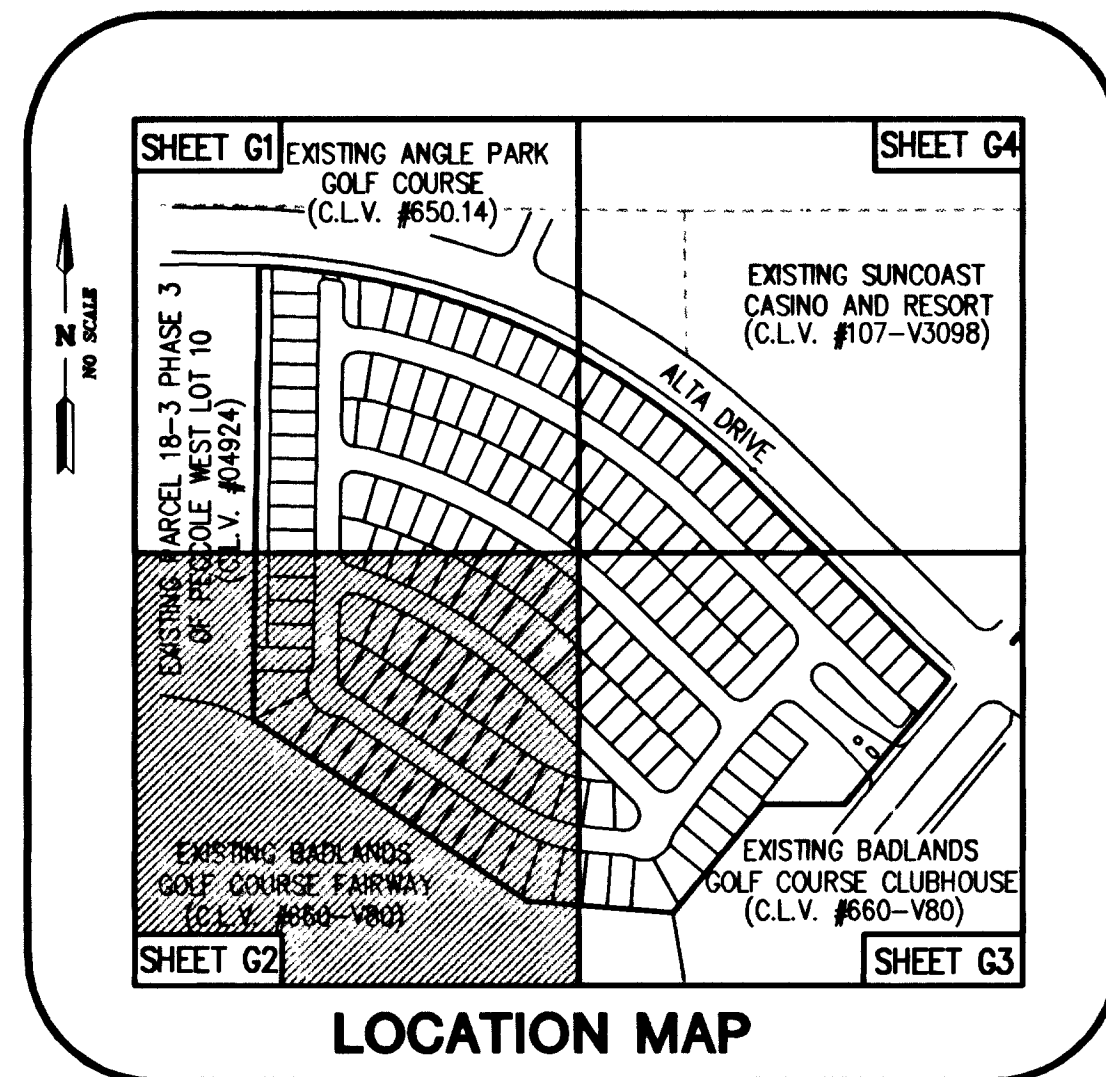




CONSTRUCTION NOTES

1. CONST. "L" TYPE CURB PER C.C. AREA STD. DWG. #216
2. CONST. "A" TYPE CURB PER C.C. AREA STD. DWG. #219
3. CONST. "ROLL" TYPE CURB PER C.C. AREA STD. DWG. #217A
4. CONST. TRANSITIONAL TYPE CURB PER DETAIL/SECTION SHT. 21 OF 30
5. CONST. 4.0' CONCRETE SIDEWALK PER LANDSCAPE PLAN & DWG. #234
6. CONST. 5.0' CONCRETE SIDEWALK PER C.C. AREA STD. DWG. #234
7. CONST. 2.0' CROSS GUTTER PER DETAIL/SECTION SHT. 21 OF 30
8. CONST. 8.0' CROSS GUTTER PER C.C. AREA STD. DWG. #228
9. CONST. 6.0' CONCRETE FLUME PER DETAIL/SECTION SHT. 21 OF 30
10. CONST. 3.0' CONCRETE FLUME PER DETAIL/SECTION SHT. 21 OF 30
11. CONST. 2.0' SIDEWALK DRAIN PER C.C. AREA STD. DWG. #236
12. CONST. RETAINING WALL PER C.C. AREA STD. DWG. B-101
13. SAWCUT & MATCH EXISTING (CURB, SIDEWALK, OR PAVEMENT)
14. CONST. CASE 1 SIDEWALK RAMP PER C.C. AREA STD. DWG. #235
15. CONST. DRIVEWAY (OPTION A) PER C.C. AREA STD. DWG. #224
16. CONST. SIDEWALK RAMP PER DETAIL/SECTION SHT. 21 OF 30

LEGEND

----- EXISTING "L" CURB	BCR	BACK OF CURB RETURN
----- PROPOSED "L" CURB	EX	EXISTING
----- PROPOSED ROLL CURB	F.F.	FINISH FLOOR
