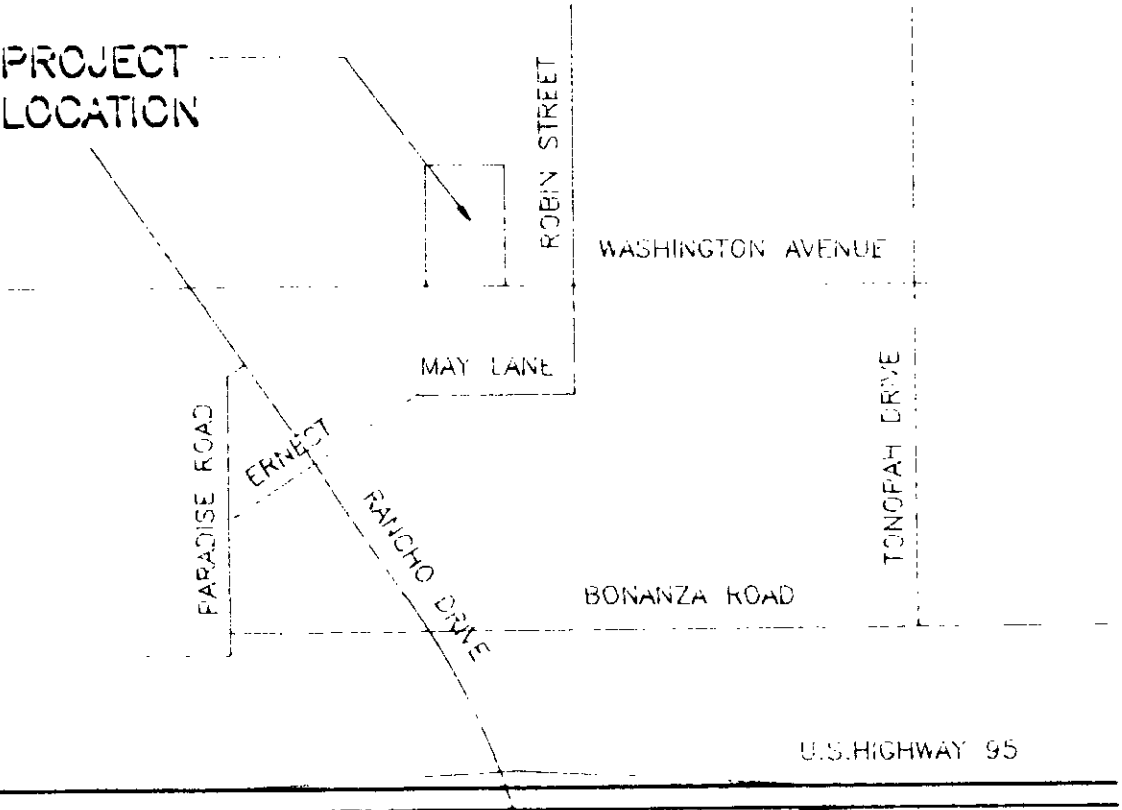


STATE OF NEVADA
DEPARTMENT OF
INDUSTRIAL RELATIONS

PROJECT DATA

OWNER:	REG BAKER & COMPANY CARE OF EDWARD F. LEON 720 SOUTH FOURTH STREET SUITE 301 LAS VEGAS, NEVADA 89101
MAP PREPARER:	ELVIN DEE CRAMER ARCHITECT 1818 INDUSTRIAL ROAD SUITE 107 LAS VEGAS, NEVADA 89102
DATE OF PREPARATION:	AUGUST 25, 1998
ASSESSORS PARCEL NUMBERS:	129-29-610-001, 139-29-601-003, 139-29-601-004
EXISTING LOTS SIZE:	2.849 ACRES OR 124,090 SQUARE FEET
PROPOSED ADDITIONAL LOT SIZE:	1.772 ACRES OR 77,188 SQUARE FEET
TOTAL LOT SIZE:	4.621 ACRES OR 201,278 SQUARE FEET
PROPOSED OFFICE:	12,060 SQUARE FEET
EXISTING OFFICE:	18,000 SQUARE FEET
TOTAL OFFICE:	30,060 SQUARE FEET
TOTAL LOT SIZE FLOOR AREA RATIO:	15 PERCENT COVERAGE -- 35 PERCENT ALLOWED
C1 LOTS FLOOR AREA RATIO:	24 PERCENT COVERAGE -- 50 PERCENT ALLOWED
TOTAL PARKING REQUIRED:	101 STALLS
TOTAL PARKING PROVIDED:	230 STALLS
EXTRA PARKING PROVIDED:	14 STALLS
TOTAL HANDICAP PARKING REQUIRED:	5 STALLS
PARKING STALL:	9' X 18' MINIMUM
HANDICAP PARKING STALL:	9' X 16' WITH 5' SPACE AT SIDE, 8' AT VAN STALL
PARKING DRIVE WIDTH:	24' WITH 90 DEGREE PARKING
	20' TWO-WAY WITHOUT PARKING
	12' ONE-WAY WITHOUT PARKING
EXISTING STRUCTURES:	4 OFFICE BUILDINGS
OCCUPANCY GROUP:	B
TYPE OF CONSTRUCTION:	V-N
BUILDING HEIGHT:	NO HEIGHT RESTRICTION - SEE ELEVATIONS
AUTOMATIC FIRE SPRINKLER:	NONE REQUIRED
SMOKE CONTROL:	PER UNIFORM BUILDING CODE
SEISMIC:	2B
STRUCTURAL LOADS:	PER UNIFORM BUILDING CODE
HANDICAP ACCESS:	AS SHOWN ON SITE AND FLOOR PLANS



