

SAHARA / RICHFIELD COMMERCIAL SUBDIVISION



2340 Pasco Del Prado
Suite D-101
Las Vegas, Nevada
89102

702.362.2111
702.362.0363 FAX

A: FERTITTA ENTERPRISES
CORPORATE HEADQUARTERS

22,667 SF Total Floor Area
117 parking spaces
Use: Office
Land: 1.67 ac

B & C: AMERICAN BANK OF COMMERCE
AT THE PLAZAS

B: Building A - 5,000 SF
C: American Bank of Commerce - 4,000 SF
47 parking spaces
Use: Commercial Bank and Office
Land: 0.86 ac

D: LONG JOHN SILVERS

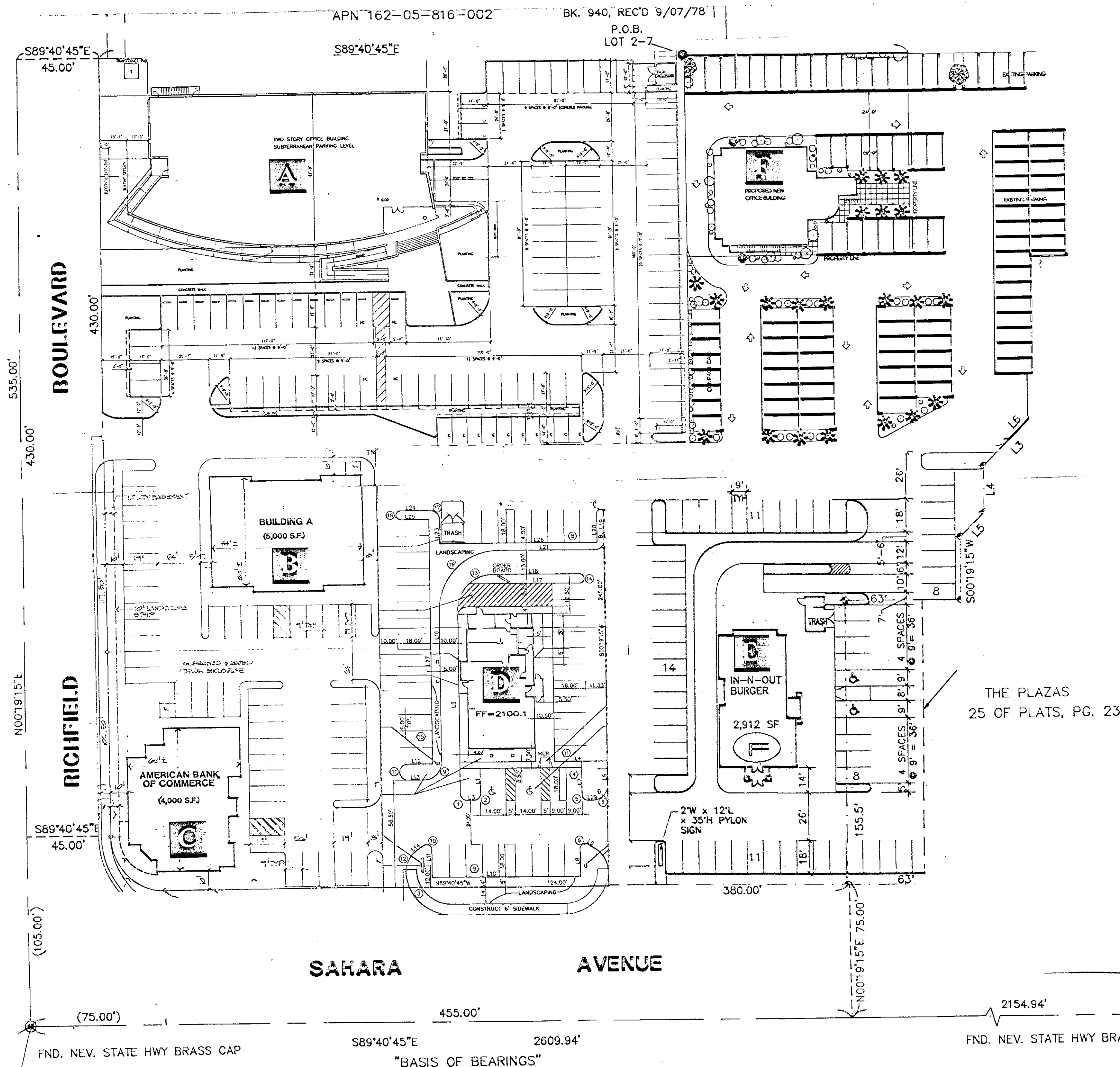
2,100 SF
47 parking spaces
Use: Fast Food Restaurant
Land: 0.69 ac

