UTILITY NOTE

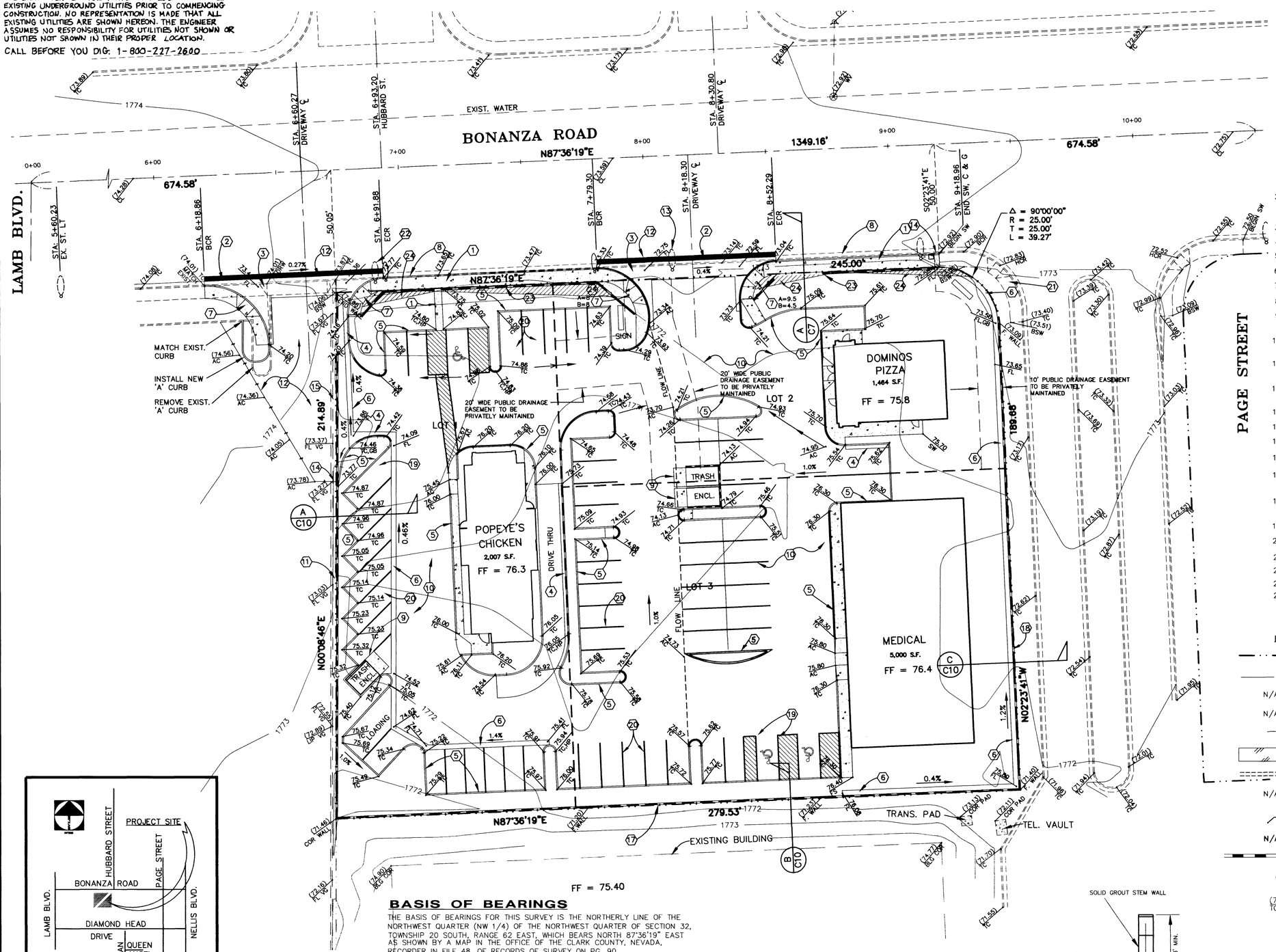
UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

CALL BEFORE YOU DIG: 1-800-227-2600

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

SCALE: 1" = 20'



