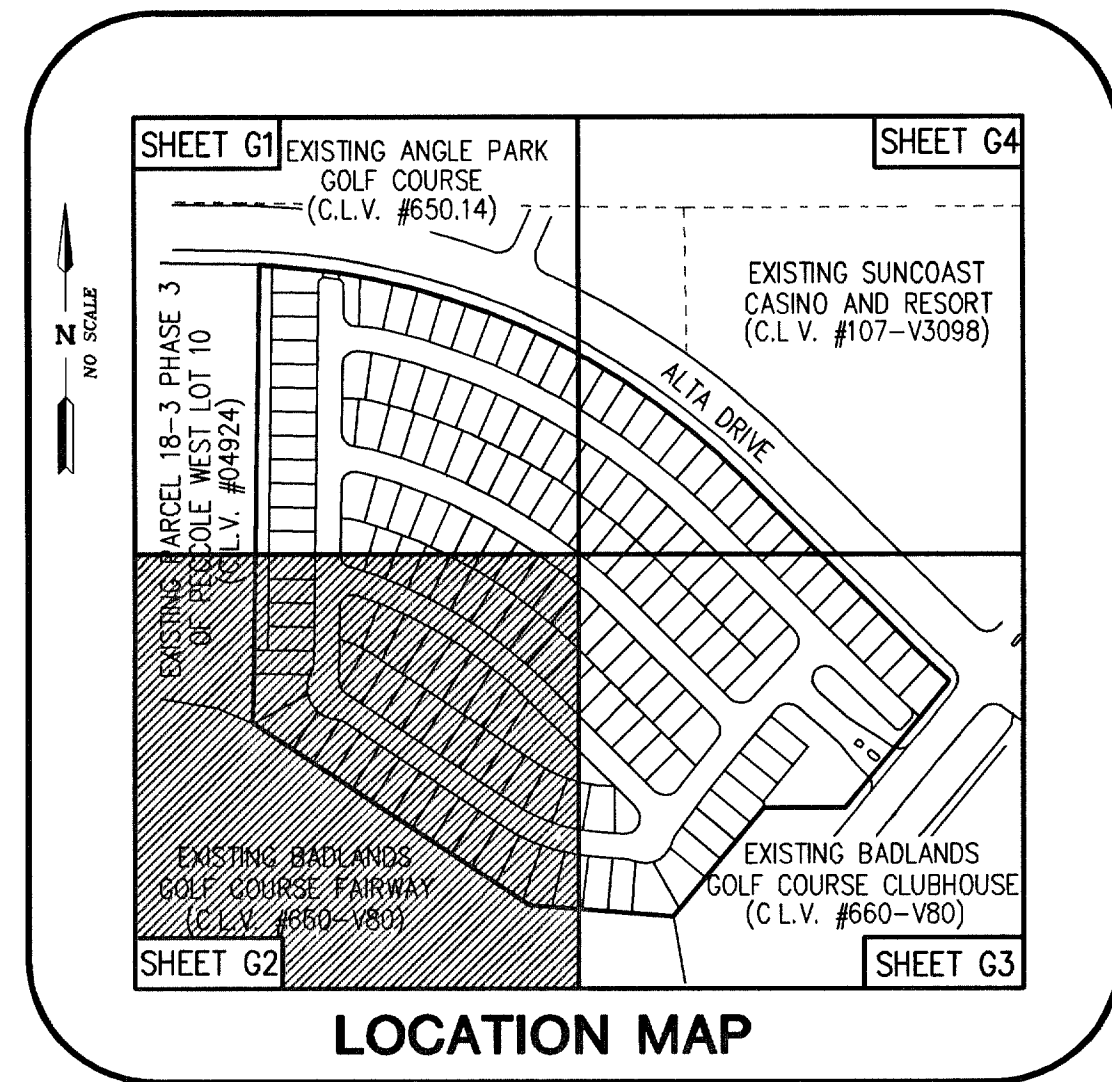




CONSTRUCTION NOTES

1. CONST. "L" TYPE CURB PER C.C. AREA STD. DWG. #216
2. CONST. "A" TYPE CURB PER C.C. AREA STD. DWG. #219
3. CONST. "ROLL" TYPE CURB PER C.C. AREA STD. DWG. #217A
4. CONST. TRANSITIONAL TYPE CURB PER DETAIL/SECTION SHT. 21 OF 30
5. CONST. 4.0' CONCRETE SIDEWALK PER LANDSCAPE PLAN & DWG. #234
6. CONST. 5.0' CONCRETE SIDEWALK PER C.C. AREA STD. DWG. #234
7. CONST. 2.0' CROSS GUTTER PER DETAIL/SECTION SHT. 21 OF 30
8. CONST. 8.0' CROSS GUTTER PER C.C. AREA STD. DWG. #228
9. CONST. 6.0' CONCRETE FLUME PER DETAIL/SECTION SHT. 21 OF 30
10. CONST. 3.0' CONCRETE FLUME PER DETAIL/SECTION SHT. 21 OF 30
11. CONST. 2.0' SIDEWALK DRAIN PER C.C. AREA STD. DWG. #236
12. CONST. RETAINING WALL PER C.C. AREA STD. DWG. B-101
13. SAWCUT & MATCH EXISTING (CURB, SIDEWALK, OR PAVEMENT)
14. CONST. CASE 1 SIDEWALK RAMP PER C.C. AREA STD. DWG. #235
15. CONST. DRIVEWAY (OPTION A) PER C.C. AREA STD. DWG. #224
16. CONST. SIDEWALK RAMP PER DETAIL/SECTION SHT. 21 OF 30

LEGEND

EXISTING "L" CURB	BCR	BACK OF CURB RETURN
PROPOSED "L" CURB	EX.	EXISTING
PROPOSED ROLL CURB	F.F.	FINISH FLOOR
