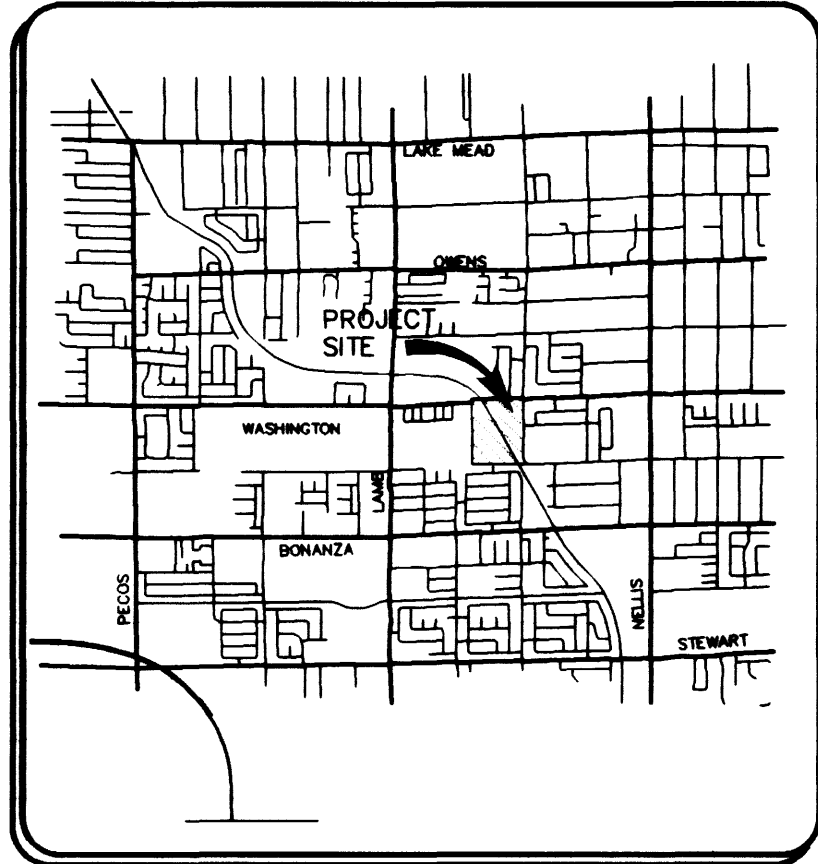
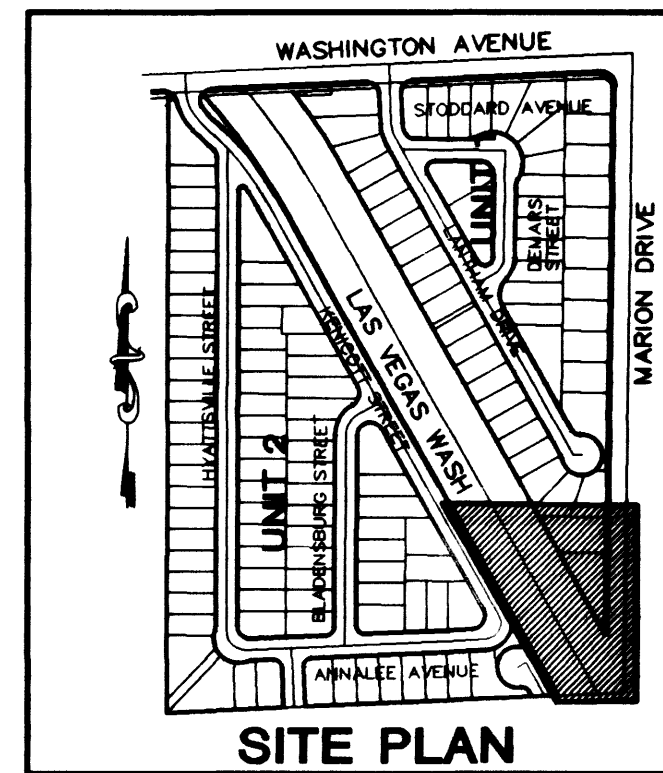
