

ROSABELLA @ SARATOGA HIGHLANDS

PLAN 1792



4670 S. FORT APACHE STREET SUITE 200
LAS VEGAS, NEVADA 89147 (702)837-2100

GENERAL NOTES

- 1 ALL PLANS ARE GENERATED WITH THE AID OF COMPUTER AIDED DRAFTING SYSTEM.
- 2 DIMENSIONS AND NOTATIONS ON PLANS HAVE PREFERENCE OVER GRAPHIC DEPICTIONS AND SHOULD BE UTILIZED TO SETTLE ANY DISCREPANCIES - ANY DISCREPANCIES FOUND SHOULD BE FORWARDED TO THE PLANNING AND DESIGN DEPARTMENT OF BEAZER HOMES, INC.
- 3 PLANS ARE GENERATED FROM A COMMON GRAPHIC DATA-BASE WITH MODIFICATIONS AS REQUIRED TO ADAPT PLANS TO LOCAL BUILDING CONDITIONS AND SPECS FOR EACH LOCALITY.
- 4 PLANS ON 11x17 SIZE PAPER ARE ONE HALF NOTED SCALE

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GENERAL CONSTRUCTION SPECIFICATIONS

- 1 PLANS ARE DESIGNED TO MEET THE 2003 IRC BUILDING CODE, LATEST EDITION AS ISSUED BY THE STATE OF NEVADA, WITH MODIFICATIONS AND AMENDMENTS AS REQUIRED TO MEET LOCAL BUILDING CODES FOR EACH APPLICABLE JURISDICTION.
- 2 PLANS SHALL COMPLY WITH THE 2003 IRC, IBC, UMC, UPC, 2002 NEC AND 1992 NEC AS AMENDED BY CLARK COUNTY.
3. PRESUMPTIVE SOIL PRESSURE IS 2000 LBS/SF.
4. ALL HOUSE SLABS TO BE 3000 PSI CONCRETE MINIMUM AND ALL GARAGE SLABS TO BE 3000 PSI CONCRETE MINIMUM UNLESS NOTED OTHERWISE.
5. TYPICAL FOUNDATION CONSTRUCTION DETAILS ARE SHOWN ON RESPECTIVE FOUNDATION PLANS (INCLUDING ENGINEERING PLANS) AND TYPICAL WALL SECTION DETAIL SHEETS GENERATED FOR EACH DRAWING SET.
6. TEMPERED GLASS SHALL COMPLY TO IRC 308.4.
7. HOUSE CONSTRUCTION IS TYPICAL 2x4 STUDS AT 16" O.C. AT ALL EXTERIOR WALL UNLESS OTHERWISE NOTED. ALL INTERIOR BEARING WALLS TO BE CONSTRUCTED WITH 2x4 STUDS AT 16" O.C. ALL INTERIOR NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. WALLS THAT ARE TO BE BALLOON FRAMED OR CONSTRUCTED WITH 2x6 STUDS WILL BE NOTED AS SUCH.
8. ALL CONSTRUCTION SPECIFICATIONS NOT COVERED IN THIS SHEET, OR IN PLAN SETS AND GENERAL SPECIFICATIONS, ARE TO MEET ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
9. THE INTERIOR OF THE BUILDING SHALL BE SEPARATED FROM FOAM PLASTIC INSULATION BY AN APPROVED THERMAL BARRIER (IRC R319.1).
10. PROVIDE A WEEP SCREED PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS (R703.6.2.1).
11. WHEN GRIPSU, BOARD IS USED AS A BASE FOR TILE OR WALL PANELS FOR TUB, SHOWER, OR WATER CLOSET COMPARTMENT WALLS-RESISTANT GRIPSU BACKING BOARD SHALL BE USED (R702.4.2).
12. BUILDINGS HAVING FLOORS OF WOOD FRAME CONSTRUCTION, CRAFT STOP THE AREA BETWEEN THE CEILING AND FLOOR ABOVE SO THAT NO CONCEALED SPACE EXCEEDS 1,000 SF, AND NO HORIZONTAL DIMENSION EXCEEDS 80 LF. (R502.12.2).
13. FIRE BLOCKING SHALL COMPLY WITH IRC R602.8.
14. OCCUPANCY TO BE SINGLE FAMILY DWELLING.
15. PLEASE SEE SHEET CD-4 FOR EPL DETAILS. USE AT ALL AREAS APPLICABLE SUPERSEEDING ANY OTHER DETAILS INFORMATION.

CONTRACTOR

These plans are prepared and submitted by the architect as an obligation to him and do not constitute a contract. The contractor shall be responsible for obtaining all applicable codes and regulations.

DATE: 08/20/13
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DESIGNED BY: [Signature]

RECEIVED

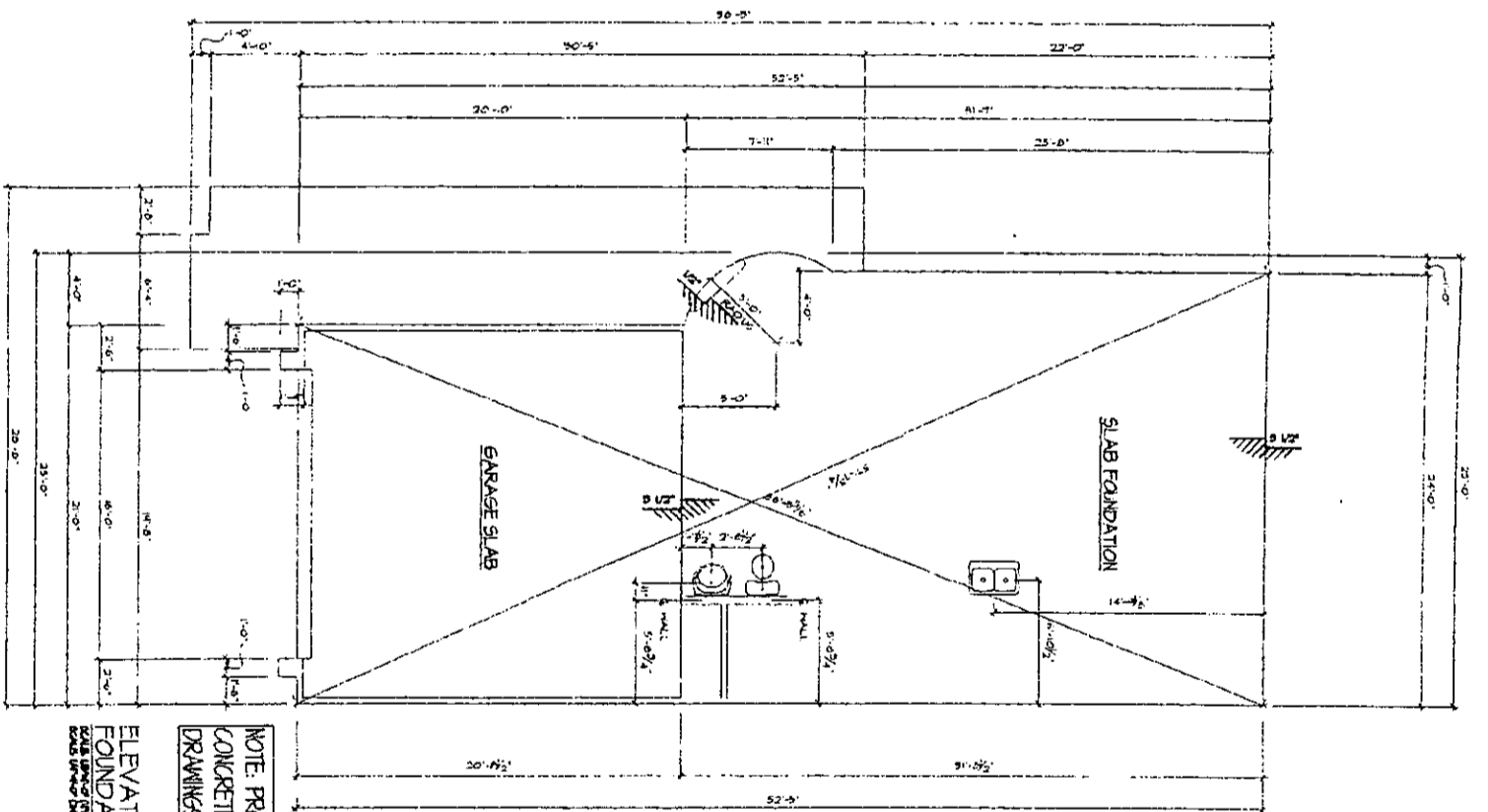
SEP 17 2013

CLIFFS EDGE
6363 6363

COVER SHEET
PLAN 1792

CS-1.0

EOT-51273



NOTE: PROVIDE FOOTINGS AND CONCRETE PER ENGINEERING DRAWINGS

ELEVATION A, B, & C FOUNDATION PLAN

CONTRACTOR

This plan was prepared and submitted by the contractor as a response to the RFP for the construction of the above described project under RFP No. 12-01.

DATE: 08/20/13

BY: [Signature]

FOUNDATION PLAN
 PLAN 1200

S-1.0

RECEIVED
 SEP 17 2013

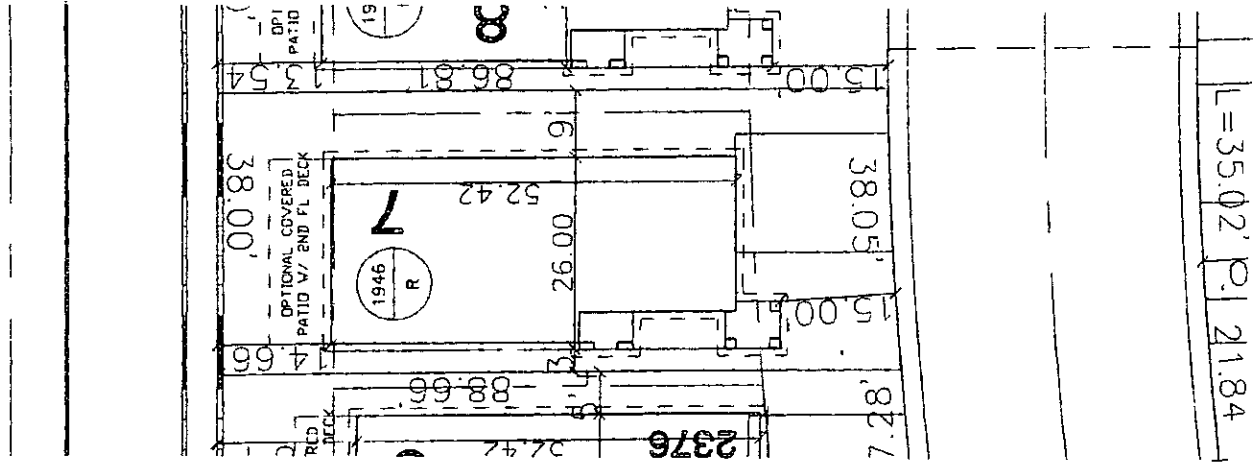
EOT-51273

EOT-51273
 SEP 17 2013

RECEIVED

I hereby certify that I have reviewed this application and the proposed plan and have found that the proposed development meets the requirements of the City of Las Vegas Flood Hazard Reduction Ordinance for the issuance of this Development Permit.

