

CONSTRUCTION NOTES

- EDGE OF EXISTING AC PAVEMENT.
- REMOVE/REPLACE EXISTING AC PAVEMENT.
- REMOVE EXISTING CONCRETE VALLEY GUTTER.
- SAWCUT AC AT CENTERLINE.
- SAWCUT AC AS SHOWN. (2' MIN. SAWCUT)
- MATCH EXISTING CONSTRUCTION.
- CONSTRUCT 8" VALLEY GUTTER PER STD. DWG. # 228.
- CONSTRUCT SIDEWALK RAMP PER STD. DWG. # 235, CASE III.
- CONSTRUCT PARTIAL 6" VALLEY GUTTER PER STD. DWG. 228, WITH MODIFICATIONS - MATCH EXISTING.
- REMOVE EXISTING CURB/GUTTER AND SIDEWALK AT SAWCUT LINE. SAWCUT LINES MAY BE RELOCATED BY CLV INSPECTOR.
- THE 6" CMU WALLS ARE OPTIONAL, HOWEVER, THE RETAINING WALLS ARE REQUIRED.
- UTILITY VAULTS TO BE FITTED WITH TRAFFIC BEARING COVERS AND ADJUSTED TO NEW PAVEMENT ELEVATION.
- CONSTRUCT SIDEWALK UNDERDRAIN PER STD. DWG. #236

PROPERTY LINE CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA
C1	15.00'	23.56'	15.00'	30°00'00"
C2	14.50'	12.20'	6.48'	48°11'23"
C3	45.50'	23.66'	2.33'	07°22'47"
C4	45.50'	46.21'	25.32'	58°11'20"
C5	45.50'	57.67'	33.44'	72°37'16"
C6	45.50'	56.25'	32.35'	70°49'36"
C7	45.50'	44.91'	24.48'	56°53'33"
C8	45.50'	8.58'	4.30'	10°48'14"
C9	14.50'	12.20'	6.48'	48°11'23"
C10	45.50'	219.48'	40.70'	276°22'46"
C11	15.00'	23.56'	15.00'	30°00'00"
C12	15.00'	23.56'	15.00'	30°00'00"
C13	14.50'	12.20'	6.48'	48°11'23"
C14	45.50'	23.66'	2.33'	07°22'47"
C15	45.50'	44.91'	24.47'	56°52'56"
C16	45.50'	56.20'	32.32'	70°46'24"
C17	45.50'	56.21'	32.33'	70°47'12"
C18	45.50'	44.96'	24.51'	56°56'54"
C19	45.50'	8.57'	4.30'	10°47'17"
C20	14.50'	12.20'	6.48'	48°11'23"
C21	45.50'	219.48'	40.70'	276°22'46"
C22	15.00'	23.56'	15.00'	30°00'00"
C23	15.00'	23.19'	14.63'	88°34'11"
C24	30.00'	46.38'	29.26'	88°34'19"
C25	15.00'	23.19'	14.63'	88°34'19"

OWNER

DAVID W. HAYNES
3788 FORESTCREST DRIVE
LAS VEGAS, NEVADA 89121
(702) 451-0778

DEVELOPER

WAYNECO
3788 FORESTCREST DRIVE
LAS VEGAS, NEVADA 89121
(702) 451-1814

BASIS OF BEARING

THE NORTH LINE OF THE SW 1/4, SECTION 19,
TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.B. & M.,
CITY OF LAS VEGAS, NEVADA.

BEARING: N 89°31'00" W

BENCH MARK

1LV01 19W4
RIVET AND PLATE IN TOP OF CURB, RETURN OF
DECATUR BLVD. AND LAKE MEAD BLVD.
ELEVATION = 2196.75

LEGAL DESCRIPTION

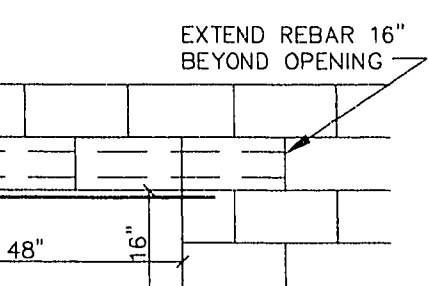
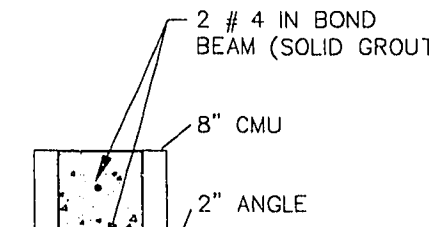
NORTH HALF (N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4)
OF SECTION 19, TOWNSHIP 20 SOUTH, RANGE 61 EAST AND
PORTIONS OF THE SOUTHWEST QUARTER (SW 1/4) OF THE
NORTHWEST QUARTER (NW 1/4) M.D.B. & M., CLARK COUNTY,
NEVADA.
APN 200 02A-200-003

