

Ward # 6

General Plan: existing GC proposed SC Zoning: existing C-1 proposed C-1

Commercial Square Footage 81,240 (proposed) Floor Area Ratio 0.29

Gross Acres 0.5 Lots/Units -- Density --

Additional Information related general plan amendment and rezoning

PROPERTY OWNER Merhi Ghassan

Contact Robert Ford

Address 3275 E. Sahara Ave.

Phone: (702) 321-3706 Fax: (702) 228-3052

City Las Vegas

State NV Zip 89104-4303

APPLICANT Sandstone Arches, LLC

Contact Jim Davis

Address 4520 Palisades Canyon Circle

Phone: (702) 591-1352 Fax: (702) 839-0351

City Las Vegas

State NV Zip 89129

REPRESENTATIVE _____

Contact _____

Address _____

Phone: _____

Fax: _____

City _____

State _____

Zip _____

Property Owner Signature* _____

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Ghassan Merhi

Subscribed and sworn before me

This 28th day of August, 20 06.

Notary Public in and for said County and State

FOR DEPARTMENT USE ONLY

Case #

SDR-16503

Meeting Date:

10/19/06

Total Fee:

800.00

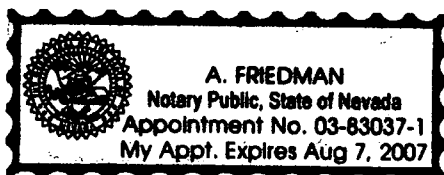
Date Received:*

9/5/06

Received By:

[Signature]

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



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SEP 05 2006

* ONE OF TWO SHEETS - SAME APPLICATION

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Plan Review
 Project Address (Location) 4600 N. Rancho Drive
 Project Name Rancho/Torrey Pines Offices Proposed Use Offices
 Assessor's Parcel #(s) 138-02-102-005, 007, 008, 009 and 011 Ward # 6
 General Plan: existing GC proposed SC Zoning: existing R-E/C-2/ proposed C-1
 Commercial Square Footage 81,240 (proposed) Floor Area Ratio 0.29
 Gross Acres 6.53 Lots/Units -- Density --
 Additional Information related general plan amendment and rezoning

PROPERTY OWNER Galtar, LLC Contact Robert Ford
 Address 3275 E. Sahara Ave. Phone: (702) 321-3706 Fax: (702) 228-3052
 City Las Vegas State NV Zip 89104-4303

APPLICANT Sandstone Arches, LLC Contact Jim Davis
 Address 4520 Palisades Canyon Circle Phone: (702) 591-1352 Fax: (702) 839-0351
 City Las Vegas State NV Zip 89129

REPRESENTATIVE _____ Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____

Property Owner Signature* [Signature]

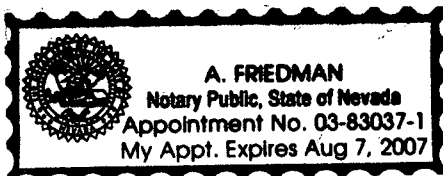
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name GHASSAN Makh.

Subscribed and sworn before me

This 28th day of August, 20 06.

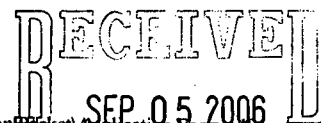
Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>SDR-16503</u>
Meeting Date:	<u>10/19/06</u>
Total Fee:	<u>800.00</u>
Date Received:*	<u>9/5/06</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



SECOND SHEET - SAME APPLICATION

Hansen Sheet



Separator Sheet

Report Date 09/06/2006 10:49 AM

Submitted By

Page 1

A/P # 16503 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	09/05/2006 11:25	982721	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-16503 - SITE DEVELOPMENT PLAN REVIEW RELATED TO GPA-16502 AND ZON-16504 - PUBLIC HEARING - APPLICANT: SANDSTONE ARCHES, LLC OWNER: MERHI GHASSAN AND GALTAR LLC - Request for a Site Development Plan Review FOR A PROPOSED OFFICE DEVELOPMENT, INCLUDING 10 ONE-STORY OFFICE PADS AND 81,240 SQUARE FEET OF OFFICE SPACE on 7.03 acres at 4600 N. Rancho Drive (APN 138-02-102-005 through 009, and 011), R-E (Residence Estates) Zone under Resolution of Intent to C-2 (General Commercial) Zone and C-1 (Limited Commercial) Zone [PROPOSED: C-1 (Limited Commercial)], Ward 6 (Ross).

Parent A/P #

Project #	16503	Project/Phase Name	Phase #
Size/Area	0.50 ACRE	Size Description	Subdivision Code
Proposed Start		Proposed Stop	% Completed 0.00
% Complete Formula			

Property/Site Information

Parcel 13802102006

Location

Owner/Tenant

Contact ID AC210884	Name	GALTAR L L C	Organization	
Mailing Address 3275 E SAHARA AVE			State/Province NV	
City LAS VEGAS			Country	☐ Foreign
ZIP/PC 89104-4303			Evening Phone	
Day Phone (702)641-8379 x			Mobile #	
Fax (702)641-3428				

Contact ID AC519200	Name	MERHI GHASSAN	Organization	
Mailing Address 3275 E SAHARA AVE			State/Province NV	
City LAS VEGAS			Country	☐ Foreign
ZIP/PC 89104-4303			Evening Phone	
Day Phone			Mobile #	
Fax				

Linked Addresses

No Addresses are linked to this Application

A/P Linked Addresses

No Addresses are linked to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

Report Date 09/06/2006 10:49 AM

Submitted By

Page 2

A/P Linked Parcels

13802102005
13802102006
13802102007
13802102008
13802102009
13802102011

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SITE PLAN REVIEW

N	DINA Required?	N	Project of Regional Significance?	Final City Council letter received
N	Parent Project link required?			Annotated minutes recieved
Y	Will this go to the City Council?			Is there a condition of approval for a Required Review?
Hearing Type				If yes, when does it need to be reviewed?
	Public, Non-Public, Admin	PUBLIC		

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
10/19/2006	PC	SCHEDULED		0	0	0
PLOWENSTEIN	09/05/2006					

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CK NAME,# WHO PICKED UP PERMIT sandstone arches ck 1292 / gary leopold / 933-7000	983657	09/05/2006 11:42		0.00

Project Checklist



Separator Sheet

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		Additional Notes
Item Required				
YES	NO			
APPLICATION				
☒	☐	Signed and notarized by all property owners or authorized agent(s)		
☒	☐	Grant deed and legal description		
☒	☐	Detailed justification letter		
☒	☐	Reduced 8.5" x 11" copy of all plans and elevations		
☒	☐	Full size, rolled, color copy of all plans and elevations		
☒	☐	Correct fee(s): \$ <u>500</u> \$ <u>300</u> \$ _____ Total = \$ <u>800</u>		
☒	☐	Statement of Financial Interest		
☐	☒	Development Impact Notice and Assessment (DINA)		
☐	☒	Project of Regional Significance		
SITE PLAN Folded Plans: <u>16</u> Rolled/Colored Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	All property lines and present dimensions labeled		
☒	☐	All building setbacks labeled		
☒	☐	All adjacent existing land uses and street names labeled		
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized: <u>Office Restaurant</u>		
☒	☐	Parking space count and typical dimensions labeled #regular #compact #handicap Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		
LANDSCAPE PLAN Folded Plans: <u>3</u> Rolled/Colored Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	North arrow, scale, and vicinity map		
☒	☐	All property lines and present dimensions labeled		
☒	☐	All required perimeter landscape planters shown		
☒	☐	All required parking lot fingers/islands shown		
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover		
BUILDING ELEVATIONS Folded Plans: <u>2</u> Rolled/Colored Plans: <u>1</u>				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	Scale and building dimensions labeled		
☒	☐	North, south, east, and west elevations of all buildings		
☒	☐	All building materials and colors noted		
☒	☐	8" x 10" photo of original color and material board		
☒	☐	All wall sign locations shown and sizes noted		
FLOOR PLANS Folded Plans: _____ Rolled Plans: _____				
☒	☐	11" x 17" min. to 24" x 36" max. page size		
☒	☐	Scale and building dimensions labeled		
☒	☐	All building entrances/exits shown		
☒	☐	Use of all rooms noted/labeled		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Applicant: Jim Davis Application Type: Site Development Review

APN: 138-02-102-005, 006, 008, 011 Location: South of Lone Mountain between City Pines

Planner: 138, 02-102-007, and 009 Pre-App Meeting Date: 8-23-06 Earliest PC Date: 10-14-06

☒ Meeting☐ Telephone

Conversation Record

Project Name Sandstone ArchesPage 1 of 1
Date 9/23/06
Time 1:00 am pmConversation between CLV Representative(s): Jim Marshall, Victor Bolanos
and, Roger Bailey, Kyle Walton

Name

Company/Department

Phone

FAX

Gary Leibold☐ see Meeting Attendance Sheet

Comments:

EOT-5088- extends zoning C-2 (138, 021 0205, 6, 8 & 11)GPA-6C Rezoning to C-2 5, 6, 8, 11Setbacks front 20' side 10' rear 20'Landscaping Exterior 15 feet - Interior 8Parking Office - 1 space per 300 sq ft.Restaurant - seating ^{area} 1 space per 50 kitchen one space per 200Retail - 1 per 175 sq ftResidential Adjacency Standards - complyRetail Parking calc - 5,000 storageMonica or Mike - Labels readyPublic WorksLess than 5% slope on western portionone lot commercial subdivisionThroat depth of 32 feetTraffic Impact AnalysisEOT- 9-20 consolidate
condition be concurrent with rezoning
Trail element - confirm -North
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SEP 05 2006

City of Las Vegas
ADMINISTRATIVE ACTIONS

☒ Action: ADMIN
Date: 082407 Staff: STEVE LEBEILE
Notes: REVISED SITE PLAN, FLOOR PLANS & ELEVATIONS. NON-COMPLYING ADA
PARKING SPCS TO BE CORRECTED IN PLANS SUBMITTED FOR BLDG PERMIT.
ALL PLANS STAMPED AS RECEIVED ON 08/24/07

☐ Action: _____
Date: _____ Staff: _____
Notes: _____

☐ Action: _____
Date: _____ Staff: _____
Notes: _____

☐ Action: _____
Date: _____ Staff: _____
Notes: _____

Final DRT



Separator Sheet

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-16503 - SITE DEVELOPMENT PLAN REVIEW RELATED TO GPA-16502 AND ZON-16504 - PUBLIC HEARING - APPLICANT: SANDSTONE ARCHES, LLC OWNER: MERHI GHASSAN AND GALTAR LLC - Request for a Site Development Plan Review FOR A PROPOSED 81,240 SQUARE FEET COMMERCIAL DEVELOPMENT CONSISTING OF 10 PAD SITES WITH SINGLE-STORY BUILDINGS on 7.03 acres at 4600 North Rancho Drive (APN 138-02-102-005 through 009, and 011), R-E (Residence Estates) Zone under Resolution of Intent to C-2 (General Commercial) Zone and C-1 (Limited Commercial) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 6 (Ross).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N $\frac{1}{2}$) OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

PLANNING COMMISSION: **OCTOBER 19, 2006**

CITY COUNCIL: **NOVEMBER 15, 2006**

PLANNING SUPERVISOR: **JOHN KORKOSZ**



PUBLIC HEARING

Comments Due:

SEPTEMBER 18, 2006

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Route Form



Separator Sheet

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-16503

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	GARY REID	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	RAUL CRUZ	DSC
*LAND DEVELOPMENT (DPW)	JEFF GALAMBAS	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	CAROLYN CAVINESS	DSC
*SANITARY SEWERS (DPW)	TIM PARKS	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	GUY CORRADO	4212 EUCALYPTUS ANNEX
METRO	SGT. ROBERT ROSHACK	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	DAVID BRATCHER	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	TOM WILKING	3104 BONANZA ROAD
*STREETS & SANITATION (DPW)	JERRY WALKER	2900 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2900 RONEMUS
*SID (DPW)	T. McDANIEL	4 th FLOOR CITY HALL
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	DOA J. MEADE, ENGINEERING DESIGN DIVISION	1001 S. VALLEY VIEW BLVD.

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO GARY REID, SR. ENG. ASSOC.
ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND
DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SDPR
09/05/2006

Neighborhood Services List



Separator Sheet

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: October 19, 2006

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-16503

Lone Mountain Citizens Advisory Council

Los Prados HOA

Northwest Area Residents Association

Northwest Citizens Board

Pueblo at Sante Fe Condominium Association

Rancho Alta Mira Owners Association

Sheep Mountain #5 NA

Turning Point Community Association

Woodcrest Village HOA

Public Hearing Notice



PUBLIC HEARING NOTICE

Separator Sheet

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: OCTOBER 19, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SDR-16503

APPLICANT: SANDSTONE ARCHES, LLC - OWNER: MERHI GHASSAN AND GALTAR, LLC - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR A PROPOSED 81,240 SQUARE FOOT COMMERCIAL DEVELOPMENT CONSISTING OF 10 PAD SITES WITH SINGLE-STORY BUILDINGS ON 7.03 ACRES AT 4600 NORTH RANCHO DRIVE (APN 138-02-102-005 THROUGH 009, AND 011), R-E (RESIDENCE ESTATES) ZONE UNDER RESOLUTION OF INTENT TO C-2 (GENERAL COMMERCIAL) ZONE AND C-1 (LIMITED COMMERCIAL) ZONE [PROPOSED: C-1 (LIMITED COMMERCIAL) ZONE], WARD 6 (ROSS).

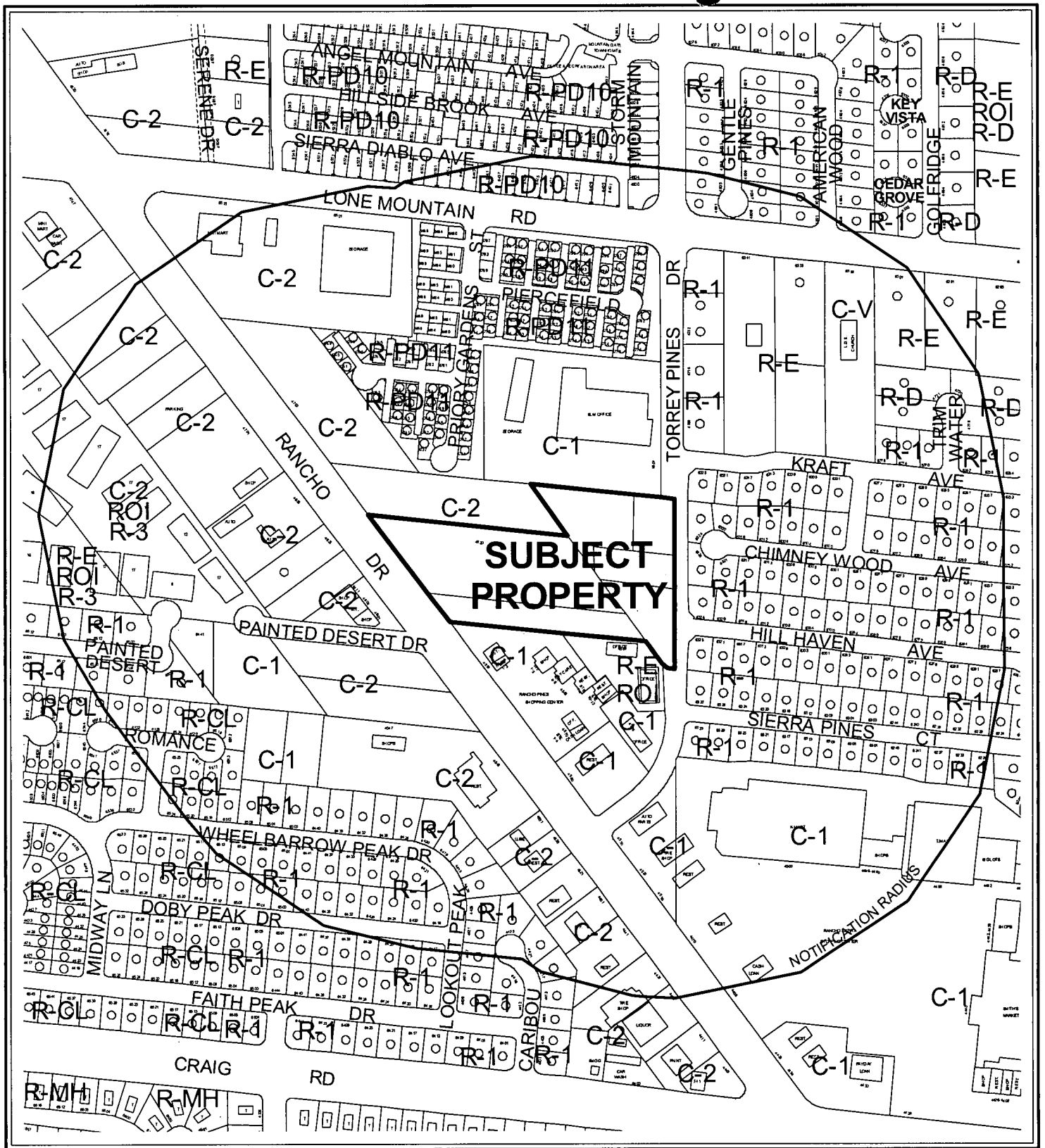
THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE NORTHWEST QUARTER (NW¼) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

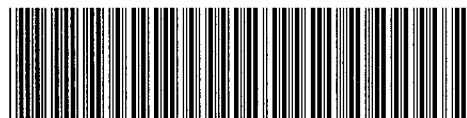
SEE LOCATION MAP ON REVERSE SIDE



0 200 400 Feet



Applicant Letter



APPLICANT LETTER

Separator Sheet



October 16, 2006

CIVIL

STRUCTURAL

MECHANICAL

ELECTRICAL

PLUMBING

SURVEYING

LEED

City of Las Vegas
Planning and Development Department
731 S. Fourth Street
Las Vegas, Nevada 89101

Attention: Mr. Doug Rankin

Subject: SDR-16503 [Sandstone Arches LLC]

Dear Mr. Rankin

As we have discussed recently, minor revisions have been made to this project, to improve the quality of the site plan and to address concerns raised by staff. The minor changes on the enclosed plans are as follows:

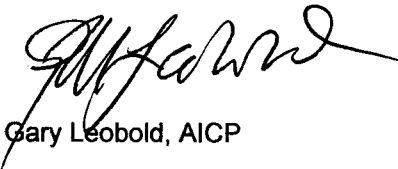
- The two buildings directly facing Rancho Drive have been slightly reconfigured to be symmetrical with each other, instead of having a larger and a smaller building. This has resulted in a slight reduction of floor space for the overall project. This redesign has very slightly shifted the drive aisle entrance from Rancho. This entrance still meets 222A standards.
- The parking area at the east end of the site has been slightly reconfigured to pick up additional parking spaces. There are now more spaces than required by Code.
- We have added two more trash enclosure areas, for a total of three areas.
- The landscape plan has been modified to be based on the revised site plan.

These changes address comments made by staff and improve the overall quality of the development while not materially impacting the design. We ask that you include these revised plans in the packets for Thursday's Planning Commission meeting, and to make the appropriate condition change (condition #4) regarding the date stamp of these revised plans.

Thank you for your assistance.