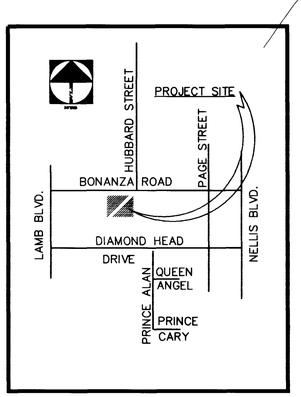
CONSTRUCTION NOTES

ITEM DESCRIPTION

1. CONSTRUCT 4" CONC. SIDEWALK PER STD. DWG. NO. 234
2. REMOVE EXISTING CURB & GUTTER, STA. 6+18.86 TO STA. 6+91.88 AND STA. 7+79.30 TO 8+52.29 AND CONSTRUCT COMMERCIAL DRIVEWAY PER STD. DWG. NO. 225
3. CONSTRUCT 8' CROSS GUTTER PER STD. DWG. NO. 228
4. CONSTRUCT "L" TYPE CURB & GUTTER PER STD. DWG. NO. 216
5. CONSTRUCT "A" CURB PER STD. DWG. NO. 219
6. CONSTRUCT 2' WIDE CONC. VALLEY GUTTER– SEE DETAIL G, SHT. C10
7. INSTALL SIDEWALK RAMP PER STD. DWG. NO. 235, CASE III.
8. EXISTING CURB & GUTTER TO BE PROTECTED IN PLACE
9. 8" CMU BLOCKWALL TRASH ENCLOSURE WITH 5' CONCRETE APRON SEE ARCHITECTURAL DWGS. FOR DETAILS
10. 2" A.C. PVMT. OVER 8" TYPE II AGGREGATE BASE PER DETAIL D, SHT. C10
11. REMOVE EXIST. BLOCK WALL AND CONSTRUCT RETAINING WALL PER DETAIL A, SHT. C10
12. SAWCUT AND REMOVE EXISTING A.C. PVMT. – REPLACE WITH 2" A.C. PVMT. OVER 8" TYPE II AGG. BASE AND MATCH EXIST.
13. RELOCATE EXISTING STREETLIGHT TO STA. 7+78.29
14. CONSTRUCT 2' UNDERSIDEWALK DRAIN PER STD. DWG. NO. 236
15. REMOVE EXISTING VALLEY GUTTER AND BLOCK WALL
16. CONSTRUCT 2' CURB OPENING
17. EXIST. BLOCK WALL TO BE PROTECTED IN PLACE – CONSTRUCT RETAINING WALL AND 6' BLOCK WALL PER DETAIL B, SHT. C10
18. EXIST. BLOCK WALL TO BE PROTECTED IN PLACE – CONSTRUCT RETAINING WALL PER DETAIL C, SHT. C10
19. HANDICAP STRIPING PER DETAIL H, SHT. C10
20. PARKING SPACE STRIPING PER DETAIL E, SHT. C10
21. EXISTING SIDEWALK TO BE PROTECTED IN PLACE
22. RELOCATE EXISTING STREETLIGHT TO STA. 6+92.92
23. CONSTRUCT SOLID GROUT STEM WALL PER DETAIL A, SHEET C7
24. SIGHT VISIBILITY RESTRICTION EASEMENT.

LEGEND

EXISTING		PROPOSED
	R/W PROPERTY LINE	
	CENTERLINE	
N/A	LOT LINE	
N/A	SAWCUT LINE	
10	CONTOURS	10
	A.C. PAVEMENT	
	CONCRETE CURB	
N/A	FINISH FLOOR ELEV.	FF= 22.1
(16.20)	SPOT ELEVATION	16.20
N/A	DRAINAGE FLOW DIRECTION	
	WALL	
	LUMINAIRE	
(75.60) TC	TOP OF CURB ELEV.	75.60 TC



AREA MAP

SCALE : NONE

BASIS OF BEARINGS

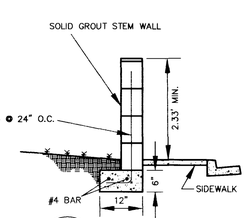
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTHERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 62 EAST, WHICH BEARS NORTH 87°36'19" EAST AS SHOWN BY A MAP IN THE OFFICE OF THE CLARK COUNTY, NEVADA, RECORDER IN FILE 48, OF RECORDS OF SURVEY ON PG. 90

BENCHMARK

BEING A RIVET & PLATE IN TOP OF CURB, NORTHEAST RETURN, BONANZA ROAD AND PAGE STREET
CITY OF LAS VEGAS BENCHMARK: 2LV02/2955W6
ELEVATION: 1771.33 FEET
539.902 METERS
NAVD 88

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

TED H. LYON, P.E. — DATE 4/14/99



A / C7 STEM WALL
N.T.S.

SAFETY ALERT
Call before you Overhead
593-6111
OVERHEAD SERVICE ALERT

Avoid cutting underground utility lines. It's costly.
Call before you Dig.
1-800-227-2600
UNDERGROUND SERVICE ALERT

REV	DATE	BY	REVISION

JWM INVESTMENTS
3301 SPRING MTN. RD. #12
LAS VEGAS NV. 89101
(702) 227-3630

The WLB Group INC.
Engineering • Landscape Architecture
Planning • Urban Design • Surveying
2551 N. Green Valley Pkwy. Suite A425
HENDERSON, NV. 89014 (702) 438-2351

SHEET TITLE: GRADING PLAN

PROJECT: THE VILLAGE AT BONANZA

Drawn by: ALF
Designed by: BB
Checked by: TL
Project No.: 497097A001
Scale: 1" = 20' (H)
01/25/99

TED H LYON
CIVIL
No. 5426
REGISTERED PROFESSIONAL ENGINEER
4/14/99

C7
7 OF 10 SHEETS

DRAWING NO.
107-V2980

N:\497097\709TGRD1.DWG Tue Apr 06 09:43:41 1999 The WLB Group

16487

UTILITY NOTE

BONANZA ROAD

LAND BLVD.

PAGE STREET

CONSTRUCTION NOTES

LEGEND

BASIS OF BEARINGS

BENCHMARK

AREA MAP

STEM WALL

THE VILLAGE AT BONANZA

GRADING PLAN

WLB

7 OF 11 SHEETS