E: IN - N - OUT BURGER

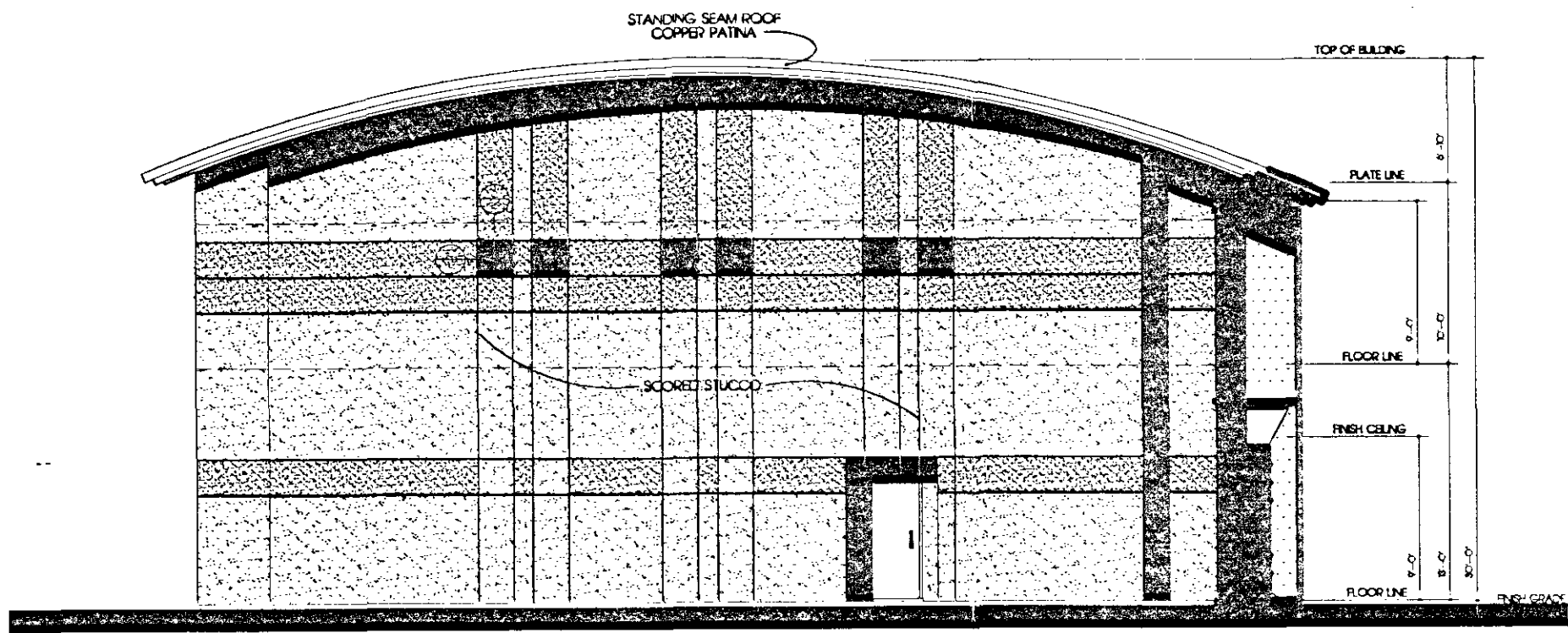
2,912 SF
45 parking spaces
Use: Fast Food Restaurant
Land: 0.81 ac

F: THE MIDBY OFFICE BUILDING
(SUBJECT)

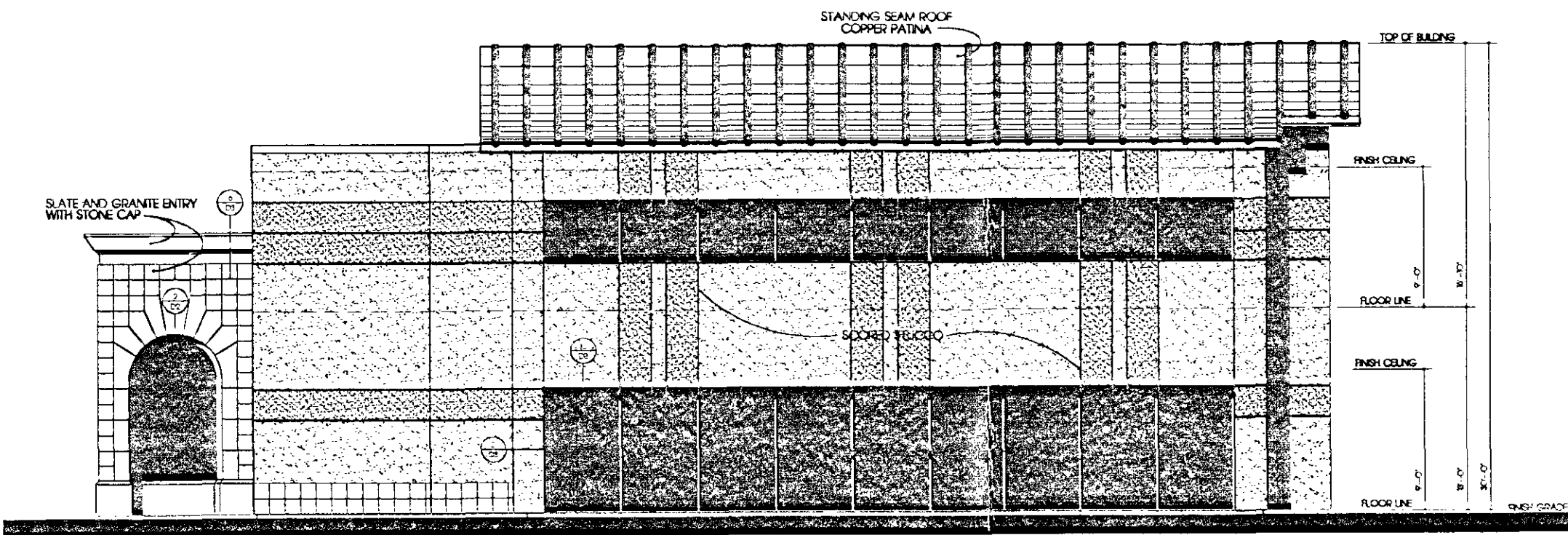
6,500 SF
26 parking spaces
Use: Office
Land: 0.32 ac



Signature: [Handwritten Signature]



WEST ELEVATION ③
SCALE 1/4" = 1'-0"



NORTH ELEVATION ④
SCALE 1/4" = 1'-0"

GENERAL NOTES:

- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONTRACTS OR FOR CONSTRUCTION BASED ON UNLESS THE BUILDING IS IN ACCORDANCE WITH THE BUILDING DEPARTMENT CODES.
- THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL CAREFULLY EXAMINE THE SET DRAWINGS AND SPECIFICATIONS TO DETERMINE THE SCOPE OF WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT AND CORRECTED IMMEDIATELY. NO ALLOWANCE WILL BE GIVEN FOR FAILURE TO COMPLY WITH THE ARCHITECT'S CORRECTIONS OR FOR OMISSIONS OF WORKING DETAILS.
- THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE SET DRAWINGS IMMEDIATELY UPON THE PROJECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- NO ALLOWANCE WILL BE GIVEN FOR ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- NO ALLOWANCE WILL BE GIVEN TO THE CONTRACTOR OR ANY SUB-CONTRACTOR FOR A RESULT OF FAILURE TO COMPLY WITH A, B, AND C ABOVE.