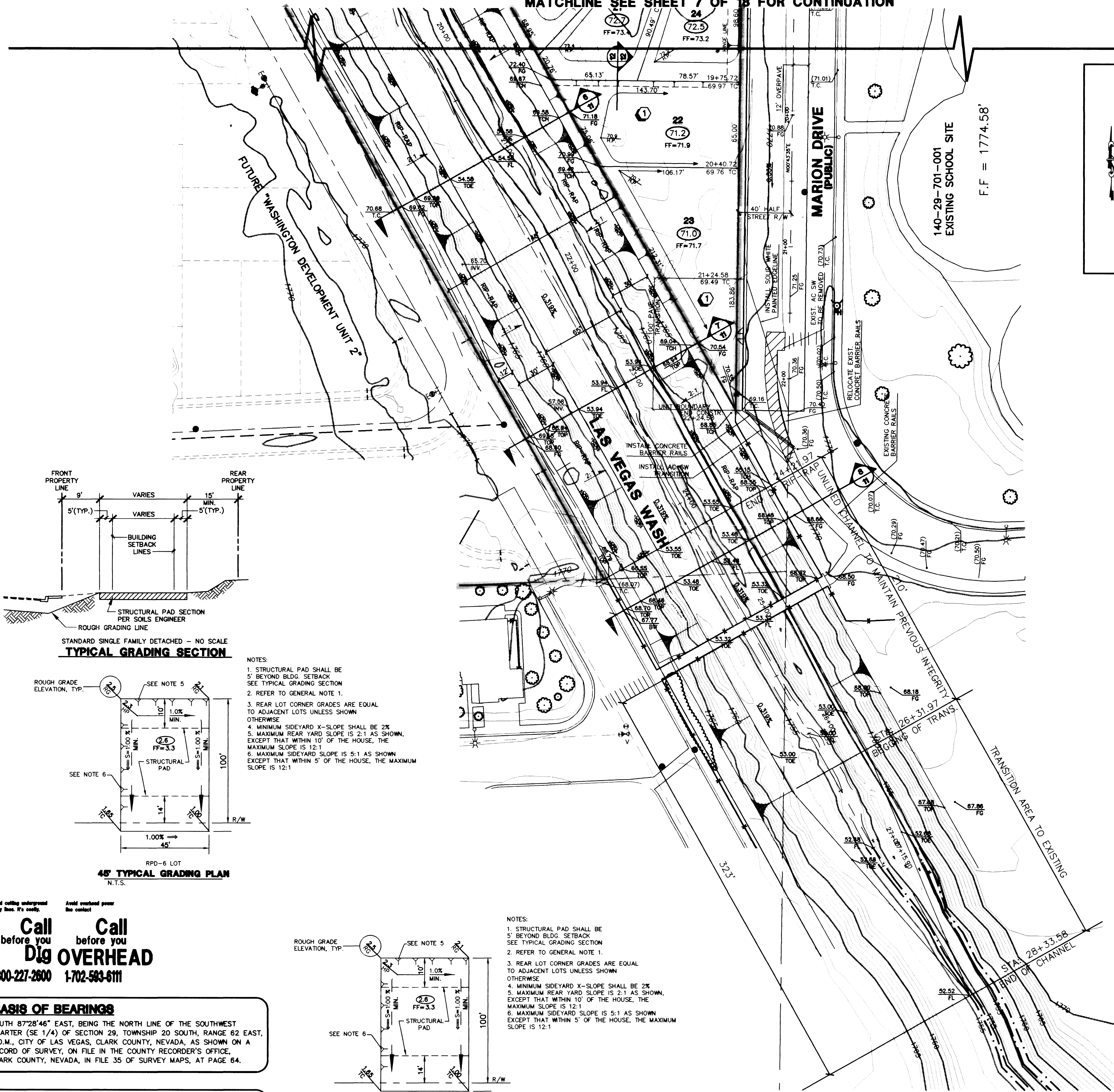
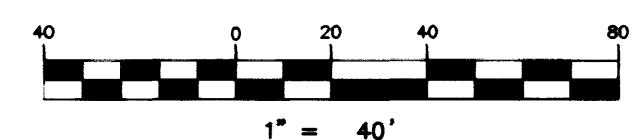