VICINITY MAP
NOT TO SCALE

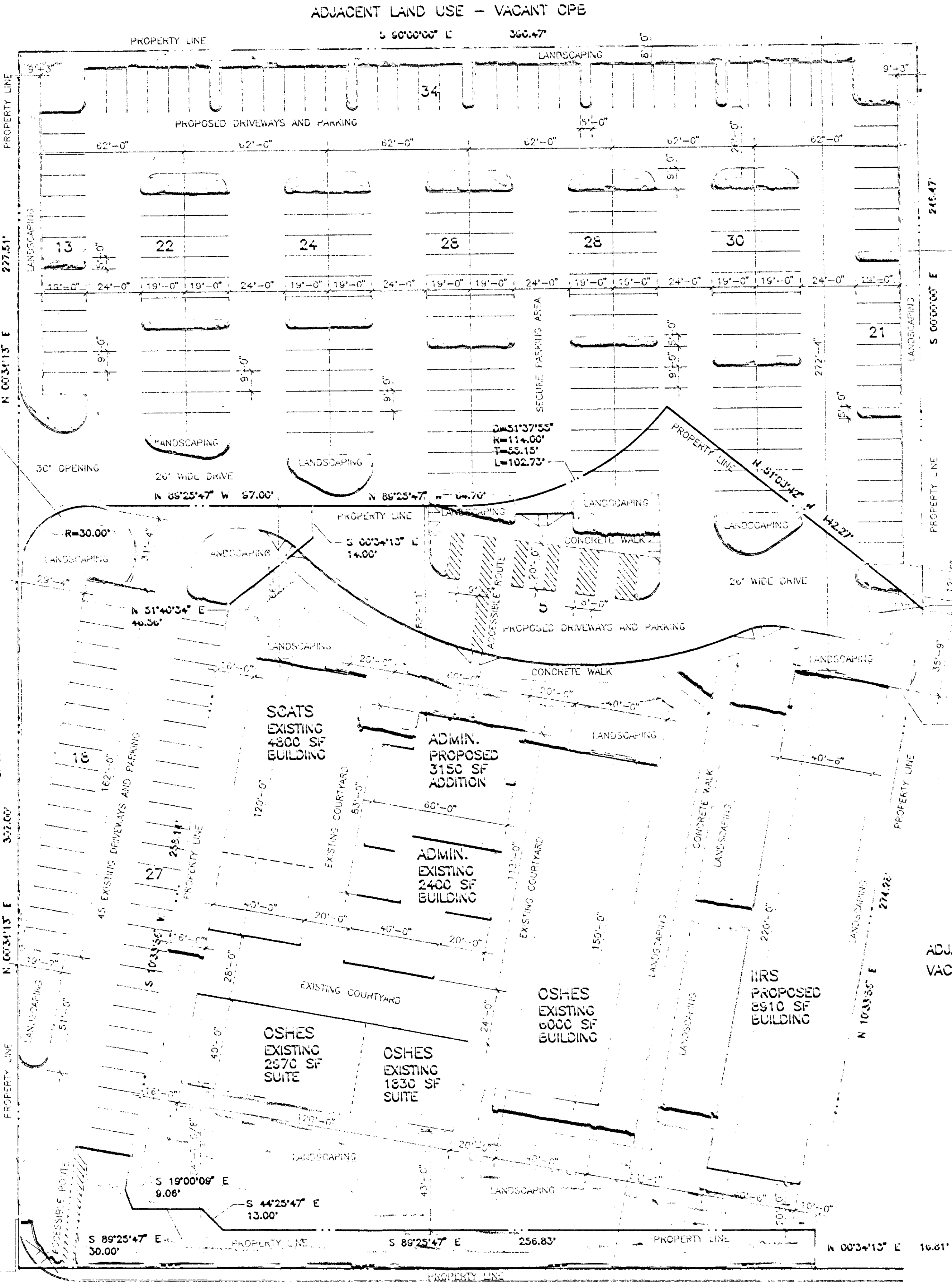
CURRENT LAND USE
EXISTING C1

ADJACENT LAND USE
VACANT OPE

CURRENT LAND USE
VACANT OPE

CURRENT LAND USE
EXISTING C1

ADJACENT LAND USE
VACANT OPE



WASHINGTON AVENUE

SITE PLAN

SCALE: 1" = 30'-0"

ADJACENT LAND USE - APARTMENTS

2-157-90(4)

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ARCHITECT

PROJECT
FOR
REG
BAKER
& COMPANY
CARE OF
EDWARD
F. LEON
720 SOUTH 4TH STREET
SUITE 301
LAS VEGAS NEVADA

APPROVED
Subject to Conditions
CITY COUNCIL DATE: 9-24-98
PLANNING COMMISSION DATE: 9-24-98
BY: [Signature]
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