Warm regards,

WRIGHT ENGINEERS



Gary Leobold, AICP

Revised Site and Landscaping Plans

c. Jim Davis

7425 Peak Drive
Las Vegas, NV 89128
(p) 702.933.7000
(f) 702.933.7001
800.933.7611
wrightengineers.com

SDR-16503
REVISED
10/19/06 PC

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

October 6, 2006

Mr. Robert Ford
Galtar, LLC
3275 East Sahara Avenue
Las Vegas, Nevada 89104

RE: SDR-16503 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Ford:

Please be advised the City Planning Commission at its regular meeting on **October 19, 2006** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be mailed to you prior to the meeting. If you do not receive these documents by the day of the meeting, please call the Current Planning Division at 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:clb

cc: Mr. Jim Davis
Sandstone Arches, LLC
4520 Palisades Canyon Circle
Las Vegas, Nevada 89129

Mr. Gary Leobold
Wright Engineers
7425 Peak Drive
Las Vegas, Nevada 89128

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



Action Letter



Separator Sheet

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

31 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

October 20, 2006

Mr. Robert Ford
Galtar, LLC
3275 East Sahara Avenue
Las Vegas, Nevada 89104

RE: SDR-16503 - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Ford:

Your request for a Site Development Plan Review FOR A PROPOSED 81,240 SQUARE FOOT COMMERCIAL DEVELOPMENT CONSISTING OF 10 PAD SITES WITH SINGLE-STORY BUILDINGS on 7.03 acres at 4600 North Rancho Drive (APN 138-02-102-005 through 009, and 011), R-E (Residence Estates) Zone under Resolution of Intent to C-2 (General Commercial) Zone and C-1 (Limited Commercial) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 6 (Ross), was considered by the Planning Commission on October 19, 2006.

The Planning Commission voted to recommend ***APPROVAL*** of your request, subject to the following:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-16504) and General Plan Amendment (GPA-16502), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the building elevations, date stamped 09/05/06, and landscape and site plan, date stamped 10/17/06 except as amended by conditions herein.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. This property is listed on the Las Vegas Historic Property Register and is therefore subject.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. Coordinate with the City Surveyor to discuss mapping options for this site.
14. Dedicate 40 feet of right-of-way adjacent to this site for Torrey Pines Drive prior to the issuance of any permits or, alternatively, in conjunction with a subdivision map for this site.

15. Construct all incomplete half-street improvements on Torrey Pines Drive adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
16. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
17. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
18. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a and shall meet the approval of the Nevada Department of Transportation for all driveways accessing Rancho Drive.
19. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
20. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.

Mr. Robert Ford
SDR-16503 - Page Four
October 20, 2006

21. Site development to comply with all applicable conditions of approval for ZON-16504 and all other site-related actions.

This item will be considered by the City Council on **November 15, 2006**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



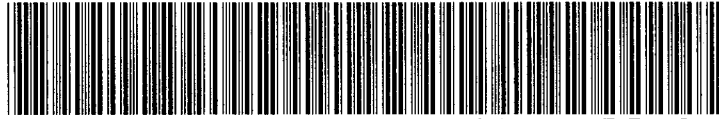
John Korkosz, Planning Supervisor
Planning and Development Department
Current Planning Division

JK:clb

cc: Mr. Jim Davis
Sandstone Arches, LLC
4520 Palisades Canyon Circle
Las Vegas, Nevada 89129

Mr. Gary Leobold
Wright Engineers
7425 Peak Drive
Las Vegas, Nevada 89128

City Council Action Letter



CITY COUNCIL ACTION LETTER

Separator Sheet



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

January 30, 2007

Mr. Robert Ford
Galtar, LLC
3275 East Sahara Avenue
Las Vegas, Nevada 89104

RE: SDR-16503 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF DECEMBER 20, 2006
RELATED TO GPA-16502 AND ZON-16504

Dear Mr. Ford:

The City Council at a regular meeting held December 20, 2006 APPROVED the request for a Site Development Plan Review FOR A PROPOSED 81,240 SQUARE FOOT COMMERCIAL DEVELOPMENT CONSISTING OF 10 PAD SITES WITH SINGLE-STORY BUILDINGS on 7.03 acres at 4600 North Rancho Drive (APN 138-02-102-005 through 009, and 011), R-E (Residence Estates) Zone under Resolution of Intent to C-2 (General Commercial) Zone and C-1 (Limited Commercial) Zone [PROPOSED: C-1 (Limited Commercial) Zone]. The Notice of Final Action was filed with the Las Vegas City Clerk on December 21, 2006. This approval is subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-16504) and General Plan Amendment (GPA-16502), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the building elevations, date stamped 09/05/06, and landscape and site plan, date stamped 10/17/06 except as amended by conditions herein.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

18112-001-06-05
CLV 7009

5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. Deleted at City Council.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. Coordinate with the City Surveyor to discuss mapping options for this site.
14. Dedicate 40 feet of right-of-way adjacent to this site for Torrey Pines Drive prior to the issuance of any permits or, alternatively, in conjunction with a subdivision map for this site.
15. Construct all incomplete half-street improvements on Torrey Pines Drive adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
16. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the

Mr. Robert Ford
SDR-16503 – Page Three
January 30, 2007

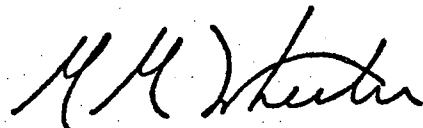
recommendations of the approved Traffic Impact Analysis prior to occupancy of the site.

The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

17. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
18. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a and shall meet the approval of the Nevada Department of Transportation for all driveways accessing Rancho Drive.
19. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
20. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
21. Site development to comply with all applicable conditions of approval for ZON-16504 and all other site-related actions.

Sincerely,


Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk


M. Margo Wheeler, AICP
Director
Planning and Development Department

cc: See Attached List

Mr. Robert Ford
SDR-16503 – Page Four
January 30, 2007

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. Jim Davis
Sandstone Arches, LLC
4520 Palisades Canyon Circle
Las Vegas, Nevada 89129

Mr. Gary Leobold
Wright Engineers
7425 Peak Drive
Las Vegas, Nevada 89128



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

December 21, 2006

Mr. Robert Ford
Galtar, LLC
3275 East Sahara Avenue
Las Vegas, Nevada 89104

RE: SDR-16503 – SITE DEVELOPMENT PLAN REVIEW - RESCIND
CITY COUNCIL MEETING OF DECEMBER 20, 2006

Dear Mr. Ford:

The City Council at a regular meeting held December 20, 2006 RESCINDED the previous action of a request for a Site Development Plan Review FOR A PROPOSED 81,240 SQUARE FOOT COMMERCIAL DEVELOPMENT CONSISTING OF 10 PAD SITES WITH SINGLE-STORY BUILDINGS on 7.03 acres at 4600 North Rancho Drive (APN 138-02-102-005 through 009, and 011), R-E (Residence Estates) Zone under Resolution of Intent to C-2 (General Commercial) Zone and C-1 (Limited Commercial) Zone [PROPOSED: C-1 (Limited Commercial) Zone]. The Notice of Final Action was filed with the Las Vegas City Clerk on December 21, 2006.

Sincerely,

A handwritten signature in cursive script that reads "Angela Crolli".

Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. Jim Davis
Sandstone Arches, LLC
4520 Palisades Canyon Circle
Las Vegas, Nevada 89129

Mr. Gary Leobold
Wright Engineers
7425 Peak Drive
Las Vegas, Nevada 89128

CITY OF LAS VEGAS
400 STEWART AVENUE
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CLV 7009



LAS VEGAS CITY COUNCIL

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LARRY BROWN
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STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

November 16, 2006

Mr. Robert Ford
Galtar, LLC
3275 East Sahara Avenue
Las Vegas, Nevada 89104

RE: SDR-16503 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF NOVEMBER 15, 2006
RELATED TO GPA-16502 AND ZON-16504

Dear Mr. Ford:

The City Council at a regular meeting held November 15, 2006 APPROVED the request for a Site Development Plan Review FOR A PROPOSED 81,240 SQUARE FOOT COMMERCIAL DEVELOPMENT CONSISTING OF 10 PAD SITES WITH SINGLE-STORY BUILDINGS on 7.03 acres at 4600 North Rancho Drive (APN 138-02-102-005 through 009, and 011), R-E (Residence Estates) Zone under Resolution of Intent to C-2 (General Commercial) Zone and C-1 (Limited Commercial) Zone [PROPOSED: C-1 (Limited Commercial) Zone]. The Notice of Final Action was filed with the Las Vegas City Clerk on November 16, 2006. This approval is subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-16504) and General Plan Amendment (GPA-16502), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the building elevations, date stamped 09/05/06, and landscape and site plan, date stamped 10/17/06 except as amended by conditions herein.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must

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be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
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10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. This property is listed on the Las Vegas Historic Property Register and is therefore subject.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. Coordinate with the City Surveyor to discuss mapping options for this site.
14. Dedicate 40 feet of right-of-way adjacent to this site for Torrey Pines Drive prior to the issuance of any permits or, alternatively, in conjunction with a subdivision map for this site.
15. Construct all incomplete half-street improvements on Torrey Pines Drive adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
16. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the

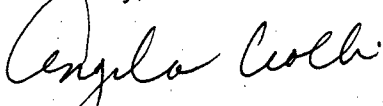
Mr. Robert Ford
SDR-16503 – Page Three
November 16, 2006

recommendations of the approved Traffic Impact Analysis prior to occupancy of the site.

The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

17. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
18. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a and shall meet the approval of the Nevada Department of Transportation for all driveways accessing Rancho Drive.
19. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
20. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
21. Site development to comply with all applicable conditions of approval for ZON-16504 and all other site-related actions.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: See Attached List

Mr. Robert Ford
SDR-16503 – Page Four
November 16, 2006

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. of Fire Services

Mr. Jim Davis
Sandstone Arches, LLC
4520 Palisades Canyon Circle
Las Vegas, Nevada 89129

Mr. Gary Leobold
Wright Engineers
7425 Peak Drive
Las Vegas, Nevada 89128

KEYED NOTES:

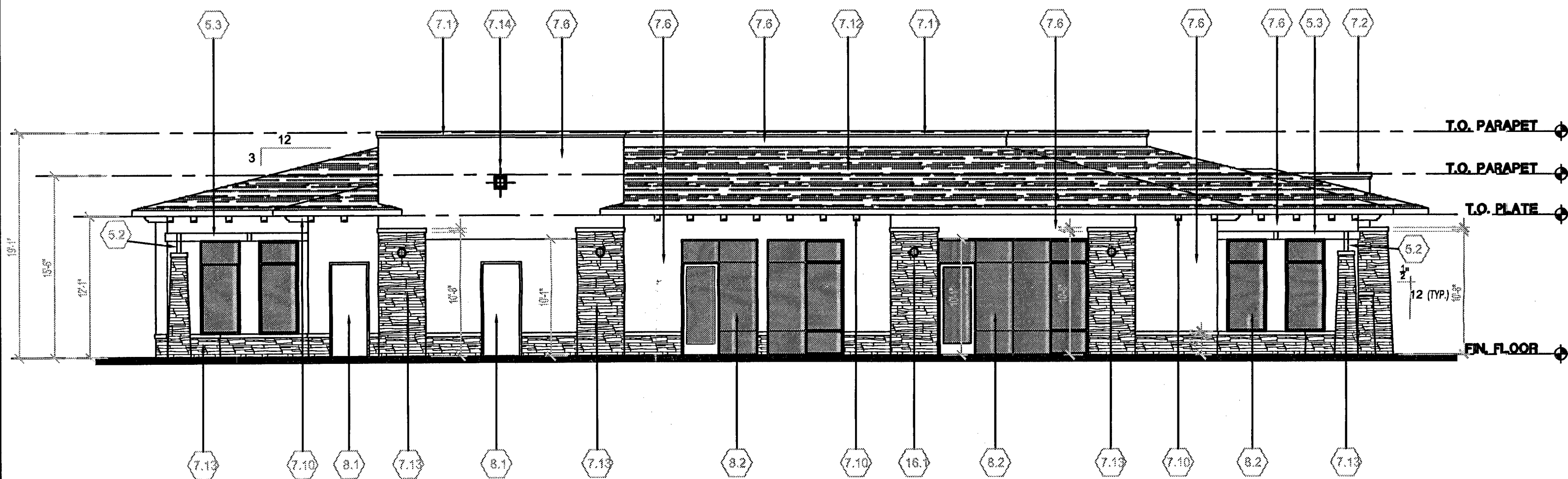
- 2.1 COMPACTED BASE, REFER TO SOILS REPORT.
3.1 CONCRETE FLOOR SLAB, REFER TO STRUCTURAL DRAWINGS
3.2 EXTERIOR CONCRETE WALK, UNREINFORCED.
3.3 REINFORCED CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS.
3.4 PERIMETER EXPANSION STRIP.
3.5 CAST CONCRETE CAP (SLOPE TOP TO DRAIN)
5.1 STEEL ANCHOR BOLT, REFER TO STRUCTURAL DRAWINGS.
5.2 STEEL COLUMN, REFER TO STRUCTURAL DRAWINGS.
5.3 ARCHITECTURAL STEEL LATTICE, REFER TO STRUCTURAL DRAWINGS.

- 6.1 2" X WOOD STUD FRAMING, REFER TO STRUCTURAL DRAWINGS & WALL TYPES
6.2 TWO 2" X PLATES, REFER TO STRUCTURAL DRAWINGS & WALL TYPES
6.3 1/2" WOOD SHEATHING, REFER TO STRUCTURAL DRAWINGS
6.4 5/8" WOOD SHEATHING, REFER TO STRUCTURAL DRAWINGS
6.5 PREFABRICATED PITCHED WOOD TRUSSES, REFER TO STRUCTURAL DRAWINGS
6.6 BEAM / LEDGER (REFER TO STRUCTURAL) STAINED & SEALED
6.7 WOOD OVER BUILD ROOF FRAMING, REFER TO STRUCTURAL DRAWINGS
7.1 3 PLY BUILT UP ROOF ROOF SYSTEM.
7.2 22 GA. PREFINISHED METAL ROOFING SYSTEM.
7.3 ROOF TO WALL & COUNTER FLASHING.

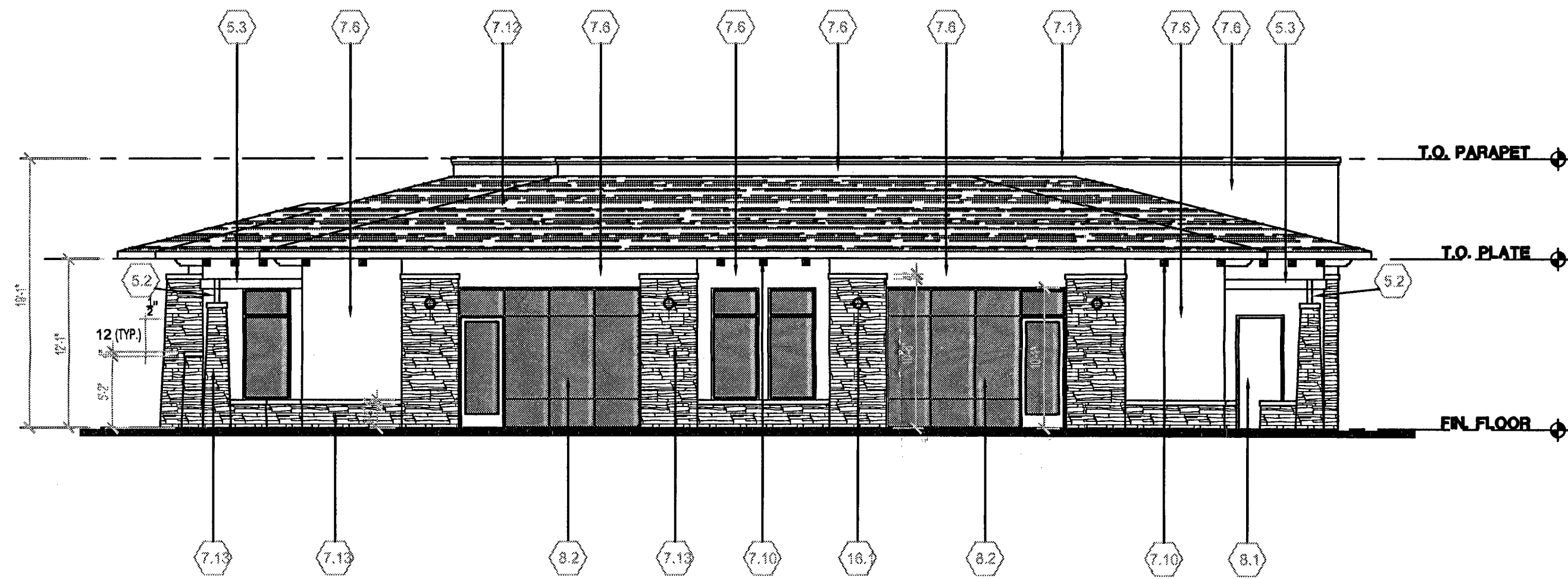
- 7.4 ROOF DRAINAGE CRICKET, TO DIRECT WATER FLOW TO ROOF DRAINS. REFER TO ROOF PLAN.
7.5 CONTINUOUS CAULKING.
7.6 THREE COAT 7/8" THK. EXTERIOR PLASTER SYS. AS PER IRC SECTIONS 2510 & 2512
7.7 DRIP FLASHING.
7.8 12" FIBERGLASS INSULATION
7.9 8" FIBERGLASS INSULATION
7.10 E.P.S. OR F.R.P. CORBELS.
7.11 CONTINUOUS FOAM CORNICE
7.12 CONCRETE ROOF TILE OVER 30# FELT OVER O.S.B. SHEATHING.
7.13 STONE VENEER INSTALL PER USC SEC. 1403 OF (2) LAYERS OF GRADED BUILDING WRAP.
7.14 22 GA. PREFINISHED METAL OVERFLOW SCUPPER SYSTEM.

- 8.1 HOLLOW METAL DOORS & FRAMES, REFER TO SCHEDULES (PAINT TO MATCH E.I.F.S.)
8.2 ALUMINUM STOREFRONT AND ENTRANCES, REFER TO SCHEDULES
9.1 5/8" FIRECODE GYPSUM BOARD
9.2 SUSPENDED LAY-IN TILE CEILING SYSTEM
9.3 FRAMED 5/8" FIRECODE GYPSUM BOARD CEILING SYSTEM
9.4 STEEL STUDS, REFER TO FLOOR PLANS.

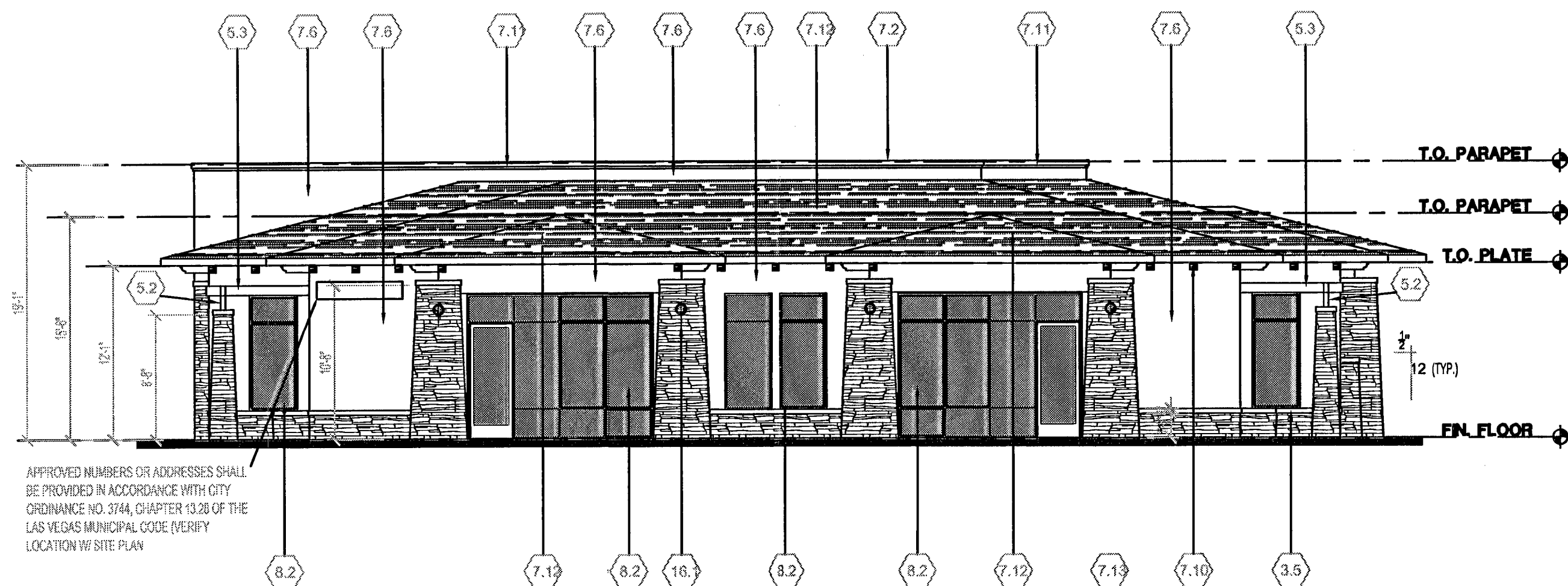
- 15.1 MECHANICAL DUCT WORK, EQUIPMENT, ETC.
16.1 ELECTRICAL LIGHTING, ETC.