----- PROPOSED TRANSITIONAL CURB	FG	FINISH GRADE
----- EXISTING EDGE OF PAVEMENT	FL	FLOW LINE
----- BOUNDARY/ROW LINE	INT.	INTERSECTION
----- CENTERLINE	S/W	SIDEWALK
----- GRADE BREAK	B/B	BACK OF CURB TO BACK
----- DIRECTIONAL DRAINAGE FLOW	R/W	RIGHT-OF-WAY
----- CMU RETAINING WALL	TC	TOP OF CURB
----- SAWCUT LINE	C	CENTERLINE
----- EXISTING CMU WALL	B/C	BACK OF CURB
----- EX. CMU/WROUGHT IRON VIEW WALL	TRW	TOP OF RETAINING WALL
----- 2:1 MAX. SCARP	FTG	TOP OF FOOTING
----- NAT. GROUND CONTOUR	HDPE	HIGH DENSITY POLYETHYLENE
59.88	W.S.E.	WATER SURFACE ELEVATION
----- PAD ELEVATION	SD	STORM DRAIN
----- EXISTING STREET LIGHT	MH	MANHOLE
	TEL	TELEPHONE
	CATV	CABLE TV BOX

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PROJECT IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 20 SOUTH, RANGE 80 EAST, M.D.B.M. WHICH BEARS NORTH 89°40'03" EAST AS SHOWN ON FILE 91, PAGE 27 OF PARCEL MAPS RECORDED IN THE COUNTY RECORDERS OFFICE OF CLARK COUNTY, NEVADA.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK #00LV00 32NWM6
RIVET & PLATE IN TOP OF CURB @ NW CORNER OF ALTA & WEST EXIT TO SUNCOAST RESORT PARKING LOT.