FILE NAME

N000151

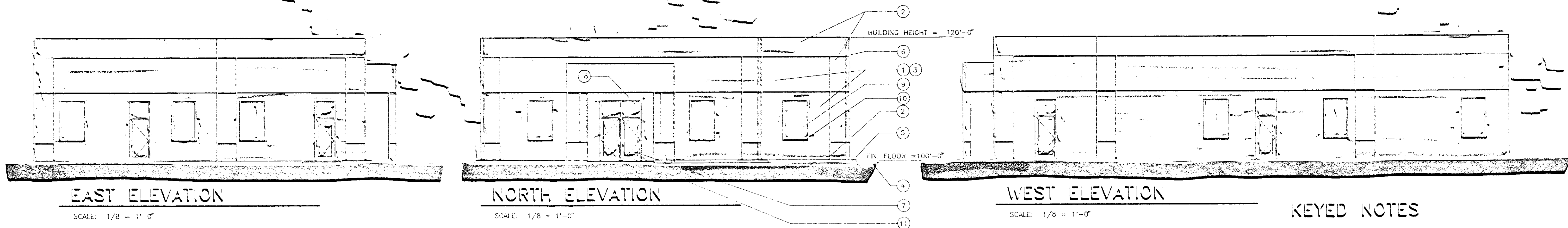
DATE OF ORIGINAL

DATE OF PRINT

SD1

CASE: 2-157-90(4)
SEP 24 1998
ADMIN. BZA

20: 9/24/98 - J33
20: 10/26/98 - WINTERGROW



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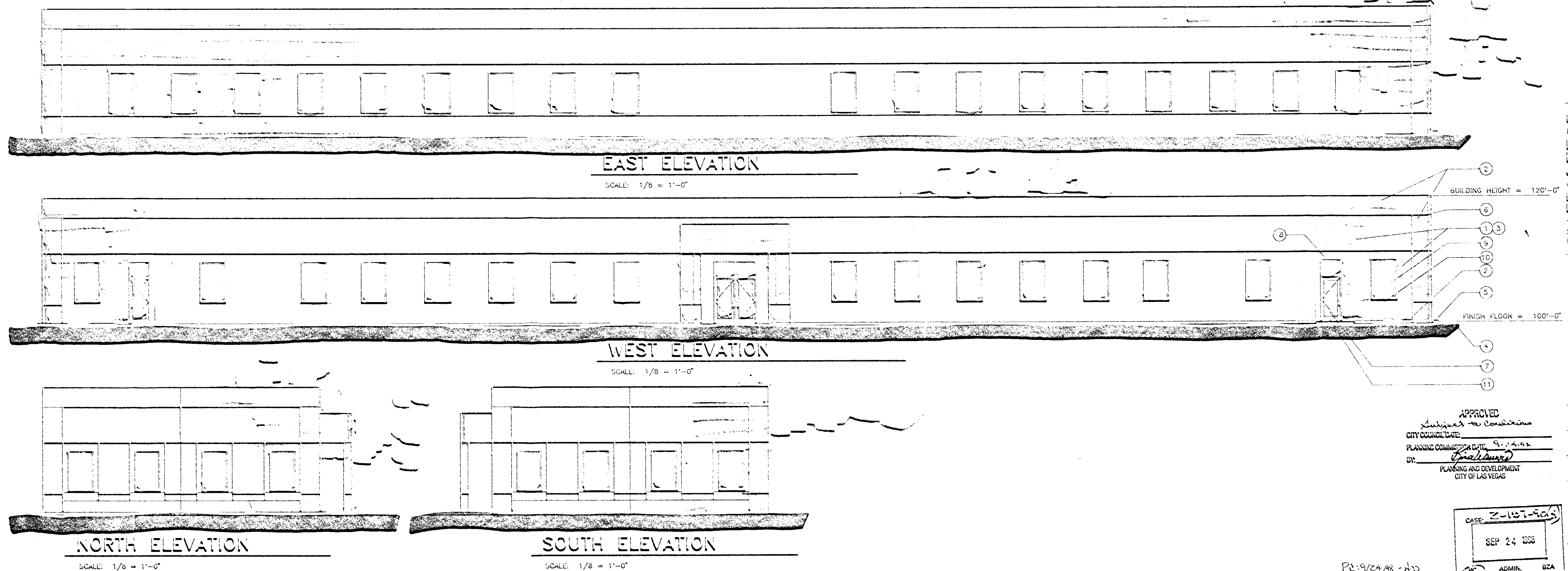
BUILDING ADDITION ELEVATIONS - ABOVE

KEYED NOTES

- 1 LACE STUCCO WALL OR TILT-UP CONCRETE
PANEL TO MATCH EXISTING STUCCO
- 2 SMOOTH CONCRETE FINISH (NATURAL)
- 3 EXPOSED AGGREGATE FINISH (POWER-WASHED)
- 4 FINISH GRADE
- 5 CONCRETE CURB-OPTIONAL
- 6 RUSTICATION CAST IN TILT-UP PANEL
- 7 1/4" TEMPERED FLOAT GLASS
- 8 1" TEMPERED INSULATING GLASS
- 9 1" INSULATING GLASS
- 10 ANODIZED ALUMINUM FRAME TYPE 451
- 11 ANODIZED ALUMINUM FRAME DOOR TYPE 500

NOTE: COLORS AND FINISHES TO MATCH EXISTING BUILDINGS
DESERT ROSE IS APPROXIMATE COLOR

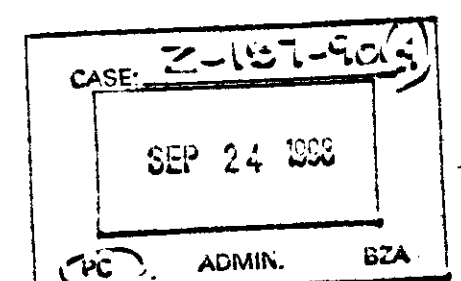
NEW BUILDING ELEVATIONS - BELOW



PROJECT
FOR
REG
BAKER
& COMPANY
CARE OF
EDWARD
F. LEON
720 SOUTH 4TH STREET
SUITE 501
LAS VEGAS NEVADA

APPROVED
Delivered for Consideration
CITY COUNCIL DATE 9-24-98
PLANNING COMMISSION DATE 9-24-98
BY: *Smallwood*
PLANNING AND DEVELOPMENT
CITY OF LAS VEGAS

