

CORNER SIDE LOT-TYPICAL SECTIONS

CORNER RETAINING WALL SECTION
 SCALE: NONE
PALO BREA ROAD

CORNER SIDE WALL SECTION
 SCALE: NONE
W/GARDEN WALL

Diagram illustrating the layout of a Cul-de-sac End Lot Section. The diagram shows a cross-section of a cul-de-sac area, including the front setback, level pad elevation, and the back of walk or top of curb. The lot line is indicated, and the length of the setback is noted as "LENGTH VARIES". The diagram also shows the "TOP OF SLOPE" and "FRONT SETBACK" dimensions, with a 3' setback indicated on both sides. The vertical dimension of the curb is noted as 0.5.

C
64

CUL-DE-SAC END LOT SECTION

SCALE: NONE

B CORNER SIDE WALL SECTION

Q4 SCALE: NONE

W/ SIDEWALK

D
G4

TYPICAL 39 FT. ROUGH GRADE SECTION
SCALE: NONE

E
G4

TYPICAL 39 FT. ROUGH GRADE SECTION
SCALE: NONE

TYPICAL STREET ROUGH GRADE SECTIONS

VILLAGE WALL PAVILION CENTER DRIVE

F1 G4 SCALE: NONE

VILLAGE WALL PALO BREA ROAD

F2 G4 SCALE: NONE

TYPICAL PAD SECTION WITH SIDEWALK

SCALE: NONE

TYPICAL PAD SECTION NO SIDEWALK

SCALE: NONE

MISC. ROUGH GRADE SECTIONS

The image contains two technical drawings. The left drawing is a cross-section of a wall, labeled 'SECTION' with a circled 'R' and 'G4'. It shows a vertical wall with a horizontal line at the top labeled 'VIEW WALL BY LEWIS HOMES OF NEVADA'. The wall has a width of 18 inches. Below the wall is a hatched area representing a foundation or pad, with a vertical dimension of 4 inches. The bottom right corner is labeled 'LEVEL PAD'. The title 'SUMMERLIN PARCEL-MM UNIT 1' is on the left. The scale is 'SCALE: NONE'.

The right drawing is a plan view of a drainage easement, labeled 'DRAINAGE EASEMENT SECTION' with a circled 'Q' and 'G4'. It shows a horizontal line representing the '20' PUBLIC DRAINAGE EASEMENT PRIVATELY MAINTAINED SUMMERLIN HOMEOWNERS ASSOCIATION'. The easement is 20 feet wide, with 10 feet on each side of a central line. The central line is labeled 'FUTURE LOT 10'. The right side is labeled 'LOT 9 PAD GRAD'. A hatched area represents 'NATIVE MATERIAL'. A circular feature is labeled '30" RCP'. The title 'DRAINAGE EASEMENT SECTION' is on the right. The scale is 'SCALE: NONE'.

1
G4

SIDE & REAR BLOCK WALL

SCALE: NONE

The image contains two technical drawings. The left drawing, labeled 'K SIDE & REAR BLOCK WALL', is a plan view of a retaining wall. It shows a wall with a screen wall on top, a retaining wall below it, and a level pad at the base. Dimensions include a maximum height of 9' for the screen wall, an 18" offset for the retaining wall, a 4" maximum offset for the level pad, and a 3" minimum offset for the base. A note indicates that the pad elevation is shown on plans. The right drawing, labeled 'L SECTION', is a cross-section of a ditch. It shows a ditch with a 3:1 slope on both sides, a 2:1 or flatter slope on the right, and a 0.5% minimum grade. It also shows a future beltway, a wall, and a level pad. A note indicates that the PL (Profile Line) is adjacent to the future beltway.

K SIDE & REAR BLOCK WALL
SCALE: NONE

L SECTION
SCALE: NONE

The image contains two technical drawings. The left drawing, labeled 'N G4 BOLLARD DETAIL', shows a cross-section of a bollard. It features a 6-inch diameter standard steel pipe filled with concrete, wrapped in 30# roofing felt. The bollard is set in a concrete base that is 3 feet 6 inches wide at the top and 6 inches wide at the bottom. The base is 18 inches in diameter. The drawing also indicates 'FINISH GRADE' and a height of 4 feet 0 inches. The right drawing, labeled 'P G4 SECTION', shows a side view of the bollard. It includes a 'SCREEN WALL BY LEWIS HOMES OF NEVADA' and a 'LEVEL PAD'. The drawing shows a 18-inch diameter base, a 2:1 slope, and a 'VARIABLE' height. A north arrow is located in the top right corner of the page.