SYMBOLS

- ④ COLUMN REFERENCE
- ⌈⌋ COLUMN REFERENCE
- DOOR SEE DOOR SCHEDULE
- ◐ WINDOW SEE WINDOW SCHEDULE
- ⌈⌋ DETAIL
- ⌈⌋ INTERIOR ELEVATION
- ⌈⌋ EXTERIOR ELEVATION
- ⌈⌋ SECTION

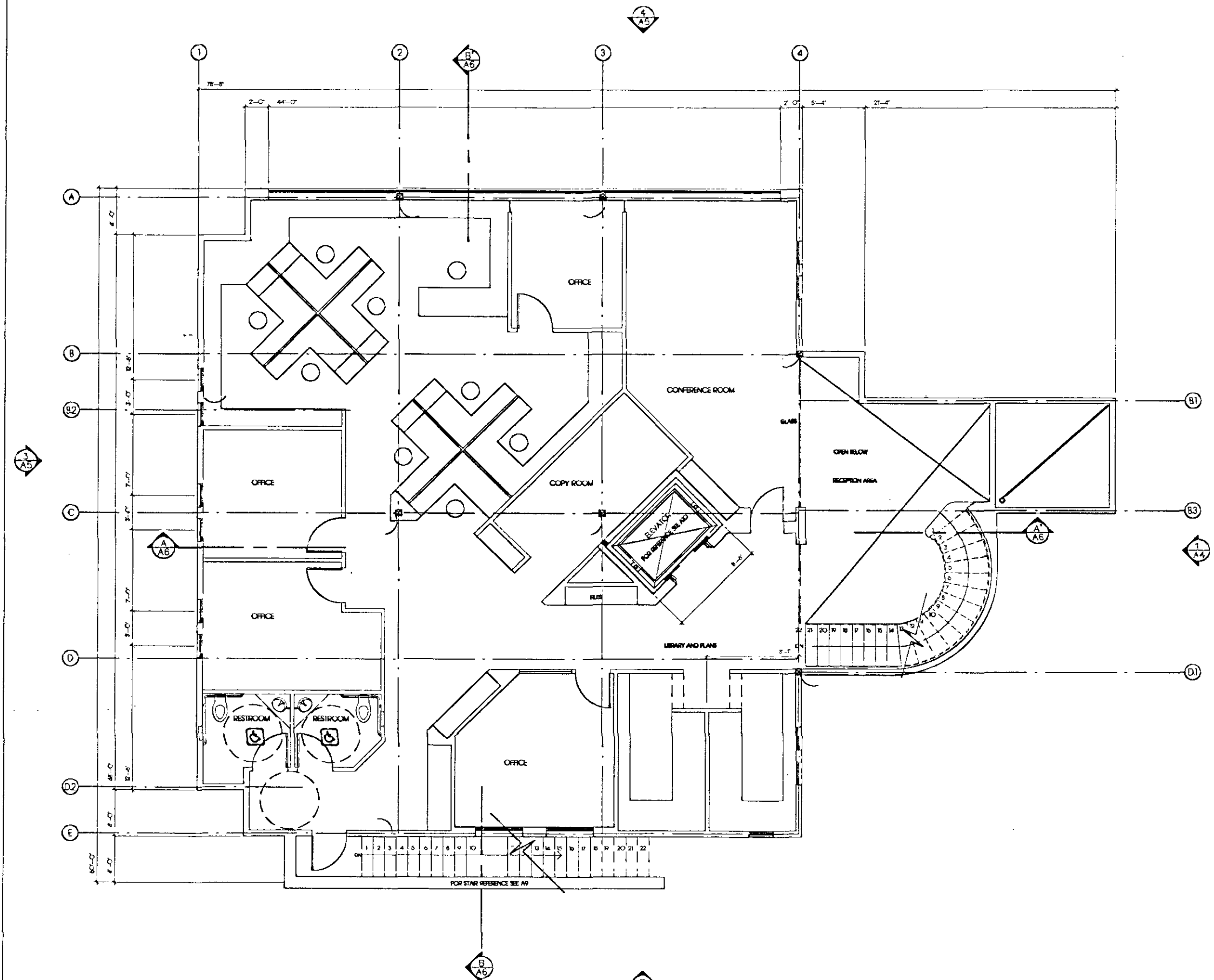
THORPE ARCHITECTURE
INCORPORATED
1335 SHAFER STREET
SAN DIEGO, CA 92106
TEL: 619-594-8331
FAX: 619-594-8332

JOB NO. 98-06
DRAWN BY: [Signature]
DATE: 02/27/98
CHECKED BY: [Signature]
DATE: 03/03/98
PROJECT: MIDBY OFFICE BUILDING
SHEET NO. A8

WEST & NORTH
ELEVATIONS

MIDBY OFFICE
BUILDING

SHEET NO.
A8



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"
2,930 SQ. FT.

FLOOR PLAN NOTES:

- FOR ROOM FINISH SCHEDULE AND DOOR SCHEDULE SEE A.
- FOR ACCESSORY NOTES AND DETAILS SEE A.
- FOR ELECTRICAL POWER SIGNAL AND LIGHTING INFORMATION SEE ELECTRICAL DRAWINGS.
- FOR MECHANICAL INFORMATION SEE MECHANICAL.
- REFER TO PROJECT MANUAL FOR THE CONTRACTOR'S RESPONSIBILITY FOR THE PROVISION OF THE FOLLOWING:
 - WALLS, CEILING, FLOORING, PARTITION WALLS, ROOFING, ETC. SHALL BE PERMITTED TO BE USED FOR THE BUILDING IN ACCORDANCE WITH THE APPROVED USED SYSTEM.
 - DOOR SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - DOOR SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- MECHANICAL AND ELECTRICAL PARTITION WALLS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- ALL PARTITION WALLS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

PARTITION NOTES:

- SEE TO DOOR PLAN FOR LOCATIONS OF WALL TYPES AND WALL HEIGHTS FOR DESCRIPTION OF WALL TYPES.
- REFER TO PARTITION SCHEDULE FOR PARTITION TYPES AND NOTES. PARTITION TYPES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
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NOTE KEY:

- 1. 8" BEARING STUD WALL SEE STRUCTURAL
- 2. 4" NON BEARING STUD WALL SEE STRUCTURAL
- 3. 4" NON BEARING STUD WALL SEE STRUCTURAL
- 4. COLUMN SEE STRUCTURAL
- 5. GLAZING
- 6. ROOF DRAIN DOWNSPUTS SEE PLUMBING PLAN
- 7. FLOOR OF FLOOR ABOVE