FILE NAME
000002
DATE OF ORIGINAL
DATE OF PRINT



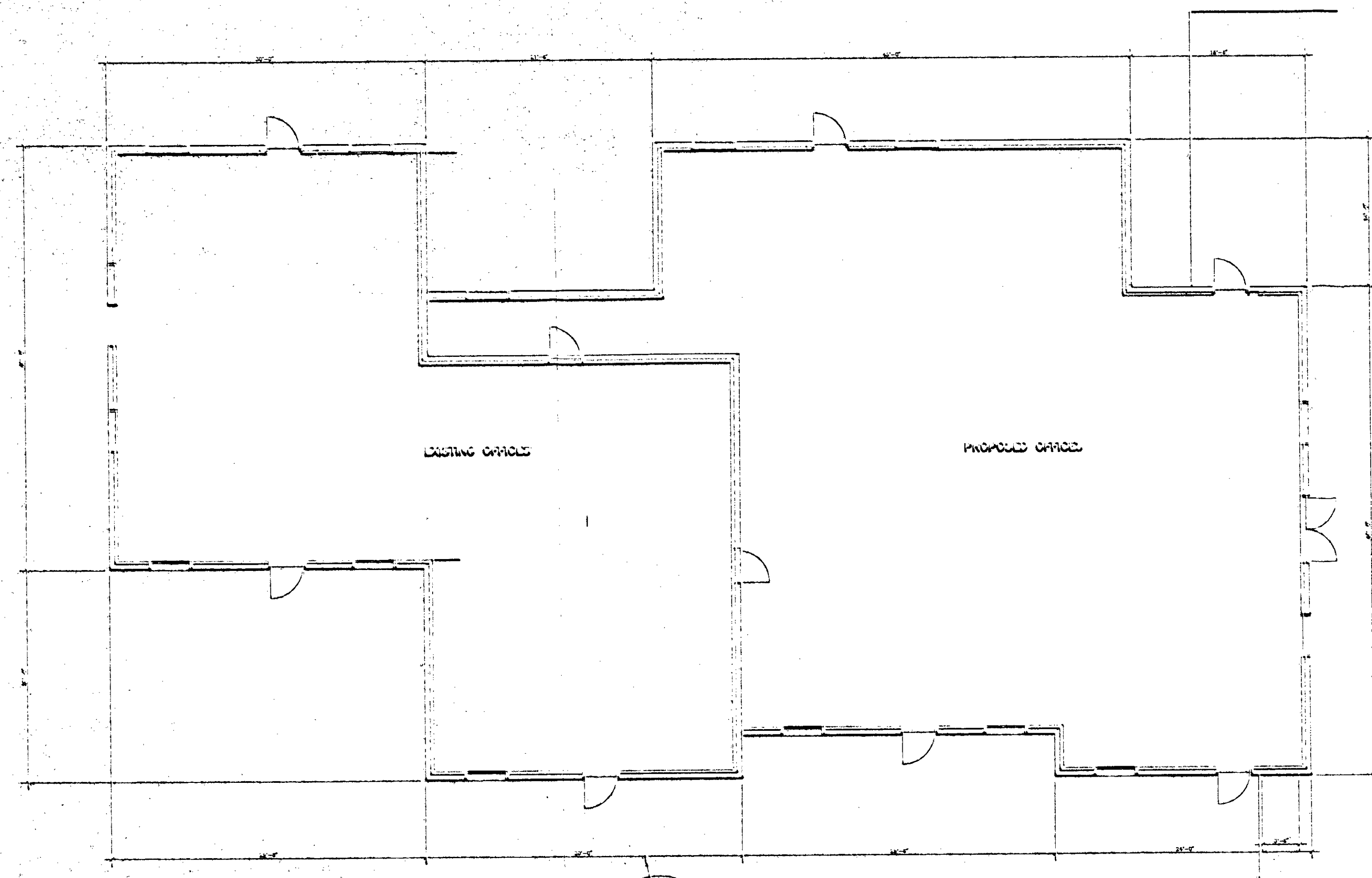
PC: 9/24/98 - App

A2

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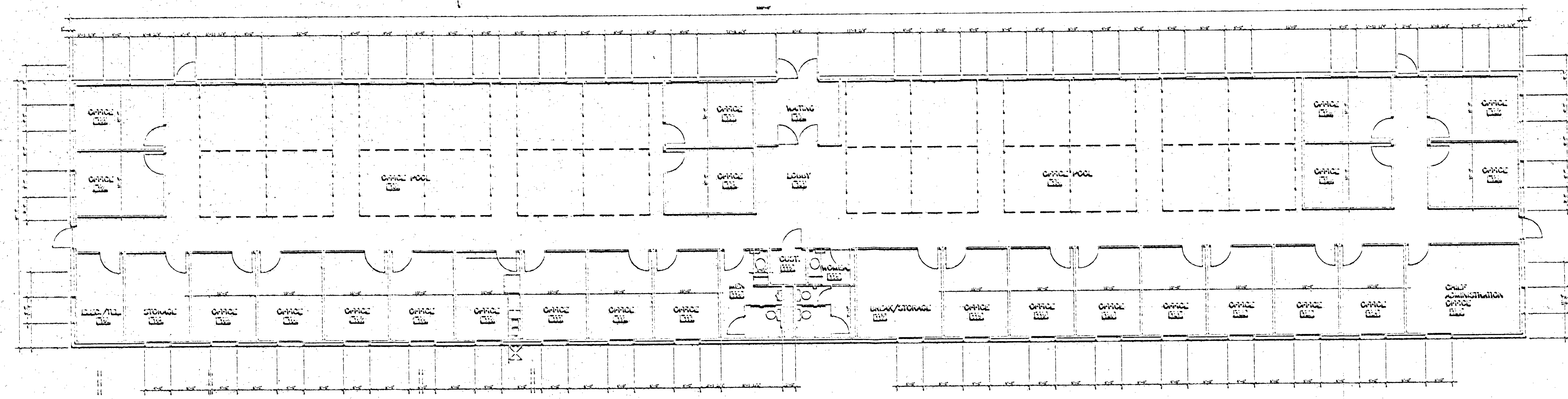
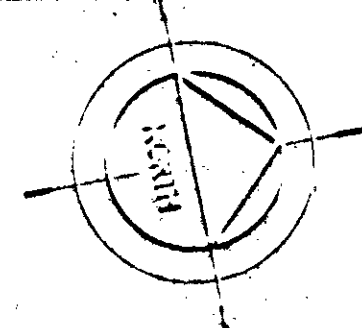
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ELVIN
DEE
CRAMER
ARCHITECT



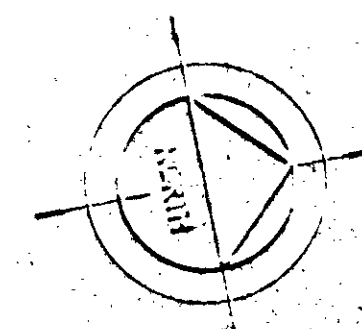
FLOOR PLAN - ADDITION

SCALE: 1/8" = 1'-0"



FLOOR PLAN - NEW BUILDING

SCALE: 1/8" = 1'-0"



PROJECT
FOR
REG
BAKER
& COMPANY
CARE OF
EDWARD
F. LEON
700 SOUTH 4TH STREET
SUITE 201
LAS VEGAS, NEVADA

FLOOR PLANS

Z-157-90(4)
9-24-98 PC

STAFF

FILE NAME
PROJECT
DATE OF CHANGE
DATE OF PRINT

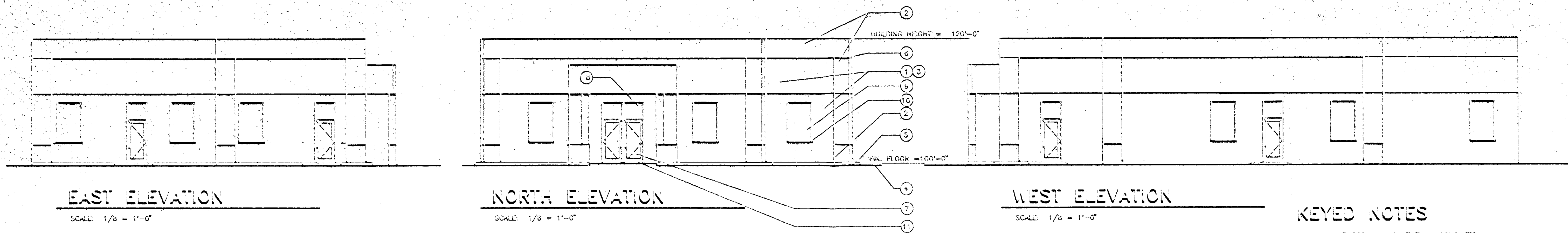
CASE: Z-157-90(4)
SEP 24 1998
ADMIN. BZA

CHIEF
FLOOR PLAN

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EAST ELEVATION

SCALE: 1/8" = 1'-0"

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

WEST ELEVATION

SCALE: 1/8" = 1'-0"

