



September 16, 2015

Cecile Properties, LLC
3175 Bel Air Drive
Las Vegas, Nevada 89109

RE: ARC-60929 [PRJ-60878] - SIGN DESIGN REVIEW

**LAS VEGAS
CITY COUNCIL**

CAROLYN G. GOODMAN
MAYOR

STEVEN D. ROSS
MAYOR PRO TEM

LOIS TARKANIAN
RICKI Y. BARLOW
STAVROS S. ANTHONY
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

Dear Applicant:

Your request for a Major Amendment of an approved Building and Sign Elevation Review (SUP-55207) FOR CHANGES TO EXTERIOR ELEVATIONS AND SIGNAGE ONLY IN ASSOCIATION WITH AN APPROVED 2,268 SQUARE-FOOT MEDICAL MARIJUANA DISPENSARY at 420 East Sahara Avenue (APN 162-03-416-022), C-1 (Limited Commercial) Zone, Ward 3 (Coffin) [PRJ-60878], was considered by the Downtown Design Review Committee on September 15, 2015.

This approval is subject to the following conditions:

Planning

1. Conformance to the sign elevations and documentation as submitted and date stamped 08/25/15 in conjunction with this request, except as modified herein.
2. All signage, including temporary signage, shall have proper permits obtained through the Department of Building and Safety prior to installation of any proposed signage.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

The Notice of Final Action was filed with the Las Vegas City Clerk on September 16, 2015.

Sincerely,

Steve Swanton, AICP
Senior Planner
Case Planning Division

SS:clb

cc: Ms. Lucy Stewart
1916 Trail Peak Lane
Las Vegas, Nevada 89134

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.7463

TTY 7-1-1

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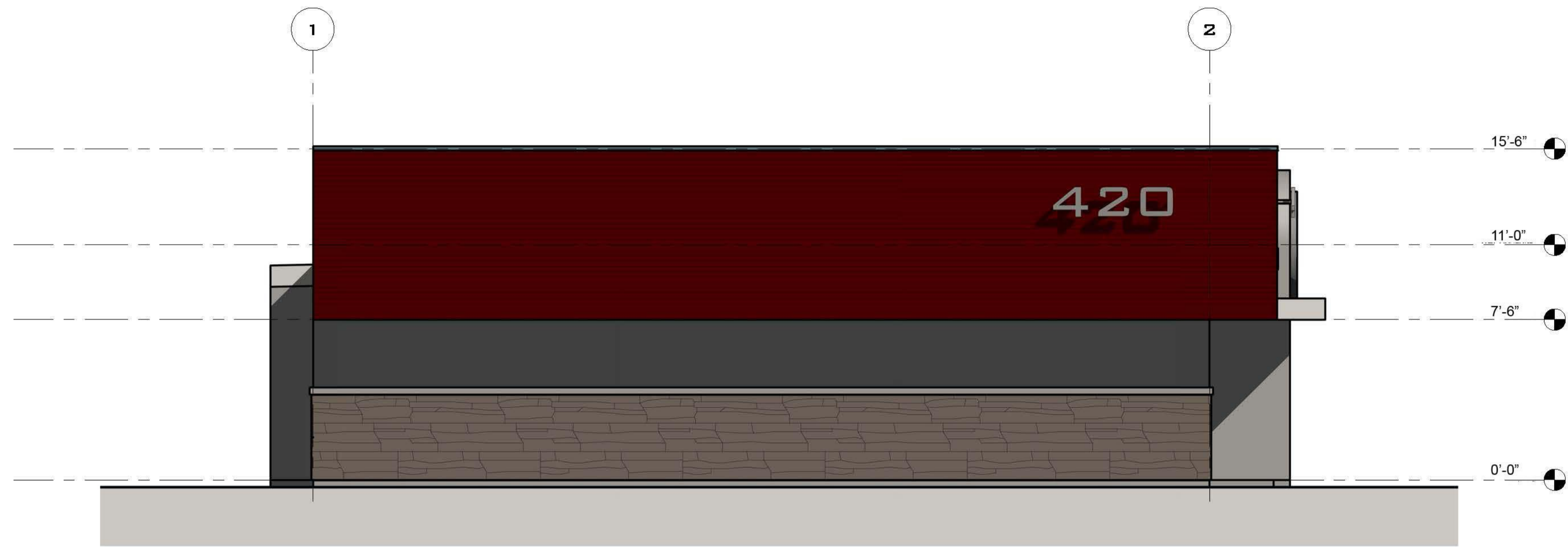
RENDERING