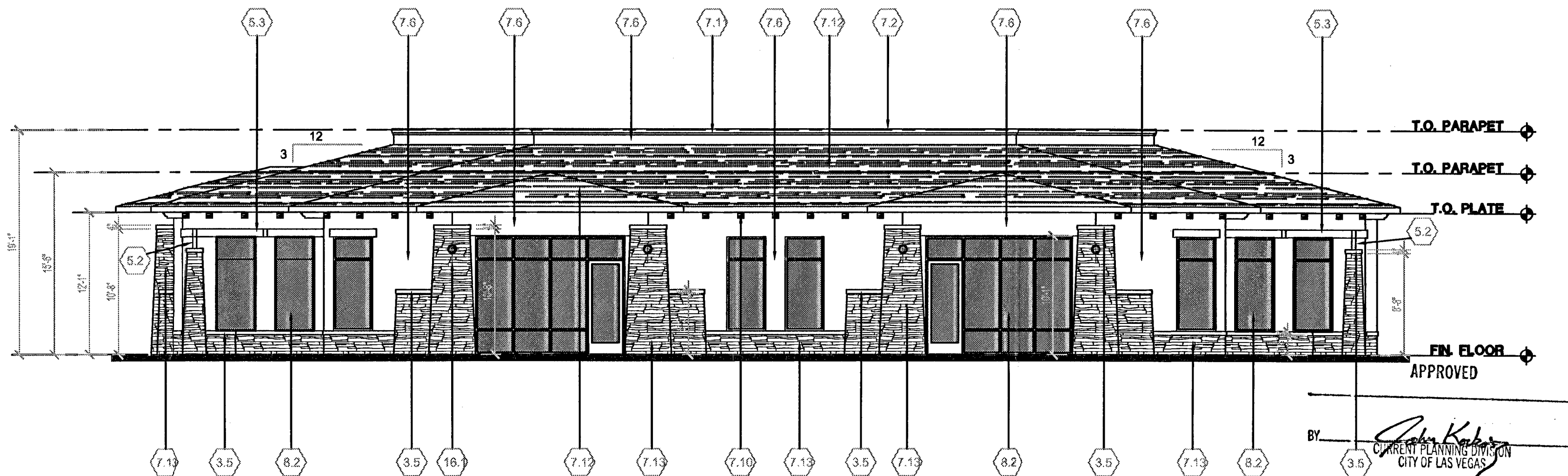
3 REAR ELEVATION (BUILDING TYPE A)
1/8" = 1'-0"



4 RIGHT ELEVATION (BUILDING TYPE A)
1/8" = 1'-0"



2 LEFT ELEVATION (BUILDING TYPE A)
1/8" = 1'-0"



1 FRONT ELEVATION (BUILDING TYPE A)
1/8" = 1'-0"

APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED IN ACCORDANCE WITH CITY ORDINANCE NO. 3744, CHAPTER 13.28 OF THE LAS VEGAS MUNICIPAL CODE (VERIFY LOCATION W/ SITE PLAN)

BY: *[Signature]*
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS

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project title •
pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

sheet title •
**PALISADES
BUSINESS PARK**
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

sheet title •
**EXTERIOR ELEVATIONS
(BUILDING TYPE A)
BUILDINGS 7 & 8**

Issue dates •
10/31/06
drawn by •
C.J.
checked by •
R.C.G.
project no. •

revisions •
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KEYED NOTES:

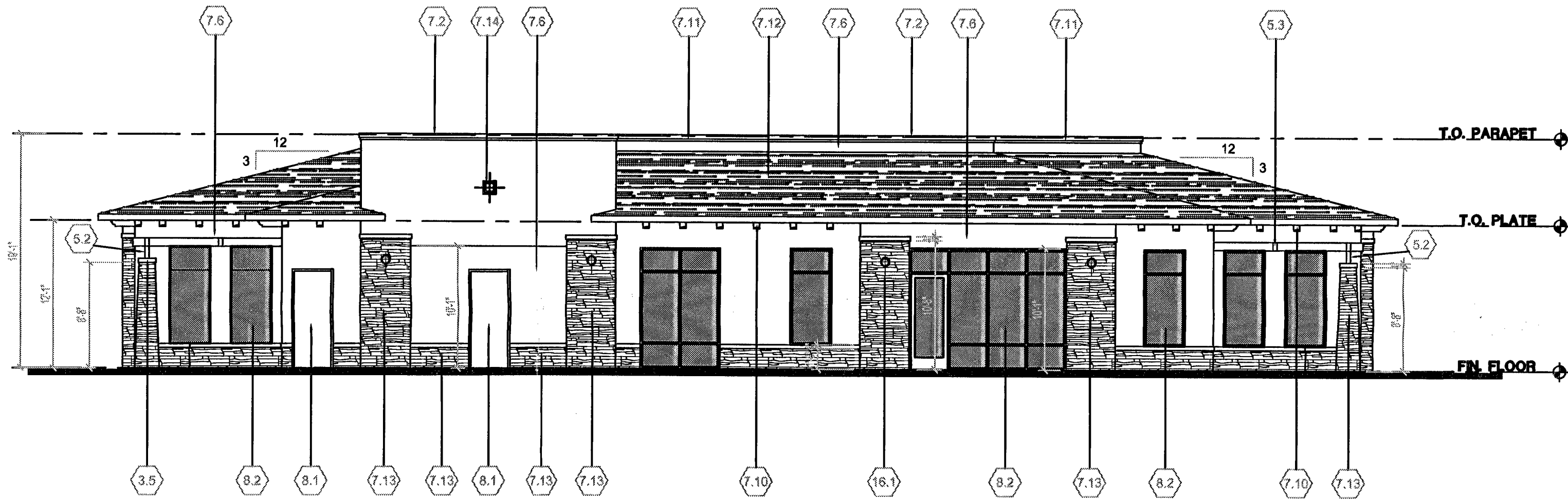
- 2.1 COMPACTED BASE, REFER TO SOILS REPORT.
- 3.1 CONCRETE FLOOR SLAB, REFER TO STRUCTURAL DRAWINGS.
- 3.2 EXTERIOR CONCRETE WALK, UNREINFORCED.
- 3.3 REINFORCED CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS.
- 3.4 PERIMETER EXPANSION STRIP.
- 3.5 CAST CONCRETE CAP (SLOPE TOP TO DRAIN)
- 5.1 STEEL ANCHOR BOLT, REFER TO STRUCTURAL DRAWINGS.
- 5.2 STEEL COLUMN, REFER TO STRUCTURAL DRAWINGS.
- 5.3 ARCHITECTURAL STEEL LATTICE, REFER TO STRUCTURAL DRAWINGS.

- 6.1 2" X WOOD STUD FRAMING, REFER TO STRUCTURAL DRAWINGS & WALL TYPES
- 6.2 TWO 2" X PLATES, REFER TO STRUCTURAL DRAWINGS & WALL TYPES
- 6.3 1/2" WOOD SHEATHING, REFER TO STRUCTURAL DRAWINGS
- 6.4 5/8" WOOD SHEATHING, REFER TO STRUCTURAL DRAWINGS
- 6.5 PREFABRICATED PITCHED WOOD TRUSSES, REFER TO STRUCTURAL DRAWINGS
- 6.6 BEAM / LEDGER (REFER TO STRUCTURAL) STAINED & SEALED
- 6.7 WOOD OVER BUILD ROOF FRAMING, REFER TO STRUCTURAL DRAWINGS
- 7.1 3 PLY BUILT UP ROOF ROOF SYSTEM.
- 7.2 22 GA. PREFINISHED METAL COPING SYSTEM.
- 7.3 ROOF TO WALL & COUNTER FLASHING.

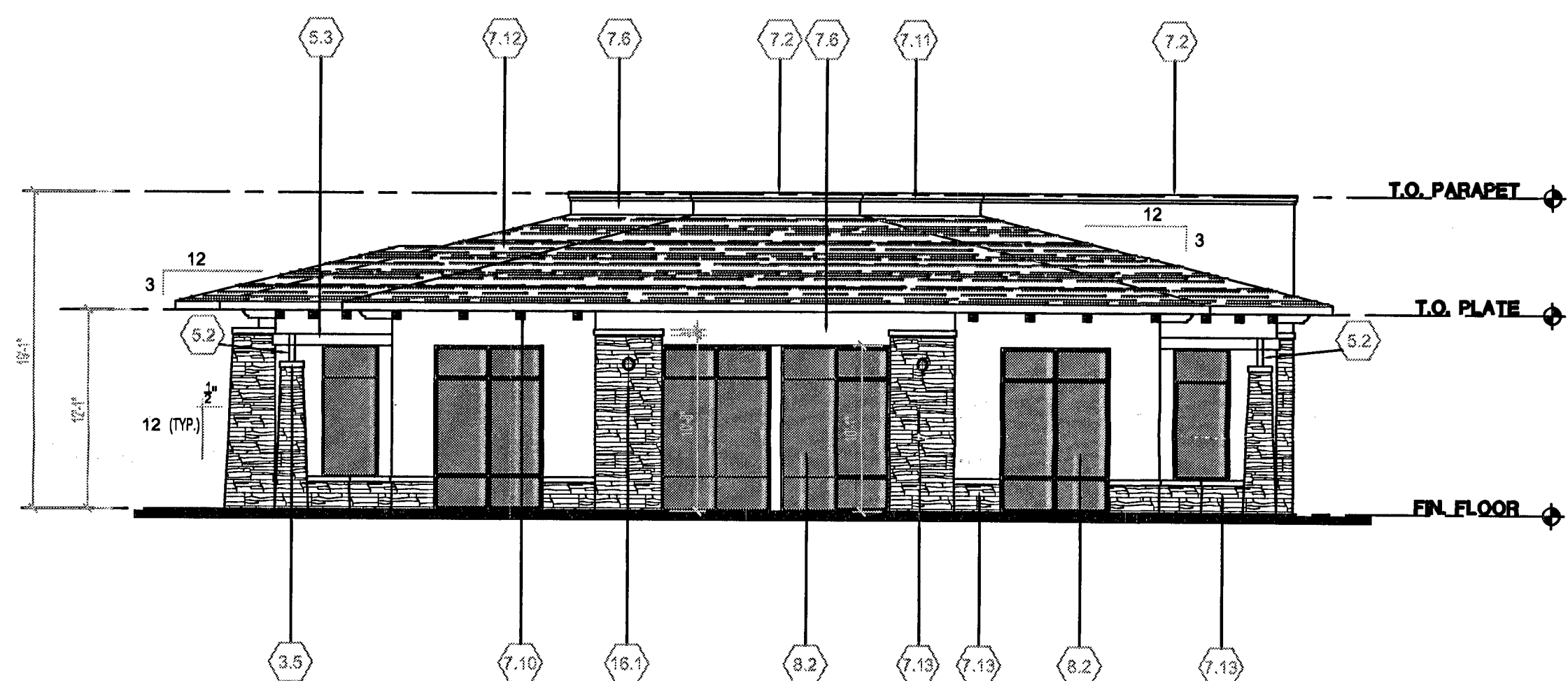
- 7.4 ROOF DRAINAGE CRICKET, TO DIRECT WATER FLOW TO ROOF DRAINS. REFER TO ROOF PLAN.
- 7.5 CONTINUOUS CAULKING.
- 7.6 THREE COAT 7/8" THK. EXTERIOR PLASTER SYS. AS PER IBC SECTIONS 2510 & 2512
- 7.7 DRIP FLASHING.
- 7.8 12" FIBERGLASS INSULATION
- 7.9 9" FIBERGLASS INSULATION
- 7.10 E.P.S. OR F.R.P. CORSELS.
- 7.11 CONTINUOUS FOAM CORNICE
- 7.12 CONCRETE ROOF TILE OVER 3/4" FELT OVER O.S.B. SHEATHING.
- 7.13 STONE VENEER INSTALL PER UBC SEC. 1403 OF (2) LAYERS OF GRADE-D BUILDING WRAP.
- 7.14 22 GA. PREFINISHED METAL OVERFLOW SCUPPER SYSTEM

- 8.1 HOLLOW METAL DOORS & FRAMES, REFER TO SCHEDULES (PAINT TO MATCH EIFS)
- 8.2 ALUMINUM STOREFRONT AND ENTRANCES, REFER TO SCHEDULES
- 9.1 5/8" FIRECODE GYPSUM BOARD
- 9.2 SUSPENDED LAY-IN TILE CEILING SYSTEM
- 9.3 FRAMED 5/8" FIRECODE GYPSUM BOARD CEILING SYSTEM
- 9.4 STEEL STUDS, REFER TO FLOOR PLANS.

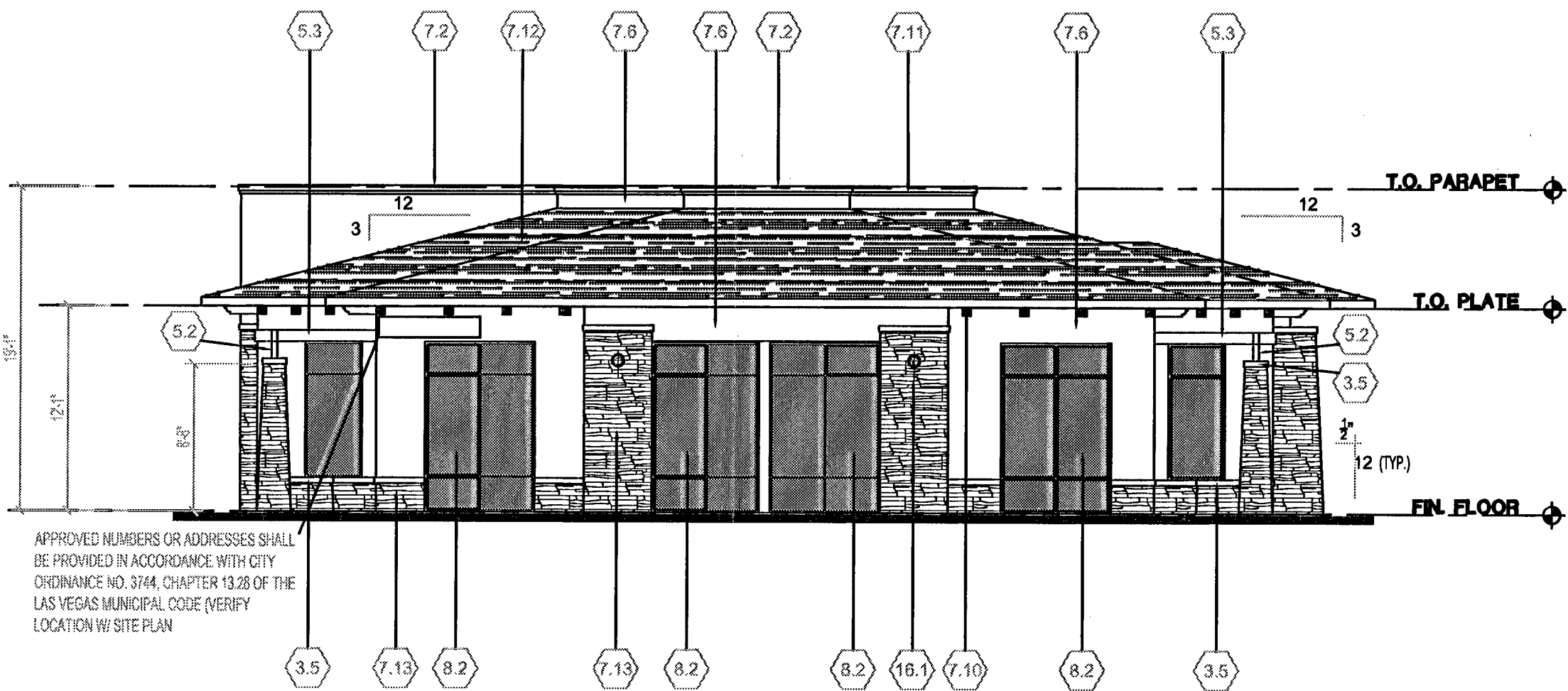
- 15.1 MECHANICAL DUCT WORK, EQUIPMENT, ETC.
- 16.1 ELECTRICAL LIGHTING, ETC.