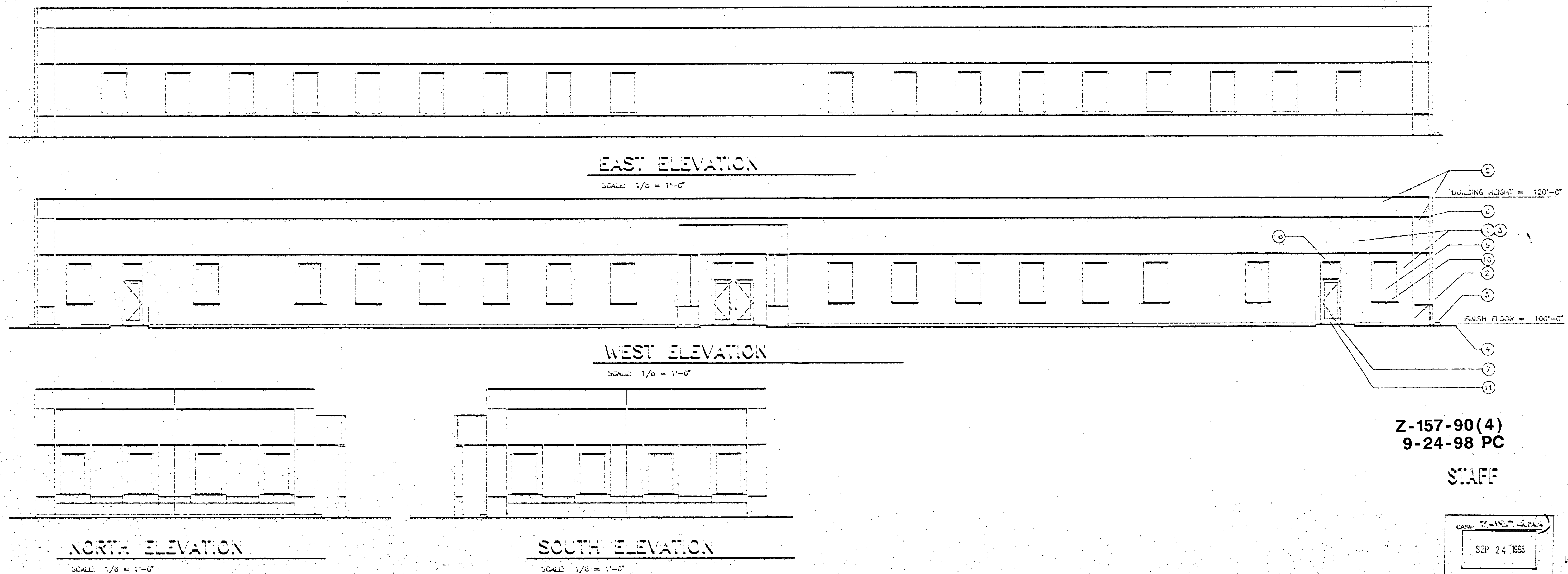
KEYED NOTES

1. LACE STUCCO WALL OR TILT-UP CONCRETE PANEL TO MATCH EXISTING STUCCO
2. SMOOTH CONCRETE FINISH (NATURAL)
3. EXPOSED AGGREGATE FINISH (POWER-WASHED)
4. FINISH GRADE
5. CONCRETE CURB-OPTIONAL
6. RUSTICATION CAST IN TILT-UP PANEL
7. 1/4" TEMPERED FLOAT GLASS
8. 1" TEMPERED INSULATING GLASS
9. 1" INSULATING GLASS
10. ANODIZED ALUMINUM FRAME TYPE 451
11. ANODIZED ALUMINUM FRAME DOOR TYPE 500

NOTE: COLORS AND FINISHES TO MATCH EXISTING BUILDINGS
DESERT ROSE IS APPROXIMATE COLOR

BUILDING ADDITION ELEVATIONS - ABOVE

NEW BUILDING ELEVATIONS - BELOW



EAST ELEVATION

SCALE: 1/8" = 1'-0"

WEST ELEVATION

SCALE: 1/8" = 1'-0"

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

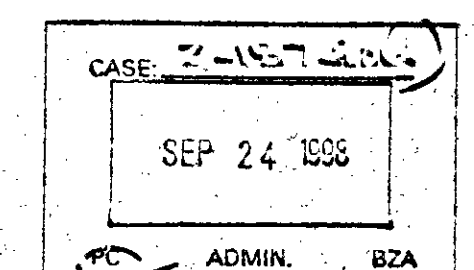
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT
FOR
REG
BAKER
& COMPANY
CARE OF
EDWARD
F. LEON
700 SOUTH 4TH STREET
SUITE 201
LAS VEGAS, NEVADA

Z-157-90(4)
9-24-98 PC

STAFF



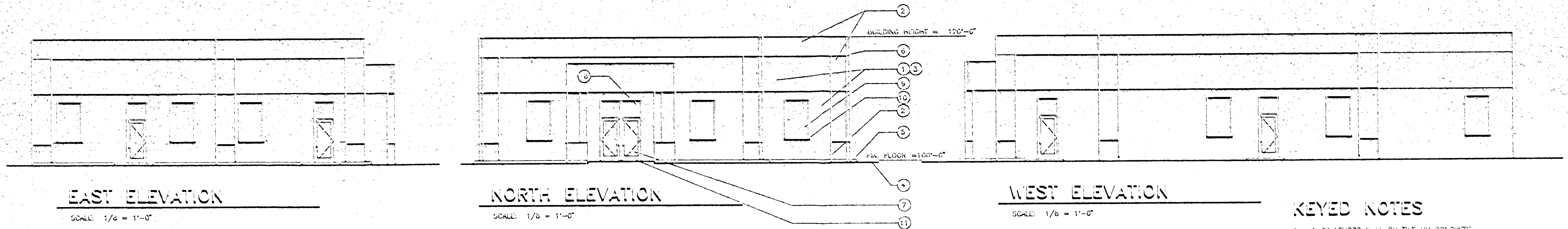
DATE OF ORIGINAL
DATE OF PRINT

A2
Floor Plan

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ELVA DEE CRAMER ARCHITECT



EAST ELEVATION

SCALE: 1/8" = 1'-0"

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

WEST ELEVATION

SCALE: 1/8" = 1'-0"