MATCHLINE SEE SHEET 7 OF 18 FOR CONTINUATION



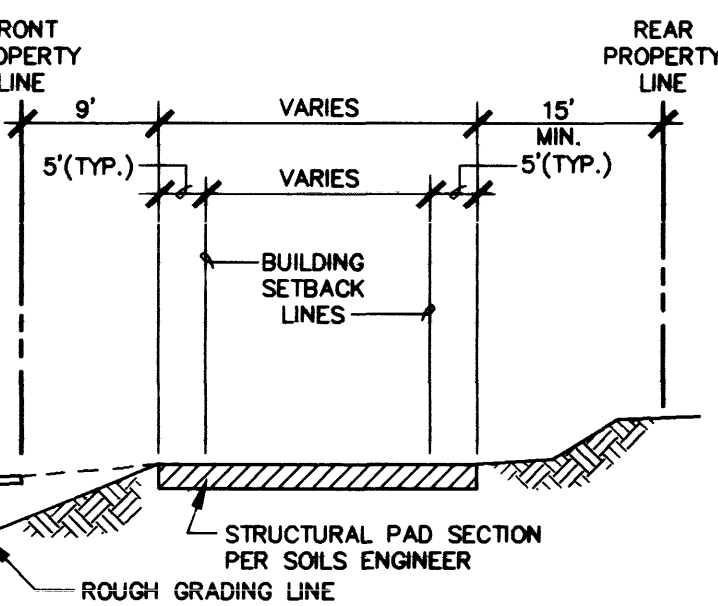
LOCATION MAP

GRAPHIC SCALE



LEGEND

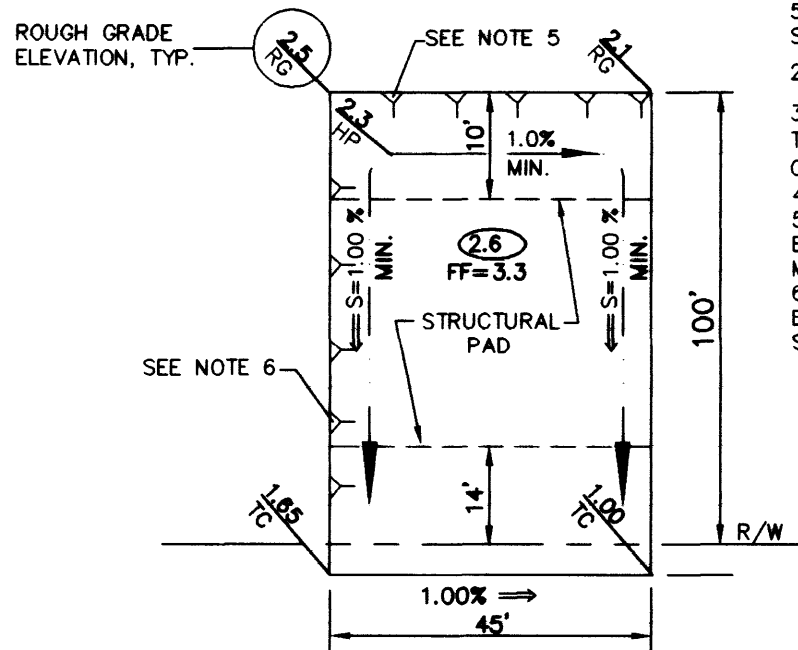
8	LOT NUMBER	VG	VALLEY GUTTER
8	BLOCK NUMBER	FG	FINISH GRADE
8	EX. CONTOUR (5' INTERVAL)	FL	FLOW LINE
8	EX. CONTOUR (1' INTERVAL)	TC	TOP OF CURB
8	PROPOSED CONTOUR	TRC	TOP OF ROLL CURB
8	CONCRETE BLOCK WALL	BC	BACK OF CURB
8	RETAINING WALL	BOR	BEGIN CURB RETURN
8	EXISTING WALL	EX	EXISTING
8	PROPOSED PAD GRADE	GB	GRADE BREAK
8	EX/FUTURE PAD GRADE	PC	POINT OF CURVATURE
8	SCARP AREA	PRC	POINT OF REVERSE CURVATURE
8	SIDEWALK RAMP	PCC	POINT OF COMPOUND CURVATURE
8	PAD SLOPES	BVC	BEGIN VERTICAL CURVE
8	DIRECTION & RATE OF SLOPE	MVC	MID-POINT OF VERTICAL CURVE
8		EVC	END VERTICAL CURVE
8		PRVC	POINT OF REVERSE VERTICAL CURVE
8		PT	POINT OF TANGENCY
8		NG	NATURAL GROUND
8		TF	TOP OF FOOTING



TYPICAL GRADING SECTION

NOTES:

1. STRUCTURAL PAD SHALL BE 5' BEYOND BLDG. SETBACK. SEE TYPICAL GRADING SECTION.
2. REFER TO GENERAL NOTE 1.
3. REAR LOT CORNER GRADES ARE EQUAL TO ADJACENT LOTS UNLESS SHOWN OTHERWISE.
4. MINIMUM SIDEYARD X-SLOPE SHALL BE 2%.
5. MAXIMUM REAR YARD SLOPE IS 2:1 AS SHOWN, EXCEPT THAT WITHIN 10' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.
6. MAXIMUM SIDEYARD SLOPE IS 5:1 AS SHOWN, EXCEPT THAT WITHIN 5' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.