SYMBOLS

- ④ COLUMN REFERENCE
- ⌈⌋ COLUMN REFERENCE
- DOOR SEE DOOR SCHEDULE
- ◐ WINDOW SEE WINDOW SCHEDULE
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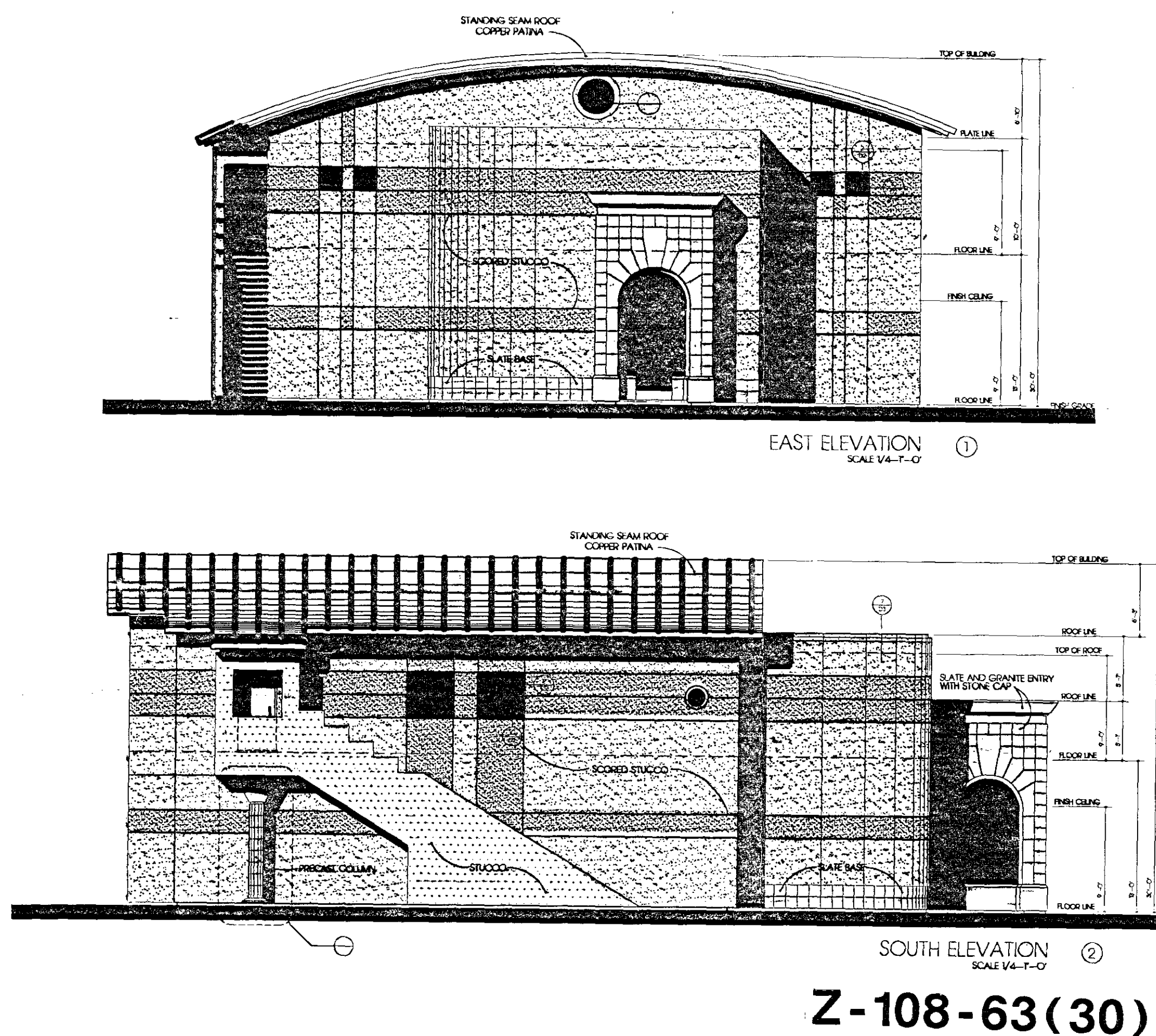