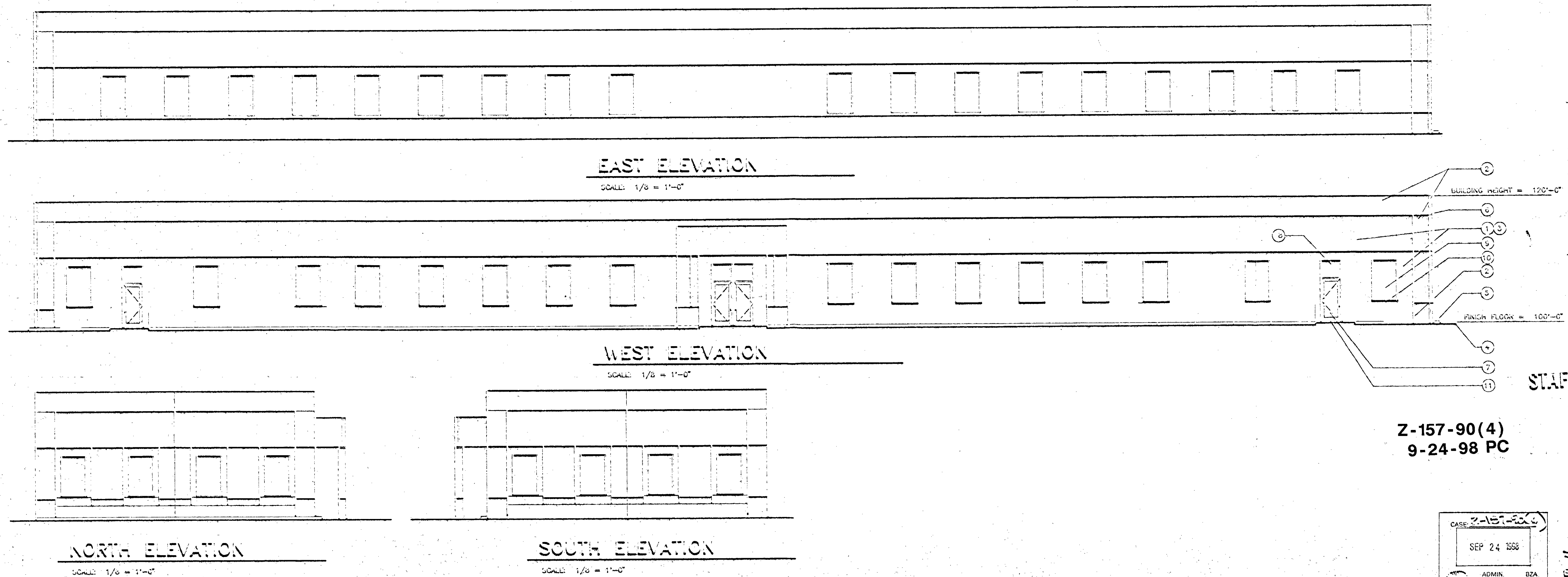
KEYED NOTES

1. LAGE STUCCO WALL OR TILT-UP CONCRETE PANEL TO MATCH EXISTING STUCCO
2. SMOOTH CONCRETE FINISH (NATURAL)
3. EXPOSED AGGREGATE FINISH (POWER-WASHED)
4. FINISH GRADE
5. CONCRETE CURB--OPTIONAL
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11. ANODIZED ALUMINUM FRAME DOOR TYPE 500

NOTE: COLORS AND FINISHES TO MATCH EXISTING BUILDINGS
DESERT ROSE IS APPROXIMATE COLOR

BUILDING ADDITION ELEVATIONS - ABOVE

NEW BUILDING ELEVATIONS - BELOW



EAST ELEVATION

SCALE: 1/8" = 1'-0"

WEST ELEVATION

SCALE: 1/8" = 1'-0"

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

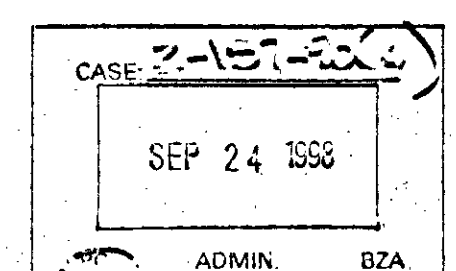
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT
FOR
REC
BAKER
& COMPANY
OWNER OF
EDWARD
F. LEON
720 SOUTH MAIN STREET
SUITE 301
LAS VEGAS, NEVADA