GENERAL NOTES

- ALL DESIGN ELEVATIONS ARE TO THE ROUGH GRADE ELEVATION, AND ARE 0.30' LOW TO ALLOW FOR LANDSCAPING.
- ALL FINAL GRADE ELEVATIONS ON THE OUTSIDE OF BUILDINGS SHALL BE A MINIMUM OF 8" LOWER THAN THE ESTABLISHED FINISH FLOOR ELEVATION, EXCEPT AT THE ENTRANCE OF THE BUILDING.
- THE CONTRACTOR SHALL VERIFY ALL ASPECTS OF THESE PLANS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.
- ANY QUANTITIES SHOWN HEREON ARE FOR ESTIMATING ONLY AND ARE NOT TO BE USED FOR BIDDING.
- THE CONTRACTOR SHALL FURNISH TO THE ENGINEER AS-BUILT DRAWINGS FOR UTILITY SERVICES AND HOOD-UPS.
- REFER TO THE IMPROVEMENT PLANS FOR STREET SECTIONS, DETAILS AND NEW UTILITY LOCATIONS.
- ALL GRADING SHALL CONFORM TO THE SOILS REPORT BY WESTERN TECHNOLOGIES, INC. NO. 4123M23B.
- ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY AND OUTSIDE THE PROJECT BOUNDARY SHALL BE PERFORMED UNDER A SEPARATE ENCROACHMENT PERMIT ISSUED BY THE CONTROLLING AUTHORITY.
- ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENT HAS BEEN OBTAINED FROM THE PROPERTY OWNER.
- ALL FINISH FLOOR ELEVATIONS TO BE 10" (0.80') ABOVE PAD ELEVATIONS. (SEE TYPICAL LOT DRAINAGE DETAIL).
- ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY AND OUTSIDE THE PROJECT BOUNDARY SHALL BE PERFORMED UNDER A SEPARATE ENCROACHMENT PERMIT ISSUED BY THE CONTROLLING AUTHORITY.
- ALL WORK PERFORMED OUTSIDE THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENT HAS BEEN OBTAINED FROM THE PROPERTY OWNER.

LEGEND

- EXISTING POWER POLE
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING BLOCK FENCE
- EXISTING GRADE CONTOUR
- EXISTING EDGE OF AC PAVING
- EXISTING GRAVEL ROAD
- EXISTING ELEVATION
- PROPOSED RETAINING WALL
- RATE & DIRECTION OF FLOW
- BUILDING SETBACK LINE
- FRONT: 16" - 18", SIDE: 5' CORNER SIDE: 10' REAR: 10'
- LOT DRAINAGE SWALE
- SCARP (2H:1V TO 1' VER.) UNLESS OTHERWISE NOTED
- ROUGH PAD GRADE ELEVATION
- GRADE BREAK
- TOP OF CURB ELEVATION
- FLOW LINE ELEVATION
- FINISH GRADE ELEVATION
- VALLEY GUTTER
- FINISH GRADE CONTOUR
- SPOT ELEVATION



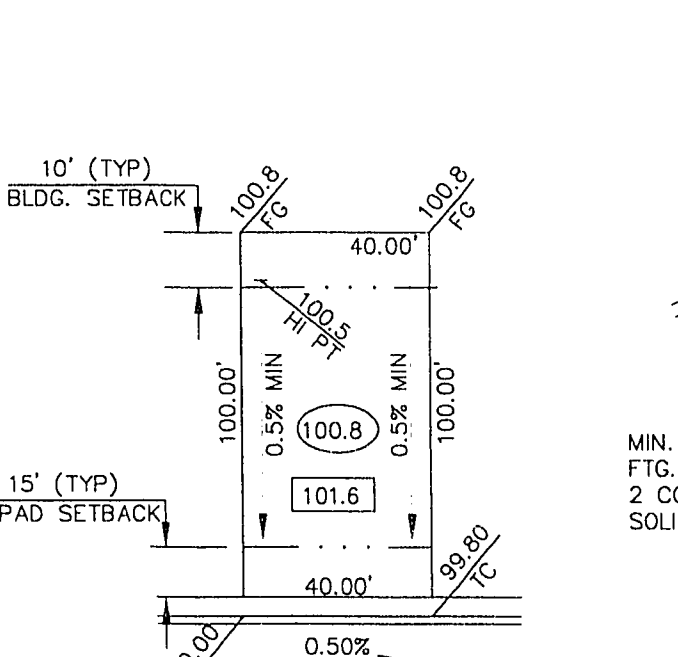
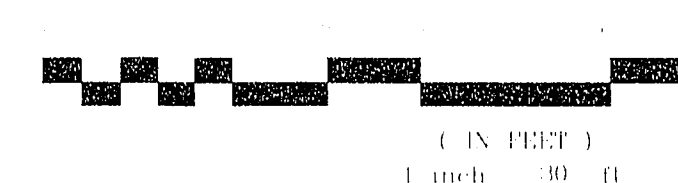
RETAINING WALL(S) SECTION

SEE SHEET 4 OF 6 FOR DRAINAGE EASEMENT DETAIL
SEE SHEET 4 OF 6 FOR ADDITIONAL DETAIL

VICINITY MAP

SEE NOTE 11
CMU WALL, 6" MAX.
2.7' - 4.7' RETAINING WALL

GRAPHIC SCALE



BLOCK WALL SECTION

NTS

TYPICAL LOT DRAINAGE

NTS

RETAINING WALL(S) SECTION

NTS

RETAINING WALL SECTION

NTS

SIDE YARD GRADING

NTS

PAD & REAR YARD GRADING

NTS

CORAN LANE STREET SECTION (TYP)

NTS

TYP. INTERIOR STREET SECTION

NTS

DRAINAGE STUDY

I CERTIFY THIS GRADING PLAN CONFORMS TO THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

NOTICE TO CONTRACTOR !

CALL before you Dig
1-800-227-2600

ROUGH GRADING PLAN

WIND DANCER

TITLE

PROJECT

WORK ORDER NO.

930820

DESIGN BY:

CWH

DATE:

1/94

SCALE:

1" = 30'

CADFILE:

WINDGRD.DWG

SHEET

2 OF 6 SHEETS

1074-4328

SOUTHWEST ENGINEERING

LAND PLANNING-MAPPING-DEVELOPMENT

5426 W. VEGAS DRIVE
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11-14-63