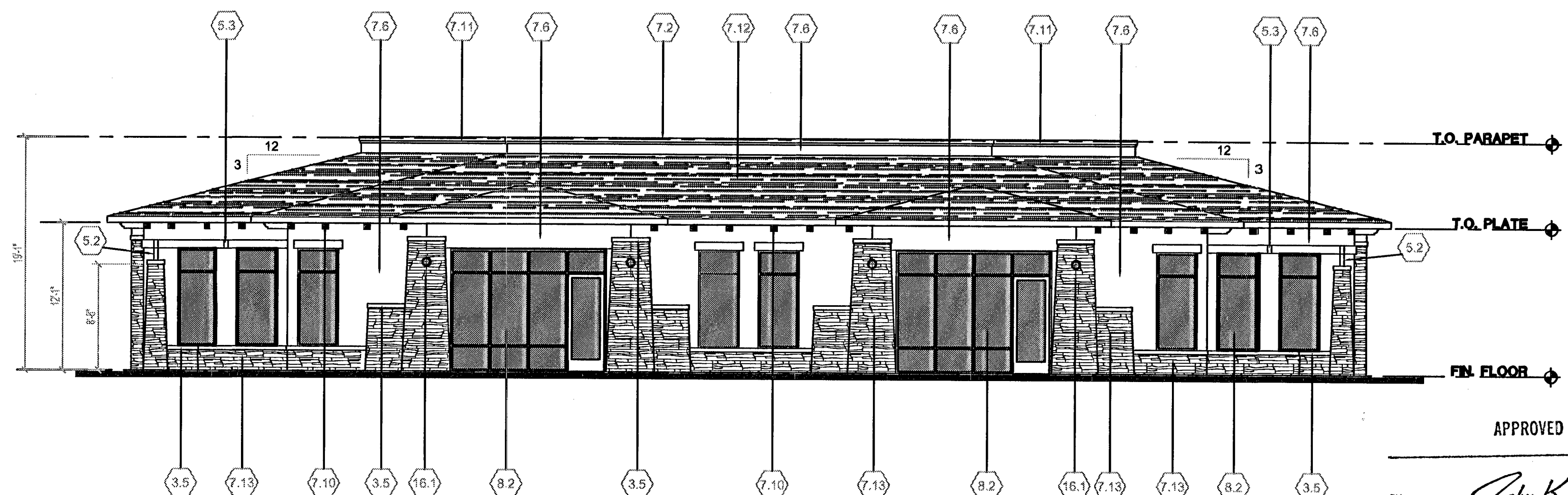
3 REAR ELEVATION (BUILDING TYPE B)
1/8" = 1'-0"



4 RIGHT ELEVATION (BUILDING TYPE B)
1/8" = 1'-0"



2 LEFT ELEVATION (BUILDING TYPE B)
1/8" = 1'-0"



1 FRONT ELEVATION (BUILDING TYPE B)
1/8" = 1'-0"

APPROVED
BY *[Signature]*
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project title •
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henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

**PALISADES
BUSINESS PARK**
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

sheet title •
**EXTERIOR ELEVATIONS
(BUILDING TYPE B)
BUILDINGS 3,4,5,6 ? 9**

Issue dates •
10/31/06
drawn by •
C.J.
checked by •
R.C.G.
project no. •
revisions •
sheet no. **A6.02**

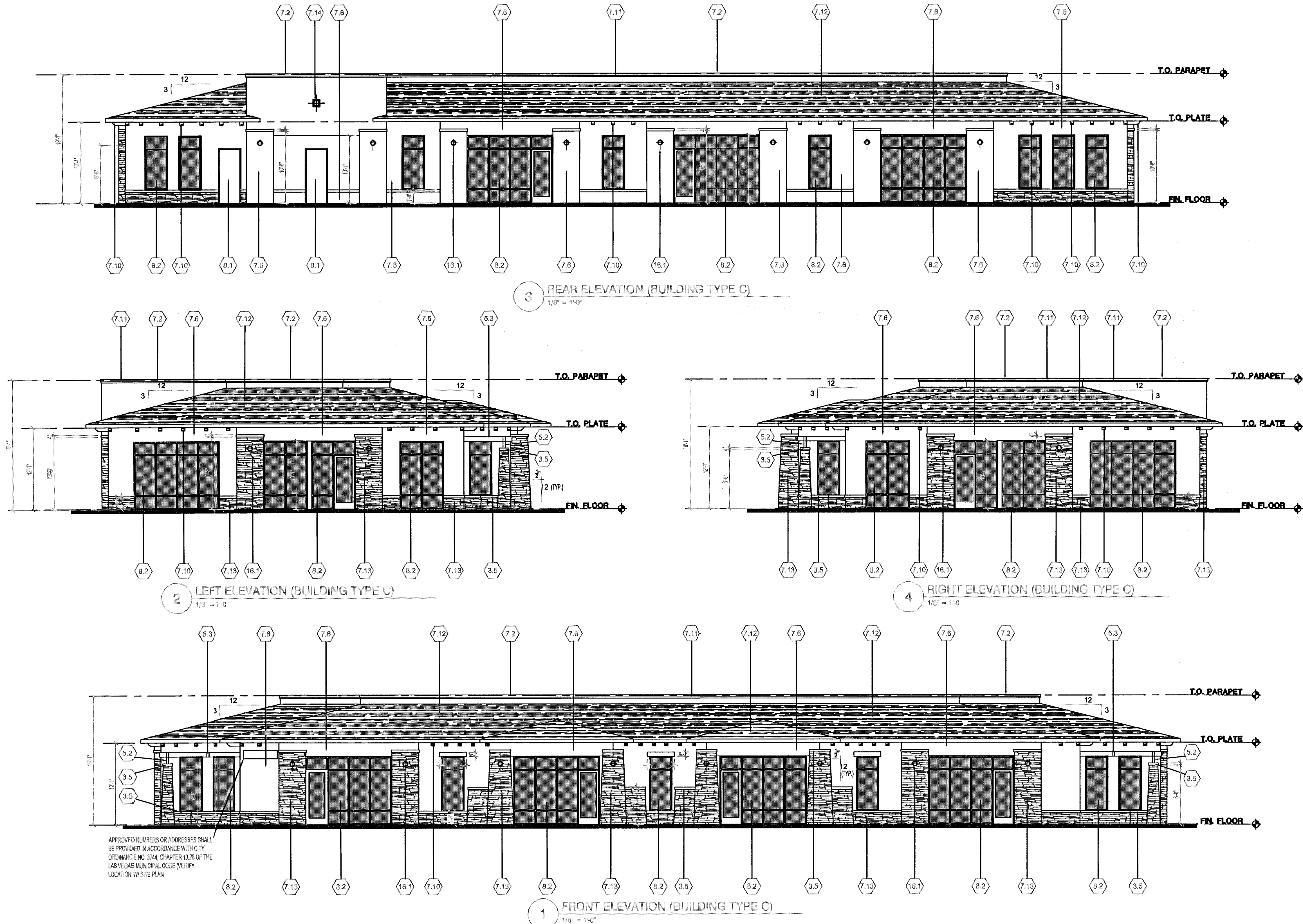
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KEYED NOTES:

- | | | | | | | | | | |
|-----|--|-----|---|------|---|-----|---|------|---------------------------------------|
| 2.1 | COMPACTED BASE, REFER TO SOILS REPORT. | 6.1 | 2" X WOOD STUD FRAMING, REFER TO STRUCTURAL DRAWINGS & WALL TYPES | 7.4 | ROOF DRAINAGE CRICKET, TO DIRECT WATER FLOW TO ROOF DRAINS. REFER TO ROOF PLAN. | 8.1 | HOLLOW METAL DOORS & FRAMES, REFER TO SCHEDULES (PAINT TO MATCH E.I.F.S.) | 15.1 | MECHANICAL DUCT WORK, EQUIPMENT, ETC. |
| 3.1 | CONCRETE FLOOR SLAB, REFER TO STRUCTURAL DRAWINGS. | 6.2 | TWO 2" X PLATES, REFER TO STRUCTURAL DRAWINGS & WALL TYPES | 7.5 | CONTINUOUS CAULKING. | 8.2 | ALUMINUM STOREFRONT AND ENTRANCES, REFER TO SCHEDULES | 16.1 | ELECTRICAL LIGHTING, ETC. |
| 3.2 | EXTERIOR CONCRETE WALK, UNREINFORCED | 6.3 | 1/2" WOOD SHEATHING, REFER TO STRUCTURAL DRAWINGS | 7.6 | THREE COAT 7/8" THK. EXTERIOR PLASTER SYS. AS PER IRC SECTIONS 2510 & 2512 | | | | |
| 3.3 | REINFORCED CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS. | 6.4 | 5/8" WOOD SHEATHING, REFER TO STRUCTURAL DRAWINGS | 7.7 | DRIP FLASHING. | | | | |
| 3.4 | PERIMETER EXPANSION STRIP | 6.5 | PREFABRICATED PITCHED WOOD TRUSSES, REFER TO STRUCTURAL DRAWINGS | 7.8 | 12" FIBERGLASS INSULATION | | | | |
| 3.5 | CAST CONCRETE CAP (SLOPE TOP TO DRAIN) | 6.6 | BEAM / LEDGER (REFER TO STRUCTURAL) STAINED & SEALED | 7.9 | 8" FIBERGLASS INSULATION | | | | |
| | | 6.7 | WOOD OVER BUILD ROOF FRAMING, REFER TO STRUCTURAL DRAWINGS | 7.10 | E.P.S. OR F.R.P. CORBELS. | 9.1 | 5/8" FIRECODE GYPSUM BOARD | | |
| 5.1 | STEEL ANCHOR BOLT, REFER TO STRUCTURAL DRAWINGS | 7.1 | 3 PLY BUILT UP ROOF ROOF SYSTEM. | 7.11 | CONTINUOUS FOAM CORNICE | 9.2 | SUSPENDED LAY-IN TILE CEILING SYSTEM | | |
| 5.2 | STEEL COLUMN, REFER TO STRUCTURAL DRAWINGS. | 7.2 | 22 GA. PREFINISHED METAL COPING SYSTEM. | 7.12 | CONCRETE ROOF TILE OVER 30# FELT OVER O.S.B. SHEATHING. | 9.3 | FRAMED 5/8" FIRECODE GYPSUM BOARD CEILING SYSTEM | | |
| 5.3 | ARCHITECTURAL STEEL LATTICE, REFER TO STRUCTURAL DRAWINGS | 7.3 | ROOF TO WALL & COUNTER FLASHING. | 7.13 | STONE VENEER INSTALL PER UBC SEC. 1403.07 (2) LAYERS OF GRADE-D BUILDING WRAP. | 9.4 | STEEL STUDS, REFER TO FLOOR PLANS. | | |
| | | | | 7.14 | 22 GA. PREFINISHED METAL OVERFLOW SCUPPER SYSTEM. | | | | |



APPROVED NUMBERS OR ADDRESSES SHALL
BE PROVIDED IN ACCORDANCE WITH CITY
ORDINANCE NO. 3144, CHAPTER 10.30 OF THE
LAS VEGAS MUNICIPAL CODE (VERIFY
LOCATION IN SITE PLAN)

APPROVED
BY: *John Kober*
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS

REVISED
AUG 24 2007

sheet title:
**EXTERIOR ELEVATIONS
(BUILDING TYPE C)
BUILDING 10**

Issue dates:
10/31/06
drawn by:
C.J.
checked by:
R.C.G.
project no.:

revisions:
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sheet no.
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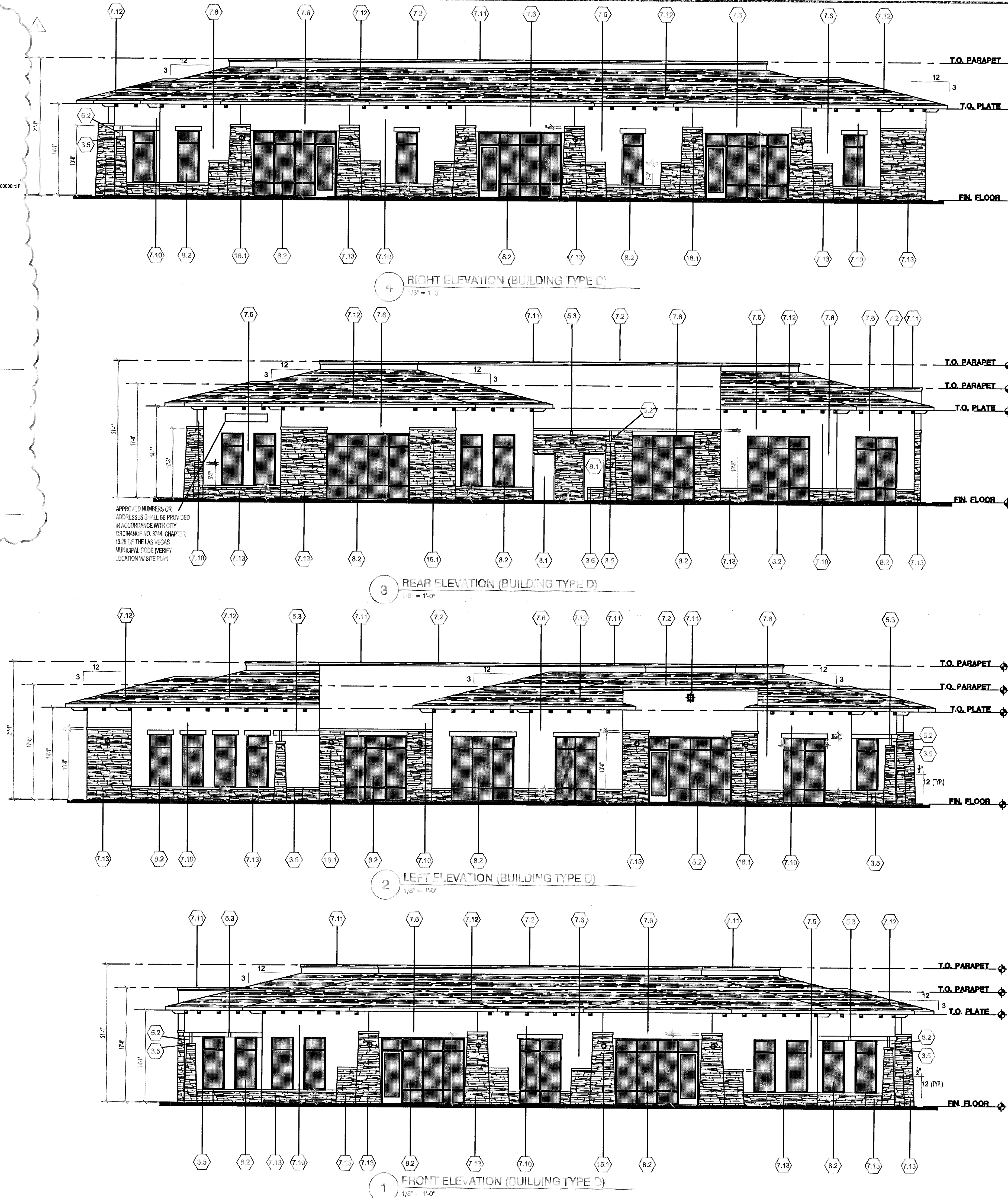
project title:
**PALISADES
BUSINESS PARK
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA**

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

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5 STONE VENEER DETAILS
NONE



KEYED NOTES:

- 2.1 COMPACTED BASE, REFER TO SOILS REPORT.
- 3.1 CONCRETE FLOOR SLAB, REFER TO STRUCTURAL DRAWINGS.
- 3.2 EXTERIOR CONCRETE WALK, UNREINFORCED.
- 3.3 REINFORCED CONCRETE FOOTING, REFER TO STRUCTURAL DRAWINGS.
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- 8.3 1/2" WOOD SHEATHING, REFER TO STRUCTURAL DRAWINGS.
- 8.4 5/8" WOOD SHEATHING, REFER TO STRUCTURAL DRAWINGS.
- 8.5 PREFABRICATED PITCHED WOOD TRUSSES, REFER TO STRUCTURAL DRAWINGS.
- 8.6 BEAM / LEDGER (REFER TO STRUCTURAL) STAINED & SEALED.
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- 7.1 3 PLY BUILT UP ROOF ROOF SYSTEM.
- 7.2 22 GA. PREFINISHED METAL COPING SYSTEM.
- 7.3 ROOF TO WALL & COUNTER FLASHING.
- 7.4 ROOF DRAINAGE CROCKET, TO DIRECT WATER FLOW TO ROOF DRAINS. REFER TO ROOF PLAN.
- 7.5 CONTINUOUS CAULKING.
- 7.6 THREE COAT 7/8" THK. EXTERIOR PLASTER SYS. AS PER IBC SECTIONS 2610 & 2612.
- 7.7 DRIP FLASHING.
- 7.8 12" FIBERGLASS INSULATION.
- 7.9 6" FIBERGLASS INSULATION.
- 7.10 E.P.S. OR P.P.P. CORBELS.
- 7.11 CONTINUOUS FOAM CORNICE.
- 7.12 CONCRETE ROOF TILE OVER 3/8" FELT OVER O.S.B. SHEATHING.
- 7.13 STONE VENEER INSTALL PER UBC SEC. 1403 OF (2) LAYERS OF GRADE D BUILDINGS WRAP.
- 7.14 22 GA. PREFINISHED METAL OVERFLOW SCUPPER SYSTEM.
- 8.1 HOLLOW METAL DOORS & FRAMES, REFER TO SCHEDULES (PAINT TO MATCH E.I.F.S.).
- 8.2 ALUMINUM STOREFRONT AND ENTRANCES, REFER TO SCHEDULES.
- 8.1 5/8" FIRECODE GYPSUM BOARD.
- 8.2 SUSPENDED LAY IN TILE CEILING SYSTEM.
- 8.3 FRAMED 5/8" FIRECODE GYPSUM BOARD CEILING SYSTEM.
- 8.4 STEEL STUDS, REFER TO FLOOR PLANS.
- 15.1 MECHANICAL DUCT WORK, EQUIPMENT, ETC.
- 15.1 ELECTRICAL LIGHTING, ETC.

APPROVED
BY *[Signature]*
CITY OF LAS VEGAS
REVISED
RECEIVED
AUG 24 2007

project title •
pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

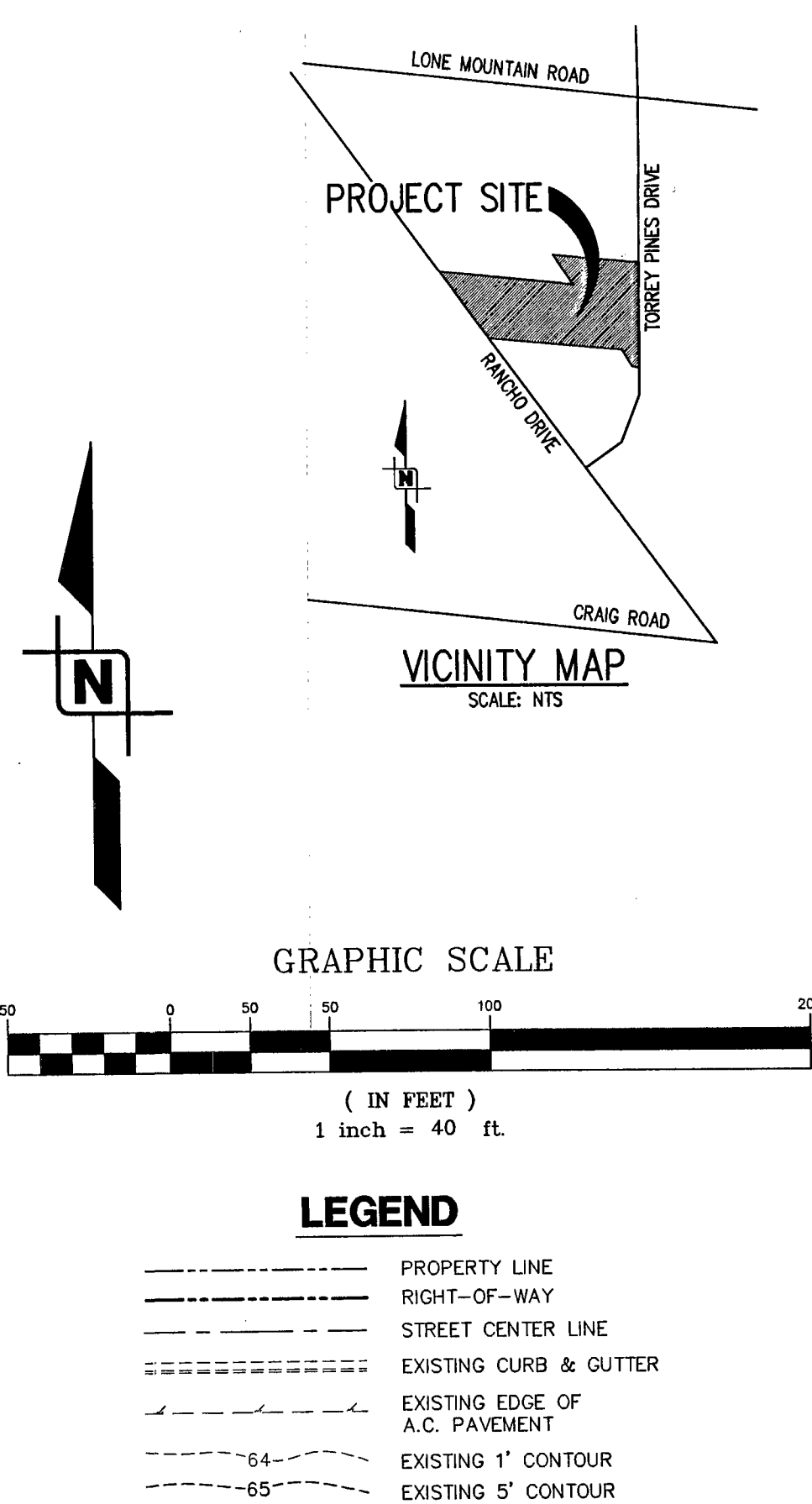
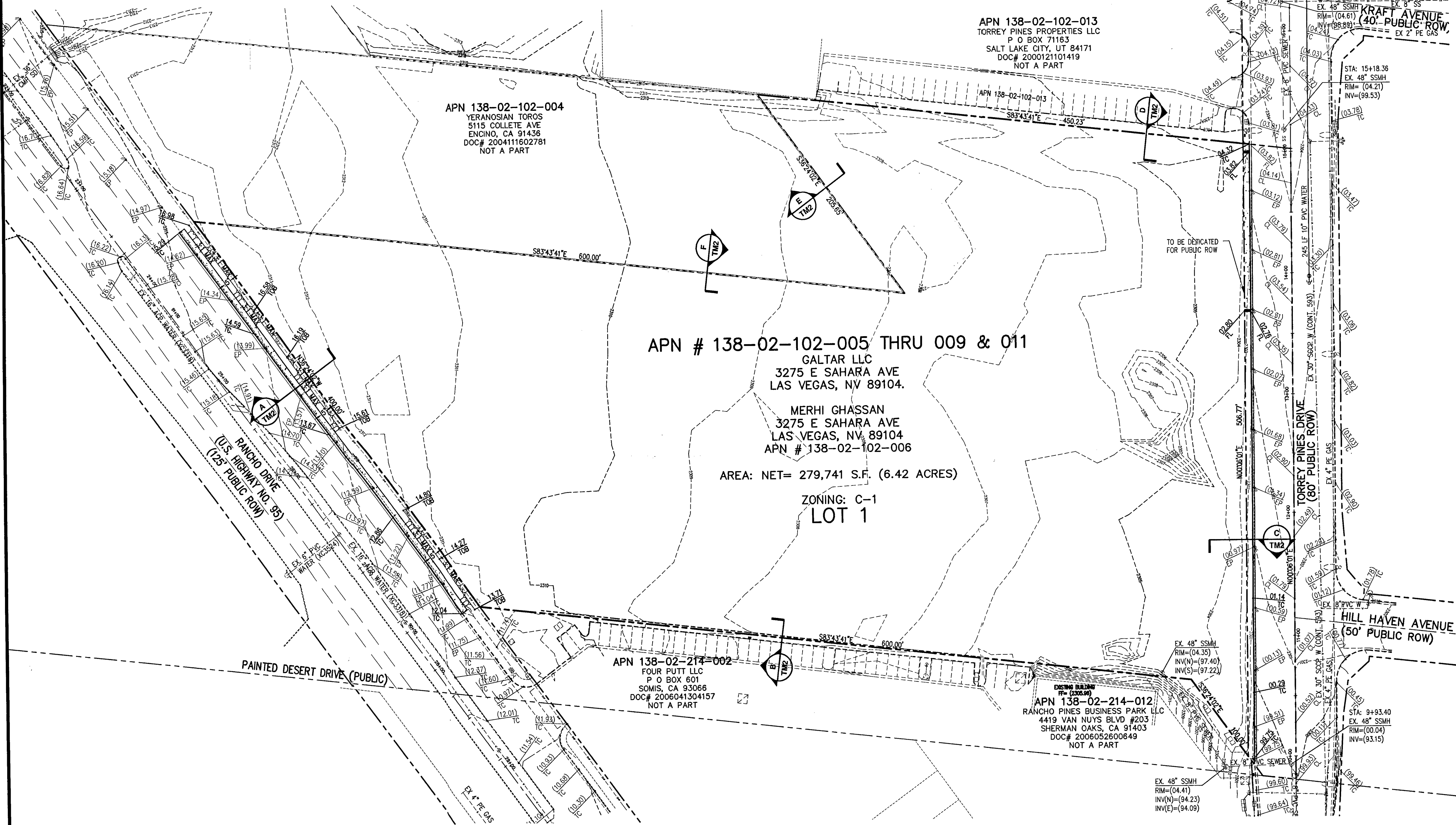
sheet title •
**PALISADES
BUSINESS PARK**
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