STAFF

Z-157-90(4)
9-24-98 PC



A2
STAFF
ELEVATIONS

STATE OF NEVADA
DEPARTMENT OF
INDUSTRIAL RELATIONS

PROJECT DATA

OWNER: REG BAKER & COMPANY
CARE OF EDWARD F. LEON
720 SOUTH FOURTH STREET SUITE 301
LAS VEGAS, NEVADA 89101

MAP PREPARED: ELVIN DEE CRAMER ARCHITECT
1310 INDUSTRIAL ROAD SUITE 107
LAS VEGAS, NEVADA 89102

DATE OF PREPARATION: AUGUST 25, 1998

ASSESSORS PARCEL NUMBERS: 125-29-010-001, 139-29-001-003, 139-29-001-004

EXISTING LOT SIZE: 2.849 ACRES OR 124,090 SQUARE FEET

PROPOSED ADDITIONAL LOT SIZE: 1.772 ACRES OR 77,168 SQUARE FEET

TOTAL LOT SIZE: 4.621 ACRES OR 201,258 SQUARE FEET

PROPOSED OFFICE: 12,000 SQUARE FEET

EXISTING OFFICE: 16,000 SQUARE FEET

TOTAL OFFICE: 30,000 SQUARE FEET

TOTAL LOT SIZE FLOOR AREA RATIO: 15 PERCENT COVERAGE - 35 PERCENT ALLOWED

C1 LOTS FLOOR AREA RATIO: 24 PERCENT COVERAGE - 50 PERCENT ALLOWED

TOTAL PARKING REQUIRED: 101 STALLS

TOTAL PARKING PROVIDED: 230 STALLS

EXTRA PARKING PROVIDED: 14 STALLS

TOTAL HANDICAP PARKING REQUIRED: 5 STALLS

PARKING STALL: 5' X 18' MINIMUM

HANDICAP PARKING STALL: 5' X 16' WITH 5' SPACE AT SIDE, 8' AT VAN STALL

PARKING DRIVE WIDTH: 24' WITH 90 DEGREE PARKING

20' TWO-WAY WITHOUT PARKING

12' ONE-WAY WITHOUT PARKING

EXISTING STRUCTURES: 4 OFFICE BUILDINGS

OCCUPANCY GROUP: U

TYPE OF CONSTRUCTION: V-N

BUILDING HEIGHT: NO HEIGHT RESTRICTION - SEE ELEVATIONS

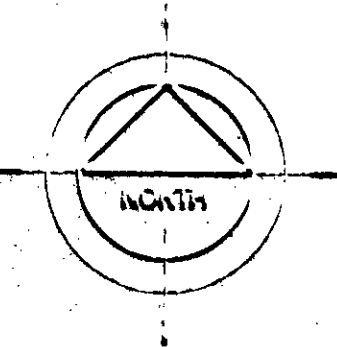
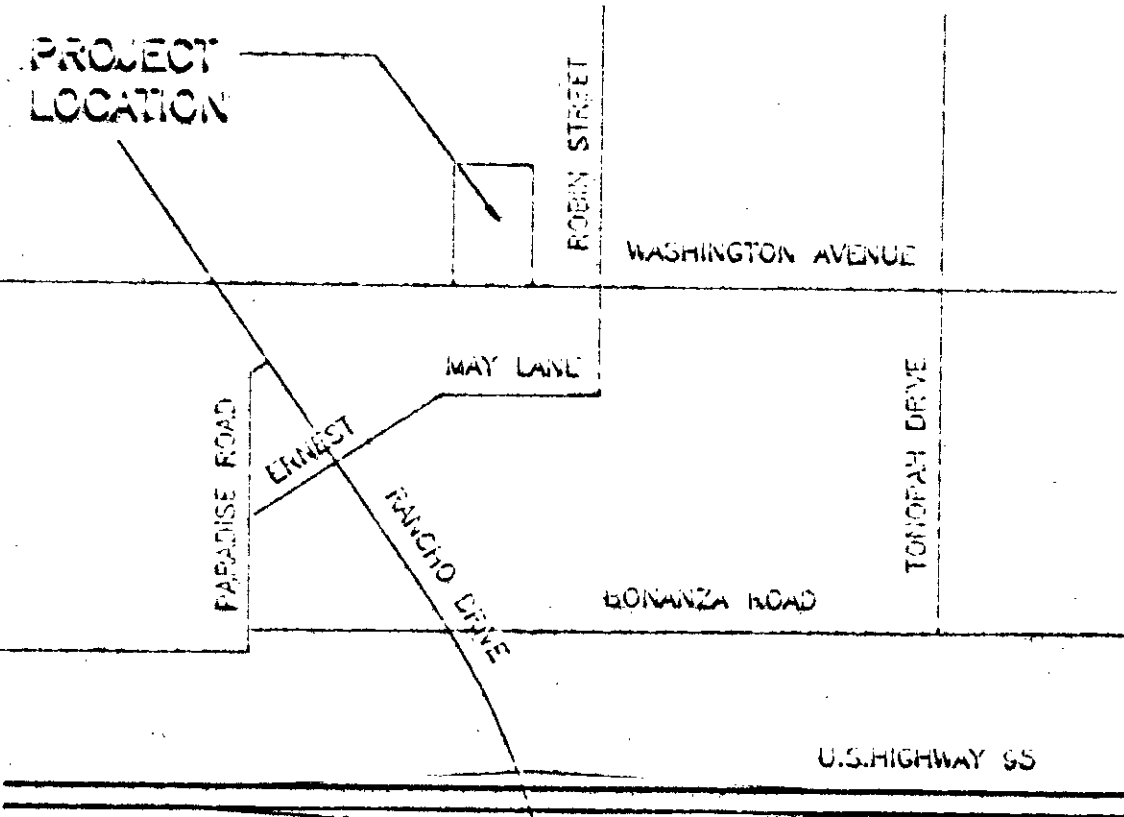
AUTOMATIC FIRE SPRINKLER: NONE REQUIRED

SMOKE CONTROL: PER UNIFORM BUILDING CODE

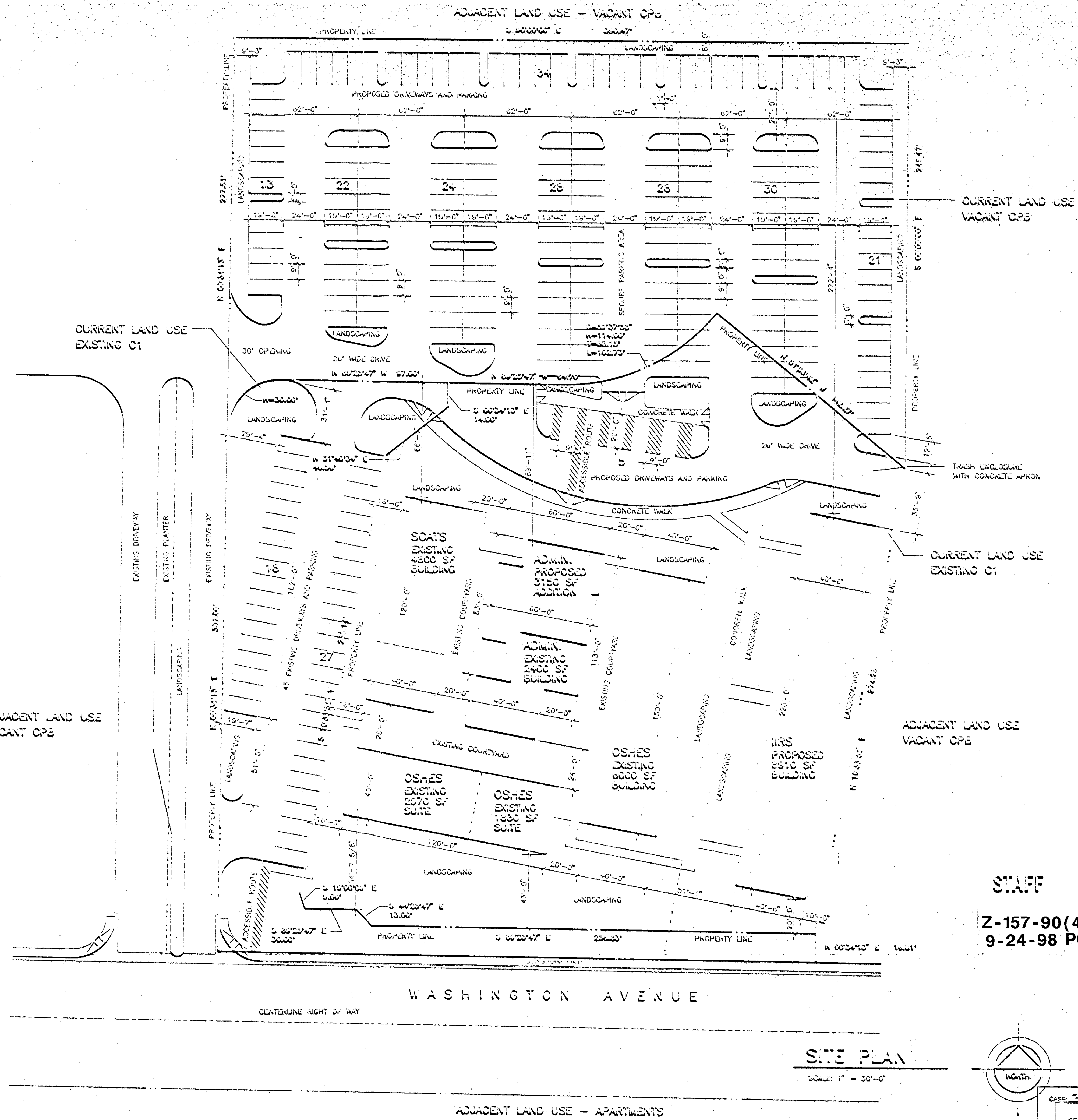
SEISMIC: 20

STRUCTURAL LOADS: PER UNIFORM BUILDING CODE

HANDICAP ACCESS: AS SHOWN ON SITE AND FLOOR PLANS



VICINITY MAP
NOT TO SCALE



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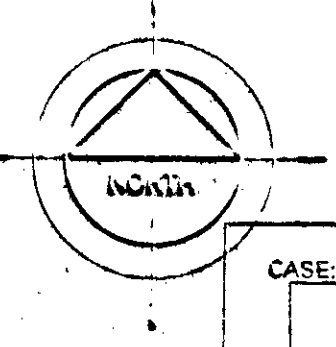
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PROJECT FOR
REG BAKER & COMPANY
CARE OF
EDWARD F. LEON
720 SOUTH FOURTH STREET
SUITE 301
LAS VEGAS, NEVADA

