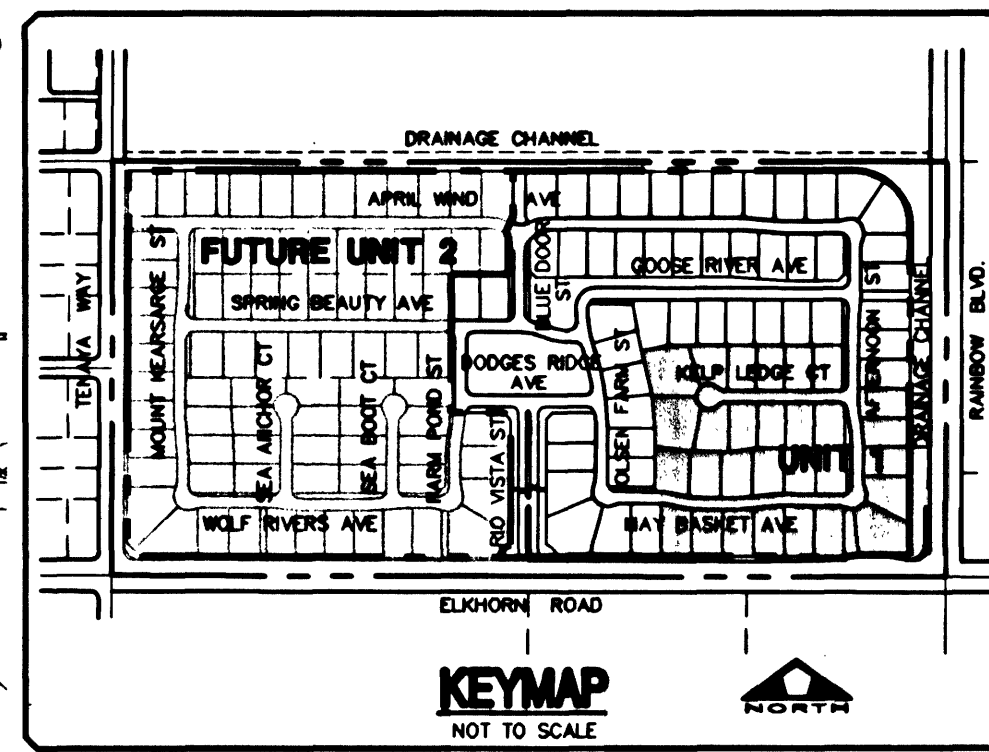
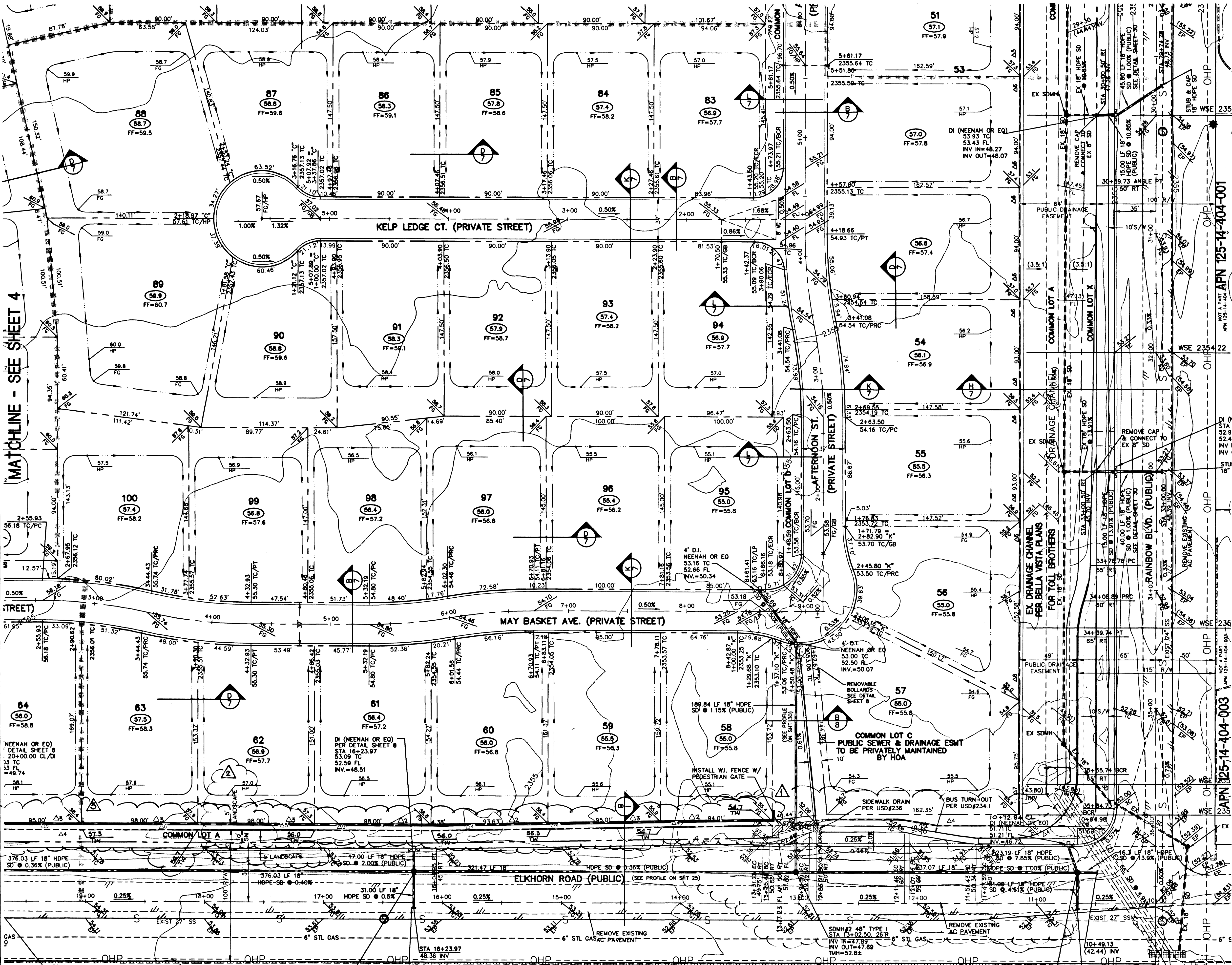


