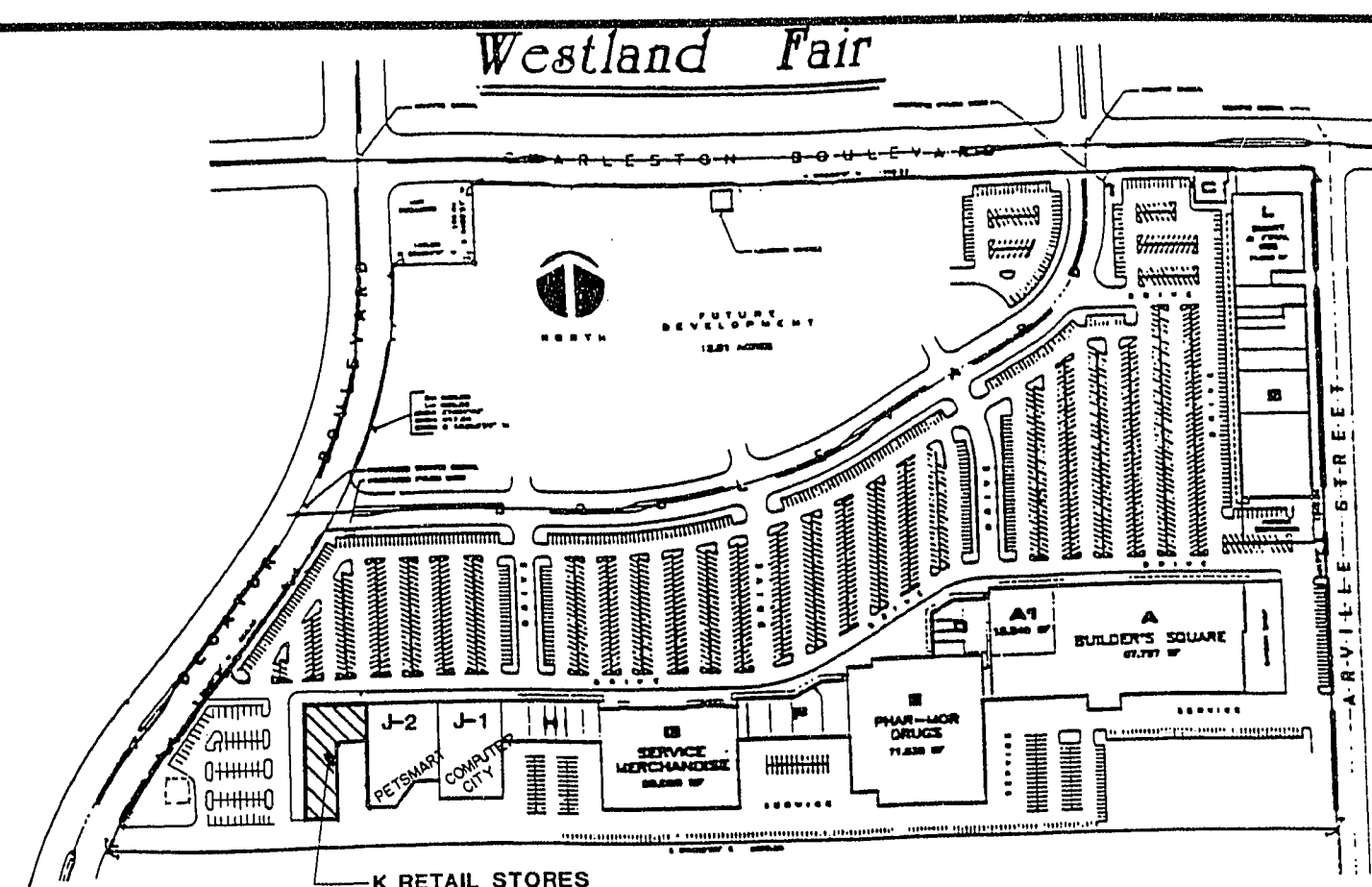




VICINITY MAP
NO SCALE

CONSTRUCTION NOTES

- 1 EXISTING PLANTER TO REMAIN
- 2 PLANTER (SEE LANDSCAPE PLAN)
- 3 CONSTRUCT "A" TYPE CURBING PER DETAIL 1 THIS SHEET
- 4 REMOVE EXISTING SIDEWALK AT CONSTRUCTION JOINT AND REPLACE AS SHOWN ON SECTION A, SHEET C-3.
- 5 CONCRETE SIDEWALKS, STAIRS, RAMPS AND PLANTERS (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 6 CONSTRUCT TRASH ENCLOSURE SEE DETAIL 2 THIS SHEET
- 7 CONSTRUCT 2' WIDE VALLEY GUTTER SEE VALLEY GUTTER DETAIL SHEET 3 OF 4
- 8 CONSTRUCT "L" TYPE CURB SEE "L" TYPE CURB DETAIL SHEET 3 OF 4
- 9 ALL CURBING ALONG FIRE LANES TO BE PAINTED RED WITH SIGNS @ 40' OC. PER CLV REQUIREMENTS
- 10 PATCH & PAINT EXIST. CMU FENCE. SEE ARCH. PLANS FOR PAINT SPECS
- 11 CONSTRUCT SIDEWALK RAMP PER LATEST REVISED STD. DWG. NO. 35, CASE II, A & B = 6.5'
- 12 CONSTRUCT SIDEWALK PER SECTION D, BHT C-3
- 13 INSTALL GROUND MOUNTED "HANDICAP PARKING ONLY" SIGN INSIDE A 6" STEEL PIPE SLEEVE X 4' HIGH FILLED WITH CONCRETE, 3 EACH
- 14 PAINT BLUE DIAGONAL STRIPES 4" WIDE AT 3'-0" C-C. SEE ARCH. PLANS FOR PAINT SPECS.
- 15 CONSTRUCT AC SPEED BUMP PER DETAIL THIS SHEET.
- 16 PAINTED ISLAND. CONTRACTOR TO SUBMIT ALTERNATE BID FOR CURBED PLANTERS.