FOR COMMON LOT BETWEEN
LOTS 95 AND 96
30' WIDE PUBLIC DRAINAGE ESMT.
& SEWER EASEMENT

LOT 95
PAD = 38.8
LEVEL PAD

LOT 96
PAD = 37.4
LEVEL PAD

SCREEN WALL

15'

15'

18"

18"

LANDSCAPE PER SUMMERLIN
DESIGN CRITERIA (BOTH SIDES)

3:1 MAX
2.0% MIN

24" STORM DRAIN

8" SEWER

M
G4

SECTION

SCALE: NONE

PAV. ELEVATION
SIDE OF PLAN

PL

15'

15'

PL

18"

FOR COMMON LOT BETWEEN
LOTS 9 & 10
20' WIDE PUBLIC DRAINAGE ESM'T.
PRIVATELY MAINTAINED

FOR COMMON LOT BETWEEN
LOTS 80 AND 81
30' WIDE L.V.-W.D. EASEMENT
WALL WEATHER EMERGENCY
VEHICLE ACCESS

LEVEL PAD

SCREEN &
RETAIN. WALL
SEE PLAN

EXIST. PAD

LANDSCAPE PER SUMMERLIN-
DESIGN CRITERIA (BOTH SIDES)

5' S.W.

3:1 MAX
2.0% MIN

SECTION

SCALE: NONE

0
G4

Diagram illustrating the typical grading for Type 'A' drainage, showing a perspective view of a property layout. The layout includes a central slab, a rear property line, a street, and a sidewalk. The grading is defined by the following numbered points:

1. SLOPE FROM REAR TO SWALE
2. SLOPE FROM HOUSE TO SWALE
3. SLOPE FROM HOUSE TO SIDE SWALE
4. REAR SWALE (5' MIN. FROM REAR OF HOUSE)
5. SIDE SWALE
6. SLOPE FROM HOUSE TO SIDEWALK
7. SLOPE OF STREET

The diagram is labeled **PERSPECTIVE**.

TYPICAL GRADING - TYPE 'A' DRAINAGE

SCALE: NONE

GRADING NOTES

1. INDICATED GRADES OTHER THAN T.C., F.G. & GUTTER F.L. ARE ROUGH GRADES. (0.3' LOWER THAN FINISHED GRADE).
2. THE ROUGH GRADING PLANS SHALL BE ON THE JOB SITE AT ALL TIMES. THE ROUGH GRADING SHALL BE FINISHED IN CONFORMANCE WITH THE LINES AND GRADES SHOWN ON THE PLANS. THE GRADING QUANTITIES ARE BASED ON THE ELEVATION AND DETAILS SHOWN ON THE PLANS. ANY DEVIATIONS FROM THE PLANS WILL RESULT IN QUANTITY CHANGES.
3. CARE SHALL BE EXERCISED IN GRADING CORNER LOTS.
4. ROUGH PAD ELEVATIONS SHALL BE GRADED TO WITHIN 0.3' OF THE PAD ELEVATIONS SHOWN ON THE PLANS.
5. SOILS REPORT PREPARED BY WESTERN TECH., PROJECT #4128/SJ175
6. THIS PARCEL DEVELOPER IS RESPONSIBLE FOR ALL FILL MATERIAL, GRADING, AND RETAINING WALLS WITHIN SUMMERLIN'S HOA COMMON LOT. ALSO THIS PARCEL DEVELOPER WILL REMOVE ANY EXCESS DIRT PLACED IN THE SUMMERLIN HOA AREAS AS A RESULT OF THIS PARCEL DEVELOPER'S GRADING/CONSTRUCTION OPERATIONS.

I certify that this grading plan conforms to the approved
drainage study for this site on file at the City of Las Vegas

RAY G. FLAKE, P.E. 13057

4/7/99
DATE

[illegible]

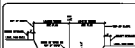
CORNER SINK LOT-TYPICAL SECTIONS



1 CORNER RETAINING WALL SECTION
SEE PLAN



2 CORNER SIDE WALL SECTION
SEE PLAN



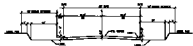
3 C&G-A&G SINK LOT SECTION
SEE PLAN



4 CORNER SIDE WALL SECTION
SEE PLAN



5 TYPICAL 30 FT. SINK GRADE SECTION
SEE PLAN



6 TYPICAL 30 FT. SINK GRADE SECTION
SEE PLAN

TYPICAL STREET SINK GRADE SECTION



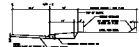
7 VILLAGE WALL SECTION
SEE PLAN



8 VILLAGE WALL SECTION
SEE PLAN



9 TYPICAL PAD SECTION
SEE PLAN



10 TYPICAL PAD SECTION
SEE PLAN



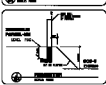
11 SECTION
SEE PLAN



12 DRAINAGE EXHIBIT SECTION
SEE PLAN



13 SINK & REAR BLOCK WALL
SEE PLAN



14 SECTION
SEE PLAN



15 SINK & REAR BLOCK WALL
SEE PLAN



16 SECTION
SEE PLAN



17 SECTION
SEE PLAN



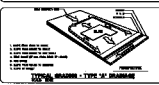
18 SECTION
SEE PLAN



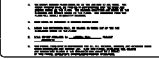
19 SECTION
SEE PLAN



20 SECTION
SEE PLAN



21 TYPICAL GRADE - TYPE 'A' DRAINAGE
SEE PLAN



22 DRAINAGE EXHIBIT
SEE PLAN