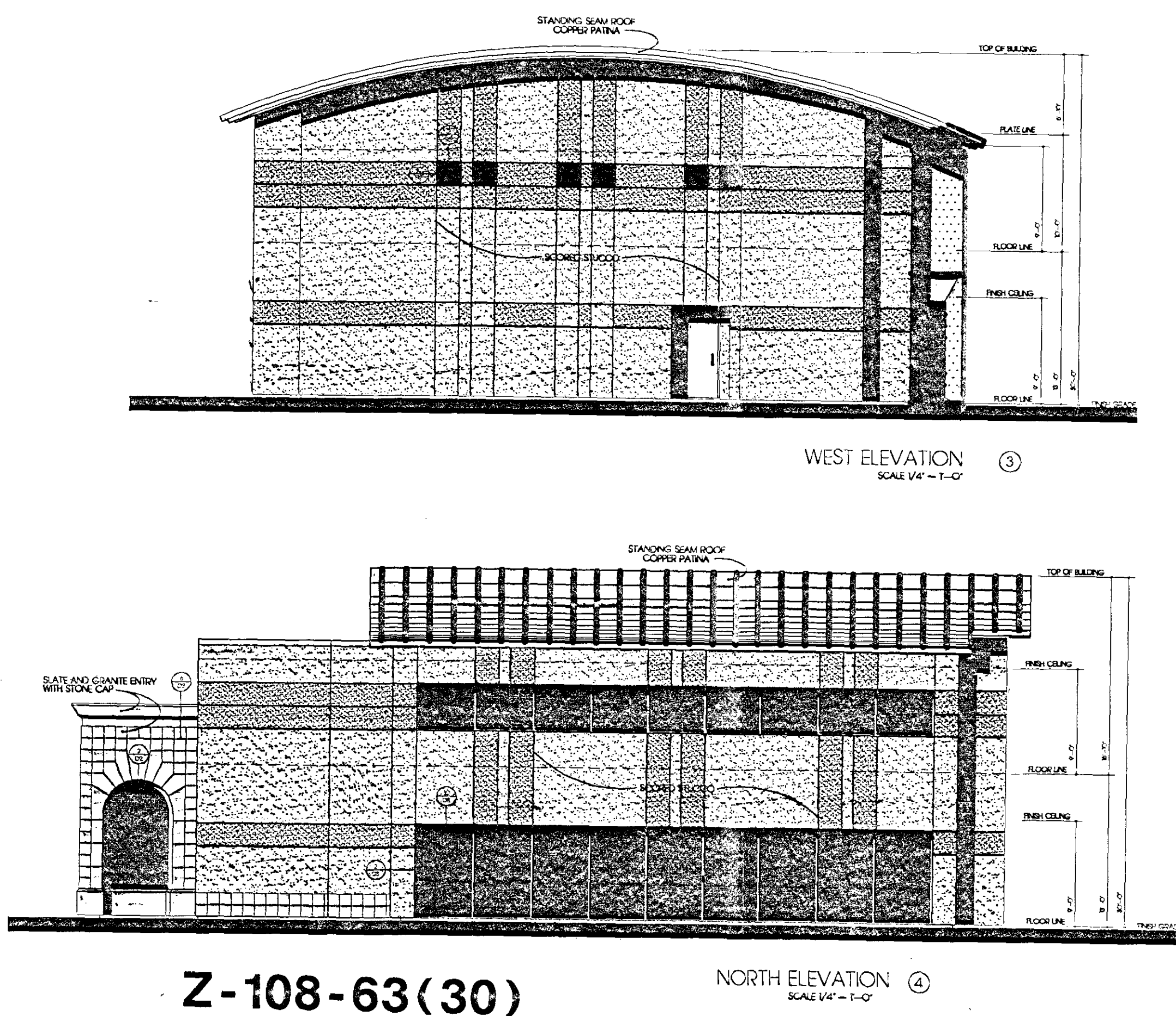
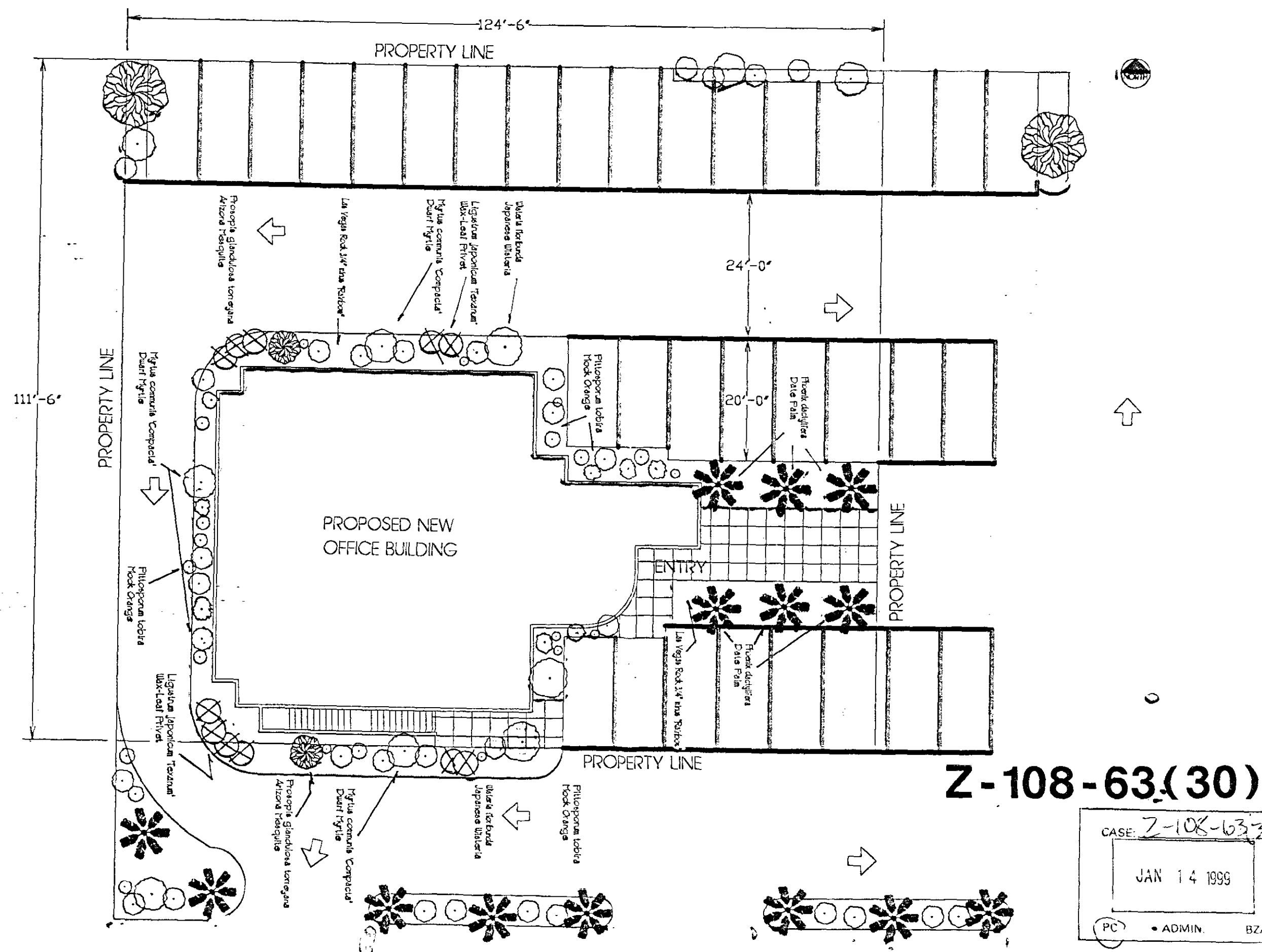
THORPE ARCHITECTURE
INCORPORATED
1335 SHAFER STREET
SAN DIEGO, CA 92106
TEL: 619-594-8331
FAX: 619-594-8332