420 Sahara Wellness

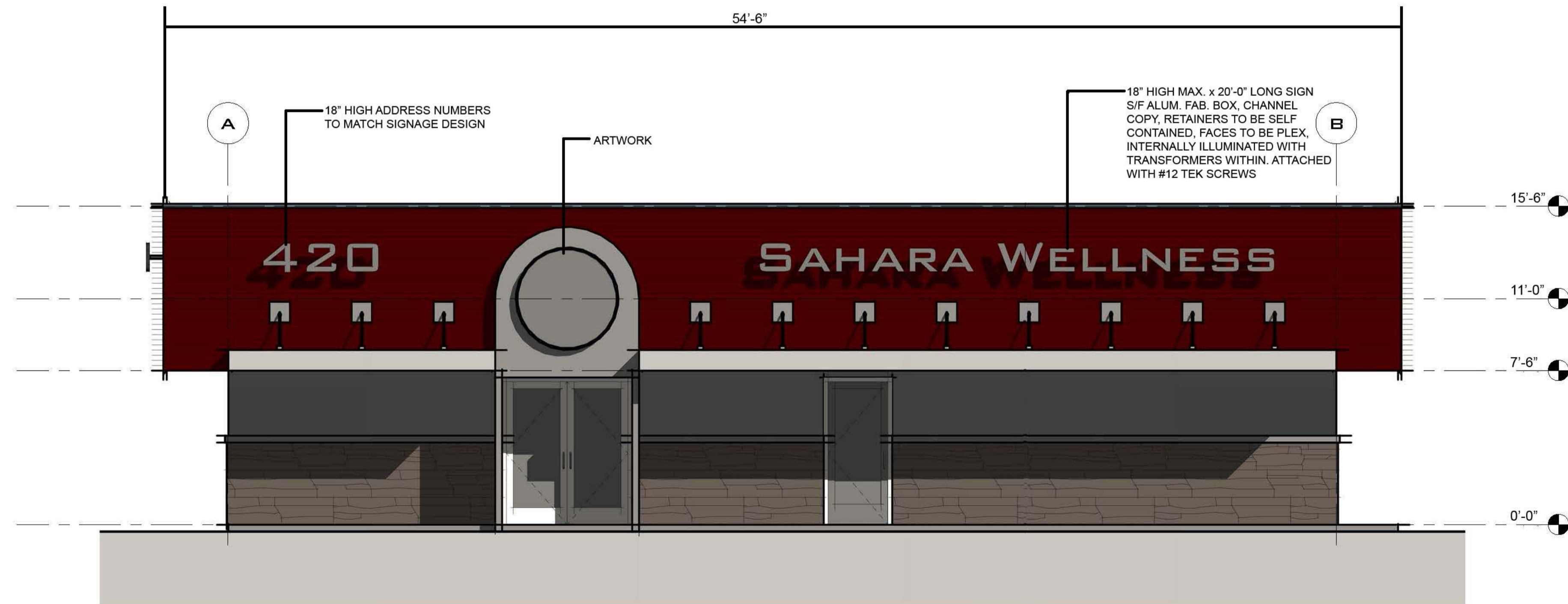
pacific design concepts, llc

PRJ-60878
08/25/15

6725-5 s. eastern avenue, las vegas, nevada 89118



2 LEFT ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

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project title :
420 WELLNESS

Architect:
pacific design concepts
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

PRELIMINARY
NOT FOR
CONSTRUCTION

sheet title :
Elevations

issue dates :

drawn by :
C.J.

checked by :
GG

project no. :

revisions :

- ▲
- ▲
- ▲

sheet no.