sheet title •
**EXTERIOR ELEVATIONS
(BUILDING TYPE D)
BUILDINGS 7 & 8**

issue dates •
10/31/06
drawn by •
C.J.
checked by •
R.C.G.
project no. •
revisions •
sheet no. **A6.04**
of sheets

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TENTATIVE MAP
OF
PALISADES BUSINESS PARK
(A COMMERCIAL SUBDIVISION)



DEVELOPER/PROPERTY OWNER
RANCHO TORREY
DEVELOPMENT, LLC
3638 NORTH RANCHO DRIVE
LAS VEGAS, NEVADA 89130
TEL (231) 382-0566
FAX (231) 839-0351

SITE DATA
APN # 138-02-102-005 THRU 009 & 011 (7.47 ACRES, GROSS)
THIS SITE IS ZONED, C-1 (GENERAL COMMERCIAL)
THE PROPOSED USE IS COMMERCIAL DEVELOPMENT

LOT DATA

50%	MAXIMUM LOT COVERAGE
10'	FRONT
10'	SIDE STREET
15'	CORNER SIDE
20'	REAR
NA	HEIGHT RESTRICTION

* REFER TO CLV TITLE 19, CHAPTER 19.08, TABLE 1

BASIS OF BEARING

NORTH 83°38'43" WEST BEING THE NORTH LINE OF THE
NORTHWEST QUARTER (NW 1/4) OF SECTION 2, TOWNSHIP 20
SOUTH, RANGE 60 EAST, M.D.M. ALSO BEING THE CENTERLINE
OF LONE MOUNTAIN ROAD AS MEASURED WITH THE WRIGHT
ENGINEERS LOCAL GROUND COORDINATE SYSTEM.

SAME LINE FURTHER DESCRIBED AS NORTH 83°40'36" WEST,
AS SHOWN ON THAT CERTAIN PLAT MAP RECORDED AS
RANCHO PINES COMMERCIAL SUBDIVISION IN BOOK 105, PAGE
58, ON FILE IN THE OFFICE OF THE RECORDER, CLARK
COUNTY, NEVADA.

LEGAL DESCRIPTION

BEING A PORTION OF GOVERNMENT LOT 3 OF SECTION 02,
TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M. CITY OF LAS
VEGAS, NEVADA.

BENCHMARK

BENCHMARK NO.: 51000 2N6
RIVET AND PLATE IN TOP OF CURB @
NE CORNER OF TORREY PINES AND SIERRA PINES CT.
ELEVATION = 700.7665 METERS
(2299.10 U.S. SURVEY FEET) NAVD83 DATUM

METERS X $\frac{3937}{1200}$ = U.S. SURVEY FEET
1. THE ELEVATIONS SHOWN HEREON ARE BASED ON FEET.

SEWER CONTRIBUTION CALCULATIONS

* AVERAGE USAGE FOR COMMERCIALS (BASED ON LAND USE FOR
PLANNING PURPOSE AT CDRD) = 3250 GALLONS/DAY/ACRE

TOTAL AVERAGE FLOW = 6,254 GPD (FOR ALL 10 BUILDINGS)
TOTAL PEAK FLOW = 20,424 GPD (FOR ALL 10 BUILDINGS)

UTILITY DATA

UTILITY	UTILITY NAME
ELECTRICITY	NEVADA POWER
WATER	LAS VEGAS VALLEY WATER DISTRICT
SEWER	CLARK COUNTY WATER RECLAMATION DISTRICT
TELEPHONE	SPRINT OF NEVADA
CABLE T.V.	COX COMMUNICATION LAS VEGAS INC.

BY:
TO BE DETERMINED BY NEVADA POWER
EX. 30" SCOP WATER IN TORREY PINES DRIVE & EX. 16"
ACP WATER IN RANCHO DRIVE. PROPOSED 10" PVC WATER IN TORREY PINES
EX. 8" PVC SEWER LINE RANCHO & TORREY PINES. PROPOSED 8"
PVC SEWER IN TORREY PINES
TO BE DETERMINED BY SPRINT OF NEVADA
TO BE DETERMINED BY COX COMMUNICATIONS

* NO PUBLIC DEDICATIONS OR RESERVATION
FOR PARKS, SCHOOLS, OTHER PUBLIC OR
QUASI-PUBLIC USES

WRIGHT
client driven
7425 PEAK DRIVE LAS VEGAS,
NEVADA 89128
P 702.933.3333
WRIGHTENGINEERS.COM
LAS VEGAS :: IRVINE :: PHOENIX :: SACRAMENTO

RANCHO TORREY DEVELOPMENT, LLC 3638 NORTH RANCHO DRIVE LAS VEGAS, NEVADA 89130 TEL (702) 382-0566 FAX (702) 839-0351	CHECK NO. 1 DATE: 1/17/08	CHECK NO. 2 DATE: 1/17/08	REVISION
RANCHO TORREY DEVELOPMENT, LLC PALISADES BUSINESS PARK	TENTATIVE MAP		
DATE: 1/17/07	DRAWN BY: J.B.	PROJECT MGR: JDO	PROJECT NO: CN061208
SCALE: 1"=50'			
RECEIVED JAN 19 2007			
SHEET TM1 1 OF 2 SHEETS DRAWING NO.			

TMP-19299 3/8/07 PC or approved E-mail Action

RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

**PALISADES
BUSINESS PARK**
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

COVER SHEET & INDEX

issue dates :
10/31/06

drawn by :
C.J.

checked by :
R.C.G.

project no. :

Revisions :
1 6/9/07

APPROVED

Mr. Kerk

PLANNING DIVISION
OF LAS VEGAS

of

SHEET INDEX

- THESE DRAWINGS AND COPIES THEREOF ARE LEGAL INSTRUMENTS OF SERVICE FOR THE USE OF THE OWNER AND AUTHORIZED AGENTS, ON THE DESIGNATED PROPERTY ONLY.
2. EACH TRADE SHALL BE RESPONSIBLE FOR KNOWLEDGE OF RELATIVE INFORMATION CONTAINED IN THESE DOCUMENTS AND THE CONDITIONS UNDER WHICH HE WILL BE EXPECTED TO PERFORM.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CAREFULLY AND THOROUGHLY EXAMINE THE PROJECT SITE, FIELD VERIFY ALL CONDITIONS, GRADES, ELEVATIONS AND DIMENSIONS OF THE VARIOUS FEATURES OF THE PROJECT SITE AND SHALL COMPARE THE DRAWINGS WITH THE EXISTING SITE CONDITIONS, DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING, BEFORE BEGINNING WORK.
4. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL REVIEW AND THOROUGHLY EXAMINE AND FAMILIARIZE THEMSELVES WITH ALL ELEMENTS AND CONDITIONS IN THE CONTRACT DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS. ANY DISCREPANCIES AND/OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT, IN WRITING, BEFORE BEGINNING WORK.
5. ALL CONSTRUCTION, FABRICATION AND INSTALLATIONS SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF THE I.B.C., U.F.C., U.M.C., U.P.C., N.E.C. & ANY FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES OF THE GOVERNING AGENCY HAVING JURISDICTION OVER THE PROJECT, SUCH APPLICABLE CODES, ETC. ARE THOSE WHICH ARE IN EFFECT AT THE TIME THE PERMIT APPLICATION FOR THE PROJECT IS RECORDED.
6. EACH SUB-CONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD/TRADE AND SHALL, (BEFORE SUBMISSION OF BID OR PERFORMANCE OF WORK) NOTIFY THE GENERAL CONTRACTOR AND THE DEVELOPER, IN WRITING, OF ANY WORK CALLED OUT ON THE DRAWINGS OR IN THE SPECIFICATIONS WHICH CANNOT BE FULLY GUARANTEED OR CONSTRUCTED AS DESIGNED AND/OR DETAILED.
7. DUE TO REPOGRAPHIC PROCESSES, THESE PLANS MAY NOT BE ACCURATE TO SCALE. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN AND IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, ELEVATIONS OR DETAILS.
8. THE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE VARIOUS DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
9. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSTALLATION OR SPECIAL MANUFACTURING EQUIPMENT NOT SHOWN IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY EQUIPMENT LOCATIONS WITH THE OWNER'S REPRESENTATIVE AND/OR EQUIPMENT MANUFACTURER PRIOR TO FORMING THE SLAB FOR PROPER SIZE AND LOCATION OF FOUNDATION DEPRESSIONS, DRAINS, AND WARPS.
10. UNLESS OTHERWISE NOTED, MANUFACTURER'S ITEMS SHALL BE PROVIDED. CONTRACTOR SHALL VERIFY ANY SUBSTITUTIONS WITH THE OWNER AND ARCHITECT PRIOR TO BID AND/OR INSTALLATION.
11. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR FIRST CLASS WORK; FOR THE TRADE INVOLVED THE DEVELOPER SHALL BE NOTIFIED IMMEDIATELY, IN WRITING, OF ANY ALTERNATE NON-STANDARD OR UNTESTED METHOD(S) PROPOSED.
12. ALL EXISTING UTILITIES OR STRUCTURES ARE INDICATED ON THESE PLANS BASED ON INFORMATION OF RECORD. THE CONTRACTOR SHALL TAKE PRE-CAUTIONARY MEASURES TO PROTECT THE UTILITY LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DUE TO HIS FAILURE TO LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.
13. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE ENFORCEMENT OF ALL REQUIREMENTS AND REGULATIONS AND SHALL PERFORM ALL WORK ON THIS PROJECT IN COMPLIANCE WITH THE STATE OF NEVADA OCCUPATIONAL SAFETY AND HEALTH ACT.
14. INTERIOR FINISH SHALL COMPLY WITH U.F.C. APPENDIX V1-C AND I.B.C.
15. MATERIALS TO BE USED SHALL BE OF FIRST QUALITY. THE WORKER SHALL BE PERFORMED BY SKILLED MECHANICS IN A WORKMANLIKE MANNER.
16. CLEAN, PATCH AND/OR REPAIR ALL SURFACES DAMAGED BY DEMOLITION OR ALTERATION OF WORK AS REQUIRED.
17. CONTRACTOR SHALL PICK-UP AND PAY FOR ANY PERMITS NOT PROVIDED BY THE BUILDING OWNER.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS FROM THE BUILDING PREMISES. BUILDING TRASH RECEPTACLES ARE NOT TO BE USED FOR CONSTRUCTION DEBRIS.
19. ALL EXISTING WALL SHALL BE FINISHED AS NECESSARY FOR SPECIFIED INTERIOR FINISH APPLICATION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ANY "BUILDING STANDARD" FIXTURES AND FINISHES IN ADDITION TO THOSE NOTED ON PLAN.
21. CONTRACTOR SHALL INSTALL REQUIRED FIRE ALARM SYSTEM, PER LOCAL CODES (IF REQUIRED)
22. EXIT SIGNAGE SHALL BE PROVIDED AS REQUIRED BY BUILDING DEPARTMENT.
23. ALL EQUIPMENT & FURNISHINGS SHALL BE AS NOTED, ELSE N.I.C.
24. INSTALL THE APPROVED AND/OR COVENANTAL AND/OR DESIGNATED SIGNAGE

OWNER

ARCHITECT

PACIFIC DESIGN CONCEPTS
3005 HORIZON DR. STE. 200
HENDERSON, NEVADA 89052
CONTACT: RICHARD GALLEGOS

(702) 524-0054 CELL
(702) 454-5842
(702) 454-7842 FAX

STRUCTURAL ENGINEER:

CZ ENGINEERING
3571 RED ROCK ST. SUITE A
LAS VEGAS, NEVADA 89103
CONTACT: CHAD

(702) 367-6725
(702) 367-2727 FAX

MECHANICAL DESIGN BUILD

HAL MECHANICAL
3685 ROCKBOTTOM ST.
NORTH LAS VEGAS, NEVADA 89030
CONTACT: ROCK HALVERSON

(702) 362-7533
(702) 362-7991 FAX

PLUMBING DESIGN BUILD

DONE RIGHT PLUMBING
3872 RAYMERT DRIVE
LAS VEGAS, NEVADA 89121
CONTACT: DAVID P. BOLD

(702) 642-5352
(702) 642-1546 FAX

ELECTRICAL ENGINEER:

ECE
LAS VEGAS, NEVADA
CONTACT: ED CATMULL JR. P.E.

(702) 302-3455
(702) 247-9407 FAX

CONFORMANCE CODES:

2003 I.B.C. W/ MODIFING ORDINANCE 5536
2000 U.M.C. W/ MODIFING ORDINANCE 5528
2000 U.P.C. W/ MODIFING ORDINANCE 5526
2003 U.F.C. W/ MODIFING ORDINANCE 5667
2002 N.E.C. W/ MODIFING ORDINANCE 5527
2003 E.C.C. W/ MODIFING ORDINANCE 5766
ICC/ANSI A117.1-1998

ALL LOCAL GOVERNING AGENCIES
& ALL CITY OF LAS VEGAS CODE AMENDMENTS

VICINITY MAP

PROJECT
LOCATION

NORTH

LS.04 G1.02	WITNESS LINE AND ENVELOPE COMPLIANCE
C1	COVER SHEET
N1	NOTE SHEET
HC1	HORIZONTAL CONTROL-TRAFFIC & FIRE ACCESS PLAN 1
HC2	HORIZONTAL CONTROL-TRAFFIC & FIRE ACCESS PLAN 2
GP1	GRADING PLAN 1
GP2	GRADING PLAN 2
DT1	SECTIONS & DETAILS
UT1	UTILITY PLAN 1
UT2	UTILITY PLAN 2
PP1	PLAN & PROFILE-TORREY PINES DRIVE
LS1.01	LANDSCAPE PLAN
LS1.02	IRRIGATION PLAN
AN1.01	ACCESSIBILITY REQUIREMENTS
AN1.02	ACCESSIBILITY REQUIREMENTS
AN1.03	ACCESSIBILITY REQUIREMENTS
AS1.01	ARCHITECTURAL SITE PLAN
AS2.01	SITE DETAILS
A1.01	FLOOR PLAN (BUILDING TYPE 'A') BUILDINGS 7 & 8
A1.02	FLOOR PLAN (BUILDING TYPE 'B') BUILDINGS 3,4,5,6 & 9
A1.03	FLOOR PLAN (BUILDING TYPE 'C') BUILDING 10
A1.04	FLOOR PLAN (BUILDING TYPE 'D') BUILDINGS 1 & 2
A2.10	DOOR SCHEDULE, DOOR TYPES & DOOR / WINDOW DETAILS
	DOOR AND WINDOW DETAILS
A2.11	WINDOW TYPES
A4.01	ROOF PLAN (BUILDING TYPE 'A') BUILDINGS 7 & 8
A4.02	ROOF PLAN (BUILDING TYPE 'B') BUILDINGS 3,4,5,6 & 10
A4.03	ROOF PLAN (BUILDING TYPE 'C') BUILDING 9
A4.04	ROOF PLAN (BUILDING TYPE 'D') BUILDINGS 1 & 2
A6.01	EXTERIOR ELEVATIONS (BUILDING TYPE 'A') BUILDINGS 7 & 8
A6.02	EXTERIOR ELEVATIONS (BUILDING TYPE 'B') BUILDINGS 3,4,5,6 & 10
A6.03	EXTERIOR ELEVATIONS (BUILDING TYPE 'C') BUILDING 9
A6.04	EXTERIOR ELEVATIONS (BUILDING TYPE 'D') BUILDINGS 1 & 2
AT.01	BUILDING SECTIONS
AT.02	BUILDING SECTIONS
AT.03	BUILDING SECTIONS
AT.11	WALL SECTIONS
AT.12	WALL SECTIONS
AT.13	WALL SECTIONS
S0.1	GENERAL STRUCTURAL NOTES
S0.2	TYPICAL DETAILS
S1.1	FOUNDATION PLAN - BLDG. A
S1.2	FOUNDATION PLAN - BLDG. B
S1.3	FOUNDATION PLAN - BLDG. C
S1.4	FOUNDATION PLAN - BLDG. D
S2.1	FRAMING PLAN - BLDG. A
S2.2	FRAMING PLAN - BLDG. B
S2.3	FRAMING PLAN - BLDG. C
S2.4	FRAMING PLAN - BLDG. D
S3.1	FOUNDATION DETAILS
S3.2	FRAMING DETAILS
S3.3	FRAMING DETAILS
M0.1	MECHANICAL PLAN (BUILDING TYPE 'A')
M0.2	MECHANICAL PLAN (BUILDING TYPE 'B')
M0.3	MECHANICAL PLAN (BUILDING TYPE 'C')
M0.3	MECHANICAL PLAN (BUILDING TYPE 'D')
P1	PLUMBING SITE PLAN
E0.01	ELECTRICAL COVER SHEET
E1.00	ELECTRICAL SITE PLAN
E1.01	PHOTOMETRIC SITE PLAN
E1.02	LOAD CALC'S AND CIRCUIT LINE'S
E2.01	BUILDING 'A' ELECTRICAL PLAN
E2.02	BUILDING 'B' ELECTRICAL PLAN
E2.03	BUILDING 'C' ELECTRICAL PLAN
E2.04	BUILDING 'D' ELECTRICAL PLAN