JOB NO. 98-06
DRAWN BY: [Signature]
DATE: 02/27/98
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DATE: 03/03/98
PROJECT: MIDBY OFFICE BUILDING
SHEET NO. A4

SECOND FLOOR
PLAN

MIDBY OFFICE
BUILDING

SHEET NO.
A4



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A: FERTITTA ENTERPRISES
CORPORATE HEADQUARTERS

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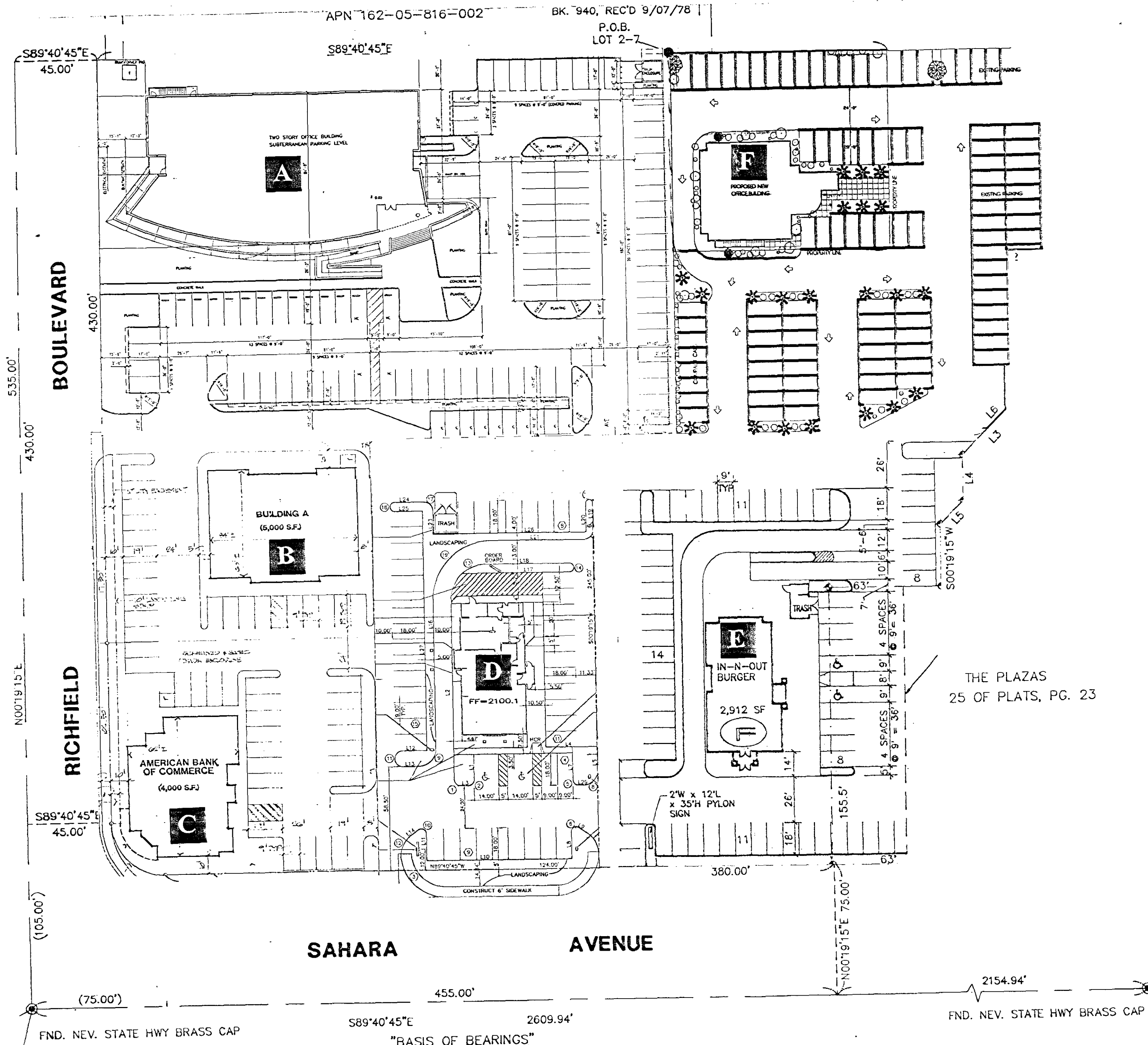
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E: IN - N - OUT BURGER

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F: THE MIDBY OFFICE BUILDING
(SUBJECT)

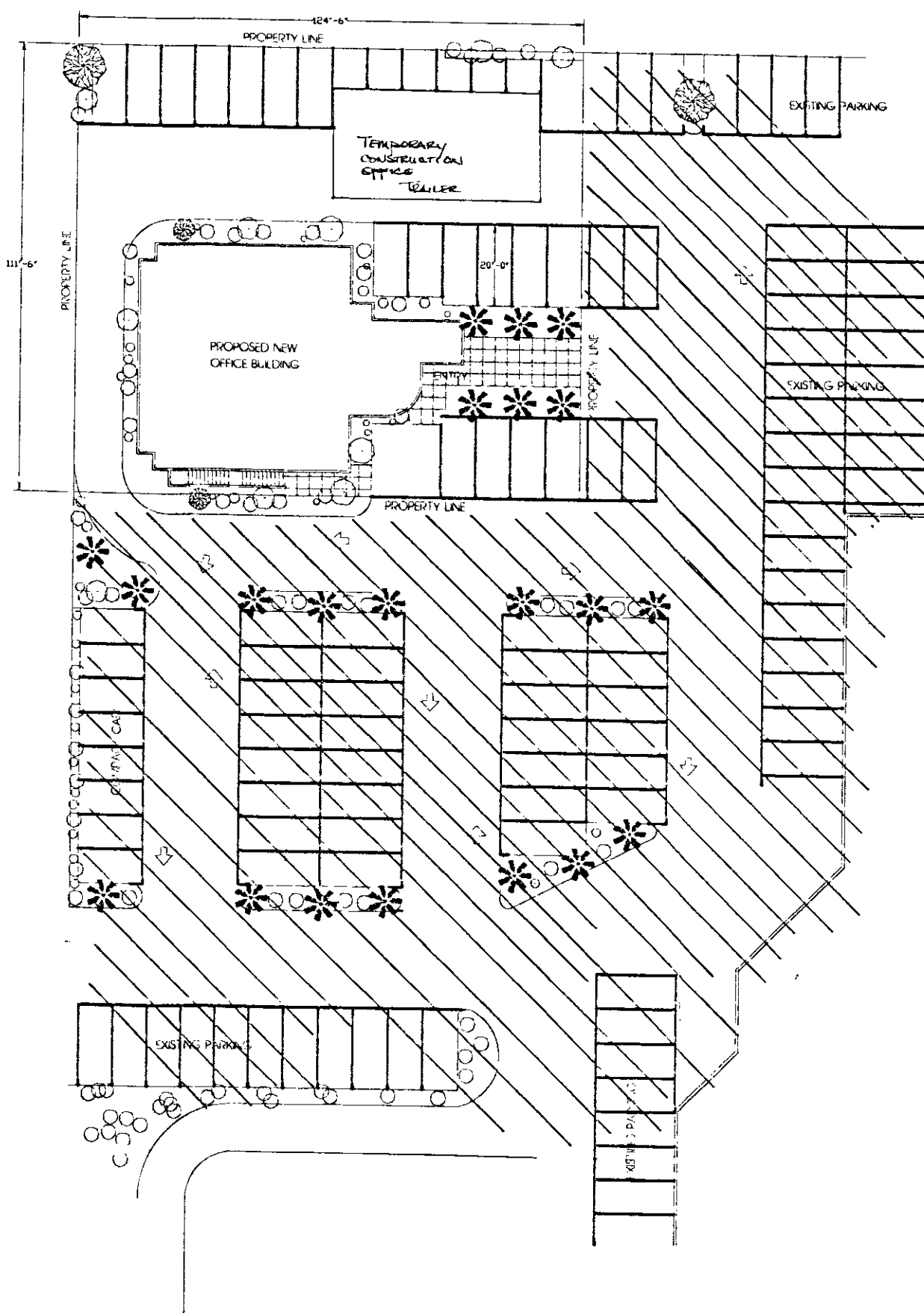
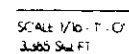
6,500 SF
26 parking spaces
Use: Office
Land: 0.32 ac