A102

of sheets

PRJ-60878
08/25/15



December 22, 2014

Cecile Properties, LLC
420 East Sahara Avenue
Las Vegas, Nevada 89104

RE: REHEAR - SUP-55207 - SPECIAL USE PERMIT
CITY COUNCIL MEETING OF DECEMBER 17, 2014

Dear Applicant:

The City Council at a regular meeting held December 17, 2014 APPROVED the request for a Special Use Permit FOR A PROPOSED 2,268 SQUARE-FOOT MEDICAL MARIJUANA DISPENSARY at 420 East Sahara Avenue (APN 162-03-416-022), C-1 (Limited Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on December 18, 2014. This approval is subject to:

Planning

1. Conformance to all Minimum Requirements under LVMC Title 19.12 for a Medical Marijuana Dispensary use.
2. No physician or medical person making recommendations for medical marijuana may be located within a dispensary.
3. There shall be no on-premise consumption (the use, smoking, ingestion or consumption of any marijuana, edible marijuana or marijuana infused product) on the licensed premises.
4. All development shall be in conformance with the site plan, building elevations and floor plan, date stamped 08/04/14, and sign elevations date stamped 08/07/14, except as amended by conditions herein. Any modification of the premises of a medical marijuana establishment shall be filed 60 days in advance of any proposed construction. A full and complete copy of all architectural and building plans shall be filed with the Director for a review of compliance with Title 6.95 and Title 19. The Director shall review the plans and approve any modifications in compliance with this chapter prior to the commencing of any construction of modifications.
5. This approval shall be void eighteen months from the date of final approval, unless exercised pursuant upon the issuance of a business license. An Extension of Time may be filed for consideration by the City of Las Vegas.
6. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
7. Conformance to the associated final recommendation of the Downtown Design Review Committee (DDCR) shall be required.
8. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit, as well as submitted as part of any business license application.
9. The presence of minors on the premises of a medical marijuana establishment is prohibited unless the minor is a qualified patient on the premises of a dispensary and is accompanied by his or her parent or legal guardian.

LAS VEGAS
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ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
495 S. MAIN STREET
LAS VEGAS, NEVADA 89101

VOICE 702.229.6511

TTY 7-1-1

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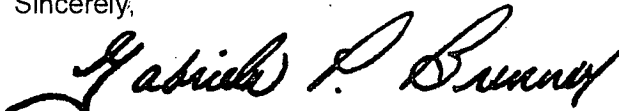


/city of las vegas

2014 WINNER OF THE U.S. CONFERENCE OF MAYORS CLIMATE PROTECTION AWARD

10. Approval of this Special Use Permit does not constitute approval of a medical marijuana facility license.
11. This business shall operate in conformance to Chapter 6.95 of the City of Las Vegas Municipal Code.
12. No temporary signs such as banners, pennants, inflatable objects, streamers, flags, or other similar attention gaining item or devices shall be displayed upon the subject property or a vehicle displaying advertisement in the parking lot of the subject property without the appropriate permits.
13. This Special Use Permit shall be reviewed biennially concurrently with the associated business license, at which time the City Council may require the termination of the use. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Medical Marijuana Dispensary be removed.
14. All medical marijuana products shall remain in the original manufacturer's configuration intended for off-sale.
15. A Medical Marijuana Dispensary shall obtain all required approvals from the State of Nevada to operate such a facility prior to the Special Use Permit being exercised pursuant to LVMC 19.16.110.
16. Conformance to all regulations pertaining to Medical Marijuana Establishment found within Nevada Revised Statute 453A and Nevada Administrative Code NAC 453A.
17. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,



Gabriela Portillo-Brenner
Deputy City Clerk for
Beverly K. Bridges, MMC, City Clerk

cc: Ms. Brenda Gunsallus
Desert Aire Wellness, LLC
520 South Fourth Street, 2nd Floor
Las Vegas, Nevada 89101

Ms. Lucy Stewart
LAS Consulting
1916 Trail Peak Lane
Las Vegas, Nevada 89134



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CAROLYN G. GOODMAN
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STAVROS S. ANTHONY
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