GENERAL NOTES:

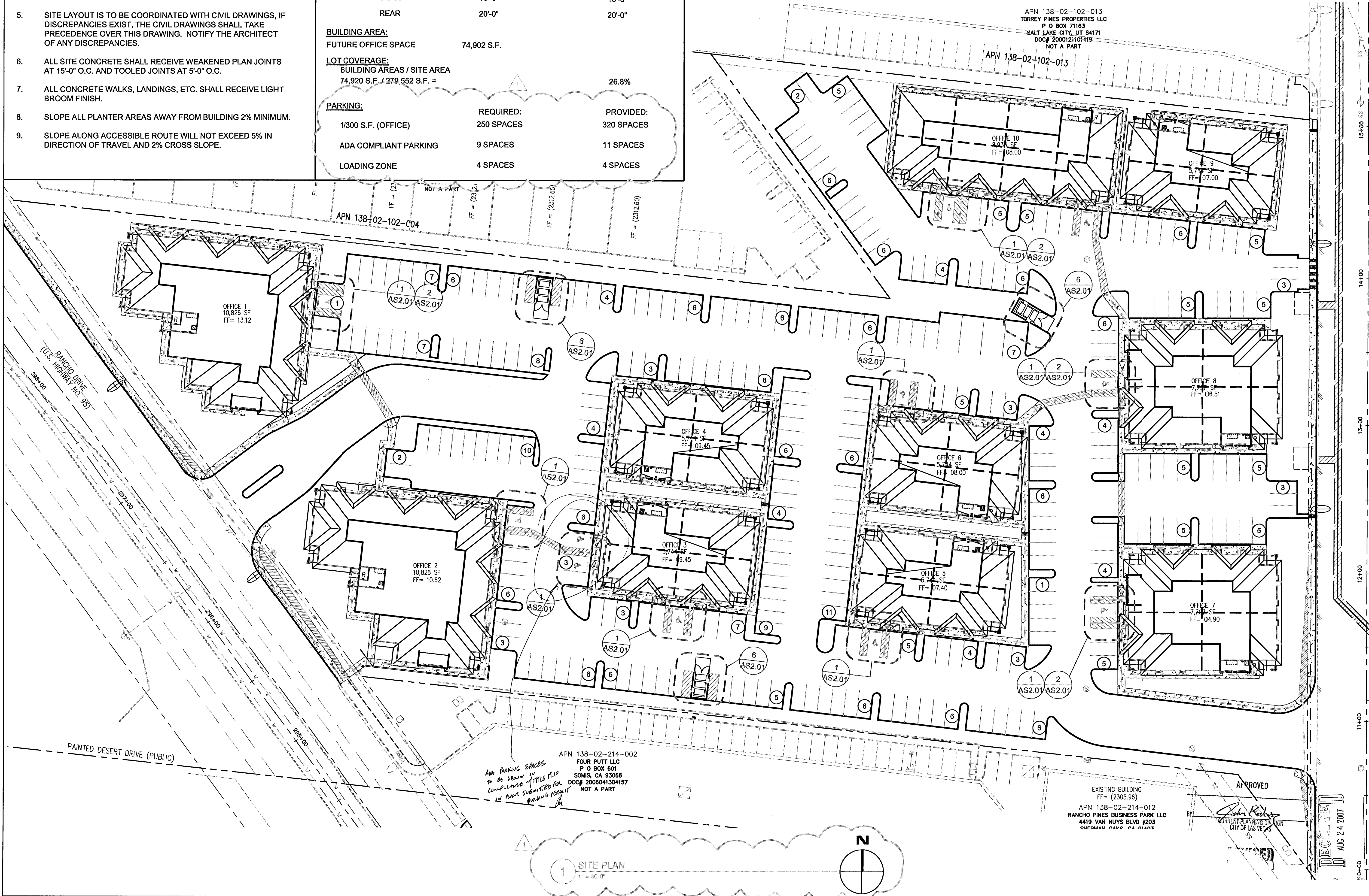
- SEE LANDSCAPE DRAWINGS FOR LANDSCAPING INFORMATION.
- SEE CIVIL DRAWINGS FOR ALL SITE LAYOUT DIMENSIONS, CURBS, GUTTERS, AND PLANTERS.
- SEE CIVIL, PLUMBING, AND ELECTRICAL DRAWINGS FOR UTILITY LINES.
- SEE CIVIL DRAWINGS FOR ALL GRADING AND DRAINAGE INFORMATION.
- SITE LAYOUT IS TO BE COORDINATED WITH CIVIL DRAWINGS, IF DISCREPANCIES EXIST, THE CIVIL DRAWINGS SHALL TAKE PRECEDENCE OVER THIS DRAWING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- ALL SITE CONCRETE SHALL RECEIVE WEAKENED PLAN JOINTS AT 15'-0" O.C. AND TOOLED JOINTS AT 5'-0" O.C.
- ALL CONCRETE WALKS, LANDINGS, ETC. SHALL RECEIVE LIGHT BROOM FINISH.
- SLOPE ALL PLANTER AREAS AWAY FROM BUILDING 2% MINIMUM.
- SLOPE ALONG ACCESSIBLE ROUTE WILL NOT EXCEED 5% IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE.

PROJECT DATA

A.P.N.:	138-02-102-005 THRU 009 & 011		
EXISTING ZONING:	C-1 & R-E		
PROPOSED ZONING:	C-1		
SITE AREA:	279,552 S.F. (6.41 ACRES)		
<u>SETBACKS:</u>	REQUIRED:	PROVIDED:	
FRONT	20'-0"	20'-0"	
SIDES	10'-0"	10'-0"	
REAR	20'-0"	20'-0"	
<u>BUILDING AREA:</u>			
FUTURE OFFICE SPACE	74,902 S.F.		
<u>LOT COVERAGE:</u>			
BUILDING AREAS / SITE AREA			26.8%
74,920 S.F. / 279,552 S.F. =			
<u>PARKING:</u>	REQUIRED:	PROVIDED:	
1/300 S.F. (OFFICE)	250 SPACES	320 SPACES	
ADA COMPLIANT PARKING	9 SPACES	11 SPACES	
LOADING ZONE	4 SPACES	4 SPACES	

FUTURE PLUMBING FIXTURES

BUILDING TYPE 'A' BUILDINGS 7 & 8	BUILDING TYPE 'C' BUILDING 10
4 TOILET RMS. W/ (1) W.C. & (1) LAV. EACH	8 TOILET RMS. W/ (1) W.C. & (1) LAV. EACH
4 SERVICE SINKS	8 SERVICE SINKS
4 BREAK RM. SINKS	8 BREAK RM. SINKS
BUILDING TYPE 'B' BUILDINGS 3,4,5,6 & 9	BUILDING TYPE 'D' BUILDINGS 1 & 2
4 TOILET RMS. W/ (1) W.C. & (1) LAV. EACH	6 TOILET RMS. W/ (1) W.C. & (1) LAV. EACH
4 SERVICE SINKS	6 SERVICE SINKS
4 BREAK RM. SINKS	



project title •
**PALISADES
BUSINESS PARK**
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

sheet title •
**ARCHITECTURAL SITE
PLAN**

issue dates •
10/31/06
drawn by •
C.J.
checked by •
R.C.G.
project no. •

revisions •
6/9/07

sheet no.
AS1.01

of sheets

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LANDSCAPE LEGEND

QTY.	BOTANICAL NAME (COMMON NAME)	SIZE	REMARKS
TREES - MEDIUM			
181	PROSOPIS (TEXAS HONEY MESQUITE)	24" BOX	STANDARD TRUNK 20'-0" APART ALONG STREET, 30'-0" APART ALONG PERIMETER
SHRUBS - LARGE			
489	CASSIA (SHRUBBY SENNA)	5 GAL. / TREE	
86	CONVOLVULUS (BUSH MORNING GLORY)	5 GAL.	
505	BACCHARIS SAROTHOIDES (DESERT BROOM)	5 GAL. / TREE	

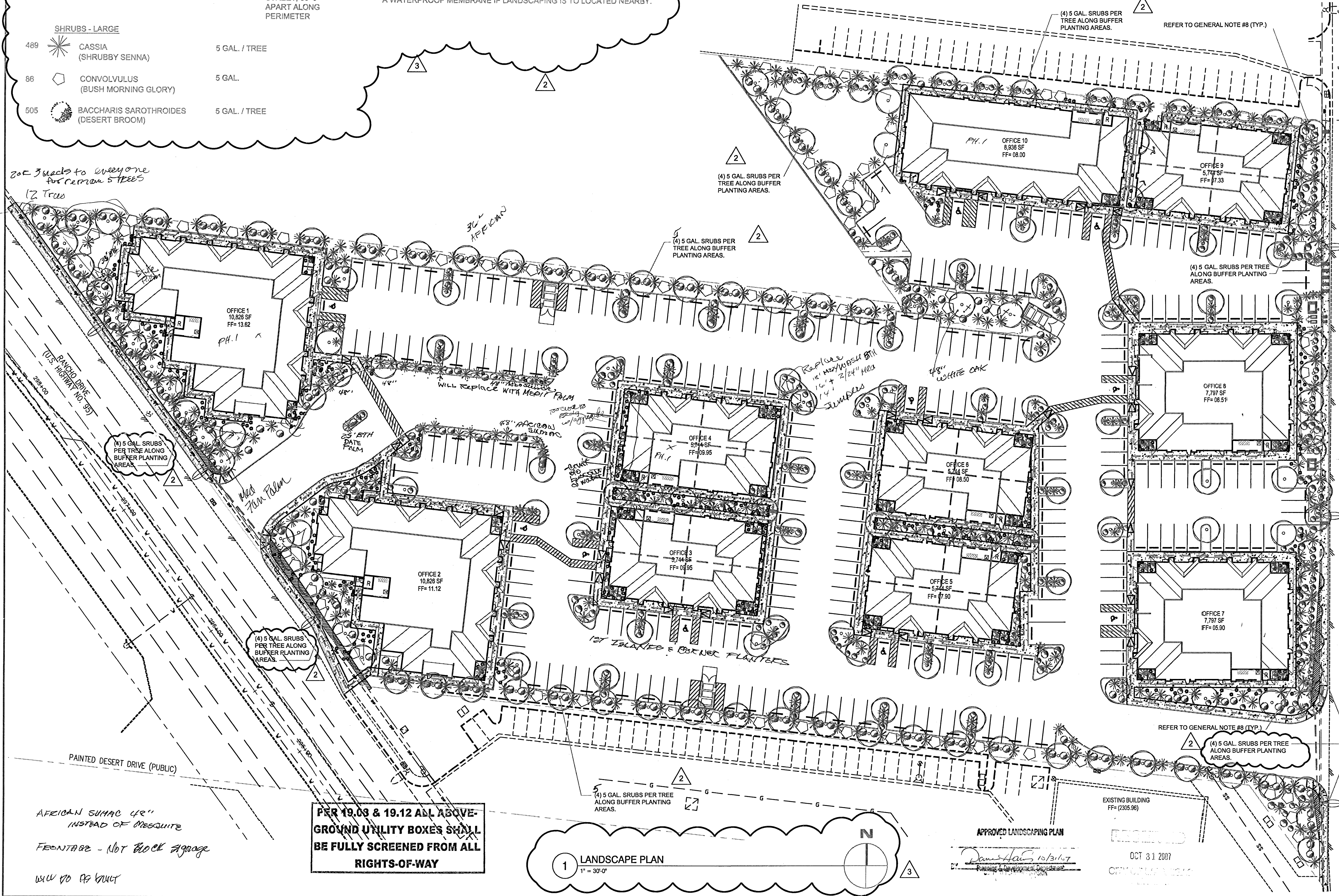
QTY.	GROUND COVER & ACCENT	
427	HESPERALOE PARVIFLORA (RED YUCCA)	1 GAL. / TREE
ALL AREAS NOT RECEIVING LIVE GROUND COVER SHALL HAVE 2" ROCK MULCH		
THE BUILDING FOUNDATION SHALL BE PROTECTED WITH A WATERPROOF MEMBRANE IF LANDSCAPING IS TO LOCATED NEARBY.		

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES.
PLANT LIST IS INTENDED AS A REFERENCE ONLY.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MAT'L. PRIOR TO
INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10% OF TOTAL
QUANTITY OF EACH SPECIES. SHOWING GENUS, SPECIES, VARIETY, ETC.
- PROVIDE MATCHING SIZES & FORMS OF LIKE SHRUB SPECIES AS
AS SHOWN ON DRAWINGS.
- DECOMPOSED GRANITE 1" MINUS, COLOR TO BE SELECTED BY OWNER,
2" DEPTH TYPICAL IN ALL PLANTING BEDS.
- SITE PLAN/LANDSCAPE PLAN DESIGNED PER ZONING REQUIREMENTS.
- ANY TREE WITHIN 5'-0" OF A SIDEWALK OR WALL SHALL BE PLANTED
W/ A ROOT SHIELD DESIGNED TO DIRECT ROOT GROWTH DOWNWARD.
- ALL UTILITY BOXES AND ABOVE GROUND INSTALLATIONS, OTHER
THAN UTIL. POLES, THAT ARE IN EXCESS OF (22) CUBIC FT. IN SIZE
SHALL HAVE A MIN. (3) FEET OF LANDSCAPING SEPARATING UTIL.
STRUCTURE AN SIDEWALK OF PUBLIC STREET. LANDSCAPE SHALL
INCLUDE TALL GRASSES & SHRUBBERY TO PROVIDE ADEQUATE
SCREENING.

20' 3' leads to everyone
for 5 trees
12 trees

Planter
Area
Mm-4



PER 19.03 & 19.12 ALL ABOVE-
GROUND UTILITY BOXES SHALL
BE FULLY SCREENED FROM ALL
RIGHTS-OF-WAY

1 LANDSCAPE PLAN
1" = 30'-0"

APPROVED LANDSCAPING PLAN

10/31/07
Planning & Development Department

EXISTING BUILDING
FF= (2305.06)

OCT 31 2007

CITY OF LAS VEGAS

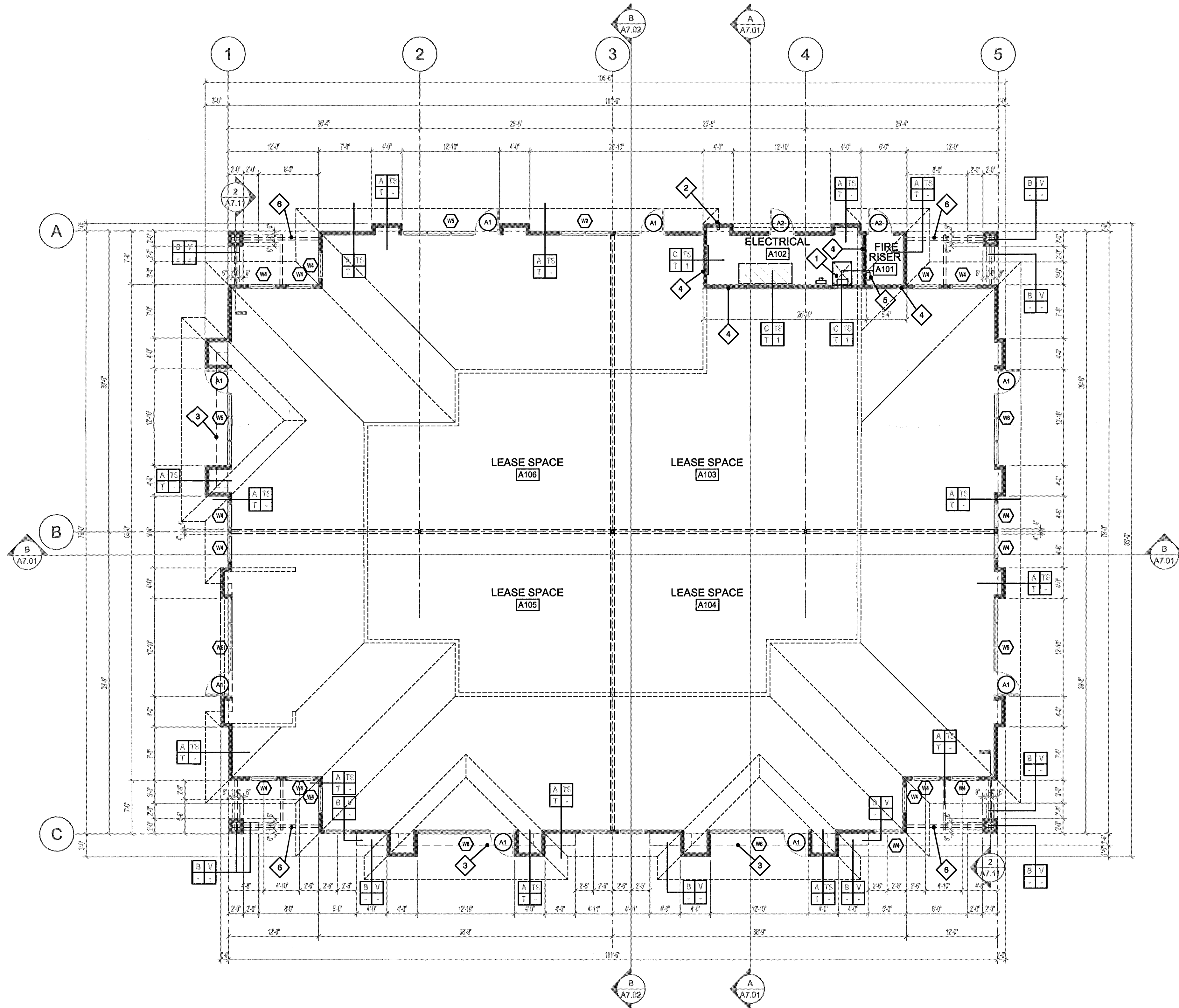
project title:
**PALISADES
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RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

project title:
**PALISADES
BUSINESS PARK**
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA



sheet title:
LANDSCAPE PLAN

issue dates:
10/31/06
drawn by:
C.J.
checked by:
R.C.G.
project no.:
revisions:
6/5/07
10/25/07
10/31/07
sheet no.:
1 LS1.01