LAND DEVELOPMENT _____ DATE _____
 PLANNING DEPARTMENT _____ DATE _____
 BUILDING DEPARTMENT _____ DATE _____
 CONDITIONS _____
 CONTACT NAME _____ PHONE NO. _____ FAX NO. _____
 CONTRACTOR/AGENT/OWNER _____ DATE _____ STATE LICENSE NO. _____ CITY LICENSE NO. _____
 SCALE: 3/8"

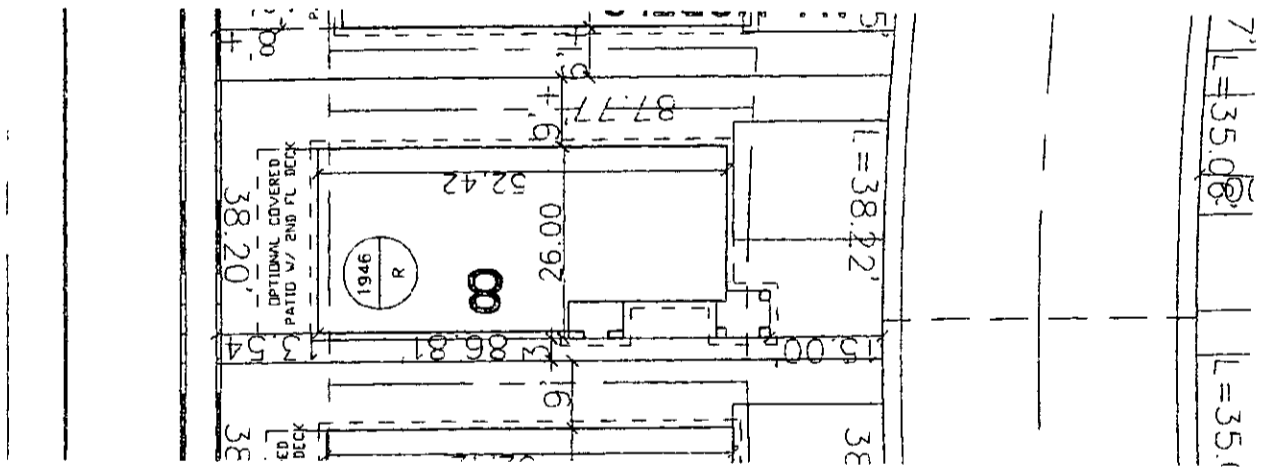


APPLICATION / PLOT PLAN FOR REPETITIVE TRACT PERMITS

ADDRESS: _____ PARCEL NO: _____
 REC. SUBDIV: _____ ZONE: _____
 PLAN CHECK: _____ LOT: _____ BLOCK: _____ BOOK: _____ PAGE: _____
 APPROVAL FOR: SFD PATIO COVER BALCONY ONLY

APPLICATION / PLOT PLAN FOR REPETITIVE TRACT PERMITS

ADDRESS: _____
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SCALE: 30

CONTRACTOR/AGENT/OWNER _____ DATE _____ STATE LICENSE NO. _____ CITY LICENSE NO. _____
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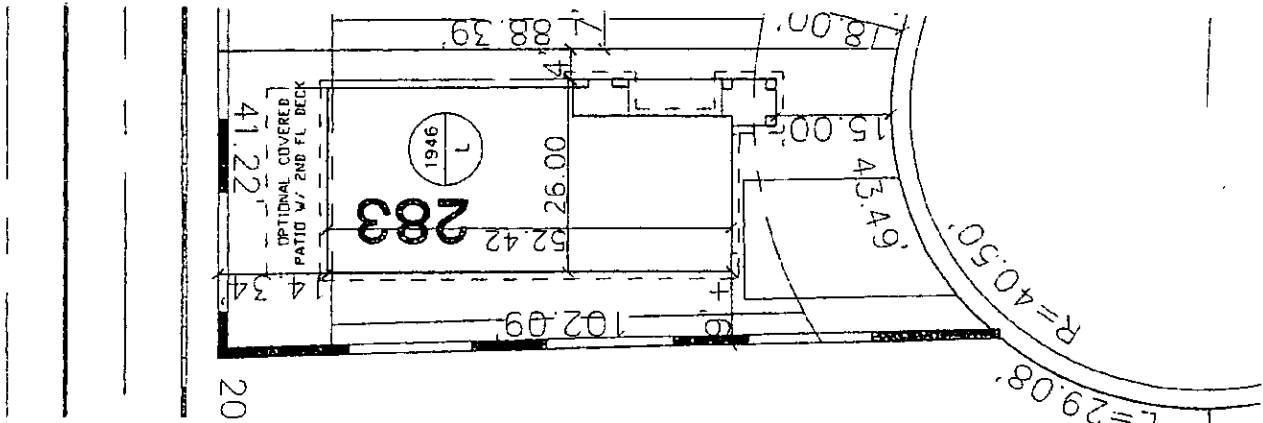
PLANNING DEPARTMENT _____ DATE _____ BUILDING DEPARTMENT _____ DATE _____

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APPROVAL FOR: SFD PATIO COVER BALCONY ONLY

WARRANTY CLAIM FOR REFUND FORM

Date prepared _____

Invoice # : _____
 (Invoice # assigned by Finance)

FREDRA JUNIOR, OSI
 Preparer's name

Service Address: _____

Refund Amount: 300.00 Beazer Homes Holding Corporation
 Payee Name

Ray Huff
 Attention to:

184 Bird Cove
 Address

Henderson, NV 89011
 City, State, Zip Code

Return of Cash Bond?
 (click below for "Yes" "No" options)

No

For the following : EOT-51273
 (Application Number and Template Type)

Reason for Refund:
 Per Planning Division Manager Doug Rankin: The EOT is not needed, please refund all fees.

 Claimant Signature

 Phone Number

Original Forms must be submitted - no fax copies will be accepted.

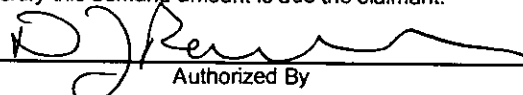
BELOW FOR DEPARTMENT USE ONLY:

(Refund of a Cash Bond requires two signature approvals)

I certify this demand amount is due the claimant:

I certify this demand amount is due the claimant:

 Authorized By


 Authorized By

 Title

DOUG RANKIN, AICP, PLANNING MANAGER
 Title

 Date

 Date

Itemized Amounts for Refund:

Item	Fee Amt	% Refund	Refund Amt	Fund/Org	Account	Project	Task	Option
Processing Fee	300.00	100%	300.00	007301	261100	EE4100	000	000
Recording of Notice of Zoning		100%	0.00	007301	261100	EE4100	000	000
Notification & Advertising Fee (PH)		100%	0.00	007301	261100	EE4100	000	000
Notification & Advertising Fee (NM)			0.00	007301	261100	EE4100	000	000
Mailing Labels Fee			0.00	007301	261100	EE4100	000	000
			0.00					
			0.00					
			0.00					

Total Amount to be Refunded: 300.00

Report Date 09/25/2013 01:40 PM

Submitted By

Page 1

A/P # 51273 Type EOT Issued Date Issued By

Parcel 12613212283

Location

Owner BEAZER HOMES HOLDINGS CORP

Phone

Address 184 BIRD COVE AVE
HENDERSON NV 89011-2525

Country Foreign

Applicant's Full Name BEAZER HOMES HOLDINGS CORP

Day Phone Fax

Address 184 BIRD COVE AVE

Pager HENDERSDN NV

89011

Fees

PROCESSING FEE

300.00

Total Paid

300.00

Declared Value 0.00

Type of Work

Calculated Value 0.00

Square Footage 0.00

Actual Value 0.00

Comments

EOT-51273; 12613212283

Fredra M. Junior

From: Doug Rankin
Sent: Wednesday, September 25, 2013 7:35 AM
To: Fredra M. Junior
Subject: EOT-51273

This item is ok to refund.

Doug Rankin, AICP
Planning Manager
702-229-5408

Tell us how we're doing! Please [click here](#) to take a short online survey to help us improve our service.