August 4, 2015

Cecile Properties LLC
3175 Bel Air Drive
Las Vegas, Nevada 89109

**RE: SUP-60371 [PRJ-60307] – SPECIAL USE PERMIT
ADMINISTRATIVE CYCLE - AUGUST 2015**

Dear Applicant:

Your request for a Minor Amendment to an approved Special Use Permit (SUP-55207) TO UPDATE THE FLOOR PLAN FOR A PROPOSED 2,268 SQUARE-FOOT MEDICAL MARIJUANA DISPENSARY at 420 East Sahara Avenue (APN 162-03-416-022), C-1 (Limited Commercial) Zone, Ward 3 (Coffin) [PRJ-60307], has been considered administratively by the Department of Planning staff.

The Department of Planning has administratively **APPROVED** your request subject to the following:

Planning

1. Conformance to all Minimum Requirements under LVMC Title 19.12 for a Medical Marijuana Dispensary use.
2. Conformance to the Conditions of Approval for Special Use Permit (SUP-55207) shall be required, except as modified herein.
3. Development shall conform to the floor plans, date stamped 07/23/15.
4. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
5. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
6. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
7. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING

DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

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TTY 7-1-1

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This action by the Department of Planning staff on August 4, 2015 is final unless a written appeal is filed with the Director of the Department of Planning within ten days of the date of this letter.

Sincerely,

A handwritten signature in black ink, appearing to read "Andrew P. Reed". The signature is stylized with large, sweeping loops and a long, thin tail extending to the right.

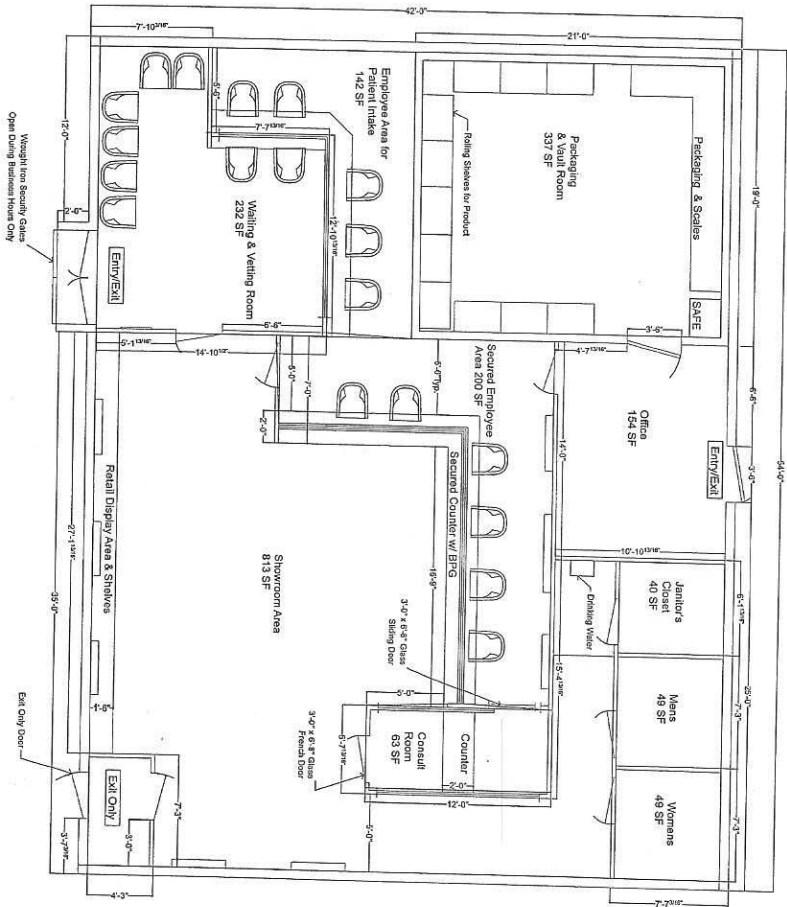
Andrew P. Reed, AICP
Planning Supervisor
Case Planning Division

AR:nl

cc:

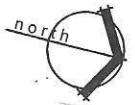
Ms. Lucy Stewart
1916 Trail Peak Lane
Las Vegas, Nevada 89134

Occupancy/Load: Total occupancy area = 2141 SF 426 SF sealed occupancy at 15 SF = 28 plus 1715 SF at 60 SF per occupant = 29, per Class M
 Total Occupancy = 57 (Occupancy calculation are based on I.B.C.O. Table 1004.1.2)



FLOOR PLAN SCALE 1/4" = 1'

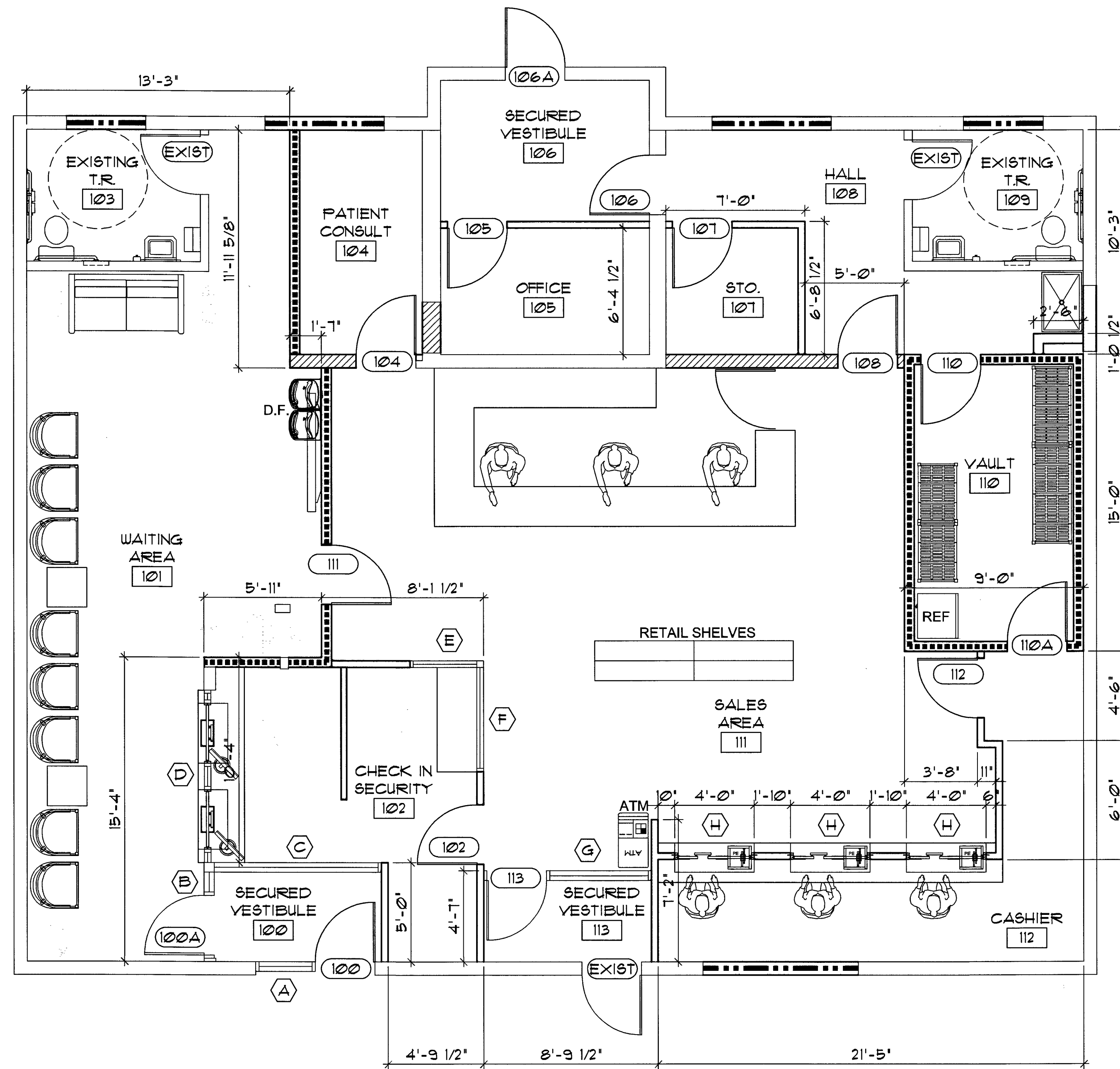
PREVIOUSLY APPROVED FLOOR PLAN



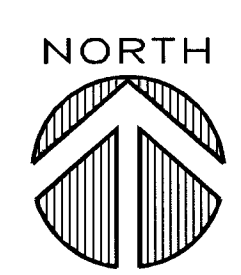
PRJ-60307
07/23/15

PROJECT INFORMATION
 DESERT AIRE OF LAS VEGAS
 420 EAST SAHARA
 LAS VEGAS, NEVADA 89104

TRINITY HAVEN DEVELOPMENT, LLC
 211 TOWER STREET
 LAS VEGAS, NEVADA 89101
 702-204-8737 trinityhs@yahoo.com
 LICENSE # 75064



A FLOOR PLAN
SCALE: 1/4"=1'-0"



GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUDS CENTERLINE OF GRIDS AND COLUMNS.
2. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE BEGINNING WORK.
3. CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK.
4. APPLIANCES AND OTHER EQUIPMENT BY OWNER (N.I.C.)
5. ALL PARTITIONS ADJACENT TO OR LOCATED AT THE BACK OF PLUMBING FIXTURES SHALL BE CONSTRUCTED WITH MOISTURE RESISTANT GYP. BD.
6. VAULT WALLS TO RECEIVE TWO (2) LAYERS OF 3/16" STEEL ON THE INTERIOR SIDE OF ALL WALLS. WALL FRAMING AND STEEL TO EXTEND TO FLOOR DECK ABOVE.