MATCHLINE - SEE SHEET 5

MATCHLINE - SEE SHEET 4



ENGINEER'S NOTES

- 1) CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
- 2) SEE LANDSCAPE PLANS FOR LANDSCAPING AND ON-SITE IRRIGATION.
- 3) SEE DETAIL SHEET FOR ON-SITE PAVEMENT SECTIONS. CONTRACTOR TO VERIFY WITH SOILS REPORT.
- 4) ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
- 5) THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY THE GOVERNING AGENCIES.
- 6) CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM PROPOSED BUILDINGS.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS THE WEST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 15, TOWNSHIP 19 SOUTH, RANGE 80 EAST, W.D.M., CLARK COUNTY, NEVADA, AS SHOWN IN FILE 115, PAGE 13 OF OFFICIAL RECORDS, CLARK COUNTY, NEVADA. I.E. NORTH 00°11'55" EAST

BENCHMARK

CITY OF LAS VEGAS BENCHMARK NO. 11V90 11SW. RIVET AND PLATE IN TOP OF CURB, SOUTH SIDE OF RAINBOW BLVD. AND FLANAGAN DRIVE, 200' NORTH OF GRAND TETON DRIVE.
ELEVATION: = 724.3622 METERS (N.A.V.D. 88)
ELEVATION: = 2376.512 U.S. FEET (CALCULATED N.A.V.D. 88)