ROSABELLA @ SARATOGA HIGHLANDS

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A-10		FIRST AND SECOND FLOOR PLANS
A-11		FLOOR PLAN OPTIONS
A-20		ELEVATION IV
A-21		ELEVATION V
A-22		ELEVATION VI
A-23		ELEVATION VII
A-24		ELEVATION WOODWORK FINISH & BOOK
A-25		ELEVATION WOODWORK FINISH W/CL
A-30		BATHING SECTION
A-40		WATERING DETAILS
CD-1		ARCHITECTURAL DETAILS
CD-2		ARCHITECTURAL DETAILS
CD-3		ARCHITECTURAL DETAILS
CD-4		ARCHITECTURAL DETAILS
CD-5		DLT DETAILS
HD-1		Mechanical PLAN
HD-2		Mechanical PLAN OPTIONS
FD-1		PLUMBING PLAN
FD-2		ELECTRICAL SPECIFICATIONS
FD-3		FIRST & SECOND FLOOR ELECTRICAL PLANS
FD-4		ELECTRICAL PLAN OPTIONS

RECEIVED

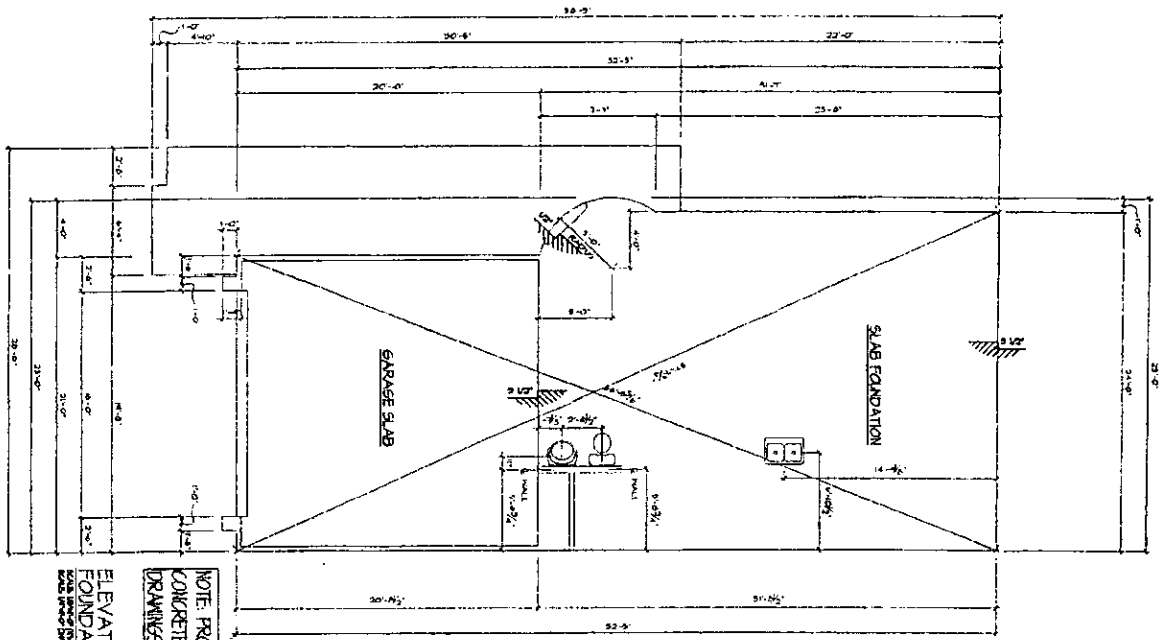
FEB 17 2013

EOT-51273

CS-1.0

COVER SHEET PLAN 1792

CLIFFS EDGE 6363



NOTE: PROVIDE FOOTINGS AND CONCRETE PER ENGINEERING DRAWINGS

ELEVATION A, B, & C FOUNDATION PLAN

CONTRACTOR

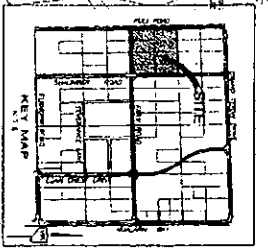
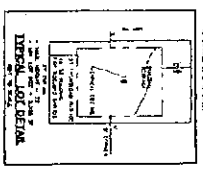
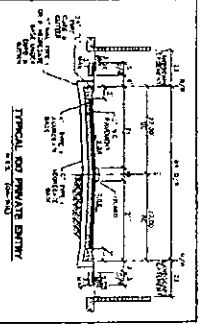
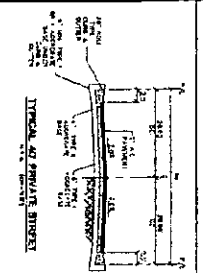
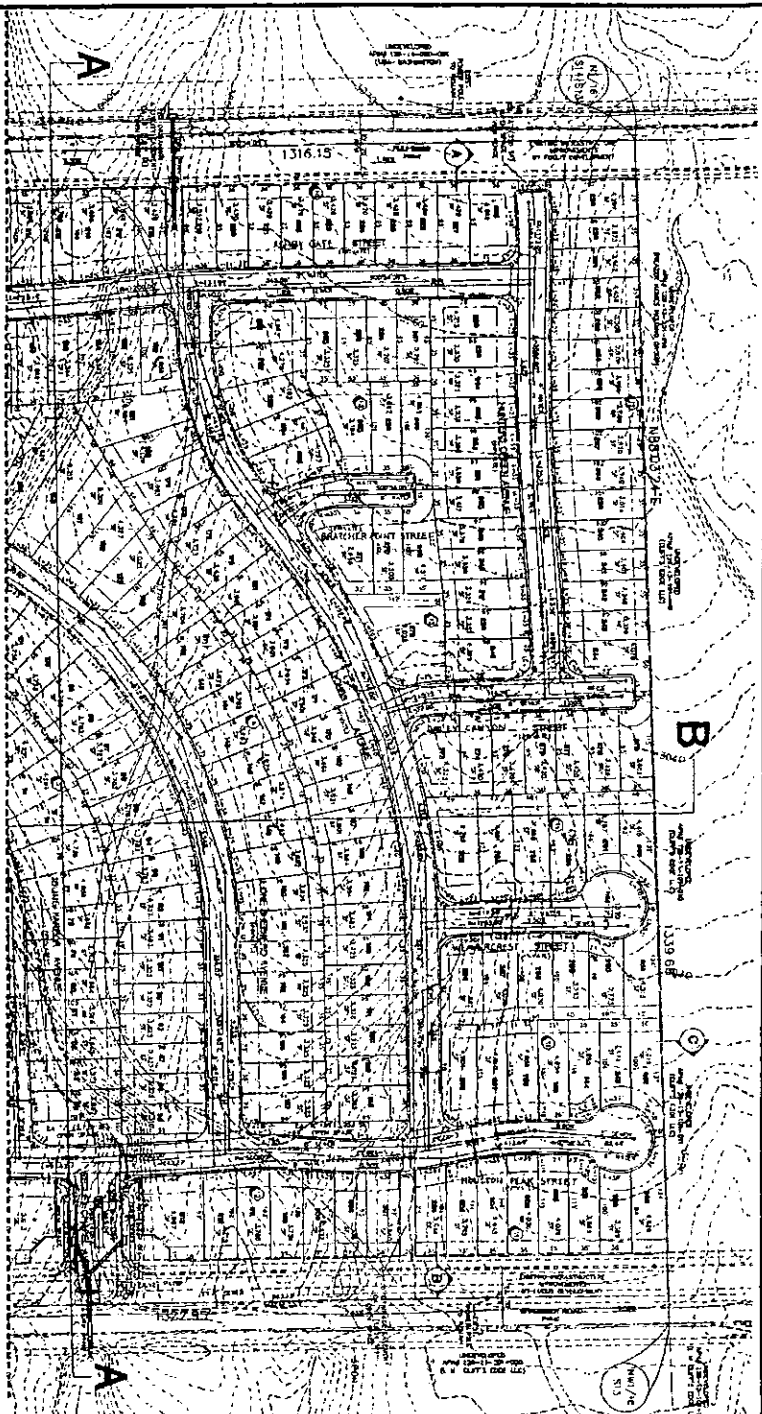
These plans are prepared and intended to be used by the contractor. The contractor is responsible for obtaining all necessary permits and for providing all necessary details. The contractor is also responsible for providing all necessary materials and labor. The contractor is not responsible for any errors or omissions in these plans.

FOUNDATION PLAN
DRAWING NO. 100

S-1.1

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EOT-51273



Call
 Overhead
 702-331-1800

Call
 702-331-1800

LEGEND

SWIFT CONTINGENT
 100% CASH
 100% CASH
 100% CASH

GENERAL NOTES

1. THIS MAP IS A TENTATIVE MAP AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN TO SHOW THE GENERAL LAYOUT OF THE PROJECT.

2. THE CITY OF LAS VEGAS HAS REVIEWED THIS MAP AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT.

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LEGAL DESCRIPTION

REMARKS

GENERAL NOTES

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

PROJECT NO: [Number]

DATE: [Date]