WALL LEGEND

- INTERIOR WALL CONSTRUCTION
3-5/8" METAL STUDS X 25 GA. AT 16" O.C. WITH 5/8" TYPE 'X' GYP. BD. EACH SIDE (U.N.O.)
- INTERIOR WALL CONSTRUCTION
6" METAL STUDS X 25 GA. AT 16" O.C. WITH 5/8" TYPE 'X' GYP. BD. EACH SIDE (U.N.O.)
- INTERIOR WALL CONSTRUCTION
8" METAL STUDS X 25 GA. AT 16" O.C. WITH 5/8" TYPE 'X' GYP. BD. EACH SIDE (U.N.O.)
- EXTERIOR WALL CONSTRUCTION
8" BRICK TO MATCH EXISTING CONSTRUCTION
- EXISTING WALL CONSTRUCTION TO REMAIN

LEGEND

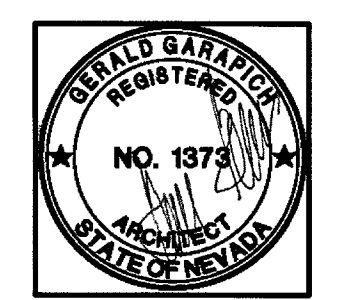
- (EXIST) EXISTING DOOR TO REMAIN
- (XXX) NEW DOOR - SEE SCHEDULE
- (E) EXISTING WINDOW TO REMAIN
- (X) NEW WINDOW - SEE SCHEDULE

APPROVED
BY: *[Signature]*
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS
8-16-15

PLANS APPROVED FOR CONSTRUCTION
BY AN AUTHORIZED CONSULTANT FOR
THE CITY OF LAS VEGAS DEPARTMENT
OF BUILDING AND SAFETY
AUG 18 2015

pacific design concepts, llc
6725-S S. EASTERN AVENUE
LAS VEGAS, NEVADA 89119
(702) 454-5842 fax (702) 454-7842

project title
**DESERT AIRE
TENANT IMPROVEMENT**
420 E. SAHARA AVENUE
LAS VEGAS, NEVADA 89104



sheet title
FLOOR PLAN

Issue dates	6/24/2015
drawn by	KKG
checked by	RCA
project no.	15-09
revisions	
sheet no.	A1.01
of	_____ sheets

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