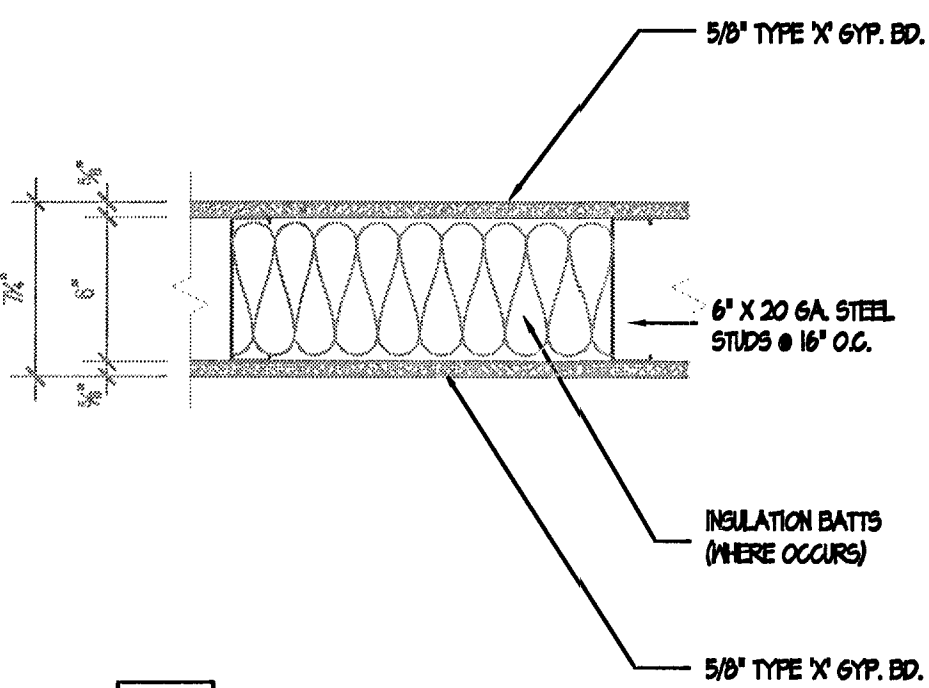
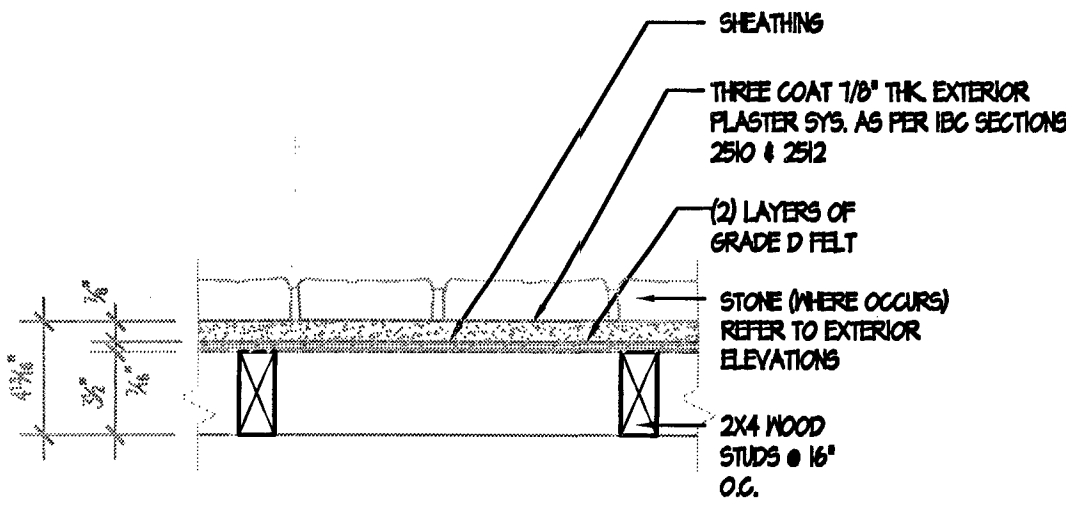
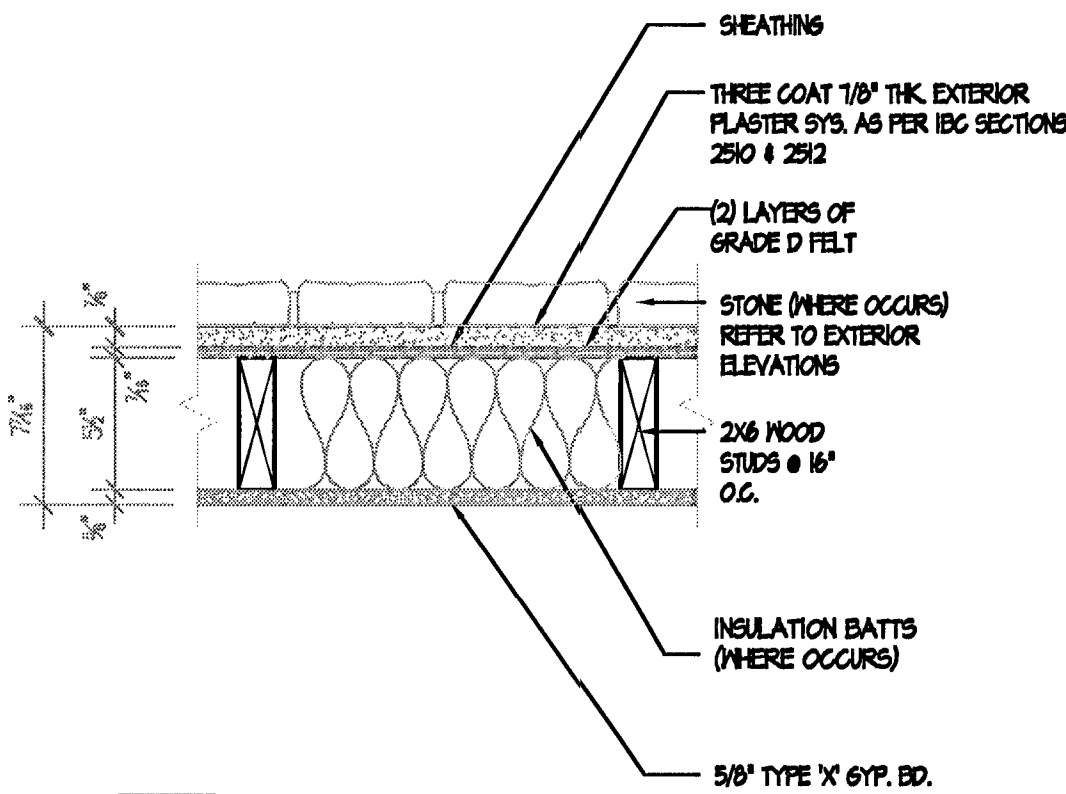
1 FLOOR PLAN (BUILDING TYPE 'A') BUILDINGS 7 & 8
1/8" = 1'-0"

GENERAL NOTES

- PAINT ALL WALL DIFFUSERS, MECH. GRILLS, ETC. TO MATCH WALL COLOR.
- ALL GYPSUM BOARD SHALL BE 5/8" TYPE X FIRECODE.
- USE W.R. GYP. BRD. AT WET LOCATIONS.
- EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CENTER LINE OF COLUMN, U.N.O.
- PROVIDE WOOD BACKING BEHIND ALL SHELF BRACKETS, DOOR STOPS, RAILS, GRAB BARS, TOILET ACCESSORIES, CASEWORK, WATER HEATERS, COUNTER SUPPORTS, CEILING MOUNTED ITEMS, EQUIPMENT, OWNER FURNISHED WALL MOUNTED EQUIPMENT, SYSTEMS FURNITURE, ETC.

KEYED NOTES

- ROOF ACCESS LADDER 2/A4.01
- ROOF DRAIN LINE
- STEPPED WALL LINE (ABOVE) REFER TO ELEVATIONS
- 1 HOUR RATED WALL ASSEMBLY
- (1) HOUR CEILING ASSEMBLY AS PER GA FILE NO. FC 5406 @ 8'-1" A.F.F. REFER TO DETAIL 2/A1.03 FIRE RISER W/ SPRINKL PIPE PENETRATION THROUGH 1 HOUR CEILING SHALL BE 2 HOUR AS PER UL DESIGN SYSTEM NO. W-L 2048
- STEEL TRELLIS SYSTEM REFER TO ROOF PLAN & EXTERIOR ELEVATIONS.



WALL TYPE LEGEND

A-H= WALL TYPE
TS = TO STRUCTURE
TD = TO DECK
00 = HEIGHT IN INCHES
T = THERMAL INSULATION
S = SOUND INSULATION
V = VERIFY (REFER TO ELEV.)

1 = 1 HR. FIRE RATED ASSEMBLY
2 = 2 HR. FIRE RATED ASSEMBLY

WALL TYPE ——— A TS ——— WALL HEIGHT
INSULATION TYPE ——— T 1 ——— FIRE RATING

GENERAL NOTES

A. STUDS OVER 16' LONG SHALL BE LVL.
B. SOUND INSULATE ABOVE ALL RESTROOM CEILINGS

REVISED

RECEIVED
AUG 24 2007

project title •
**PALISADES
BUSINESS PARK**
3005 W. HORIZON RIDGE PARKWAY, SUITE 200
HENDERSON, NEVADA 89052
(702) 454-5842 fax (702) 454-7842
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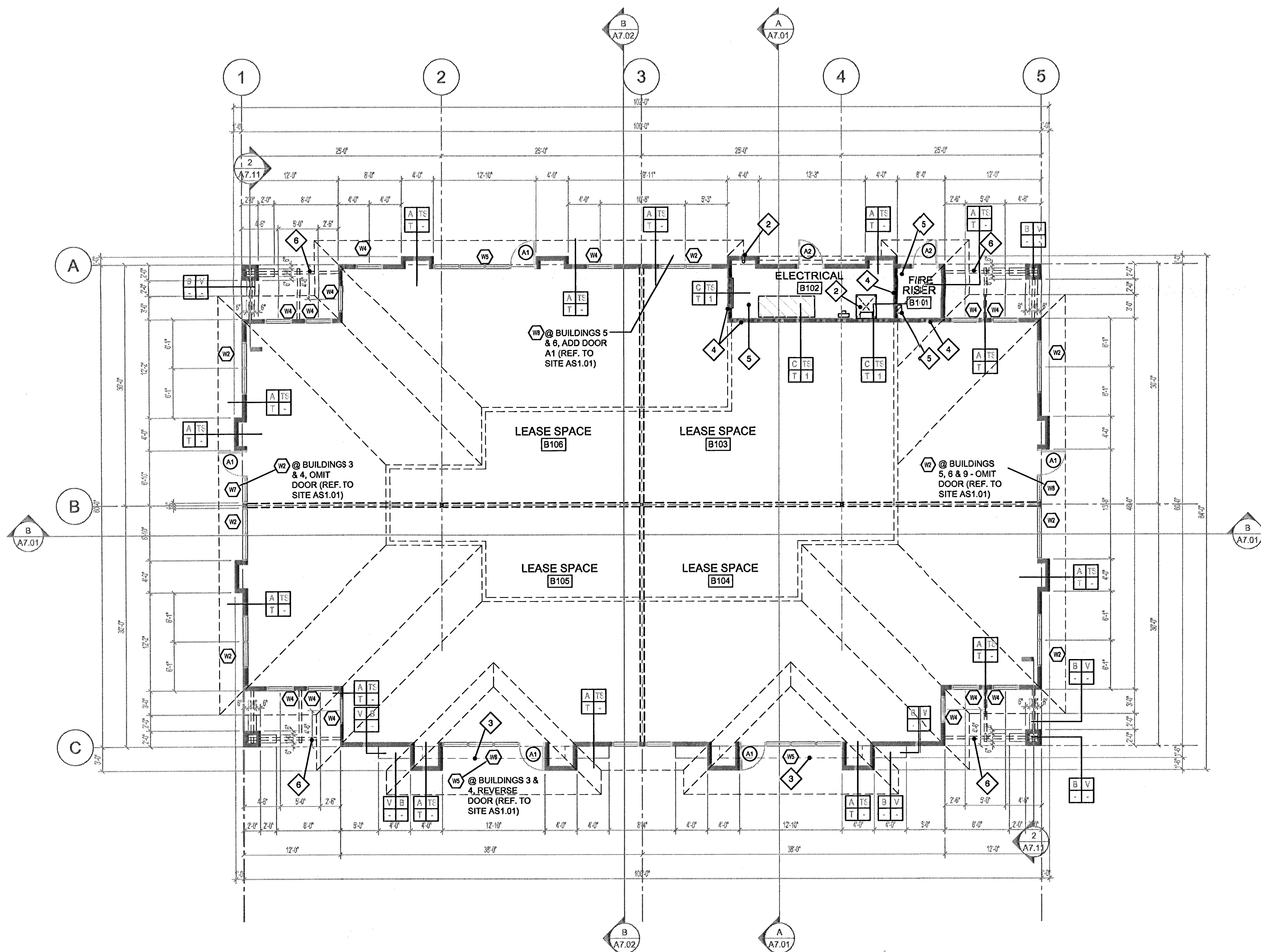
sheet title •
**FLOOR PLAN
(BUILDING TYPE 'A')
BUILDINGS 7 & 8**

Issue dates •
10/31/06
drawn by •
C.J.
checked by •
R.C.G.
project no. •

revisions •
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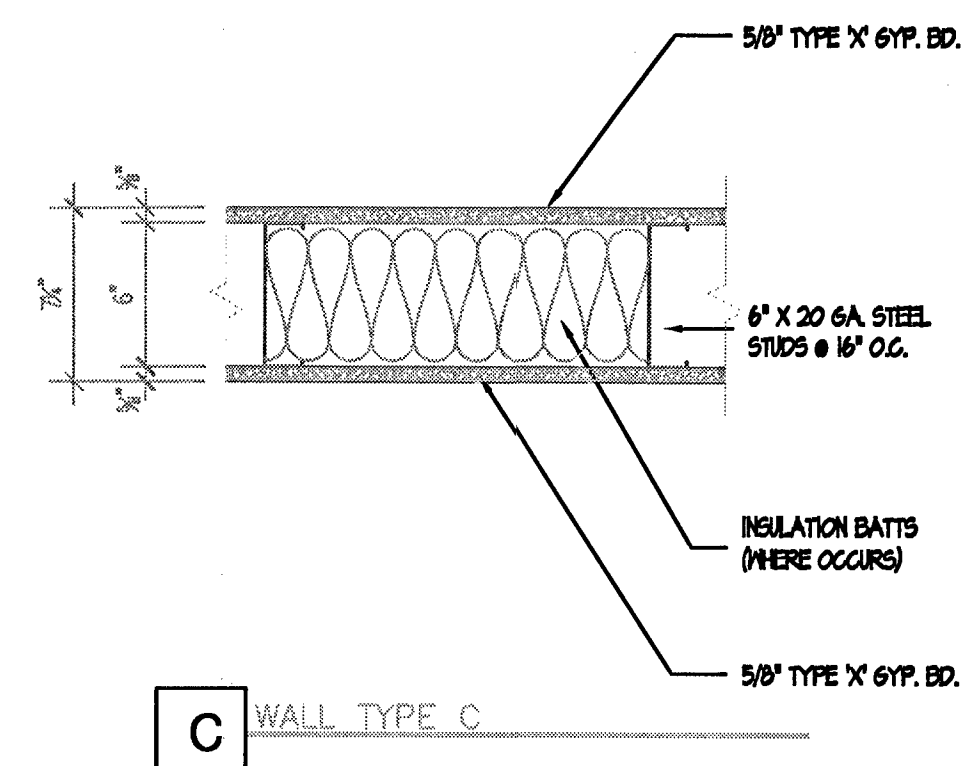
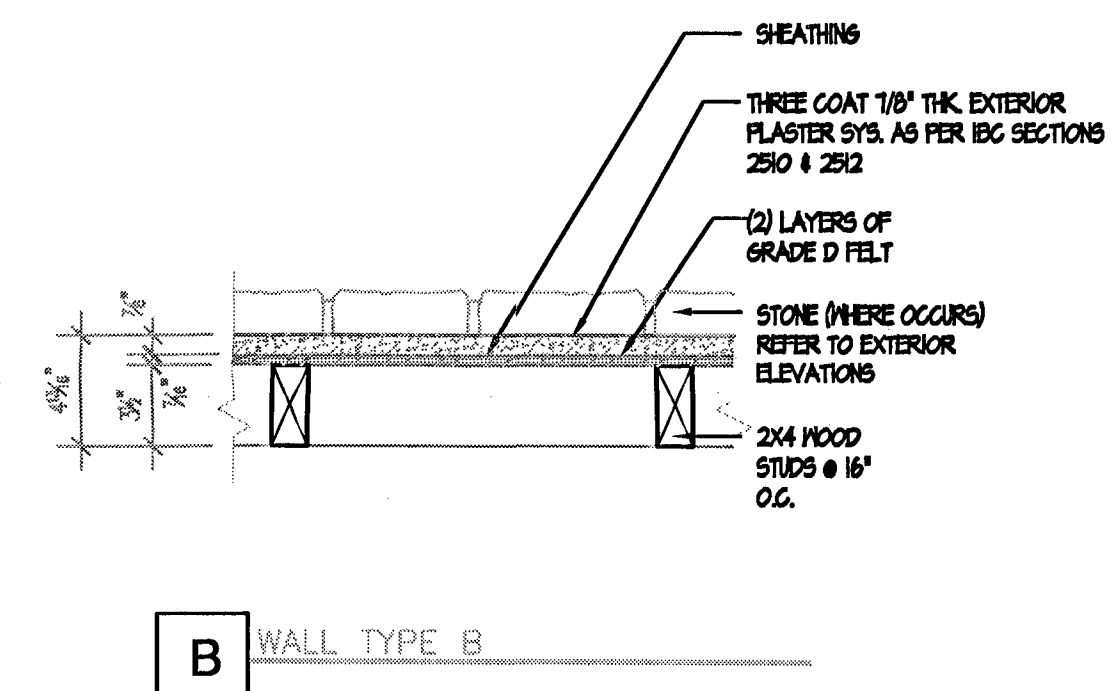
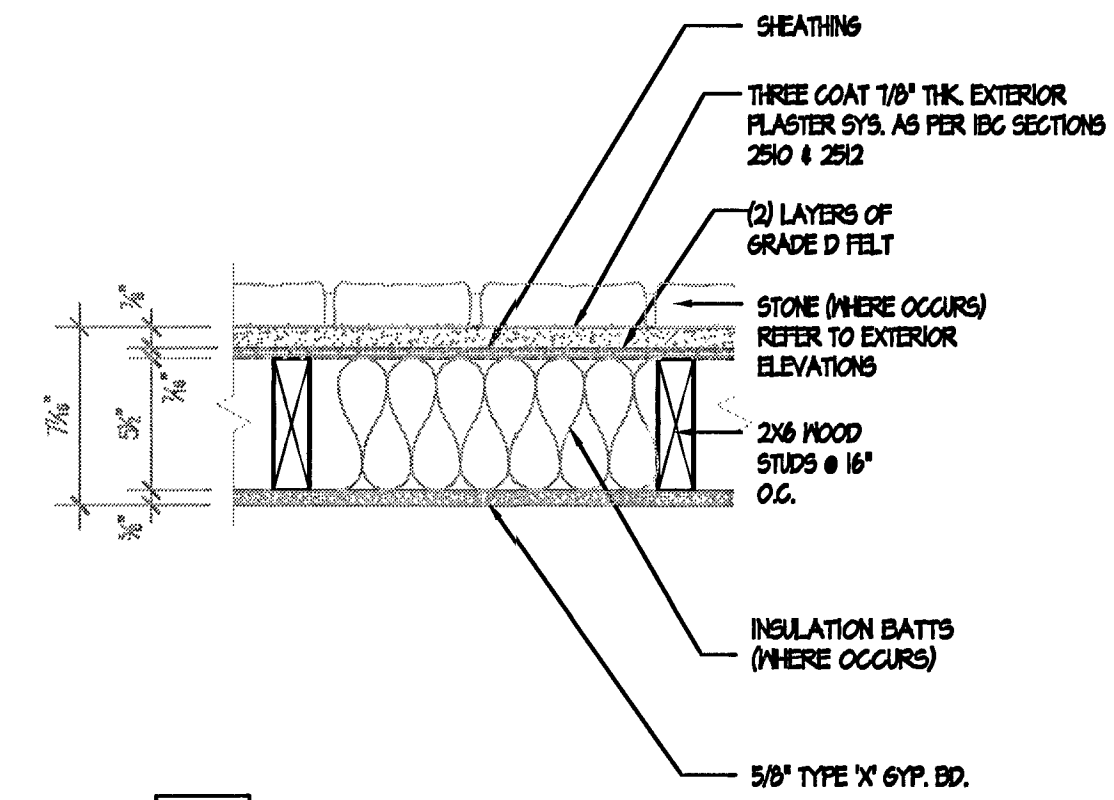
1 FLOOR PLAN (BUILDING TYPE 'B') BUILDINGS 3,4,5,6 & 9
1/8" = 1'-0"

GENERAL NOTES

- PAINT ALL WALL DIFFUSERS, MECH. GRILLS, ETC. TO MATCH WALL COLOR.
- ALL GYPSUM BOARD SHALL BE 5/8" TYPE X FIRECODE.
- USE W.R. GYP. BRD. AT WET LOCATIONS.
- EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CENTER LINE OF COLUMN, U.N.O.
- PROVIDE WOOD BACKING BEHIND ALL SHELF BRACKETS, DOOR STOPS, RAILS, GRAB BARS, TOILET ACCESSORIES, CASEWORK, WATER HEATERS, COUNTER SUPPORTS, CEILING MOUNTED ITEMS, EQUIPMENT, OWNER FURNISHED WALL MOUNTED EQUIPMENT, SYSTEMS FURNITURE, ETC.