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EOT-51273

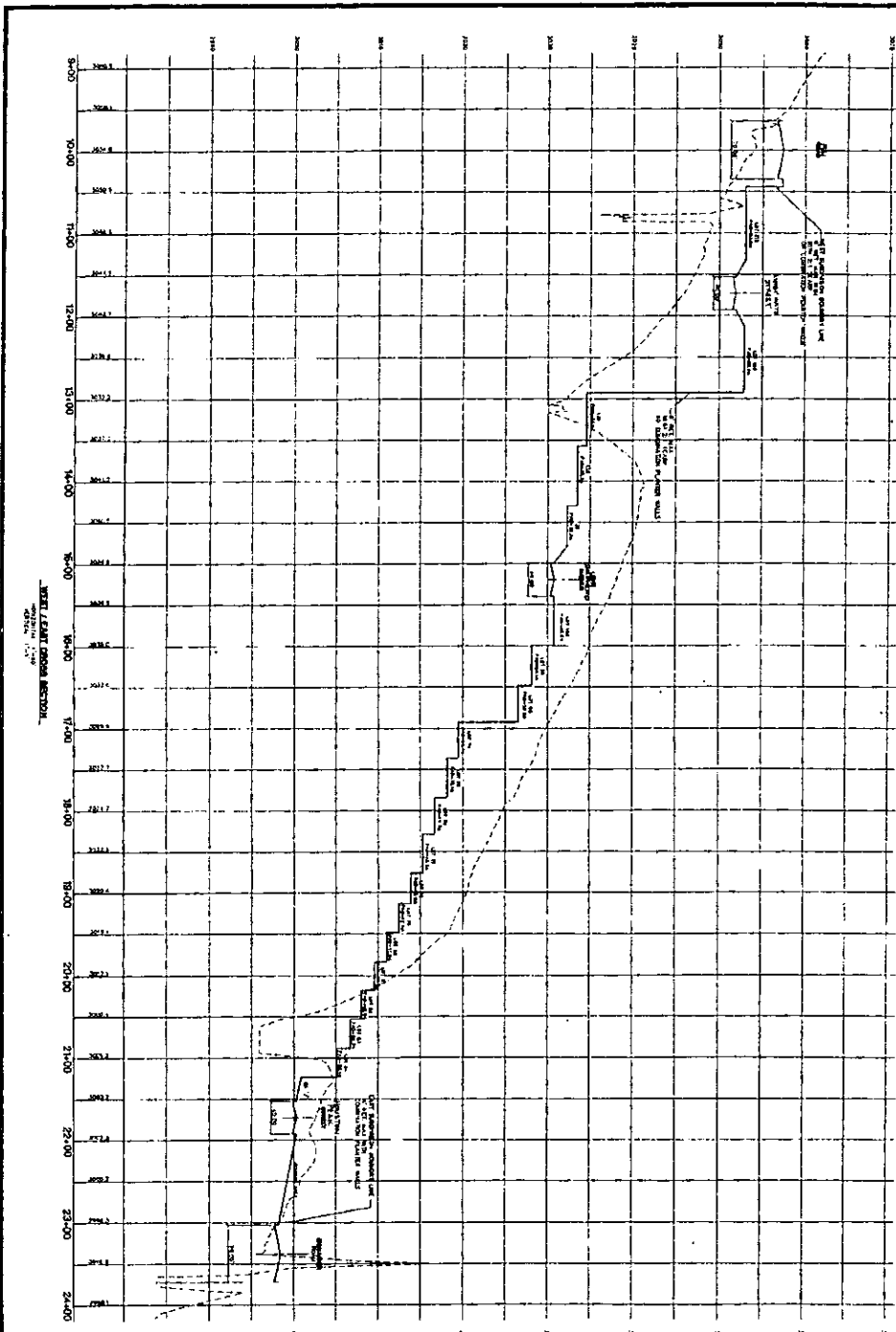
TENTATIVE MAP

BEAZER HOMES
 8400 S. PUEBLO BLVD. SUITE 200
 LAS VEGAS, NEVADA 89123
 (702) 331-1800

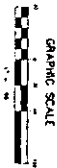
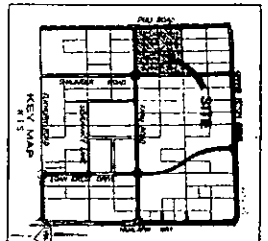
CITY OF LAS VEGAS, NEVADA

BEAZER & CLIFFS EDGE
 POU 200

VTL
 2177 SOUTH HARBOR BLVD. SUITE 1000 LAS VEGAS, NEVADA 89102
 (702) 331-1800



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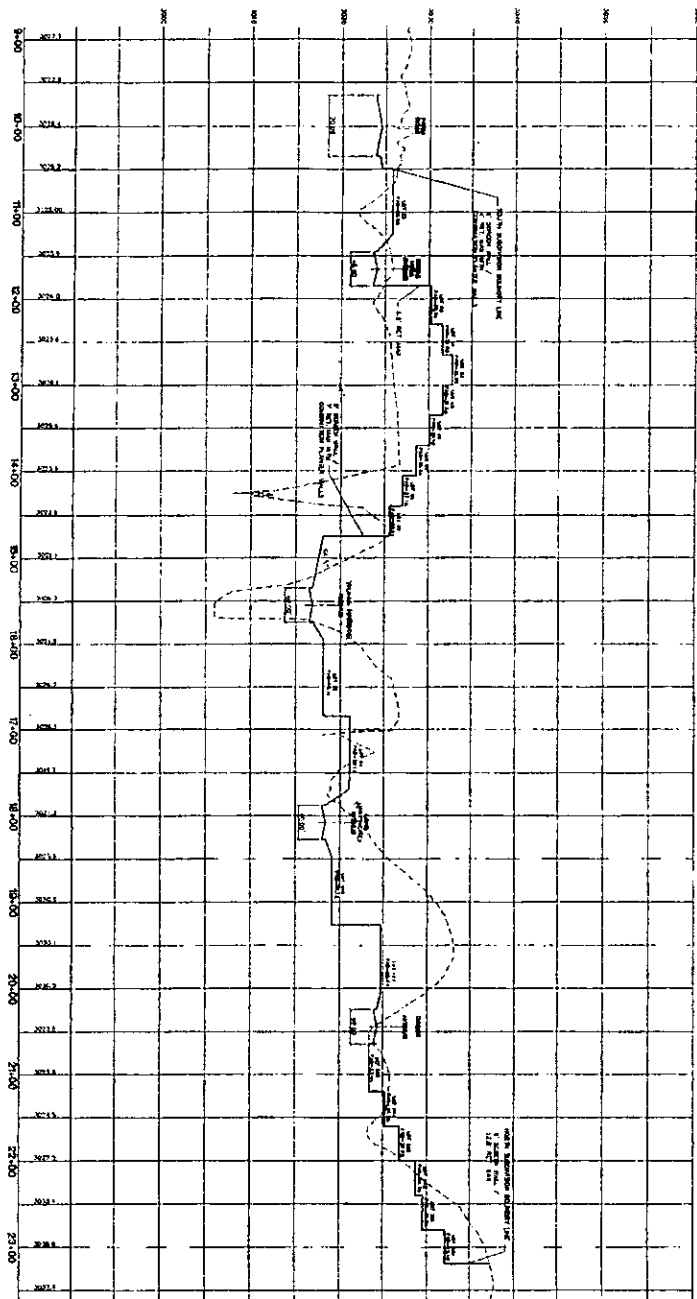


	DRAWN BY: <u> </u> DESIGNED BY: <u> </u> CHECKED BY: <u> </u>	TENTATIVE MAP SITE CROSS SECTION BEAZER • CLIFFS EDGE POD 205	BEAZER HOMES 4950 S. FIRST ST. SUITE 200 LAS VEGAS, NEVADA 89117 (702) 251-7100	CITY OF LAS VEGAS, NEVADA 1727 SOUTH WINDY HOLLOW BOULEVARD, SUITE 100, LAS VEGAS, NV 89119 PH: (702) 252-1500 FAX: (702) 252-5287 WWW.BEAZERHOMES.COM
	PROJECT NO. <u> </u> SCALE: <u> </u> OF <u> </u>			

RECEIVED

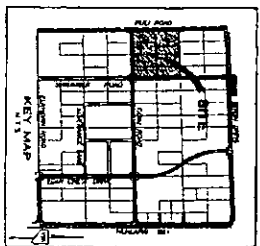
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SOUTH / NORTH CROSS SECTION

B



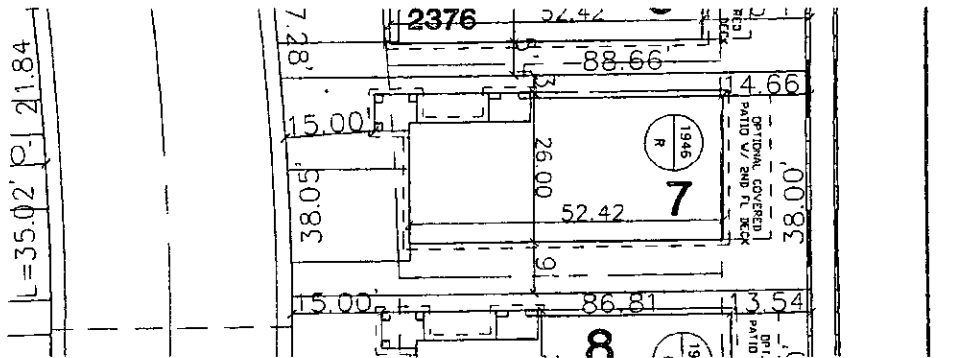
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	BEAZER HOMES, 221 SOUTH FURNON BOULEVARD LAS VEGAS, NEVADA 89102 P. (702) 475-7300 FAX (702) 383-2397 WWW.BEAZERHOMES.COM			

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APPLICATION / PLOT PLAN FOR REPETITIVE TRACT PERMITS

ADDRESS: _____ PARCEL NO: _____
 REC. SUBDIV: _____ ZONE: _____
 PLAN CHECK: _____ LOT: _____ BLOCK: _____ BOOK: _____ PAGE: _____
 APPROVAL FOR: SFD PATIO COVER BALCONY ONLY



SCALE: 30

CONTRACTOR/AGENT/OWNER _____ DATE _____ STATE LICENSE NO. _____ CITY LICENSE NO. _____

CONTACT NAME _____ PHONE NO. _____ FAX NO. _____

CONDITIONS _____

PLANNING DEPARTMENT _____ DATE _____ BUILDING DEPARTMENT _____ DATE _____

LAND DEVELOPMENT _____ DATE _____

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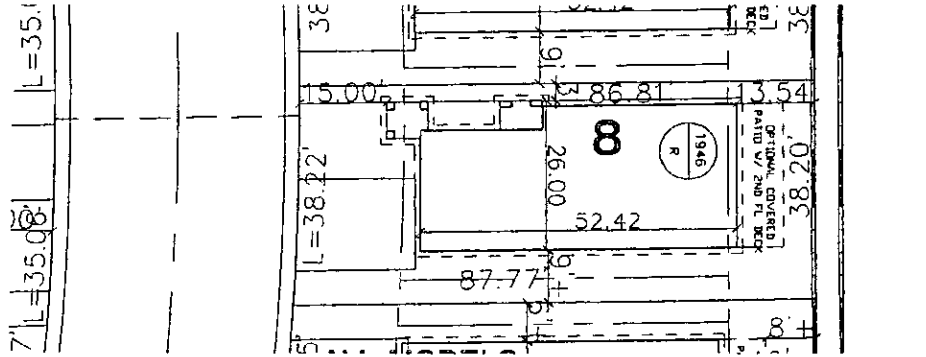
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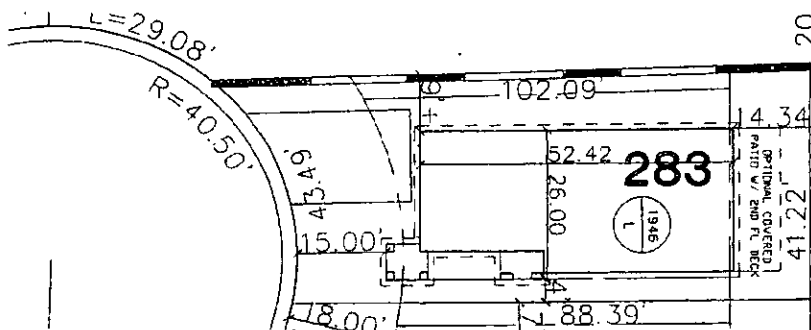
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T THOMASON
C CONSULTING
E ENGINEERS

September 13, 2013

City of Las Vegas
Planning & Development
333 N. Rancho Drive
Las Vegas, NV 89101

Reference: Pod 205 at Cliffs Edge
Extension of time for VAR-9078
APN #126-13-212-283 (Lot 283)

On behalf of Beazer Homes, we respectfully request your consideration of the attached Extension of time for VAR-9078

Location:

The proposed site is located on Farm Rd and Puli Rd Section 13, Township 19 South, Range 59 East.