Z-108-63(30)

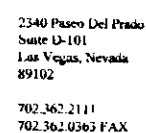
CASE: 2-108-63(30)
JAN 14 1998
PC ADMIN. BZA

1/14/98
Z-108-63(30)



PROPERTY AREA

13,002 SQ. FT.

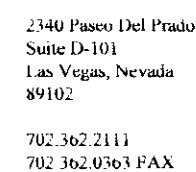


ORDER NO.	DATE	QUANTITY	PRICE	TOTAL
100-100000	10/1/78	100	100.00	100.00
TOTAL				
100.00				

#100154
LOCATION
ET :
SITE PLAN
TENTATIVE CONSTRUCTION

MIDBY OFFICE
BUILDING

A

[illegible]

6,500 SF
26 parking spaces
Use: Office
Land: 0.32 ac



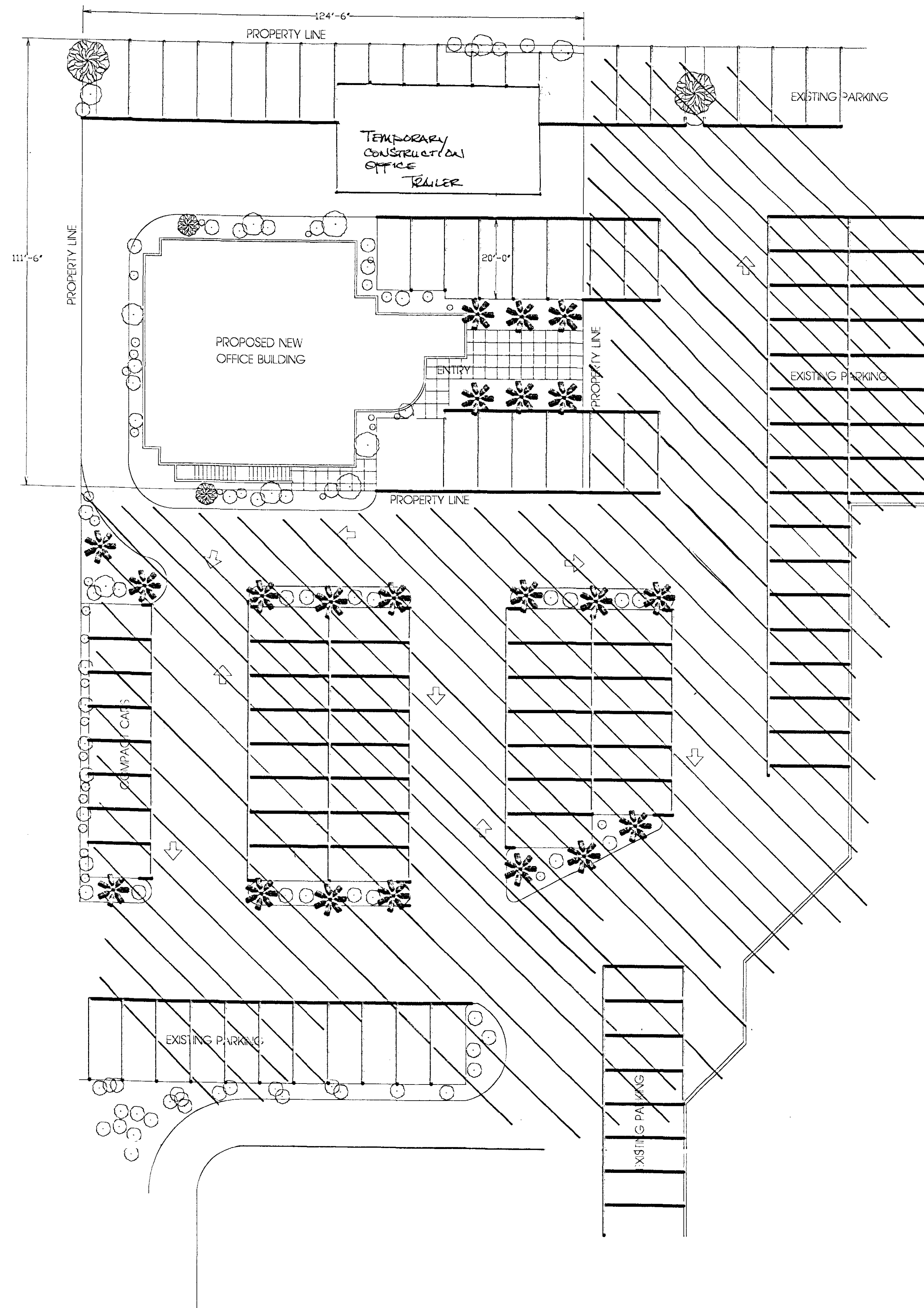
GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft

SITE PLAN

SCALE: 1/16" = 1'-0"
3,385 SQ. FT.



PROPERTY LINE

OFFICE BUILDING 6,500 SQ. FT.