STAFF
Z-157-90(4)
9-24-98 PC

SITE PLAN
SCALE: 1" = 30'-0"



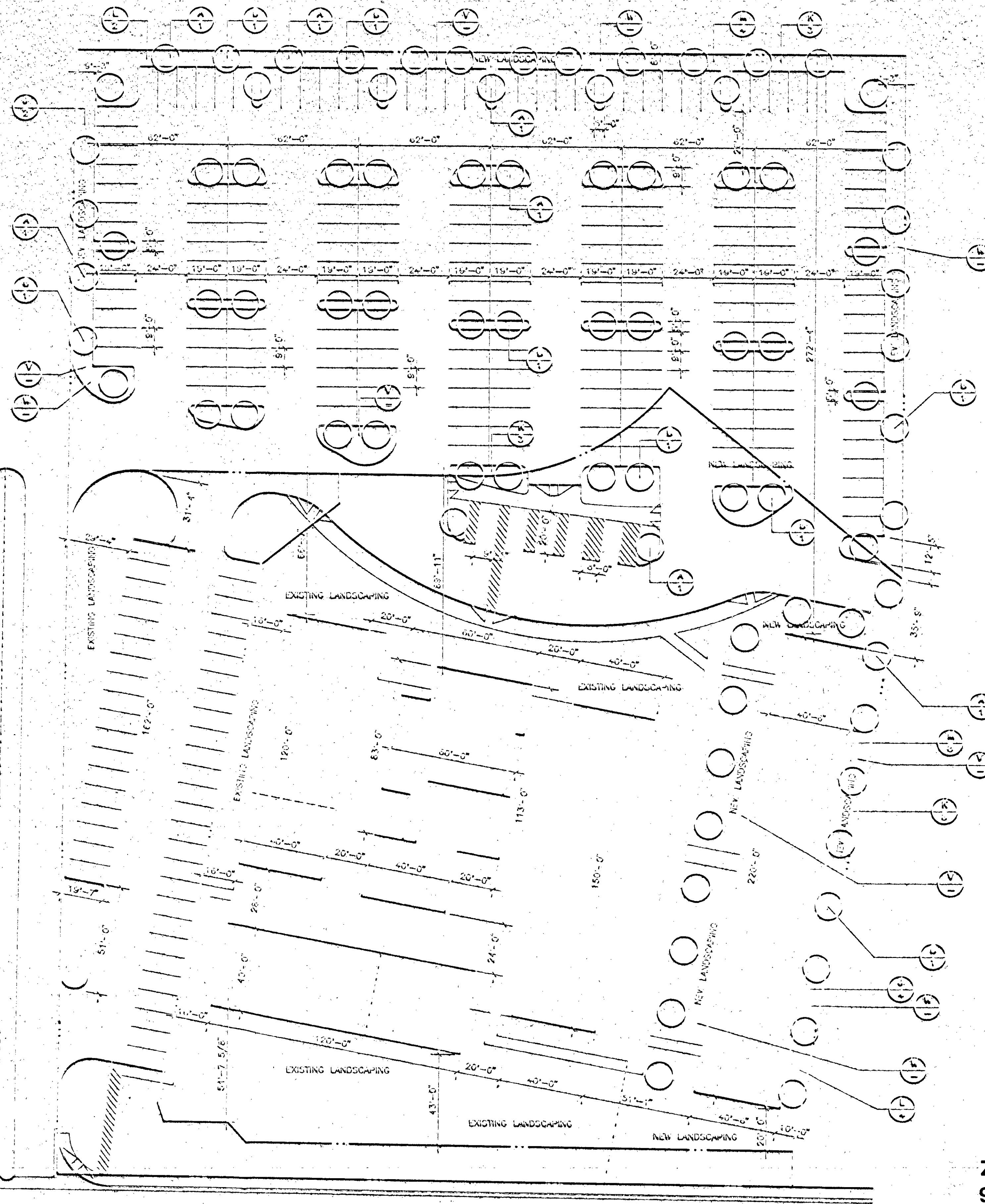
CASE 22-157-90(4)
SEP 24 1998
PC ADMIN. BZA

SDI
STAFF
SITE PLAN

STATE OF NEVADA
DEPARTMENT OF
ADMINISTRATIVE RELATIONS

10011
FIVE DASHES AND COMBINATION OF LETTERS AND
NUMBERS IN CONNECTION WITH CITY OF LOS ANGELES
COUNCILMAN AND SENATOR

PLANT SCHEDULE				
mark	botanical name	common name	size	remarks
	INLET			mark Ht. mark Cn.
A	CHILOPSIS LINCOLNII	DESERT WILLOW	24" BOX	5' 1'
B	AFRICA LANCEA	AFRICAN SLENDER	24" BOX	6' 2'
	SHRUBS			
J	CAESAL NEMOROSA	DESERT CAESAL	3 GAL	FULL & BUSHY
K	LEUCANIS COUNTEI	LEBBING SILVERBUCKRY	5 GAL	FULL & BUSHY
L	LEUCOPHYLLUM PROTEUCENS	TEXAS RANGIER	5 GAL	FULL & BUSHY
M	ENCLEA PARANOSA	BRITTELEBRUSH	1 GAL	FULL & BUSHY
	GROUND COVER			
V	UNICORNIS MILITANS	DWARF DOYDLE BRUSH	1 GAL	TRI-SPACE @ 2' O.C.
W	1/4" WINGS, 1 1/2" LAYER	RED DECOMPOSED GRANITE	CONTINUOUS UNDER ALL PLANTS	ALL AREAS



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REG
BAKER
& COMPANY
CARE OF
EDWARD
F. LEON
720 SOUTH 4TH STREET
CITY 301
LOS ANGELES CALIF.

STAFF

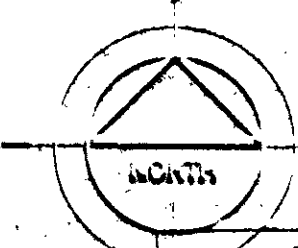
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DATE OF ORIGINAL

DATE OF PRINT

LANDSCAPE PLAN

SCALE 1" = 30'-0"



CASE: 2-167-92

SEP 24 1998

مجلسه ۱۲۸