Background:

This subdivision is within the Cliff's Edge Master Plan community.

Request:

At this time, we are requesting approval of an Extension of Time for the above Variance. The approved variance is to allow a 13-foot rear-yard set back where a 15-foot minimum rear yard setback is required. These three lots are part of a later phase within the project. Due to the economic conditions these homes have not been constructed yet. We are requesting a 2 year extension on this application.

Please place this request for a variance on the next available Planning Commission agenda. If you have any questions or need additional information, please call me at 932-6125

Sincerely,



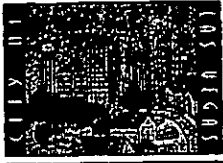
Sonia Macias
Project Coordinator

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SEP 17 2013

3277 East Warm Springs Road, Suite 400
Las Vegas, Nevada 89120
Phone (702) 932-6125 • Fax (702) 932-6129

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108
Voice:

Administration 229-6353
Camp Planning 229-6022
Current Planning 229-6301
www.lasvegasnevada.gov



066128

October 21, 2005

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Mr. Ernie Rubi
Beazer Homes Holdings Corporation
4670 South Fort Apache Road, Suite #200
Las Vegas, Nevada 89147

RE: VAR-9078 - VARIANCE

Dear Mr. Rubi:


Your request for a Variance TO ALLOW A THIRTEEN-FOOT REAR-YARD SETBACK WHERE 15 FEET IS THE MINIMUM SETBACK REQUIRED ON THREE PROPOSED LOTS WITHIN on 40.52 acres adjacent to the northwest corner of Farm Road and Puli Road (APN 126-13-210-001), P-D (Planned Development) Zone [ML (Medium-Low Density Residential) Cliff's Edge Special Land Use Designation], Ward 6 (Ross), was considered by the Planning Commission on October 20, 2005.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. Conformance to the Conditions of Approval for approved Tentative Map (TMP-4431).
2. This Variance shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by the City of Las Vegas.
3. If this Variance is approved and the numbering of the lots were to change the Variance would only apply to the lots numbered 7, 8, and 283 on the approved Tentative Map dated (6/24/04).

This action by the Planning Commission is final. The notice of final action was filed with the City Clerk on **October 21, 2005**.

Sincerely,

Gary Leobold, Planning Supervisor
Planning and Development Department
Current Planning Division

GL:clb

cc: Mr. Jason Kepple
VTN Nevada
2727 South Rainbow Boulevard
Las Vegas, Nevada 89146

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



07101-001-07-05

EOT-51273

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DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Extension of Time (VAR-9078)

Project Address (Location) Farm Road / Puli Road

Project Name Beazer @ Cliffs Edge POD 205 Proposed Use SFR

Assessor's Parcel #(s) 126-13-212-283 Ward # 6

General Plan: existing _____ proposed _____ Zoning: existing PD proposed PD

Commercial Square Footage _____ Floor Area Ratio _____

Gross Acres 40.52 Lots/Units 306 Density _____

Additional Information FMP-10705

PROPERTY OWNER Beazer Homes Holding Corp Contact Ray Huff

Address 184 Bird Cove Phone: 837-2100 Fax: _____

City Henderson State NV Zip 89011

E-mail Address rhuff@beazer.com

APPLICANT Beazer Homes Holding Corp Contact Ray Huff

Address 184 Bird Cove Phone: _____ Fax: _____

City Henderson State NV Zip 89011

E-mail Address rhuff@beazer.com

REPRESENTATIVE Thomason Consulting Engineers Contact Sonia Macias

Address 3277 E. Warm Springs Rd #400 Phone: 932-6125 Fax: 931-6129

City Las Vegas State NV Zip 89120

E-mail Address smacias@tce-lv.com

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name W.A. June
Division President
Beazer Homes-Las Vegas

Subscribed and sworn before me

This 23rd day of August, 20 13

[Signature]
Notary Public in and for said County

FOR DEPARTMENT USE ONLY

Case # EOT-51273

Meeting Date: 11/12/13

Total Fee: 300.00

Date Received: 9/17/13

Received By: [Signature]

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **EOT-51273** APN: 126-13-212- 283

Name of Property Owner: Beazer Homes Holding Corp

Name of Applicant: Beazer Homes Holding Corp

Name of Representative: Thomason Consulting Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

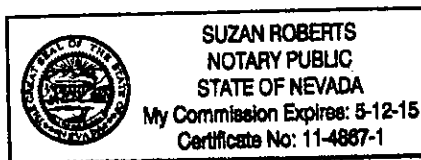
Signature of Property Owner:

Print Name: W.A. June
Division President
Beazer Homes-Las Vegas

Subscribed and sworn before me

This 23rd day of Aug, 2013

Notary Public in and for said County and State



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SEP 17 2013

RESOLUTION NO. BHHC-2012-10

BEAZER HOMES HOLDINGS CORP.

(As sole member of Beazer Pre-Owned Construction, LLC)

BEAZER HOMES SALES, INC.

(As sole member of Beazer Pre-Owned Homes LLC)

BEAZER HOMES TEXAS HOLDINGS, INC.

*(As general partner of Beazer Homes Texas, L.P.,
the general partner of BH Building Products, LP)*

APPOINTMENT OF OFFICERS AND SIGNATORIES

PHOENIX REGIONAL ACCOUNTING CENTER ("RAC")

Originally Executed March 18, 2008

Last Updated March 13, 2012

The undersigned, being the President and Chief Executive Officer (the "CEO") of Beazer Homes Holdings Corp., a Delaware corporation (the "Company") pursuant to authorities granted to him by the Board of Directors to (1) appoint and remove officers of the Company and (2) authorize any person or persons to execute and deliver deeds, bonds, mortgages contracts or other obligations or instruments on behalf of the Company, does hereby take the following actions and directs the Secretary to file this Resolution with the minutes of the Company.

The following individuals are hereby appointed to serve as officers (the "Officers") or signatories (the "Designated Agent") of the Company and certain of its direct and indirect subsidiaries, including Beazer Pre-Owned Construction, LLC, Beazer Homes Sales, Inc., sole member of Beazer Pre-Owned Homes LLC (together with Beazer Pre-Owned Construction, LLC, the "Pre-Owned Division"), and Beazer Homes Texas Holdings, Inc., general partner of Beazer Homes Texas, L.P., the general partner of BH Building Products, LP, (the "Subsidiaries"), each as set forth below:

A. The individuals listed as Officers and Other Designated Individuals on Annex A shall have the authority set forth in this paragraph with respect to any of the cities located in the *Phoenix RAC*. These individuals shall have the authority to execute any and all documents incidental to the performance of his/her

assigned duties and authorities, including but not limited to, purchase and sale agreements and related addenda, closing documents **except** for deeds, construction agreements, plats, CCRs, HOA documents, bonds, permit applications, utility easements and supplier and subcontractor agreements.

B. The individuals listed as Designated Agents on Annex B shall have authority with respect to any of the cities located in the *Phoenix RAC* to execute any and all documents incidental to the performance of his/her duties if authorized to do so by the CEO or the *Phoenix RAC* CFO.

C. The individuals listed on Annex C shall have the authority to execute the documents detailed therein. With respect to Division Presidents and Senior Regional Presidents, that authority may be exercised for the office in which the individual is located. With respect to the RAC CFO, that authority may be exercised with respect to any office in the *Phoenix RAC*.

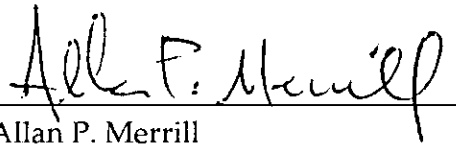
D. The individuals listed on Annex D and Annex E shall have the specific duties detailed therein and may only exercise those duties and powers for the office in which the individual is located except in Section E.2 and E.2a, which extends to all cities located in the *Phoenix RAC*. Further, any individual listed on Annex D and Annex E may be authorized to exercise his/her authority on behalf of any city in the *Phoenix RAC*, on an interim or permanent basis, by the CEO or the *Phoenix RAC* CFO. Such authorization shall be in writing.

The CEO hereby ratifies, confirms and declares that any act or thing heretofore done by any Officer or Designated Agent within the scope of this appointment shall be binding on the Company.

This Resolution supersedes any prior Resolution, Designation of Authority or other authority document issued by the Company prior to the date of this instrument, and the authority delegated to any individual so named herein shall remain in effect until the earlier of (i) death, (ii) termination of employment with the Company, whether voluntary or involuntary, or (iii) written termination or revocation hereof of any Officer's or Designated Agent's authority by the Company or the CEO. The cessation of authority of any so named individual shall not affect the authority of the remaining individuals listed in this document and the authority of the remaining individuals shall remain in full force and effect unless and until terminated in accordance with the terms of this paragraph.

SIGNATURE PAGE
RESOLUTION BHHC-2012-10

IN WITNESS WHEREOF, the undersigned has set his hand March 14
2012.


Allan P. Merrill

ANNEX A
Officers and Other Designated Individuals
Phoenix RAC

NAME	TITLE
Roy Alley	Regional CFO - Phoenix RAC
Ryan Johnson	Controller, RAC - Phoenix RAC

ANNEX B
Designated Agents
Phoenix RAC

NAME	TITLE
Roy Alley	Regional CFO - Phoenix RAC
Roy Alley	Regional CFO - Phoenix RAC - for BH Building Products, LP and Pre-Owned Division
William Duffy	Mgr, Finance FP&A RAC - Phoenix RAC
Scott Hartson	Director of Acquisitions, Pre-Owned Division - Phoenix RAC
Angela Helms	Area Dir, HR - Phoenix RAC
Leslie Hickman	Transactions Mgr, - Pre-Owned Division
Tamara Kuehl	Mgr, Escrow Closing RAC - Phoenix RAC

ANNEX C

President, EVP & General Manager or RAC CFO Phoenix RAC

1. Non-binding letters of intent prior to approval by the Land Acquisition and Review Committee ("LAR"). All other documents, including but not limited to (1) purchase agreements, (2) option agreements or (3) disposition agreements, may be signed by a Division President or RAC CFO or designee provided the document(s) to be signed (1) has been reviewed and approved by the Legal Department or an attorney designated by the Legal Department; (2) the agreements include a due diligence period allowing the agreement to be completely terminated without any obligation or cost; and (3) any deposits are fully refundable.