LEGEND

---	PROPERTY LINE/ RIGHT OF WAY	---	SIGHT VISIBILITY ZONE
①	STREET CENTERLINE	---	SWALE
23	BLOCK NUMBER	---	GRADE BREAK OR TRANSITION
LOT	LOT NUMBER	---	UNIT BOUNDARY
FF=28.6	PROPOSED FINISH FLOOR	---	TOP OF SLOPE, FRONT AND SIDEYARD
27.4	PROPOSED PAD ELEVATION	---	EXISTING IMPROVEMENTS
78.97	EXISTING ELEVATION	---	COURSES OF RETAINING WALL
PG	PROPOSED ELEVATION	---	RETAINING WALL
FG	FINISH GRADE	---	GARDEN WALL
TC	TOP OF CURB	---	WROUGHT IRON FENCE
FL	FLOW LINE	---	2:1 SCARP
15	EXISTING CONTOUR	---	MATCHLINE
---	PROPOSED CONTOUR		
---	PAD HIGH POINT		

RETAINING WALL CONVERSION TABLE

NO. COURSES	HEIGHT	STD. RETAINER	RET. ADJACENT TO SW
Δ 2	1.33'	0.70' - 0.80'	N/A
Δ 3	2.00'	0.84' - 1.50'	0.50' - 1.17'
Δ 4	2.67'	1.51' - 2.17'	1.18' - 1.83'
Δ 5	3.33'	2.18' - 2.83'	1.84' - 2.50'
Δ 6	4.00'	2.84' - 3.50'	2.51' - 3.17'
Δ 7	4.67'	3.51' - 4.17'	3.18' - 3.83'
Δ 8	5.33'	4.18' - 4.83'	3.84' - 4.50'
Δ 9	6.00'	4.84' - 5.50'	4.51' - 5.17'
Δ 10	6.67'	5.51' - 6.17'	5.18' - 5.83'
Δ 11	7.33'	6.18' - 6.83'	5.84' - 6.50'
Δ 12	8.00'	6.84' - 7.50'	6.51' - 7.17'

ENGINEER'S CERTIFICATE

I CERTIFY THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY FOR THIS PROJECT ON FILE AT THE CITY OF LAS VEGAS.

RICHARD P. SENEAL, P.E. NO. 11752 DATE: 5-6-02

Call before you do Overhead
1-702-593-6111

Call before you Dig.
1-800-227-2600
(UNDERGROUND SERVICE ALERT (USA))

DISCLAIMER NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

GREENGALE PROP. LLC

HDPE PIPE CONSTRUCTION NOTE:

CONTRACTOR SHALL PROVIDE 30" MINIMUM COVER OVER HDPE PIPE PRIOR TO VEHICLE LOADING DURING CONSTRUCTION. TRENCH WIDTH MUST BE WIDE ENOUGH TO ACCOMMODATE COMPACTION EQUIPMENT. SEE MANUFACTURER'S GUIDELINES (PRODUCT NOTE 3.115) AND ASTM D3321. CONTRACTOR SHALL NOT USE HYDRO-HAMMER TYPE COMPACTORS OVER PIPE TRENCH AREA.

PRIVATE STREET NOTE

NOTE: ALL PRIVATE STREETS ARE PUBLIC DRAINAGE EASEMENTS. ALL SEWER AND PUE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOME OWNERS ASSOCIATION.

PULTE HOMES
1835 VILLAGE CENTER CIRCLE, SUITE 250
LAS VEGAS, NEVADA 89134
(702) 256-7900

PENTACORE
CIVIL ENGINEERING AND SURVEYING
6753 WEST CHARLESTON BOULEVARD
LAS VEGAS, NEVADA 89148 (702)258-0115

GRADING PLAN IV

WYETH RANCH
UNIT 1

DATE: 11/19/01
DRAWN BY: SLY
DESIGNED BY:
CHECKED BY:
JOB NO.: 01470230
SCALE: 1" = 40'

SHEET **6** OF 41
C.L.V. DWG.#
1071-4699