METERS = 844.0507
U.S. SURVEY FEET = 2769.19
NAVD 88, DATUM

OWNER/DEVELOPER

CRESTDALE ASSOCIATES, LTD
1063 LAS PALMAS ENTRADA AVE.
HENDERSON, NEVADA 89012

GRAPHIC SCALE



GENERAL NOTES

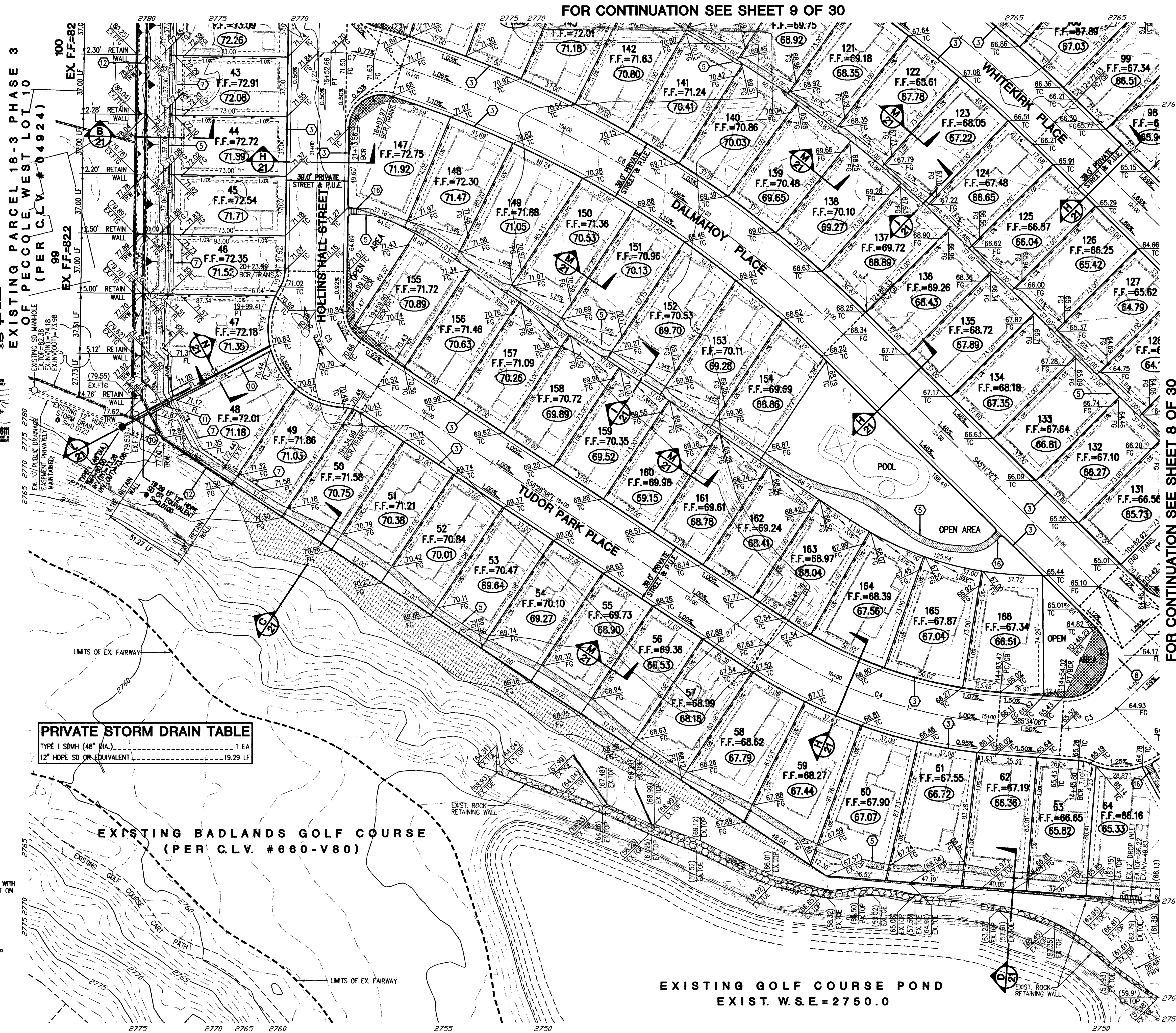
1. SEE IMPROVEMENT PLANS FOR STREET SECTIONS AND DETAILS. SEE FINAL MAP FOR EXACT BEARINGS AND DISTANCES.
2. THE QUANTITIES SHOWN HEREON ARE ESTIMATES ONLY AND ARE NOT TO BE USED FOR BIDDING PURPOSES.
3. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
4. ALL GRADING WORK TO CONFORM TO SOILS REPORT BY: WESTERN TECHNOLOGIES INC. JOB NO.: 4120JN023
DATE: MARCH 19, 2003

NOTE:
SEE SHEET G3 FOR
C.L.V. GRADING NOTES.

I CERTIFY THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY FOR THIS PROJECT ON FILE AT CITY OF LAS VEGAS REF.(DS3279)

TRUDI LM, P.E., No. 12508

DATE 7-10-03



NOTE:
ALL AREAS OUTSIDE OF THE STRUCTURE ARE BLANKET CROSS ACCESS EASEMENTS & PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOME OWNERS ASSOCIATION.

NOTE:
ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS & PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOME OWNERS ASSOCIATION.

NOTE:
SEE PLAN & PROFILE SHEETS FOR CURVE DATA TABLE.

FOR CONTINUATION SEE SHEET 9 OF 30

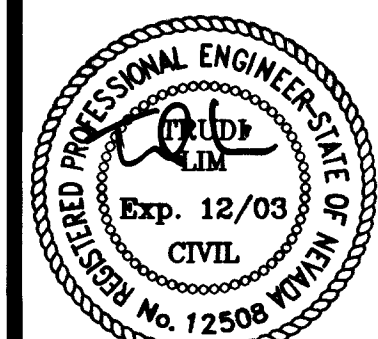
FOR CONTINUATION SEE SHEET 8 OF 30

CRESTDALE ASSOCIATES, LTD
1063 LAS PALMAS ENTRADA AVE.
HENDERSON, NEVADA 89012

GRADING PLAN (2)

WINDSOR AT QUEENSRIDGE

SHEET	DATE	DESIGNED BY	CHECKED BY	PROJECT NO.	SCALE
G2	02/03	BLOOM	TRUDI	068-E060	1"=30'



SHEET
7 OF 30 SHEETS

DRAWING NO.
10744763