2. Land purchase or sale agreements and land option agreements so long as the contemplated purchase or sale has received approval from the CEO or LAR.

NAME	TITLE
Roy Alley	Regional CFO - Phoenix RAC
Ken Dohrn	President, Divisional - Phoenix
Gerald A. Gates	President, Divisional - California
Bill June	President, Divisional - Las Vegas, New Mexico
Troy Radelat	President, Divisional - Dallas
Kurt Watzek	President, Divisional Sr - Houston

ANNEX D

President, EVP & General Manager or Controller Phoenix RAC

1. Administrative contracts, regardless of size

2. Purchase and Sale agreements and related addenda and closing documents (including FHA and VA)

3. Construction agreements, permit applications and bond applications, including offsite municipality bonds

4. Development and construction agreements, plats, CCRs, HOA documents, utility easements, rights of way, supplier and subcontractor agreements

5. Confidentiality agreements and Non-disclosure agreements after review by legal department

NAME	TITLE
Ken Dohrn	President, Divisional - Phoenix
Gerald A. Gates	President, Divisional - California
Bill June	President, Divisional - Las Vegas, New Mexico
Troy Radelat	President, Divisional - Dallas
Kurt Watzek	President, Divisional Sr - Houston

ANNEX E

Other Officers and Designated Agents of Beazer Homes Holdings Corp. Phoenix RAC

E.1 Administration	
1. Contracts for supplies, office equipment and other general contracts	
2. Any and all other documents incidental to the performance of the duties described above if authorized by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned.	
NAME	TITLE
Leslie Hickman	Transactions Mgr – Pre-Owned Division
Sam Ownby	Const Dept Head – Houston
June Struttman	Office Manager – Phoenix
James Van Gelder	Sales/Mktg Dept Head – Colorado & New Mexico

E.2 Closings – Execution of Deeds – Closing of Homes	
The following individuals are authorized by the Company to execute any and all deeds in connection with the sale of homes in the <i>Phoenix RAC</i> . For the purposes of signing deeds in the <i>Phoenix RAC</i> , the title Vice President, Phoenix RAC will be used on all deeds.	
NAME	
Roy Alley	
Clarence Clemons	
Ken Dohrn	
Gerald A. Gates	
Julie Glass	
Scott Hartson	
Ryan Johnson	
Bill June	
Sam Ownby	
Troy Radelat	
James Stich	
Angie Thompson	
James Van Gelder	
Kurt Watzek	

E.2a Closings – Execution of Deeds – Acquisition and Disposition of Land

The following individuals are authorized by the Company to execute any and all deeds in connection with the disposition of land in the *Phoenix RAC*. For the purposes of signing deeds in the *Phoenix RAC*, the title Vice President, Phoenix RAC will be used on all deeds.

NAME	
Roy Alley	
Clarence Clemons	
Ken Dohrn	
Gerald A. Gates	
Ryan Johnson	
Bill June	
Troy Radelat	
Kurt Watzek	

E.3 Closings

1. Only those documents required to close a home sale, which shall include CCRs and other homeowner association documents. Individuals listed in this section who are not listed in **Section E.2a** above are specifically **NOT** authorized to sign deeds

2. Any and all other documents incidental to the performance of the duties described above if authorized by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned.

NAME	TITLE
Julie Glass	Mgr, Accounting – Houston
Cynthia Gonzales	Escrow/Closing Dept Head – Northern & Southern California
Leslie Hickman	Transactions Mgr – Pre-Owned Division
Tamara Kuehl	Mgr, Escrow Closing RAC – Phoenix RAC
Sam Ownby	Const Dept Head – Houston
Heather Phillips	Mgr, Escrow Closing RAC – Phoenix RAC
James Stich	LD Manager – Northern California
Angie Thompson	Design Center Manager – Dallas
James Van Gelder	Sales/Mktg Dept Head – Colorado & New Mexico

E.4 Construction

1. All Agreements and all permit and bond applications, including offsite municipality bonds
2. Any and all other documents incidental to the performance of the duties described above if authorized by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned.

NAME	TITLE
Bryan Bergeron	LD Professional – Southern California
Darius Fatakia	LD Manager – Southern California
Francois Gratton	Area Mgr/Gen Superintendent – Phoenix
Scott Hanenkrat	Const Dept Head – Southern California
Ray Huff	Sr Builder – Las Vegas
Sam Ownby	Const Dept Head – Houston
Richard Sergent	Sr Builder – Northern & Southern California
Steve Shane	Field Operations Mgr – Pre-Owned Division
Jim Shields	Area Mgr/Gen Superintendent – Dallas
James Stich	LD Manager – Northern California
Zac Thompson	Director of LA & LD – Dallas
James Van Gelder	Sales/Mktg Dept Head – Colorado & New Mexico

E.5 Land

1. All construction and development agreements, plats, CCRs, utility easements, rights of way, non-binding LOIs, all permit, permit based reporting and permit terminations and all bond application for off-site and site development
2. Other closing documents associated with the takedown of lots or the development of phases of a subdivision if approved by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned. (Only individuals who are listed on Section E.2a may sign deeds in connection with land acquisition, disposition or development.)
3. Any and all other documents incidental to the performance of the duties described above if authorized by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned.

NAME	TITLE
Greg Coleman	LD Manager – Houston
Darius Fatakia	LD Manager – Southern California
Myron Spencer	LA&LD Dept Head – Phoenix
James Stich	LD Manager – Northern California
Zac Thompson	Director of LA & LD- Dallas

E.6 Land Department Head

1. All construction and development agreements, plats, CCRs, utility easements, rights of way, non-binding LOIs, all permit, permit based reporting and permit terminations and all bond application for off-site and site development

2. Other closing documents associated with the takedown of lots or the development of phases of a subdivision if approved by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned. Only individuals who are listed on Section E.2 may sign deeds in connection with land acquisition, disposition or development

3. In the absence of a President or the Phoenix RAC CFO, documents required at the closing table, so long as they are based on executed contracts, may be signed by a land department head. A land department head is specifically not authorized to execute contracts or addendums as they relate to the purchase or sale of land.

4. Any and all other documents incidental to the performance of the duties described above if authorized by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned.

NAME	TITLE
None	

E.7 Sales

1. All sales agreements and related addenda

2. Any and all other documents incidental to the performance of the duties described above if authorized by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned.

NAME	TITLE
Katherine Barnes	Mgr, Sales - Dallas
Mike Barrow	Mgr, Sales - Houston
Jamie Betts	VP Sales - Houston
Scott Burrer	Land Acquisition Manager - Houston
Leslie Fisher	VP and Designated Broker - Phoenix
Scott Hartson	Director of Acquisitions - Pre-Owned Division
Timothy Large	Mgr, Sales - Houston
Matt Lott	VP Sales - Dallas
Kellie Perez	Mgr, Sales - Las Vegas
James Van Gelder	Sales/Mktg Dept Head - Colorado, New Mexico & Phoenix

E.8 Marketing	
1. All marketing and advertising agreements and related invoices	
2. Any and all other documents incidental to the performance of the duties described above if authorized by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned.	
NAME	TITLE
Ally Benoit	Regional Marketing Manager – Dallas & Houston
Christie Clark	Regional Marketing Manager – Phoenix, Las Vegas, New Mexico, California

E.9 Purchasing	
1. All supplier and subcontractor agreements	
2. Any and all other documents incidental to the performance of the duties described above if authorized by the CEO, the Phoenix RAC CFO or the President of the Office to which he/she is assigned.	
NAME	TITLE
Angie Thompson	Purchasing Professional – Dallas
Chris Brindle	Purchasing Professional – Phoenix
Chris Faltisek	RAC Sr. Purchasing Professional – Houston
Chanan Dayan	Sr. Purchasing Professional – Phoenix
Scott Hartson	Director of Acquisitions – Pre-Owned Division
Denise Nash	Mgr, Purchasing – California
Scott Rogers	Purchasing Professional – Phoenix & Las Vegas

E.10 Assistant Secretary	
Assistant Secretaries shall have the authority to attest to the signature of other officers of the Company, to have custody of the Corporate Seal, and to affix it to any instrument requiring it. The Assistant Secretary may also execute secretarial certificates from time to time, but only under the direction of, and with the permission of, the Corporate Secretary or Corporate Assistant Secretary.	
NAME	TITLE
Roy Alley	Assistant Secretary
Bill Duffy	Assistant Secretary
Julie Glass	Assistant Secretary
Scott Hartson	Assistant Secretary
Ryan Johnson	Assistant Secretary

20031105
02722

**State of Nevada
Declaration of Value**

1. Assessor's Parcel Number(s)

- a) Portion 126-13-201-001
- b) 126-13-201-011
- c) 126-13-201-002/003/004
- d) 126-13-201-009, *010 and 012*

2. Type of Property:

- a) Vacant Land
- b) Single Fam. Resi
- c) Condo/Townhse
- d) 2-4 Plex
- e) Apt. Bldg.
- f) Comm'l/Vmd'l
- g) Agricultural
- h) Mobile Home
- i) Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Documentation/Instrument #: _____
 Book: _____ Page: _____
 Date of Recording: _____
 Notes: _____

3. Total Value/Sales Price of Property: \$11,125,485.00

Deed in Lieu of Foreclosure Only (value of property): ()

Transfer Tax Value: \$11,125,485.00

Real Property Transfer Tax Due: \$56,740.05

4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090, Section: _____
- b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.830, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____

Capacity: Agent

Signature: _____

Capacity: _____

**SELLER (GRANTOR) INFORMATION
(REQUIRED)**

Print Name: Cliff Edge, LLC
 Address: 3435 Cliff Shadows Pkwy #220
 City: Las Vegas
 State: NV Zip: 89129

**BUYER (GRANTEE) INFORMATION
(REQUIRED)**

Print Name: Beazer Homes Holdings Corp.
 Address: 4670 S. Fort Apache Rd., Suite 200
 City: Las Vegas
 State: NV Zip: 89147

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: United Title of Nevada Escrow #: 03206017-027
 Address: P.O. Box 70480
 City/State/Zip: Las Vegas, Nevada 89170-0480

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

COPY
222

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CLARK COUNTY, NEVADA
FRANCES DEANE, RECORDER

RECORDED AT THE REQUEST OF:
UNITED TITLE OF NEVADA

11-05-2003 14:11 ARG

OFFICIAL RECORDS

BOOK/INSTR: 20031105-02722

PAGE COUNT: 11

FEE: 24.00
RPT: 56,740.05

Escrow No. 03206017-PB

R.P.T.T. \$ 56,740.05

126-13-201-001/011

126-13-201-002/003/004/009/010/012

**RECORDING REQUESTED BY, AND
WHEN RECORDED, RETURN TO:**
United Title of Nevada, Inc.
1750 West Horizon Ridge Parkway
Suite 203
Henderson, Nevada 89012
Attention: Frances Butler

Mail-First MAIL TAX STATEMENTS TO:
Beazer Homes Holdings Corp.
4670 S. Fort Apache Road, Suite 200
Las Vegas, Nevada 89147
Attention: Kirk Brynjolson

(Space above line for Recorder's use only)

GRANT BARGAIN AND SALE DEED

CLIFFS EDGE, LLC a Nevada limited liability company ("Grantor"), having an office at 3455 Cliff Shadows Parkway, Suite 220, Las Vegas, Nevada 89129, in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and Convey to said BEAZER HOMES HOLDINGS CORP., a Delaware corporation, its successors and assigns, all right, title and interest in, to and under the tracts, pieces or parcels of real property situated in the County of Clark, State of Nevada, more particularly described in Attachment A attached herein and incorporated herein by reference, together with all improvements thereon and all and singular the tenements, hereditaments and appurtenances therunto belonging or in anywise appertaining.