PARKING :
ACCESSIBLE (VAN)
STANDARD
TOTAL

1 SPACE
24 SPACES
25 SPACES

PROPERTY AREA

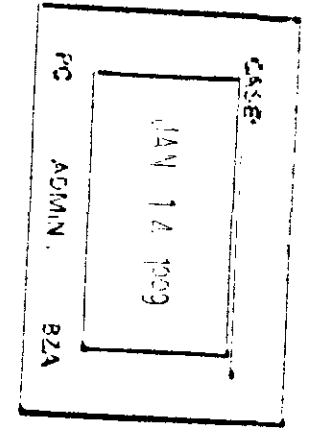
13,882 SQ. FT.



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STAFF



2-108-63 (30)

MIDBY OFFICE
BUILDING

Showing
Location
of :
Temporary Construction Office

SITE PLAN

CHECKED BY:	DRAWN BY:	REVISIONS:
ARCHITECT:	DATE:	DATE:
ENGINEER:	DATE:	DATE:

JOB NO. 98-06

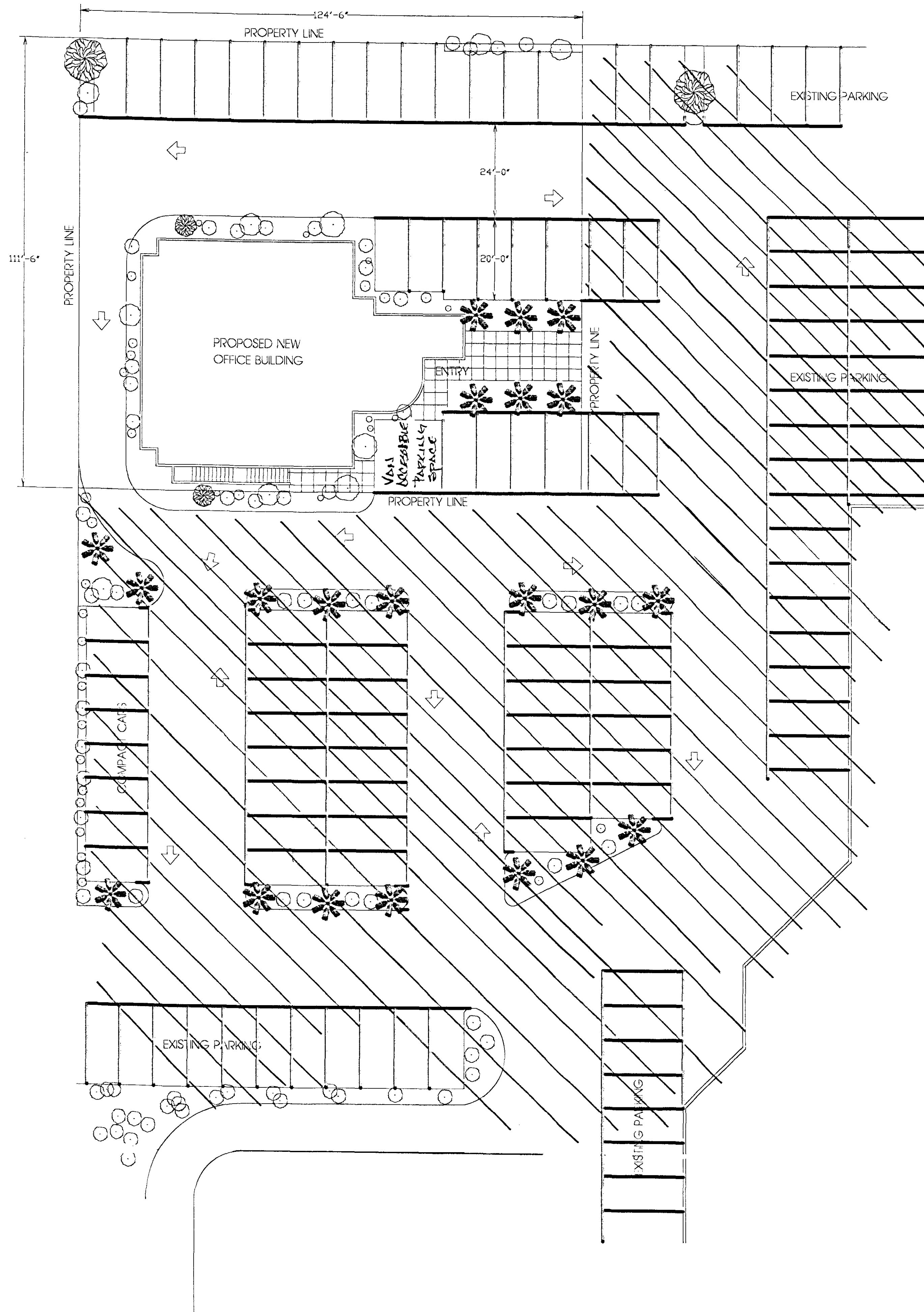
THORVAK ARCHITECTURE
INCORPORATED
1235 SHAFTER STREET
SAN DIEGO, CA 92106
TEL (619) 523-9000
FAX (619) 523-9000

SHEET NO.

A1

SITE PLAN

SCALE 1/16"=1'-0"
3,385 SQ. FT.



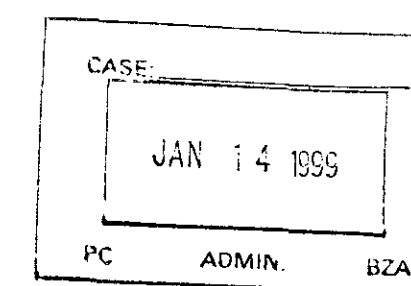
PROPERTY LINE

OFFICE BUILDING 6,500 SQ. FT.

PARKING :
ACCESSIBLE (Van)
STANDARD
TOTAL

1 SPACE
24 SPACES
25 SPACES

PROPERTY AREA 13,882 SQ. Ft.



2340 Paseo Del Prado
Suite D-101
Las Vegas, Nevada
89102

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Site Plan
2-10-98-63(25)

THORYK ARCHITECTURE
INCORPORATED
1235 SHAFTER STREET
SAN DIEGO, CA 92106
TEL (619) 523-9050
FAX (619) 523-9055

CHECKED BY:	DRAWN BY:	DATE:	DATE:
ARCHITECT:	ARCHITECT:	08/26/98	08/11/98
ENGINEER:	ENGINEER:		

SITE PLAN

MIDBY OFFICE
BUILDING

SHEET NO.

A1