45' TYPICAL GRADING PLAN

Avoid cutting underground utility lines. If's costly. Avoid overhead power line contact.

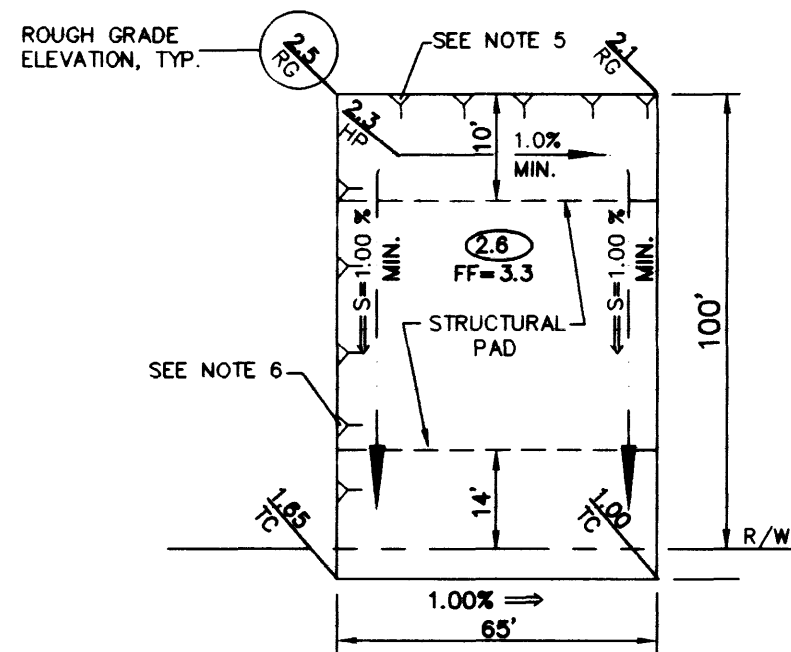
Call before you Dig
1-800-227-2600
1-702-593-6111

BASIS OF BEARINGS

SOUTH 87°28'46" EAST, BEING THE NORTH LINE OF THE SOUTHWEST QUARTER (SE 1/4) OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 62 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN ON A RECORD OF SURVEY, ON FILE IN THE COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA, IN FILE 35 OF SURVEY MAPS, AT PAGE 64.

PROJECT BENCHMARK

PROJECT DATUM: NAVD88
CITY OF LAS VEGAS BENCHMARK #33 2LV022956
NAVD88 ELEVATION: 538.6584 METERS (1767.248 FEET)
CITY OF LAS VEGAS BM 2LV022956, RIVET AND PLATE IN TOP OF CURB EAST CURB LINE, MARION DRIVE AND ARROWROOT AVENUE.



65' TYPICAL GRADING PLAN

NOTES:

1. STRUCTURAL PAD SHALL BE 5' BEYOND BLDG. SETBACK. SEE TYPICAL GRADING SECTION.
2. REFER TO GENERAL NOTE 1.
3. REAR LOT CORNER GRADES ARE EQUAL TO ADJACENT LOTS UNLESS SHOWN OTHERWISE.
4. MINIMUM SIDEYARD X-SLOPE SHALL BE 2%.
5. MAXIMUM REAR YARD SLOPE IS 2:1 AS SHOWN, EXCEPT THAT WITHIN 10' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.
6. MAXIMUM SIDEYARD SLOPE IS 5:1 AS SHOWN, EXCEPT THAT WITHIN 5' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

3-27-00
DATE

AMSTAR HOMES

GRADING PLAN

SHEET

11/5/99

DESIGNED BY:

11/5/99

CHECKED BY:

11/5/99

PROJECT NO:

5549

SCALE:

1"=40'

HORIZ. VERT.

N/A

DATE

BY

REVISION

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