RESERVING UNTO Grantor all mineral rights, but without right of entry on the surface of such real property nor the right to drill, mine, store, explore or operate through the surface of such real property or within five hundred feet (500') from the surface of such real property;

RESERVING UNTO Grantor an exclusive easement in, to, upon, over, under, across and through the Community Common Areas described in Attachment B hereto, to be used by Grantor, its agents and contractors, for the construction and installation of common area improvements and landscaping, which easement may be assigned by Grantor to the Master Association created pursuant to the Master Declaration of Covenants Conditions and Restrictions and Reservation of Easements for Cliff's Edge to which the real property conveyed hereby is subject.

///

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COPY

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SUBJECT TO current taxes and assessments and all covenants, conditions, restrictions, easements, encumbrances, liens and other matters of record, as such are listed on Attachment C attached hereto.

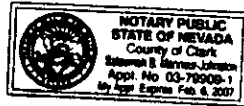
Dated as of the 30th day of October, 2003.

CLIFFS EDGE, LLC,
a Nevada limited liability company
By: Holdings Manager, LLC, a Nevada limited liability company, its Manager

By: *John A. Ritter*
John A. Ritter, Manager

STATE OF NEVADA)
COUNTY OF CLARK)

This instrument was acknowledged before me on October 30, 2003, by John A. Ritter, Manager of Holdings Manager, LLC, the Manager of Cliffs Edge, LLC, a Nevada limited liability company.



B. Thomas Johnson
(Signature of notarial officer)

ASSETS
CORP'S
COPY

RECEIVED
SEP 17 2013

20031105
02722

ATTACHMENT A TO GRANT BARGAIN SALE DEED
LEGAL DESCRIPTION

All that land situated in the County of Clark, State of Nevada, more particularly described as follows:

PARCEL A:

PARCEL 1: POD 205

The Northwest Quarter (NW ¼) of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 13, Township 19 South, Range 59 East, M.D.M., Clark County, Nevada.

PARCEL 2: POD 205

The West Half (W ½) of the Southeast Quarter (SE ¼) of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 13, Township 19 South, Range 59 East, M.D.M., Clark County, Nevada.

PARCEL 3: POD 205

The Northwest Quarter (NW ¼) of the Northeast Quarter (NE ¼) of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 13, Township 19 South, Range 59 East, M.D.M.

Excepting therefrom the North Thirty (30.00) feet, the West Thirty (30.00) feet and that certain spandrel area in the Northwest Corner thereof as described in Deed to Clark County, recorded April 13, 1981 in Book 1384 as Document No. 1343545, Official Records.

Being also described as Lot One (1) of Certificate of Land Division No. LD 52-81 recorded April 13, 1981 in Book 1384 as Document No. 1343544, Official Records.

PARCEL 4: POD 205

The Southwest Quarter (SW ¼) of the Northeast Quarter (NE ¼) of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 13, Township 19 South, Range 59 East, M.D.M.

Excepting therefrom the South Thirty (30.00) feet, the West Thirty (30.00) feet and that certain spandrel area in the Southwest Corner thereof as described in Deed to Clark County, recorded April 13, 1981 in Book 1384 as Document No. 1343545, Official Records.

Being also described as Lot Two (2) of Certificate of Land Division No. LD 52-81 recorded April 13, 1981 in Book 1384 as Document No. 1343544, Official Records.

RECEIVED
SEP 17 2013

20031105
02722

PARCEL 5: POD 205

The East Half (E ½) of the Northeast Quarter (NE ¼) of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 13, Township 19 South, Range 59 East, M.D.B & M.

PARCEL 6: POD 205

The West Half (W ½) of the Southwest Quarter (SW ¼) of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 13, Township 19 South, Range 59 East, M.D.B & M.

PARCEL 7: POD 205

The East Half (E ½) of the Southwest Quarter (SW ¼) of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 13, Township 19 South, Range 59 East, M.D.M.

PARCEL 8: POD 205

The East Half (E ½) of the Southeast Quarter (SE ¼) of the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 13, Township 19 South, Range 59 East, M.D.M.

PARCEL 9:

Non-exclusive easements for vehicular and pedestrian traffic, as provided for and subject to the terms and conditions as set forth in that certain "Master Declaration of Covenants Conditions and Restrictions and Reservation of Easements for Cliff's Edge", recorded October 15, 2003, in Book 20031015 as Document No. 02964, of Official Records.

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PROPOSED LEGAL: POD 205

Being the Southwest Quarter (SW ¼) of the Northwest Quarter (NW ¼) of Section 13, Township 19
South, Range 59 East, M.D.M.

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ATTACHMENT "B"

TO GBS DEED

COMMUNITY COMMON AREA EASEMENT

BEING A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 13, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 13, SAME BEING THE CENTERLINE INTERSECTION OF FARM ROAD AND PULJ ROAD; THENCE NORTH 00°54'05" WEST, ALONG THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 13, COINCIDENT WITH THE CENTERLINE OF SAID PULJ ROAD, 65.86 FEET; THENCE NORTH 89°05'55" EAST, DEPARTING SAID WEST LINE AND SAID CENTERLINE, 35.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF PULJ ROAD, SAME BEING THE POINT OF BEGINNING;

THENCE NORTH 00°54'05" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY, 1250.93 FEET TO THE NORTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 13; THENCE NORTH 88°03'24" EAST, DEPARTING SAID EASTERLY RIGHT-OF-WAY AND ALONG SAID NORTH LINE, 15.00 FEET; THENCE SOUTH 00°54'05" EAST, 1216.68 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 54.00 FEET; THENCE SOUTHEASTERLY, 85.53 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°45'12"; THENCE NORTH 88°20'44" EAST, 1121.80 FEET; THENCE NORTH 00°45'55" WEST, 65.01 FEET; THENCE NORTH 88°20'44" EAST, 60.01 FEET; THENCE NORTH 00°45'55" WEST, 1212.68 FEET TO THE NORTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 13; THENCE NORTH 88°03'24" EAST, ALONG SAID NORTH LINE, 15.00 FEET TO THE WESTERLY RIGHT-OF-WAY OF SHAUMBER ROAD; THENCE SOUTH 00°45'55" EAST, DEPARTING SAID NORTH LINE AND ALONG SAID WESTERLY RIGHT-OF-WAY, 1258.23 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 30.00 FEET; THENCE SOUTHWESTERLY, 46.66 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 89°06'38" TO THE NORTHERLY RIGHT-OF-WAY OF FARM ROAD; THENCE SOUTH 88°20'44" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY, 1206.57 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 30.00 FEET; THENCE NORTHWESTERLY, 47.52 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°45'12" TO THE POINT OF BEGINNING.

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ATTACHED C TO GRANT, BARGAIN, SALE DEED
PERMITTED EXCEPTIONS

THE FOLLOWING ITEMS AFFECT PARCEL 1:

1. Taxes for the fiscal year 2003-2004 are exempt. State, County and/or City taxes for the fiscal year 2004-2005, a lien not yet due and payable.
Parcel No. : 126-13-201-001
(With Other Property)
2. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls, in the Office of the Clark County Assessor, per Nevada Statute 361.260, arising as a result of a change in ownership or construction occurring on or after the date of this policy.
(None now due and payable)
3. Water rights, claims or title to water, whether or not shown by the public record.
4. A transmission line alignment which may exist or arise by reason of a Record of Survey
File : 88, of Surveys, Page 8
Recorded : March 18, 1997 in Book 970318
Document No. : 01458, Official Records.
5. Mineral rights, reservations and right of ways in patent from the United States of America.
6. Lack of proper compliance with the provisions of N.R.S. Chapter 278 and related ordinances which regulate the division of land.

THE FOLLOWING ITEMS AFFECT PARCEL 2:

7. Taxes for the fiscal year 2003-2004 are exempt. State, County and/or City taxes for the fiscal year 2004-2005, a lien not yet due and payable.
Parcel No. : 126-13-201-011
8. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls, in the Office of the Clark County Assessor, per Nevada Statute 361.260, arising as a result of a change in ownership or construction occurring on or after the date of this policy.
(None now due and payable)
9. Water rights, claims or title to water, whether or not shown by the public record.
10. Mineral rights, reservations and right of ways in patent from the United States of America.
11. Lack of proper compliance with the provisions of N.R.S. Chapter 278 and related ordinances which regulate the division of land.

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THE FOLLOWING ITEMS AFFECT PARCEL 3:

12. State, County and/or City taxes for the fiscal year 2003-2004 are paid in full in the amount of \$2,186.32
Parcel number: 126-13-201-002
13. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls, in the Office of the Clark County Assessor, per Nevada Statute 361.260, arising as a result of a change in ownership or construction occurring on or after the date of this policy.
(None now due and payable)
14. Water rights, claims or title to water, whether or not shown by the public record.
15. Mineral rights, reservations and right of ways in patent from the United States of America.
Recorded : March 23, 1977 in Book 741
Document No. : 700838, Official Records.