PROPOSED TRANSITIONAL CURB	FG	FINISH GRADE
EXISTING EDGE OF PAVEMENT	FL	FLOW LINE
BOUNDARY/ROW LINE	INT	INTERSECTION
CENTERLINE	R	PROPERTY LINE
GRADE BREAK	S/W	SIDEWALK
DIRECTIONAL DRAINAGE FLOW	B/B	BACK OF CURB TO BACK
CMU RETAINING WALL	R/W	RIGHT-OF-WAY
SAWCUT LINE	TC	TOP OF CURB
EXISTING CMU WALL	C	CENTERLINE
EX CMU/WROUGHT IRON VIEW WALL	B/C	BACK OF CURB
2:1 MAX SCARP	TRW	TOP OF RETAINING WALL
NAT. GROUND CONTOUR	FTG	TOP OF FOOTING
PAD ELEVATION	HDPE	HIGH DENSITY POLYETHYLENE
EXISTING STREET LIGHT	W.S.E.	WATER SURFACE ELEVATION
	SD	STORM DRAIN
	MH	MANHOLE
	TEL	TELEPHONE
	CATV	CABLE TV BOX

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS PROJECT IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 31, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B.M. WHICH BEARS NORTH 89°40'03" EAST AS SHOWN ON FILE 91, PAGE 27 OF PARCEL MAPS RECORDED IN THE COUNTY RECORDERS OFFICE OF CLARK COUNTY, NEVADA.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK #00LV00 32NWWS
RIVET & PLATE IN TOP OF CURB @ NW CORNER OF ALTA & WEST EXIT TO SUNCOAST RESORT PARKING LOT
METERS = 844 0507
U.S. SURVEY FEET = 2769.19
NAVD 88 DATUM