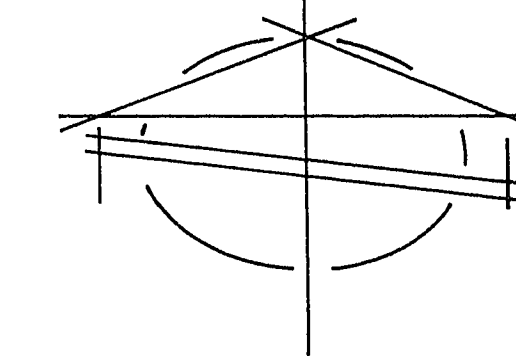
UTILITY NOTE

The location of underground utilities shown hereon has been determined from surface evidence of their existence or from information obtained from the utility companies. The Engineer accepts no liability for the existence or non-existence of utility lines. Contractors and others using this map must confirm the location of underground lines or structures with the utility companies prior to commencing any excavation.

GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA NEVADA", LATEST EDITION; THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CLARK COUNTY AREA NEVADA", LATEST EDITION; AND OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY; THE UNIFORM BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS".
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS SHALL BE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND POWER, GAS AND/OR OTHER UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES, AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER OR OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
5. TYPE V CEMENT SHALL BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE TO BE 3000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGN TO BE APPROVED BY THE QUALITY CONTROL DIVISION PRIOR TO USE ON THE PROJECT.
6. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT OF WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
7. EXPANSION JOINTS REQUIRED, MAXIMUM EVERY 300' IN EXTRUDED TYPE CURB.
8. AC PAVEMENT TO BE 1/2" ABOVE LIP OF ALL GUTTERS AFTER COMPACTION, EXCEPT AT HANDICAP RAMPS.
9. APPLY FOG SEAL ONLY AFTER ALL CORRECTIONS AND ADJUSTMENTS HAVE BEEN MADE.
10. CURB & GUTTER WITH A GRADE OF LESS THAN FOUR TENTHS OF ONE PERCENT SHALL BE WATER TESTED AS SOON AS POSSIBLE AFTER CONSTRUCTION. ANY CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE CITY SHALL BE REMOVED AND REPLACED.
11. SIDEWALK RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION PER STANDARD DRAWING 235. EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS, OR AS DESIGNATED IN THE FIELD BY A CITY INSPECTOR.
13. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
14. EXACT LOCATION OF ALL SLOTTED LINES MAY BE DETERMINED IN THE FIELD BY A CITY OF LAS VEGAS INSPECTOR IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATION.
15. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS IN ACCORDANCE WITH N.E.S. STATUTE NO. 625.550.
16. UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC., SHALL BE LOCATED "UP" OF DRIVEWAYS, DRIVEWAY APPROACHES, FLOW LINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY ENGINEER.
17. WALL NOTES:
A. ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN FOR THE PURPOSE OF GRADING RELATIONSHIPS.
B. THE STRUCTURAL AND ARCHITECTURAL DESIGN OF ALL WALLS (RETAINING OR NON-RETAINING) MUST BE APPROVED BY THE CIVIL BUILDING DEPARTMENT.
18. BARRICADE PLAN MUST BE SUBMITTED AND APPROVED BY C.L.V. TRAFFIC ENGINEER AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SCALE: 1" = 40'



LEGEND

- PROPERTY LINE
- STREET CENTERLINE
- BUILDING LINE
- EXISTING CONCRETE
- NEW CONCRETE
- EXISTING BUILDING LINE

DEVIATIONS FROM STANDARDS

REFERENCE DRAWINGS

DRAWING FOR WESTLAND FAIR PHASE I PREPARED BY BAUGHMAN & TURNER INC. AND APPROVED ON 1/11/92 (C.L.V. FILE NO 107Y-4083-1)

DRAWING FOR WESTLAND FAIR PHASE IB PREPARED BY BAUGHMAN & TURNER INC. AND APPROVED ON 5/20/92 (C.L.V. FILE NO 107Y-4083-2)

APPROVALS

[Signature]
CITY OF LAS VEGAS ENGINEER
5-28-93
DATE

APPROVED	REVISIONS	DATE	PREPARED FOR
1. 1/11/92	1. 1/11/92	1. 1/11/92	BAUGHMAN & TURNER INC.
2. 5/20/92	2. 5/20/92	2. 5/20/92	CIVIL ENGINEERS
3. 5/20/92	3. 5/20/92	3. 5/20/92	LAND PLANNERS
4. 5/20/92	4. 5/20/92	4. 5/20/92	LAND SURVEYORS
5. 5/20/92	5. 5/20/92	5. 5/20/92	LAND ENGINEERS
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100. 5/20/92	100. 5/20/92	100. 5/20/92	LAND SURVEYORS

DETAIL 1 "A" CURB
NO SCALE

TRASH ENCLOSURE DETAIL 2
NO SCALE

SPEED BUMP DETAIL
NO SCALE

James W. Ireland
5/26/93