Said patent further reserves, and is subject to, a right-of-way not exceeding thirty-three (33) feet in width for roadway and public utility purposes, to be located along the boundaries of said land.

Partial Relinquishment of Patent Rights executed by Nevada Power Company, a Nevada Corporation
Recorded : August 08, 2003 in Book 20030808
Document No. : 01157, Official Records.

THE FOLLOWING ITEMS AFFECT PARCEL 4:

16. State, County and/or City taxes for the fiscal year 2003-2004 are paid in full in the amount of \$2,186.32.
Parcel number: 126-13-201-003
17. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls, in the Office of the Clark County Assessor, per Nevada Statute 361.260, arising as a result of a change in ownership or construction occurring on or after the date of this policy.
(None now due and payable)
18. Water rights, claims or title to water, whether or not shown by the public record.
19. Mineral rights, reservations and right of ways in patent from the United States of America.
Recorded : March 23, 1977 in Book 741
Document No. : 700838, Official Records.

Said patent further reserves, and is subject to, a right-of-way not exceeding thirty-three (33) feet in width for roadway and public utility purposes, to be located along the boundaries of said land.

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Partial Relinquishment of Patent Rights executed by Nevada Power Company, a Nevada Corporation
Recorded : August 08, 2003 in Book 20030808
Document No. : 01157, Official Records.

THE FOLLOWING ITEMS AFFECT PARCEL 5:

20. State, County and/or City taxes for the fiscal year 2003-2004 are paid in full in the amount of \$3,935.38.
Parcel number: 126-13-201-004
21. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls, in the Office of the Clark County Assessor, per Nevada Statute 361.260, arising as a result of a change in ownership or construction occurring on or after the date of this policy.
(None now due and payable)
22. Water rights, claims or title to water, whether or not shown by the public record.
23. Mineral rights, reservations and right of ways in patent from the United States of America.
Recorded : October 12, 1977 in Book 798
Document No. : 757512, Official Records.
- Said patent further reserves, and is subject to, a right-of-way not exceeding thirty-three (33) feet in width for roadway and public utility purposes, to be located along the boundaries of said land.
- Partial Relinquishment of Patent Rights executed by Nevada Power Company, a Nevada Corporation
Recorded : August 08, 2003 in Book 20030808
Document No. : 01157, Official Records.
24. The Westside-Mercury 138 KV transmission powerline as it currently exists as disclosed by a Record of Survey
File : 42, of Surveys, Page 15
Recorded : September 19, 1984 in Book 1993
Document No. : 1952705, Official Records.

THE FOLLOWING ITEMS AFFECT PARCEL 6:

25. State, County and/or City taxes for the fiscal year 2003-2004 are paid in full in the amount of \$4,372.64.
Parcel number: 126-13-201-009
26. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls, in the Office of the Clark County Assessor, per Nevada Statute 361.260, arising as a result of a change in ownership or construction occurring on or after the date of this policy.
(None now due and payable)

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27. Water rights, claims or title to water, whether or not shown by the public record.
28. Mineral rights, reservations and right of ways in patent from the United States of America.
Recorded : July 10, 1973 in Book 344
Document No. : 303717, Official Records.

Said patent further reserves, and is subject to, a right-of-way not exceeding thirty-three (33) feet in width for roadway and public utility purposes, to be located along the boundaries of said land.

Partial Relinquishment of Patent Rights executed by Nevada Power Company, a Nevada Corporation
Recorded : October 14, 2003 in Book 20031014
Document No. : 01159, Official Records.

THE FOLLOWING ITEMS AFFECT PARCEL 7:

29. State, County and/or City taxes for the fiscal year 2003-2004 are paid in full in the amount of \$4,372.64
Parcel number: 126-13-201-010
30. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls, in the Office of the Clark County Assessor, per Nevada Statute 361.260, arising as a result of a change in ownership or construction occurring on or after the date of this policy.
(None now due and payable)
31. Water rights, claims or title to water, whether or not shown by the public record.

32. Mineral rights, reservations and right of ways in patent from the United States of America.
Recorded : May 23, 1977 in Book 741
Document No. : 700826, Official Records.

Said patent further reserves, and is subject to, a right-of-way not exceeding thirty-three (33) feet in width for roadway and public utility purposes, to be located along the boundaries of said land.

THE FOLLOWING ITEMS AFFECT PARCEL 8:

33. State, County and/or City taxes for the fiscal year 2003-2004 are paid in full in the amount of \$4,372.64.
Parcel number: 126-13-201-012
34. Any taxes that may be due, but not assessed, for new construction which can be assessed on the unsecured property rolls, in the Office of the Clark County Assessor, per Nevada Statute 361.260, arising as a result of a change in ownership or construction occurring on or after the date of this policy.
(None now due and payable)
35. Water rights, claims or title to water, whether or not shown by the public record.

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36. Mineral rights, reservations and right of ways in patent from the United States of America.
Recorded : March 21, 1961 in Book 288
Document No. : 233476, Official Records.

Said patent further reserves, and is subject to, a right-of-way not exceeding thirty-three (33) feet in width for roadway and public utility purposes, to be located along the boundaries of said land.

Partial Relinquishment of Patent Rights executed by Nevada Power Company, a Nevada Corporation
Recorded : October 14, 2003 in Book 20031014
Document No. : 01159, Official Records.

37. The Westside-Mercury 138 KV transmission powerline as it currently exists as disclosed by a Record of Survey
File : 42, of Surveys, Page 15
Recorded : September 19, 1984 in Book 1993
Document No. : 1952705, Official Records.

THE FOLLOWING ITEMS AFFECT ALL PARCELS:

38. The terms, covenants, conditions and provisions as contained in an instrument, entitled "Master Declaration of Covenants, Conditions and Restrictions and Reservation of Easements for Cliffs Edge (a Nevada Master Planned Community)"
Recorded : October 15, 2003 in Book 20031015
Document No. : 02964, Official Records.

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BEAZER HOMES HOLDINGS CORP.**Business Entity Information**

Status:	Active	File Date:	3/29/1996
Type:	Foreign Corporation	Entity Number:	C7158-1996
Qualifying State:	DE	List of Officers Due:	3/31/2014
Managed By:		Expiration Date:	
NV Business ID:	NV19961104579	Business License Exp:	3/31/2014

Registered Agent Information

Name:	CSC SERVICES OF NEVADA, INC.	Address 1:	2215-B RENAISSANCE DR
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89119
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Commercial Registered Agent - Corporation		
Jurisdiction:	NEVADA	Status:	Active

Financial Information

No Par Share Count:	0	Capital Amount:	\$ 300,000.00
Par Share Count:	30,000,000.00	Par Share Value:	\$ 0.01

Officers Include Inactive Officers

Secretary - KENNETH F KHOURY			
Address 1:	1000 ABERNATHY RD., STE. 260	Address 2:	
City:	ATLANTA	State:	GA
Zip Code:	30328	Country:	USA
Status:	Active	Email:	
President - ALLAN P MERRILL			
Address 1:	1000 ABERNATHY RD., STE. 260	Address 2:	
City:	ATLANTA	State:	GA
Zip Code:	30328	Country:	USA
Status:	Active	Email:	
Director - ALLAN P MERRILL			

Address 1:	1000 ABERNATHY RD., STE. 260	Address 2:	
City:	ATLANTA	State:	GA
Zip Code:	30328	Country:	USA
Status:	Active	Email:	
Treasurer - EKATERINA SCHWALLIE			
Address 1:	1000 ABERNATHY RD., STE. 260	Address 2:	
City:	ATLANTA	State:	GA
Zip Code:	30328	Country:	USA
Status:	Active	Email:	

Actions\Amendments

Action Type:	Foreign Qualification		
Document Number:	C7158-1996-001	# of Pages:	2
File Date:	3/29/1996	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	C7158-1996-008	# of Pages:	1
File Date:	4/14/1998	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	C7158-1996-009	# of Pages:	1
File Date:	4/10/1999	Effective Date:	
(No notes for this action)			
Action Type:	Registered Agent Address Change		
Document Number:	C7158-1996-003	# of Pages:	299
File Date:	10/29/1999	Effective Date:	
CORPORATION TRUST COMPANY OF NEVAD KFA			
ONE EAST FIRST STREET RENO NV 89501 KFA			
Action Type:	Annual List		
Document Number:	C7158-1996-010	# of Pages:	1
File Date:	3/15/2000	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	C7158-1996-005	# of Pages:	2
File Date:	3/14/2001	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	C7158-1996-007	# of Pages:	1
File Date:	3/6/2002	Effective Date:	

(No notes for this action)			
Action Type:	Registered Agent Change		
Document Number:	C7158-1996-004	# of Pages:	1
File Date:	5/31/2002	Effective Date:	
CORPORATION TRUST COMPANY OF NEVADA			
6100 NEIL ROAD #500 RENO NV 89511 APN			
Action Type:	Annual List		
Document Number:	C7158-1996-006	# of Pages:	1
File Date:	4/1/2003	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	C7158-1996-002	# of Pages:	1
File Date:	4/1/2004	Effective Date:	
List of Officers for 2004 to 2005			
Action Type:	Annual List		
Document Number:	20050089800-62	# of Pages:	1
File Date:	3/14/2005	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20060193997-56	# of Pages:	1
File Date:	3/27/2006	Effective Date:	
06-07			
Action Type:	Annual List		
Document Number:	20070170075-49	# of Pages:	1
File Date:	3/9/2007	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20080131019-65	# of Pages:	1
File Date:	2/27/2008	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20090107822-01	# of Pages:	1
File Date:	2/5/2009	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20100291738-93	# of Pages:	1
File Date:	4/30/2010	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20110083165-77	# of Pages:	1
File Date:		Effective Date:	

File Date:	2/1/2011	Effective Date:	
(No notes for this action)			
Action Type:	Amended List		
Document Number:	20110448311-95	# of Pages:	1
File Date:	6/17/2011	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20120079438-06	# of Pages:	1
File Date:	2/2/2012	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20130075792-36	# of Pages:	1
File Date:	2/4/2013	Effective Date:	
(No notes for this action)			
Action Type:	Amended List		
Document Number:	20130132527-46	# of Pages:	1
File Date:	2/27/2013	Effective Date:	
(No notes for this action)			
Action Type:	Amended List		
Document Number:	20130492322-98	# of Pages:	1
File Date:	7/26/2013	Effective Date:	
(No notes for this action)			