OWNER/DEVELOPER

CRESTDALE ASSOCIATES, LTD
1063 LAS PALMAS ENTRADA AVE.
HENDERSON, NEVADA 89012

GRAPHIC SCALE



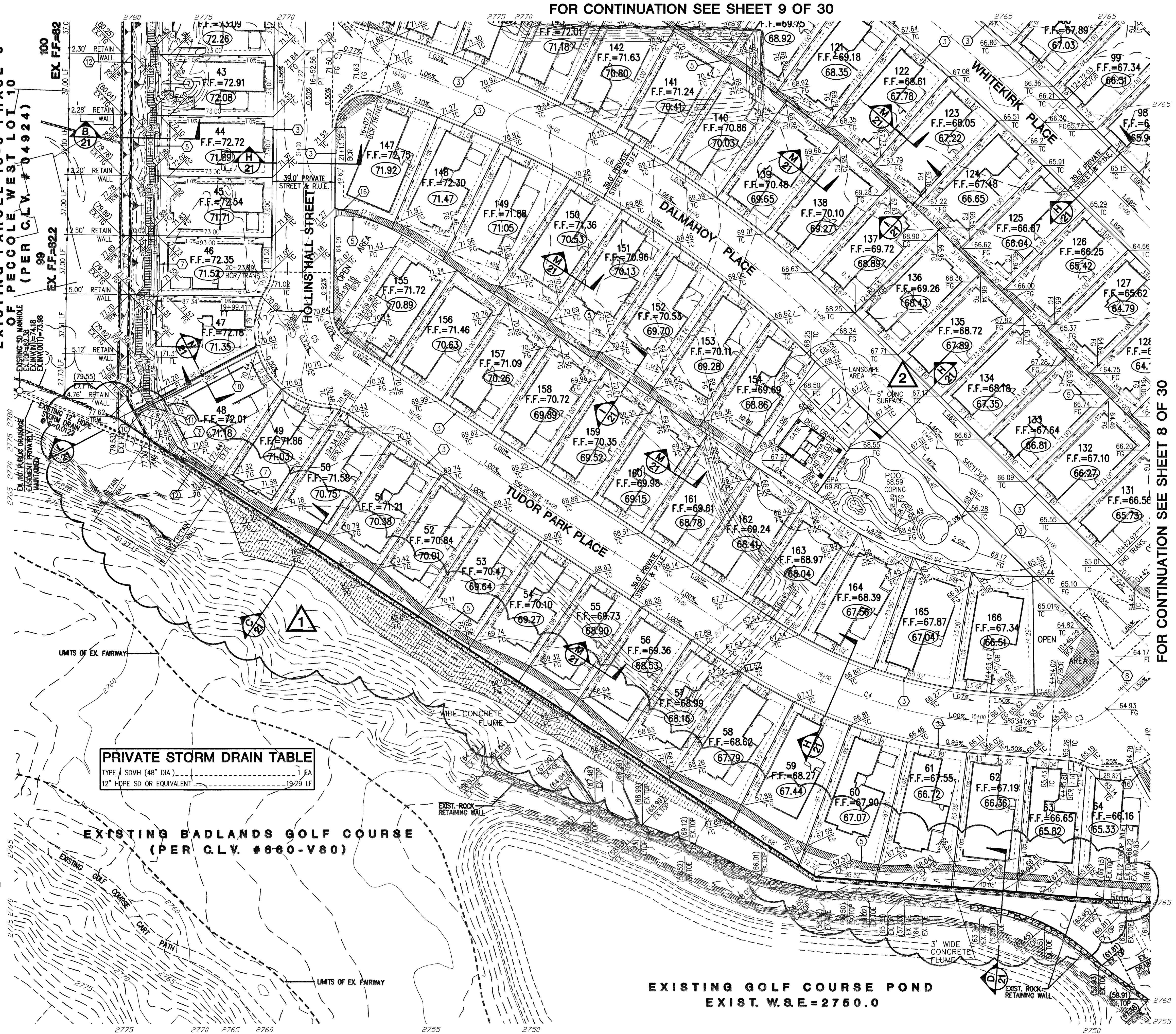
GENERAL NOTES

1. SEE IMPROVEMENT PLANS FOR STREET SECTIONS AND DETAILS. SEE FINAL MAP FOR EXACT BEARINGS AND DISTANCES.
2. THE QUANTITIES SHOWN HEREON ARE ESTIMATES ONLY AND ARE NOT TO BE USED FOR BIDDING PURPOSES.
3. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
4. ALL GRADING WORK TO CONFORM TO SOILS REPORT BY: WESTERN TECHNOLOGIES INC. JOB NO. 4120JUN23
DATE: MARCH 19, 2003 97326

NOTE:
SEE SHEET C3 FOR C.L.V. GRADING NOTES.

I CERTIFY THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY FOR THIS PROJECT ON FILE AT CITY OF LAS VEGAS REF (DS3273)

GARY A. STOCKHOFF, P.E., NO. 12108 DATE 10/16/06



NOTE:
ALL AREAS OUTSIDE OF THE STRUCTURE ARE BLANKET CROSS ACCESS EASEMENTS & PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOME OWNERS ASSOCIATION.

NOTE:
ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS & PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOME OWNERS ASSOCIATION

NOTE:
SEE PLAN & PROFILE SHEETS FOR CURVE DATA TABLE.

FOR CONTINUATION SEE SHEET 8 OF 30

FOR CONTINUATION SEE SHEET 9 OF 30

CRESTDALE ASSOCIATES, LTD
1063 LAS PALMAS ENTRADA AVE.
HENDERSON, NEVADA 89012

GRADING PLAN (2)

WINDSOR AT QUEENSRIDGE

REVISION
REV. DATE BY
1 10/04 JLO ADD CONCRETE FLUME ALONG SOUTH PROPERTY LINE, FOR NUISANCE DRAINAGE
2 6/06 JDB MODIFY POOL AREA 145 to 146

SHEET
DRAWN BY: BLOOM 02/03
DESIGNED BY: BLOOM 02/03
CHECKED BY: TRUDY 02/03
PROJECT NO: 066-E060
SCALE: 1"=30'

PROFESSIONAL ENGINEER-STATE OF NEVADA
GARY A. STOCKHOFF
EXP. 06-30-08
CIVIL
No. 12108
10-16-06

SHEET
G2
7 OF 30 SHEETS
DRAWING NO
1074 4763