KEYED NOTES

- ROOF ACCESS LADDER 2/A4.01
- ROOF DRAIN LINE
- STEPPED WALL LINE (ABOVE) REFER TO ELEVATIONS
- 1 HOUR RATED WALL ASSEMBLY
- (1) HOUR CEILING ASSEMBLY AS PER GA FILE NO. FC 5406 @ 8'-1" A.F.F. REFER TO DETAIL 2/A1.03 FIRE RISER W/ SPRINKL PIPE PENETRATION THROUGH 1 HOUR CEILING SHALL BE 2 HOUR AS PER UL DESIGN SYSTEM NO. W-L 2048
- STEEL TRELLIS SYSTEM REFER TO ROOF PLAN & EXTERIOR ELEVATIONS.



WALL TYPE LEGEND

A-H= WALL TYPE
TS = TO STRUCTURE
TD = TO DECK
00 = HEIGHT IN INCHES
T = THERMAL INSULATION
S = SOUND INSULATION
V = VERIFY (REFER TO ELEV.)

1 = 1 HR. FIRE RATED ASSEMBLY
2 = 2 HR. FIRE RATED ASSEMBLY

WALL TYPE: [A TS] WALL HEIGHT: [00]
INSULATION TYPE: [T] FIRE RATING: [1]

GENERAL NOTES

A. STUDS OVER 16' LONG SHALL BE LVL.
B. SOUND INSULATE ABOVE ALL RESTROOM CEILINGS

APPROVED

BY: *John Kober*
CITY OF LAS VEGAS

RECEIVED
AUG 24 2007

REVISED

project title:
**PALISADES
BUSINESS PARK**
3005 W. HORIZON RIDGE PARKWAY, SUITE 200
HENDERSON, NEVADA 89052
(702) 454-5842 FAX (702) 454-7842

sheet title:
**FLOOR PLAN
(BUILDING TYPE 'B')
BUILDINGS 3,4,5,6 & 9**

issue dates:
10/31/06
drawn by:
C.J.
checked by:
R.C.G.
project no.:

revisions:
6/9/07

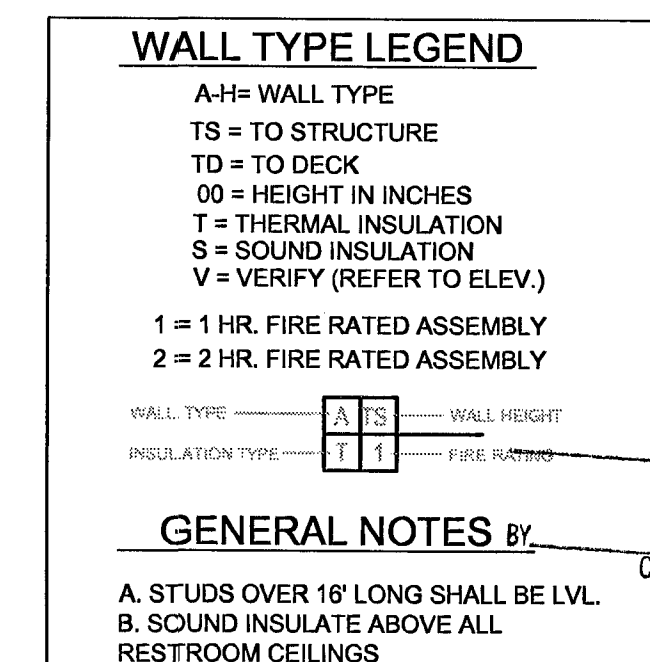
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- A. PAINT ALL WALL DIFFUSERS, MECH. GRILLS, ETC. TO MATCH WALL COLOR.
- B. ALL GYPSUM BOARD SHALL BE 5/8" TYPE X FIRECODE.
- C. USE W.R. GYP. BRD. AT WET LOCATIONS.
- D. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CENTER LINE OF COLUMN, U.N.O.
- E. PROVIDE WOOD BACKING BEHIND ALL SHELF BRACKETS, DOOR STOPS, RAILS, GRAB BARS, TOILET ACCESSORIES, CASEWORK, WATER HEATERS, COUNTER SUPPORTS, CEILING MOUNTED ITEMS, EQUIPMENT, OWNER FURNISHED WALL MOUNTED EQUIPMENT, SYSTEMS FURNITURE, ETC.

- 1 ROOF ACCESS LADDER 2/A4.01
- 2 ROOF DRAIN LINE
- 3 STEPPED WALL LINE (ABOVE) REFER TO ELEVATIONS
- 4 1 HOUR RATED WALL ASSEMBLY
- 5 (1) HOUR CEILING ASSEMBLY AS PER GA FILE NO. FC 5406 @ 8'-1" A.F.F. REFER TO DETAIL 2/A1.03 FIRE RISER W/ SPRINKL PIPE PENETRATION THROUGH 1 HOUR CEILING SHALL BE 2 HOUR AS PER UL DESIGN SYSTEM NO. W-L 2048
- 6 STEEL TRELLIS SYSTEM REFER TO ROOF PLAN & EXTERIOR ELEVATIONS.



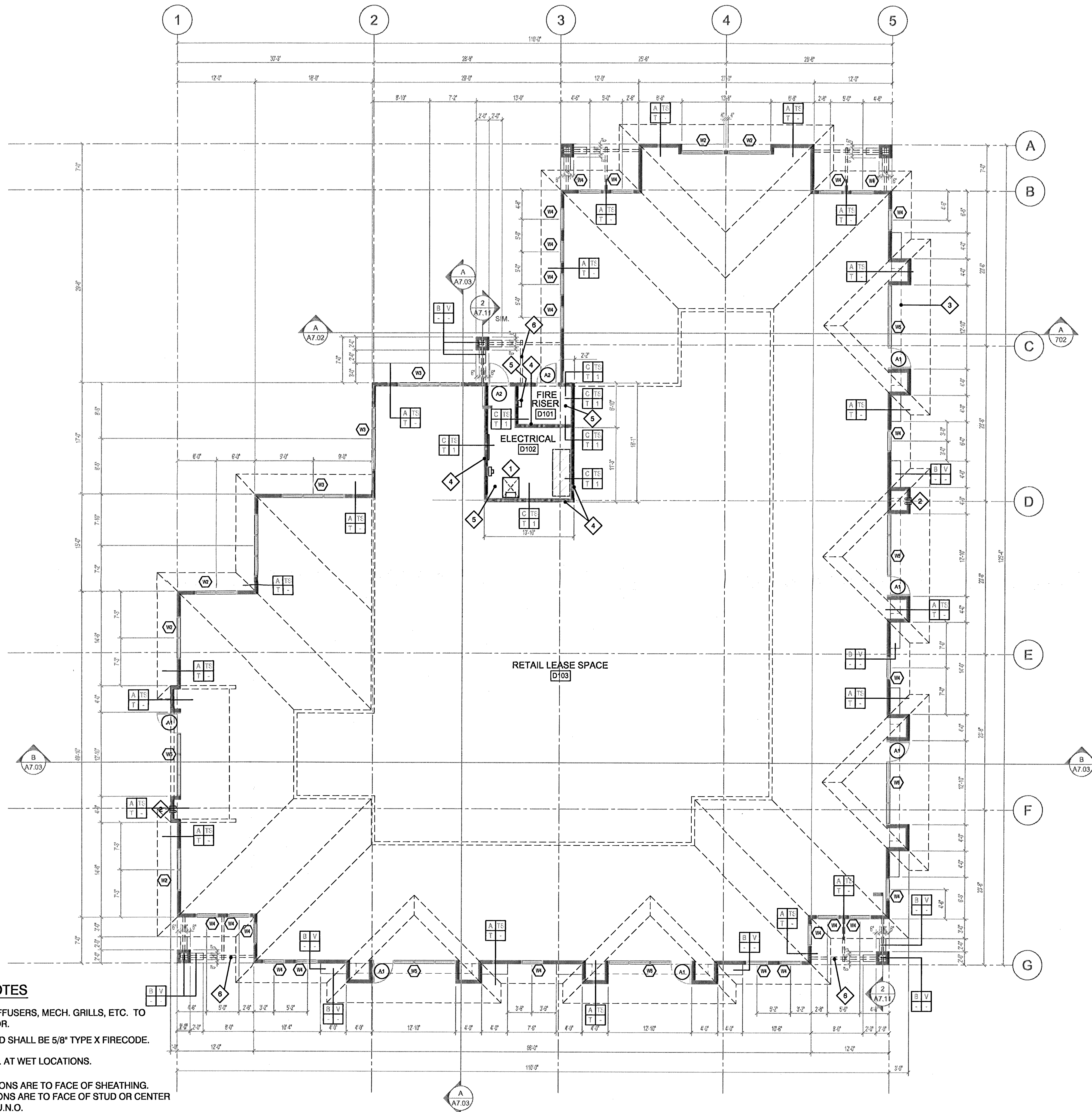
REVISE

issue dates •
10/31/06
 drawn by •
C.J.
 checked by •
R.C.G.
 project no. •

 revisions •
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 of _____ sheet _____

**PALISADES
BUSINESS PARK**
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

**FLOOR PLAN
(BUILDING TYPE 'C')
BUILDING 10**

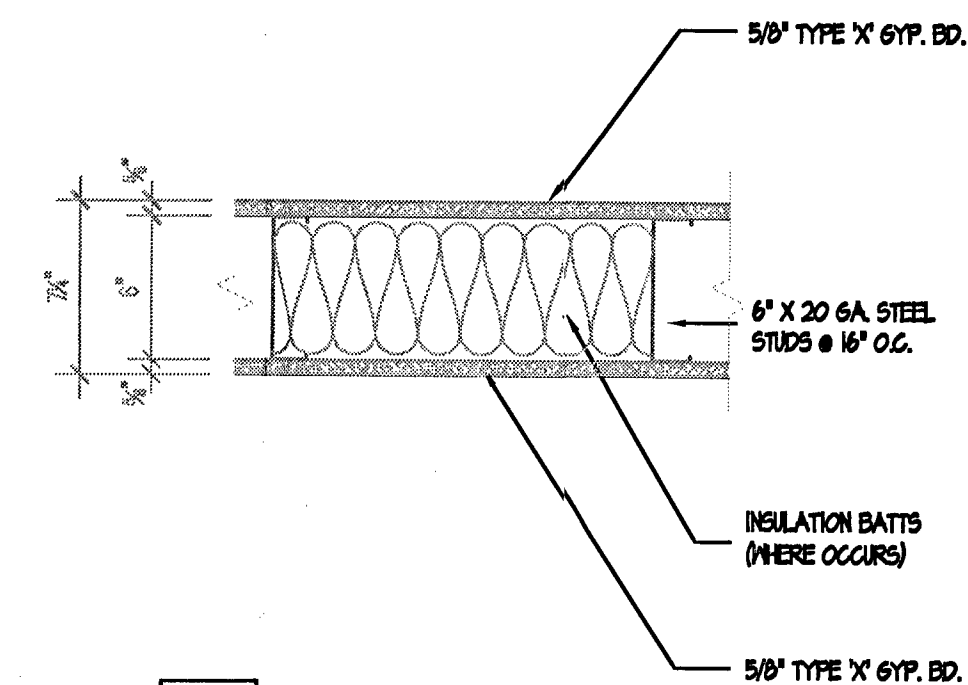
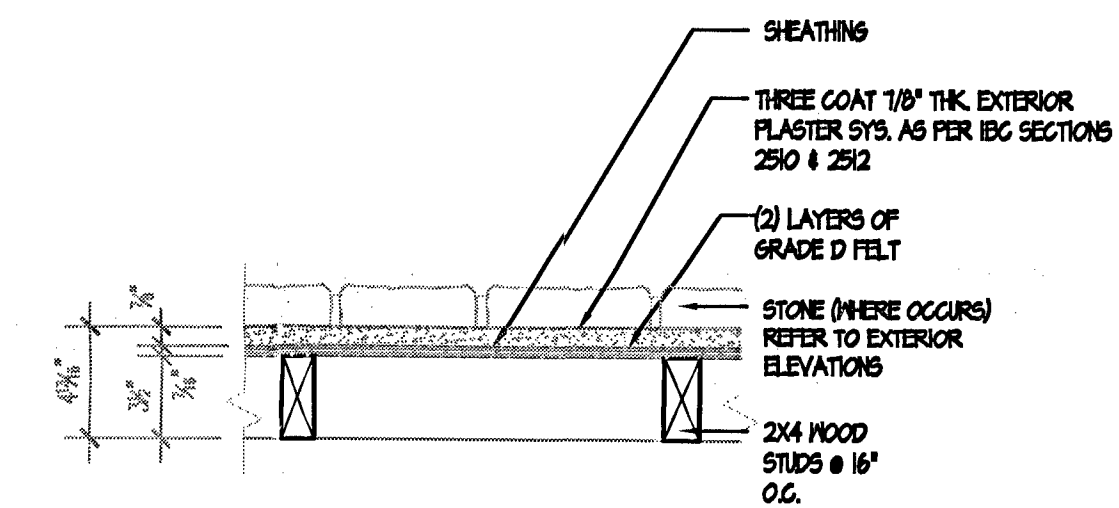
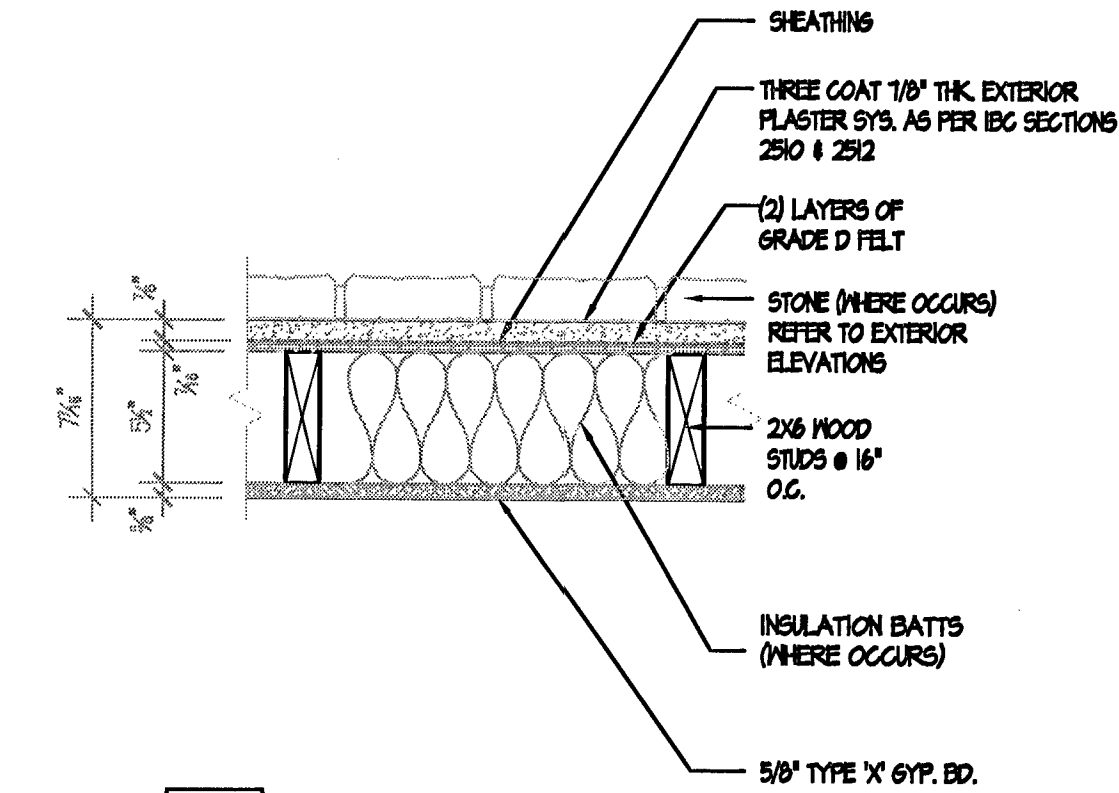


GENERAL NOTES

- PAINT ALL WALL DIFFUSERS, MECH. GRILLS, ETC. TO MATCH WALL COLOR.
- ALL GYPSUM BOARD SHALL BE 5/8" TYPE X FIRECODE.
- USE W.R. GYP. BRD. AT WET LOCATIONS.
- EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. INTERIOR DIMENSIONS ARE TO FACE OF STUD OR CENTER LINE OF COLUMN, U.N.O.
- PROVIDE WOOD BACKING BEHIND ALL SHELF BRACKETS, DOOR STOPS, RAILS, GRAB BARS, TOILET ACCESSORIES, CASEWORK, WATER HEATERS, COUNTER SUPPORTS, CEILING MOUNTED ITEMS, EQUIPMENT, OWNER FURNISHED WALL MOUNTED EQUIPMENT, SYSTEMS FURNITURE, ETC.

KEYED NOTES

- ROOF ACCESS LADDER 2/A4.01
- ROOF DRAIN LINE
- STEPPED WALL LINE (ABOVE) REFER TO ELEVATIONS
- 1 HOUR RATED WALL ASSEMBLY
- (1) HOUR CEILING ASSEMBLY AS PER GA FILE NO. FC 5406 @ 8'-1" A.F.F. REFER TO DETAIL 2/A1.03 FIRE RISER W/ SPRINKL. PIPE PENETRATION THROUGH 1 HOUR CEILING SHALL BE 2 HOUR AS PER UL DESIGN SYSTEM NO. W-L 2048
- STEEL TRELLIS SYSTEM REFER TO ROOF PLAN & EXTERIOR ELEVATIONS.



WALL TYPE LEGEND

A-H= WALL TYPE
TS = TO STRUCTURE
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1 = 1 HR. FIRE RATED ASSEMBLY
2 = 2 HR. FIRE RATED ASSEMBLY

WALL TYPE: [Symbol] WALL HEIGHT:
INSULATION TYPE: [Symbol] FIRE RATING:

GENERAL NOTES

A. STUDS OVER 16' LONG SHALL BE LVL.
B. SOUND INSULATE ABOVE ALL RESTROOM CEILINGS

APPROVED

BY: *John Kober*
CITY OF LAS VEGAS

REVISED

RECEIVED
AUG 24 2007

1 FLOOR PLAN (BUILDING TYPE 'D') BUILDINGS 1 & 2
1/8" = 1'-0"

project title •
pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

project title •
**PALISADES
BUSINESS PARK**
RANCHO AND TORREY PINES
LAS VEGAS, NEVADA

sheet title •
**FLOOR PLAN
(BUILDING TYPE 'D')
BUILDINGS 1 & 2**

issue dates •
10/31/06

drawn by •
C.J.

checked by •
R.C.G.

project no. •

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